

PROJECT INFORMATION
<b>CLIENT INFORMATION:</b> KEENAN & SONS, INC. 3250 W. FAIRFIELD DRIVE, PENSACOLA, FL 32505
<b>PROJECT ADDRESS:</b> 33 COAST ROAD, PENSACOLA, FL 32507
<b>PROPERTY REFERENCE NUMBER:</b> 52-25-30-2501-000-004
<b>ZONE:</b> HC/LI
<b>FUTURE LAND USE (FLU):</b> COMMERCIAL
<b>LEGAL DESCRIPTION:</b> COM AT INTER S R/W LI COASTAL RD (50 FT R/W) AND W R/W LI OF CORRY FIELD RD (70 FT R/W) N 87 DEG 35 MIN 52 SEC W ALG S R/W LI 186.75 TO POB S 02 DEG 31 MIN 37 SEC W 162.38 FT N 87 DEG 19 MIN 51 SEC W 201.29 FT N 02 DEG 28 DEG 39 SEC E 14.95 FT N 23 DEG 42 MIN 34 SEC E 170.94 FT TO NON TANGENT CURVE CONCAVE NLY POINT BEING O S R/W LI RADIUS 788.03 FT SELLY ANG ARC 140.28 FT (DELTA ANGLE = 10 DEG 11 MIN 57 SEC CH 140.99 FT CH BRG S 82 DEG 22 MIN 08 SEC E TO POB OR 8752 P 366
<b>ENGINEER-OF-RECORD:</b> VOELKEL ENGINEERING 103 BAY BRIDGE DR. GULF BREEZE, FL 32561
<b>GENERAL CONTRACTOR:</b> KEENAN & SONS, INC. 3250 W. FAIRFIELD DRIVE, PENSACOLA, FL 32505
<b>ENTITY RESPONSIBLE FOR OPERATING AND MAINTAINING STORMWATER SYSTEM</b> NAIL SALON 33 COAST RD, PENSACOLA, FL 32507

PROJECT SCOPE
NEW 1,500 SQUARE-FOOT PRE-ENGINEERED METAL BUILDING TO BE BUILT AT 33 COAST ROAD IN PENSACOLA, FLORIDA. SITE WORK WILL INCLUDE GRADING, STORMWATER MANAGEMENT, AND LANDSCAPING.

NOTICE
ANY DEVIATION FROM THESE PLANS WITHOUT WRITTEN APPROVAL BY THE ENGINEER OF RECORD IS NOT AUTHORIZED UNLESS OBTAINED IN WRITING WITH THE SIGNATURE AND RAISED SEAL OF THE ENGINEER-OF-RECORD. IF ANY UNAUTHORIZED MODIFICATIONS OCCUR, THE ENGINEER-OF-RECORD SHALL NOT BE RESPONSIBLE FOR DAMAGES OR COSTS RESULTING FROM THE MODIFICATION. IF SITE CONDITIONS ARE FOUND TO DIFFER FROM THOSE SET FORTH IN THESE PLANS OR IF ANY DISCREPANCIES ARE DISCOVERED, NOTIFY THE ENGINEER-OF-RECORD IMMEDIATELY. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR WORK THAT CONTINUES DESPITE KNOWN DISCREPANCIES.

DRAWING INDEX
T1 TITLE PAGE C1 EXISTING SITE CONDITIONS C2 PROPOSED SITE PLAN C3 LANDSCAPE AND DETAILS

PROJECT COVERAGE
<b>PROJECT LOT SIZE:</b> 29,069 SQ.FT. (0.67 ACRES)
<b>PRE-EXISTING CONDITIONS:</b> PERVIOUS SURFACE: 29,069 SQ.FT. IMPERVIOUS SURFACE: 0 SQ.FT. BUILDING: 0 SQ.FT.
<b>PROPOSED CONDITIONS:</b> PERVIOUS SURFACE: 20,607 SQ.FT. IMPERVIOUS (PARKING): 6,962 SQ. FT. IMPERVIOUS (BUILDINGS): 1,500 SQ. FT.
<b>MAXIMUM COVERAGE:</b> 85% OF 29,069 SQ.FT. = 24,709 SQ.FT. <b>ACTUAL COVERAGE:</b> 8,462 SQ.FT./29,069 SQ.FT. = 0.29 (< 85%) <b>LANDSCAPE AREA (NO POND):</b> 4,400 SQ.FT. = 16.9% LANDSCAPE AREA

