

BOARD OF COUNTY COMMISSIONERS
ESCAMBIA COUNTY, FLORIDA
PUBLIC WORKS DEPARTMENT
ENGINEERING / INFRASTRUCTURE DIVISION



PLANS PROPOSED FOR
FERRY PASS
COMMUNITY CENTER

INDEX OF PLANS

- 1. C001 COVER SHEET
- 2. C002 PROJECT NOTES
- 3. C003 SUMMARY OF PAY ITEMS
- 4. C101 EXISTING CONDITIONS
- 5. C102 DEMOLITION AND EROSION CONTROL PLAN
- 6. C103 PROTECTED TREE REMOVAL TABLE
- 7. C201 SITE PLAN
- 8. C202 SITE GEOMETRY PLAN
- 9. C203 STAKING POINT TABLE
- 10. C301 SITE UTILITY PLAN
- 11. C302 LANDSCAPING PLAN
- 12. C401 DRAINAGE PLAN
- 13. C402 GRADING PLAN
- 14. C501 DETAILS
- 15. C502 DETAILS
- 16. C503 DETAILS
- 17. C601 EROSION CONTROL DETAILS
- 18. E-1 ELECTRICAL LEGEND AND NOTES
- 19. E-2 ELECTRICAL SPECIFICATIONS
- 20. E-3 ELECTRICAL DETAILS
- 21. E-4 ELECTRICAL SITE PLAN
- 22. E-5 PHOTOMETRIC PLAN
- 23. E-6 ELECTRICAL RISER AND PANEL

Approved ESCAMBIA COUNTY DRC PLAN REVIEW	
DRC Chairman Signature: <i>[Signature]</i>	Date: 3-6-24
Printed Name: <i>[Signature]</i> Development Services Director or Designee	
<small> This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances and does not in any way relieve the submitting Architect, Engineer, Surveyor, or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat, or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit. </small>	

JANUARY 2024

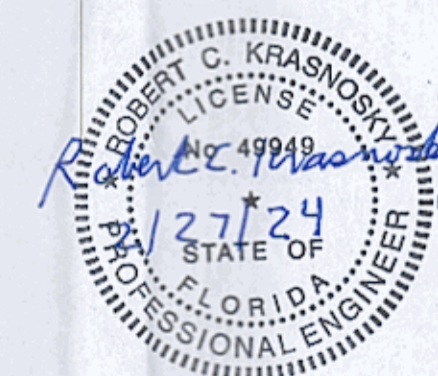
COMMISSIONERS

- DISTRICT ONE JEFF BERGOSH
- DISTRICT TWO MIKE KOHLER
- DISTRICT THREE LUMON MAY
- DISTRICT FOUR ROBERT BENDER, VICE CHAIRMAN
- DISTRICT FIVE STEVEN BARRY, CHAIRMAN

PROJECT LOCATION



VICINITY MAP



THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE LATEST ESCAMBIA COUNTY TECHNICAL SPECIFICATIONS.

ANY REFERENCE TO FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, DIVISION I, GENERAL REQUIREMENTS AND COVENANTS, SHALL BE EXCLUDED AND NOT APPLICABLE TO ANY SPECIFICATION REFERRED HEREIN OR OTHERWISE LISTED IN THESE PLANS OR RELATED DOCUMENTS OR THE ESCAMBIA COUNTY TECHNICAL SPECIFICATIONS.

PROJECT MANAGER: NICOLAS CHAUVIN	
SECTION / TOWNSHIP / RANGE: 04/1S/29W	DISTRICT: 4
PROJECT ENGINEER: ROBERT C. KRASNOSKY	REG FLA ENG NO: 49949
SIGNATURE:	DATE: JANUARY 2024

PERMIT SET

GENERAL NOTES:

- 1. ALL CONDITIONS AND STIPULATIONS OF THE CONSTRUCTION PERMITS AND THE APPROVALS ISSUED BY THE ESCAMBIA COUNTY ENGINEER SHALL BE COMPLIED WITH IN EVERY DETAIL.
2. ALL ROADS DAMAGED BY CONSTRUCTION OPERATIONS ARE TO BE PATCHED OR RECONSTRUCTED AS DIRECTED BY THE COUNTY ENGINEER OR DESIGNEE.
3. THE CONTRACTOR SHALL TAKE STEPS NECESSARY TO PREVENT EROSION AND ANY OFF SITE SEDIMENT TRANSPORT RESULTING FROM INCREASED RUNOFF DURING CONSTRUCTION BY PROVIDING SILT FENCE AND/OR STAKED HAY BALES AS REQUIRED BY FDOT ADEX 102, THE FLORIDA STORMWATER, EROSION, AND SEDIMENT CONTROL INSPECTOR'S MANUAL, 2000 EDITION, OR AS INDICATED ON THE PLANS. ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL ASSOCIATED DISTURBED AREAS ARE STABILIZED AS TO REDUCE SEDIMENT RUNOFF, UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR DESIGNEE.
4. COMPLIANCE OF NECESSARY PERMITS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. THE CONTRACTOR IS CAUTIONED TO VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE PROJECT PRIOR TO BIDDING AND/OR CONSTRUCTION.
6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE OR RELOCATE ALL BENCHMARKS (VERTICAL CONTROL) AS NEEDED DURING CONSTRUCTION. ALL PUBLIC OR PRIVATE CORNER MONUMENTATION SHALL BE PROTECTED. IF A PUBLIC OR PRIVATE CORNER MONUMENTATION IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR DESIGNEE IMMEDIATELY. ANY ESCAMBIA COUNTY HARNGPS NETWORK MONUMENTS OR BUREAU OF SURVEY AND MAPPING GPS NETWORK MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED. IF A HARNGPS NETWORK MONUMENTS OR BUREAU OF SURVEY AND MAPPING GPS NETWORK MONUMENTS ARE DISTURBED OR DESTROYED THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OF THE MONUMENTS AND HAVE THE MONUMENTS POSITION DETERMINED BY A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER USING GUIDELINES AS ESTABLISHED BY NATIONAL GEODETIC SURVEY FOR BLUE BOOKING AND APPROVAL.
7. EXISTING DRAINAGE FEATURES WITHIN CONSTRUCTION LIMITS SHALL REMAIN UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR SHALL MATCH EXISTING CONDITIONS AT THE BEGINNING AND END OF CONSTRUCTION AS DIRECTED BY THE COUNTY ENGINEER OR DESIGNEE.
9. EXISTING STREETS AND DRIVES SHALL BE MAINTAINED TO LOCAL TRAFFIC AND PROPERTY OWNERS.
10. ALL ROADWAY CONSTRUCTION SHALL COMPLY WITH THE ESCAMBIA COUNTY TECHNICAL SPECIFICATIONS, LATEST EDITION.
11. ALL MATERIALS, TESTING AND CONSTRUCTION METHODS SHALL CONFORM TO THE ESCAMBIA COUNTY TECHNICAL SPECIFICATIONS, LATEST EDITION.
12. EXISTING STREET AND ROAD NAME SIGNS ON THE PROJECT SHALL BE KEPT VISIBLE AT ALL TIMES FOR THE FACILITATION OF ACCESS BY EMERGENCY VEHICLES. ALL OTHER EXISTING SIGNS THAT CONFLICT WITH CONSTRUCTION OPERATIONS SHALL BE TAKEN DOWN AND STOCKPILED WITHIN THE RW LIMITS BY THE CONTRACTOR AS DIRECTED BY THE COUNTY ENGINEER OR DESIGNEE. ANY EXISTING SIGNS THAT ARE TO BE RELOCATED AND ARE DAMAGED BEYOND USE BY THE CONTRACTOR SHALL BE REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
13. CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
14. VEGETATION ON RW AND EASEMENTS SHALL BE RESTORED TO ORIGINAL CONDITION UNLESS OTHERWISE NOTED ON THE PLAN SHEETS. COST OF SAID RESTORATION SHALL BE CONSIDERED INCIDENTAL TO OTHER PAY ITEMS.
15. GRADED AGGREGATE BASE SHALL BE REQUIRED FOR ROADWAYS UNLESS OTHERWISE SHOWN.
16. ALL COMPACTED FILL SHALL BE PLACED IN LAYERS OR LIFTS NOT MORE THAN 12" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 8" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS.
17. WHERE UNSUITABLE MATERIAL, AS DEFINED BY THE COUNTY SPECIFICATIONS SECTION 02300, 1.3(1), IS ENCOUNTERED IN THE AREAS PROPOSED FOR PAVING, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE COUNTY ENGINEER OR DESIGNEE PRIOR TO ANY EXCAVATION.
18. IF ARCHAEOLOGICAL MATERIAL/PREHISTORIC ARTIFACTS SUCH AS POTTERY OR CERAMICS, STONE TOOLS OR METAL IMPLEMENTS, OR ANY OTHER PHYSICAL REMAINS THAT COULD BE ASSOCIATED WITH NATIVE AMERICAN CULTURES, OR EARLY COLONIAL OR AMERICAN SETTLEMENT ARE ENCOUNTERED AT ANY TIME, THE PROJECT SHOULD CEASE ALL ACTIVITIES INVOLVING SUBSURFACE DISTURBANCE IN THE IMMEDIATE VICINITY OF SUCH DISCOVERIES. THE APPLICANT/RECIPIENT, OR OTHER DESIGNEE, SHOULD CONTACT THE FLORIDA DEPARTMENT OF STATE, DIVISION OF HISTORICAL RESOURCES, THE STATE HISTORIC PRESERVATION OFFICER (SHPO) AND THE DSHFEMA REGION IV ENVIRONMENTAL OFFICER AND FDEM STATE ENVIRONMENTAL LIAISON OFFICER FOR FURTHER GUIDANCE. PROJECT ACTIVITIES SHOULD NOT RESUME WITHOUT VERBAL AND/OR WRITTEN AUTHORIZATION FROM THE DIVISION OF HISTORICAL RESOURCES.
19. IN THE EVENT THAT UNMARKED HUMAN REMAINS ARE ENCOUNTERED DURING PERMITTED ACTIVITIES, ALL WORK MUST STOP IMMEDIATELY AND THE PROPER AUTHORITIES NOTIFIED IN ACCORDANCE WITH F.S. 872.05.
20. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
21. CONTRACTOR SHALL OBTAIN COUNTY APPROVED CHANGE ORDER PRIOR TO PERFORMING ANY ADDITIONAL WORK.
22. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.
23. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY (DRC) "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND ACCEPTANCE, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
24. ALL SIDEWALKS, SHARED PATH WALKWAYS, AND CURB RAMPS ARE TO BE BUILT TO ADA STANDARDS USING THE LATEST EDITION OF THE DESIGN STANDARDS PARK ADA REQUIREMENTS AND PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG).

- 25. IN THE EVENT THAT SURVEY MONUMENTATION OR REFERENCE POINTS ARE MISSING OR HAVE BEEN DESTROYED, PLEASE CONTACT: JOSEPH BARRETT, ESCAMBIA COUNTY SURVEYOR, 3363 WEST PARK PLACE, PENSACOLA, FL 32505 PH: (850) 595-3427
26. PER ESCAMBIA COUNTY'S LAND DEVELOPMENT CODE, ALL PROTECTED TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL MATERIAL ON SITE, GRADING, EXCAVATING, BERMING, OR ANY OTHER LAND DISTURBING ACTIVITIES THAT MAY ALTER LAND TOPOGRAPHY OR VEGETATIVE COVER SHALL BE PERMITTED OR OTHERWISE APPROVED IN WRITING BY THE COUNTY PRIOR TO INSTALLATION OF THE SITE WORK.
27. PIPE LENGTHS SHOWN IN THE PLANS DO NOT INCLUDE THE LENGTHS OF PIPE THAT MUST BE INSTALLED WITH THE MITERED END SECTION, THEREFORE, ALL PIPE LENGTHS ASSOCIATED WITH MITERED END SECTIONS SHALL BE PAID FOR IN THE COST OF THE MITERED END SECTION.
28. TREE CANOPIES OVER DRIVE AISLES, ALONG ANY BUILDING CANOPIES, AND AROUND ALL PAVED AREAS ADJACENT TO THE BUILDING ARE TO BE TRIMMED TO MINIMUM HEIGHT OF 13'-0" ABOVE GRADE.

UTILITY NOTES:

- 1. THE LOCATION SHOWN FOR EXISTING UNDERGROUND UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK IN EACH AREA. THE CONTRACTOR AGREES TO BE COMPLETELY RESPONSIBLE FOR ALL DAMAGES WHICH MIGHT OCCUR BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UTILITIES.
2. UTILITY OWNERS SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION AND/OR DIGGING BY CALLING 1-800-432-4770 SO THAT THE UTILITY OWNER CAN SPOT VERIFY AND/OR EXPOSE THEIR UTILITIES. KNOWN UTILITIES OWNERS INCLUDE: SEWER/WATER - EMERALD COAST UTILITY AUTHORITY, MR. JACOB KEARLEY, P.O. BOX 17089, PENSACOLA, FL. 32522 PH: (850) 969-5823; ELECTRIC - FLORIDA POWER AND LIGHT, MR. STEPHEN HARRIS, ONE ENERGY PLACE, PENSACOLA, FL. PH: (850) 518-8499; PENSACOLA ENERGY, MR. ANDREW BRISKE, 1625 ATWOOD DRIVE, PENSACOLA, FL. 32514 PH: (850) 474-5309; CABLE - COX CABLE, MR. TROY YOUNG, 3405 McLEMORE DRIVE, PENSACOLA, FL. 32514 PH: (850) 857-4510; TELEPHONE - AT&T FLORIDA, MR. TOM MANNING, 6689 MAGNOLIA ST., MILTON, FL. 32570 PH: (850) 623-3521; SUNSHINE STATE ONE-CALL, 7200 LAKE ELLENOR DRIVE, SUITE 200, ORLANDO, FL. 32809 PH: (800) 432-4770; TRAFFIC DEPARTMENT - ESCAMBIA COUNTY PUBLIC WORKS, MRS. ANDREA LUGAR, 3363 WEST PARK PLACE, PENSACOLA, FL. 32505 PH:(850) 595-3639
3. AT&T FLORIDA WILL COMPLETE ALL WORK DURING THE HOURS OF 7:30 AM - 4:30 PM, MONDAY THRU FRIDAY. NO NIGHT OR WEEKEND WORK.
4. ALL CABLE DAMAGE MUST BE REPORTED TO THE ATT FLORIDA REPAIR SERVICE DEPARTMENT AT 611 FROM A LAND LINE OR 877-737-2478 IF USING A CELL PHONE.
5. CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD UTILITY LINES AND UNDERGROUND UTILITIES.
6. UTILITIES TO REMAIN AND BE PROTECTED DURING CONSTRUCTION. NECESSARY REPAIRS SHALL BE CONSIDERED INCIDENTAL TO OTHER PAY ITEMS AND SHALL BE TO THE SATISFACTION OF UTILITY OWNERS.
7. CONTRACTOR SHALL NOTIFY SUNSHINE 811 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RIGHT-OF-WAY; 1-800-432-4770
8. UPON COMPLETION OF ALL WORK ON ECUA FACILITIES, CONTRACTOR SHALL CONTACT ECUA PERSONNEL IN UTILITY NOTE #2 AND INQUIRE FROM THE ECUA PERSONNEL ABOUT POTENTIAL INSPECTIONS OF THE RELOCATIONS AND/OR ADJUSTMENTS AND SHALL CORRECT ANY DEFICIENCIES AS NOTED DURING INSPECTIONS WITHIN ONE WEEK OF INSPECTIONS.

STORMWATER NOTES:

- 1. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
2. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
3. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD.
4. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
5. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO CONSTRUCTION.

SITE DATA:

PROPERTY REFERENCE NO: 0418291005000000
PROPERTY ADDRESS: 8800 N 9TH AVE PENSACOLA, FL 32514
ZONING: PUB (CASE NO. Z-2023-09 FROM MDR TO PUB, DATED 05-04-2023)
FLU: MU-U
PROPOSED USE: COMMUNITY CENTER
PROJECT DRAINAGE AREA: 1.23 AC
PROJECT AREA DISTURBED: 0.95 AC
FLOOD ZONE "X" - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOODING PER FIRM
MAP 12033C0320G DATED SEPTEMBER 29, 2006
ENTIRE PROPOSED CONSTRUCTION LIMITS ARE IN ZONE X

Table with 2 columns: AREA, AREA. Rows include PROJECT AREA (176,768 SF (4.06 ACRE)), EXISTING IMPERVIOUS AREA (10,216 SF (0.23 ACRE)), EXISTING PERVIOUS AREA (166,552 SF (3.82 ACRE)), PROPOSED IMPERVIOUS AREA (36,352 SF (0.83 ACRE)), PROPOSED SEMI-PERVIOUS AREA (5,404 SF (0.12 ACRE)), PROPOSED PERVIOUS AREA (135,012 SF (3.10 ACRE)).

Table with 6 columns: FLOOD ZONE(S), COMMUNITY NUMBER, MAP NUMBER, PANEL NUMBER, SUFFIX, MAP REVISION DATE. Row: X, 120080, 12033C, 0320, G, SEPTEMBER 29, 2006.

THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND .2-PERCENT ANNUAL-CHANCE FLOODPLAINS. NO DFES OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANELS NUMBERS 12033C0320G, MAP REVISION DATED SEPTEMBER 29, 2006.

Professional Engineer Seal for Robert C. Krasinsky, State of Florida, License No. 12574. Includes text: 'THIS DRAWING IS THE PROPERTY OF KENNETH HORNE & ASSOCIATES, INC. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.'

Kenneth Horne & Associates, Inc. CIVIL ENGINEERS. PO BOX 10669, PENSACOLA, FLORIDA 32524. 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504. (850) 471-9005. info@kh-a.com. FAX: (850) 471-0093. FL. CERTIFICATE OF AUTHORIZATION NO. 8288.

Project Information: FERRY PASS COMMUNITY CENTER PROJECT NOTES. ESCAMBIA FLORIDA. Includes drawing and check dates: DRAWN BY: PC, DESIGNED BY: CK, CHECKED BY: CK, DATE: 01/11/2024, SCALE: N/A, NOT FOR CONSTRUCTION. PROJECT NO: 2023-10, SHEET: 2 OF 23.

S:\2023 Projects\2023-10 Ferry Pass Community Center\DWGS\CIVIL\23-10_C002 PROJECT NOTES.dwg, Feb 27, 2024 - 3:02:04PM, priscilla

S:\2023 Projects\2023-10 Ferry Pass Community Center\DWGS\CIVIL\23-10_C003 SUMMARY OF PAY ITEMS.dwg, Feb 27, 2024, 3:02:09PM, priscille

PAY ITEM NOTES:

- CLEARING AND GRUBBING PAY ITEM SHALL INCLUDE ALL ITEMS AND/OR EFFORTS NECESSARY TO REMOVE TREES, SHRUBS, GRASS, ROOTS, AND OTHER VEGETATION, EXISTING ABOVE GRADE AND BELOW GRADE IMPROVEMENTS. HAULING AND DISPOSAL OF CLEARING AND GRUBBING DEBRIS SHALL BE INCLUDED IN THIS PAY ITEM AND SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL AND STATE REQUIREMENTS.
- EROSION CONTROL PAY ITEM SHALL INCLUDE ALL ITEMS, INSPECTIONS AND/OR EFFORTS NECESSARY TO COMPLY WITH NPDES REQUIREMENTS, PREVENT SOILS TRACKING AND EROSION AND MAINTAIN SEDIMENT ON SITE AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL FINAL STABILIZATION OF THE SITE. BIDDERS ARE REMINDED THAT THE EROSION CONTROL MEASURES SHOWN IN THE PLANS ARE THE MINIMUM INSTALLATION REQUIREMENT, BUT THAT ADDITIONAL EROSION CONTROL MEASURES/EFFORT AS NECESSARY ARE TO BE PROVIDED TO MAINTAIN COMPLIANCE WITH NPDES PERMIT CONDITIONS AND STATE OF FLORIDA SURFACE WATER QUALITY STANDARDS.
- ALL STRIPING AND PAVEMENT MARKINGS SHALL BE THERMOPLASTIC.
- ANY AREAS ON PRIVATE PROPERTY THAT ARE DISTURBED DURING CONSTRUCTION ARE TO BE RESTORED.

