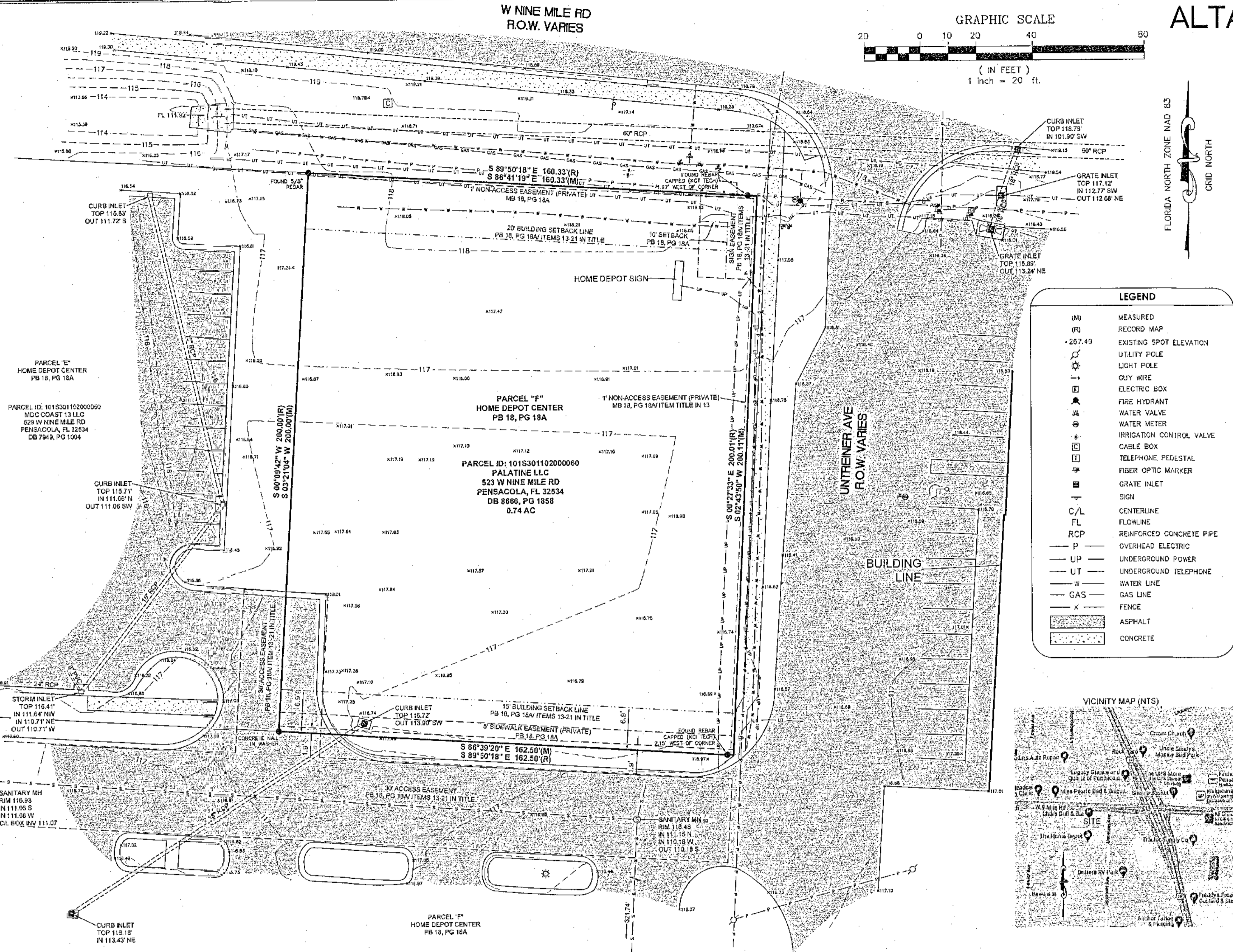
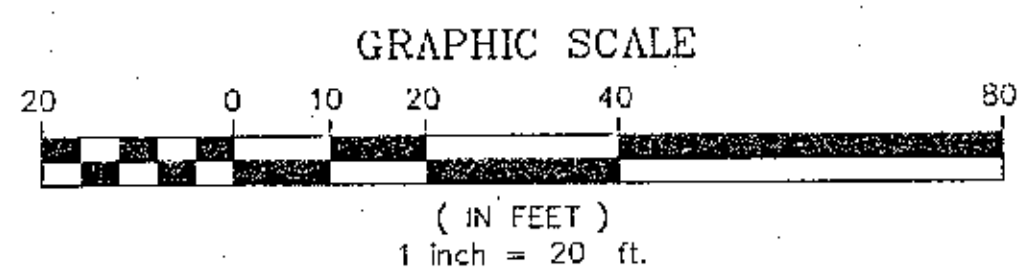




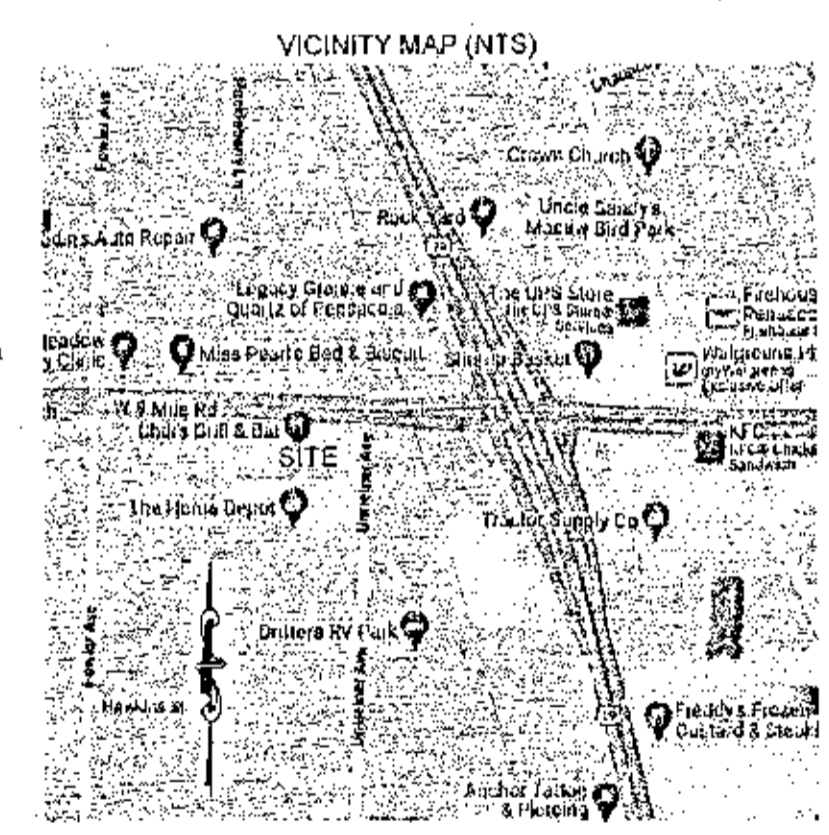


# ALTA LAND TITLE AND TOPOGRAPHIC SURVEY OF 523 W NINE MILE ROAD PENSACOLA, FLORIDA

SITUATED IN SECTION 10,  
TOWNSHIP 1 SOUTH, RANGE 30 WEST,  
ESCAMBIA COUNTY, FLORIDA



LEGEND	
(M)	MEASURED
(R)	RECORD MAP
267.49	EXISTING SPOT ELEVATION
⊕	UTILITY POLE
⊙	LIGHT POLE
—	CUY WIRE
⊕	ELECTRIC BOX
⊕	FIRE HYDRANT
⊕	WATER VALVE
⊕	WATER METER
⊕	IRRIGATION CONTROL VALVE
⊕	CABLE BOX
⊕	TELEPHONE PEDESTAL
⊕	FIBER OPTIC MARKER
⊕	GRATE INLET
⊕	SIGN
C/L	CENTERLINE
FL	FLOWLINE
RCP	REINFORCED CONCRETE PIPE
P	OVERHEAD ELECTRIC
UP	UNDERGROUND POWER
UT	UNDERGROUND TELEPHONE
W	WATER LINE
G	GAS LINE
X	FENCE
▨	ASPHALT
▩	CONCRETE



TITLE COMMITMENT:  
EXCEPTIONS FILE NO. NACS230582 DATED JULY 5, 2023 PREPARED FIDELITY NATIONAL TITLE INSURANCE COMPANY. EXCEPTIONS ARE NUMBERED THE SAME AS THE TITLE COMMITMENT)

- ANY DEFECT, LIEN, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHED, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B, PART 1 REQUIREMENTS ARE MET. **NOT ADDRESSED BY SURVEYOR.**
- TAXES AND ASSESSMENTS FOR THE YEAR 2023 AND SUBSEQUENT YEARS, WHICH ARE NOT YET DUE AND PAYABLE. **NOT ADDRESSED BY SURVEYOR.**
- STANDARD EXCEPTIONS:
  - ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND, AS SHOWN ON SURVEYOR.
  - RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORDS. **NOT ADDRESSED BY SURVEYOR.**
  - ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR, OR MATERIALS HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RECORDS. **NOT ADDRESSED BY SURVEYOR.**
  - TAXES OR ASSESSMENTS WHICH ARE NOT SHOWN AS EXISTING LIENS IN THE PUBLIC RECORDS. **NOT ADDRESSED BY SURVEYOR.**

NOTES ON STANDARD EXCEPTIONS:

ITEM 3A WILL BE DELETED FROM THE POLICY(IES) UPON RECEIPT OF AN ACCURATE SURVEY OF THE LAND ACCEPTABLE TO THE COMPANY. EXCEPTION WILL BE MADE FOR ANY ENCROACHMENT, SETBACK LINE VIOLATION, OVERLAP, BOUNDARY LINE DISPUTE OR OTHER ADVERSE MATTER DISCLOSED BY THE SURVEY. ITEMS 3B, 3C, AND 3D WILL BE DELETED FROM THE POLICY(IES) UPON RECEIPT OF AN AFFIDAVIT ACCEPTABLE TO THE COMPANY, AFFIRMING THAT, EXCEPT AS DISCLOSED THEREIN (I) NO PARTIES IN POSSESSION OF THE LAND EXIST OTHER THAN THE RECORD OWNER(S); (II) NO IMPROVEMENTS HAVE BEEN MADE TO THE LAND WITHIN 90 DAYS PRIOR TO CLOSING WHICH HAVE NOT BEEN PAID FOR IN FULL; AND (III) NO UNPAID TAXES OR ASSESSMENTS ARE AGAINST THE LAND WHICH ARE NOT SHOWN AS EXISTING LIENS IN THE PUBLIC RECORDS. EXCEPTION WILL BE MADE FOR MATTERS DISCLOSED IN THE AFFIDAVIT.

- ANY CLAIM THAT ANY PORTION OF THE INSURED LAND IS SOVEREIGN LANDS OF THE STATE OF FLORIDA, INCLUDING SUBMERGED, FILLED OR ARTIFICIALLY EXPOSED LANDS ACCRETED TO SUCH LAND. **NOT ADDRESSED BY SURVEYOR.**
- ANY LIEN PROVIDED BY COUNTY ORDINANCE OR BY CHAPTER 159, FLORIDA STATUTES, IN FAVOR OF ANY CITY, TOWN, VILLAGE OR PORT AUTHORITY FOR UNPAID SERVICE CHARGES FOR SERVICE BY ANY WATER, SEWER OR GAS SYSTEM SUPPLYING THE INSURED LAND. **NOT ADDRESSED BY SURVEYOR.**
- EASEMENT TO THE STATE OF FLORIDA AS RECORDED IN DEED BOOK 160, PAGE 438, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA. **DEED BOOK 160, PAGE 438 DOES NOT AFFECT SUBJECT PROPERTY.**
- EASEMENT TO THE STATE OF FLORIDA AS RECORDED IN DEED BOOK 160, PAGE 438, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA. **DEED BOOK 160, PAGE 438 DOES NOT AFFECT SUBJECT PROPERTY.**
- EASEMENT TO THE STATE OF FLORIDA AS RECORDED IN DEED BOOK 160, PAGE 440, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA. **DEED BOOK 160, PAGE 440 DOES NOT AFFECT SUBJECT PROPERTY.**
- EASEMENT TO THE STATE OF FLORIDA AS RECORDED IN DEED BOOK 160, PAGE 444, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA. **DEED BOOK 160, PAGE 444 DOES NOT AFFECT SUBJECT PROPERTY.**
- EASEMENT TO THE STATE OF FLORIDA AS RECORDED IN DEED BOOK 160, PAGE 458, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA. **DEED BOOK 160, PAGE 458 DOES NOT AFFECT SUBJECT PROPERTY.**
- EASEMENT TO THE STATE OF FLORIDA AS RECORDED IN DEED BOOK 160, PAGE 483, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA. **DEED BOOK 160, PAGE 483 DOES NOT AFFECT SUBJECT PROPERTY.**
- ALL MATTERS AS CONTAINED ON THE PLAT OF HOME DEPOT CENTER, RECORDED AUGUST 16, 2005, IN PLAT BOOK 18, PAGES 18 AND 18A, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA. **AS SHOWN ON SURVEY.**
- TERMS, CONDITIONS, AND PROVISIONS OF THAT CERTAIN RESTRICTIVE COVENANTS AND EASEMENT AGREEMENT, DATED SEPTEMBER 8, 2005, AND RECORDED SEPTEMBER 27, 2005, IN OFFICIAL RECORDS BOOK 5739, PAGE 5, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA. **RECORDS BOOK 5739, PAGE 5 AFFECTS SUBJECT PROPERTY AS SHOWN ON SURVEY.**
- TERMS, CONDITIONS, AND PROVISIONS OF THAT CERTAIN RESTRICTIVE COVENANTS AND EASEMENT AGREEMENT, DATED SEPTEMBER 8, 2005, AND RECORDED SEPTEMBER 27, 2005, IN OFFICIAL RECORDS BOOK 5739, PAGE 31, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA. **RECORDS BOOK 5739, PAGE 31 AFFECTS SUBJECT PROPERTY AS SHOWN ON SURVEY.**
- TERMS, CONDITIONS, AND PROVISIONS OF THAT CERTAIN RESTRICTIVE COVENANTS AND EASEMENT AGREEMENT, DATED SEPTEMBER 8, 2005, AND RECORDED SEPTEMBER 27, 2005, IN OFFICIAL RECORDS BOOK 5739, PAGE 56, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA. **RECORDS BOOK 5739, PAGE 56 AFFECTS SUBJECT PROPERTY AS SHOWN ON SURVEY.**
- TERMS, CONDITIONS, AND PROVISIONS OF THAT CERTAIN RESTRICTIVE COVENANTS AND EASEMENT AGREEMENT, DATED SEPTEMBER 8, 2005, AND RECORDED SEPTEMBER 27, 2005, IN OFFICIAL RECORDS BOOK 5739, PAGE 63; AS AMENDED BY AMENDMENT TO RESTRICTIVE COVENANTS AND EASEMENT AGREEMENT DATED APRIL 30, 2007, AND RECORDED AUGUST 8, 2007, IN OFFICIAL RECORDS BOOK 6194, PAGE 1227, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA. **RECORDS BOOK 5739, PAGE 63 & RECORDS BOOK 6194, PAGE 1227 AFFECTS SUBJECT PROPERTY AS SHOWN ON SURVEY.**
- TERMS, CONDITIONS, AND PROVISIONS OF THAT CERTAIN RESTRICTIVE COVENANTS AND EASEMENT AGREEMENT, DATED SEPTEMBER 8, 2005, AND RECORDED SEPTEMBER 27, 2005, IN OFFICIAL RECORDS BOOK 5739, PAGE 116; AS AMENDED BY AMENDMENT TO RESTRICTIVE COVENANTS AND EASEMENT AGREEMENT DATED AUGUST 10, 2018 AND RECORDED AUGUST 13, 2018, IN OFFICIAL RECORDS BOOK 7948, PAGE 646, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA. **RECORDS BOOK 5739, PAGE 116 AFFECTS SUBJECT PROPERTY AS SHOWN ON SURVEY. RECORDS BOOK 7948, PAGE 646 AFFECTS SUBJECT PROPERTY ACCORDING AS SHOWN ON SURVEY.**
- TERMS, CONDITIONS, AND PROVISIONS OF THAT CERTAIN RESTRICTIVE COVENANTS AND EASEMENT AGREEMENT, DATED JANUARY 3, 2008, AND RECORDED JANUARY 5, 2008, IN OFFICIAL RECORDS BOOK 5814, PAGE 124; AS AMENDED BY AMENDMENT TO RESTRICTIVE COVENANTS AND EASEMENT AGREEMENTS DATED AUGUST 10, 2018 AND RECORDED AUGUST 13, 2018, IN OFFICIAL RECORDS BOOK 7948, PAGE 646, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA. **RECORDS BOOK 5814, PAGE 124 AFFECTS SUBJECT PROPERTY AS SHOWN ON SURVEY. RECORDS BOOK 7948, PAGE 646 AFFECTS SUBJECT PROPERTY AS SHOWN ON SURVEY.**
- TERMS, CONDITIONS, AND PROVISIONS OF THAT CERTAIN RESTRICTIVE COVENANTS AND EASEMENT AGREEMENT, DATED SEPTEMBER 8, 2005, AND RECORDED SEPTEMBER 27, 2005, IN OFFICIAL RECORDS BOOK 5739, PAGE 148, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA. **RECORDS BOOK 5739, PAGE 148 AFFECTS SUBJECT PROPERTY AS SHOWN ON SURVEY.**
- TERMS, CONDITIONS, AND PROVISIONS OF AMENDMENT TO RESTRICTIVE COVENANTS AND EASEMENT AGREEMENTS, DATED AUGUST 10, 2018, AND RECORDED AUGUST 13, 2018, IN OFFICIAL RECORDS BOOK 7948, PAGE 646, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA. **RECORDS BOOK 7948, PAGE 646 AFFECTS SUBJECT PROPERTY AS SHOWN ON SURVEY.**

- NOTES:
- NO TITLE SEARCH OF THE PUBLIC RECORDS HAS BEEN PERFORMED BY THIS FIRM AND LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS AND/OR RIGHTS OF WAYS, RECORDED OR UNRECORDED. THE PARCEL SHOWN HEREON IS SUBJECT TO SETBACKS, EASEMENTS, ZONING, AND RESTRICTIONS THAT MAY BE FOUND IN THE PUBLIC RECORD OF SAID COUNTY.
  - ALL EASEMENTS AND RIGHT-OF-WAY OF WHICH THE SURVEYOR HAS KNOWLEDGE HAVE BEEN SHOWN HEREON.
  - THE UNDERGROUND UTILITIES HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR EXISTING DRAWINGS. HOWEVER, THERE MAY EXIST UNDERGROUND UTILITIES OR BURIED PIPES WHICH WERE NOT LOCATED OR OF WHICH THE SURVEYOR HAS NO KNOWLEDGE. THE SURVEYOR OR MAINTENANCE PERSONNEL SHOULD BE ADVISED OF THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL 5/8" UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED BECAUSE THE UNDERGROUND UTILITIES WERE NOT PHYSICALLY LOCATED.
  - BEARINGS SHOWN HEREON ARE RELATIVE TO THE FLORIDA STATE PLANE COORDINATE SYSTEM GRID AZIMUTH (FLORIDA NORTH ZONE) (NAD 83) AND WERE DETERMINED USING GPS OBSERVATION.
  - ACCORDING TO THE FLOOD INSURANCE RATE MAP PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR FLORIDA (COMMUNITY PANEL 1203300295G, EFFECTIVE DATE SEPTEMBER 29, 2006), THIS SITE LIES WITHIN ZONE X, DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".
  - NO OBSERVED EVIDENCE OF (I) EARTHMOVING WORK, CONSTRUCTION OR BUILDING ADDITIONS; (II) SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL; (III) RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
  - NO DELINEATED WETLAND MARKINGS WERE LOCATED OR SHOWN.
  - THE SURVEYOR HAS NO KNOWN PROPOSED CHANGES IN STREET RIGHT OF WAY LINES.
  - FIELD WORK COMPLETED: OCTOBER 9, 2023
  - SURVEY PREPARED FOR: DANIEL KING

PARCEL 1: HOME DEPOT CENTER, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 18, PAGES 18 AND 18A, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.

PARCEL 2: TOGETHER WITH APPURTENANT EASEMENTS BENEFITING THE SUBJECT PARCEL, CONTAINED IN RESTRICTIVE COVENANTS AND EASEMENT AGREEMENT BY AND BETWEEN NEW PLAN ERT HO FLORIDA, LLC, A DELAWARE LIMITED LIABILITY COMPANY AND HOME DEPOT U.S.A., INC., A DELAWARE CORPORATION, RECORDED IN OFFICIAL RECORDS BOOK 5739, PAGE 116 AND AMENDED IN OFFICIAL RECORDS BOOK 7948, PAGE 646 OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA, OVER, UNDER AND ACROSS THE LANDS DESCRIBED THEREIN.

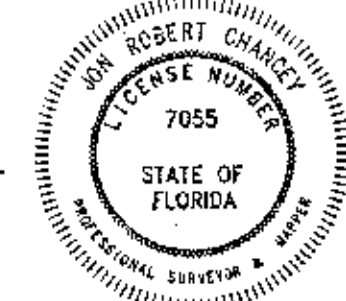
PARCEL 3: TOGETHER WITH APPURTENANT EASEMENTS BENEFITING THE SUBJECT PARCEL, CONTAINED IN RESTRICTIVE COVENANTS AND EASEMENT AGREEMENT BY AND BETWEEN BRINKER FLORIDA, INC., A DELAWARE CORPORATION AND HOME DEPOT U.S.A., INC., A DELAWARE CORPORATION, RECORDED IN OFFICIAL RECORDS BOOK 5814, PAGE 124, AS AMENDED IN OFFICIAL RECORDS BOOK 7948, PAGE 646 OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA, OVER, UNDER AND ACROSS THE LANDS DESCRIBED THEREIN.

CERTIFY TO: PALMETTO CAPITAL GROUP, LLC, A GEORGIA LIMITED LIABILITY GROUP; PALATINE, LLC, A UTAH LLC BY VIRTUE OF SPECIAL WARRANTY DEED RECORDED JULY 7, 2021 IN OFFICIAL RECORDS BOOK 8666, PAGE 1685, PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA; FIDELITY NATIONAL TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 7(A), 7(B)(1), 8, 9, 11(D), 13, 15, 17, 18, AND 19 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON NOVEMBER 3, 2021.

I HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

*Jon R. Chancey*  
 JON R. CHANCEY  
 FLORIDA LICENSE NO. 7055  
 DATE: November 2, 2023



BOUNDARY AND TOPOGRAPHIC SURVEY OF  
**523 W NINE MILE RD**  
**PENSACOLA, FL**

**Due South Surveying, L.L.C.**

LS #7055 LB #9312

FRONT: 15'  
 REAR: 15'  
 SIDE: 10' OR 10% OF THE LOT WIDTH AT THE STREET RIGHT-OF-WAY,  
 WHICHEVER IS LESS BUT AT LEAST 5'  
 BUILDING HEIGHT: 15' ABOVE HIGHEST ADJACENT GRADE

ZONING: HC11 (HEAVY COMMERCIAL AND LIGHT INDUSTRIAL DISTRICT)  
 OBTAINED FROM COUNTY WEBSITE.

SETBACKS:

OFFICE - 17320 PANAMA CITY BEACH, SUITE 111-C  
 MAILING - 1921 PCB PARKWAY, BOX 146  
 PANAMA CITY BEACH, FL 32413 (850) 932-6955

DWG FILE F\_PCG00002  
 PROJECT F\_PCG000002

DRAWN BY: JAT  
 JOB NO. F\_PCG00002  
 DATE: 10-9-2023

SCALE: 1" = 20'

DATE: 10-24-2023

SHEET 1 OF 1

DATE	
REVISIONS	
DRAWN BY: JAT	
CHECKED BY: MAJ	
PROJECT NO.: F_PCG00002	
DATE: November 2, 2023	
SCALE: 1" = 20'	
PROJECT: 523 W NINE MILE ROAD	
TITLE: ALTA LAND TITLE AND TOPOGRAPHIC SURVEY	
120 BISHOP CIRCLE, SUITE 300 (PELHAM) PELHAM, AL 35124 TEL - (205) 403-9158 1000 E. LAUREL AVENUE (FOLLEY) FOLLEY, AL 36535 (251) 943-8960	
ENGINEERING DESIGN GROUP, LLC CIVIL ENGINEERING & LAND SURVEYING (205) 403-9158 (251) 943-8960	
SHEET NO.	1 OF 1

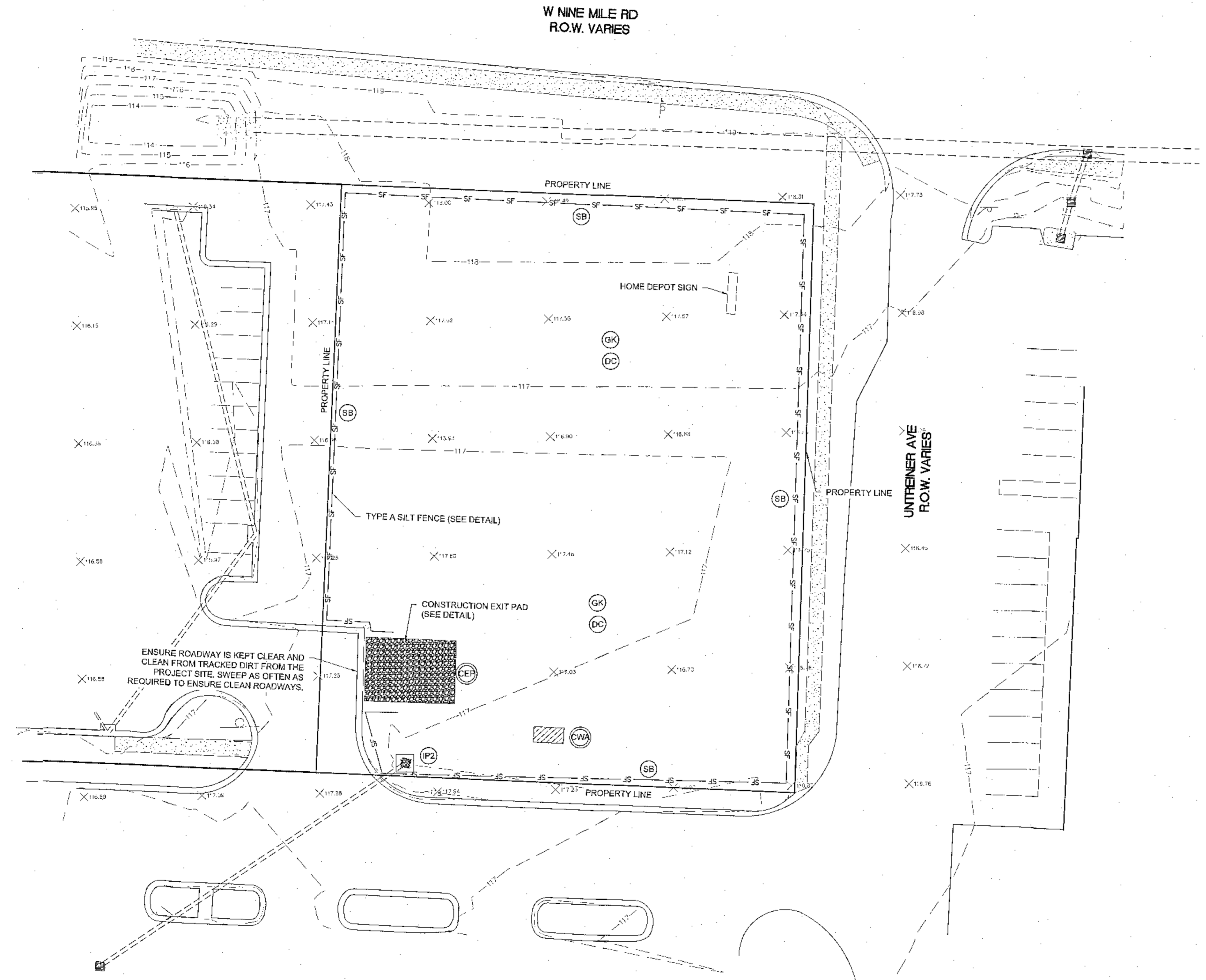


ENGINEERING DESIGN GROUP  
 PELHAM, AL  
 120 BISHOP CIRCLE SUITE 300  
 PELHAM, AL 35104  
 (205) 403-9158  
 FOLEY, AL  
 1000 E. LAUREL STREET  
 FOLEY, AL 36535  
 (251) 943-8960

ISSUED FOR REVIEW NOT FOR CONSTRUCTION  
 REVISIONS

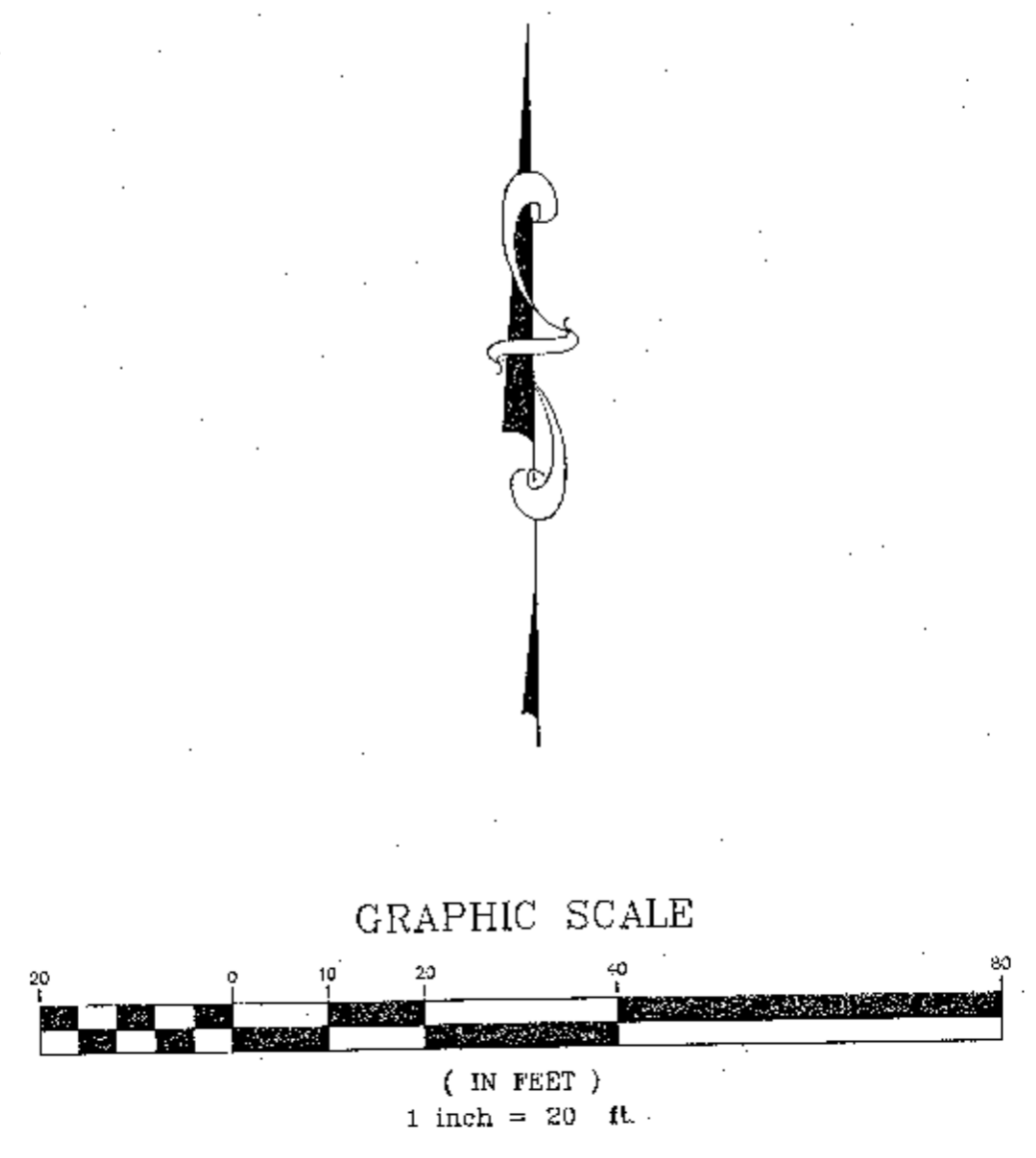
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**523 W NINE MILE ROAD**  
 ESCAMBIA COUNTY, FLORIDA  
 SHEET TITLE:  
**EROSION CONTROL PHASE 1**