TREE PROTECTION
NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD HAPPEN UNDER THE DRIPLINE OF PROTECTED TREES TO REMAIN ON THE SITE. STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE DRIPLINE OF PROTECTED TREES ON SITE. TREE PROTECTION BARRICADES SHOULD BE PLACED AROUND THE DRIPLINE OF ALL PROTECTED TREES MARKED FOR PRESERVATION PRIOR TO ANY LAND DISTURBANCE CONSISTENT WITH THE DEVELOPMENT ORDER. ZERO (0) PROTECTED TREES ARE TO BE REMOVED FROM THE PROJECT SITE. SEE BELOW.

PARKING CALCULATIONS
<b>PROFESSIONAL SERVICE OFFICE BUILDING:</b> 1,500 SQ. FT. • 3.5 SPACES FOR EACH 1,000 SQUARE FEET OF GROSS OFFICE FLOOR AREA. • 1,500 SQ. FT. / 286 (SQ. FT. / SPACE) = 6 SPACES (MINIMUM)
<b>HANDICAP PARKING CALCULATIONS:</b> • ONE SPACE PER 25 PARKING SPACES • 6 SPACES / 25 = 1 HC SPACES

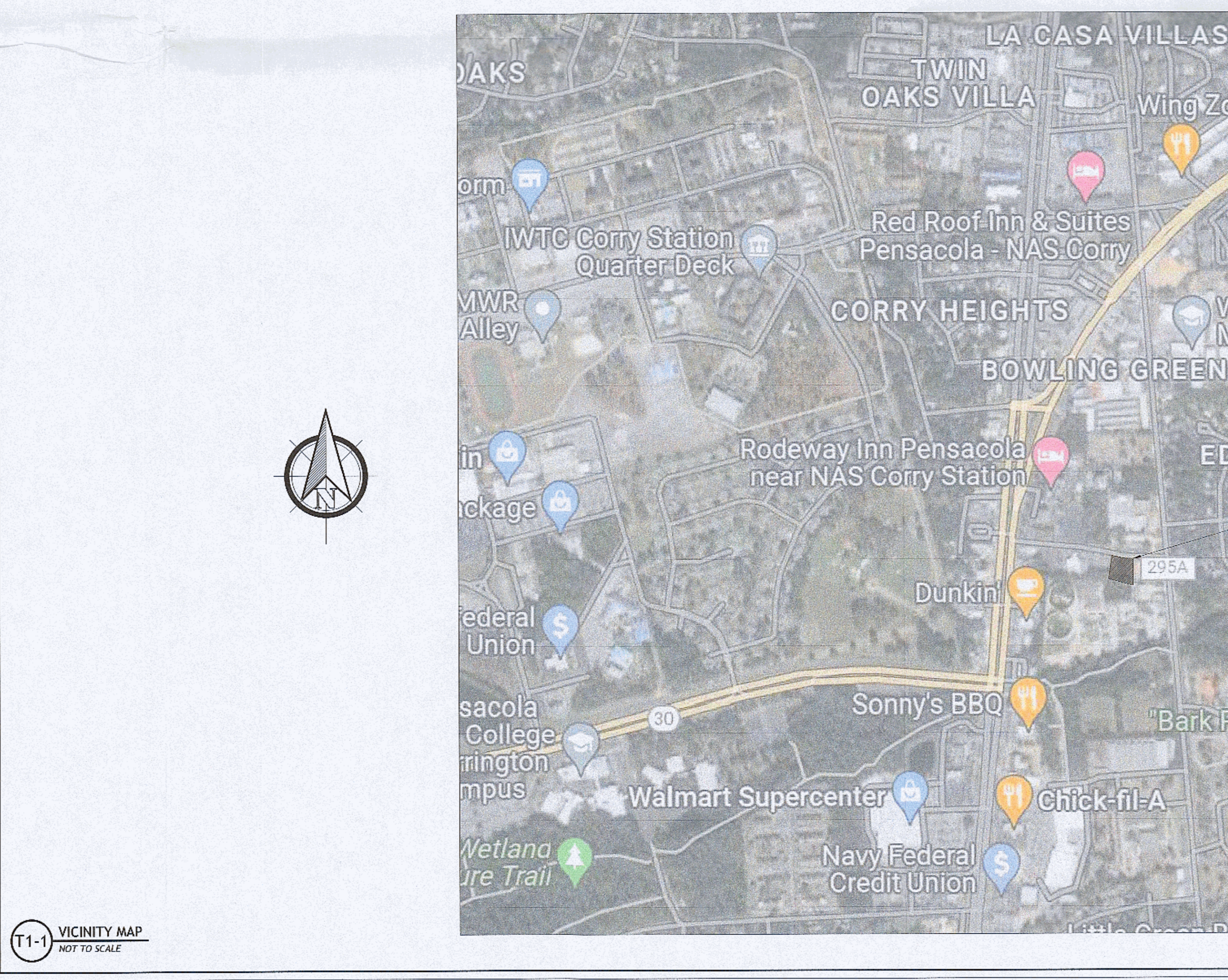
BUILDING SETBACK
MINIMUM FRONT YARD: 15 FEET MINIMUM REAR YARD: 15 FEET MINIMUM SIDE YARD: 10 FEET