Ferry Pass Community Center Cost Estimate			
Pay Item #	Pay Item	Quantity	Unit
1	Mobilization	1	LS
2	Remove and replace unsuitable materials	340	CY
3	Tree Preservation	1	LS
4	Clearing and Grubbing	1	LS
5	Tree Canopy Trimming	1	LS
6	Remove existing Light Poles	2	EA
7	Relocate existing mailbox	2	EA
8	Earthwork Establish Grade (pond)	500	SY
9	1 1/2" Type SP 12.5 Asphalt, over 1500 sy	2925	SY
10	12" Stabilized Subgrade, over 1000 sy	2925	SY
11	6" Graded aggregate Base "Min. LBR 100 at 100% Modified Proctor", over 1000sy	2925	SY
12	Pavement Markings	1	LS
13	Signage	1	LS
14	Temporary Construction Sign/Project Information Sign	1	EA
15	1' Ribbon Curb	1502	LF
16	Modified FDOT Type F Curb and Gutter	246	LF
17	Fiber Reinforced Concrete Sidewalk, width varies	441	SY
18	Thickened Edge Sidewalk	42	SY
19	Construct Curb Ramp (Approved Mat, Color Included) FDOT Index 304	1	EA
20	Detectable Warning Mat, FDOT Index 304	56	SF
21	Concrete Bumper Guards	47	EA
22	6" Pervious Concrete, including 8" base and 12" subgrade	601	SY
23	Saw-cut Existing Concrete, up to 6" thick	90	LF
24	Remove Existing Concrete, up to 6" Thick	74	SY
25	Erosion Control	1	LS
26	Stabilized Construction Entrance	1	LS
27	4" Sewer Service Line - Long	120	LF
28	4" HDPE Sewer Service Line - HDD	276	LF
29	4" Elbow	4	EA
30	Connection to existing sanitary sewer manhole	1	EA
31	Clean-out	6	EA
32	Remove Existing 6' Wood Fence	10	LF
33	Remove Existing Chain-link Fence	70	LF
34	6' Wood Fence	10	LF
35	Chainlink Fence	70	LF
36	6'h X 6'w Single Chain Link Swing Gate	1	EA
37	6'h X 24'w Double Chainlink Swing Gate, (2) 12'w Gates	1	EA
38	Entrance Sign (allowance)	1	LS
39	Job Site Bulletin Board	1	LS
40	Video Inspection of Stormwater System	1	LS
41	Argentine Bahia Sod, Staked	304	SY
42	Argentine Bahia, Seeding and Mulch	50	LB
43	Ditch Bottom Inlet, Type E, 0'-6' depth	4	EA
44	Ditch Bottom Inlet, Type E, 0'-6' depth with weir	1	EA
45	18" Mitered End Section	1	EA
46	Doghouse Manhole, 6'-12' depth	1	EA
47	18" HDPE DW Pipe, 0'-6' depth	613	LF
48	18" depth Rip-Rap with 4" bedding stone and geotextile fabric	15	SY
49	Site Lighting	1	LS

NO.	DATE	REVISIONS

THIS DRAWING IS THE PROPERTY OF KENNETH HORNE & ASSOCIATES, INC. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART, WITHOUT THE WRITTEN CONSENT OF KENNETH HORNE & ASSOCIATES, INC. ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

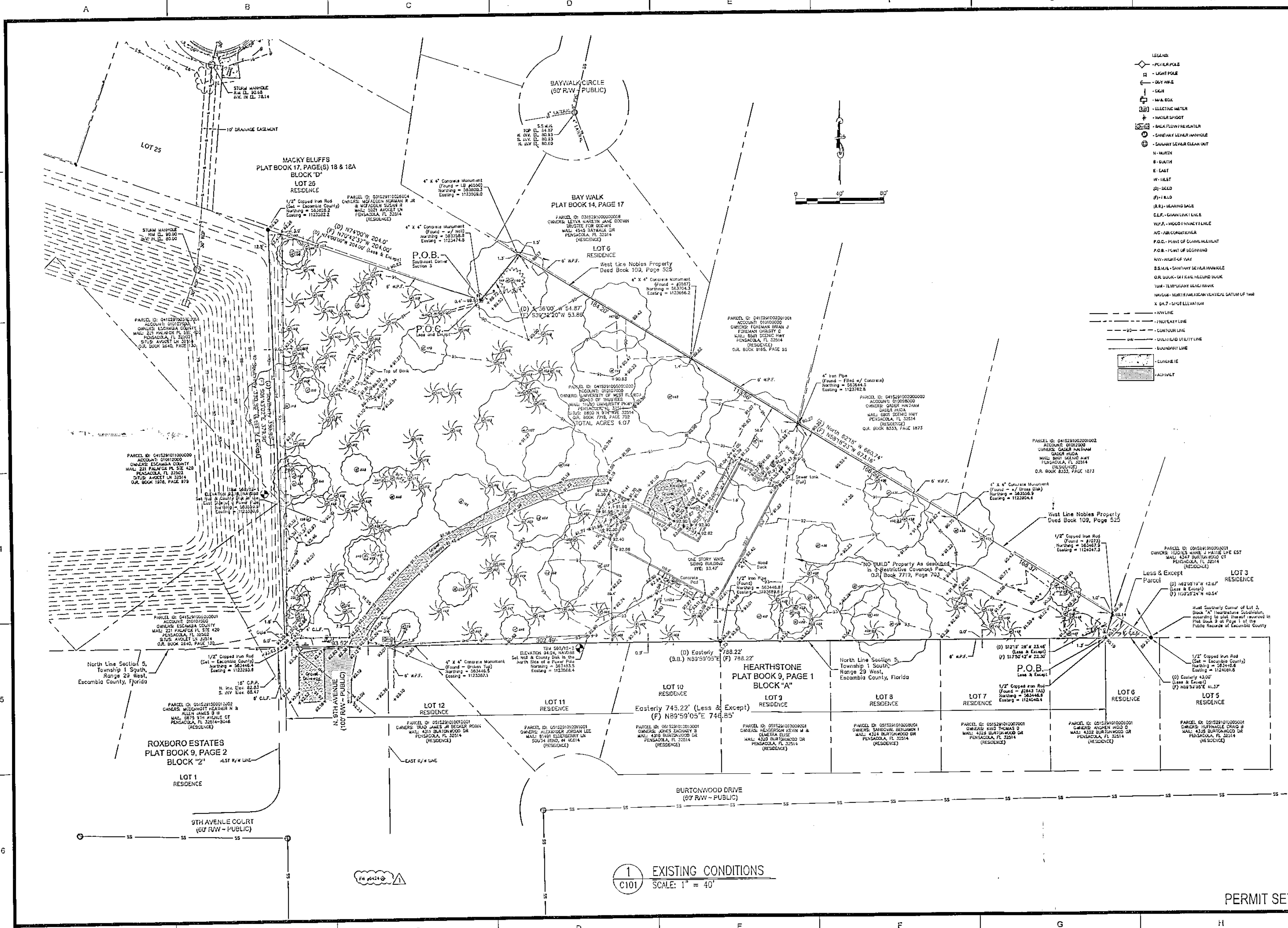
ROBERT W. MARSZALSKI
FL. P.E. 48948

KH&A
Kenneth Horne & Associates, Inc.
CIVIL ENGINEERS
PO BOX 10869, PENSACOLA, FLORIDA 32524
7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504
(850) 471-9005 info@kh-a.com FAX (850) 471-0083
FL CERTIFICATE OF AUTHORIZATION NO. 8268

FERRY PASS
COMMUNITY CENTER
SUMMARY OF PAY ITEMS
FLORIDA
ESCAMBIA

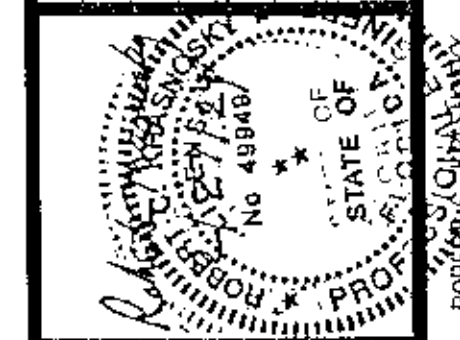
PROJECT NO: 2023-10
C003
SHEET: 3 OF 23

PERMIT SET



- LEGEND
- ◇ - POWER POLE
 - - LIGHT POLE
 - - GUY WIRE
 - - SKIN
 - - M.A. BOX
 - - ELECTRIC METER
 - - WATER SPOUT
 - - BACKFLOW PREVENTER
 - - SANITARY SEWER MANHOLE
 - - SANITARY SEWER CLEAN OUT
 - N - NORTH
 - S - SOUTH
 - E - EAST
 - W - WEST
 - (D) - DEED
 - (F) - FID
 - (B.B.) - LEASING BASE
 - CL.F. - CHAIN LINK FENCE
 - W.P.F. - WOOD FRAME FENCE
 - AC - AIR CONDITIONER
 - P.O.C. - POINT OF COMMENCEMENT
 - P.O.B. - POINT OF BEGINNING
 - N.W. - RIGHT-OF-WAY
 - S.S.M.H. - SANITARY SEWER MANHOLE
 - O.R. BOOK - OFFICIAL RECORD BOOK
 - T.M. - TEMPORARY MARK
 - NAVD83 - NORTH AMERICAN VERTICAL DATUM OF 1983
 - X 04.7 - SHOT ELEVATION
 - - FINISH LINE
 - - FINANCIAL LINE
 - - CURTAIN LINE
 - - OFF-ROAD UTILITY LINE
 - - BOUNDARY LINE
 - - CURBLINE
 - - ASPHALT

NO.	DATE	REVISIONS
1	02/02/24	DIRC COMMENTS



Kenneth Horne & Associates, Inc.
 CIVIL ENGINEERS
 PO BOX 10689, PENSACOLA, FLORIDA 32524
 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504
 (850) 471-9005 info@kha.com FAX (850) 471-0093
 FL CERTIFICATE OF AUTHORIZATION NO. 5288

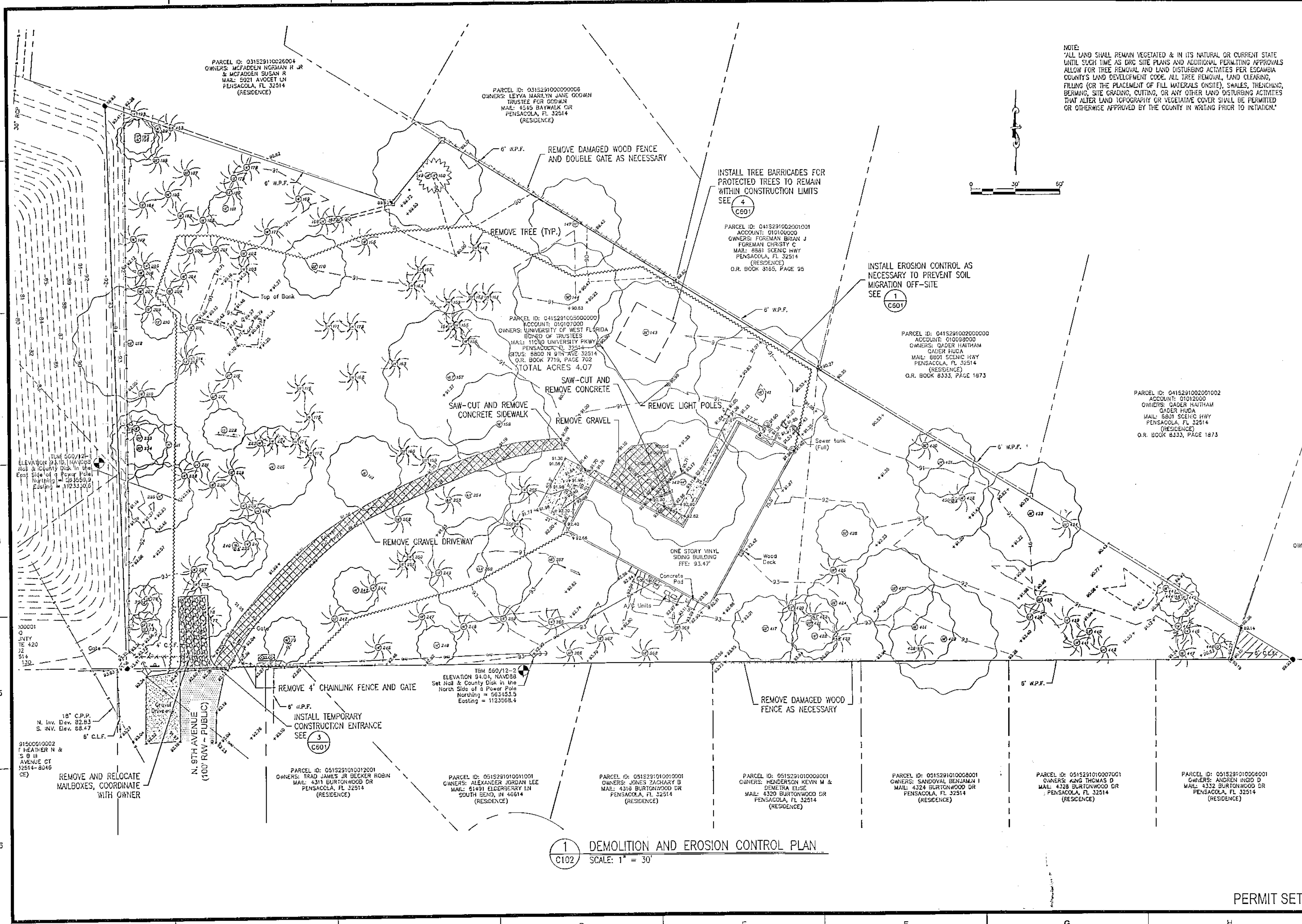
**FERRY PASS
 COMMUNITY CENTER
 EXISTING CONDITIONS**
 FLORIDA
 ESCAMBIA

DESIGNED BY: PC	PROJECT NO: 2023-10
CHECKED BY: CK	C101
DATE: 01/11/2024	SHEET: 4 OF 23
SCALE: 1" = 40'	
NOT FOR CONSTRUCTION	
BY: _____	

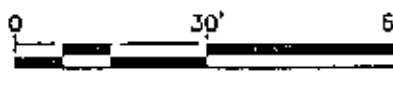
1 EXISTING CONDITIONS
 SCALE: 1" = 40'

PERMIT SET

S:\2023 Projects\Community Center\DWG\Civil\23-10_C102.dwg, Feb 27, 2024 - 3:02:23PM, psc:llc



NOTE:
 ALL LAND SHALL REMAIN VEGETATED & IN ITS NATURAL OR CURRENT STATE UNTIL SUCH TIME AS DRG SITE PLANS AND ADDITIONAL PERMITTING APPROVALS ALLOW FOR TREE REMOVAL AND LAND DISTURBING ACTIVITIES PER ESCAMBIA COUNTY'S LAND DEVELOPMENT CODE. ALL TREE REMOVAL, LAND CLEARING, FILLING (OR THE PLACEMENT OF FILL MATERIALS ON-SITE), SHALES, TRENCHING, BERMING, SITE GRADING, CUTTING, OR ANY OTHER LAND DISTURBING ACTIVITIES THAT ALTER LAND TOPOGRAPHY OR VEGETATIVE COVER SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY IN WRITING PRIOR TO INITIATION.



NO.	DATE	REVISIONS

Kenneth Horne & Associates, Inc.
 CIVIL ENGINEERS

PO BOX 10869, PENSACOLA, FLORIDA 32524
 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504
 (850) 471-9005 info@kh-a.com FAX (850) 471-0083
 FL CERTIFICATE OF AUTHORIZATION NO. 8288

FERRY PASS
COMMUNITY CENTER

DEMOLITION AND EROSION CONTROL PLAN
 ESCAMBIA FLORIDA

DRAWN BY: PC	DESIGNED BY: CK	CHECKED BY: CK	DATE: 01/11/2024
SCALE: 1" = 30'	NOT FOR CONSTRUCTION		
PROJECT NO: 2023-10			
SHEET: 5 OF 23			

1 DEMOLITION AND EROSION CONTROL PLAN
 C102 SCALE: 1" = 30'

PERMIT SET

THIS DRAWING IS THE PROPERTY OF KENNETH HORNE & ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF KENNETH HORNE & ASSOCIATES, INC.
 ROBERT C. KRASINSKI
 FL. P.E. 49949

S:\2023 Projects\2023-10 Ferry Pass Community Center\DWGS\Civil\23-10_C10X.dwg, Feb 27, 2024 - 3:02:26PM, priscilla

PROTECTED TREE REMOVAL TABLE

Tree ID	Name	DBH (in)	Notes	Removal Status	Recommended Mitigation*	Tree ID	Name	DBH (in)	Notes	Removal Status	Recommended Mitigation*	Tree ID	Name	DBH (in)	Notes	Removal Status	Recommended Mitigation*
KHA	Common					KHA	Common					KHA	Common				
73	Live Oak	12.0				203	Laurel Oak	16.0		Remove	0	421	Live Oak	20.0			
74	Laurel Oak	13.0				204	Laurel Oak	16.0				422	Live Oak	16.0			
75	Live Oak	12.0				205	Laurel Oak	14.0				423	Laurel Oak	14.8	Multistem		
76	Laurel Oak	28.0				206	Laurel Oak	16.0				424	Live Oak	20.0			
77	Laurel Oak	18.0		Remove	1	207	Laurel Oak	16.0				425	Laurel Oak	26.0			
78	Live Oak	18.0		Remove	8	208	Laurel Oak	16.0				426	Live Oak	20.0			
79	Live Oak	16.0				209	Laurel Oak	12.0				427	Live Oak	28.0			
141	Live Oak	46.0				210	Live Oak	12.0				428	Laurel Oak	19.5			
142	Live Oak	44.0				211	Laurel Oak	18.0				429	Live Oak	38.0			
143	Live Oak	36.0				212	Live Oak	40.0				430	Laurel Oak	30.0			
144	Live Oak	38.0				213	Laurel Oak	13.0				431	Live Oak	24.0			
147	Live Oak	32.0				214	Laurel Oak	15.0				432	Laurel Oak	36.0			
148	Laurel Oak	19.0		Remove	5	216	Laurel Oak	21.0				433	Live Oak	36.0			
149	Live Oak	38.0				217	Laurel Oak	20.0				434	Laurel Oak	20.0			
150	Camphor Tree	16.0	Exotic			218	Laurel Oak	18.0				435	Laurel Oak	22.0			
151	Laurel Oak	25.0		Remove	1	219	Laurel Oak	18.0				436	Laurel Oak	13.0			
152	Laurel Oak	22.0		Remove	1	221	Live Oak	15.0				439	Laurel Oak	14.0			
153	Laurel Oak	16.0		Remove	3	222	Live Oak	15.0				440	Laurel Oak	13.0			
154	Laurel Oak	14.0		Remove	5	223	Laurel Oak	16.0				441	Laurel Oak	19.0			
155	Laurel Oak	16.0		Remove	6	224	Laurel Oak	18.0		Remove	2	442	Laurel Oak	24.0			
156	Laurel Oak	18.0		Remove	7	225	Live Oak	29.0				443	Laurel Oak	16.0			
157	Live Oak	46.7	Multistem			227	Laurel Oak	24.0				444	Live Oak	14.8			
158	Live Oak	36.0				228	Laurel Oak	16.0				445	Laurel Oak	19.0			
159	Laurel Oak	20.0		Remove	8	229	Laurel Oak	12.0				446	Laurel Oak	14.0			
160	Laurel Oak	20.0		Remove	8	230	Laurel Oak	18.0				447	Laurel Oak	15.0			
161	Live Oak	26.0				231	Laurel Oak	24.0				448	Laurel Oak	15.0			
162	Laurel Oak	18.0		Remove	3	232	Laurel Oak	16.0				449	Laurel Oak	21.0			
163	Laurel Oak	24.0		Remove	9	233	Live Oak	20.0				450	Live Oak	26.9	Multistem		
164	Laurel Oak	16.0		Remove	3	234	Live Oak	20.0				451	Live Oak	25.7			
165	Laurel Oak	17.0		Remove	1	235	Live Oak	24.0				452	Laurel Oak	28.7			
166	Laurel Oak	18.0				237	Laurel Oak	18.0				453	Laurel Oak	19.5			
167	Laurel Oak	20.0				238	Laurel Oak	18.0		Remove	2						
168	Laurel Oak	24.0				239	Live Oak	21.4	Multistem								
169	Laurel Oak	16.0				240	Live Oak	16.0									
170	Live Oak	22.0				241	Laurel Oak	19.0									
171	Laurel Oak	24.0		Remove	0	242	Laurel Oak	22.0									
172	Laurel Oak	24.0		Remove	5	243	Live Oak	16.0									
173	Laurel Oak	18.0		Remove	2	244	Laurel Oak	14.0									
174	Laurel Oak	15.0		Remove	2	245	Laurel Oak	18.0									
175	Laurel Oak	16.0		Remove	1	246	Live Oak	14.0									
176	Laurel Oak	20.0		Remove	0	247	Laurel Oak	18.0									
177	Laurel Oak	16.0				248	Laurel Oak	16.0									
178	Laurel Oak	16.0				249	Laurel Oak	13.0									
179	Laurel Oak	13.0				250	Laurel Oak	16.0		Remove	1						
180	Laurel Oak	13.0				251	Laurel Oak	18.0		Remove	1						
181	Live Oak	12.0				252	Laurel Oak	18.0									
182	Laurel Oak	18.0				253	Laurel Oak	18.1	Multistem								
183	Laurel Oak	18.0				254	Live Oak	19.8	Multistem								
184	Laurel Oak	12.0				255	Laurel Oak	19.0		Remove	0						
185	Laurel Oak	16.0				256	Laurel Oak	16.0		Remove	1						
187	Laurel Oak	20.0				257	Live Oak	48.0									
188	Laurel Oak	20.0				258	Live Oak	23.9	Multistem								
189	Laurel Oak	18.0				259	Laurel Oak	18.0									
193	Laurel Oak	14.0				365	Laurel Oak	14.0									
195	Live Oak	12.0				366	Laurel Oak	30.0									
196	Live Oak	15.0				367	Laurel Oak	18.0									
199	Laurel Oak	16.0				368	Laurel Oak	18.0									
200	Laurel Oak	16.0				369	Laurel Oak	26.0									
201	Laurel Oak	19.0				417	Live Oak	23.0									
202	Laurel Oak	19.0				420	Laurel Oak	17.0									

* RECOMMENDED MITIGATION AS PER ESCAMBIA COUNTY
 REMOVED PROTECTED TREES TOTAL DIAMETER (DBH) = 519 INCHES
 RECOMMENDED MITIGATION TOTAL = 86 INCHES
 OWNER TO PAY INTO THE MITIGATION TREE FUND
 (86 INCHES / 2.5 CALIPER INCHES PER TREE) = 35 TREES @
 \$350 PER TREE = \$12,250.00
 THERE ARE NO HERITAGE TREES ON THIS SITE.