PROJECT NAME:  
**W NINE MILE DUTCH**  
**BROS**  
 DRAWN BY:  
 CLD  
 CHECKED BY:  
 DJS  
 PROJECT No:  
 F\_PCG0002  
 DATE:  
 December 12, 2023  
 SHEET NO:  
**C1.0**

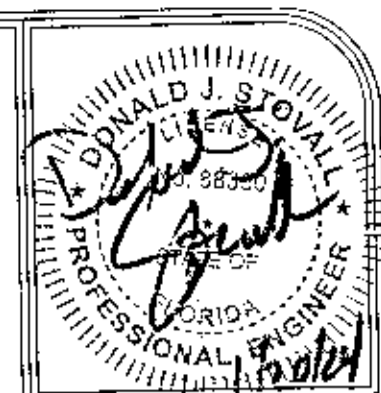


EROSION CONTROL LEGEND				
— SF —	(SB)	SILT FENCING	(GK)	GROUNDS KEEPING
[Cross-hatched box]	(CEP)	CONSTRUCTION EXIT PAD	(DC)	DUST CONTROL
[Diagonal lines box]	(IP2)	DANDY SACK INLET PROTECTION	(CWA)	CONCRETE WASHOUT AREA

- NOTES:
- SEE LANDSCAPING PLAN FOR COORDINATION OF FINAL SITE STABILIZATION AND LANDSCAPING. ENSURE ALL AREAS DISTURBED ON SITE ARE STABILIZED AT COMPLETION OF PROJECT AND ALL CONSTRUCTION DEBRIS HAS BEEN REMOVED FROM SITE.
  - THE SEDIMENT AND EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIRED. THE CONTRACTOR IS TO MAINTAIN AND ADD ADDITIONAL MEASURES AS NECESSARY TO ENSURE NO SEDIMENT LEAVES THE SITE.
  - SEE SHEET C0.1 FOR EROSION CONTROL GENERAL NOTES



I:\V\_PCG0002 - W NINE MILE ENGINEERING\DWG\LCC PH 1.DWG - last plotted 1/23/24 by COUJ DAVIS



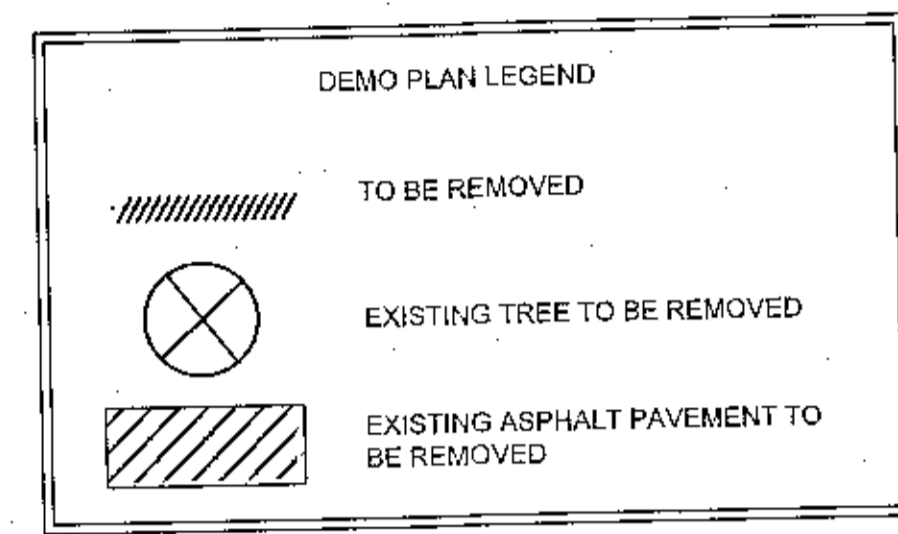
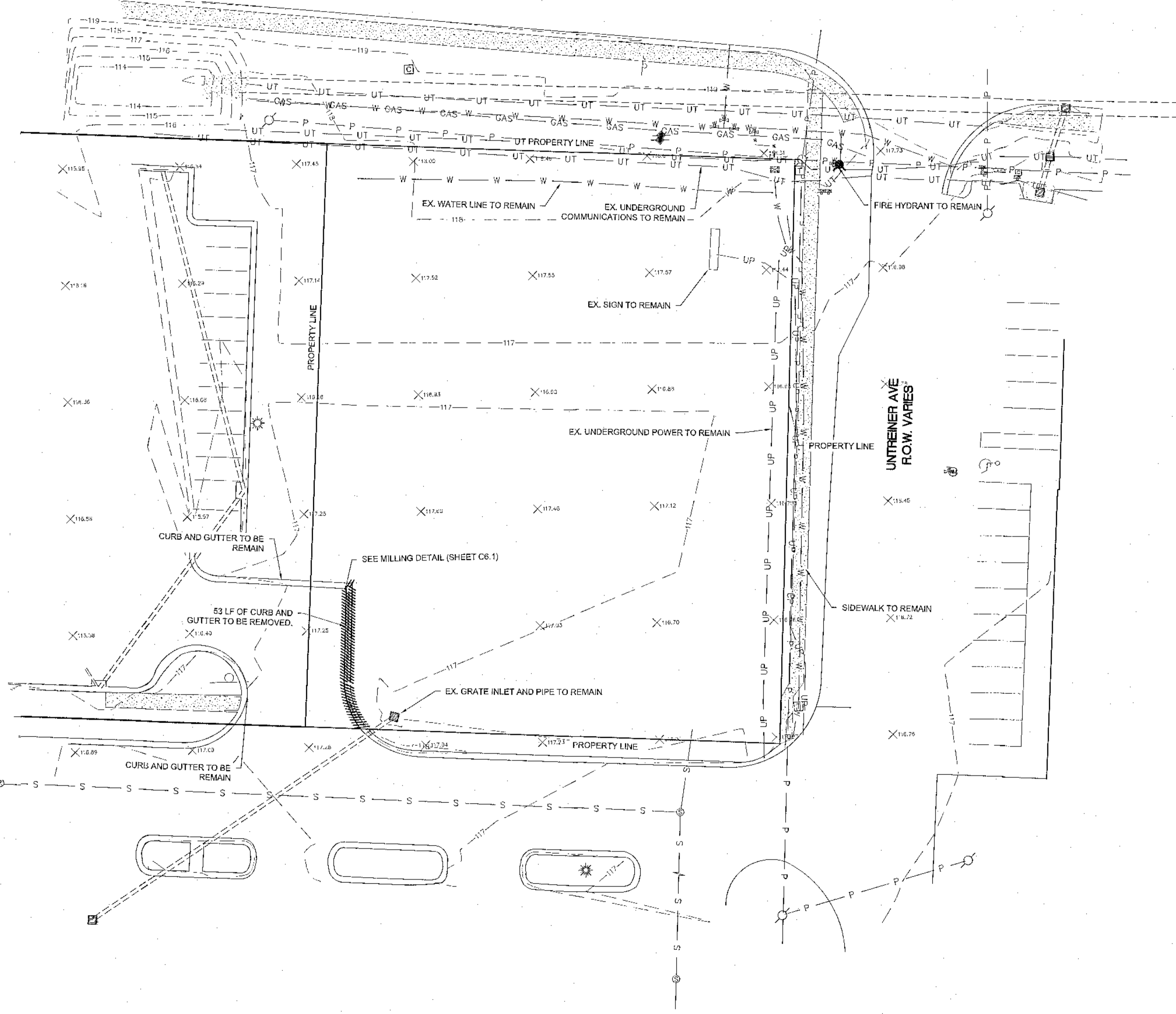
ENGINEERING DESIGN GROUP  
 PELHAM, AL  
 120 BISHOP CIRCLE SUITE 300  
 PELHAM, AL 35124  
 (205) 403-9158  
 FOLEY, AL  
 1000 E. LAUREL STREET  
 FOLEY, AL 36535  
 (251) 943-8960

ISSUE FOR REVIEW NOT FOR CONSTRUCTION  
 REVISIONS

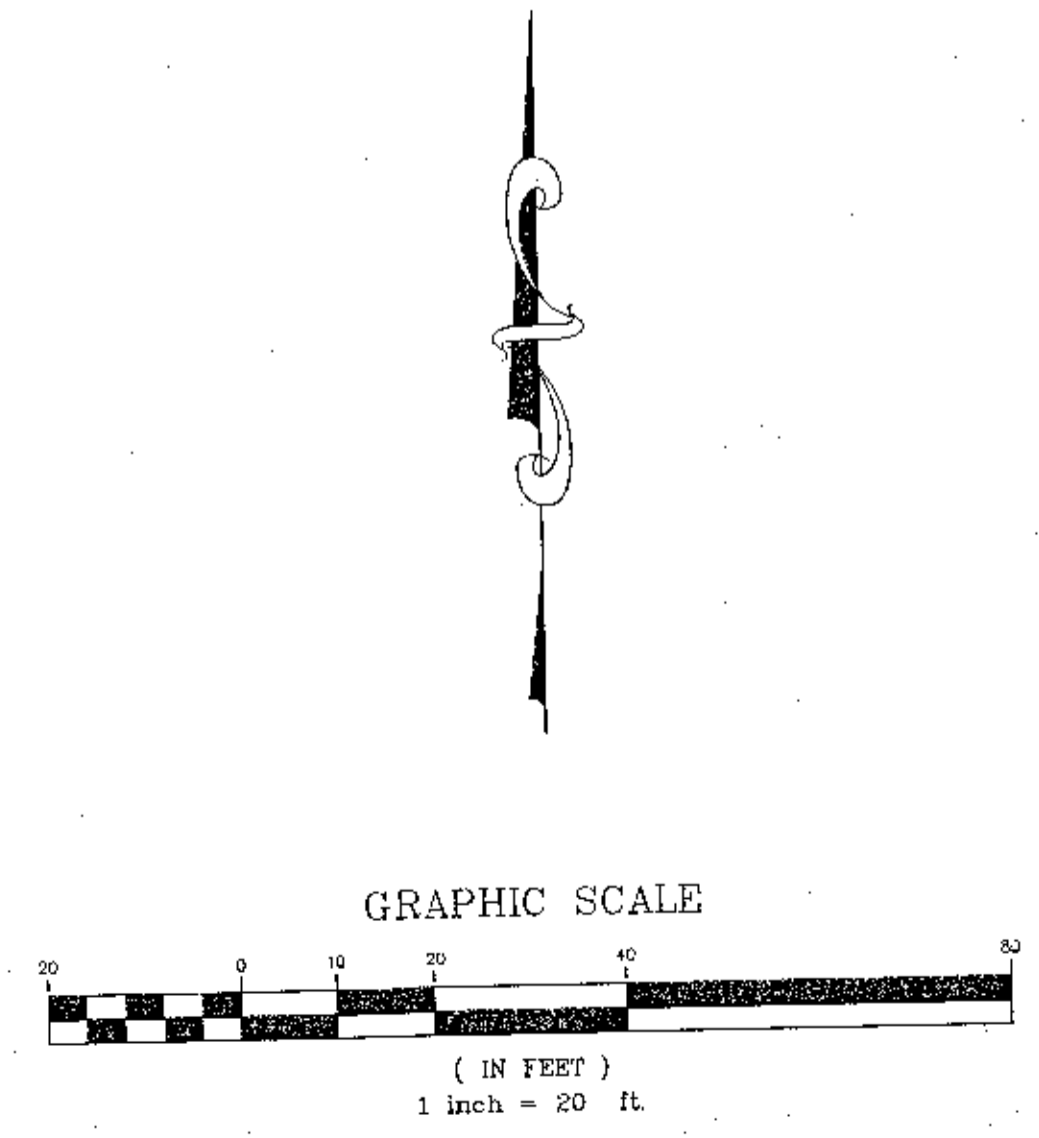
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**523 W NINE MILE ROAD**  
 ESCAMBIA COUNTY, FLORIDA  
 SHEET TITLE:  
**SITE DEMOLITION PLAN**

PROJECT NAME:  
**W NINE MILE DUTCH BROS**  
 DRAWN BY:  
 CLD  
 CHECKED BY:  
 DJS  
 PROJECT No.:  
 F\_PCG0002  
 DATE:  
 December 12, 2023  
 SHEET No.:  
**C1.1**

W NINE MILE RD  
 R.O.W. VARIES



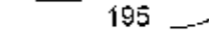
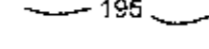
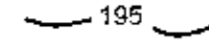
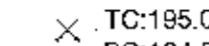

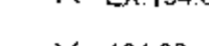
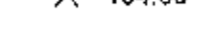
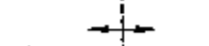



- NOTES:
- SEE SHEET C0.1 FOR GENERAL DEMOLITION NOTES.
  - LOCATION OF UTILITIES ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY.
  - ALL UTILITIES ARE TO REMAIN UNLESS OTHERWISE NOTED.



T:\V\_PCG0002 - W NINE MILE ENGINEERING DWG SITE DEMOLITION PLANDWG - last printed 1/23/24 by COLIN DAVIS



**GRADING AND DRAINAGE PLAN LEGEND**

-  EX. CONTOUR
-  PROP. MINOR CONTOUR
-  PROP. MAJOR CONTOUR
-  TOP OF CURB  
BOTTOM OF CURB
-  EXISTING SPOT ELEVATION
-  PROPOSED SPOT ELEVATION
-  GRADE BREAK
-  STORM INLET (SEE DETAIL)
-  SLOPE PAVED HEADWALL
-  PROP STORM SEWER PIPE
-  EX STORM SEWER PIPE

- NOTES:**
- SEE SHEET C0.1 FOR GENERAL GRADING NOTES.
  - MAX SLOPES IN ADA AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION.
  - MAX LONGITUDINAL SLOPE ON ADA RAMP IS 8.33%.
  - SEE SHEET C3.1 FOR DRAINAGE PIPE PROFILES & INFORMATION.
  - ROOF DRAINS TO DISCHARGE THROUGH FACE OF CURB (TYP). (SEE DETAIL)

**MANHOLE, CURB & GRADE INLET STRUCTURE TABLE**

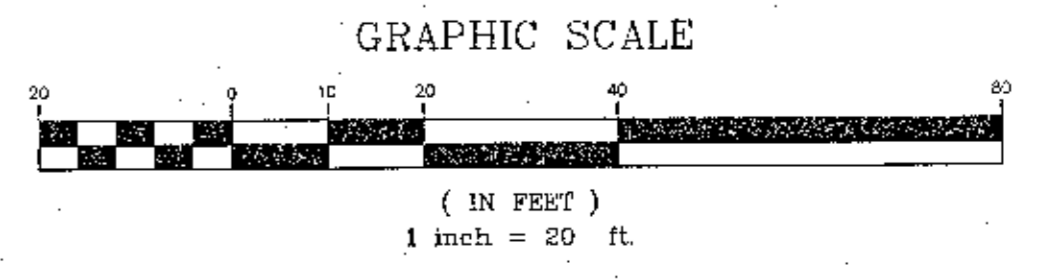
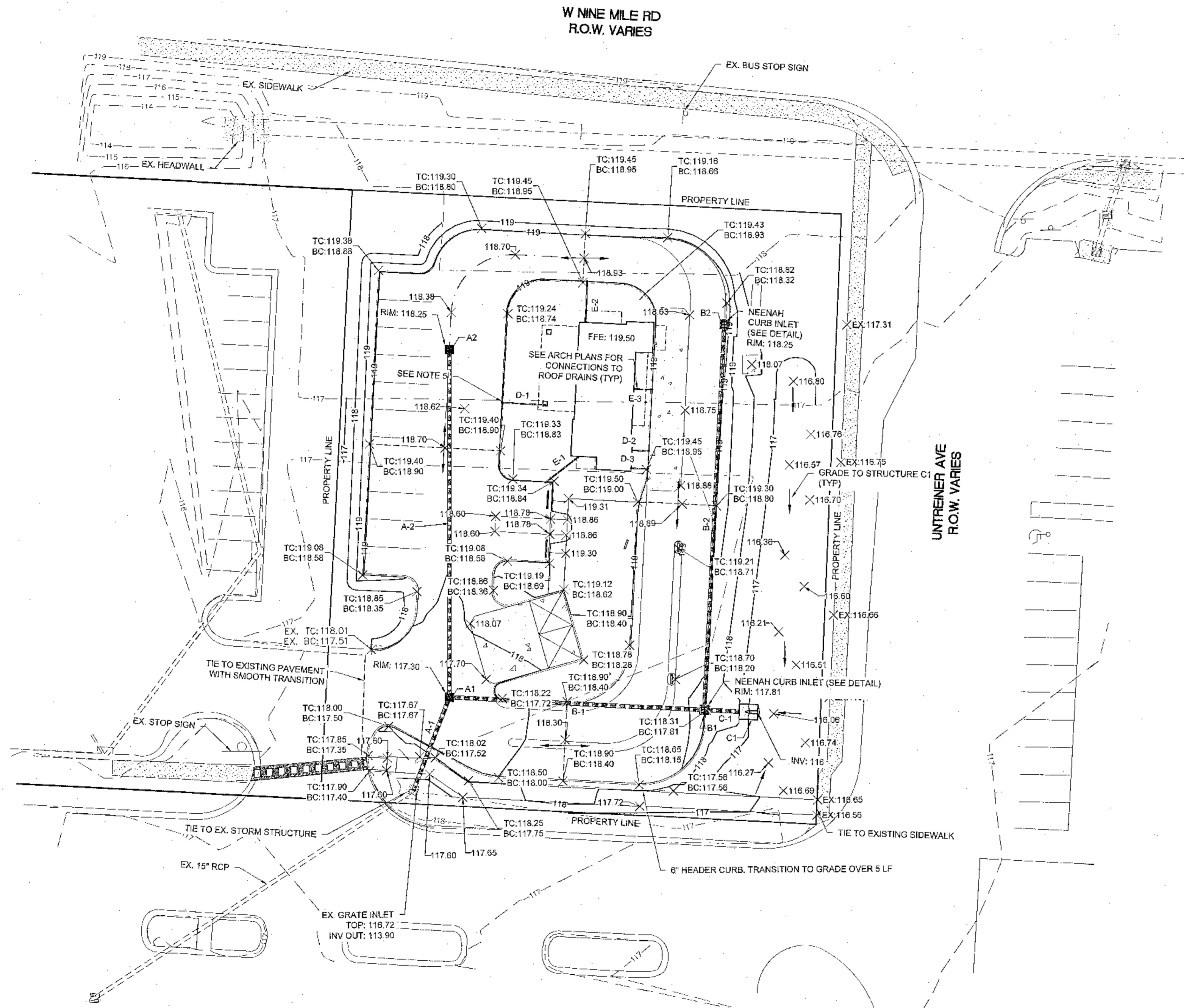
STRUCTURE ID	STRUCTURE INFORMATION
A1	24 X 24 RIM = 117.30 15" INV = 114.26 (N) (PIPE # A-2) 15" INV = 114.28 (E) (PIPE # B-1) 15" INV = 114.16 (S) (PIPE # A-1)
A2	24 X 24 RIM = 118.25 15" INV = 114.83 (S) (PIPE # A-2)
B1	NEENAH CURB INLET RIM = 117.81 15" INV = 114.69 (N) (PIPE # B-2) 15" INV = 114.69 (E) (PIPE # C-1) 15" INV = 114.69 (W) (PIPE # B-1)
B2	NEENAH CURB INLET RIM = 118.25 15" INV = 115.43 (S) (PIPE # B-2)

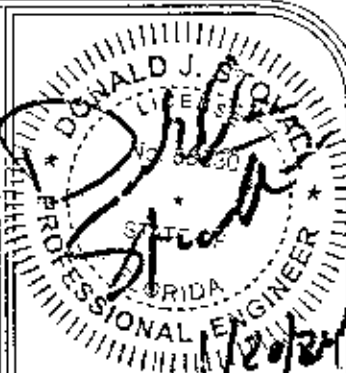
**STORM STRUCTURE TABLE**

STRUCTURE ID	STRUCTURE INFORMATION
C1	3:1 SLOPED PAVED HEADWALL 15" INV = 116.00 (W)

**Pipe Table**

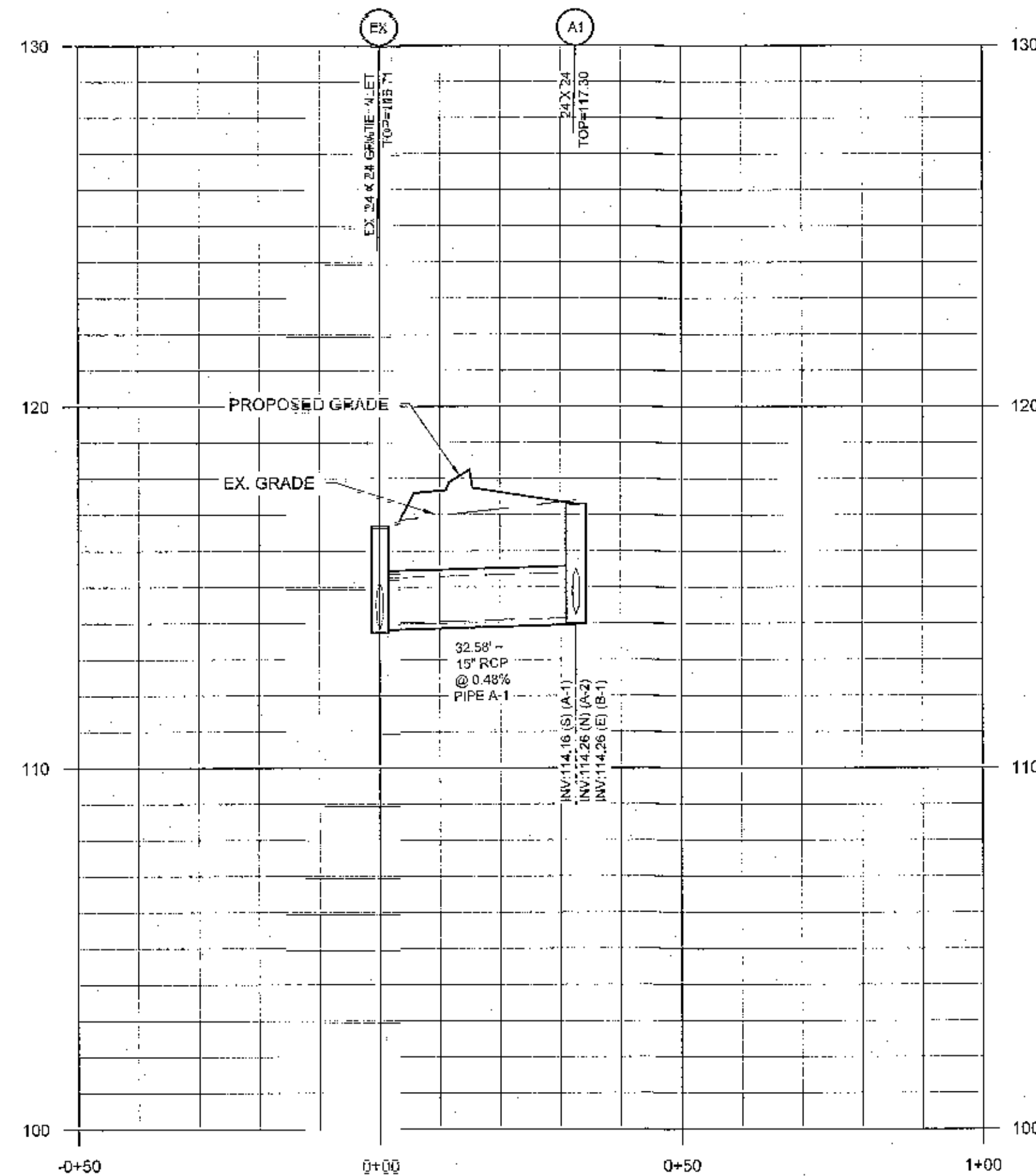
NAME	LENGTH	MATERIAL
D-1	14.35'	4" PVC
D-2	5.50'	4" PVC
D-3	5.50'	4" PVC
D-4	13.29'	4" PVC
D-5	13.28'	4" PVC
D-6	5.73'	4" PVC



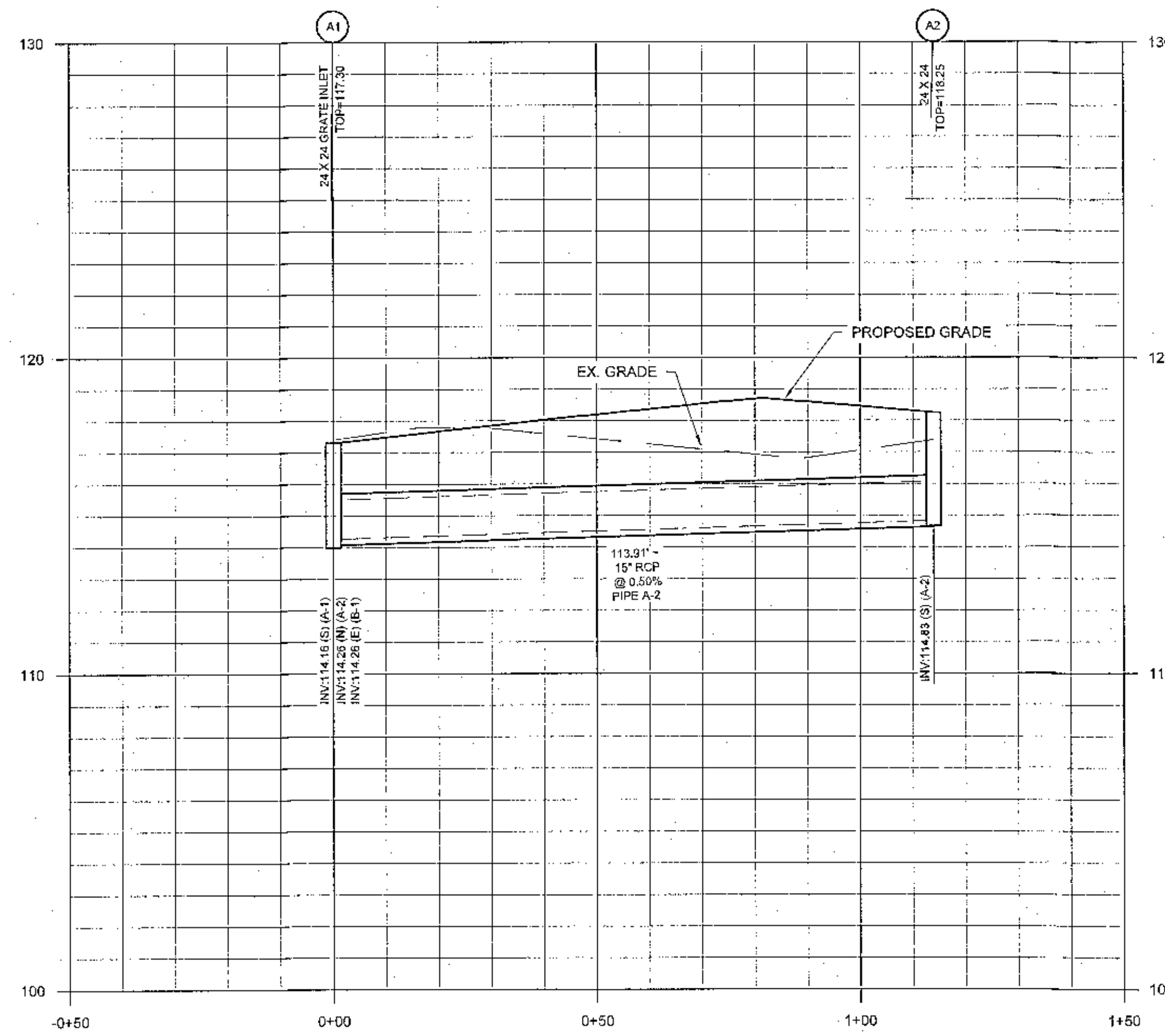


ENGINEERING DESIGN GROUP  
 PELHAM, AL  
 120 BISHOP CIRCLE SUITE 300  
 PELHAM, AL 36124  
 (205) 403-9159  
 FOLEY, AL  
 1000 E. LAUREL STREET  
 FOLEY, AL 36535  
 (251) 943-9960