REQUIRED LANDSCAPE
TREE REMOVAL: TOTAL DBH REMOVED = 0' REQUIRED TREE REPLACEMENT: TBD NO TREES SHALL BE MODIFIED OR REMOVED PRIOR TO ISSUANCE OF PROPER PERMITS.

POND VOLUME CHANGE
PROPOSED POND: 3' DEEP, 4,312 C.F.

CONTRACTOR NOTES	
1. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.  2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR(S) SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND DOCUMENTATION FROM ALL OF THE PERMITTING AND REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY.  3. CONTRACTOR SHALL BE REQUIRED TO HAVE STUDIED THE DOCUMENTS, INCLUDING THE DRAWINGS AND PROJECT MANUALS, TO HAVE VISITED THE SITE, AND TO HAVE FAMILIARIZE HIMSELF REGARDING ALL EXISTING CONDITIONS AND NEW WORK UNDER WHICH HE WILL BE OBLIGATED TO PERFORM.  4. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER AND ENGINEER AND SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL CODES.  5. NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN THE THE RIGHT-OF-WAY OR PROJECT BOUNDARIES - 1-800-432-4770.  6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL THE UTILITIES WITHIN THE LIMITS OF THE PROJECT AREA PRIOR TO THE START OF THE SITE WORK. ALL THE DAMAGES MADE TO THE EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.  7. THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY HIS OPERATIONS. AT THE COMPLETION OF THE WORK THE CONTRACTOR SHALL PERFORM A FINAL CLEAN-UP, CLEAN ALL SURFACES AND LEAVE THE PROJECT AREA CLEAN.  8. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL DRIVES AND PARKING AREAS DURING CONSTRUCTION.  9. ALL ROADS DAMAGED BY CONSTRUCTION OPERATIONS ARE TO BE PATCHED OR RECONSTRUCTED AS DIRECTED BY THE CITY ENGINEER OR DESIGNEE.  10. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.  11. WORK PROPOSED NEXT TO THE RIGHT-OF-WAY WITH EXISTING SWALE SYSTEMS MAY REQUIRE ADDITIONAL PROVISIONS TO REPAIR/RESTORE EXISTING DRAINAGE SWALES AS NEEDED TO ENSURE ADEQUATE DRAINAGE. RIGHT-OF-WAY SHOULDER STABILIZATION SHOULD BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION.  12. VEGETATION IN THE RIGHT-OF-WAY AND EASEMENTS SHALL BE RESTORED TO ORIGINAL CONDITION UNLESS OTHERWISE NOTED ON THE PLAN SHEETS.  13. THE CONTRACTOR SHALL FOLLOW MAINTENANCE OF TRAFFIC AS PER FDOT INDEX 601, 602 AND 603 WHEN WORKING ON RIGHT-OF-WAY.  14. NO LANE CLOSURES BETWEEN 6:00 AM AND 8:00 PM. NO LANE CLOSURES ON HOLIDAYS, INCLUDING THE PROCEEDING AND FOLLOWING DAY..	15. TREE PROTECTION BARRICADES SHALL BE PLACED PRIOR TO THE COMMENCEMENT OF ANY SITE WORK, INCLUDING LAND CLEARING, AND SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT. SEE CIVIL DETAILS FOR INSTALLATION SPECIFICATIONS.  16. UTILITY OWNERS SHALL BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE PRIOR TO ANY CONSTRUCTION SO THE UTILITY OWNER CAN SPOT VERIFY AND/OR EXPOSE THEIR UTILITIES. KNOWN UTILITY OWNERS INCLUDE:  BELLSOUTH COMMUNICATIONS ENGINEERING DEPT. 605 W. GARDEN ST. PENSACOLA, FL 32501 COX COMMUNICATIONS MR. TOY YOUNG 3405 MCLEMORE DR. PENSACOLA, FL 32514 KOCH GATEWAY PIPELINE CO P.O. DRAWER 16143 MOBILE, AL 36616  ENERGY SERVICES OF PENSACOLA MR. GLEN BAILEY 1625 ATWOOD DR PENSACOLA, FL 32514 SPRINT ENGINEERING DEPT 3065 CUMBERLAND CIR. SE CMBERLAND CENTER I ATLANTA, GA 30339-3166 GULF POWER COMPANY ENGINEERING DEPT PO BOX 1151 PENSACOLA, FL 32520-0041  MCI WORLDCOM DEPT. 42864 LOCATION 107 2400 N. GLENVILLE RICHARDSON, TX 75082 MEDIACOM, INC MR. EDDIE ARNOLD 4349 AVALON BLVD MILTON, FL 32583 LEVEL 3 COMMUNICATIONS ENGINEERING DEPT 7891 SEARS BLVD PENSACOLA, FL 32514  AT&T FLORIDA MR. STAN WRIGHT 605 W. GARDEN ST, 2ND FLOOR PENSACOLA, FL 32501 EMERALD COAST UTILITIES AUTHORITY MR. KEVIN AYERS 9300 STURDEVANT ST PENSACOLA, FL 32514  17. THE OWNER OR HIS AGENT SHALL ARRANGE / SCHEDULE WITH ESCAMBIA COUNTY. A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850)436-5600. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION / APPROVAL.  18. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF PONDS(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION. THE PROJECT ENGINEER SHALL VERIFY AND APPROVE THE AS-BUILT CONDITIONS WITH NOTIFICATION TO ESCAMBIA COUNTY PRIOR TO THE FINAL INSPECTION.  19. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED, AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.  20. A COPY OF THE ERP PERMIT FROM NORTHWEST FLORIDA WATER MANAGEMENT IS TO BE ONSITE. CONTRACTOR IS REQUIRED TO REVIEW THE COMPLETE PERMIT BEFORE CONSTRUCTION BEGINS. A WEATHER RESISTANT 8 1/2" x 11" SIGN, WITH PERMIT NUMBER, IS TO FACE THE ROADWAY.