NO.	DATE	REVISIONS
1	02/02/24	DIR COMMENTS AND COUNTY TREE ASSESSMENT

THIS DRAWING IS THE PROPERTY OF KENNETH HORNE & ASSOCIATES, INC. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART, EITHER ELECTRONICALLY OR MECHANICALLY, WITHOUT THE WRITTEN PERMISSION OF ANY OTHER PRODUCT AND IS TO BE RETURNED UPON REQUEST.

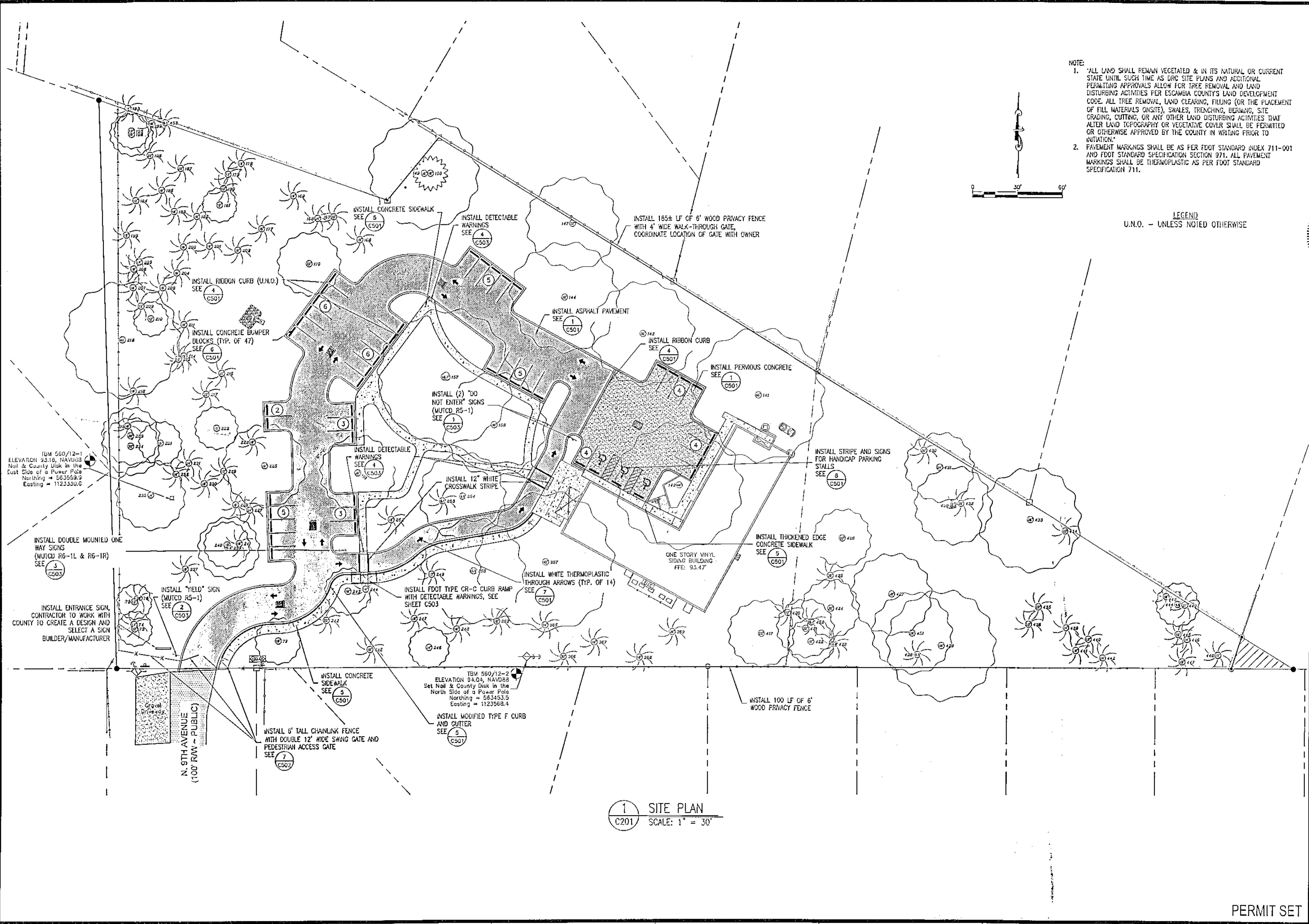
KH&A
 KENNETH HORNE & ASSOCIATES, INC.
 CIVIL ENGINEERS
 P.O. BOX 10669, PENSACOLA, FLORIDA 32524
 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504
 (850) 471-9005 info@kh-a.com FAX (850) 471-0093
 FL CERTIFICATE OF AUTHORIZATION NO. 8268

FERRY PASS
 COMMUNITY CENTER
 PROTECTED TREE REMOVAL TABLE
 ESCAMBIA
 FLORIDA

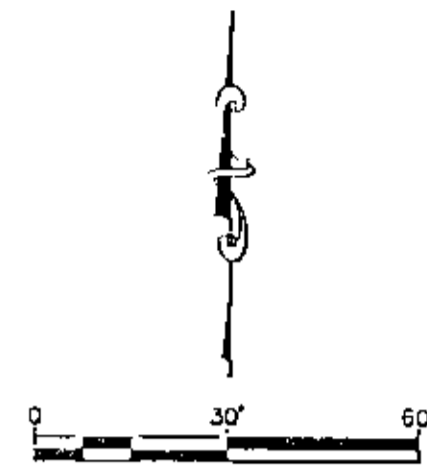
PROJECT NO: 2023-10
 SHEET: 6 OF 23

A B C D E F G H

1
2
3
4
5
6



NOTE:
 1. ALL LAND SHALL REMAIN VEGETATED & IN ITS NATURAL OR CURRENT STATE UNTIL SUCH TIME AS DRG SITE PLANS AND ADDITIONAL PERMITTING APPROVALS ALLOW FOR TREE REMOVAL AND LAND DISTURBING ACTIVITIES PER ESCAMBIA COUNTY'S LAND DEVELOPMENT CODE. ALL TREE REMOVAL, LAND CLEARING, FILLING (OR THE PLACEMENT OF FILL MATERIALS ONSITE), SWALES, TRENCHING, BERMING, SITE GRADING, CUTTING, OR ANY OTHER LAND DISTURBING ACTIVITIES THAT ALTER LAND TOPOGRAPHY OR VEGETATIVE COVER SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY IN WRITING PRIOR TO INITIATION.
 2. PAVEMENT MARKINGS SHALL BE AS PER FOOT STANDARD INDEX 711-001 AND FOOT STANDARD SPECIFICATION SECTION 971. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC AS PER FOOT STANDARD SPECIFICATION 711.



LEGEND
 U.N.O. - UNLESS NOTED OTHERWISE

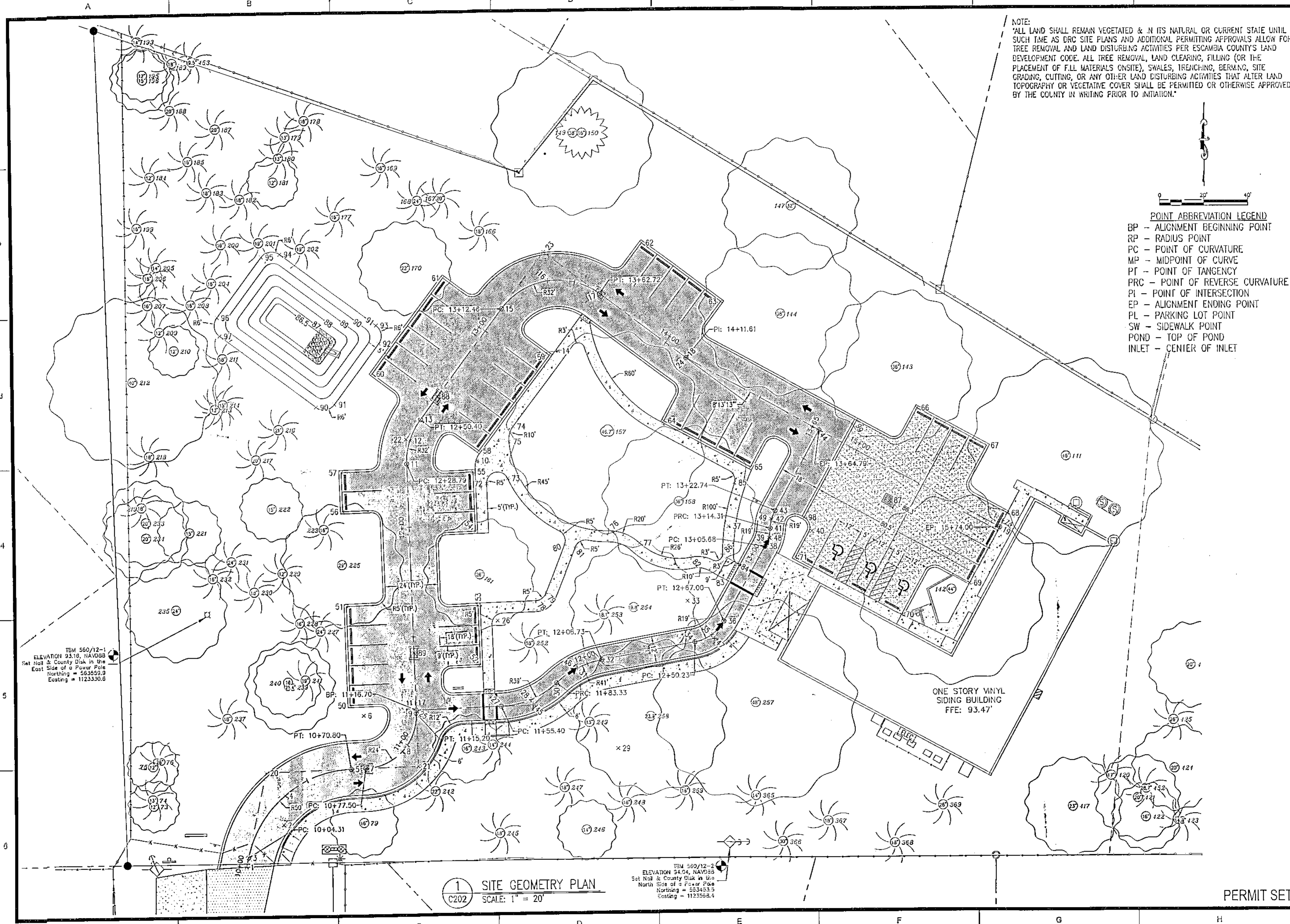
1 SITE PLAN
 C201 SCALE: 1" = 30'

S:\2023 Projects\2023-10 Ferry Pass Community Center\DWGS\CIVIL\23-10_C201.dwg, Feb 27, 2024 - 3:02:37PM, priscilla

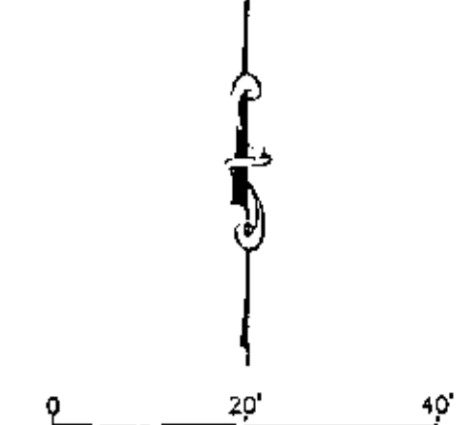
REVISIONS	
NO.	DATE
THIS DRAWING IS THE PROPERTY OF KENNETH HORNE & ASSOCIATES, INC. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART, OR FOR ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.	
Kenneth Horne & Associates, Inc. CIVIL ENGINEERS PO BOX 10669, PENSACOLA, FLORIDA 32524 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32604 (850) 471-9005 info@kh-a.com FAX (850) 471-0093 FL. CERTIFICATE OF AUTHORIZATION NO. 2288	
FERRY PASS	FLORIDA
COMMUNITY CENTER	ESCAMBIA
SITE PLAN	
DRAWN BY: CK DESIGNED BY: CK CHECKED BY: CK DATE: 01/11/2024 SCALE: 1" = 30' NOT FOR CONSTRUCTION BY: DATE:	PROJECT NO: 2023-10 C201 SHEET: 7 OF 23

PERMIT SET

S:\2023 Projects\2023-16 Ferry Pass Community Center\DWG\2023-16_C202.dwg, Feb. 27, 2024 - 3:02:45PM, Rafael



NOTE:
 "ALL LAND SHALL REMAIN VEGETATED & IN ITS NATURAL OR CURRENT STATE UNTIL SUCH TIME AS DRC SITE PLANS AND ADDITIONAL PERMITTING APPROVALS ALLOW FOR TREE REMOVAL AND LAND DISTURBING ACTIVITIES PER ESCAMBIA COUNTY'S LAND DEVELOPMENT CODE. ALL TREE REMOVAL, LAND CLEARING, FILLING (OR THE PLACEMENT OF FILL MATERIALS ONSITE), SWALES, TRENCHING, BERMING, SITE GRADING, CUTTING, OR ANY OTHER LAND DISTURBING ACTIVITIES THAT ALTER LAND TOPOGRAPHY OR VEGETATIVE COVER SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY IN WRITING PRIOR TO INITIATION."



- POINT ABBREVIATION LEGEND**
- BP - ALIGNMENT BEGINNING POINT
 - RP - RADIUS POINT
 - PC - POINT OF CURVATURE
 - MP - MIDPOINT OF CURVE
 - PT - POINT OF TANGENCY
 - PRC - POINT OF REVERSE CURVATURE
 - PI - POINT OF INTERSECTION
 - EP - ALIGNMENT ENDING POINT
 - PL - PARKING LOT POINT
 - SW - SIDEWALK POINT
 - POND - TOP OF POND
 - INLET - CENTER OF INLET

NO.	DATE	REVISIONS

KH&A
Kenneth Horne & Associates, Inc.
 CIVIL ENGINEERS

PO BOX 10688, PENSACOLA, FLORIDA 32524
 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504
 (850) 471-9005 info@kh-a.com FAX (850) 471-0095
 FL. CERTIFICATE OF AUTHORIZATION NO. 8268

PROJECT NO:	2023-10
C202	
SHEET:	8 OF 23

1 SITE GEOMETRY PLAN
 C202 SCALE: 1" = 20'

TBM 560/12-2
 ELEVATION 94.94, NAVD83
 Set Nail & County Disk in the
 Side of a Power Pole
 Northing = 553493.5
 Easting = 1123568.4

TBM 560/12-1
 ELEVATION 93.16, NAVD83
 Set Nail & County Disk in the
 East Side of a Power Pole
 Northing = 563559.9
 Easting = 1123330.8

PERMIT SET

S:\2023 Projects\2023-10 Ferry Pass Community Center\DWG\DWG\23-10_CC02.dwg, Feb 27, 2024 - 3:02:53PM, p17a.rvt

Point #	Northing	Easting	Description
1	563445.02	1123347.61	BP
2	563463.79	1123364.67	RP
3	563449.24	1123348.52	PC
4	563477.17	1123365.39	MP
5	563488.73	1123395.91	PT
6	563512.92	1123401.89	RP
7	563488.94	1123402.61	PC AND INLET
8	563496.47	1123419.36	MP
9	563513.64	1123425.88	PT
10	563628.15	1123454.46	RP
11	563627.19	1123422.47	PC
12	563637.84	1123423.96	MP
13	563647.39	1123428.89	PT
14	563677.72	1123491.78	RP
15	563696.97	1123466.22	PC
16	563709.41	1123487.32	MP
17	563703.28	1123511.03	PT AND INLET
18	563673.88	1123550.09	PI
19	563595.75	1123692.45	EP
20	563487.56	1123356.73	PI
21	563489.65	1123426.60	PI
22	563638.42	1123422.14	PI
23	563722.53	1123485.47	PI
24	563673.88	1123550.09	PI
25	563515.14	1123425.83	BP

Point #	Northing	Easting	Description
26	563555.29	1123463.34	RP
27	563516.30	1123464.51	PC
28	563519.19	1123478.10	MP
29	563496.55	1123517.66	RP
30	563526.65	1123489.82	PRC
31	563533.27	1123499.42	MP
32	563536.92	1123510.49	PT
33	563563.23	1123550.00	RP
34	563544.52	1123553.32	PC
35	563547.73	1123560.99	RP
36	563553.91	1123566.56	PT
37	563596.94	1123568.95	RP
38	563587.63	1123585.52	PC
39	563591.60	1123587.19	MP
40	563594.73	1123606.89	RP
41	563595.84	1123587.92	PRC
42	563599.98	1123588.63	MP
43	563603.87	1123590.23	PT
44	563640.74	1123610.47	EP
45	563516.74	1123479.10	PI
46	563534.81	1123498.65	PI
47	563546.09	1123562.16	PI
48	563591.16	1123587.67	PI
49	563600.11	1123588.17	PI
50	563517.74	1123395.74	PL

Point #	Northing	Easting	Description
51	563562.72	1123394.39	PL
52	563535.37	1123455.24	PL
53	563562.36	1123454.43	PL
54	563596.10	1123453.42	PL
55	563623.09	1123452.61	PL
56	563605.64	1123393.10	PL
57	563623.63	1123392.57	PL
58	563632.59	1123455.30	PL
59	563675.73	1123487.78	PL
60	563668.34	1123407.11	PL
61	563711.47	1123439.59	PL
62	563726.37	1123530.24	PL
63	563699.30	1123566.19	PL
64	563645.39	1123539.64	PL
65	563623.74	1123579.09	PL
66	563650.44	1123655.16	PL
67	563633.12	1123686.72	PL
68	563602.05	1123695.91	PL
69	563570.49	1123678.58	PL
70	563556.40	1123647.47	PL
71	563582.70	1123599.16	PL
72	563617.67	1123458.77	SW
73	563619.88	1123468.32	SW
74	563643.47	1123471.01	SW
75	563636.58	1123469.03	SW

Point #	Northing	Easting	Description
76	563595.54	1123514.00	SW
77	563589.82	1123528.07	SW
78	563564.14	1123480.75	SW
79	563567.32	1123485.26	SW
80	563589.52	1123493.93	SW
81	563588.34	1123498.84	SW
82	563582.97	1123551.76	SW
83	563572.02	1123568.71	SW
84	563579.87	1123573.12	SW
85	563616.67	1123571.63	SW
86	563584.28	1123566.20	SW
87	563608.27	1123642.30	INLET
88	563657.65	1123436.62	INLET
89	563541.13	1123425.05	INLET
90	563653.54	1123381.36	INLET
91	563654.72	1123389.76	POND
92	563681.88	1123410.22	POND
93	563690.28	1123409.03	POND
94	563723.20	1123365.32	POND
95	563722.01	1123356.92	POND
96	563694.85	1123336.47	POND
97	563686.45	1123337.65	POND
98	563600.89	1123603.42	CURB
99	563645.01	1123627.64	CURB

POINT ABBREVIATION LEGEND
 BP - ALIGNMENT BEGINNING POINT
 RP - RADIUS POINT
 PC - POINT OF CURVATURE
 MP - MIDPOINT OF CURVE
 PT - POINT OF TANGENCY
 PRC - POINT OF REVERSE CURVATURE
 PI - POINT OF INTERSECTION
 EP - ALIGNMENT ENDING POINT
 PL - PARKING LOT POINT
 SW - SIDEWALK POINT
 POND - TOP OF POND
 INLET - CENTER OF INLET

NO.	DATE	REVISIONS

THIS DRAWING IS THE PROPERTY OF KENNETH HORNE & ASSOCIATES, INC. IT IS NOT TO BE LOANED, REPRODUCED, COPIED, OR IN ANY MANNER USED FOR ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

KH&A
 Kenneth Horne & Associates, Inc.
 CIVIL ENGINEERS
 PO BOX 10669, PENSACOLA, FLORIDA 32524
 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504
 (850) 471-8005 info@kh-a.com FAX (850) 471-0093
 FL. CERTIFICATE OF AUTHORIZATION NO. 2688

FERRY PASS
 COMMUNITY CENTER
 STAKING POINT TABLE
 ESCAMBIA FLORIDA

DRAWN BY: PC
 DESIGNED BY: CK
 CHECKED BY: CK
 DATE: 01/11/2024
 SCALE: N.T.S.
 NOT FOR CONSTRUCTION
 BY: DATE

PROJECT NO: 2023-10
 C203
 SHEET: 9 OF 23

PERMIT SET

A. ECUA Engineering Manual Incorporated by Reference

The ECUA Engineering Manual, dated December 18, 2014, along with Update #1 dated September 1, 2016 (hereinafter "Manual"), located at www.ecua.fl.gov, is hereby incorporated by reference into this Project's official contract documents as if fully set forth therein. It is the Contractor's responsibility to be knowledgeable of the Manual's contents and to construct the Project in accordance with the Manual. The Contractor shall provide its employees access to the Manual at all times, via Project site or office, via digital or paper format. In the event of a conflict between the Manual and the Plans, Contractor shall consult Engineer of Record on the appropriate resolution.