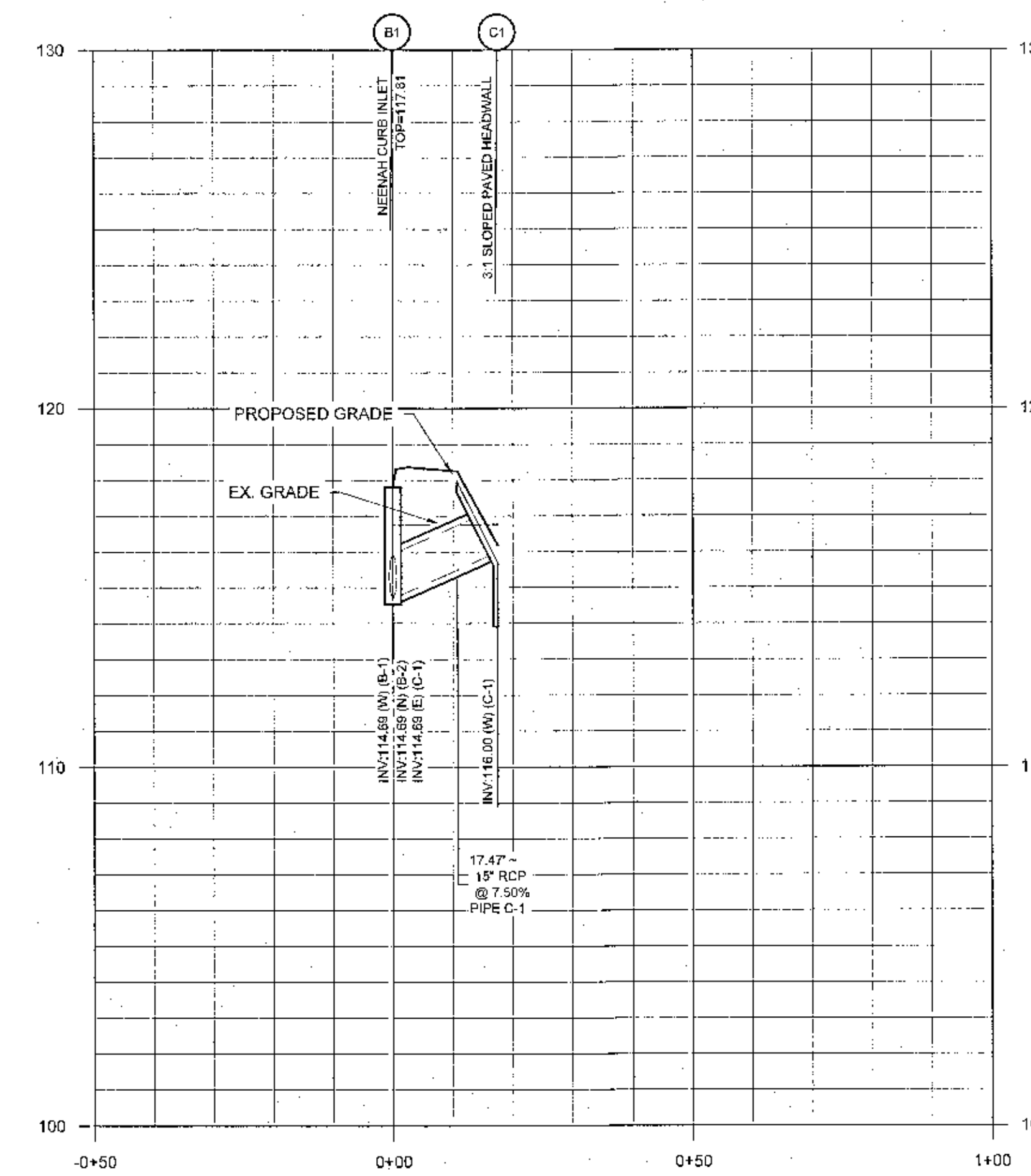
STORM LINE A-1



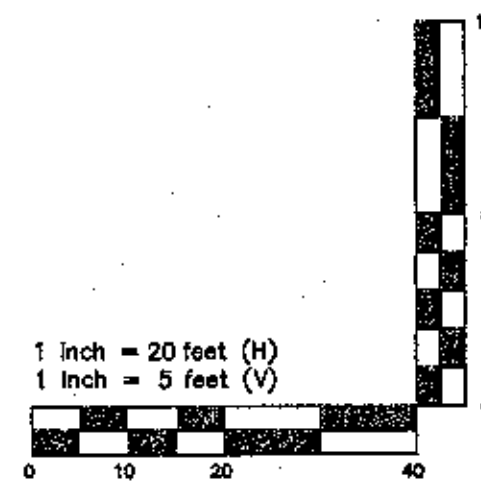
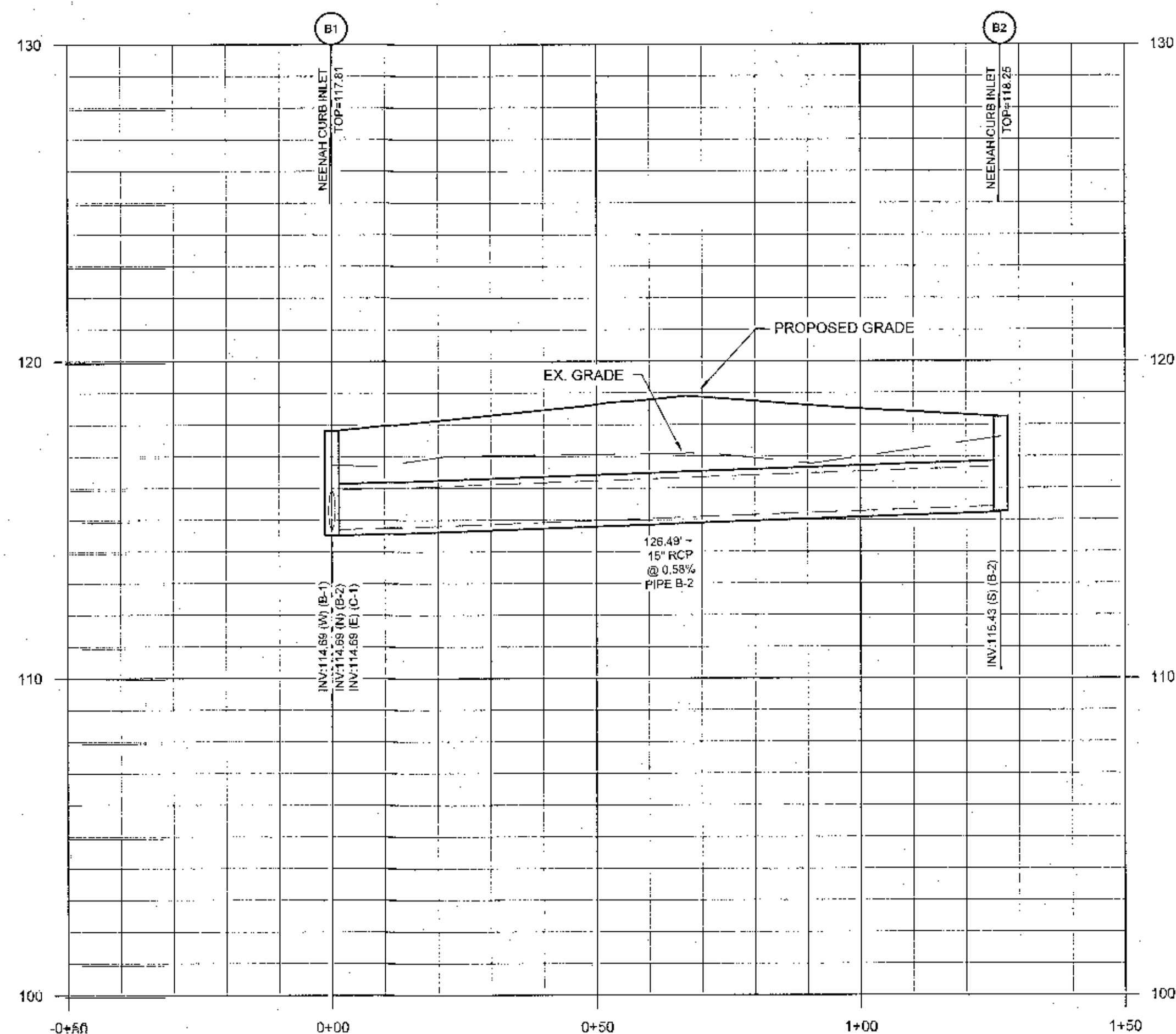
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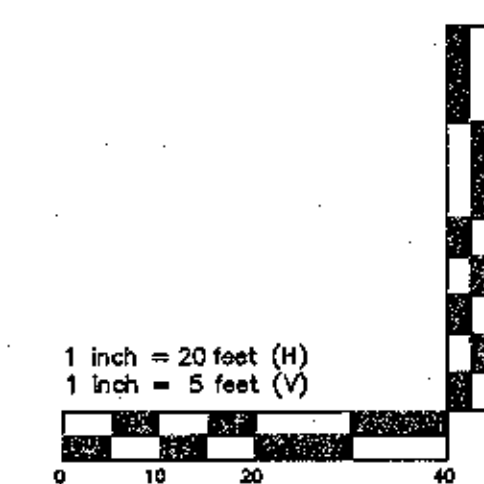
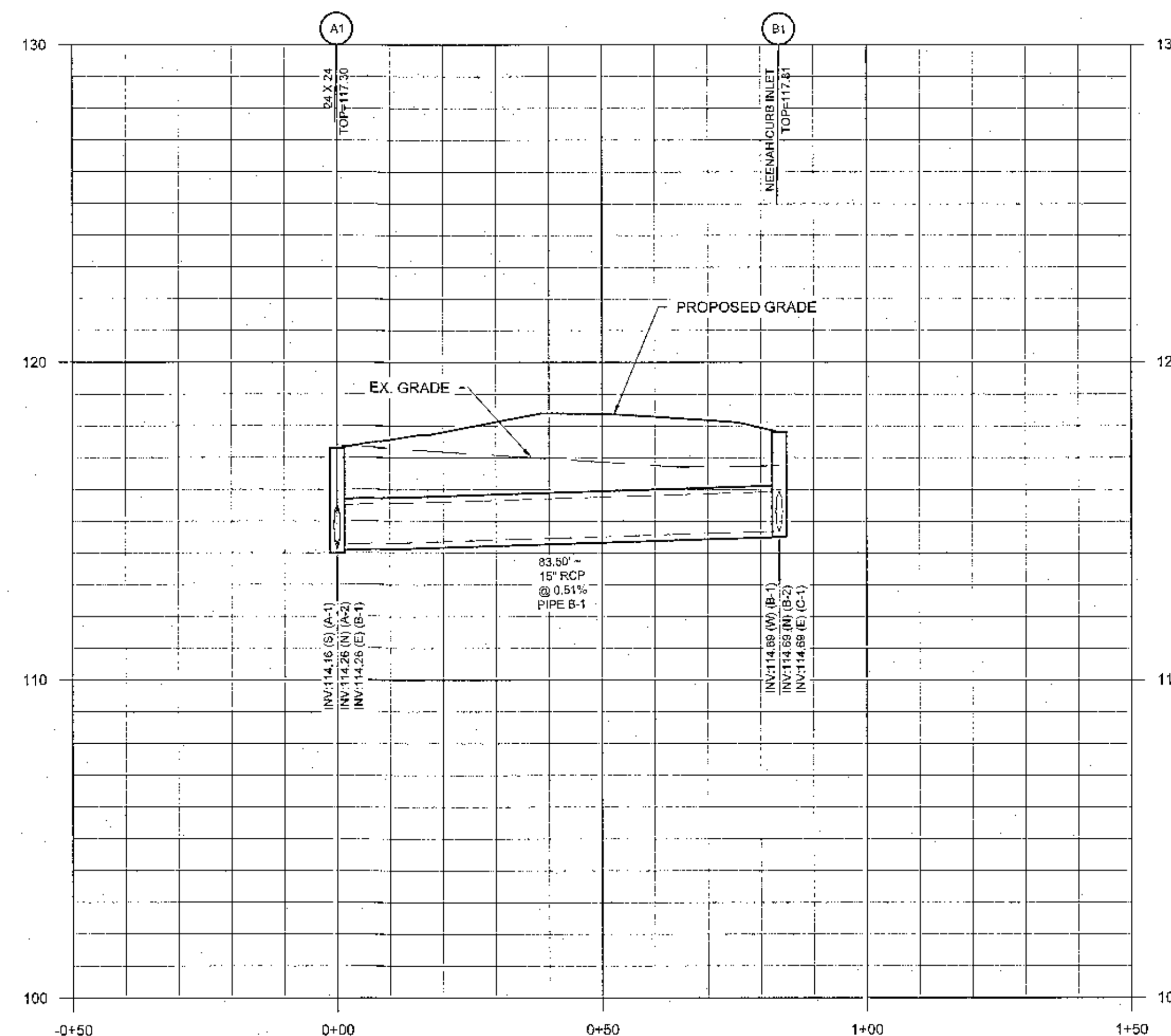
STORM LINE C-1



STORM LINE B-2



STORM LINE B-1



ISSUE FOR REVIEW NOT FOR CONSTRUCTION

PROJECT ADDRESS:  
 523 W NINE MILE ROAD  
 ESCAMBIA COUNTY, FLORIDA

SHEET TITLE:  
 STORM PROFILES

PROJECT NAME:  
 W NINE MILE ROAD  
 DUTCH BROS

DRAWN BY:  
 CLD

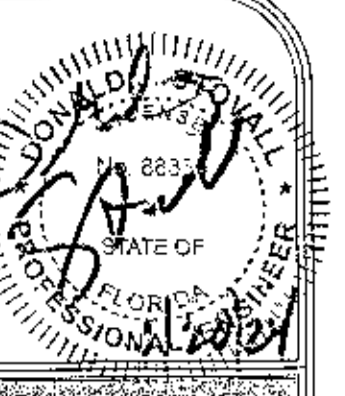
CHECKED BY:  
 DJS

PROJECT No.:  
 F\_PCG0002

DATE:  
 January 16, 2024

SHEET NO.  
 C3.1

T:\\_PROJECTS\W NINE MILE\ENGINEERING\DWG\REF\PK SURFACE.DWG - last plotted 1/23/24 by COUN DAVIS



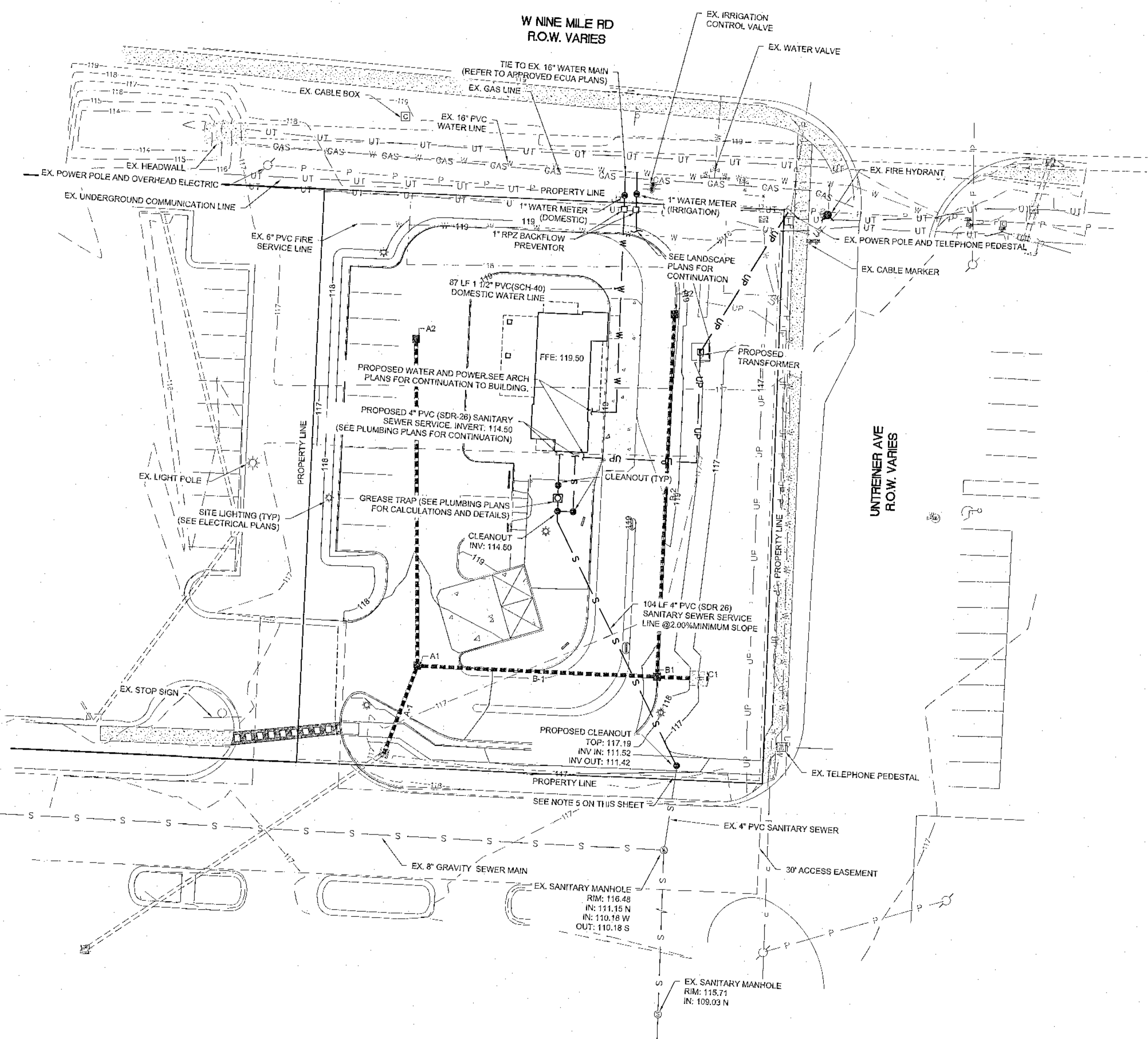
ENGINEERING DESIGN GROUP  
 PELHAM, AL  
 120 BISHOP CIRCLE SUITE 300  
 PELHAM, AL 36124  
 (205) 403-9158  
 FOLEY, AL  
 1000 E. LAUREL STREET  
 FOLEY, AL 36535  
 (251) 943-8960

ISSUED FOR REVIEW NOT FOR CONSTRUCTION  
 REVISIONS

PROJECT ADDRESS:  
**523 W NINE MILE ROAD**  
 ESCAMBIA COUNTY, FLORIDA  
 SHEET TITLE:  
**SITE UTILITY PLAN**

PROJECT NAME:  
**W NINE MILE ROAD**  
**DUTCH BROS**

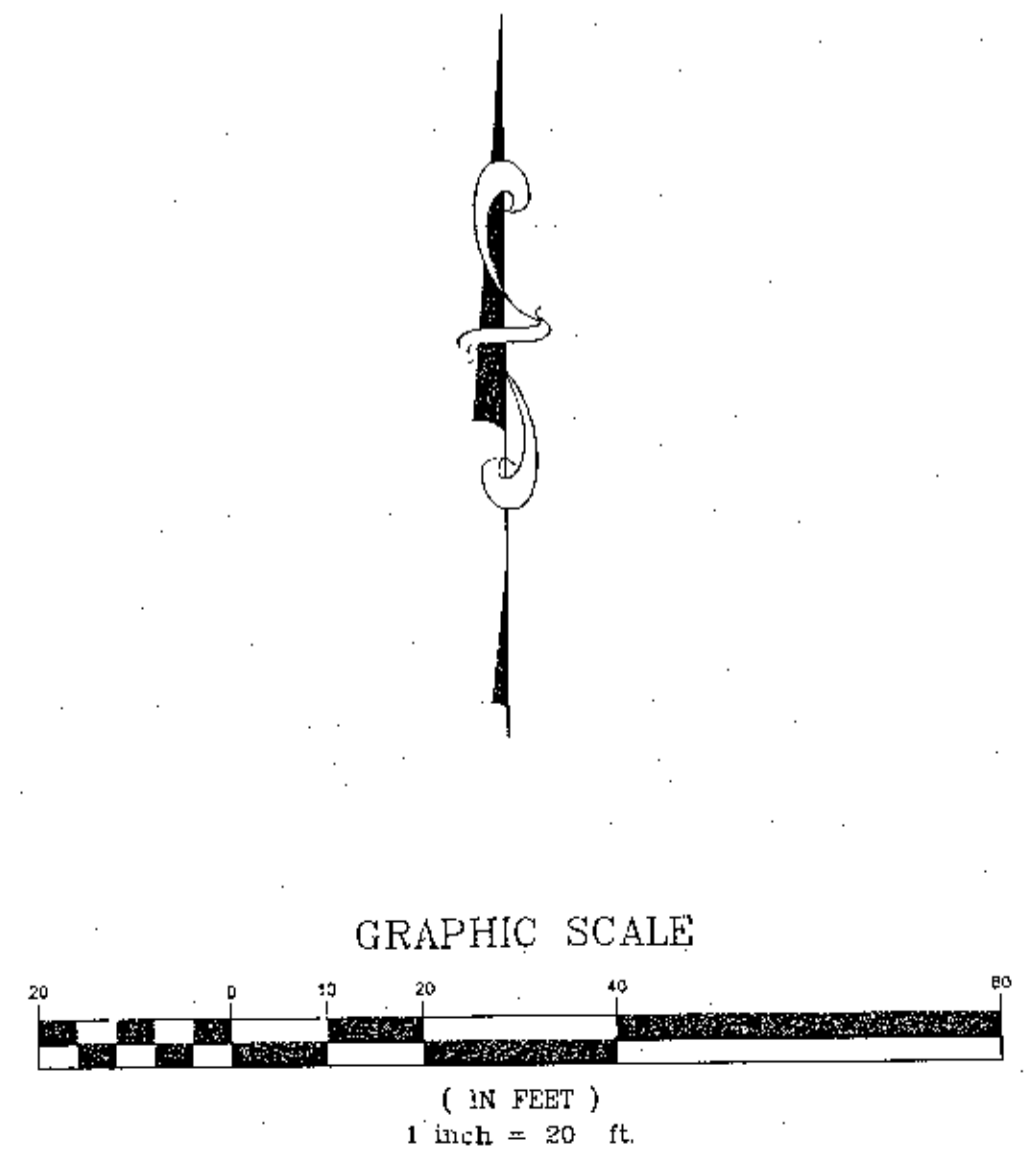
DRAWN BY: CLD  
 CHECKED BY:  
 PROJECT No.: F\_PCG0002  
 DATE: January 17, 2024  
 SHEET NO.: **C4.0**



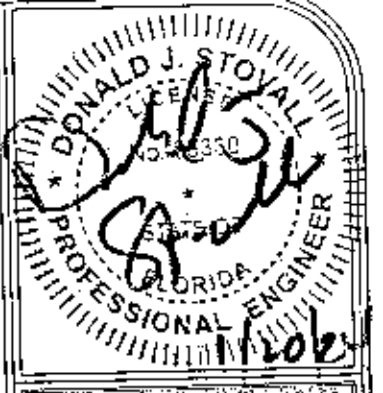
**UTILITY PLAN LEGEND**

— W —	WATER LINE
— S —	SANITARY SEWER MAIN
— SS —	SANITARY SEWER SERVICE
— UP —	UNDERGROUND POWER
— OHE —	OVERHEAD ELECTRIC
— T —	TELEPHONE LINE
— G —	NATURAL GAS MAIN
⊙	SANITARY SEWER MANHOLE
⊙	CLEANOUT
⊙	FIRE HYDRANT ASSEMBLY
⊙	POWER POLE
⊙	GUY WIRE
⊙	TELEPHONE PEDESTAL
⊙	PHONE MARKER
⊙	WATER VALVE
⊙	GAS VALVE

- NOTES:**
- SEE SHEET C0.1 FOR GENERAL UTILITY NOTES.
  - REFER TO MEP AND ARCHITECTURAL PLANS FOR CONTINUATION OF UTILITY SERVICES INTO THE BUILDING.
  - LOCATION OF EXISTING SERVICES ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH.
  - PROPOSED UNDERGROUND ELECTRICAL SHOWN FOR COORDINATION OF LOCATION. CONTRACTOR TO COORDINATE EXACT DETAILS WITH ELECTRICAL ENGINEER AND POWER SERVICE PROVIDER.
  - TIE PROPOSED CLEANOUT TO EX. LATERAL. CONTRACTOR SHALL FIELD VERIFY LOCATION AND DEPTH. NOTIFY ENGINEER IMMEDIATELY IF LOCATION AND ELEVATION IS DIFFERENT THAN WHAT IS SHOWN ON THE PLANS.



T:\V\_PCG0002 - W NINE MILE ENGINEERING DWG UTILITY.DWG - last plotted 1/23/24 by COLIN DAVIS



**EDG**  
ENGINEERING DESIGN GROUP

PELHAM, AL  
120 BISHOP CIRCLE SUITE 300  
PELHAM, AL 35124  
(205) 403-9158

FOLEY, AL  
1000 E LAUREL STREET  
FOLEY, AL 36555  
(251) 943-8960

ISSUED FOR REVIEW NOT FOR CONSTRUCTION

PROJECT ADDRESS:  
523 W NINE MILE ROAD  
ESCAMBIA COUNTY, FLORIDA

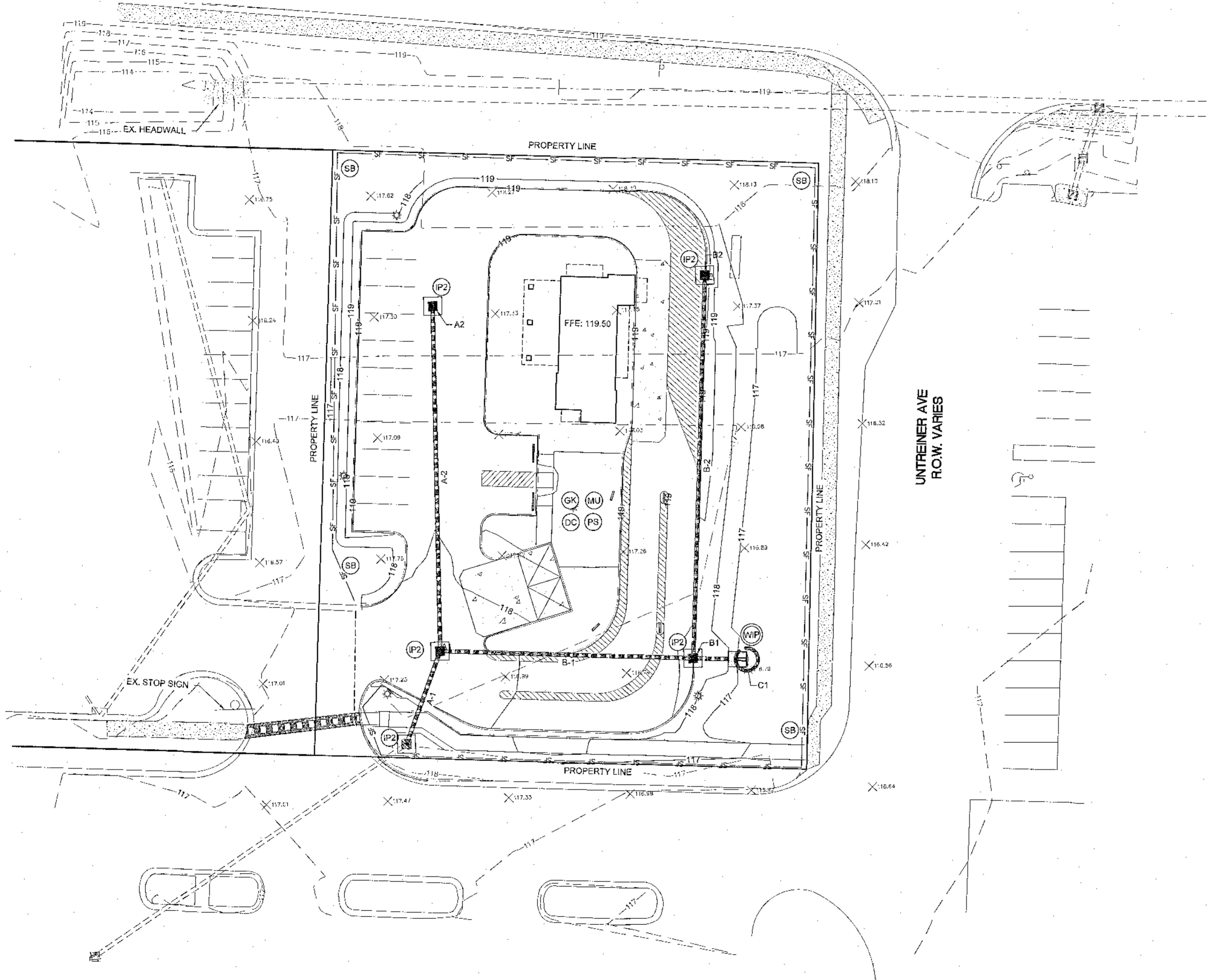
SHEET TITLE:  
EROSION CONTROL PHASE 2

PROJECT NAME:  
W NINE MILE ROAD  
DUTCH BROS

DRAWN BY:  
CLD  
CHECKED BY:  
PROJECT No.:  
F\_PCG0002  
DATE:  
December 12, 2023  
SHEET No.:  
C5.0

W NINE MILE RD  
R.O.W. VARIES

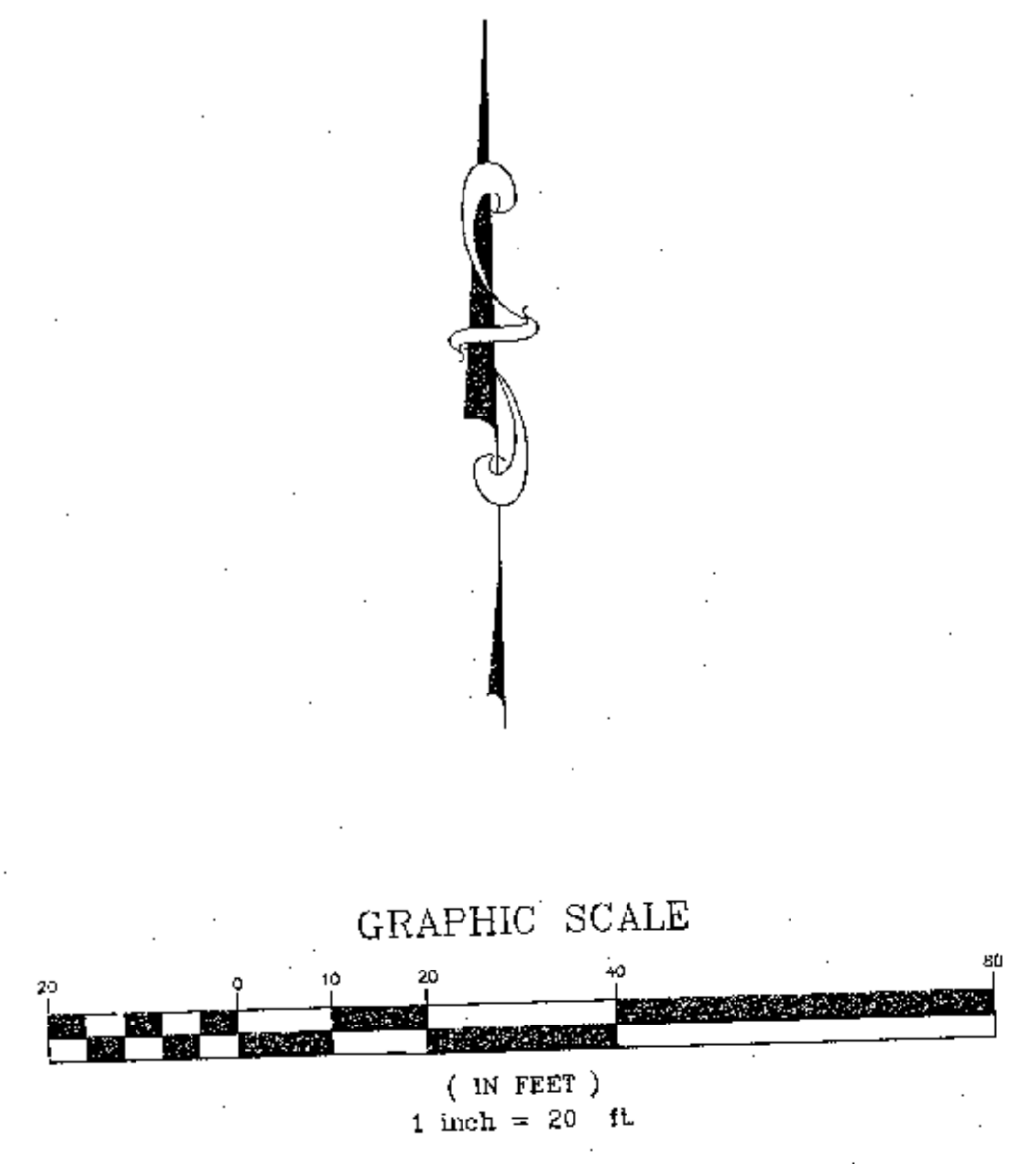
UNTRAINER AVE  
R.O.W. VARIES

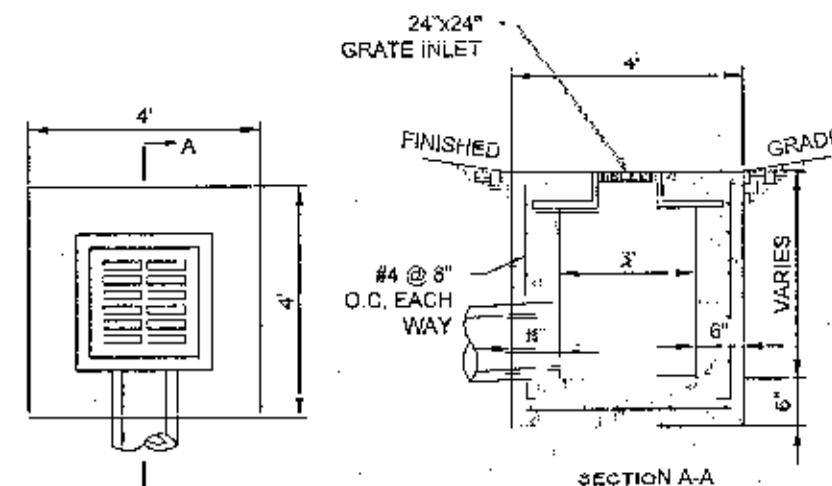


EROSION CONTROL LEGEND			
SF	SB	PS	PERMANENT SEEDING
WIP	MU	MU	MULCHING
IP2	GK	GK	GROUNDS KEEPING
CWA	DC	DC	DUST CONTROL

NOTES:

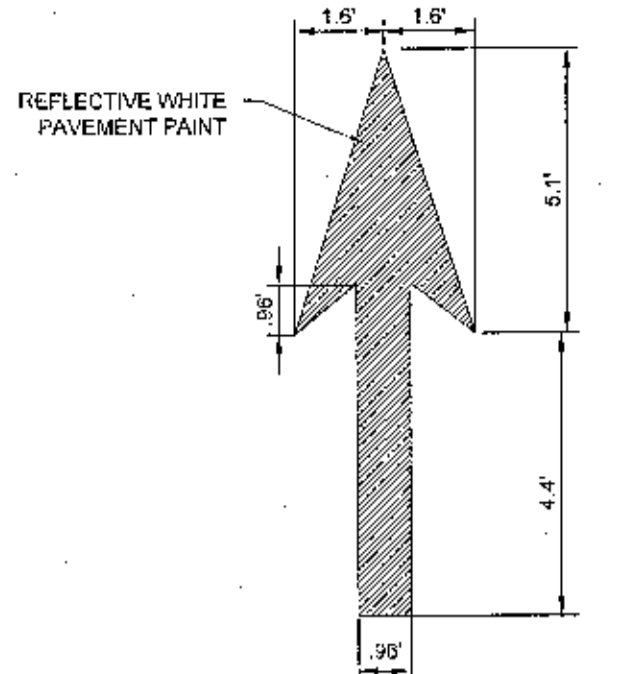
- SEE LANDSCAPING PLAN FOR COORDINATION OF FINAL SITE STABILIZATION AND LANDSCAPING. ENSURE ALL AREAS DISTURBED ON SITE ARE STABILIZED AT COMPLETION OF PROJECT AND ALL CONSTRUCTION DEBRIS HAS BE REMOVED FROM SITE.
- THE SEDIMENT AND EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIRED. THE CONTRACTOR IS TO MAINTAIN AND ADD ADDITIONAL MEASURES AS NECESSARY TO ENSURE NO SEDIMENT LEAVES THE SITE.
- SEE SHEET C0.1 FOR GENERAL EROSION CONTROL NOTES.
- IMMEDIATELY PRIOR TO FINAL STABILIZATION, ALL SILT AND SEDIMENT SHALL BE CLEARED FROM THE STORM DRAIN PIPES.



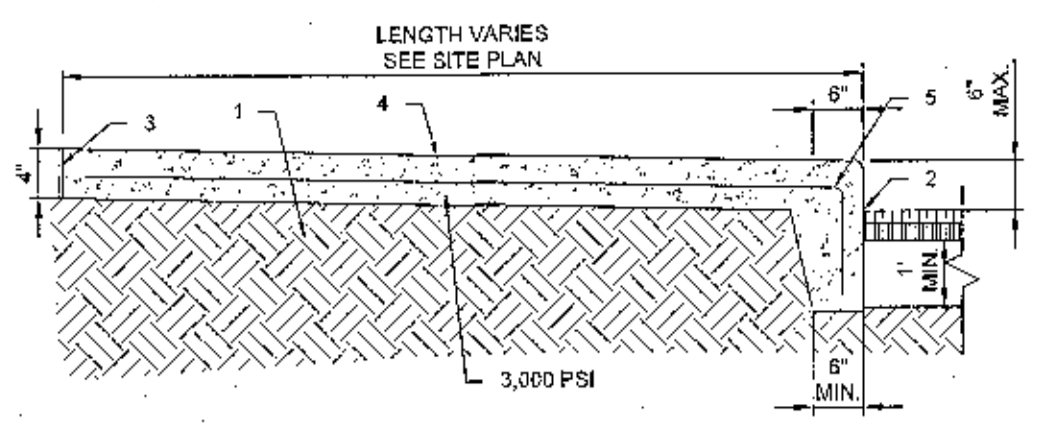


**NOTES:**  
 1. FOR INLETS IN VEHICULAR TRAFFIC AREAS THE GRATE SHALL BE HEAVY DUTY. FOR INLETS IN HARDSCAPE PEDESTRIAN AREAS, INLET FRAME AND GRATE SHALL BE NEENAH R-3210-Q OR SIMILAR AND EQUAL.  
 2. STRUCTURES ARE TO BE PRECAST CONCRETE. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO ENGINEER FOR APPROVAL.  
 (\*) TO ACCOMMODATE SKEWED PIPE, LARGER PIPE, SEVERAL PIPES, OR FIT OTHER CONDITIONS, IT MAY BE NECESSARY TO INCREASE ONE OR BOTH PLAN VIEW DIMENSIONS OF INLET BOX AND COVER SLAB.

GRATE INLET IN PAVED AREAS  
N.T.S.

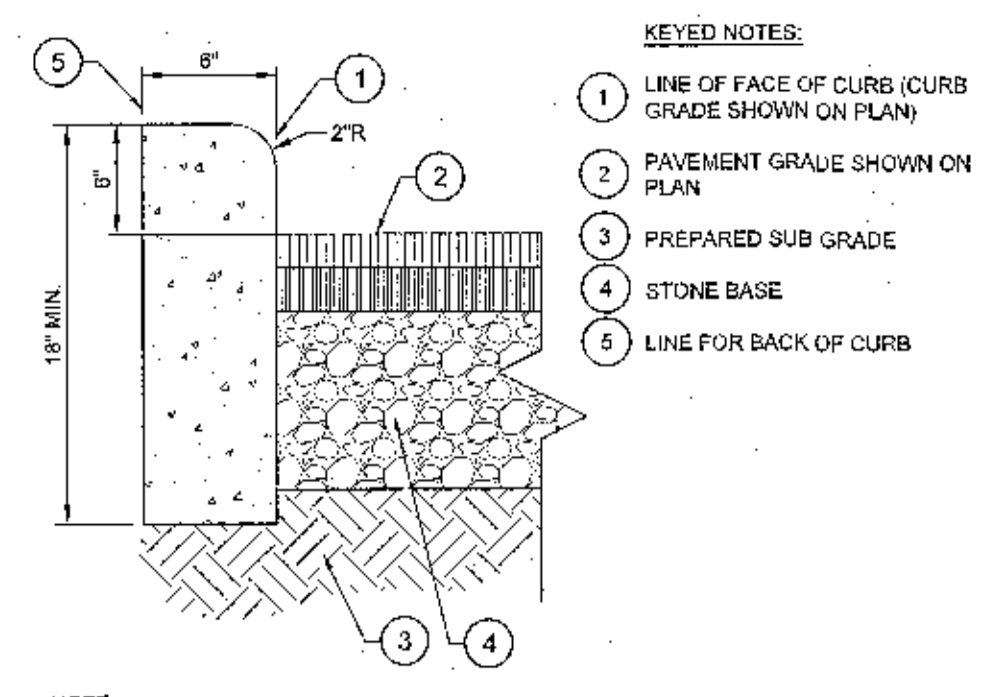


PAINTED STRAIGHT ARROW  
N.T.S.



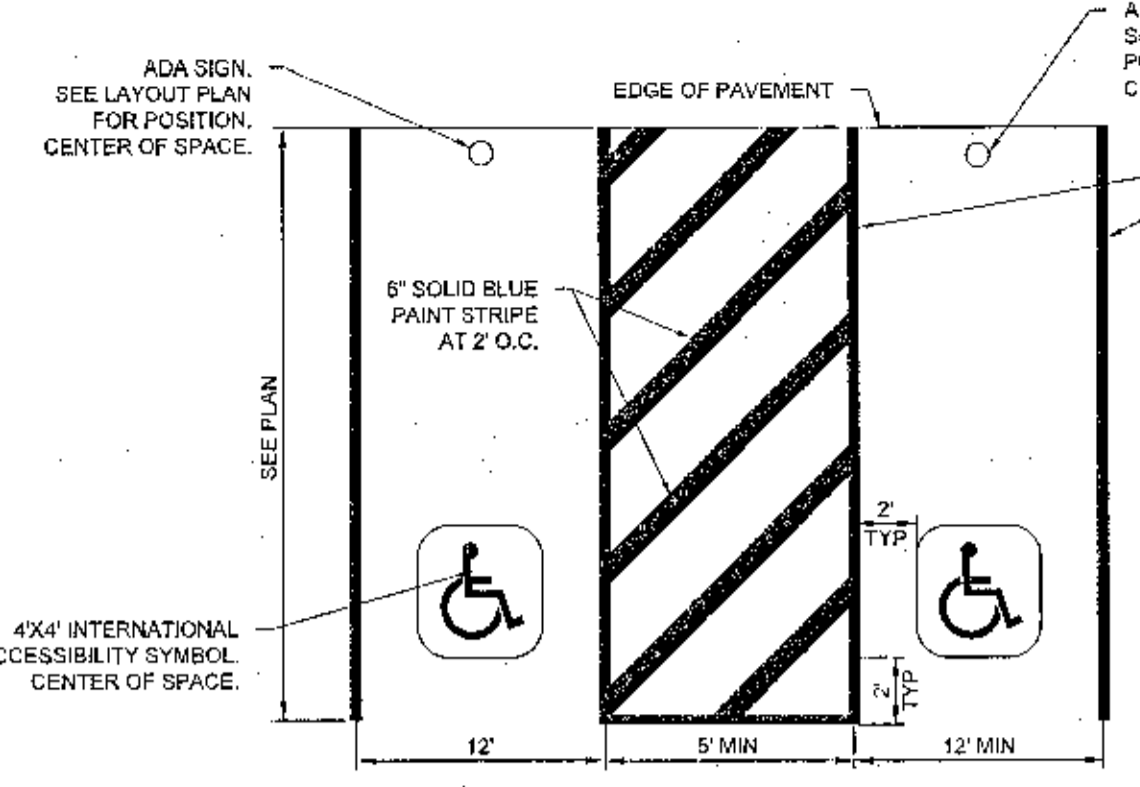
**KEYED NOTES:**  
 1. COMPACTED SUBGRADE  
 2. PAVEMENT  
 3. COMPRESSIBLE FILLER, CUT BACK AND PROVIDE SEALANT, TYPICAL, AT ALL JOINTS WITH FILLER.  
 4. 1/2" CONTRACTION JOINT EVERY 5' TO 10'; EXPANSION JOINT EVERY 15 FEET.  
 5. 6" X 6" W/ 4 X W/ 4 W.W.R.

PERIMETER SIDEWALK CURB DETAIL  
N.T.S.



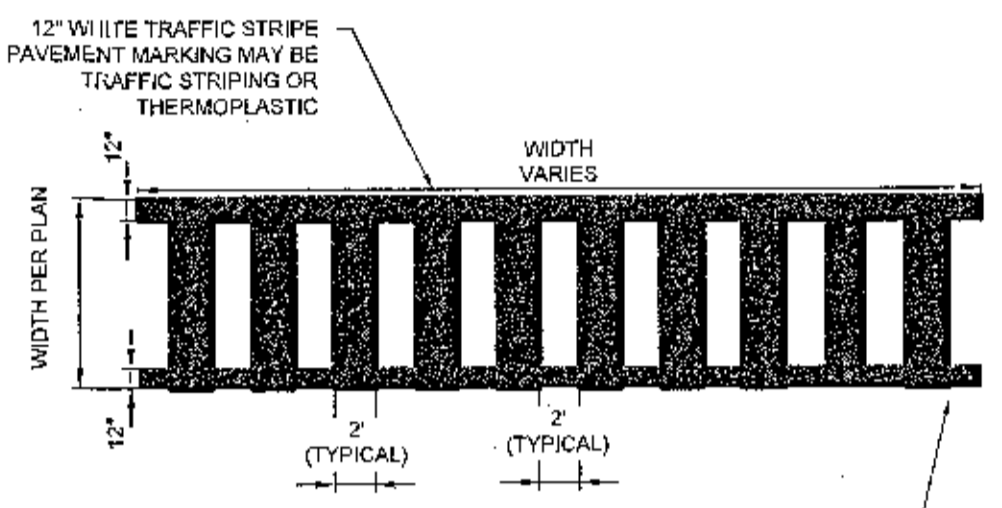
**KEYED NOTES:**  
 1. LINE OF FACE OF CURB (CURB GRADE SHOWN ON PLAN)  
 2. PAVEMENT GRADE SHOWN ON PLAN  
 3. PREPARED SUB GRADE  
 4. STONE BASE  
 5. LINE FOR BACK OF CURB

6" HEADER CURB  
N.T.S.



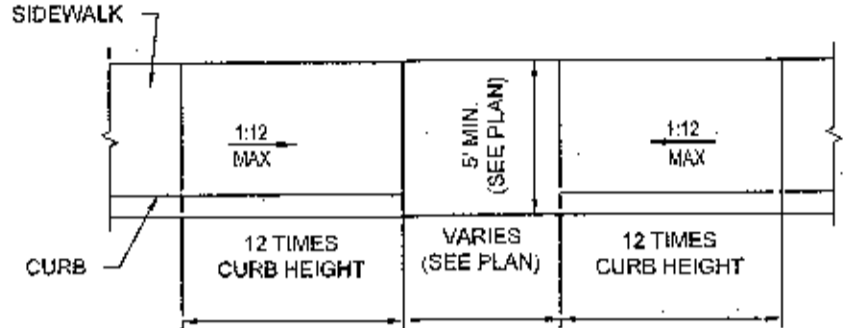
**NOTES:**  
 1. ALL ACCESSIBLE PARKING AND ROUTES TO CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND FLORIDA BUILDING CODE  
 2. FOR VAN SPACE, 12' MINIMUM SPACE WITH 6' MINIMUM ACCESS AISLE.  
 3. CAN REPEAT DETAIL IF ADDITIONAL SPACES ARE REQUIRED. (SEE LAYOUT PLAN).  
 4. SIGN NOTES:  
 a. SIGNS LOCATED IN PAVEMENT SHALL BE BOLLARD TYPE SIGN. SEE BOLLARD MOUNTED ACCESSIBLE SIGN DETAIL.  
 b. SIGNS LOCATED BEYOND PAVEMENT SHOULD BE MOUNTED ON POST PER ACCESSIBLE SIGN DETAIL.  
 c. DO NOT PLACE SIGNS WITHIN THE ACCESSIBLE ROUTE  
 5. CONTRACTOR TO VERIFY WITH LOCAL CODES FOR ANY ADDITIONAL REQUIREMENTS.

ACCESSIBLE PARKING  
N.T.S.



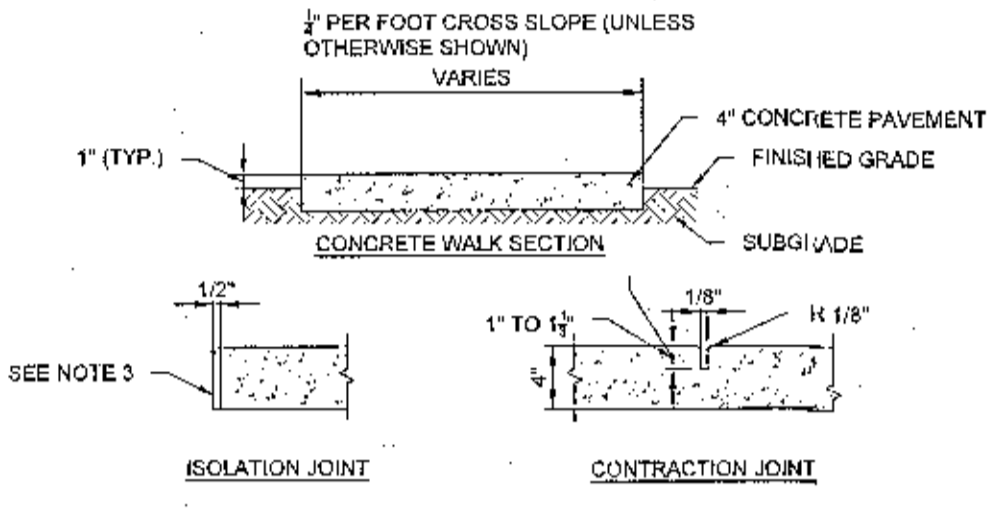
**NOTES:**  
 1. CROSSWALK LINES SHALL CONSIST OF SOLID WHITE LINES THAT MARK THE CROSSWALK. THE LINES SHALL NOT BE LESS THAN 2 FEET IN WIDTH.  
 2. CROSSWALK LINES SHOULD EXTEND THE FULL WIDTH OF PAVEMENT FROM CURB TO CURB ON TO THE EDGE OF THE INTERSECTING CROSSWALK.  
 3. FOR ADDED VISIBILITY, THE CROSSWALK AREA MAY BE MARKED WITH WHITE DIAGONAL LINES AT 45 DEGREE ANGLE TO THE LINE OF THE CROSSWALK.

PEDESTRIAN CROSSWALK  
N.T.S.



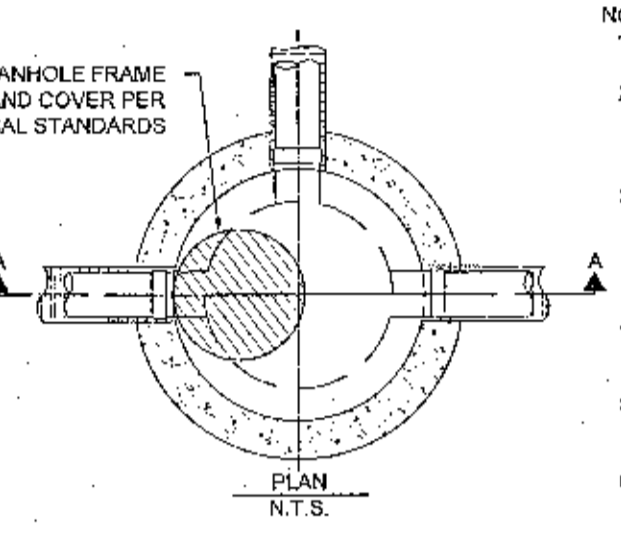
**NOTES:**  
 1. THE FULL WIDTH, DEPTH, AND FLARES SHALL BE PAINTED YELLOW OR PER LOCAL/PROJECT REQUIREMENTS.  
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT OF 1990 (INCLUDING CONTRASTING TEXTURES, AS REQUIRED).

ADA INLINE CURB RAMP  
N.T.S.



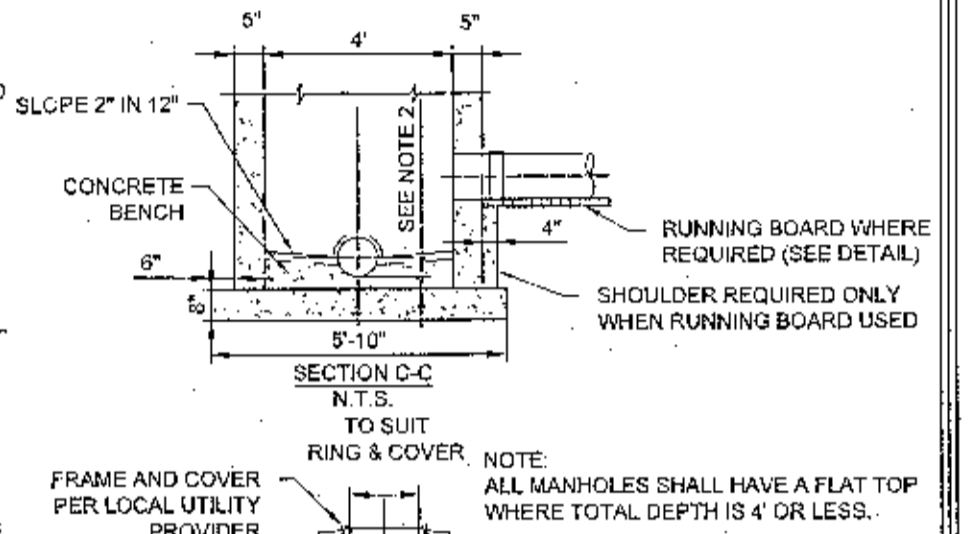
**NOTES:**  
 1. CONTRACTION (SAW CUT) JOINTS TO BE EVERY 5 TO 8 FEET WITH A MAXIMUM SPACING OF TWICE THE SLAB THICKNESS IN FEET, CUT TO A DEPTH OF 1" MINIMUM TO 1 1/2" MAXIMUM.  
 2. CUT CONTRACTION JOINTS BETWEEN 2 HOURS AND 12 HOURS OF CONCRETE PLACEMENT.  
 3. PLACE ISOLATION JOINTS WHEN ADJACENT TO BUILDINGS, CURBS, ETC. USE A 1" THICK PRE-MOLDED EXPANSION JOINT FILLER CONFORMING TO ASTM D1751 OR D1752 TO CREATE A BOND BREAK. INSTALL JOINT SEALER OVER JOINT FILLER.  
 4. CONCRETE TO BE 4000 PSI COMPRESSIVE STRENGTH UNLESS OTHERWISE NOTED.  
 5. PLACE SIDEWALK ON COMPACTED SUBGRADE - 95% STANDARD PROCTOR DENSITY (ASTM D998) UNLESS OTHERWISE NOTED.

TYPICAL SIDEWALK DETAIL  
N.T.S.

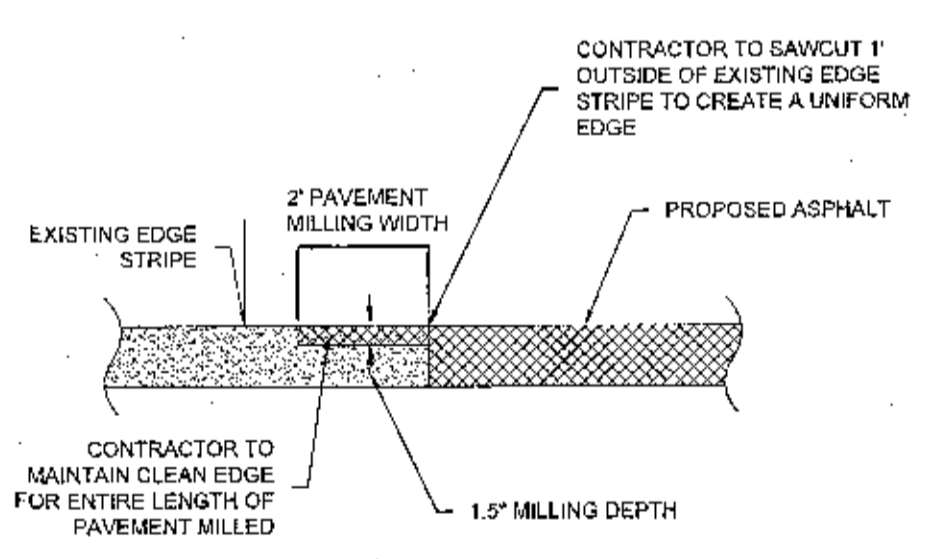


**NOTES:**  
 1. REFER TO LOCAL UTILITY PROVIDER SPECIFICATIONS  
 2. DISTANCE BETWEEN INVERT OF PIPE AND OUTSIDE OF BELL DETERMINES THE ELEVATION OF TOP OF 8" CONCRETE SLAB.  
 3. MANHOLE STEPS SHALL BE STEEL RODS ENCASED IN POLYPROPYLENE PLASTIC AND SHALL BE TYPE 'PS-18' AS MANUFACTURED BY M.A. INDUSTRIES, INC. OR AN APPROVED EQUAL.  
 4. ALL PIPES IN OR OUT OF MANHOLE SHALL BE FLUSH WITH INSIDE WALL OF MANHOLE.  
 5. FOR DEAD END MANHOLES THE FLOW CHANNEL SHALL EXTEND THE WIDTH OF THE MANHOLE.  
 6. MANHOLES WITH A FORCE MAIN DISCHARGE SHALL BE LINED IN ACCORDANCE WITH SECTION 405 OF THE STANDARD SPECIFICATIONS.  
 7. MIN. 12" THICK BEDDING OF #57 STONES SHALL BE PLACED BELOW MANHOLE.

SANITARY SEWER MANHOLE  
N.T.S.

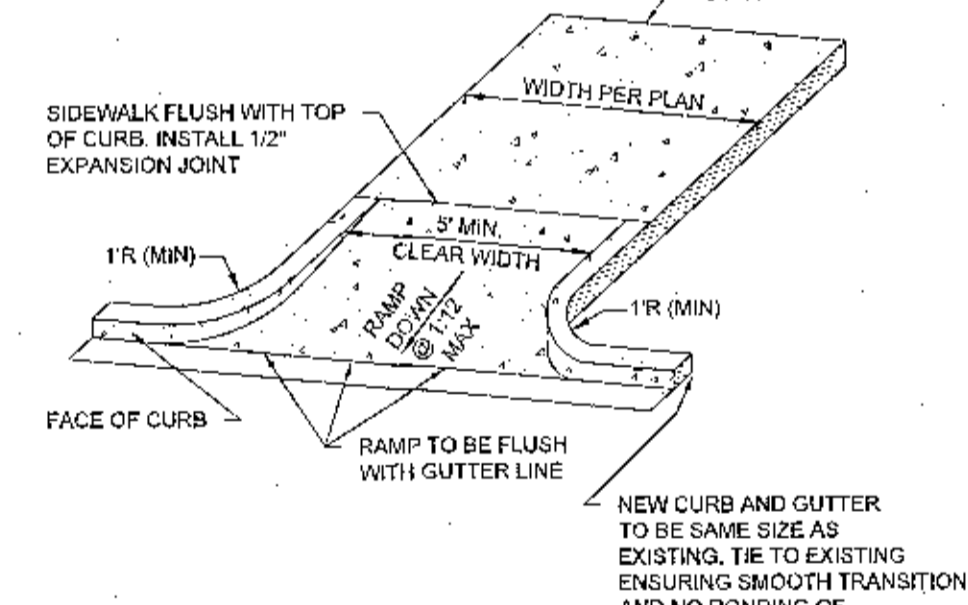


**NOTES:**  
 1. ALL MANHOLES SHALL HAVE A FLAT TOP WHERE TOTAL DEPTH IS 4' OR LESS.  
 2. RUNNING BOARD WHERE REQUIRED (SEE DETAIL)  
 3. SHOULDER REQUIRED ONLY WHEN RUNNING BOARD USED  
 4. FRAME AND COVER PER LOCAL UTILITY PROVIDER  
 5. EX. GRADE  
 6. LADDER RUNS 1" O.C. VERTICALLY PLACED BETWEEN TOP AND SECOND BRICK COURSE  
 7. FOR PIPES SIZES 24" DIA. & SMALLER, BREAK PIPE OUT FOR LARGER SIZE. SEE DETAIL.  
 8. RUNNING BOARDS WHERE REQUIRED  
 9. CONCRETE SLAB



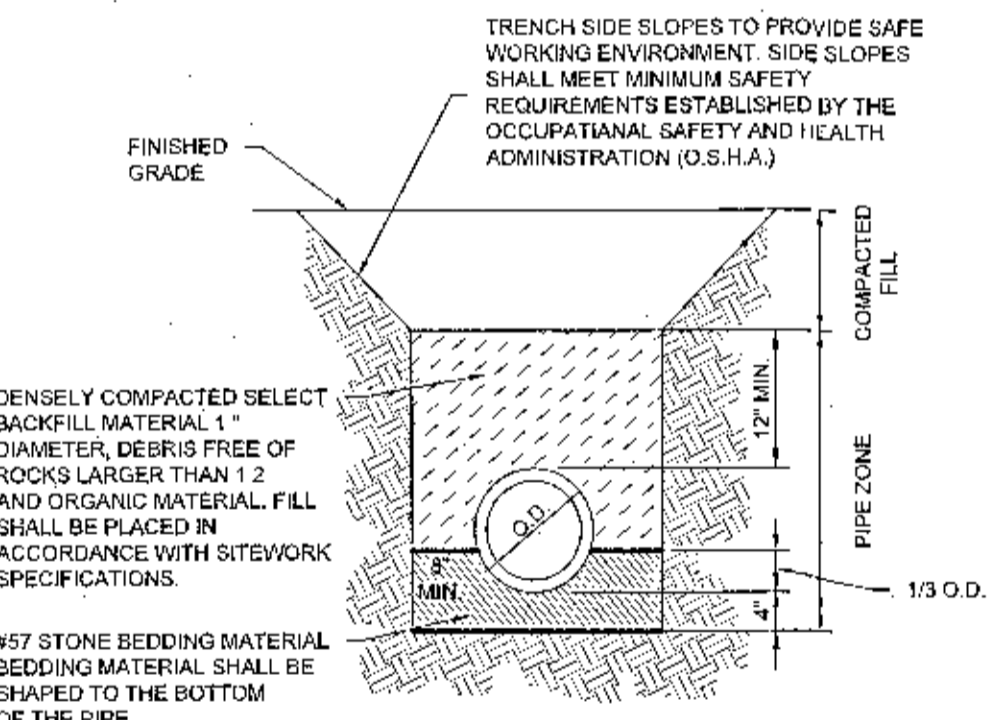
**CONTRACTOR TO SAW CUT 1" OUTSIDE OF EXISTING EDGE STRIPE TO CREATE A UNIFORM EDGE**  
**CONTRACTOR TO MAINTAIN CLEAN EDGE FOR ENTIRE LENGTH OF PAVEMENT MILLED**

LONGITUDINAL ASPHALT PAVEMENT MILLING  
N.T.S.