NOTES:
1. NO SITE WORK ACTIVITIES SHALL TAKE PLACE WITHOUT COUNTY SITE REVIEW/APPROVAL OF PROPOSED EROSION CONTROL MEASURES AND ADVANCED NOTIFICATION OF THE REQUESTED INSPECTION IS REQUIRED. 2. ANY DEVIATIONS FROM THE APPROVED PLAN WILL REQUIRE APPROVAL FROM BOTH ESCAMBIA COUNTY AND THE ENGINEER OF RECORD. 3. SHOULD OFFSITE TRACKING OF DIRT AND SEDIMENT OCCUR, A ROCK CONSTRUCTION ENTRANCE WILL BE REQUIRED. 4. ALL CONCRETE SHALL BE A MINIMUM OF 3,000 PSI CONCRETE AT 28 DAYS WITH FIBERMESH REINFORCEMENT.



STORMWATER ROUTING AND DRAINAGE
STORMWATER FROM THE SITE CURRENTLY DRAINS WEST TO EAST ACROSS THE PROPERTY. A NEW RETENTION POND IS PROPOSED FOR CONSTRUCTION ON THE EAST SIDE OF THE PROPOSED METAL BUILDING. THE POND WILL BE DESIGNED TO TREAT AND RETAIN THE ENTIRE 100-YEAR STORM EVENT. THERE ARE NO NEGATIVE IMPACTS ON ADJACENT PROPERTIES.