B. Additional Documents (to be completed by the Engineer of Record)

Does this Project have additional technical specifications or construction details that supersede the Manual listed above? Yes No. If yes, Contractor shall construct Project in accordance with said documents as listed and located below:

Document Name	Document Type			Project Manual*
	Specification	Detail	Plans	
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

*Project Manuals used only with ECUA CIP Projects

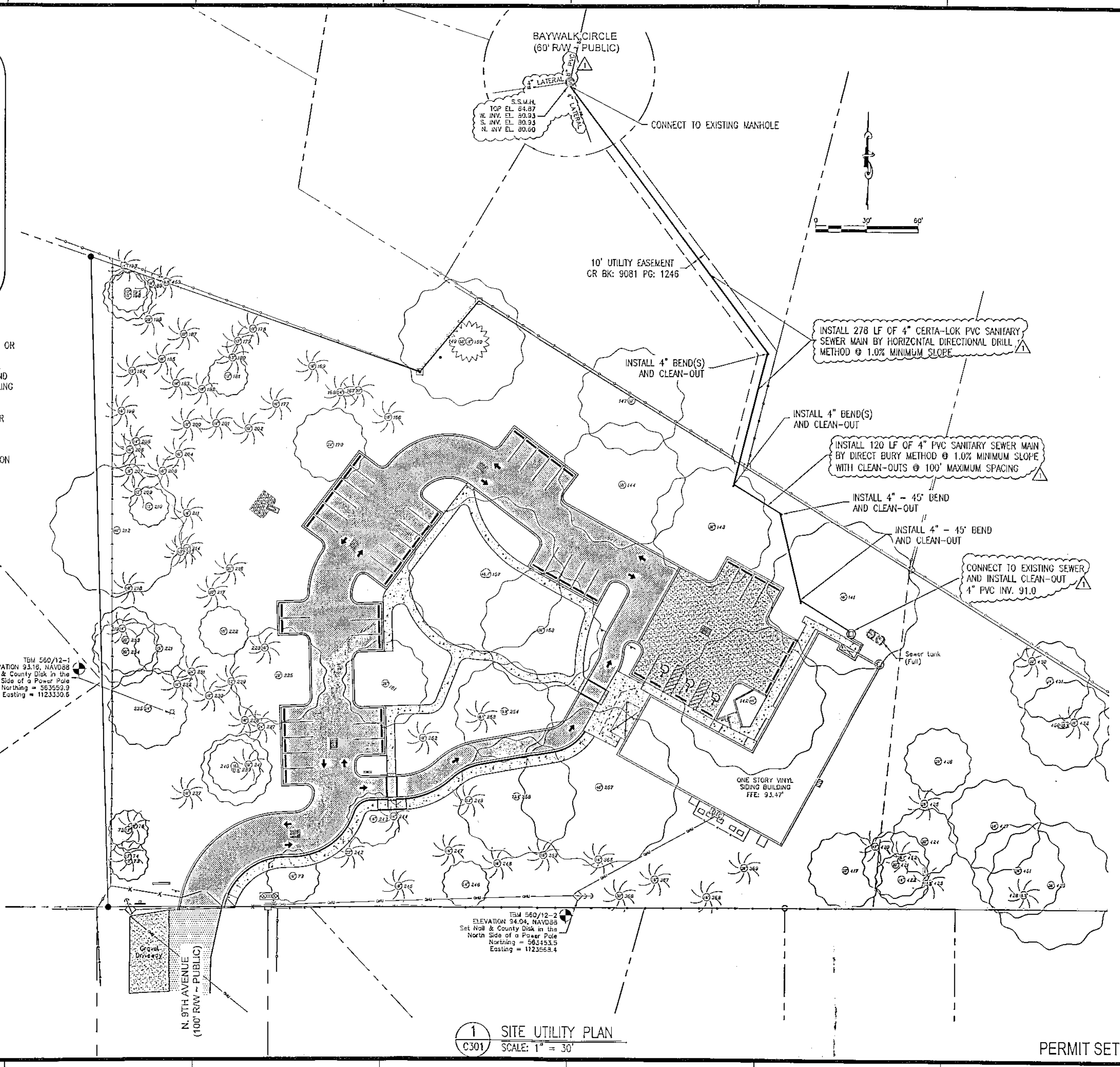
C. Engineer of Record Responsibilities

The Engineers of Record (EORs) that have affixed their seals and signatures on these plans warrant their portion of the plans have been designed in accordance with the Manual (unless otherwise directed by the ECUA Project Engineer). The EORs shall be knowledgeable of the Manual's contents and shall assume responsibility for its use on the Project.

NOTES:

1. "ALL LAND SHALL REMAIN VEGETATED & IN ITS NATURAL OR CURRENT STATE UNTIL SUCH TIME AS DRC SITE PLANS AND ADDITIONAL PERMITTING APPROVALS ALLOW FOR TREE REMOVAL AND LAND DISTURBING ACTIVITIES PER ESCAMBIA COUNTY'S LAND DEVELOPMENT CODE. ALL TREE REMOVAL, LAND CLEARING, FILLING (OR THE PLACEMENT OF FILL MATERIALS ONSITE), SWALES, TRENCHING, BERMING, SITE GRADING, CUTTING, OR ANY OTHER LAND DISTURBING ACTIVITIES THAT ALTER LAND TOPOGRAPHY OR VEGETATIVE COVER SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY IN WRITING PRIOR TO INITIATION."

2. ANY PRIVATE PROPERTY DISTURBED DURING CONSTRUCTION SHALL BE RESTORED.



NO.	DATE	REVISIONS
1	02/02/24	DRC COMMENTS AND SANITARY SEWER NOTES

THIS DRAWING IS THE PROPERTY OF KENNETH HOME & ASSOCIATES, INC. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART, OR FOR ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

Kenneth Home & Associates, Inc.
 CIVIL ENGINEERS
 PO BOX 10669, PENSACOLA, FLORIDA 32524
 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504
 (850) 471-9005 info@kha.com FAX (850) 471-0093
 FL CERTIFICATE OF AUTHORIZATION NO. 8288

FERRY PASS COMMUNITY CENTER SITE UTILITY PLAN
 ESCAMBIA FLORIDA

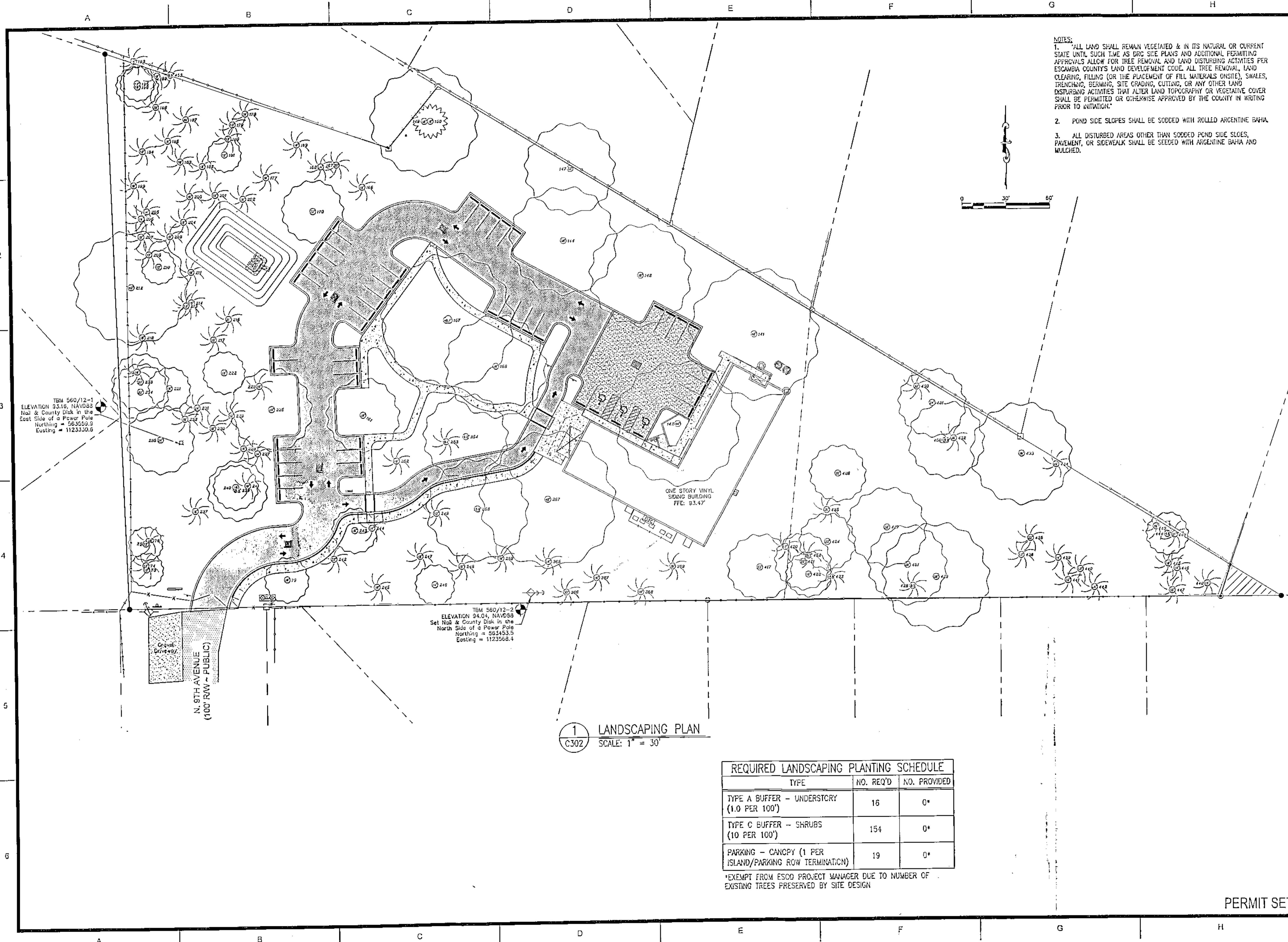
PROJECT NO: 2023-10
 SHEET: 10 OF 23

1 SITE UTILITY PLAN
 C301 SCALE: 1" = 30'

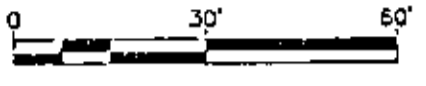
PERMIT SET

S:\2023 Projects\Community Center\DWGS\Civil\23-10_C301.dwg, Feb 27, 2024 - 3:03:02PM, priscille

S:\2023 Projects\2023-10 Ferry Pass Community Center\DWG\C302.dwg, Feb 27, 2024 - 3:03:11PM, priscilla



- NOTES:
1. ALL LAND SHALL REMAIN VEGETATED & IN ITS NATURAL OR CURRENT STATE UNTIL SUCH TIME AS DRG SIDE PLANS AND ADDITIONAL PERMITTING APPROVALS ALLOW FOR TREE REMOVAL AND LAND DISTURBING ACTIVITIES PER ESCAMBIA COUNTY'S LAND DEVELOPMENT CODE. ALL TREE REMOVAL, LAND CLEARING, FILLING (OR THE PLACEMENT OF FILL MATERIALS ONSITE), SWALES, TRENCHING, BERMING, SITE GRADING, CUTTING, OR ANY OTHER LAND DISTURBING ACTIVITIES THAT ALTER LAND TOPOGRAPHY OR VEGETATIVE COVER SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY IN WRITING PRIOR TO INITIATION.
 2. POND SIDE SLOPES SHALL BE SODDED WITH ROLLED ARGENTINE BAHIA.
 3. ALL DISTURBED AREAS OTHER THAN SODDED POND SIDE SLOES, PAVEMENT, OR SIDEWALK SHALL BE SEEDED WITH ARGENTINE BAHIA AND MULCHED.



1 LANDSCAPING PLAN
C302 SCALE: 1" = 30'

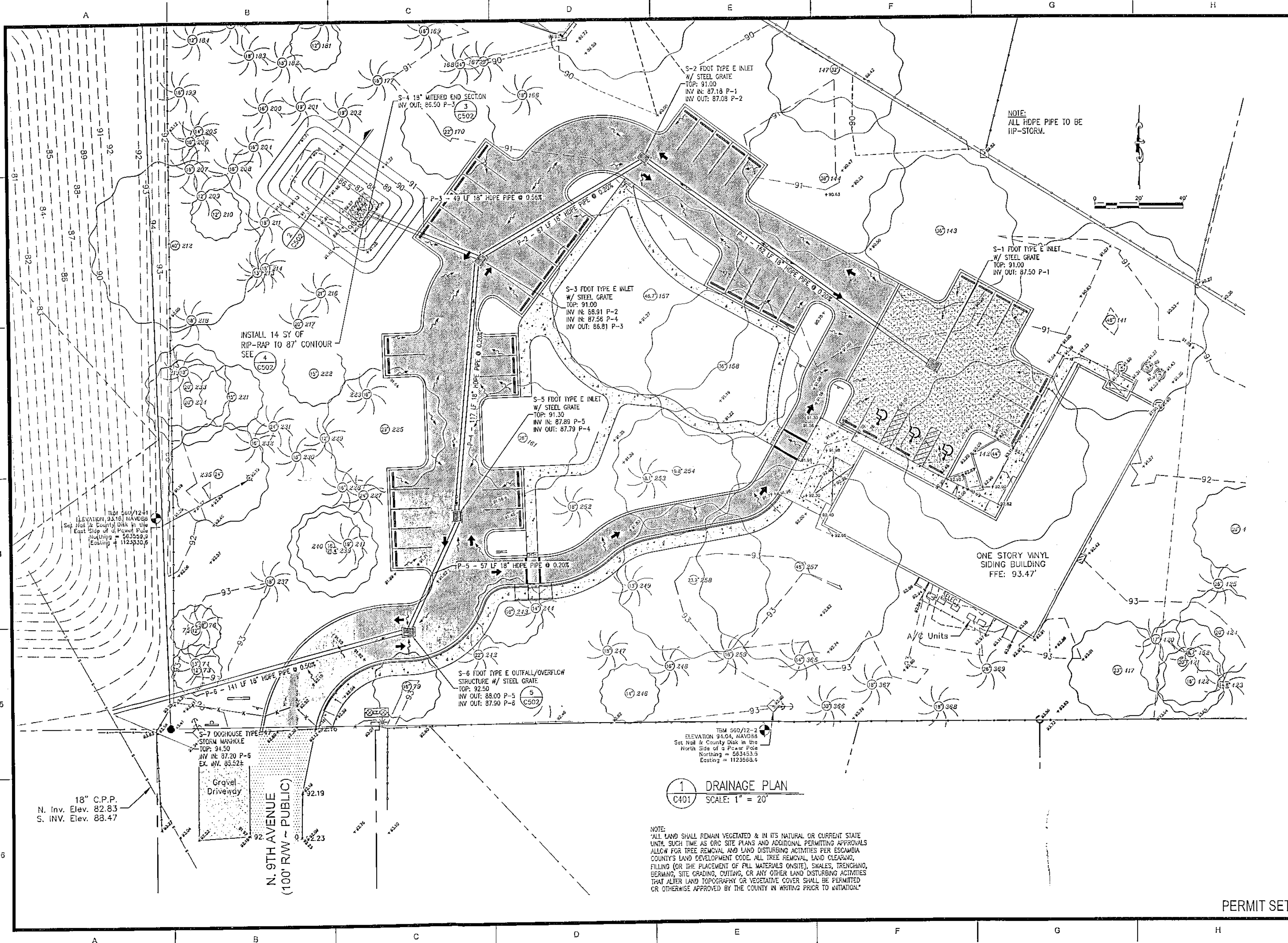
REQUIRED LANDSCAPING PLANTING SCHEDULE		
TYPE	NO. REQ'D	NO. PROVIDED
TYPE A BUFFER - UNDERSTORY (1.0 PER 100')	16	0*
TYPE C BUFFER - SHRUBS (10 PER 100')	154	0*
PARKING - CANOPY (1 PER ISLAND/PARKING ROW TERMINATION)	19	0*

*EXEMPT FROM ESCO PROJECT MANAGER DUE TO NUMBER OF EXISTING TREES PRESERVED BY SITE DESIGN

<p>Kenneth Horne & Associates, Inc. CIVIL ENGINEERS PO BOX 10669, PENSACOLA, FLORIDA 32524 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504 (850) 471-9005 info@kh-a.com FAX (850) 471-0093 FL CERTIFICATE OF AUTHORIZATION NO. E268</p>	
<p>FERRY PASS COMMUNITY CENTER LANDSCAPING PLAN FLORIDA ESCAMBIA</p>	
<p>DESIGN BY: PC CHECKED BY: CK DATE: 01/11/2024 SCALE: 1" = 30'</p>	<p>NOT FOR CONSTRUCTION DATE: BY:</p>
<p>PROJECT NO: 2023-10 C302 SHEET: 11 OF 23</p>	

PERMIT SET

S:\2023 Projects\2023-10 Ferry Pass Community Center\DWGS\CIVIL\23-10_C401.dwg, Feb 27, 2024 - 3:03:22PM, ptcslc



18" C.P.P.
N. Inv. Elev. 82.83
S. INV. Elev. 88.47

S-7 DOGHOUSE TYPE
STORM MANHOLE
TOP: 94.50
INV IN: 87.20 P-5
EX. INV. 85.52±

N. 9TH AVENUE
(100' RW ~ PUBLIC)

S-6 FOOT TYPE E OUTFALL/OVERFLOW
STRUCTURE W/ STEEL GRATE
TOP: 92.50
INV IN: 88.00 P-5
INV OUT: 87.90 P-6

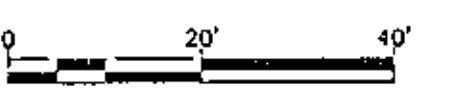
S-5 FOOT TYPE E INLET
W/ STEEL GRATE
TOP: 91.30
INV IN: 87.89 P-4
INV OUT: 87.79 P-4

S-3 FOOT TYPE E INLET
W/ STEEL GRATE
TOP: 91.00
INV IN: 86.91 P-2
INV IN: 87.56 P-4
INV OUT: 86.81 P-3

1 DRAINAGE PLAN
C401 SCALE: 1" = 20'

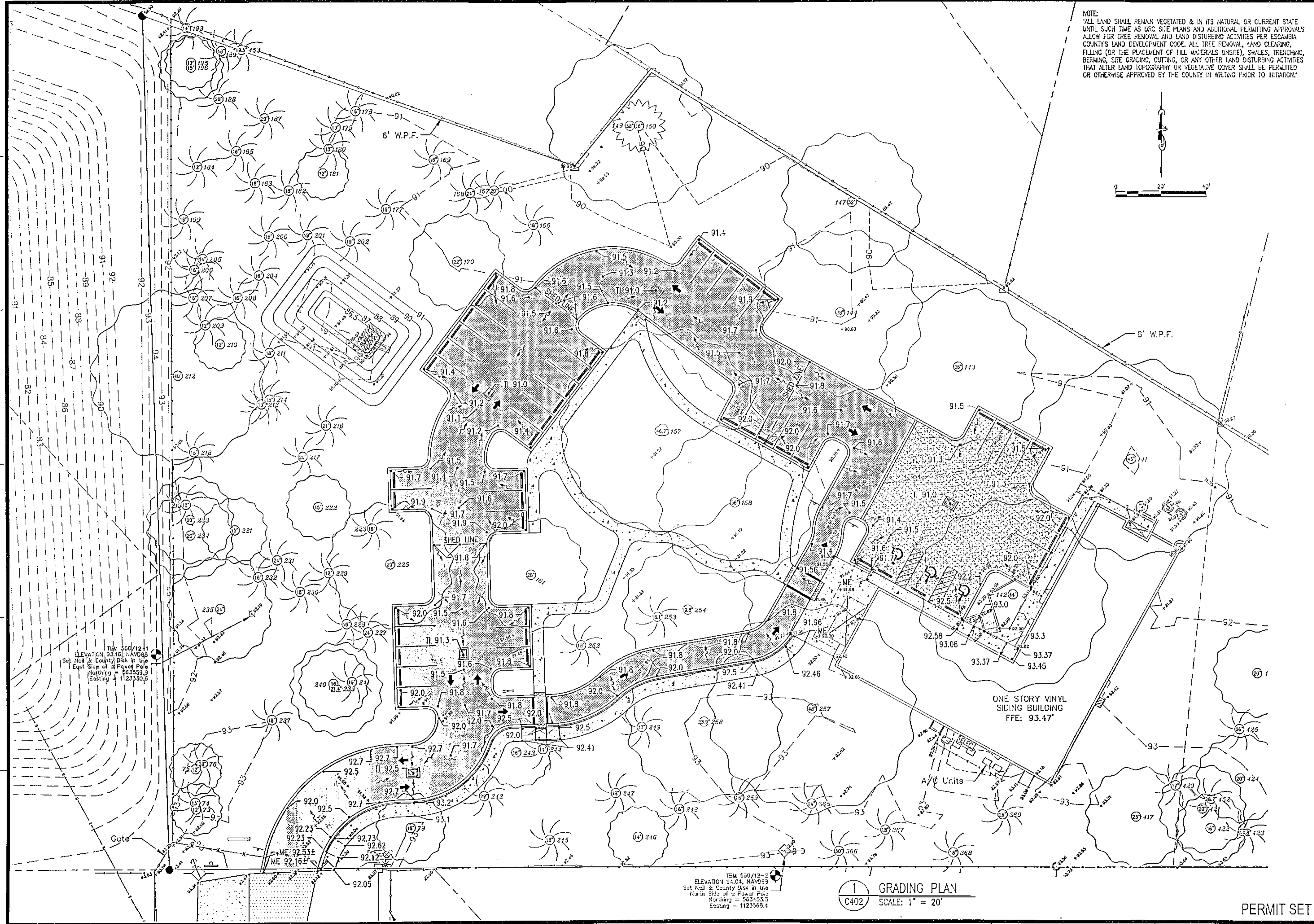
NOTE:
"ALL LAND SHALL REMAIN VEGETATED & IN ITS NATURAL OR CURRENT STATE
UNTIL SUCH TIME AS DRG SITE PLANS AND ADDITIONAL PERMITTING APPROVALS
ALLOW FOR TREE REMOVAL AND LAND DISTURBING ACTIVITIES PER ESCAMBIA
COUNTY'S LAND DEVELOPMENT CODE. ALL TREE REMOVAL, LAND CLEARING,
FILLING (OR THE PLACEMENT OF FILL MATERIALS ON-SITE), SWALES, TRENCHING,
BERMING, SITE GRADING, CUTTING, OR ANY OTHER LAND DISTURBING ACTIVITIES
THAT ALTER LAND TOPOGRAPHY OR VEGETATIVE COVER SHALL BE PERMITTED
OR OTHERWISE APPROVED BY THE COUNTY IN WRITING PRIOR TO INITIATION."