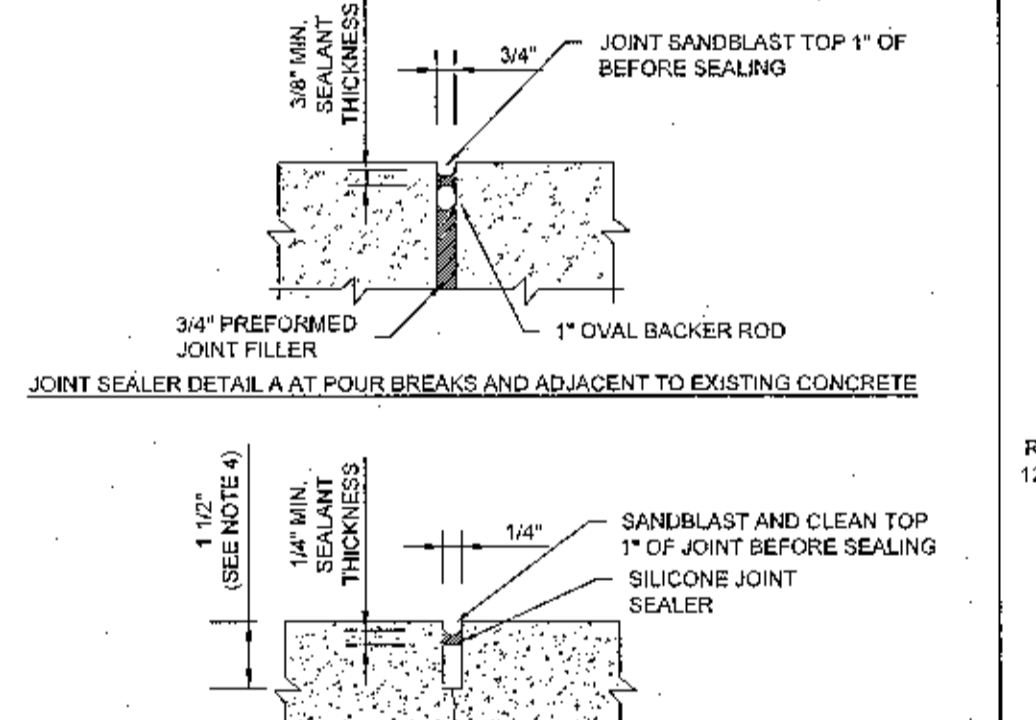
**CONTRACTOR TO SAW CUT 1" OUTSIDE OF EXISTING EDGE STRIPE TO CREATE A UNIFORM EDGE**  
**CONTRACTOR TO MAINTAIN CLEAN EDGE FOR ENTIRE LENGTH OF PAVEMENT MILLED**

ADA CURB RETURN RAMP  
N.T.S.



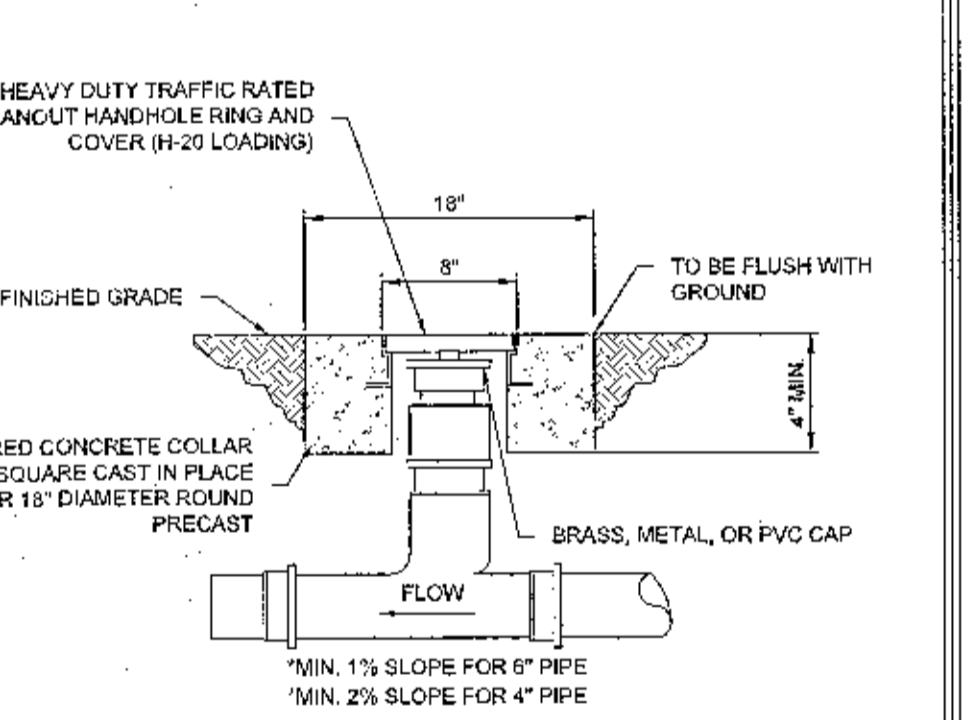
**NOTES:**  
 1. FOR ROCK OR OTHER INCOMPRESSIBLE MATERIALS, THE TRENCH SHALL BE OVER-EXCAVATED A MINIMUM OF 6" AND REFILLED WITH #57 STONE.  
 2. O.D. = OUTSIDE DIAMETER

PIPE BEDDING DETAIL  
N.T.S.



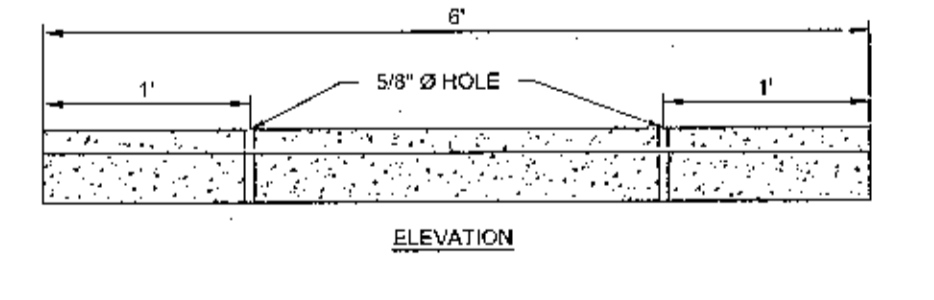
**NOTES:**  
 1. CONTRACTOR SHALL INSTALL 4" OF CRUSHED AGGREGATE BASE COURSE, TYPE B (ALDOT 929) UNDER ALL CONCRETE PAVING  
 2. CONCRETE SHALL HAVE 4000 PSI AT 28 DAYS  
 3. CONTRACTOR SHALL INSTALL CONTROL JOINTS IN CONCRETE PAVING AT 12' MAX SPACING BOTH WAYS. COORDINATE WITH ARCHITECTURAL PLANS FOR SCORING PATTERN.  
 4. CONTROL JOINT TO BE 1/4 OF THE SLAB THICKNESS TYPICALLY.  
 5. EXPANSION JOINTS AT POUR BREAKS AND 100' MAX SPACING. COORDINATE WITH CONTROL JOINTS  
 6. IN LIEU OF REINFORCEMENT SHOWN, CONTRACTOR MAY USE 4x4 W2.5M2.9 WELDED WIRE FABRIC  
 7. IF DRY-CUTTING OF CONTROL JOINTS IS USED, AN ABRASIVE BLADE MAY BE USED IN LIEU OF SANDBLASTING

CONCRETE PAVING  
N.T.S.



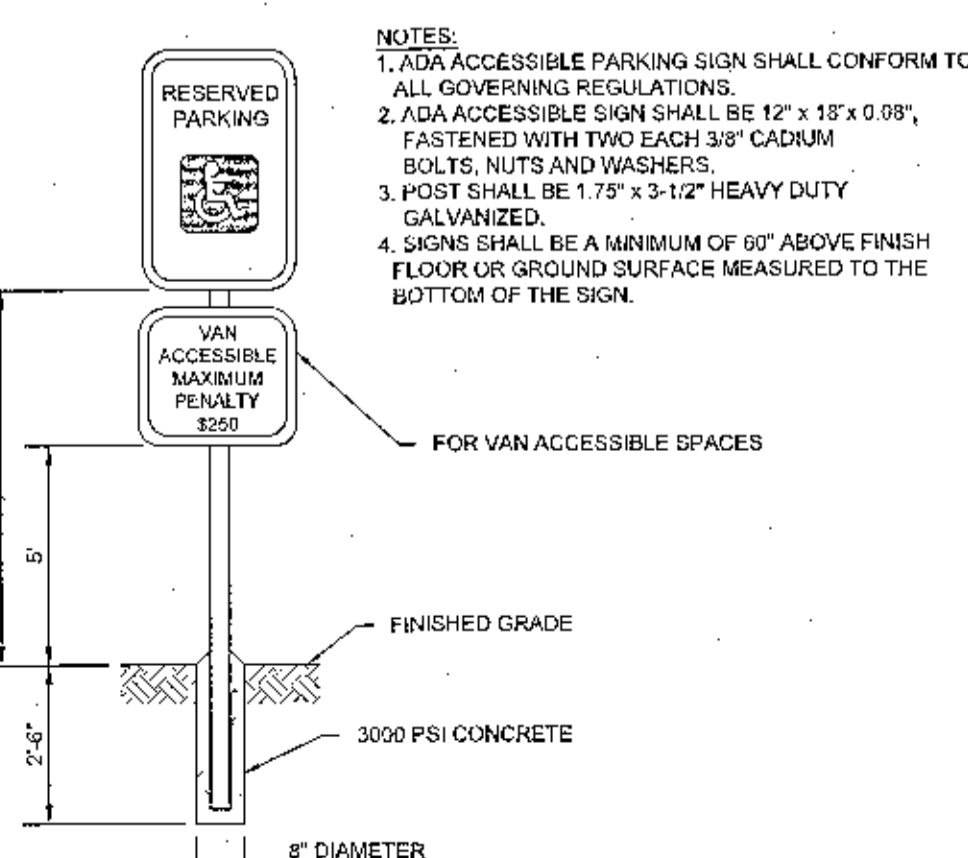
**NOTES:**  
 1. CLEANOUTS ARE REQUIRED AT THE EDGE OF ALL EASEMENTS AND RIGHT OF WAYS, UNLESS APPROVED OTHERWISE

TYPICAL CLEANOUT  
N.T.S.



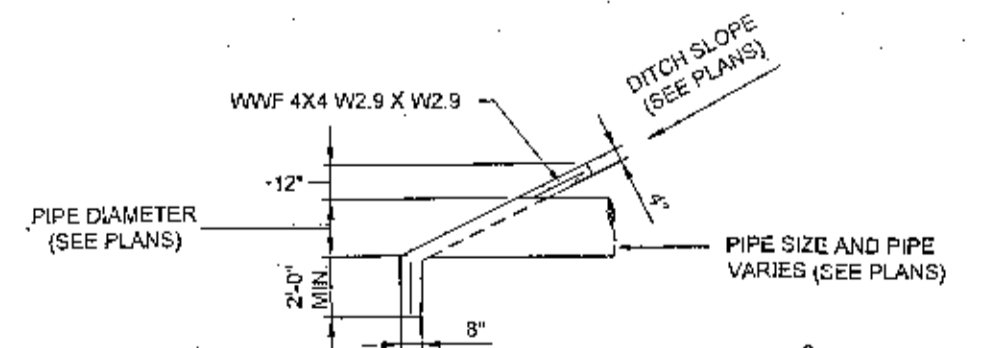
**NOTES:**  
 1. CENTER WHEEL STOP IN PARKING SPACE  
 2. WHEEL STOP SHALL BE PLACED 36" FROM SIDEWALK (MEASURED TO TIRE SIDE OF WHEEL STOP)

CONCRETE WHEEL STOP  
N.T.S.



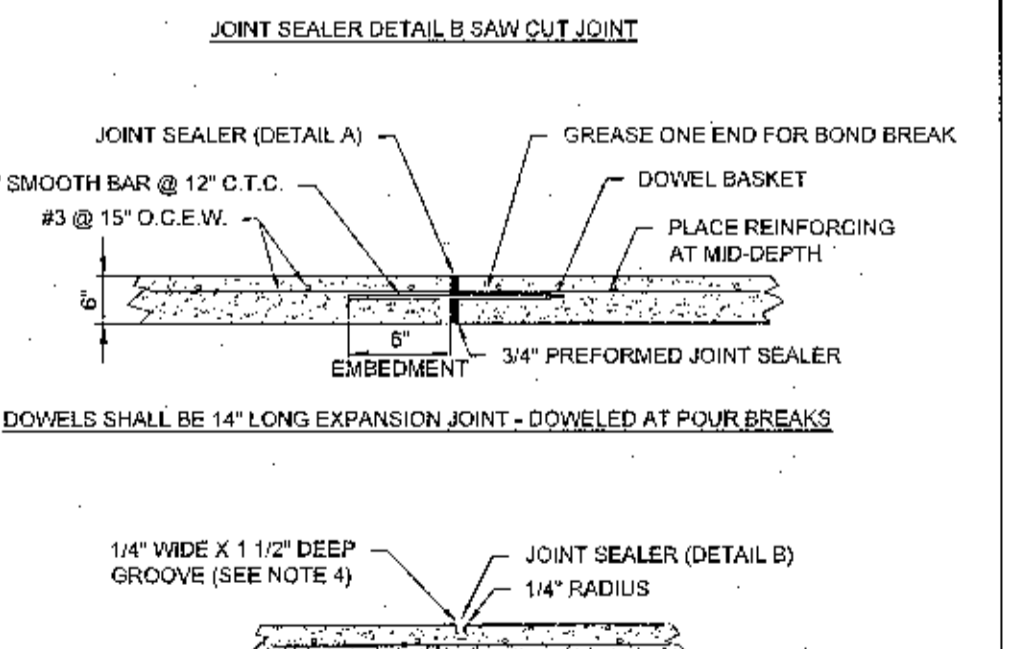
**NOTES:**  
 1. ADA ACCESSIBLE PARKING SIGN SHALL CONFORM TO ALL GOVERNING REGULATIONS.  
 2. ADA ACCESSIBLE SIGN SHALL BE 12" X 18" X 0.09", FASTENED WITH TWO EACH 3/8" CDXUM BOLTS, NUTS AND WASHERS.  
 3. POST SHALL BE 1 7/8" X 3-1/2" HEAVY DUTY GALVANIZED.  
 4. SIGNS SHALL BE A MINIMUM OF 60" ABOVE FINISH FLOOR OR GROUND SURFACE MEASURED TO THE BOTTOM OF THE SIGN.

ADA ACCESSIBLE SIGN  
N.T.S.



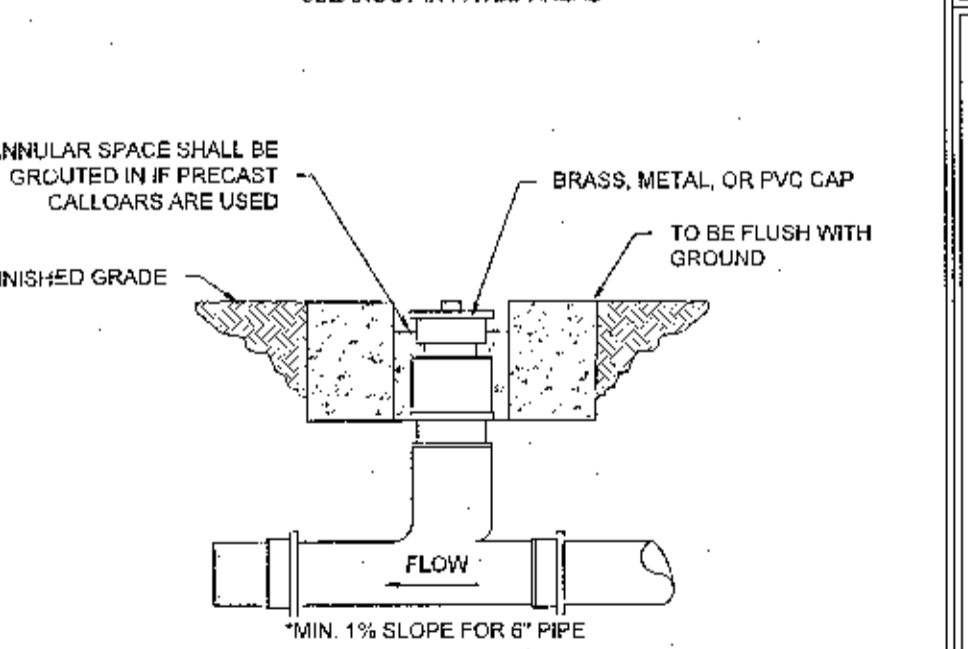
**NOTES:**  
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 2. CONCRETE SHALL HAVE 4000 PSI AT 28 DAYS  
 3. CONTRACTOR SHALL INSTALL CONTROL JOINTS IN CONCRETE PAVING AT 12' MAX SPACING BOTH WAYS. COORDINATE WITH ARCHITECTURAL PLANS FOR SCORING PATTERN.  
 4. CONTROL JOINT TO BE 1/4 OF THE SLAB THICKNESS TYPICALLY.  
 5. EXPANSION JOINTS AT POUR BREAKS AND 100' MAX SPACING. COORDINATE WITH CONTROL JOINTS  
 6. IN LIEU OF REINFORCEMENT SHOWN, CONTRACTOR MAY USE 4x4 W2.5M2.9 WELDED WIRE FABRIC  
 7. IF DRY-CUTTING OF CONTROL JOINTS IS USED, AN ABRASIVE BLADE MAY BE USED IN LIEU OF SANDBLASTING

SLOPED PAVED HEADWALL DETAIL  
N.T.S.



**NOTES:**  
 1. CONTRACTOR SHALL INSTALL 4" OF CRUSHED AGGREGATE BASE COURSE, TYPE B (ALDOT 929) UNDER ALL CONCRETE PAVING  
 2. CONCRETE SHALL HAVE 4000 PSI AT 28 DAYS  
 3. CONTRACTOR SHALL INSTALL CONTROL JOINTS IN CONCRETE PAVING AT 12' MAX SPACING BOTH WAYS. COORDINATE WITH ARCHITECTURAL PLANS FOR SCORING PATTERN.  
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CONCRETE PAVING  
N.T.S.



**NOTES:**  
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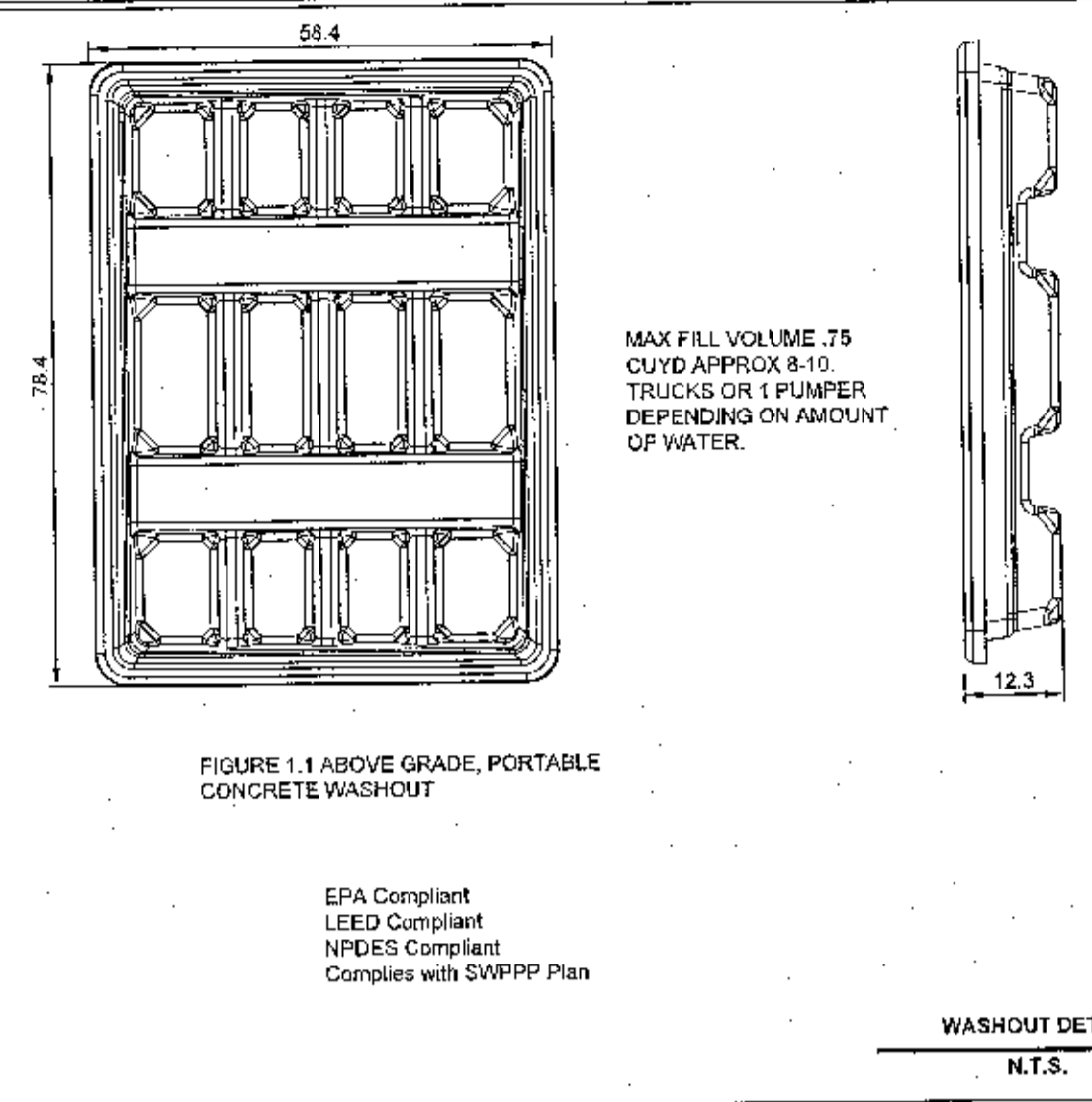
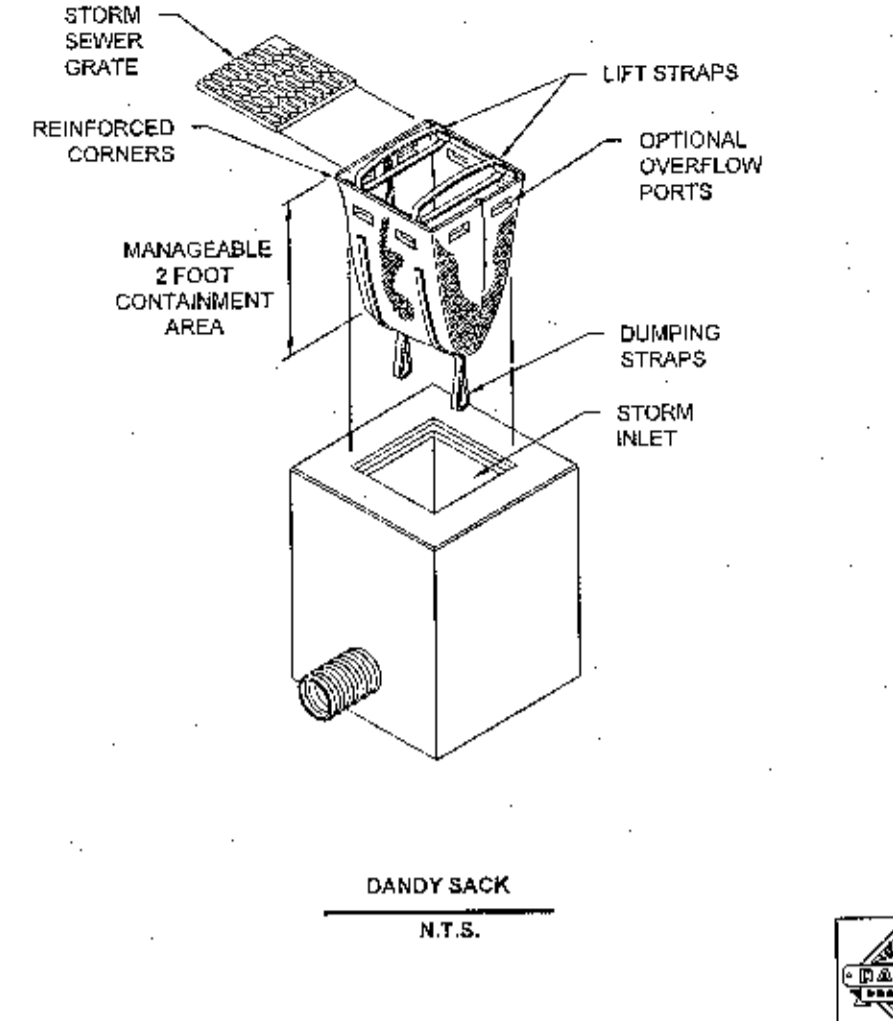
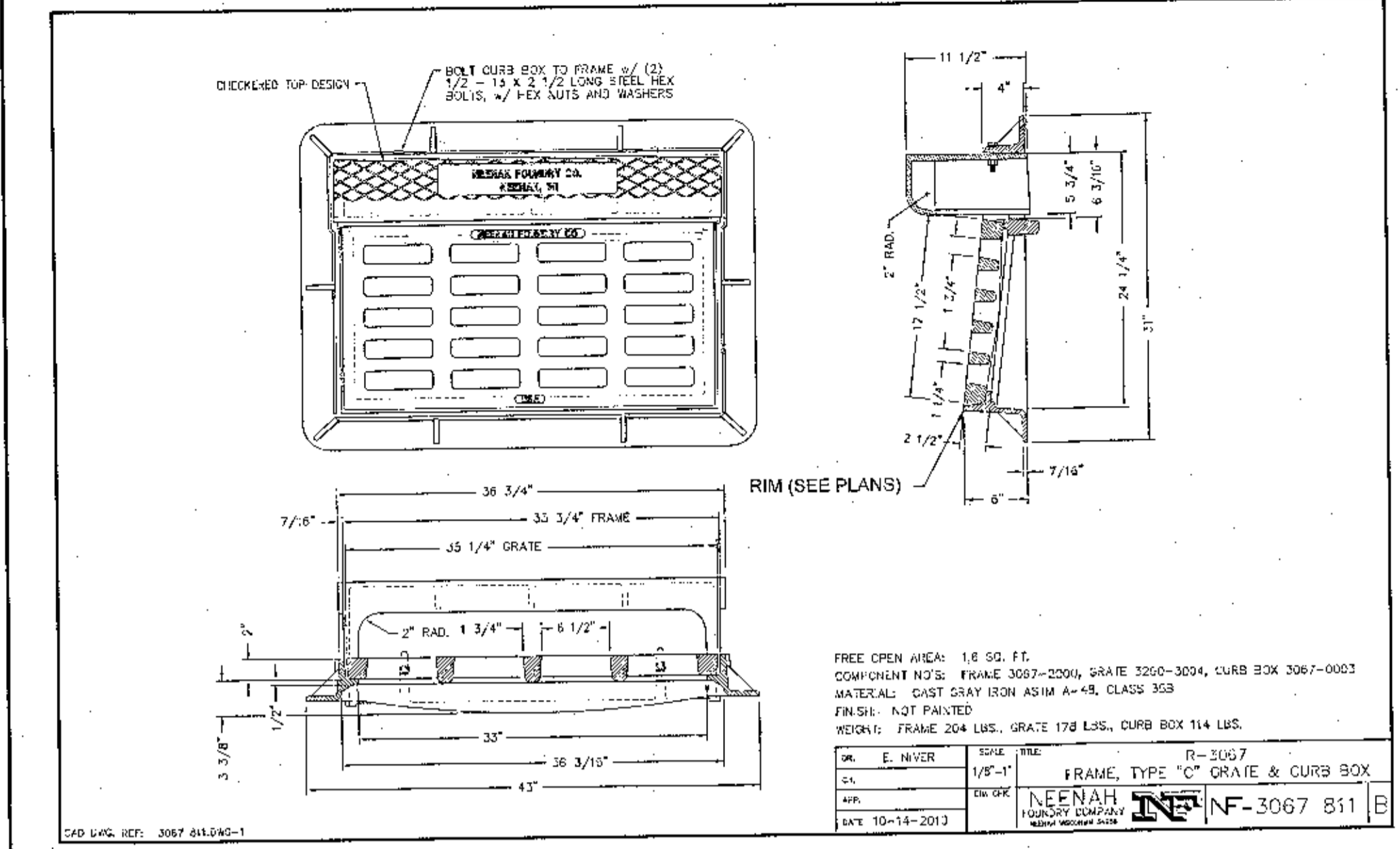
TYPICAL CLEANOUT  
N.T.S.