STORMWATER MANAGEMENT PLAN
1. THE PROJECT ENGINEER (ENGINEER-OF-RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER. 2. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY. 3. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY. 4. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION. 5. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS. 6. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD. 7. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION. 8. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF PONDS(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION. 9. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH ESCAMBIA COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3472. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL. 10. THE RETENTION/DETENTION AREA IS TO BE KEPT GRASSED, AND MOWED. SEMIANNUALLY THIS AREA IS TO BE INSPECTED FOR EROSION, BUILDUP OF SEDIMENT, AND FUNCTIONALITY, AND CORRECTIVE ACTION, IF REQUIRED, WILL BE EFFECTED. 11. THE CROSS SECTIONS (ELEVATIONS) OF THE RETENTION/DETENTION AREAS ARE TO BE CHECKED SEMIANNUALLY AND MAINTAINED AS DESIGNED. 12. THE RETENTION/DETENTION AREA SHALL BE PERIODICALLY CLEANED, RESHAPED, AND STABILIZED AS REQUIRED TO RESTORE IT TO ITS ORIGINAL CONFIGURATION.

STORMWATER POLLUTION PREVENTION
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ROUTINE INSPECTIONS OF THE STORMWATER POLLUTION PREVENTION CONTROLS AND TO MAINTAIN THEIR INTEGRITY THROUGHOUT THE DURATION OF CONSTRUCTION. INSPECTIONS MUST OCCUR AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM EVENT THAT IS 0.50 INCHES OR GREATER. THE FOLLOWING ARE TO BE IN WORKING ORDER:  - SILT FENCE - VEGETATIVE BUFFER STRIP - RETENTION POND - CONSTRUCTION ENTRANCE STABILIZATION - PAVED ROAD SURFACE - TEMPORARY SEED/SOD - PERMANENT SEED/SOD - MULCH - TREE PROTECTION - WASTE DISPOSAL/HOUSEKEEPING

EROSION / SEDIMENT CONTROL
1. THE RETENTION/DETENTION AREAS SHALL BE CONSTRUCTED FIRST, LESS FINISHED STABILIZATION. 2. SILT FENCE SHALL BE PLACED AS SHOWN OR AS REQUIRED. SEE DETAIL C3-7, PAGE C3. POSTS FOR SILT FENCES SHALL BE AT DEPTH TO RESIST OVERTURNING. THE BOTTOM EDGE OF THE FABRIC SHALL BE BELOW GRADE AND COVERED WITH SOIL. SUPPLEMENT WITH HAY BALES AS NEEDED TO PREVENT THE PASSAGE OF SOIL MATERIALS. 3. ISOLATED AREAS OF CONSTRUCTION MAY NEED TO BE ADDRESSED BY THE CONTRACTOR AS FIELD CONDITIONS DICTATE. 4. UPON COMPLETION OF CONSTRUCTION, THE RETENTION/DETENTION AREA IS TO BE RESHAPED, CLEANED OF ALL ACCUMULATED SILT, AND STABILIZED WITH SOD. 5. UPON COMPLETION OF CONSTRUCTION, ALL DISTURBED AREAS ARE TO BE STABILIZED WITH SEED OR SOD. 6. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL EROSION CONTROL MEASURES ARE MAINTAINED AND FULLY FUNCTIONAL DURING RAINFALL EVENTS. 7. ALL NEW STORMWATER RUNOFF IS TO BE DIRECTED TO THE STORMWATER PONDS. 8. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO THE RETENTION/DETENTION AREAS. 9. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD.

FLOOD ZONE
"The subject property as shown hereon is located in flood zone X <sub>1</sub> (Minimal risk areas outside the 1-percent and .2-percent-annual-chance floodplains. No BFEs or base flood depths are shown within these zones), as determined from the Federal Emergency Management Agency Flood Insurance Rate Map of Escambia County, Florida, Community 210080, FIRM map panel numbers 12033C0369G, map revision dated September 29, 2006. Prelim Maps January 27, 2017, map panel number 12033C0419J."

**Approved**  
**ESCAMBIA COUNTY DRC PLAN REVIEW**

DRC Chairman Signature: *[Signature]* Date: *9/16/22*  
 Printed Name: Eric Johnson  
 Development Services Director or Designee

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

Title: **SITE PLAN**  
**CLARENCE JACKSON NAIL SALON**  
**33 COAST ROAD**  
**PENSACOLA, FL 32507**  
 Prepared for: **KEENAN & SONS, INC.**

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Date	Revision

FOR REVIEW ONLY  
without signature and seal.

J. Christian Voelkel FLPE 82229

Designed By: JCV / SPK  
 Checked By: JCV  
 Project #: 000-211114

Scale: As Noted  
 Sheet: T1