NOTE:
ALL HDPE PIPE TO BE
HP-STORM.



<p>NO. DATE</p>		<p>REVISIONS</p>
<p>THIS DRAWING IS THE PROPERTY OF KENNETH HORNE & ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.</p>		
<p>STATE OF FLORIDA ROBERT J. KOSCIUSKO REGISTERED PROFESSIONAL ENGINEER PL. PE. 49596</p>		
<p>KH&A Kenneth Horne & Associates, Inc. CIVIL ENGINEERS</p>		
<p>PO BOX 10668, PENSACOLA, FLORIDA 32524 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504 (850) 471-9005 info@kh-a.com FAX (850) 471-0093 FL CERTIFICATE OF AUTHORIZATION NO. 8288</p>		
<p>FERRY PASS COMMUNITY CENTER</p>		<p>FLORIDA</p>
<p>DRAINAGE PLAN</p>		<p>ESCAMBIA</p>
<p>PROJECT NO: 2023-10</p>	<p>C401</p>	<p>DATE:</p>
<p>DESIGNED BY: CK</p>	<p>CHECKED BY: CK</p>	<p>DATE: 01/11/2024</p>
<p>SCALE: 1" = 30'</p>	<p>NOT FOR CONSTRUCTION</p>	<p>BY:</p>
<p>PERMIT SET</p>		
<p>SHEET: 12 OF 23</p>	<p>PROJECT NO: 2023-10</p>	

S:\2023 Projects\2023-10 Ferry Pass Community Center\DWGS\CIVIL\23-10_C402.dwg, Feb 27, 2024 - 3:03:28PM, priscille



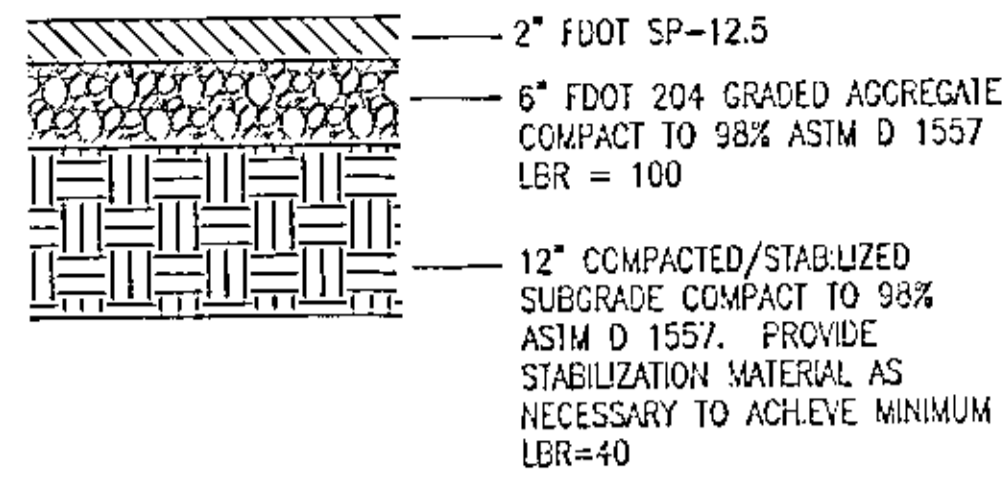
NOTE:
ALL LAND SHALL REMAIN VEGETATED & IN ITS NATURAL OR CURRENT STATE UNTIL SUCH TIME AS DRG SITE PLANS AND ADDITIONAL PERMITTING APPROVALS ALLOW FOR TREE REMOVAL AND LAND DISTURBANCE ACTIVITIES PER ESCAMBIA COUNTY'S LAND DEVELOPMENT CODE. ALL TREE REMOVAL, LAND CLEARING, FILLING (OR THE PLACEMENT OF FILL MATERIALS ONSITE), SHALES, TRENCHING, BERMING, SITE GRADING, CUTTING, OR ANY OTHER LAND DISTURBING ACTIVITIES THAT ALTER LAND TOPOGRAPHY OR VEGETATIVE COVER SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY IN WRITING PRIOR TO INITIATION.

Kenneth Home & Associates, Inc. CIVIL ENGINEERS PO BOX 10669, PENSACOLA, FLORIDA 32524 7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504 (850) 477-9005 info@kh-a.com FAX (850) 477-0093 FL CERTIFICATE OF AUTHORIZATION NO. 8288	REVISIONS NO. DATE NO. DATE NO. DATE NO. DATE
FERRY PASS COMMUNITY CENTER GRADING PLAN	ESCAMBIA FLORIDA
DRAWN BY: PC DESIGNED BY: CK CHECKED BY: CK DATE: 01/11/2024 SCALE: 1" = 30' NOT FOR CONSTRUCTION BY: DATE:	PROJECT NO: 2023-10 C402 SHEET: 13 OF 23

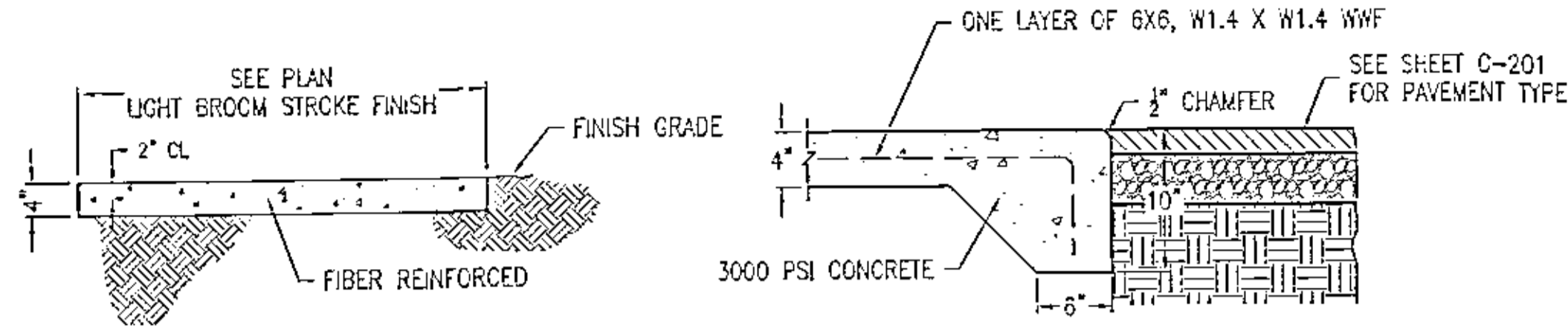
1 GRADING PLAN
C402 SCALE: 1" = 20'

PERMIT SET

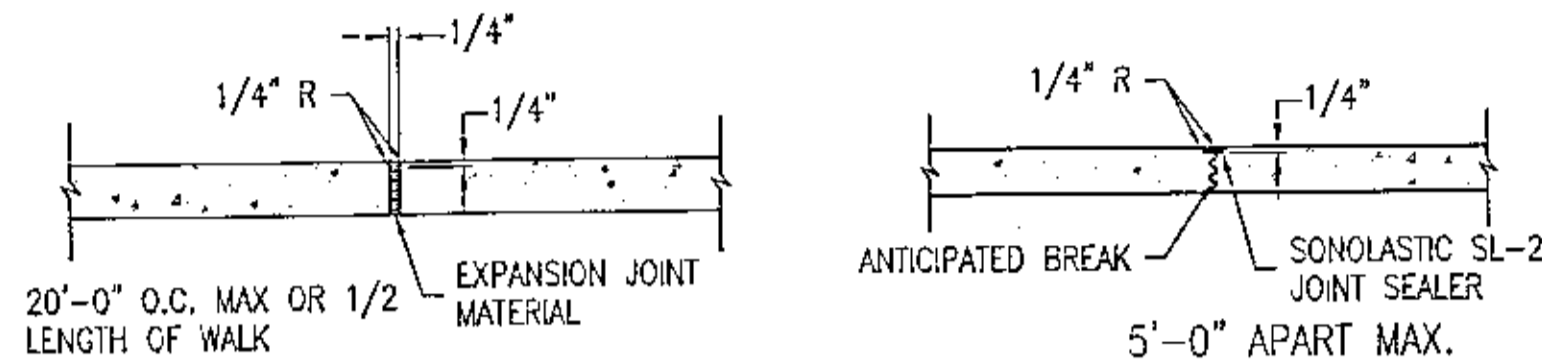
S:\2023 Projects\2023-10 Ferry Pass Community Center\DWG\Civil\23-10_C50X.dwg, Feb 27, 2024 - 3:03:34PM, prscillo



1 ASPHALT PAVEMENT SECTION
C501 NO SCALE

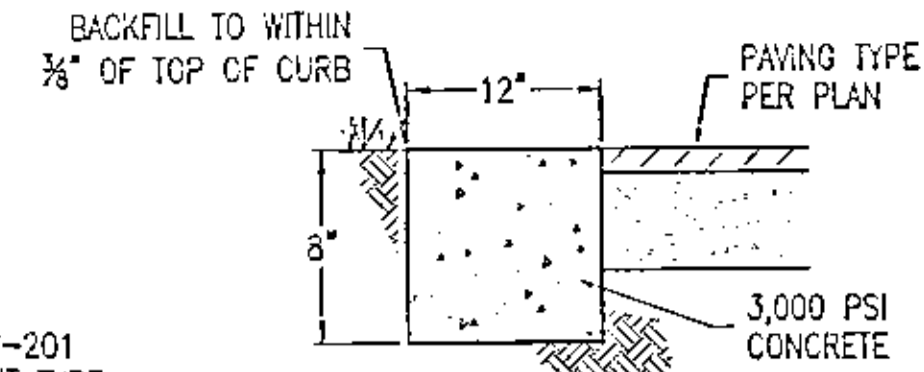


SIDEWALK SECTION THICKENED EDGE SECTION @ BUILDING

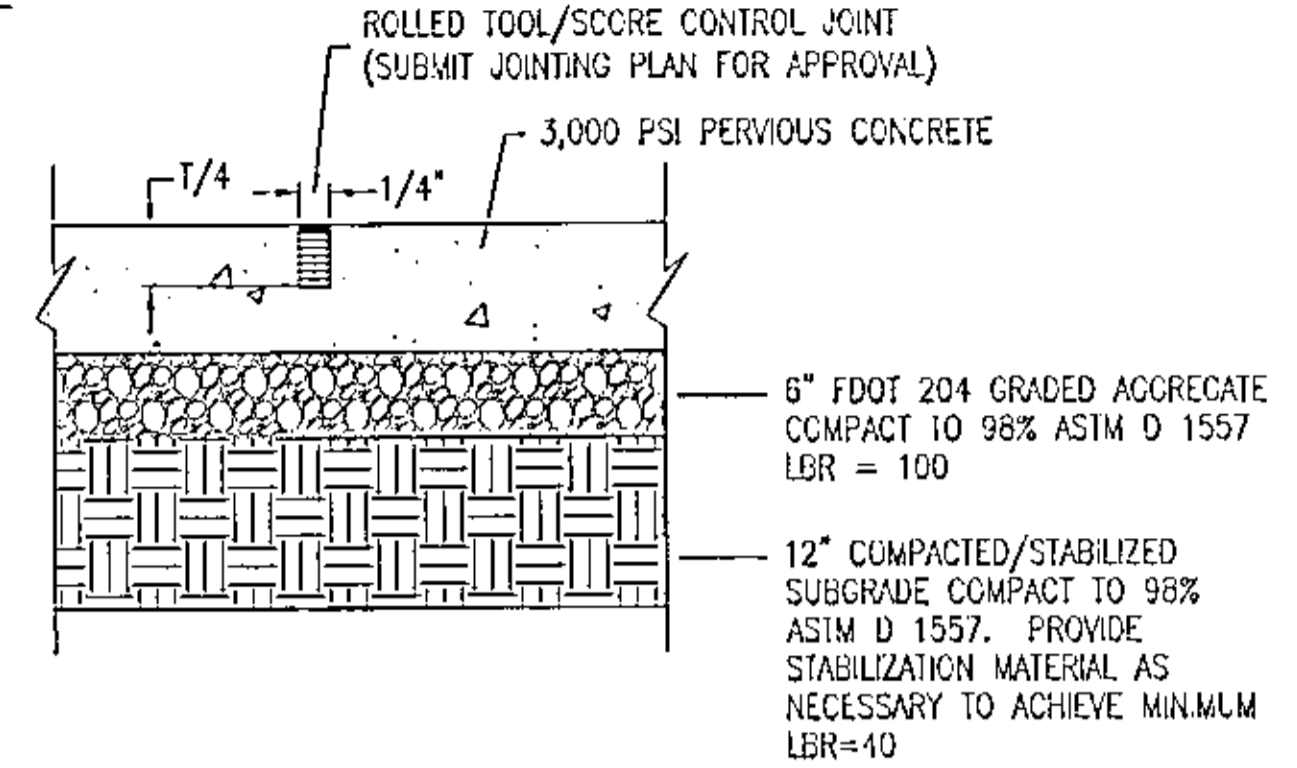


3 CONCRETE SIDEWALK DETAILS
C501 NO SCALE

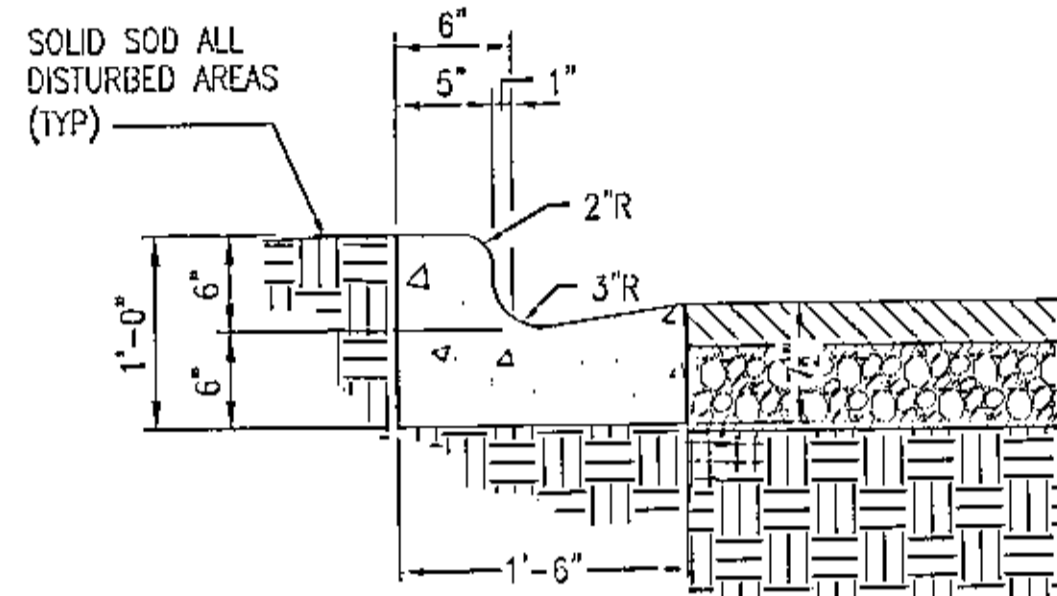
- NOTES:
- SAWED OR SCORED CONTROL JOINTS SHALL BE SPACED AT 5 FT. MAXIMUM INTERVALS.
 - CONSTRUCT EXPANSION JOINTS WHERE NEW CONCRETE ABUTS NEW OR EXISTING CONCRETE CURBS, ASPHALT, OR OTHER STRUCTURES AND/OR ON 20 FT. CENTERS.
 - JOINT SEALER TO BE FLEXIBLE EPOXY JOINTING COMPOUND, AS SPECIFIED.
 - WALKWAY SLOPE VARIES, SEE PLANS. CROSS SLOPE NOT TO EXCEED 2%.
 - 3000 PSI CONCRETE.