FLORIDA PROFESSIONAL ENGINEER  
**EDG**  
 ENGINEERING DESIGN GROUP  
 PELHAM, AL 35294  
 120 BISHOP CIRCLE SUITE 300  
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 1000 E. LAUREL STREET  
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ISSUED FOR REVIEW NOT FOR CONSTRUCTION  
 REVISIONS

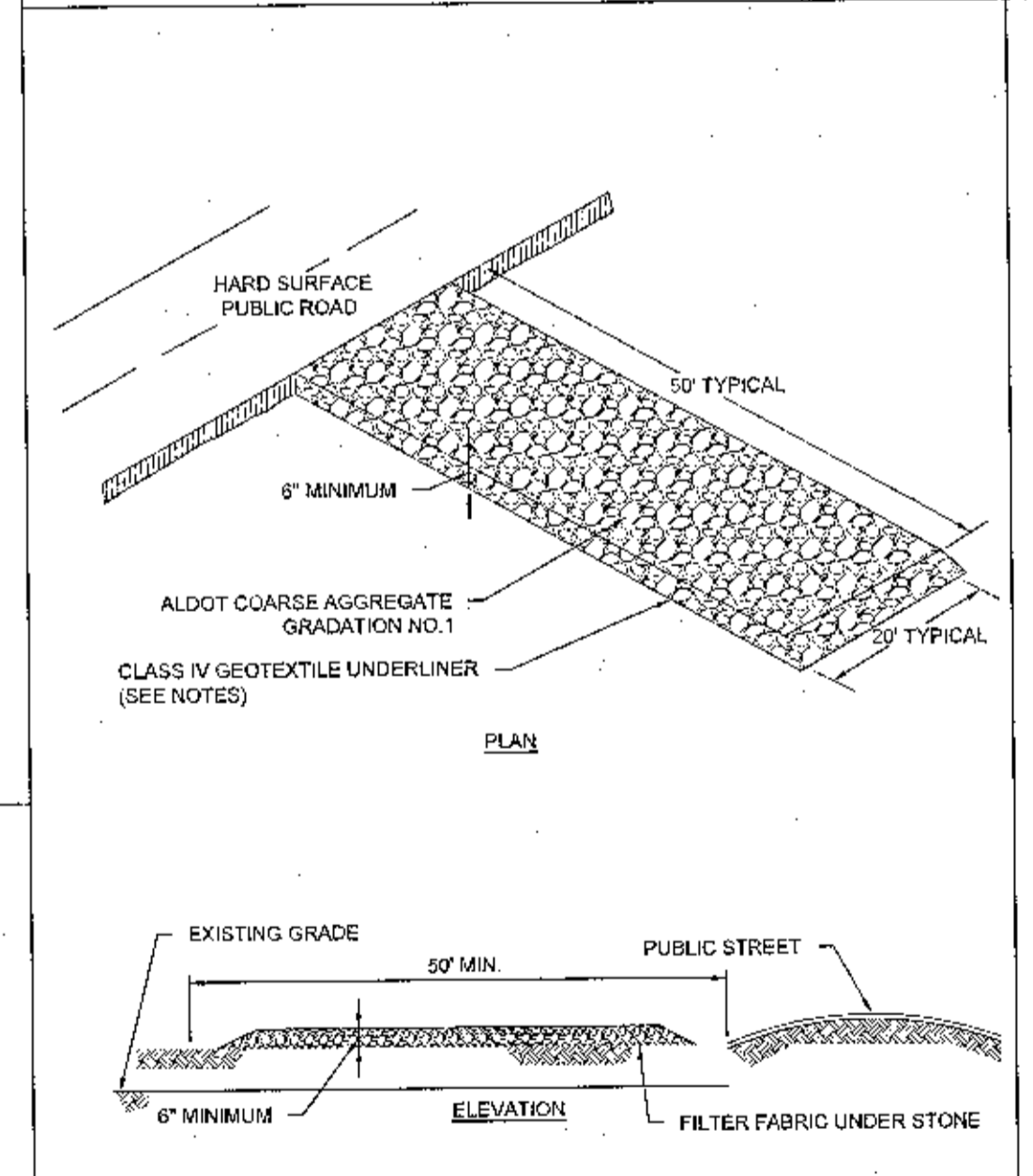
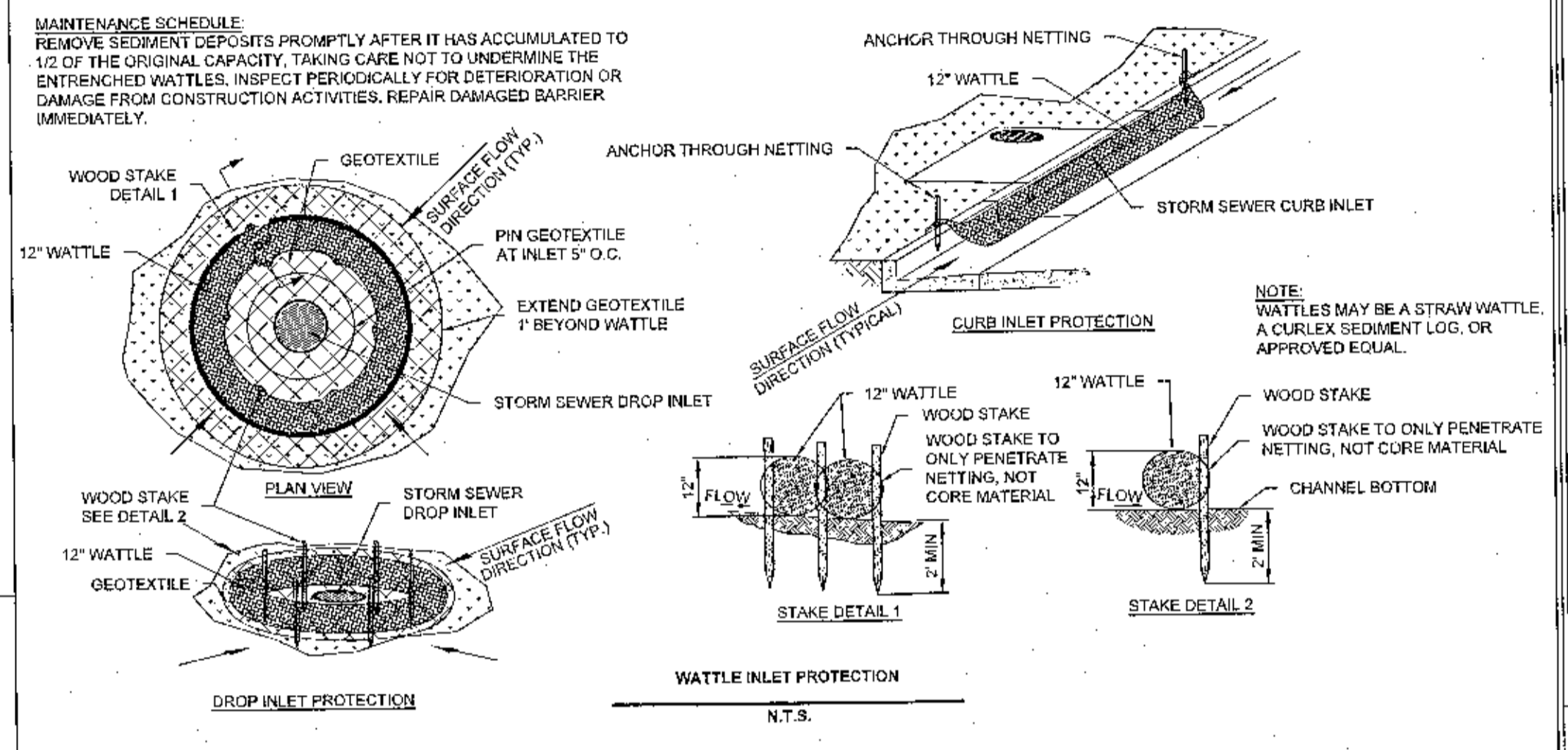
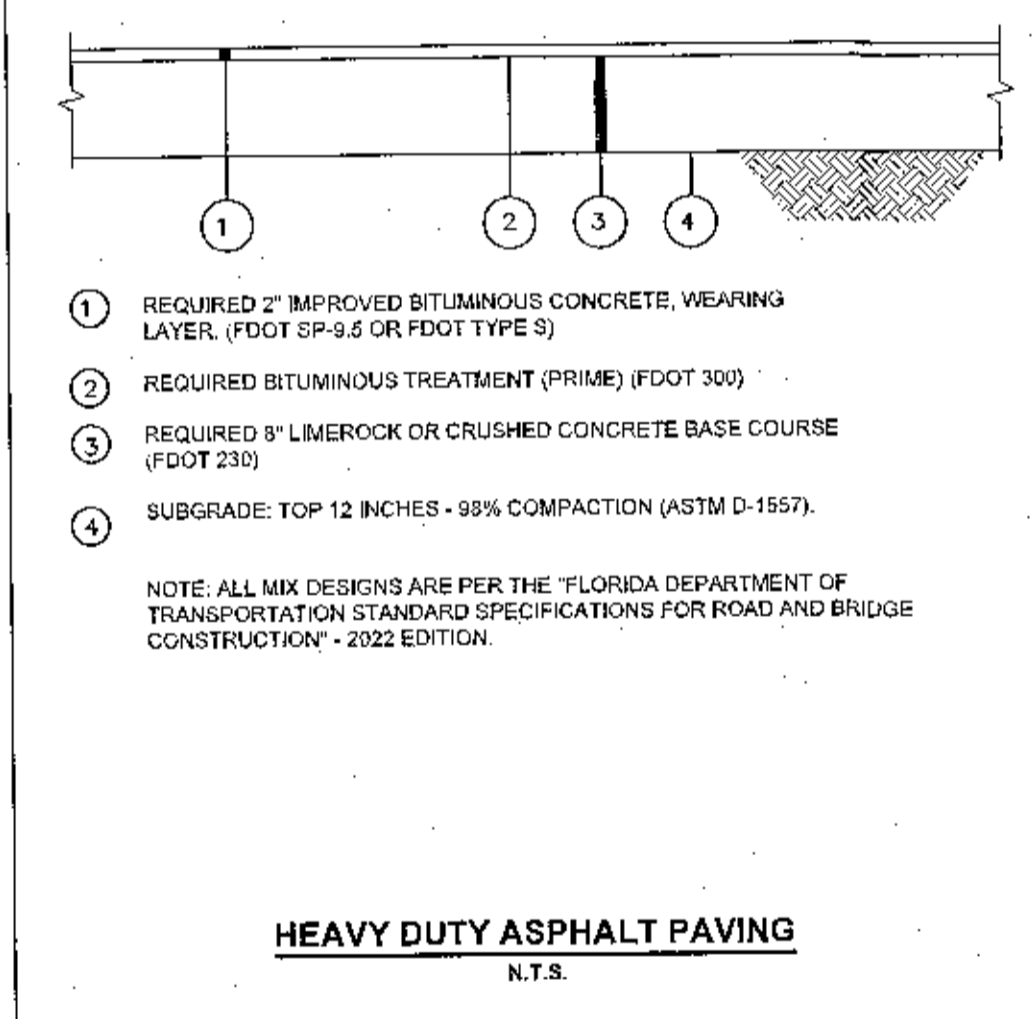
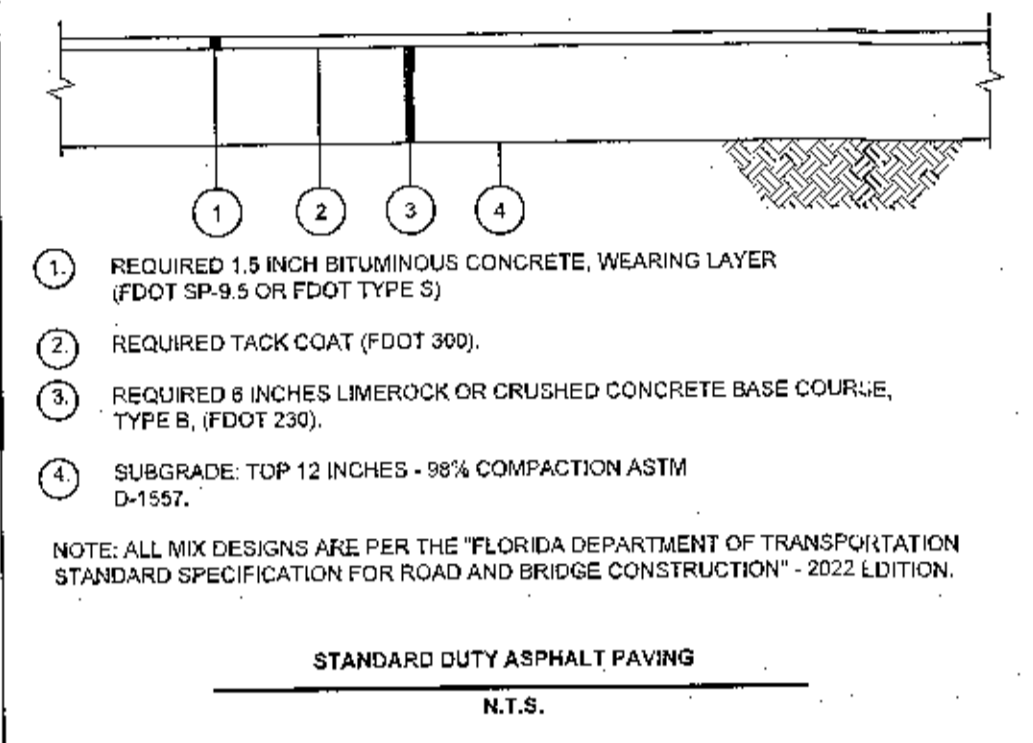
PROJECT ADDRESS:  
**523 W NINE MILE ROAD**  
 ESCAMBIA COUNTY, FLORIDA  
 SHEET TITLE  
**CIVIL DETAILS**

PROJECT NAME  
**W NINE MILE DUTCH BROS**  
 DRAWN BY: CLD  
 CHECKED BY: DJS  
 PROJECT No.: F-PCG0002  
 DATE: January 16, 2024  
 SHEET NO.  
**C6.0**



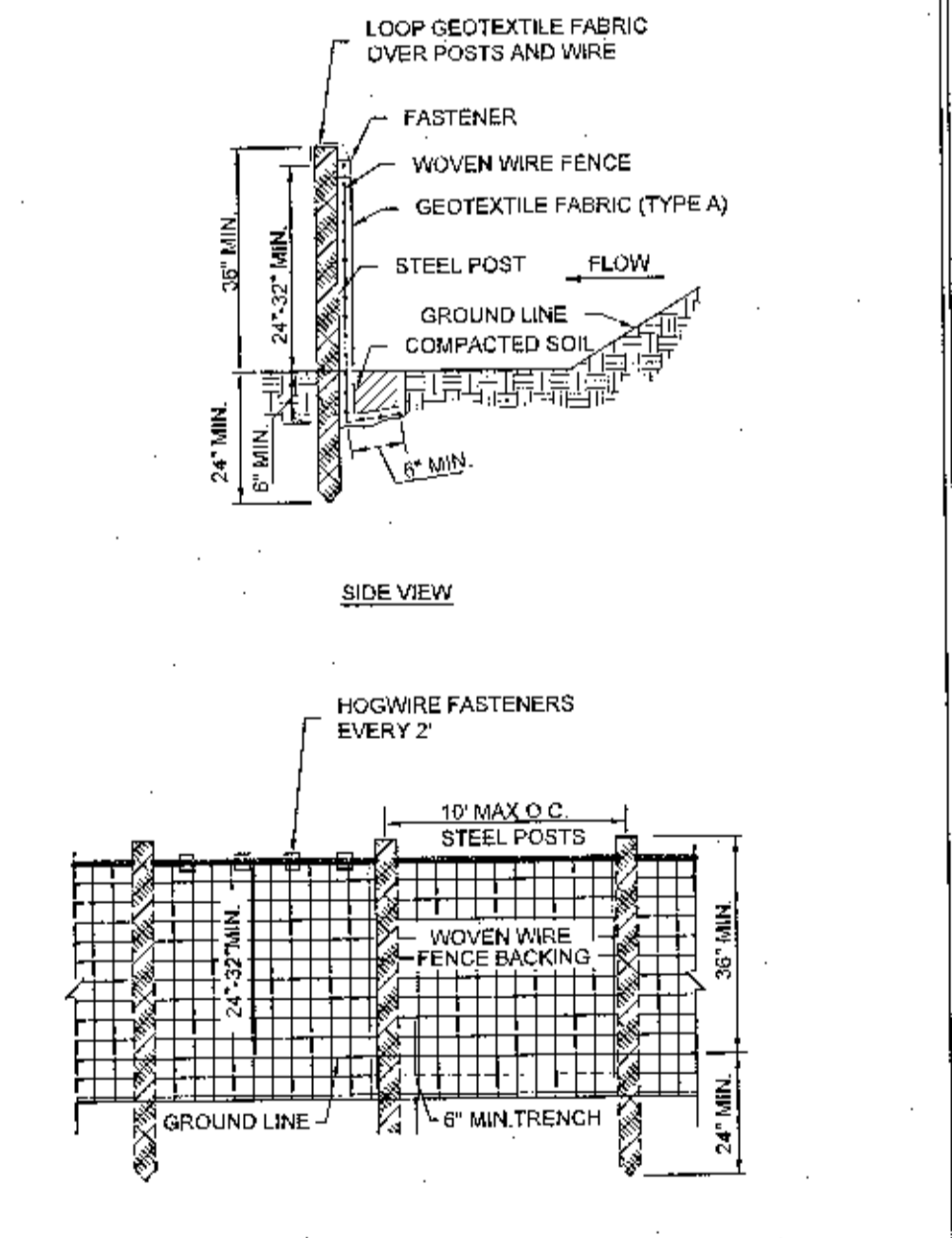
NOTES:

- CONTRACTOR SHALL HAVE CONCRETE RECYCLE BASIN ON SITE AND COLLECT CONCRETE WASTE AND WASHOUT PER LOCAL AND FEDERAL REGULATIONS, CONTRACTORS SHALL INSTRUCT TRUCK DRIVERS OF WASHOUT BASIN LOCATIONS.
- NEVER ALLOW WASHOUT MATERIALS OR WATER INTO DRAINAGE WAYS, WATER BODIES, WETLANDS OR IN THE RIGHT OF WAY AREA OF ROADWAYS.
- NEVER BURY WASTE MATERIAL.
- INSPECT BASIN AFTER EACH USE, REPLACE WHEN BASIN CAN NO LONGER SAFELY HOLD OR TRANSPORT WASHOUT.
- CONTRACTOR AND EQUIPMENT OPERATORS ARE RESPONSIBLE FOR MAINTENANCE, INSTALLATION AND COMPLIANCE WITH LOCAL AND FEDERAL REGULATIONS.



SPECIAL NOTES:

1. A STABILIZED PAD OF CRUSHED STONE SPREAD OVER FILTER FABRIC SHALL BE LOCATED WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC STREET. THE STONE SHALL BE 2"-3" COURSE AGGREGATE WITH A MINIMUM OF 6" THICKNESS.
2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC STREETS OR EXISTING PAVEMENT. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
3. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC STREETS MUST BE REMOVED IMMEDIATELY BY STREET CLEANING (NOT FLUSHING). WHEN NECESSARY, WHEELS MUST BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING A PUBLIC STREET. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN.
4. IF THE PAD SLOPE TOWARDS THE ROAD EXCEEDS 2%, A DIVERSION RIDGE 6" - 8" HIGH WITH 3:1 SIDE SLOPES MUST BE CONSTRUCTED ACROSS THE FOUNDATION APPROXIMATELY 15' AWAY FROM THE ROAD AND DRAIN INTO A SEDIMENT TRAP OR BASIN.



SPECIAL NOTES:

1. SILT FENCE FABRIC SHALL BE PER FDP REGULATIONS. USE D.O.T. APPROVED WOVEN WIRE FENCE.
3. USE 9" MIN. STEEL POSTS (1.3 LBFT MIN.).

NOTES:

1. THE WOVEN WIRE FENCING SHALL BE FASTENED TO THE UPSTREAM SIDE OF POSTS BY STAPLES OF WIRE TIES.
2. GEOTEXTILE FABRIC SHALL BE SECURELY FASTENED TO THE WOVEN WIRE FENCING.

MAINTENANCE SCHEDULE:

REMOVE SEDIMENT DEPOSITS WHEN THEY REACH A DEPTH OF 15" OR 1/2 THE HEIGHT OF THE FENCE AS INSTALLED TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. SHOULD THE FABRIC OR SILT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.

PROJECT ADDRESS: 523 W NINE MILE ROAD  
ESCAMBIA COUNTY, FLORIDA

PROJECT NAME: W NINE MILE DUTCH BROS

ISSUE FOR REVIEW NOT FOR CONSTRUCTION

ISSUE REVISIONS

PROJECT ENGINEER: DONALD J. STOKES  
REGISTERED PROFESSIONAL ENGINEER  
FLORIDA LICENSE NO. 112074

EDG  
ENGINEERING DESIGN GROUP

PELHAM, AL  
120 BISHOP CIRCLE SUITE 309  
PELHAM, AL 35124  
(205) 403-9158

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1000 E. LAUREL STREET  
FOLEY, AL 36535  
(251) 943-8860

DRAWN BY: CLD

CHECKED BY: DJS

PROJECT No.: F\_PCG0002

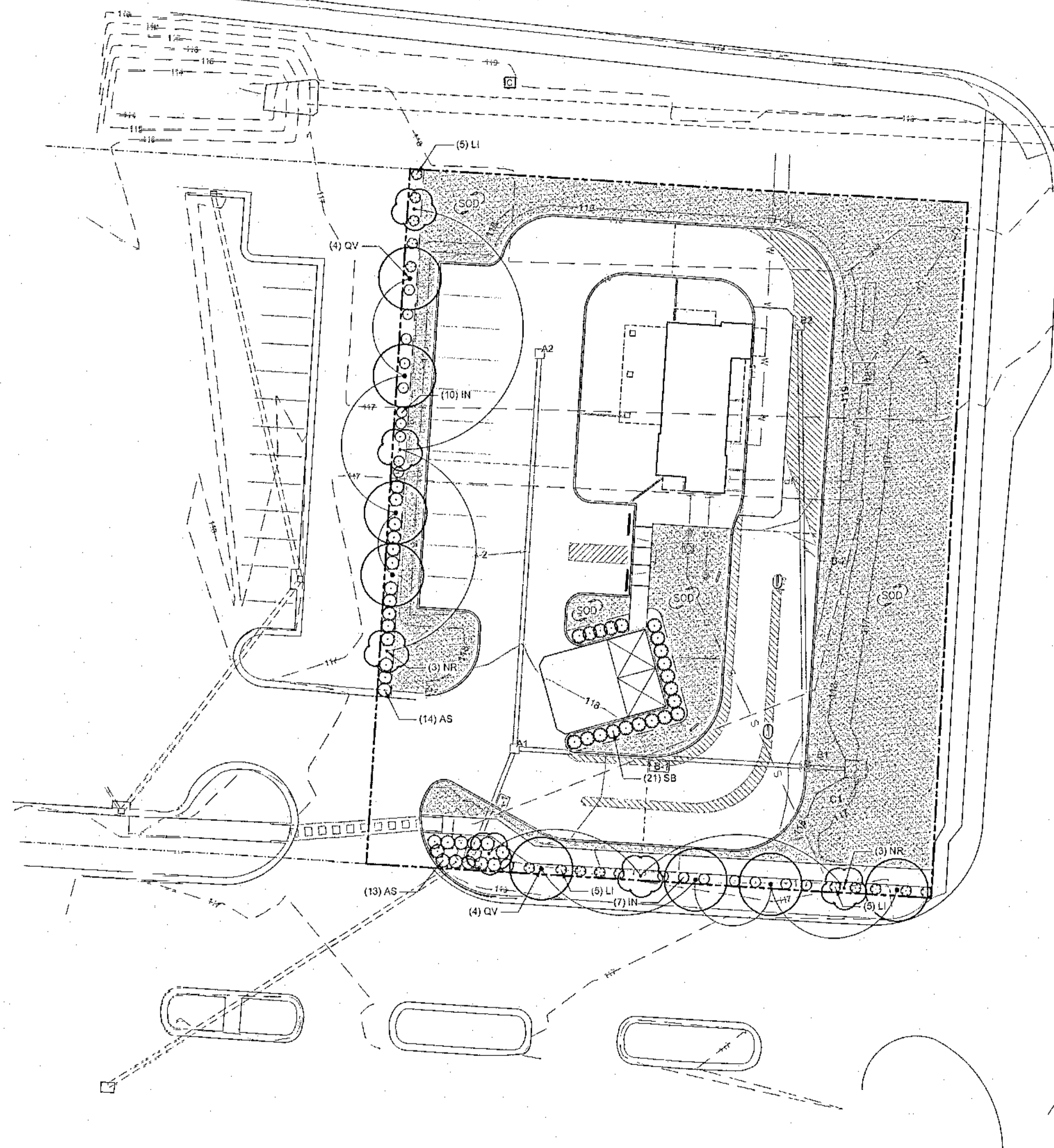
DATE: January 18, 2024

SHEET No.: C6.1

T:\F\_PCG0002 - W NINE MILE\ENGINEERING\DWG\DETAILS.DWG - last plotted 1/23/24 by COLIN DAVIS

W NINE MILE RD  
R.O.W. VARIES

UNTREINER AVE  
R.O.W. VARIES



ESCAMBIA COUNTY DSM COMPLIANCE

- QUALITY. ALL PLANTS ARE TO BE FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES AS NOTED IN THE GENERAL PLANTING NOTES.
- SPECIES. ALL PLANTS ARE NATIVE PLANT SPECIES OR THOSE SPECIES LISTED IN THE FLORIDA-FRIENDLY LANDSCAPING GUIDE TO PLANT SELECTION AND LANDSCAPE DESIGN.
- TREES. ALL PROPOSED TREES WILL NORMALLY ATTAIN A MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES OR GREATER MEASURED AT FOUR INCHES ABOVE ROOT BALL AT PLANTING AS SPECIFIED IN THE PLANTING SCHEDULE. THESE TREES ALSO MEET THE FOLLOWING CRITERIA:
  - NON-NATIVE SPECIES. NON-NATIVE SPECIES ARE LIMITED TO 25 PERCENT OR LESS OF THE TOTAL REQUIRED TREES PLANTED.
  - DIVERSITY. THE PROPOSED TREE DIVERSITY MEETS THE MINIMUM COUNTY REQUIREMENTS.
- INSTALLATION. WHENEVER LANDSCAPING IS REQUIRED OR ANY CONDITION OF COUNTY APPROVAL IT SHALL BE INSTALLED IN A SOUND MANNER ACCORDING TO ESTABLISHED PROFESSIONAL STANDARDS, AND IN COMPLIANCE WITH THIS MANUAL.
- PLANT PLACEMENT. THE INSTALLATION OF PLANTS IN APPROPRIATE LOCATIONS IS ESSENTIAL TO THEIR LONG-TERM SURVIVAL. LOCATIONS SHOULD MATCH MATURE PLANT SIZE TO AVAILABLE SOIL VOLUME AND OTHER CONDITIONS FOR GROWTH. APPROPRIATE SEPARATION FROM FAVEMENT AND STRUCTURES, INCLUDING STREETS, DRIVEWAYS, CURBS, SIDEWALKS, SIGNS, LIGHTS AND UTILITIES MUST BE PROVIDED. SIGHT DISTANCES, LANDSCAPING WITHIN THE SIGHT DISTANCE AREAS PRESCRIBED IN ARTICLE 5 FOR STREETS AND SITE ACCESS SHALL BE DESIGNED, INSTALLED AND MAINTAINED TO ALLOW VISIBILITY BETWEEN THREE FEET AND NINE FEET ABOVE GROUND. THE TRUNKS OF MATURE TREES TRIMMED TO NINE FEET, AND NEWLY PLANTED TREES WITH MATURE GROWN DEVELOPMENT ALLOWING VISIBILITY ARE GENERALLY ACCEPTABLE WITHIN SUCH AREAS.
- MINIMUM TREE AREA. EACH NEW TREE SHALL BE PLANTED AT THE CENTER OF A MINIMUM PERMANENT PERVIOUS ROOTING AREA CLEAR OF ALL OBSTRUCTIONS TO ALLOW GROWTH TO MATURITY. THE MINIMUM RADIUS OF THE ROOTING AREA SHALL BE FOUR FEET FOR AN UNDERSTORY TREE AND SIX FEET FOR A CANOPY TREE. THIS MINIMUM CIRCULAR AREA SHALL CONTAIN NO SIDEWALKS, CURBS OR PAVEMENT AND NO STRUCTURES, INCLUDING LIGHT OR UTILITY POLES, SIGNS, MANHOLES, STORMWATER INLETS, VAULTS, TRANSFORMERS, FIRE HYDRANTS OR BACKFLOW PREVENTERS.
- MINIMUM TREE SPACING. EACH NEW CANOPY AND UNDERSTORY TREE SHALL BE PLANTED AT LEAST 12 FEET FROM ANY OTHER TREE. ADDITIONALLY, ANY TREES TO BE PLANTED WITHIN THE CRITICAL ROOT ZONES OF PRESERVED CANOPY TREES ARE LIMITED TO UNDERSTORY TREES.
- OVERHEAD UTILITIES. WHERE OVERHEAD UTILITIES EXIST, PLANTS PROPOSED WILL NOT CREATE PERSISTENT UTILITY MAINTENANCE OR INTERFERENCE PROBLEMS MAY BE INSTALLED. ALL TREES PLANTED DIRECTLY BELOW POWER LINES SHALL BE AN UNDERSTORY TREE. ALL CANOPY TREES PLANTED SHALL BE AT LEAST 25 FEET FROM POWER LINES, AND LARGE MATURING SPECIES SHOULD BE PLANTED AT LEAST 50 FEET AWAY.

LANDSCAPE INSTALLATION NOTES

- ALL PROTECTED TREE REMOVAL, LAND CLEARING, FILLING/PLACEMENT OF ANY FILL MATERIALS, GRADING, EXCAVATIONS, BERMING, OR ANY OTHER "LAND DISTURBING ACTIVITIES" SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.
- PROPOSED LANDSCAPE IS ASSUMED TO BE INSTALLED AFTER THE COMPLETION OF THE SITE WORK. SHOULD TREES BE INSTALLED PRIOR TO THE COMPLETION OF SITE WORK, TREE BARRICADES SHALL BE INSTALLED AROUND PLANTED TREES UNTIL ALL SITE WORK IS COMPLETE AND THE SITE BECOMES STABILIZED.

COMMERCIAL LANDSCAPE REQUIREMENTS (DSM.2-2.1)

Total Site Area:	32,290 s.f.
Required Landscape Area (15%):	4,844 s.f.
Provided Landscape Area:	13,075 s.f.

BUFFER REQUIREMENTS

Buffer Type B

South Perimeter

2.5 canopy trees per	100 LF ROW @ 141.0 LF = 3.53 canopy trees
	Total Canopy Trees Required: 4 trees
	Total Canopy Trees Provided: 4 trees
2 understory tree per	100 LF ROW @ 141.0 LF = 2.82 understory trees
	Total Understory Trees Required: 3 trees
	Total Understory Trees Provided: 3 trees
20 shrubs per	100 LF ROW @ 141.0 LF = 28.20 shrubs
	Total Shrubs Required: 29 shrubs
	Total Shrubs Provided: 29 shrubs

West Perimeter

2.5 canopy trees per	100 LF ROW @ 152.0 LF = 3.80 canopy trees
	Total Canopy Trees Required: 4 trees
	Total Canopy Trees Provided: 4 trees
2 understory tree per	100 LF ROW @ 152.0 LF = 3.04 understory trees
	Total Understory Trees Required: 3 trees
	Total Understory Trees Provided: 3 trees
20 shrubs per	100 LF ROW @ 152.0 LF = 30.40 shrubs
	Total Shrubs Required: 30 shrubs
	Total Shrubs Provided: 30 shrubs

landscape architecture  
land planning  
placemaking

**was**  
DESIGN

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APPROVED AND ARE SUBJECT  
TO CHANGE.

A Landscape Development Plan for  
**Dutch Bros W. Nine Mile**  
Escambia County, Florida

Revisions

No.	Date	Revisions / Submissions
12.14.23		PERMIT SUBMITTAL

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YJ  
Drawn  
DM  
Project Manager  
LCW  
Principal  
232052-024  
Project No.  
11.30.23  
Date

Registration - FL LA666696

Digitally signed  
by Lester C  
Watkins  
Date:  
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Sheet Title

LANDSCAPE  
PLANTING PLAN

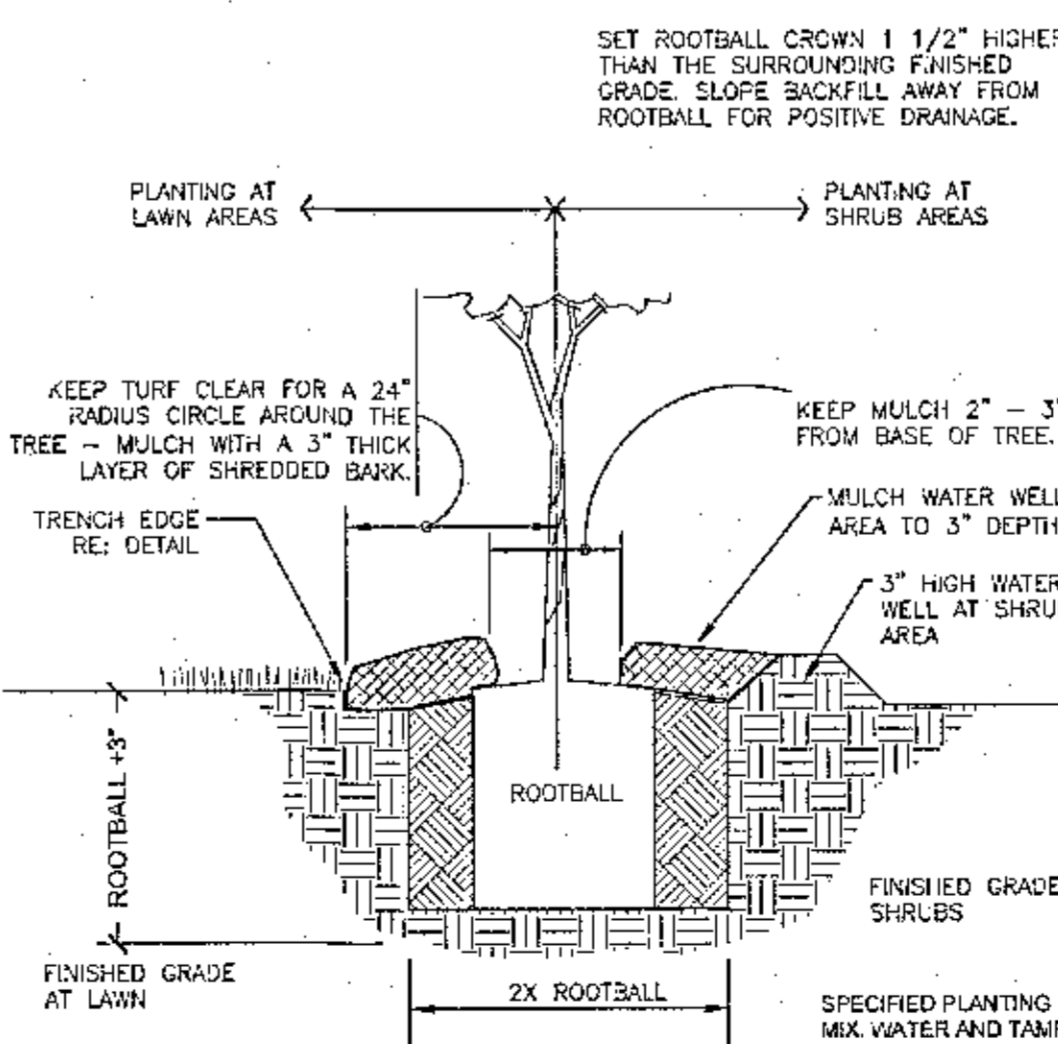
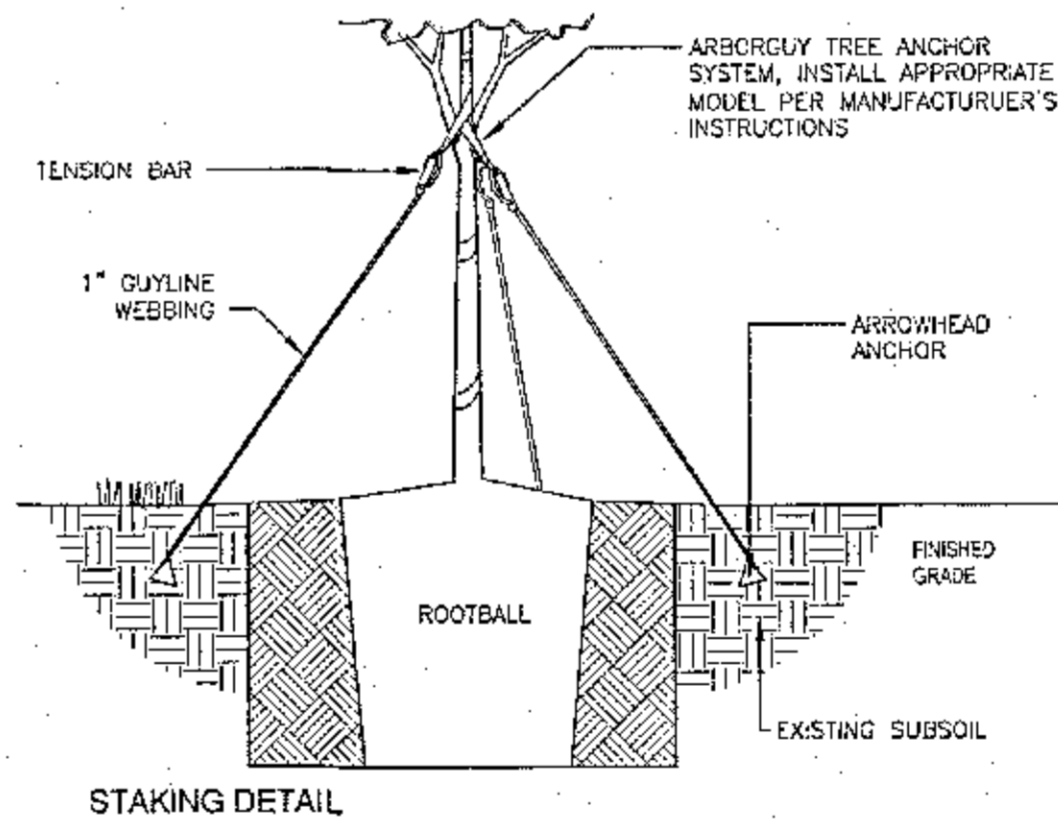
**PLANT SCHEDULE**

SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	HT	
<b>TREES</b>							
	NR	6	ILEX 'NELLIE R. STEVENS' / NELLIE R. STEVENS HOLLY FULL TO GROUND	B&B OR CONT	2.5" CAL	8'	
	QV	8	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK FULL HEAD, SPECIMEN QUALITY	B&B OR CONT	2.5" CAL	12'	
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HT	W	SPACING
<b>SHRUBS</b>							
	AS	27	ACCA SELLOWIANA / PINEAPPLE GUAVA	3 GAL			48" o.c.
	IN	17	ILEX VOMITORIA 'NANA' / DWARF YALPON HOLLY	3 GAL			36" o.c.
	LI	15	LOROPETALUM CHINENSE 'SHANG-WHITE' TM / EMERALD SNOW LOROPETALUM	3 GAL			36" o.c.
	SB	21	VIBURNUM ODORATISSIMUM / SWEET VIBURNUM	3 GAL			48" o.c.
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HT	W	SPACING
<b>SOD/SEED</b>							
	SOD	11,731 SF	CYNODON DACTYLON 'TIFWAY 419' / TIFWAY 419 BERMUDA GRASS	SOD			

800-432-4770  
 Always call 811 two full business days before you dig to have underground utilities located & marked.

- GENERAL CONDITIONS**
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE INSPECTION PRIOR TO LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO ACQUAINT HIMSELF WITH EXISTING CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES BEFORE BEGINNING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF LANDSCAPE MATERIAL AT ALL TIMES. LANDSCAPE CONTRACTOR TO COORDINATE SAFE STAGING AREA WITH GENERAL CONTRACTOR AND/OR OWNER.
  - CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL, INCLUDING GRASS, FOR 365 CONSECUTIVE CALENDAR DAYS FROM SUBSTANTIAL COMPLETION OF THE WORK, AS DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT.
  - ALL AREAS IMPACTED NEGATIVELY BY CONSTRUCTION PROCESSES SHALL BE RETURNED TO ORIGINAL CONDITION OR BETTER PRIOR TO SUBSTANTIAL COMPLETION.
- LANDSCAPE AREA SOIL PREPARATION**
- SOIL SHALL BE AMENDED BY THE ADDITION OF COMPOST AND FERTILIZER. COMPOST TYPE SHALL BE MUSHROOM COMPOST OR DECOMPOSED FINE BARK, AND SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE. COMPOST SHALL BE UNIFORMLY APPLIED OVER PLANTING BEDS AT AN AVERAGE DEPTH OF 2 INCHES AND OVER SOD AREAS AT AN AVERAGE DEPTH OF 3/4 INCH.
  - INCORPORATE UNIFORMLY IN PLANTING BEDS TO A DEPTH OF 6 INCHES AND IN SOD AREAS TO A DEPTH OF 3 INCHES USING A ROTARY TILLER OR OTHER APPROPRIATE EQUIPMENT. PRE-PLANT FERTILIZER AND PH ADJUSTING AGENTS (E.G., LIME AND SULFUR) MAY BE APPLIED IN CONJUNCTION WITH COMPOST INCORPORATION, AS NECESSARY.
  - RAKE SOIL SURFACE SMOOTH PRIOR TO PLANTING.
  - REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
  - WATER THOROUGHLY AFTER PLANTING.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING 3% POSITIVE DRAINAGE IN ALL PLANTING BEDS. ANY OTHER PROPOSED DRAINAGE METHODS SHALL BE COORDINATED WITH PLANTING EFFORTS TO MINIMIZE CONFLICTS AND MAINTAIN PROPER FUNCTION OF DRAINAGE SYSTEMS.

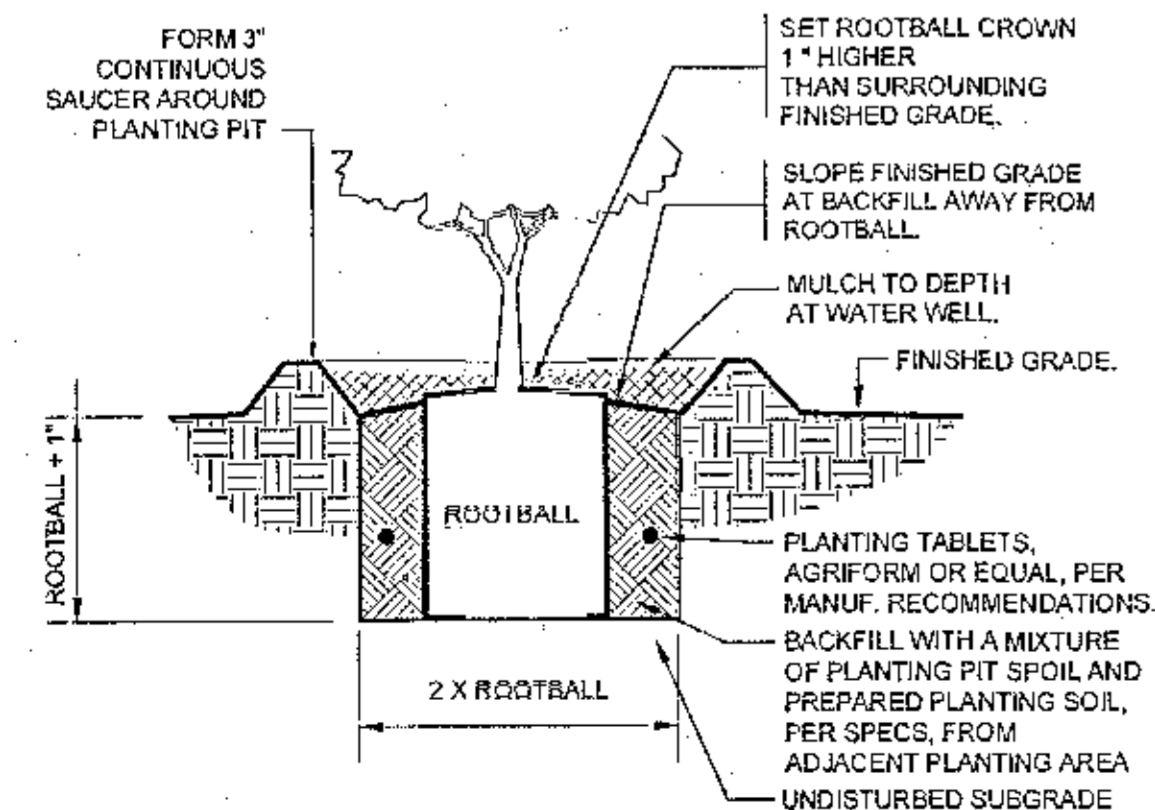
- PLANT MATERIAL AND PLANTING**
- PLANT QUANTITIES ARE OFFERED AS A CONVENIENCE TO THE CONTRACTOR, AND ARE NOT ABSOLUTE. CONTRACTOR SHALL VERIFY PLANT COUNT FROM PLAN AND REPORT DIFFERENCES.
  - ALL PLANT MATERIALS ARE SUBJECT TO APPROVAL OR REFUSAL AT ANY TIME BY THE OWNER OR LANDSCAPE ARCHITECT AT THE JOB SITE.
  - PLANTS SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM INJURY, INSECTS AND DISEASES. PLANTS SHALL EQUAL OR SURPASS NO. 1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF "FLORIDA GRADES & STANDARDS FOR NURSERY PLANTS" AS PUBLISHED BY FLORIDA DEPARTMENT OF AGRICULTURE & CONSUMER SERVICES DIVISION OF PLANT INDUSTRY (DPI).
  - UNLESS NOTED SPECIFICALLY, ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN.
  - FRONT ROW OF SHRUBS SHALL BE PLANTED FROM CENTER OF PLANT A MINIMUM OF 24" BEHIND "BED LINE" @ LAWNS OR WALKS AND A MINIMUM OF 36" BACK OF CURB @ PARKING SPACES.
  - NO PRUNING SHOULD BE PERFORMED DURING FIRST GROWING SEASON EXCEPT FOR REMOVING DAMAGED OR DEAD GROWTH. WOUND PAINT IS NOT RECOMMENDED FOR ANY CUTS.
  - ALL PLANTING AREAS, TREE PITS, AND OTHER AREAS INDICATED ON PLANS SHALL BE MULCHED WITH A SETTLED LAYER OF THE INDICATED MULCH:
    - 3" DEPTH PINE BARK
    - 4" DEPTH SHREDDED HARDWOOD MULCH
    - 3" DEPTH PINESTRAW
  - TRENCH EDGE TO BE LOCATED BETWEEN ALL PLANTING AREAS AND LAWN, UNLESS NOTED OTHERWISE.
  - TREE STAKING SHALL BE PROVIDED TO KEEP TREES PLUMB AND PROTECTED FROM EXCESSIVE WINDS. ALL TREE-STAKING APPARATUS SHALL BE REMOVED AT THE END OF THE ONE-YEAR WARRANTY PERIOD.



**5 FLORIDA PLANTING NOTES**

1" = 1"

32 9399-06



**1 SHRUB PLANTING**

1" = 1'-0"

32 9333.13-01

**2 TYPICAL PLANT SPACING**

NOT TO SCALE

32 9399-04

**3 TRENCH EDGE**

3" = 1'-0"

32 9413.23-02

**4 TREE PLANTING - GUY STRAP**

1" = 1'-0"

32 9343.26-02

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 Mobile, Alabama P. 251.344.4023  
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 Pensacola, Florida P. 850.203.4232

**NOT FOR CONSTRUCTION**  
 THESE PLANS HAVE NOT BEEN APPROVED AND ARE SUBJECT TO CHANGE.

A Landscape Development Plan for  
**Dutch Bros W. Nine Mile**  
 Escambia County, Florida

Revisions	No.	Date	Revisions / Submissions
	12.14.23		PERMIT SUBMITTAL

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YJ  
 Drawn  
 DM  
 Project Manager  
 LCW  
 Principal  
 232052-024  
 Project No.  
 11.30.23  
 Date

Registration - FL LA666896

Digitally signed by Lester C. Watkins  
 Date: 2023.12.14 11:59:03-06'00'

Drawings not valid without seal  
 Sheet Title

**LANDSCAPE PLANTING DETAILS**

Sheet No. **LP500**

800-432-1770

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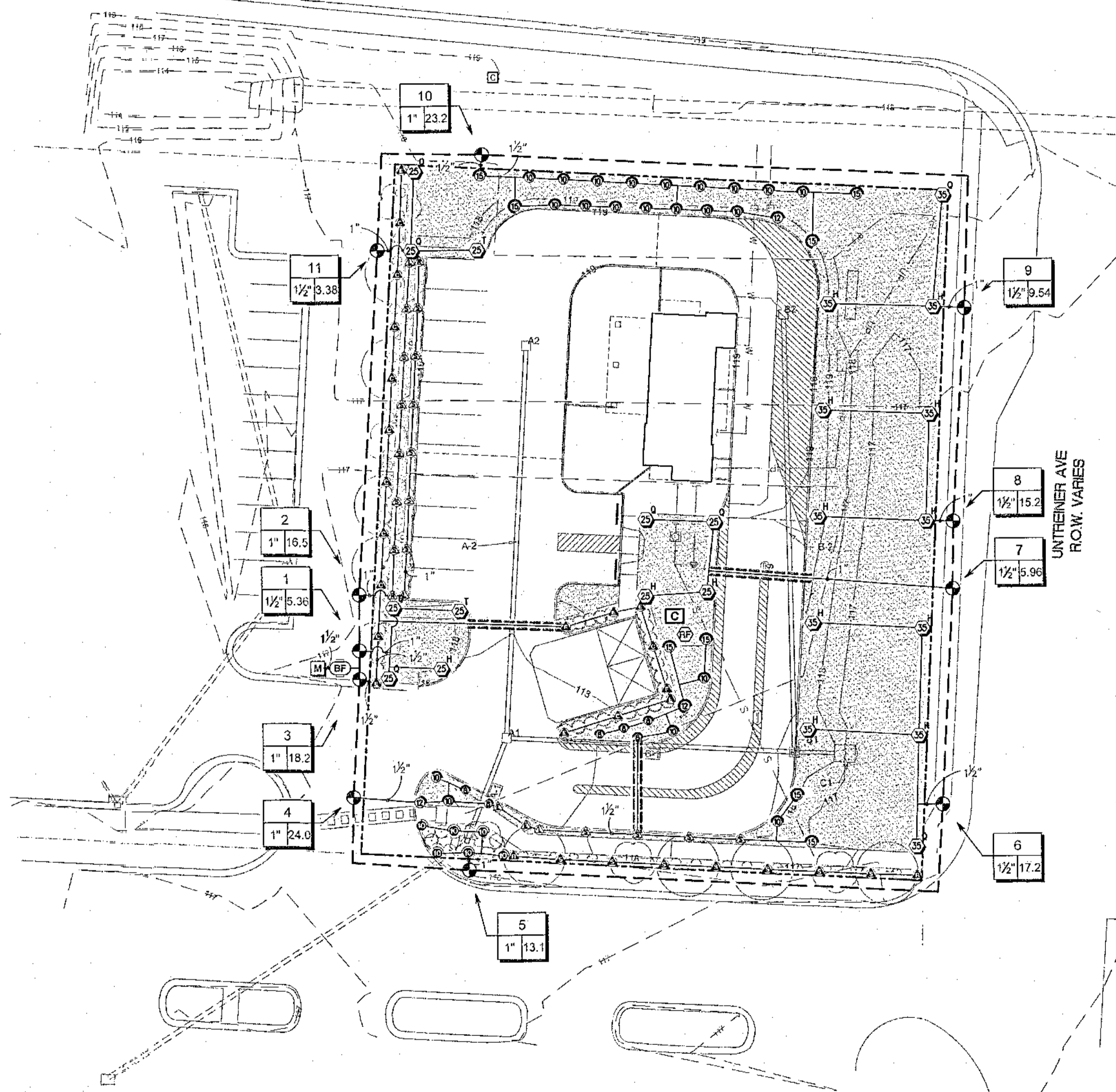


**IRRIGATION GRAPHICS NOTES**

IRRIGATION SYSTEM DESIGN GRAPHICS ARE DIAGRAMMATIC IN NATURE, AND INTENDED TO INDICATE GENERAL LOCATION AND PROXIMITY TO OTHER ELEMENTS OF THE DRAWING. AS SUCH, MAINLINE AND/OR VALVES ARE OFTEN SHOWN OUTSIDE OF TRENCH FOR GRAPHIC CLARITY. ALL EQUIPMENT AND PIPE SHALL BE WITHIN PROPERTY BOUNDARIES UNLESS OTHERWISE NOTED. SLEEVE SIZES TO BE DETERMINED BY CONTRACTOR UNLESS NOTED ON THE DRAWINGS.

W NINE MILE RD  
R.O.W. VARIES

UNTRAINER AVE  
R.O.W. VARIES

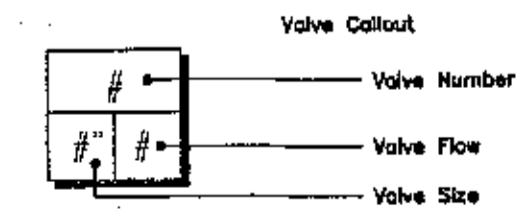


**QUANTITY TAKEOFF DISCLAIMER:**

QUANTITIES NOTED ON PLANS ARE OFFERED AS A CONVENIENCE TO THE CONTRACTOR FOR BID PURPOSES ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES AND REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.

**IRRIGATION SCHEDULE**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	GPM	RADIUS
EST LCS RCS CST SST	RAIN BIRD 1809-SAM-PRS 15 STRIP SERIES TURF SPRAY 8.0\"/>	23	30		
Q T H F	RAIN BIRD 1809-SAM-PRS 8 SERIES MPR TURF SPRAY 8.0\"/>	6	30		
Q T H F	RAIN BIRD 1809-SAM-PRS 10 SERIES MPR TURF SPRAY 8.0\"/>	21	30		
Q T H F	RAIN BIRD 1809-SAM-PRS 12 SERIES MPR TURF SPRAY 8.0\"/>	3	30		
Q T H F	RAIN BIRD 1809-SAM-PRS 15 SERIES MPR TURF SPRAY 8.0\"/>	8	30		
EST LCS RCS CST SST	RAIN BIRD 1812-SAM-PRS 15 STRIP SERIES SHRUB SPRAY 12.0\"/>	28	30		
Q T H F	RAIN BIRD 1812-SAM-PRS 10 SERIES MPR SHRUB SPRAY 12.0\"/>	6	30		
ARC	RAIN BIRD 5005-PL-FC-SAM-R-MPR 25 TURF ROTOR, 5IN. POP-UP, PLASTIC RISER, WITH FLOW SHUT-OFF DEVICE. MATCHED PRECIPITATION ROTOR (MPR NOZZLE), ARC AND RADIUS AS PER SYMBOL. 25 FT-RED, 30 FT-GREEN, 35FT-BEIGE, WITH SEAL-A-MATIC CHECK VALVE, AND IN-STEM PRESSURE REGULATOR.	23	45		25'
SYMBOL <th>MANUFACTURER/MODEL/DESCRIPTION</th> <th>QTY</th> <th>PSI</th> <th>GPM</th> <th>RADIUS</th>	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	GPM	RADIUS
●	RAIN BIRD PGA 1-1/2\"/>	6			
●	RAIN BIRD PGA 1\"/>	5			
BF	APOLLO VALVES 4A297A4F 1-1/2\"/>	1			
C	RAIN BIRD ESPLXME2 12 STATION TRADITIONALLY-WIRED, COMMERCIAL CONTROLLER. INDOOR/OUTDOOR, PLASTIC WALL-MOUNT ENCLOSURE.	1			
RF	RAIN BIRD WR2-RFS WIRELESS RAIN/FREEZE SENSOR.	1			
M	WATER METER 1\"/>	1			
---	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 1\"/>	1,652 L.F.			
---	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 1 1/2\"/>	127.8 L.F.			
---	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21 1 1/2\"/>	765.2 L.F.			
---	PIPE SLEEVE: PVC SCHEDULE 40	84.1 L.F.			



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A Landscape Development Plan for  
**Dutch Bros W. Nine Mile**  
Escambia County, Florida

Revisions

No.	Date	Revisions / Submissions
12.14.23		PERMIT SUBMITTAL

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YJ Drawn  
DM Project Manager  
LCW Principal  
232052-024  
11.30.23 Date

Registration - FL 14666895

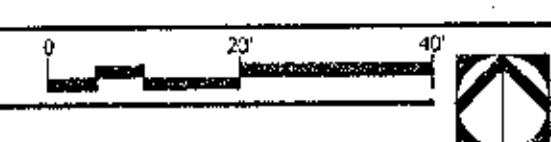
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Date: 2023.12.14 11:59:03-06'00'

Drawings not valid without seal.

**LANDSCAPE IRRIGATION PLAN**

Sheet No.