4 RIBBON CURB
C501 NO SCALE

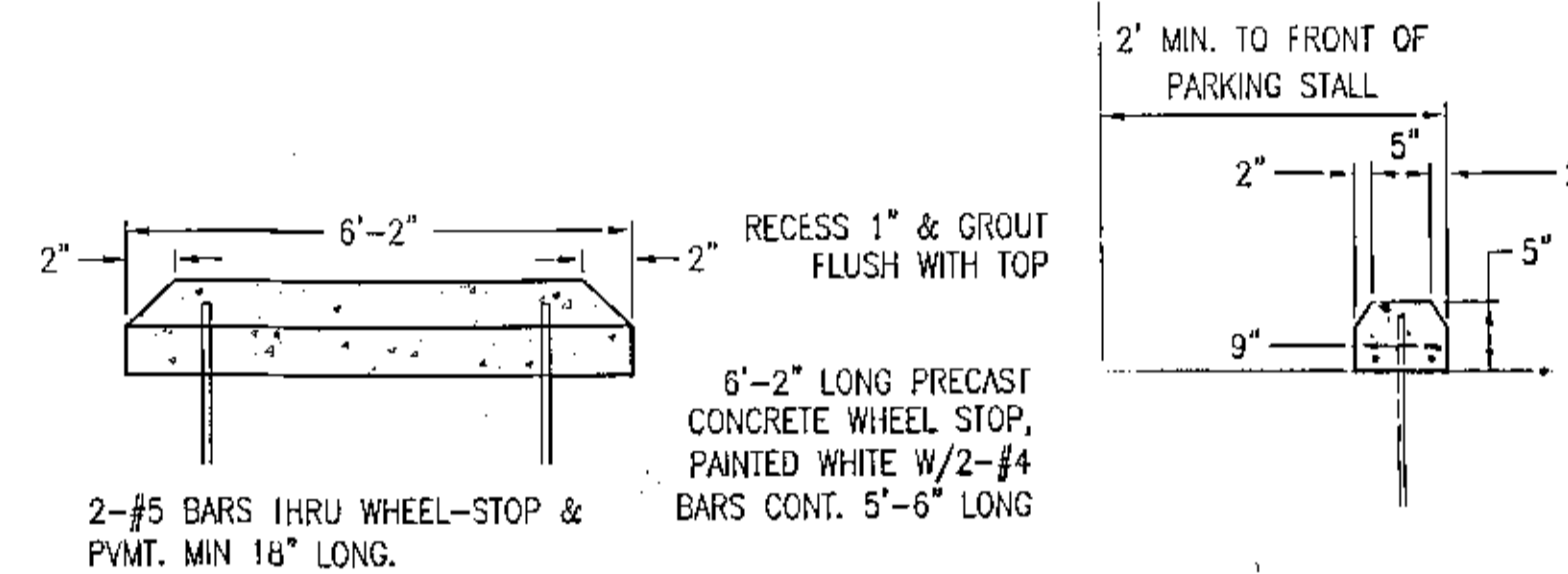


5 PERVIOUS PAVEMENT DETAIL
C501 NO SCALE

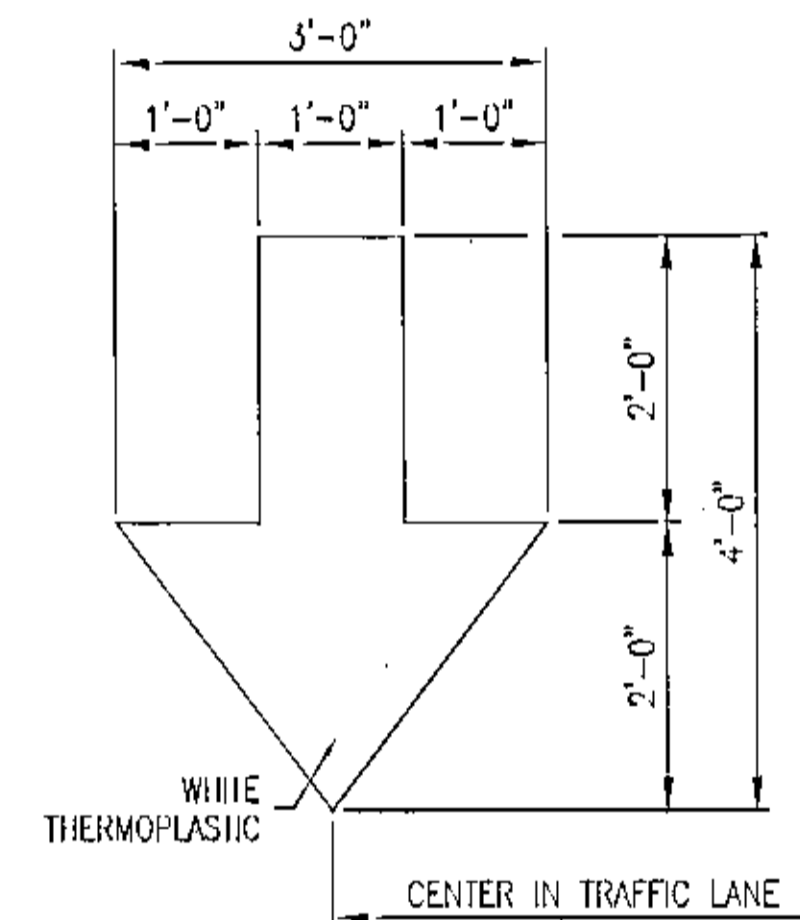


2 MODIFIED TYPE "F" CURB & GUTTER
C501 NO SCALE

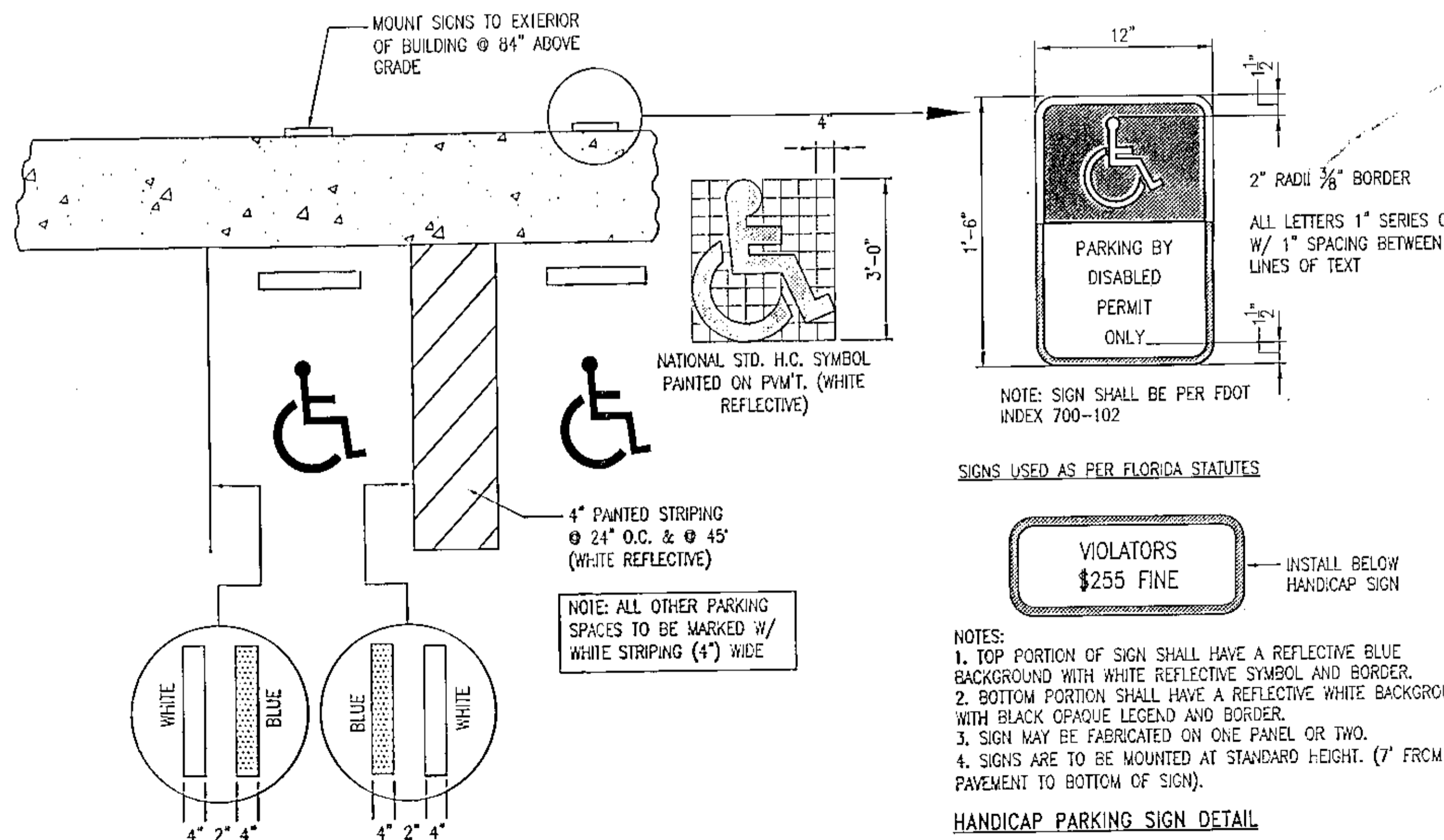
NOTE: WHEN USED ON THE HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF CUTTER SHALL MATCH THE CROSS OF ADJACENT PAVEMENT AND THE THICKNESS OF LIP SHALL BE 6", UNLESS SHOWN OTHERWISE ON THE PLANS



6 CONCRETE BUMPER BLOCK DETAIL
C501 NO SCALE

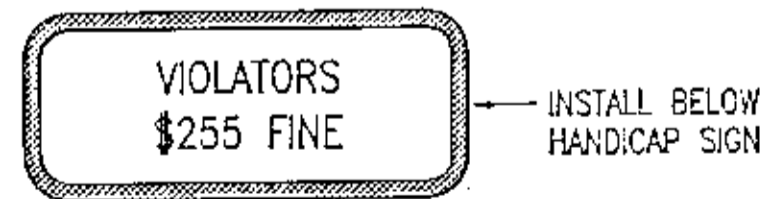


7 THROUGH ARROW
C-501 NO SCALE



8 HANDICAP PARKING STALL PLAN & DETAILS
C501 NO SCALE

SIGNS USED AS PER FLORIDA STATUTES



- NOTES:
- TOP PORTION OF SIGN SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER.
 - BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 - SIGN MAY BE FABRICATED ON ONE PANEL OR TWO.
 - SIGNS ARE TO BE MOUNTED AT STANDARD HEIGHT. (7' FROM PAVEMENT TO BOTTOM OF SIGN).

HANDICAP PARKING SIGN DETAIL

Ferry Pass Community Center

SPONSORS: Escambia County, FL American Rescue Plan SLFRF Program

ENGINEER: Kenneth Horne & Associates, Inc.

CONTRACTOR: TBD

CEI: TBD

Funded by Local Option Sales Tax (LOST) and the U.S. Department of the Treasury

This Institution is an equal opportunity provider. Ron DeSantis, Governor of Florida.

SIGN DIMENSIONS: 4' X 8'

SIGN MATERIAL: COROPLAST WITH LAMINATE

SIGN MOUNTING: SIGN IS TO BE SECURED TO A 4' X 8' X 3/4" EXTERIOR GRADE PLYWOOD PANEL WITH (2) 8' TALL 4X4 PRESSURE TREATED WOOD POSTS EMBEDDED 2" INTO THE GROUND.

*** CONTRACTOR TO COORDINATE WITH THE COUNTY FOR FINAL DESIGN AND WORDING PRIOR TO MANUFACTURING SIGN.

9 TEMPORARY CONSTRUCTION SIGN DETAIL
C501 NO SCALE

Kenneth Horne & Associates, Inc.
CIVIL ENGINEERS



PO BOX 10668, PENSACOLA, FLORIDA 32524
7201 N. 9TH AVENUE, SUITE 61, PENSACOLA, FLORIDA 32504
(850) 471-9005 info@kh-a.com FAX (850) 471-0093
FL CERTIFICATE OF AUTHORIZATION NO. 8268

FERRY PASS
COMMUNITY CENTER
DETAILS

DRAWN BY:	PC
DESIGNED BY:	CK
CHECKED BY:	CK
DATE:	01/11/2024
SCALE:	AS SHOWN
NOT FOR CONSTRUCTION	
BY:	DATE:

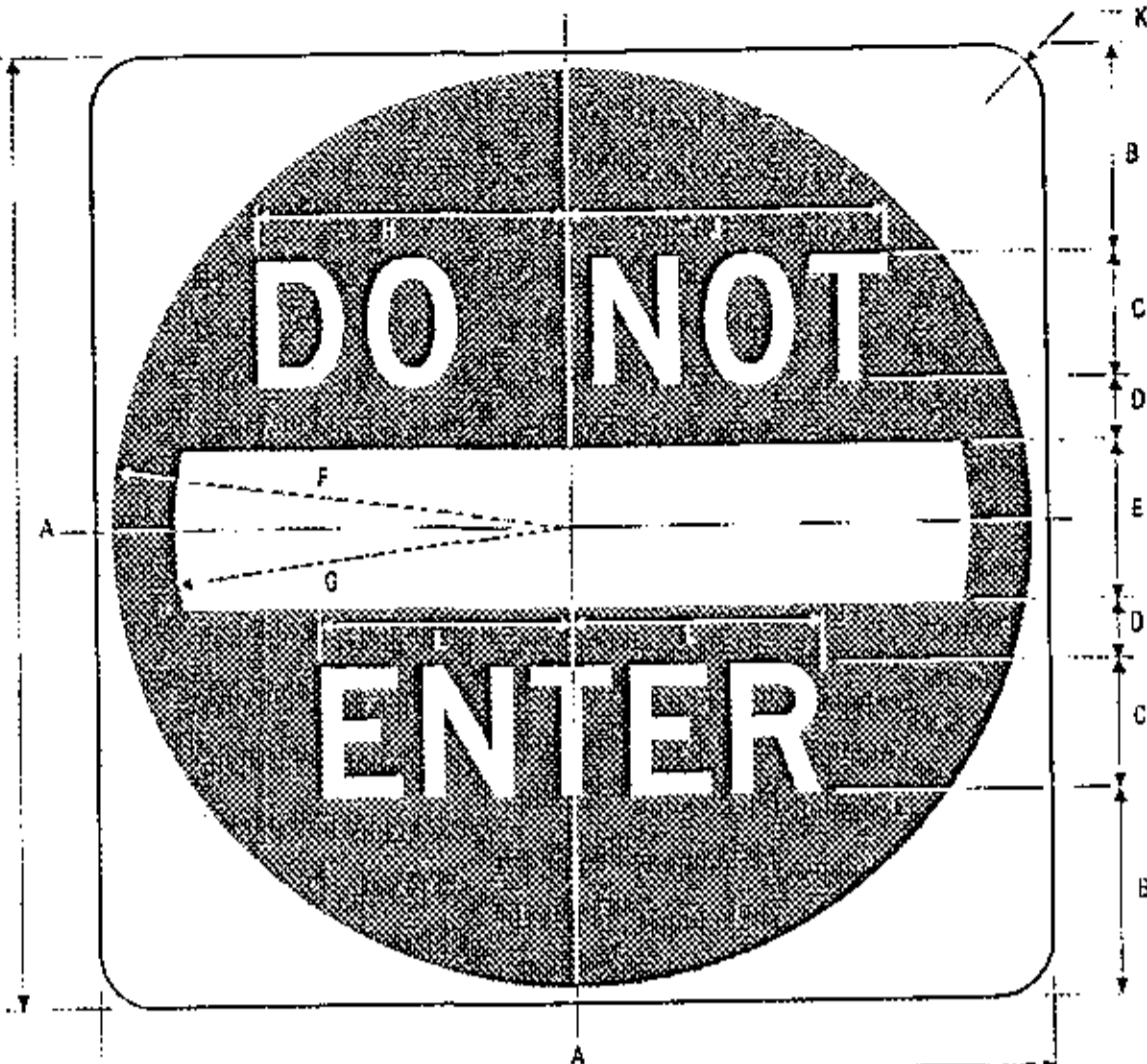
PROJECT NO: 2023-10
C501
SHEET: 14 OF 23

NO.	DATE	REVISIONS



PERMIT SET

S:\2023 Projects\2023-10 Ferry Pass Community Center\DWGS\CIVIL\23-10_C50X.dwg, Feb 27, 2024 - 3:03:42PM, priscilla



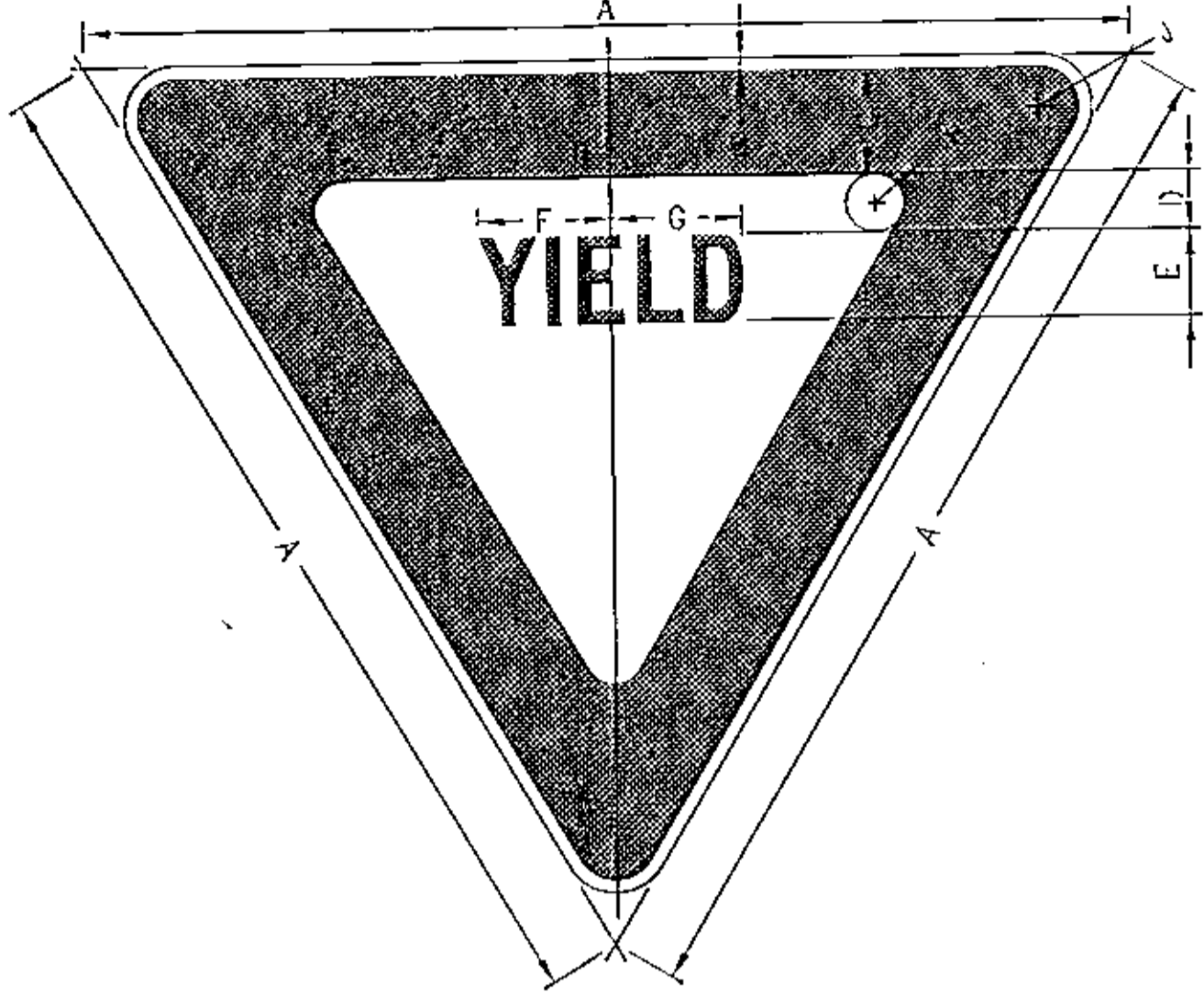
R5-1
DO NOT ENTER

A	B	C	D	E	F	G	H	J	K	L
36	8.5	4.0	2	5	14.5	12.5	9.75	10	1.875	7.875
36	7.5	5.0	2.5	8	17.0	15	12	12.375	2.25	9.513
18	11	6.0	3	8	23.5	20	14.5	15	3	11.75

COLORS: SYMBOL — RED (RETROREFLECTIVE)
LEGEND & BACKGROUND — WHITE (RETROREFLECTIVE)

NOTE: SIGN MOUNTING & POSTS PER
FDOT INDEX 11860.

1
C503
MUTCD R5-1
"DO NOT ENTER" SIGN
NO SCALE

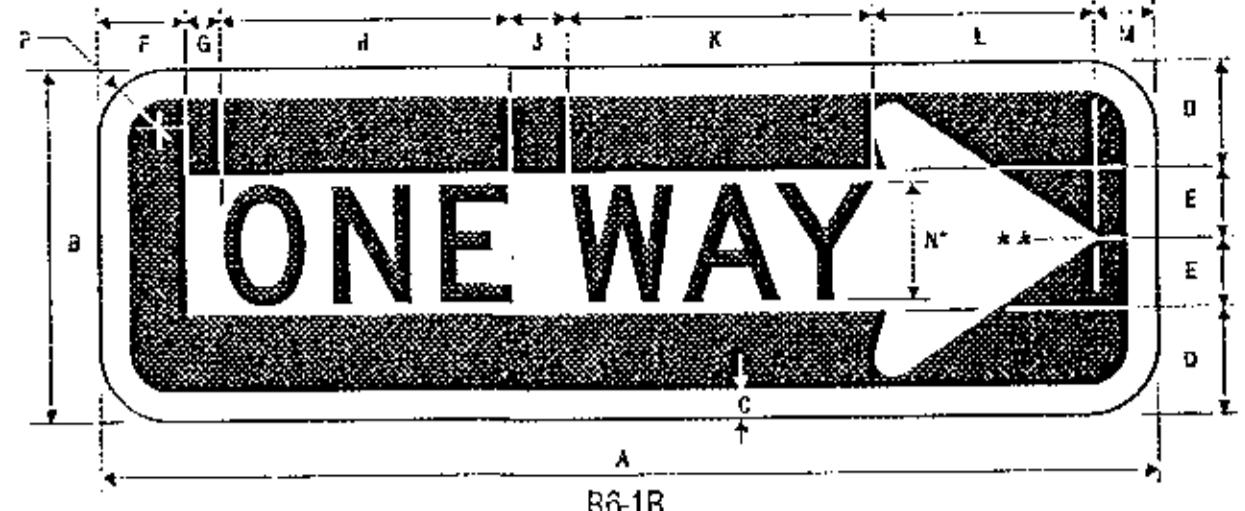


R1-2
YIELD

A	B	C	D	E	F	G	H	J
36	.75	5	2	3	4.688	4.375	1.25	2

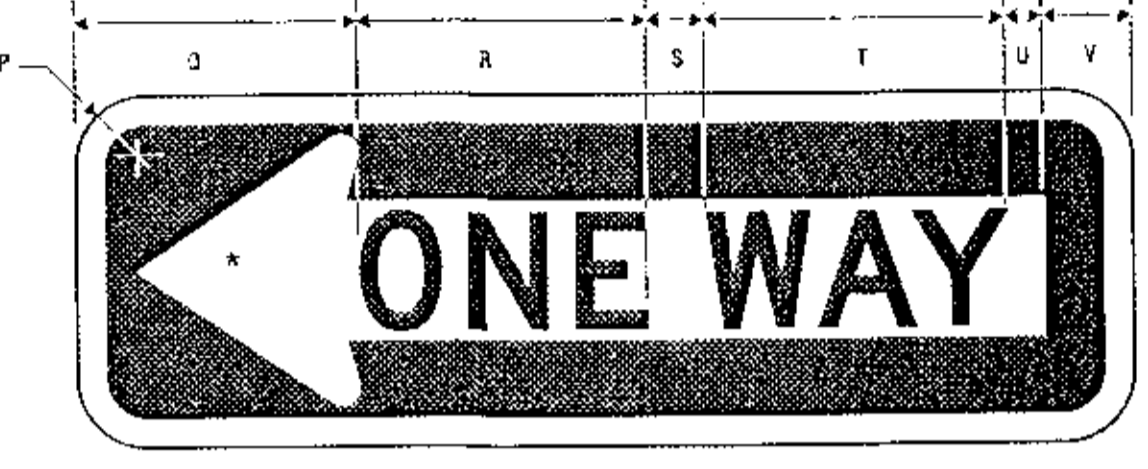
COLORS: LEGEND — RED (RETROREFLECTIVE)
BACKGROUND — WHITE (RETROREFLECTIVE)