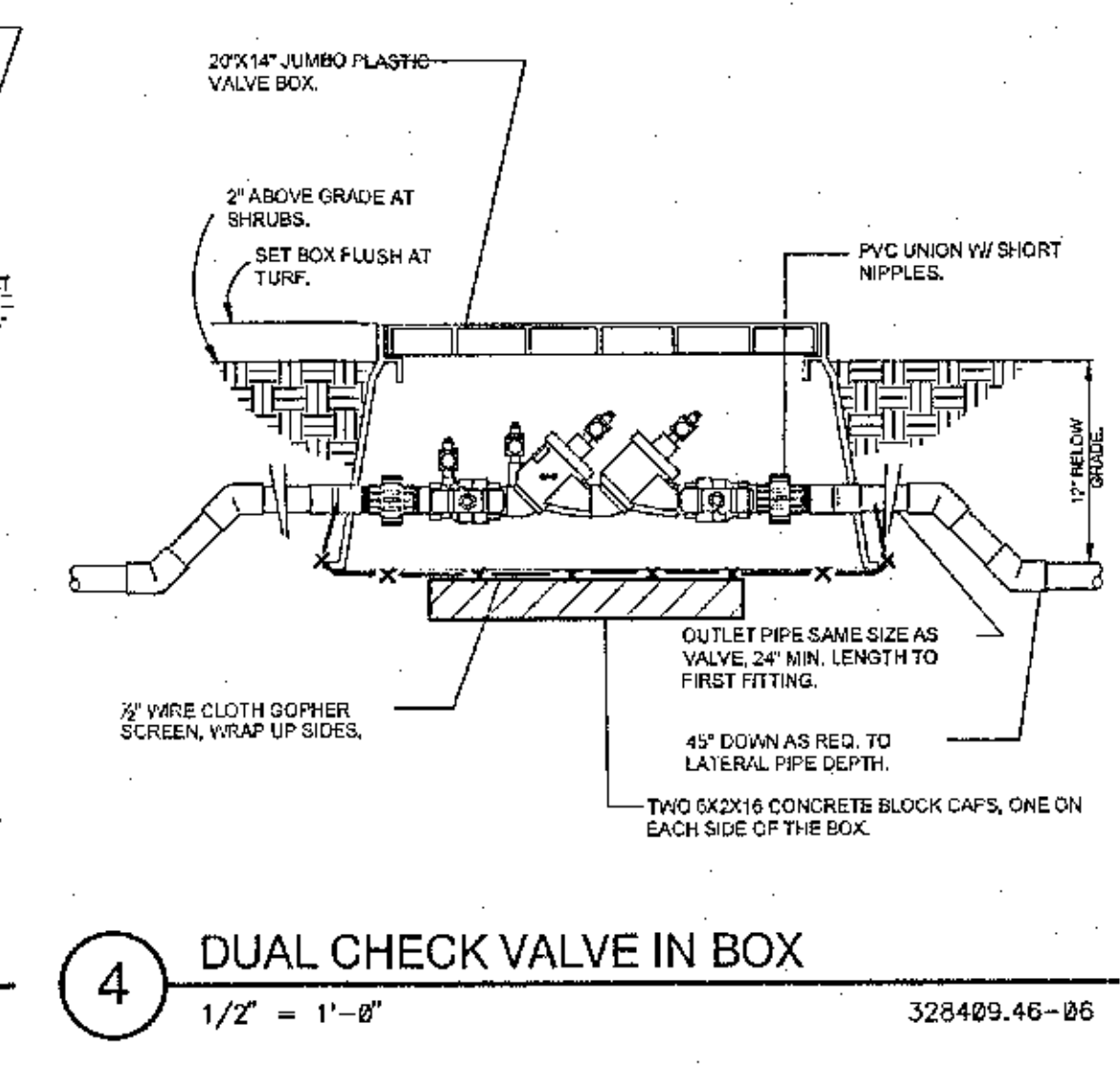
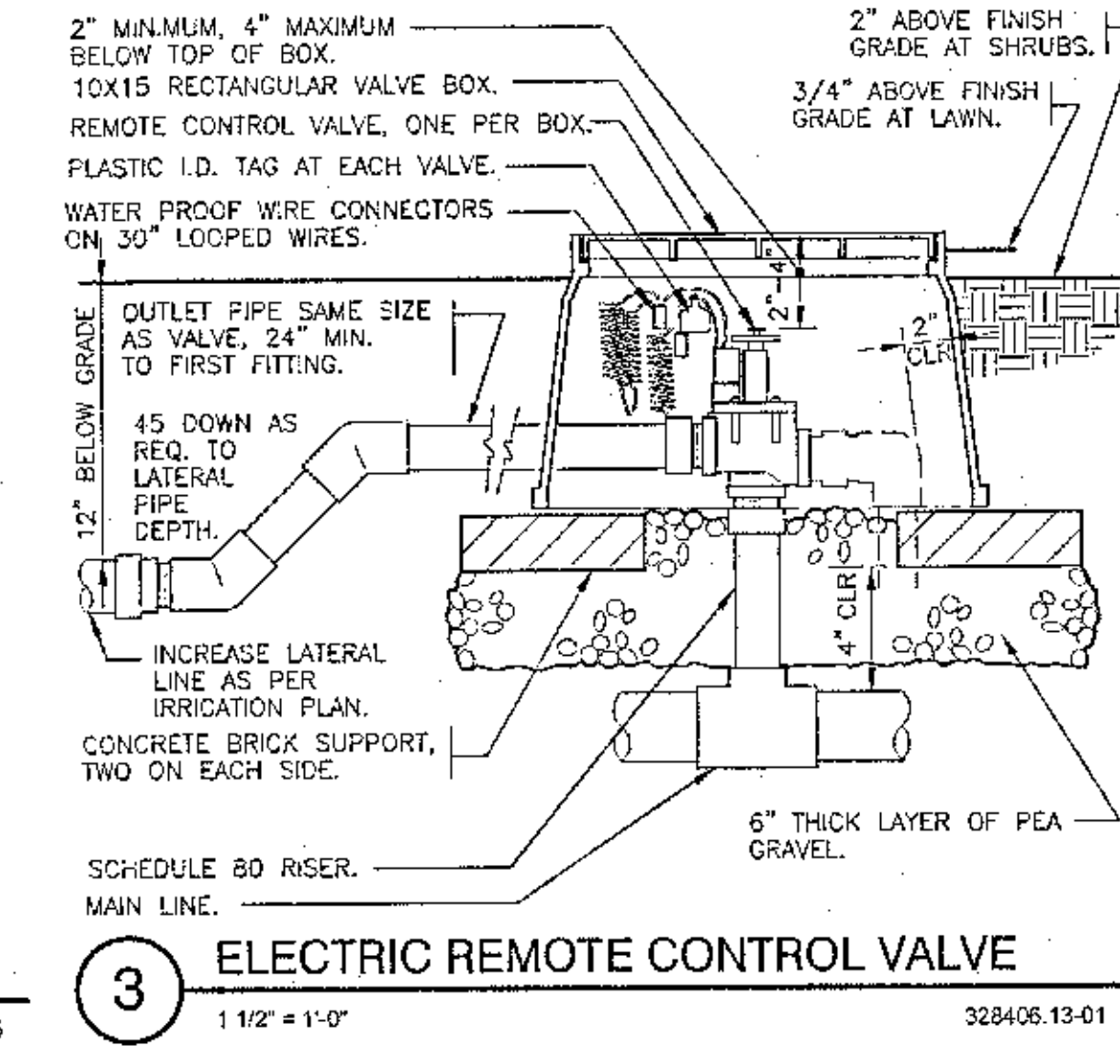
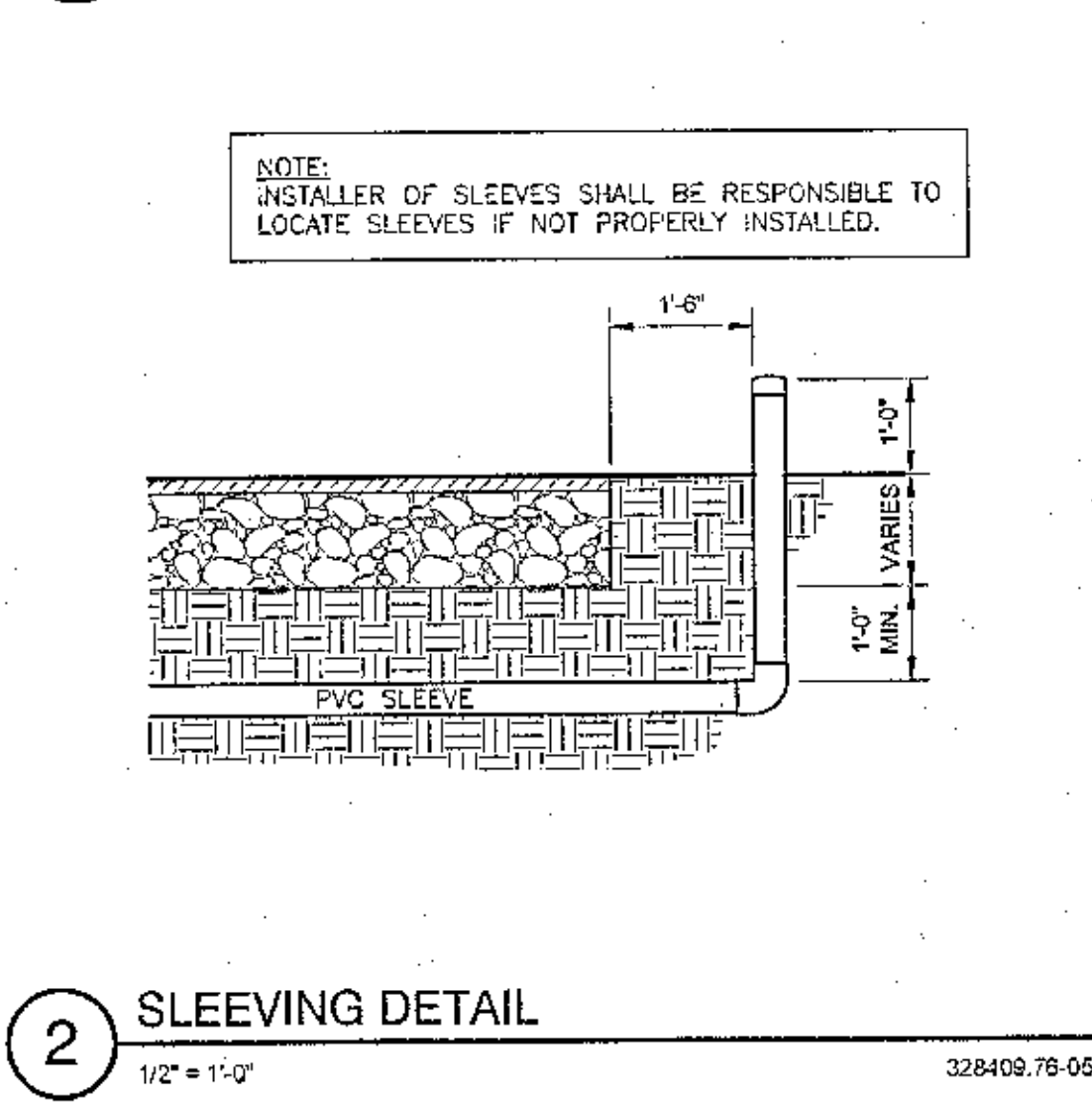
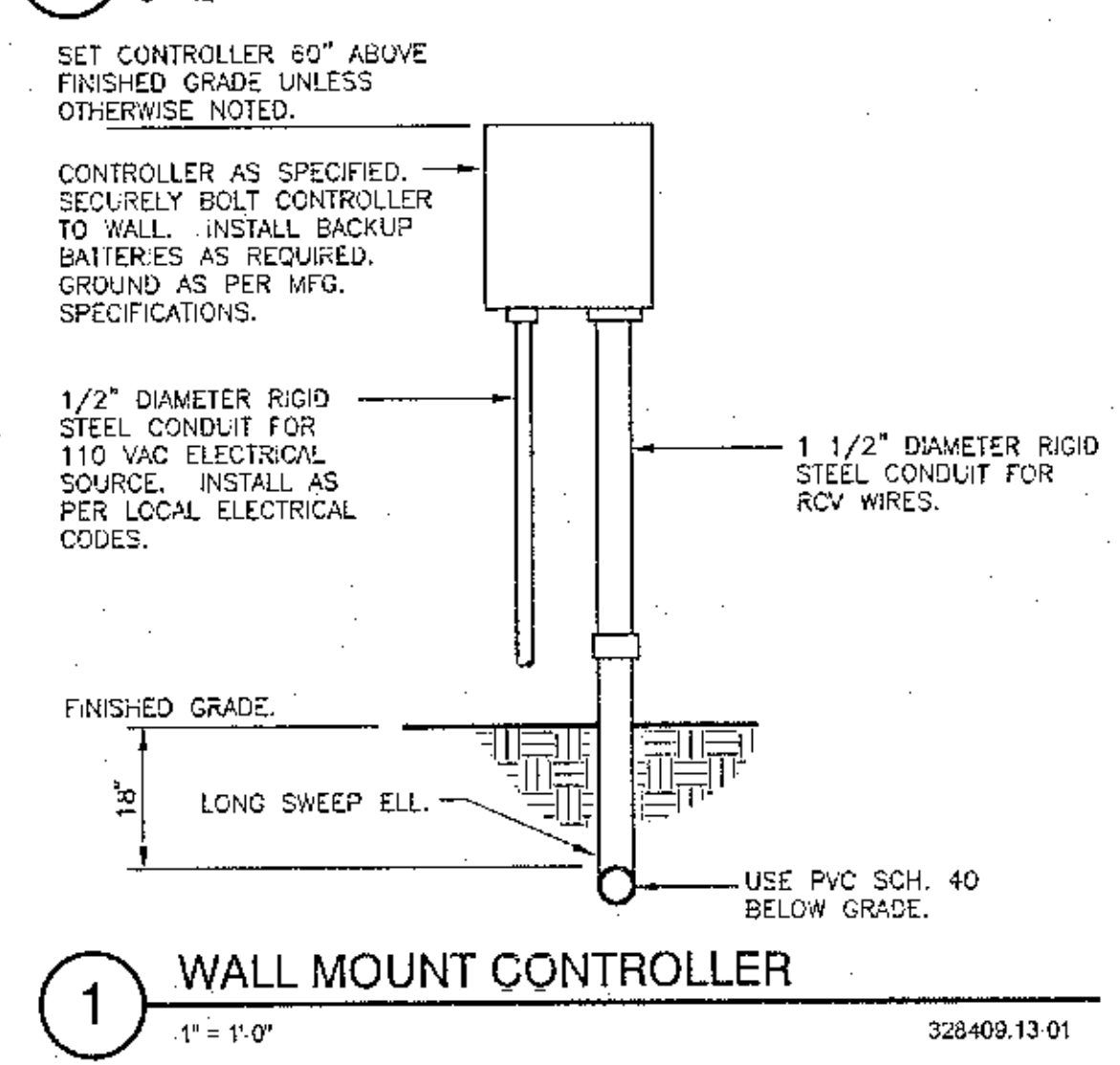
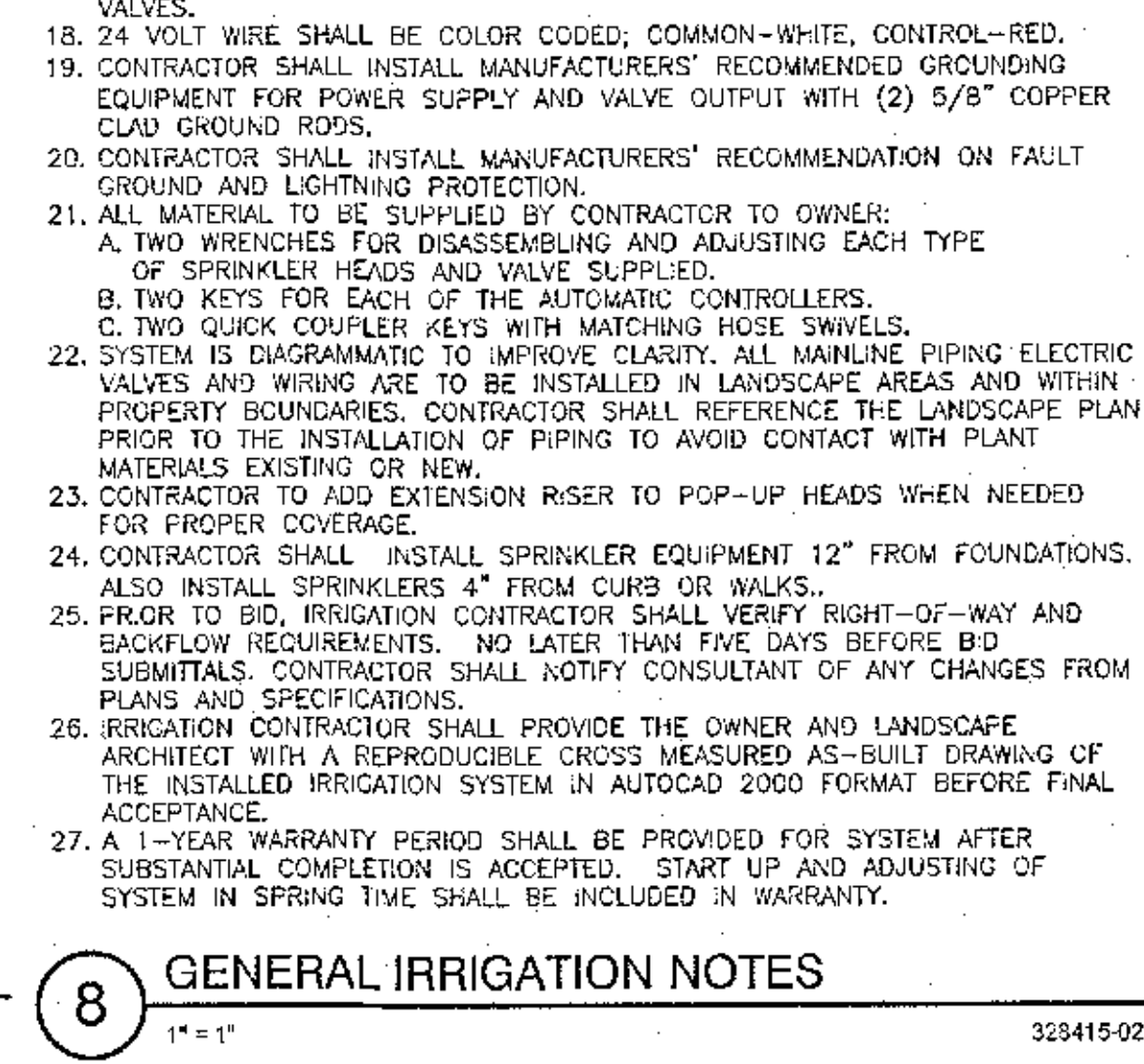
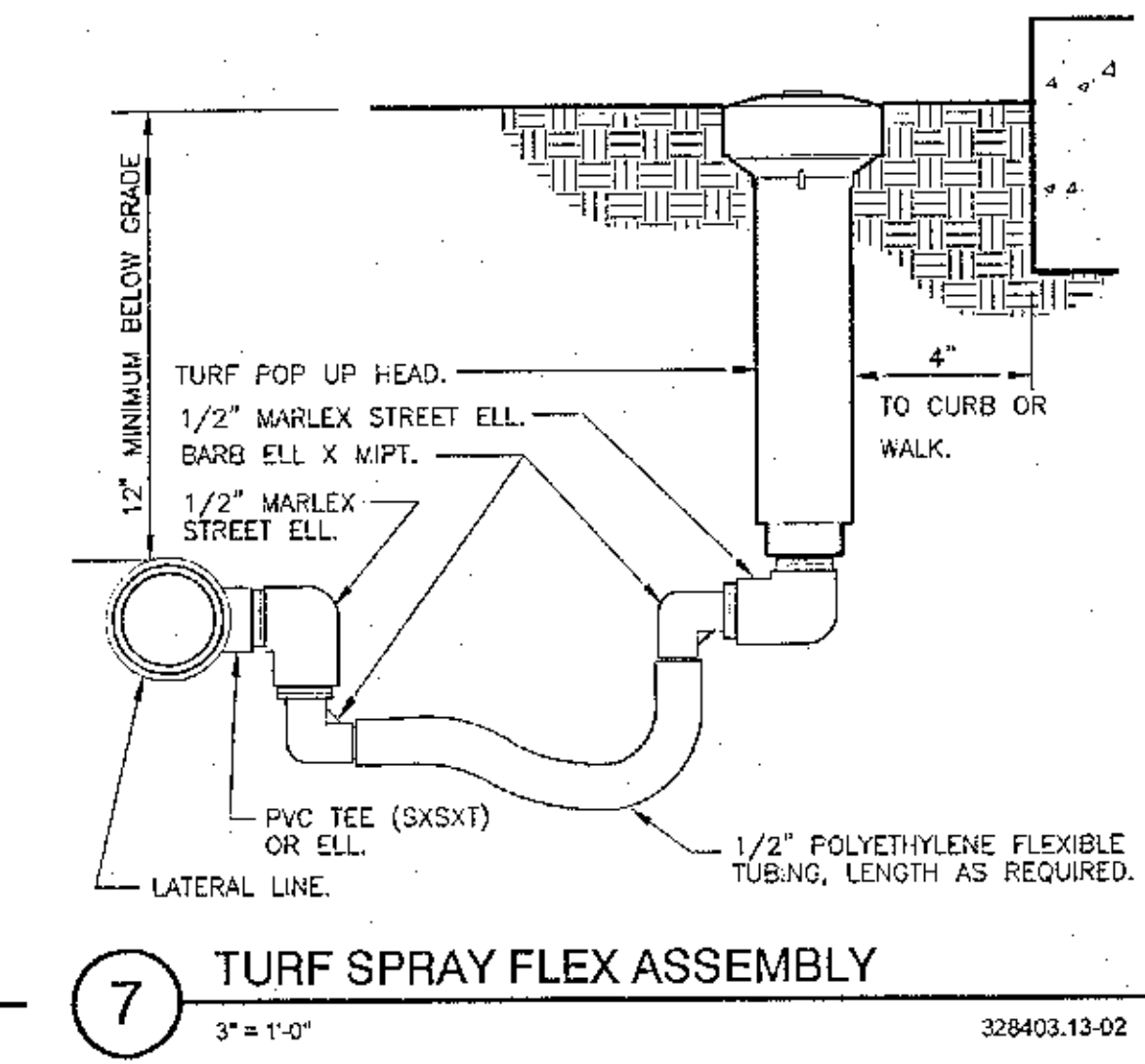
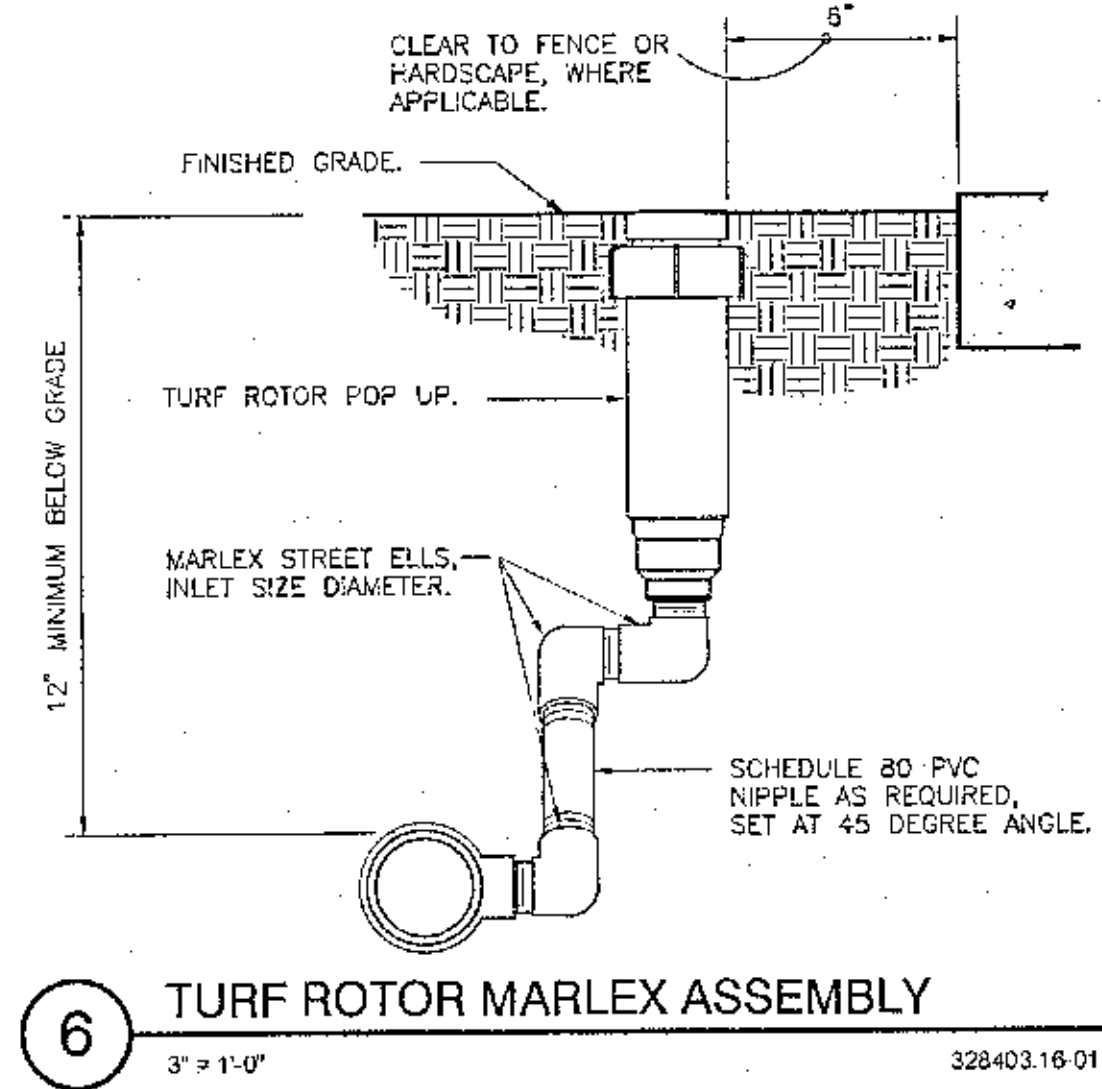
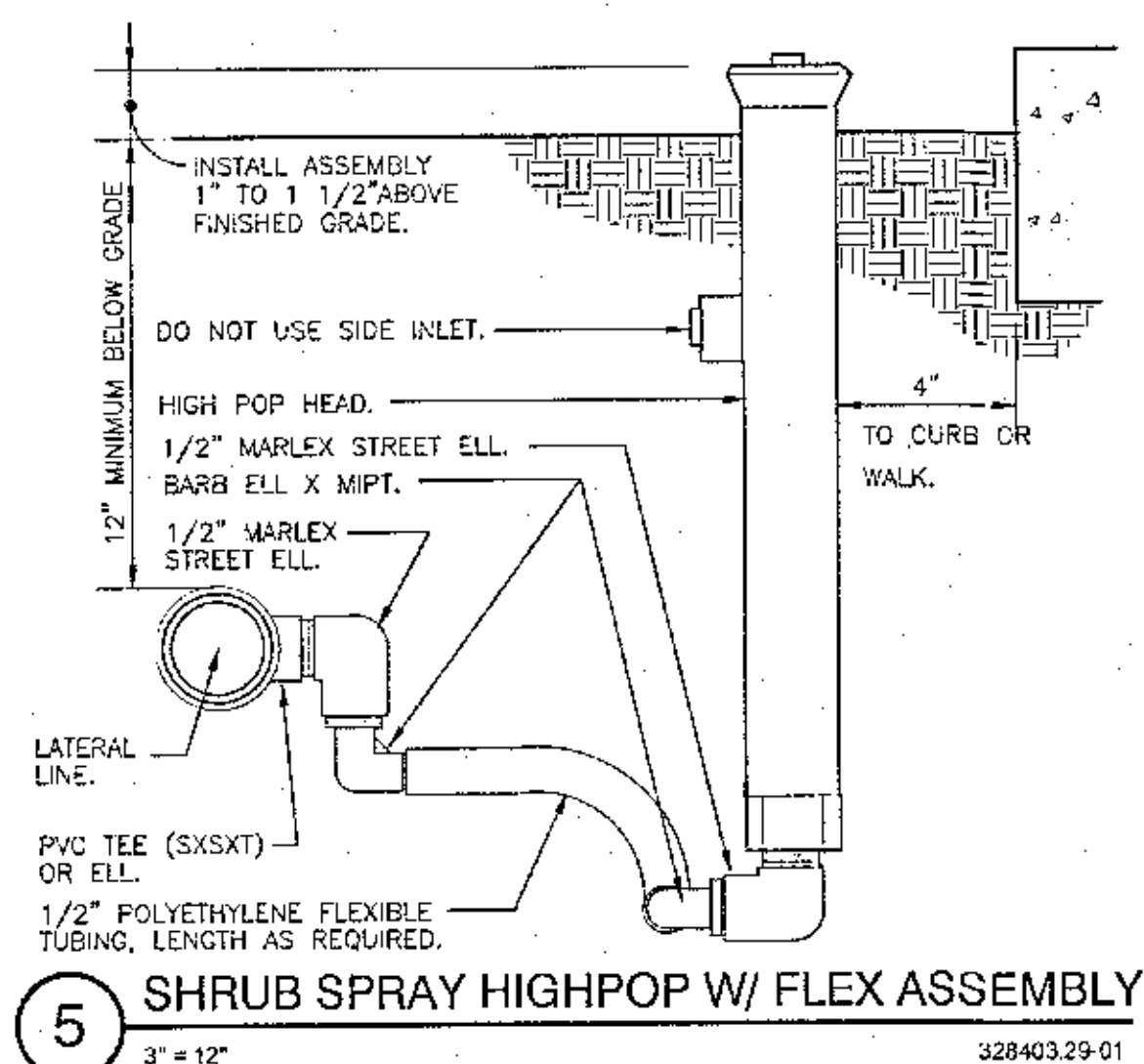
**L1100**



**NOT**  
FOR CONSTRUCTION  
THESE PLANS HAVE NOT BEEN  
APPROVED AND ARE SUBJECT  
TO CHANGE.

A Landscape Development Plan for  
**Dutch Bros W. Nine Mile**  
Escambia County, Florida

- ALL MAINLINES TO HAVE A MINIMUM OF 18" OF COVER. (CLASS 200 PVC PIPE).
- ALL LATERAL AND SUB-MAIN PIPE TO HAVE A MINIMUM OF 12" OF COVER. (CLASS 200 PVC PIPE).
- NO ROCKS, BOULDER, OR OTHER EXTRANEIOUS MATERIALS TO BE USED IN BACKFILLING OF TRENCH.
- ALL PIPE TO BE INSTALLED AS PER MANUFACTURERS' SPECIFICATIONS.
- ALL THREADED JOINTS TO BE COATED WITH TEFLON TAPE OR LIQUID TEFLON.
- ALL LINES TO BE THOROUGHLY FLUSHED BEFORE INSTALLATION OF SPRINKLER HEADS.
- SPRINKLER AND RELATED EQUIPMENT TO BE INSTALLED AS PER DETAILS.
- ALL ELECTRICAL JOINTS TO BE MADE USING WATERPROOF CONNECTIONS AS SHOWN ON DETAILS.
- ALL EQUIPMENT NOT SPECIFIED IN THE LEGEND SHALL BE DETERMINED AND FURNISHED BY THE CONTRACTOR.
- NO ELECTRICAL CONNECTIONS SHALL BE MADE IN THE FIELD EXCEPT AT A VALVE CONTROL BOX OR ANOTHER VALVE BOX SPECIFICALLY FOR CONNECTIONS.
- ANY DISCREPANCY BETWEEN THIS SHEET AND OTHERS IN THIS SET MUST BE REFERRED TO THE LANDSCAPE ARCHITECT BY THE CONTRACTOR FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- ALL 24 VOLT WIRE SHALL BE #12 UF/UL FOR COMMON WIRE, AND #14 UF/UL FOR CONTROL WIRES, DIRECT BURIAL, SOLID COPPER.
- CONTRACTOR TO BE RESPONSIBLE FOR PROPER COVERAGE OF AREAS TO BE WATERED, I.E. ADJUST HEADS WITH INSUFFICIENT COVERAGE DUE TO BLOCKAGE BY EXISTING OR PROPOSED SITE FEATURES.
- CONTRACTOR TO REFER TO LANDSCAPE PLAN TO KEEP SPRINKLER EQUIPMENT AND ACCESSORY MATERIAL FROM INTERFERING WITH PROPER PLANTING, I.E. VERIFY ROOT BALL SIZE FOR PLANTING.
- CONTRACTOR SHALL PROVIDE EXPANSION COILS AT EACH WIRE CONNECTION IN VALVE BOX (WRAP AROUND 3/4" PIPE 12 TIMES).
- CONTRACTOR TO UTILIZE APPROPRIATE AUTOMATIC DRAIN DEVICE WHERE LOW HEAD DRAINAGE MAY OCCUR.
- CONTRACTOR SHALL UTILIZE VALVE I.D. TAGS ON ALL REMOTE CONTROL VALVES.
- 24 VOLT WIRE SHALL BE COLOR CODED; COMMON-WHITE, CONTROL-RED.
- CONTRACTOR SHALL INSTALL MANUFACTURERS' RECOMMENDED GROUNDING EQUIPMENT FOR POWER SUPPLY AND VALVE OUTPUT WITH (2) 5/8" COPPER CLAD GROUND RODS.
- CONTRACTOR SHALL INSTALL MANUFACTURERS' RECOMMENDATION ON FAULT GROUND AND LIGHTNING PROTECTION.
- ALL MATERIAL TO BE SUPPLIED BY CONTRACTOR TO OWNER:  
A. TWO WRENCHES FOR DISASSEMBLING AND ADJUSTING EACH TYPE OF SPRINKLER HEADS AND VALVE SUPPLIED.  
B. TWO KEYS FOR EACH OF THE AUTOMATIC CONTROLLERS.  
C. TWO QUICK COUPLER KEYS WITH MATCHING HOSE SWIVELS.
- SYSTEM IS DIAGRAMATIC TO IMPROVE CLARITY. ALL MAINLINE PIPING, ELECTRIC VALVES AND WIRING ARE TO BE INSTALLED IN LANDSCAPE AREAS AND WITHIN PROPERTY BOUNDARIES. CONTRACTOR SHALL REFERENCE THE LANDSCAPE PLAN PRIOR TO THE INSTALLATION OF PIPING TO AVOID CONTACT WITH PLANT MATERIALS EXISTING OR NEW.
- CONTRACTOR TO ADD EXTENSION RISER TO POP-UP HEADS WHEN NEEDED FOR PROPER COVERAGE.
- CONTRACTOR SHALL INSTALL SPRINKLER EQUIPMENT 12" FROM FOUNDATIONS. ALSO INSTALL SPRINKLERS 4" FROM CURBS OR WALKS.
- BEFORE TO BID, IRRIGATION CONTRACTOR SHALL VERIFY RIGHT-OF-WAY AND BACKFLOW REQUIREMENTS. NO LATER THAN FIVE DAYS BEFORE BID SUBMITTALS. CONTRACTOR SHALL NOTIFY CONSULTANT OF ANY CHANGES FROM PLANS AND SPECIFICATIONS.
- IRRIGATION CONTRACTOR SHALL PROVIDE THE OWNER AND LANDSCAPE ARCHITECT WITH A REPRODUCIBLE CROSS MEASURED AS-BUILT DRAWING OF THE INSTALLED IRRIGATION SYSTEM IN AUTOCAD 2000 FORMAT BEFORE FINAL ACCEPTANCE.
- A 1-YEAR WARRANTY PERIOD SHALL BE PROVIDED FOR SYSTEM AFTER SUBSTANTIAL COMPLETION IS ACCEPTED. START UP AND ADJUSTING OF SYSTEM IN SPRING TIME SHALL BE INCLUDED IN WARRANTY.



Revisions		
No.	Date	Revisions / Submissions
12	14.23	PERMIT SUBMITTAL

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Registration - FL L6666896

Drawn  
DM  
Project Manager  
LCW  
Principal  
232052-024  
Project No.  
11.30.23  
Date

Digitally signed  
by Lester C  
Watkins  
Date:  
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Drawings not valid without seal