2
C504
MUTCD R1-2
YIELD SIGN
NO SCALE



R6-1R
ONE WAY

A	B	C	D	E	F	G	H	J	K	L	M
54	18	1	5.5	3.5	5	4	12.309	2.929	12.762	13	4

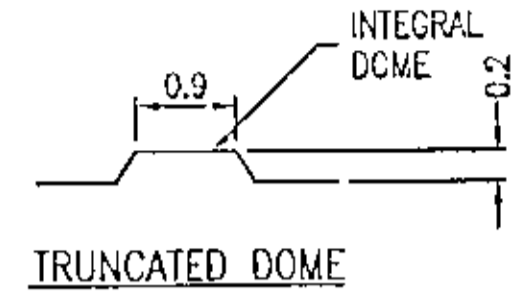
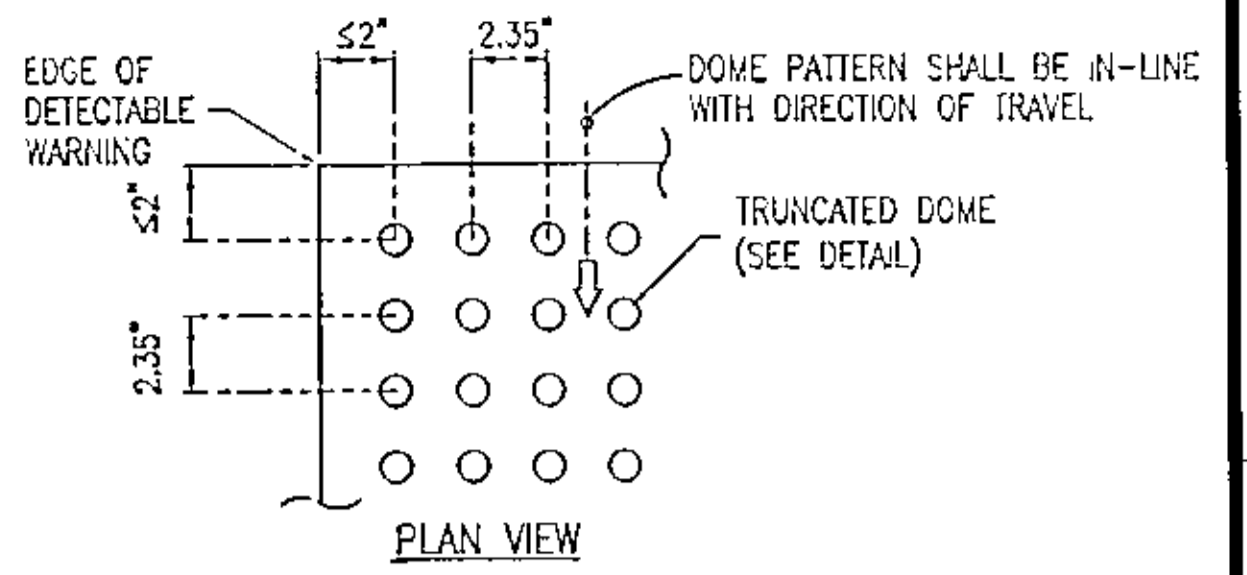


R6-1L
ONE WAY

NOTE: SIGN MOUNTING &
POSTS PER FDOT INDEX 11860.

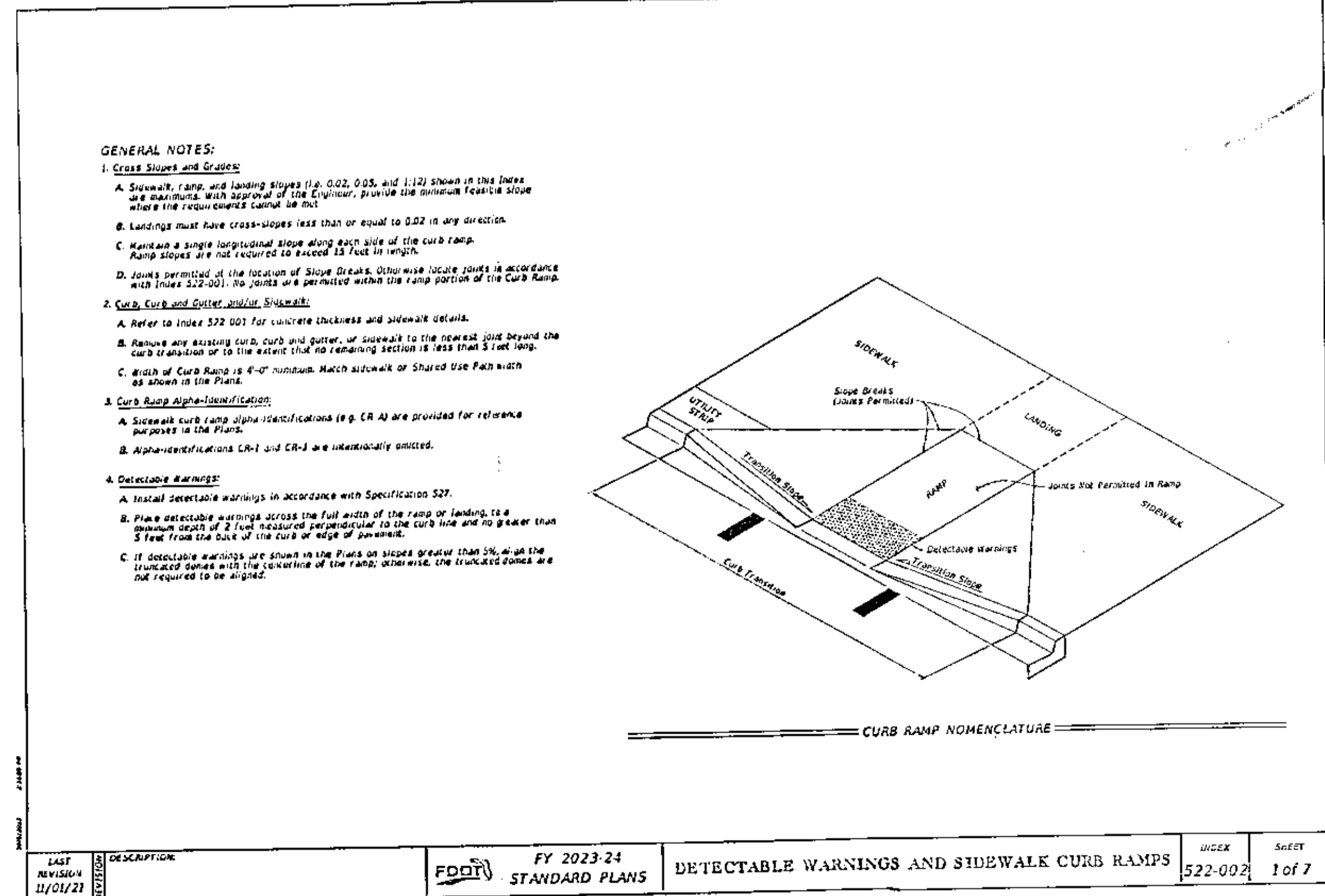
COLORS: LEGEND — BLACK
BACKGROUND — BLACK
ARROW — WHITE (RETROREFLECTIVE)

3
C503
MUTCD R6-1R & R6-1L
"ONE WAY" SIGNS
NO SCALE



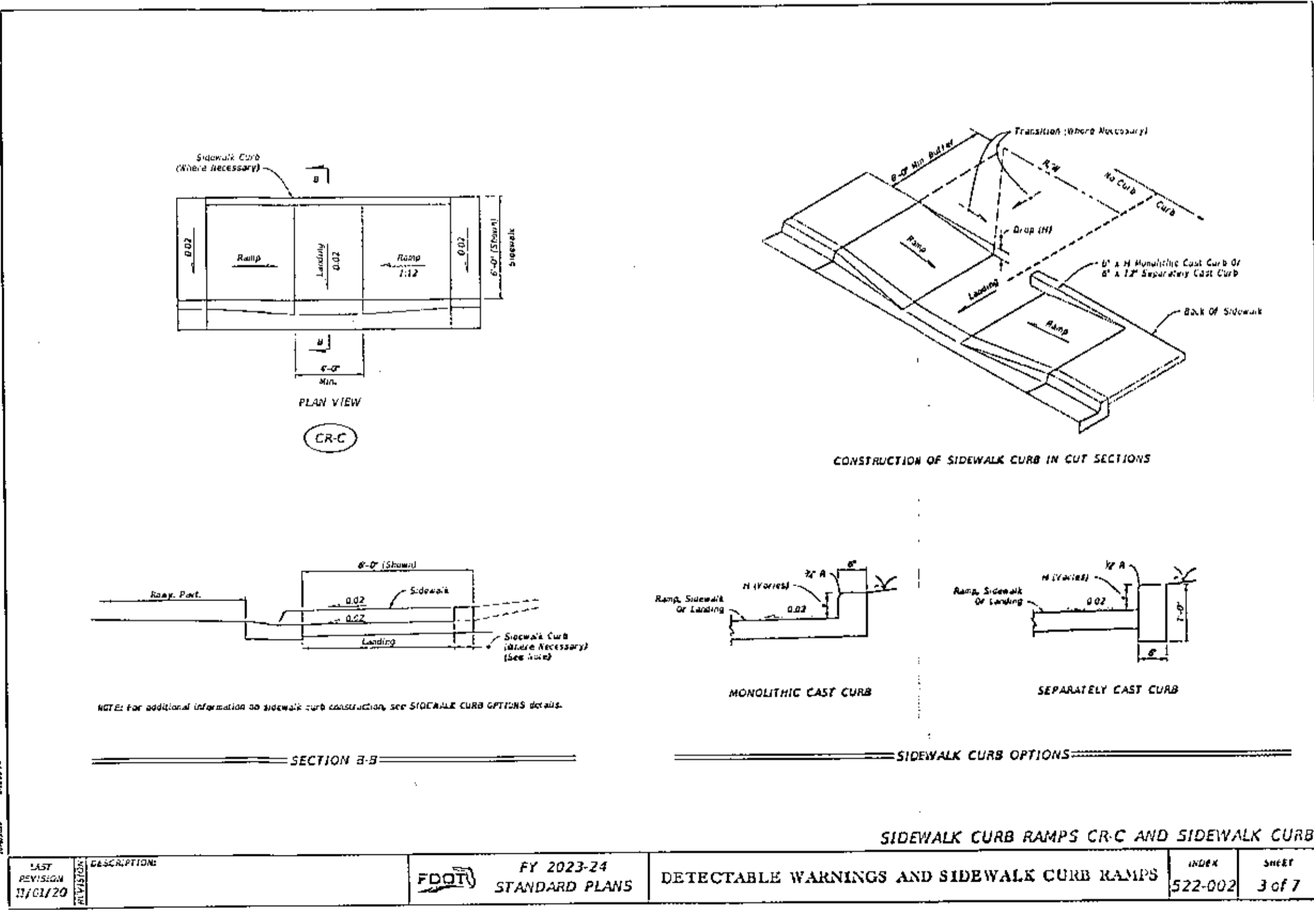
ALL SIDEWALK CURB RAMPS SHALL HAVE DETECTABLE WARNING SURFACES THAT EXTEND THE FULL WIDTH OF THE RAMP AND IN THE DIRECTION OF TRAVEL 24 INCHES (610 MM) FROM THE BACK OF CURB. TRANSITION SLOPES ARE NOT TO HAVE DETECTABLE WARNINGS. DETECTABLE WARNINGS SHALL CONFORM TO FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2007 EDITION) SECTION 527. USE DETECTABLE WARNINGS CONSISTING OF WEATHER-RESISTANT TILES, PAVERS OR MATS THAT ARE ADHERED TO CONCRETE AND HAVE MECHANICAL BOND OR FASTENERS, OR TORCH-APPLIED PREFORMED THERMOPLASTIC. PREFORMED PRODUCTS MAY BE USED ONLY IF LISTED ON THE QUALIFIED PRODUCTS LIST IN ACCORDANCE WITH FDOT SPEC. SECTION 527-2.4. USE DETECTABLE WARNINGS PROVIDING A LIGHT-ON-DARK OR DARK-ON-LIGHT COLOR CONTRAST ON CONCRETE SIDEWALK PER FDOT SPECIFICATION SECTION 527-2.3. ACCEPTABLE COLORS INCLUDE: BLACK, BRICK-RED AND SAFETY YELLOW (US-ANSI Z535.1-1991, 6.3; INTERNATIONAL-ISO 3864-1984(3)) AS DESCRIBED IN THE DRAWINGS OR AS APPROVED BY THE ENGINEER. THE COLOR MUST BE INTEGRAL WITH AND CONSISTENT THROUGHOUT THE MATERIAL. DO NOT USE THE COLOR BLUE.

4
C503
DETECTABLE WARNINGS
NO SCALE



GENERAL NOTES:
1. Cross Slopes and Grades:
A. Sidewalk, ramp, and landing slopes (1:6, 0.02, 0.05, and 1:12) shown in this detail are maximum. With approval of the Engineer, provide the minimum feasible slope when the requirements cannot be met.
B. Landings must have cross-slopes less than or equal to 0.02 in any direction.
C. Maintain a single longitudinal slope along each side of the curb ramp. Ramp slopes are not required to exceed 1:12 feet in length.
D. Joints permitted at the location of Slope Breaks. Otherwise locate joints in accordance with Table 527-2.01; the joints are permitted within the ramp portion of the Curb Ramp.
2. Curb, Curb and Outlet, and/or Sidewalk:
A. Refer to Index 527.001 for concrete thickness and sidewalk details.
B. Retain any existing curb, curb and outlet, or sidewalk to the nearest joint beyond the curb transition or to the extent that no remaining section is less than 3 feet long.
C. Width of Curb Ramp is 4'-0" minimum. Match sidewalk or Shared Use Path width as shown in the Plans.
3. Curb Ramp Signification:
A. Sidewalk curb ramp signification (e.g. CR-A) are provided for reference purposes in the Plans.
B. Alpha-identifications CR-1 and CR-2 are intentionally omitted.
4. Detectable Warnings:
A. Install detectable warnings in accordance with Specification 527.
B. Place detectable warnings across the full width of the ramp or landing, to a minimum depth of 2 feet measured perpendicular to the curb line and no greater than 5 feet from the back of the curb or edge of pavement.
C. If detectable warnings are shown in the Plans on slopes greater than 5%, all of the truncated domes with the spacing of the ramp, otherwise, the truncated domes are not required to be aligned.

LAST REVISION 11/01/21	DESCRIPTION	FDOT	FY 2023-24 STANDARD PLANS	DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS	INDEX 522-002	SHEET 1 of 7
---------------------------	-------------	------	------------------------------	---------------------------------------------	------------------	-----------------



NOTE: For additional information on sidewalk curb construction, see SIDEWALK CURB OPTIONS DETAIL.

LAST REVISION 11/01/20	DESCRIPTION	FDOT	FY 2023-24 STANDARD PLANS	DETECTABLE WARNINGS AND SIDEWALK CURB RAMPS	INDEX 522-002	SHEET 3 of 7
---------------------------	-------------	------	------------------------------	---------------------------------------------	------------------	-----------------

REVISIONS

NO.	DATE	DESCRIPTION

THIS DRAWING IS THE PROPERTY OF KENNETH HORNE & ASSOCIATES, INC. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART FOR ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

STATE OF FLORIDA
ROBERT J. BARNES, P.E.
REGISTERED PROFESSIONAL ENGINEER
FL. P.E. 48949

Kenneth Horne & Associates, Inc.
CIVIL ENGINEERS
PO BOX 10688, PENSACOLA, FLORIDA 32524
7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504
(850) 471-9005 info@kh-a.com FAX (850) 471-0093
FL CERTIFICATE OF AUTHORIZATION NO. 8268

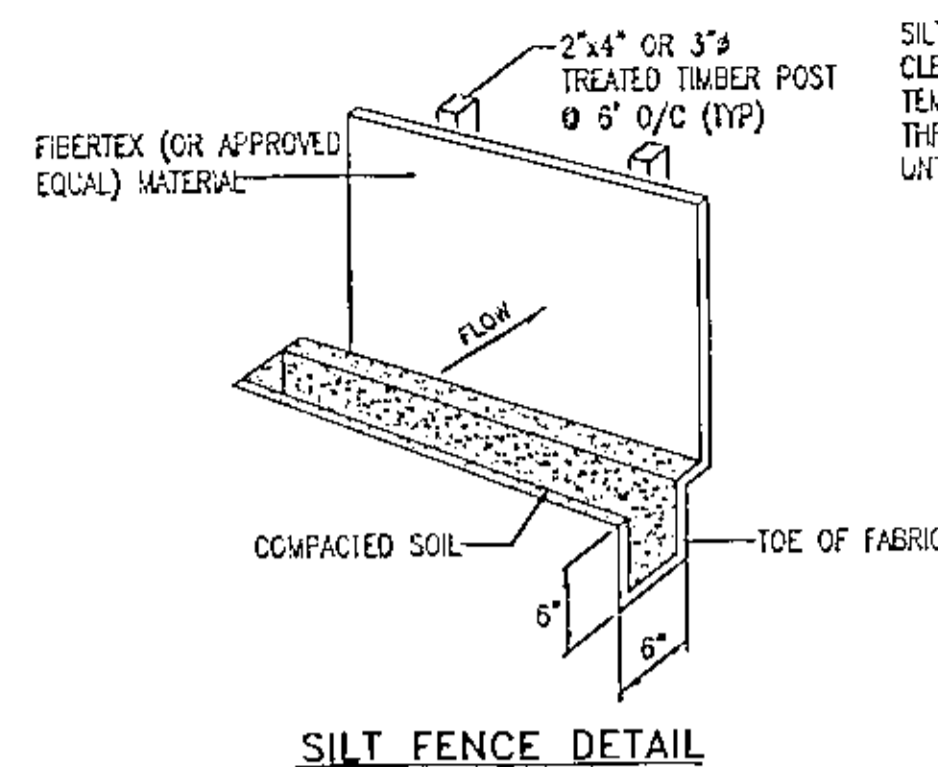
FERRY PASS
COMMUNITY CENTER
DETAILS
FLORIDA
ESCAMBIA

DRAWN BY: PC	DESIGNED BY: CK	CHECKED BY: CK	DATE: 01/11/2024	SCALE: AS SHOWN	NOT FOR CONSTRUCTION	DATE:
--------------	-----------------	----------------	------------------	-----------------	----------------------	-------

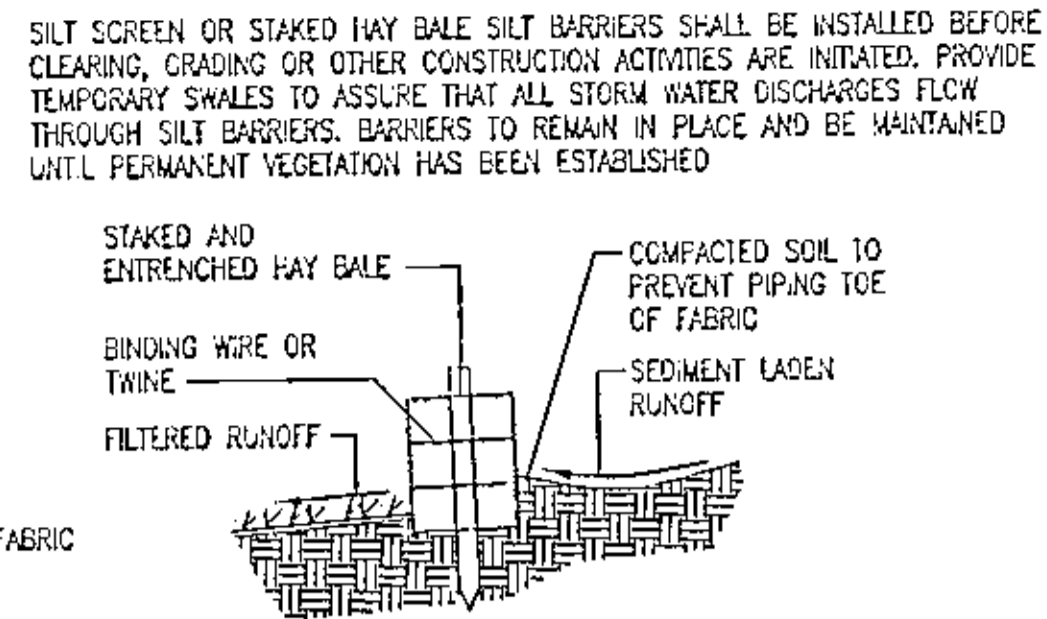
PROJECT NO: 2023-10
C503
SHEET: 18 OF 23

PERMIT SET

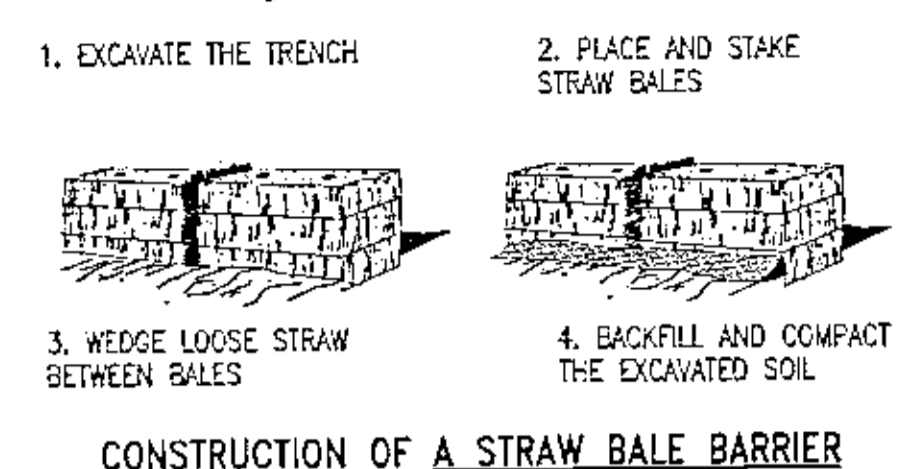
S:\2023 Projects\2023-10 Ferry Pass Community Center\DWGS\CIVIL\23-10_C601.dwg, Feb 27, 2024 - 3:03:49PM, prtscillo



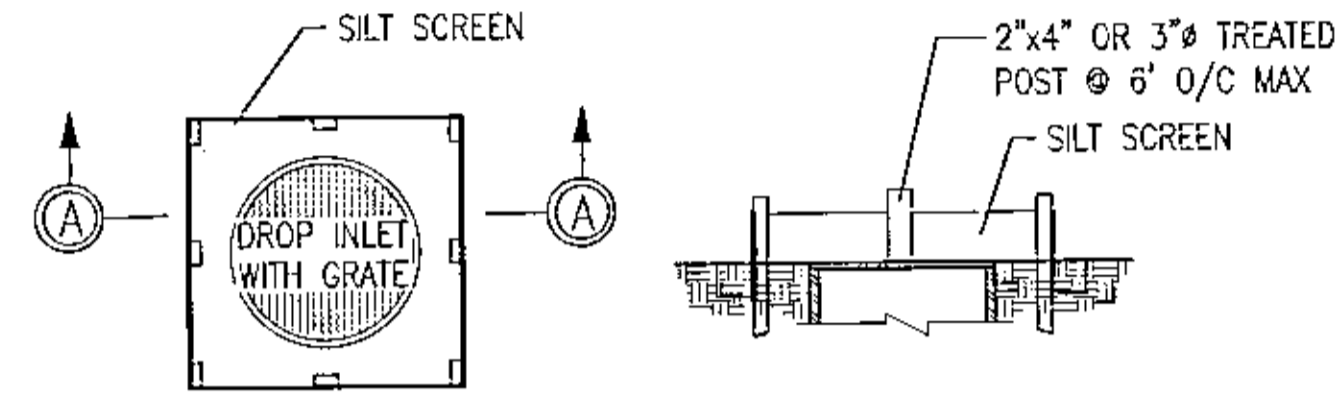
SILT FENCE DETAIL



DETAIL OF PROPERLY INSTALLED HAY BALE

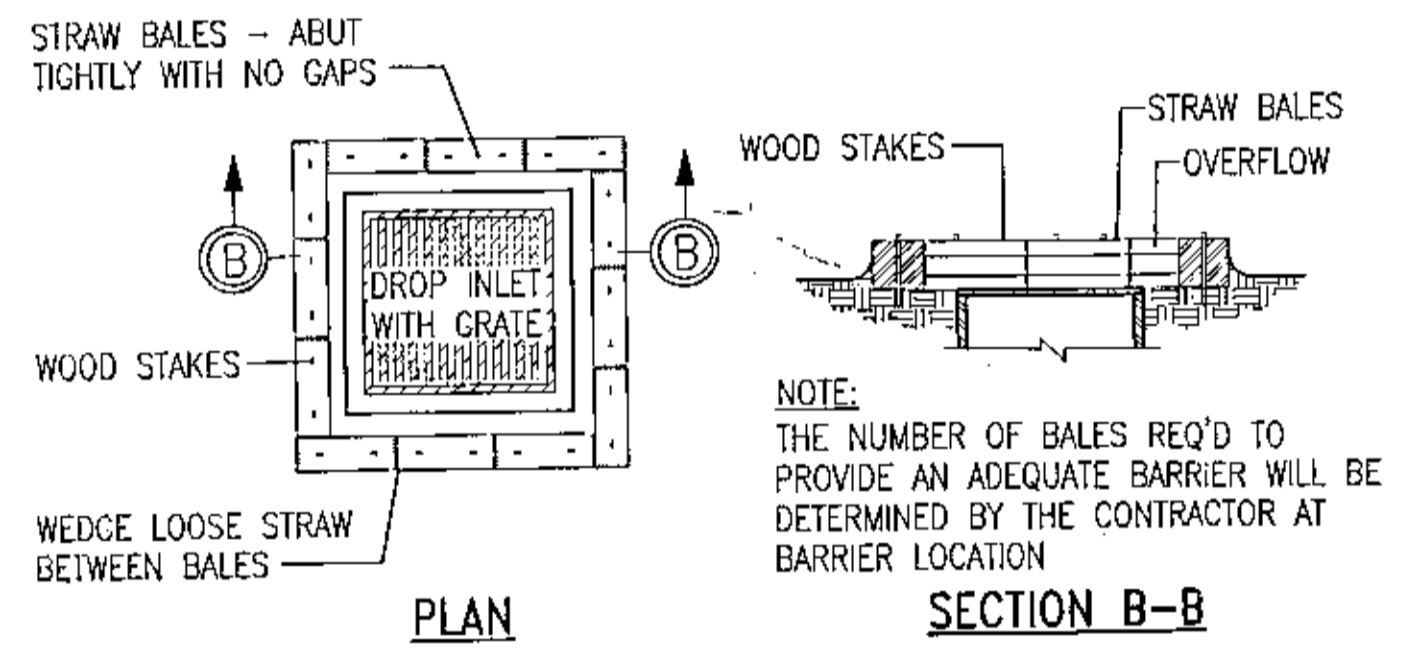


CONSTRUCTION OF A STRAW BALE BARRIER



PLAN

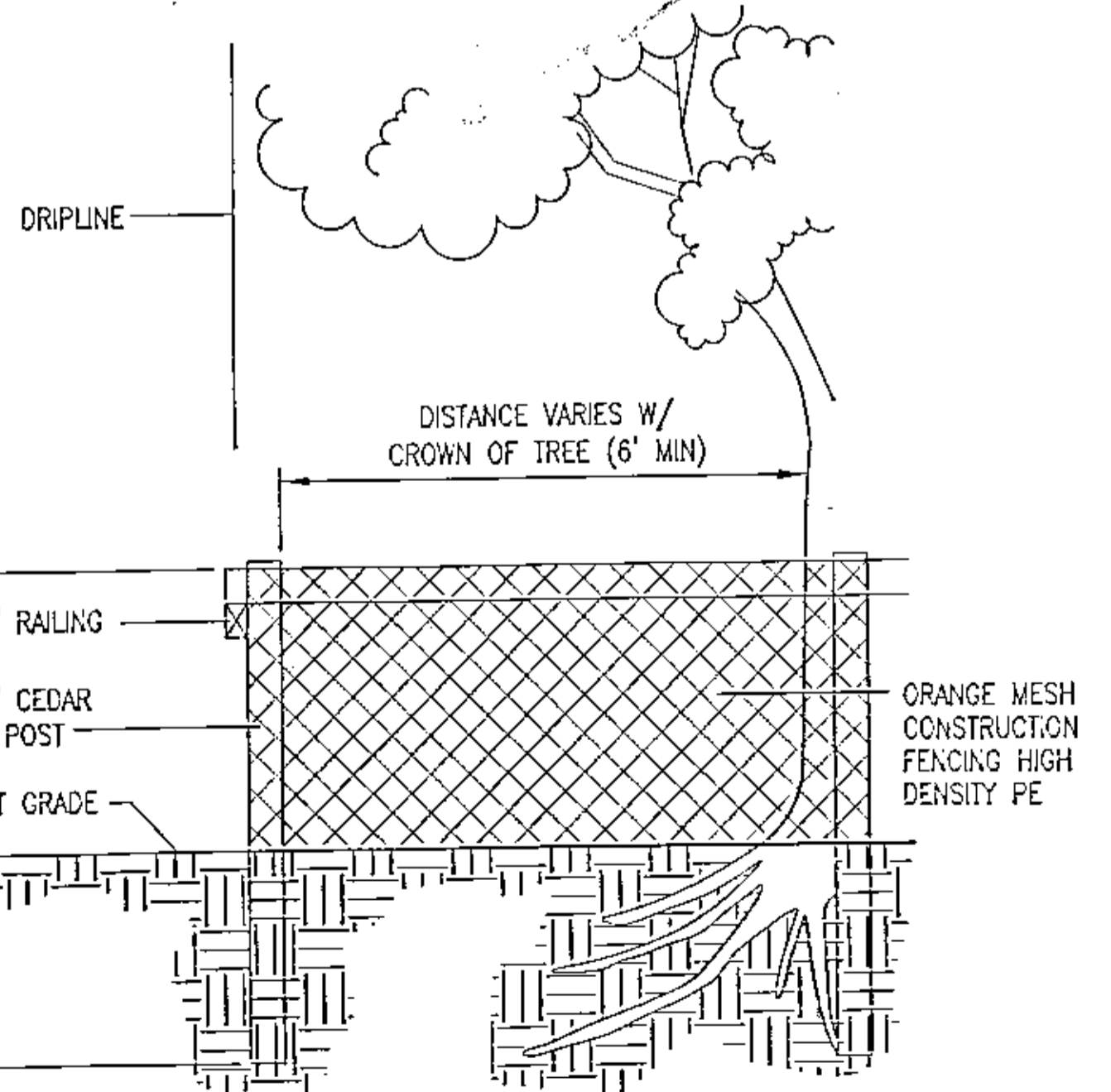
SECTION A-A



PLAN

SECTION B-B

2 INLET PROTECTION DETAILS
C601 NO SCALE

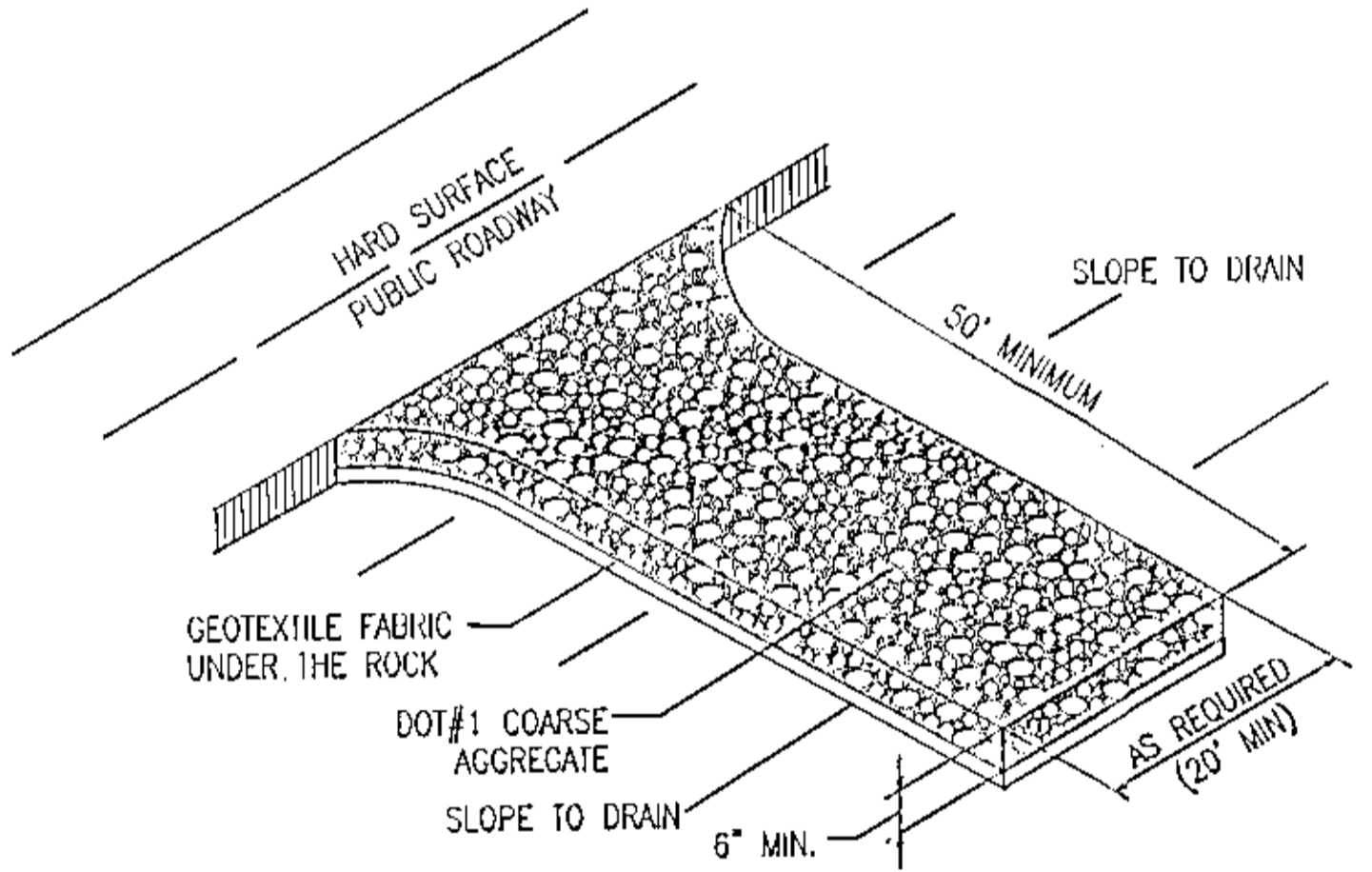


4 TREE BARRICADE DETAIL
C601 NOT TO SCALE

3 TEMPORARY CONSTRUCTION ENTRANCE DETAIL
C601 NOT TO SCALE

CONSTRUCTION ENTRANCE NOTES:

1. THE AREA OF THE CONSTRUCTION ENTRANCE SHALL BE EXCAVATED 6 INCHES DEEP, 50 FEET LONG AND SHALL EXTEND THE FULL WIDTH OF ANY VEHICULAR INGRESS AND EGRESS (MINIMUM 20 FEET) LOCATED ON THE SITE.
2. THE ENTRANCE SHALL BE PROPERLY MAINTAINED FOR THE DURATION OF THE PROJECT TO PREVENT THE TRACKING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ALL MAINTENANCE AND REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. THE ENTRANCE SHALL BE CHECKED ON A DAILY BASIS AND BEFORE & AFTER ANY RAINFALL EVENT FOR ANY DAMAGES. ANY DAMAGES FOUND SHALL BE REMEDIATED BEFORE THE DAYS END AT NO ADDITIONAL COST TO OWNER.
4. THE ENTRANCE SHALL BE PROPERLY GRADED TO PREVENT THE FLOW OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS SHALL BE REMOVED IMMEDIATELY.
5. MEASURES SHALL BE TAKEN TO PREVENT VEHICULAR TRAFFIC FROM BYPASSING THE CONSTRUCTION ENTRANCE DURING INGRESS AND EGRESS.
6. REMOVE & RESTORE W/ SCD AFTER COMPLETION OF CONSTRUCTION



STORMWATER POLLUTION PREVENTION PLAN GENERAL NOTES:

1. EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION, SECTIONS 104, 570, 575 AND 980 TO 986.
3. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
4. SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFF SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
6. SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE NUMBER 2 (ABOVE).
7. THE SITE SHALL ALWAYS BE GRADED AND MAINTAINED SUCH THAT STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
8. AREAS USED FOR THE CONTRACTOR'S STAGING, INCLUDING BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (E.G. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.), SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.

PROPOSED SEQUENCE OF CONSTRUCTION:

THIS PROJECT SHALL CONSIST OF THE CONSTRUCTION OF ADDITIONAL ASPHALT PARKING SPACES. THE CONSTRUCTION SHOULD PROCEED IN THE FOLLOWING MANNER:

1. INSTALLATION OF SEDIMENT AND EROSION CONTROL DEVICES THAT CAN BE PLACED PRIOR TO ANY MAJOR SOIL DISTURBANCES.
2. CLEAR AND REMOVE EXISTING VEGETATION IN THOSE AREAS WHERE NECESSARY. REMAINING VEGETATION IS TO BE PROPERLY PROTECTED AND TO REMAIN IN ITS NATURAL STATE.
3. IMMEDIATE INSTALLATION OF REMAINING SEDIMENT AND EROSION CONTROL DEVICES.
4. INITIATE CONSTRUCTION.
5. UPON COMPLETION OF CONSTRUCTION ACTIVITIES, PROVIDE RESTORATION, FINE GRADE REMINDER OF SITE.
6. REMOVAL OF APPROPRIATE TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.

EROSION AND SEDIMENTATION CONTROL NOTES:

1. SILT FENCE SHALL BE PLACED IN A SINGLE ROW, LENGTHWISE ON THE CONTOUR, WITH ENDS OF ADJACENT FENCES TIGHTLY ADJUTING ONE ANOTHER PRIOR TO EARTHWORK OPERATIONS.
2. THE SILT FENCE BARRIER SHALL BE ENTRENCHED AND BACK FILLED. A TRENCH SHALL BE EXCAVATED THE LENGTH OF THE PROPOSED BARRIER TO A MINIMUM DEPTH OF 6 INCHES. THE EXCAVATED SOIL SHALL BE BACKFILLED AGAINST THE BARRIER. BACK FILL SOIL SHALL CONFORM TO THE GROUND LEVEL ON THE DOWNHILL SIDE AND SHALL BE BUILT UP TO 4 INCHES AGAINST THE UPHILL SIDE OF THE BARRIER.
3. SILT FENCE BARRIER SHALL BE SECURELY ANCHORED.
4. SILT FENCE BARRIERS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS, BUT NOT BEFORE THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.
5. SILT FENCE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
6. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCE, END RUNS AND UNDERCUTTING BENEATH FENCE.
7. NECESSARY REPAIRS TO SILT FENCE BARRIERS OR REPLACEMENT OF FENCE SHALL BE ACCOMPLISHED PROMPTLY.
8. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE BARRIER.
9. SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SODDED.

TREE PROTECTION NOTES:

1. DURING DEVELOPMENT ACTIVITIES, PROTECTED TREES SHALL BE PROTECTED FROM ACTIVITIES WHICH MAY INJURE OR KILL THEM.
2. WITHIN THE DRIP LINE, THERE SHALL BE NO STORAGE OF FILL OR COMPACTION OF THE SOIL AS FROM HEAVY EQUIPMENT, OR ANY SPILLING, STORAGE OR DISPOSAL OF CONCRETE, MORTAR, PAINT, SOLVENTS, CHEMICALS, OR OTHER POTENTIALLY HARMFUL SUBSTANCES.
3. ALL TREES TO BE PROTECTED SHALL BE PROTECTED BY MEANS OF A PHYSICAL BARRIER WHICH WILL LIMIT ACCESS TO SAID TREE. SAID PROTECTIVE BARRIER SHALL BE COMPOSED OF WOOD OR OTHER SUITABLE MATERIALS WHICH ASSURE COMPLIANCE WITH THE INTENT OF THIS ORDINANCE. SAID PROTECTIVE BARRIERS, WHERE REQUIRED, SHALL REMAIN UNTIL SUCH TIME AS CONSTRUCTION IS COMPLETE. A MINIMUM OF ONE HUNDRED (100) PERCENT OF THE AREA WITHIN THE DRIP LINE SHALL BE SO PROTECTED.
4. TREE BARRICADES & TREE PROTECTION MEASURES SHALL BE IN PLACE PRIOR TO SITE CONSTRUCTION ACTIVITIES & REMAIN UNTIL SITE WORK IS COMPLETED & STABILIZED.

NO.	DATE	REVISIONS

THIS DRAWING IS THE PROPERTY OF KENNETH HORNE & ASSOCIATES, INC. IT IS NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

STATE OF FLORIDA
PROFESSIONAL ENGINEER
ROBERT C. KOSKOSKY
FL. P.E. 48849

Kenneth Horne & Associates, Inc.
CIVIL ENGINEERS
PO BOX 10688, PENSACOLA, FLORIDA 32524
7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504
(850) 471-8005 info@kh-a.com FAX (850) 471-0099
FL. CERTIFICATE OF AUTHORIZATION NO. 8268

KH&A

FERRY PASS
COMMUNITY CENTER
EROSION CONTROL DETAILS
FLORIDA
ESCAMBIA

PROJECT NO: 2023-10
C601
SHEET: 17 OF 23

DATE: 01/11/2024
SCALE: AS SHOWN
NOT FOR CONSTRUCTION

PERMIT SET