

# CONSTRUCTION PLANS FOR Bennington Park Subdivision

A 155 LOT SUBDIVISION IN A PORTION OF SECTION 28 TOWNSHIP 1 SOUTH RANGE 31 WEST  
ESCAMBIA COUNTY, FLORIDA

ZONED: LDR FUTURE LAND USE: MU-S

DEVELOPER:  
LENNAR HOMES, LLC  
801 W. ROMANA ST.  
PENSACOLA, FL 32502



## SITE DATA

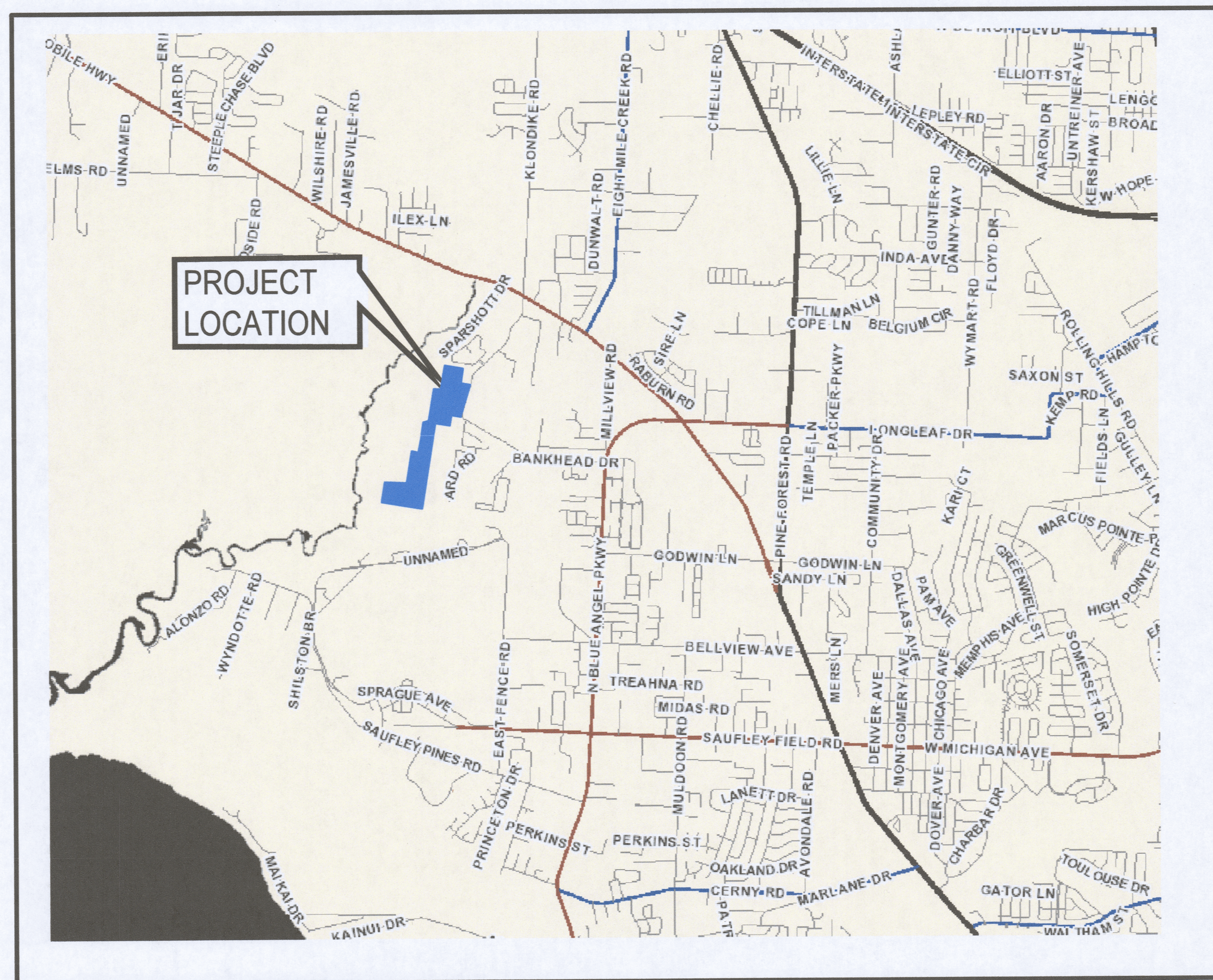
Property Owners: DP Developers for North Florida, LLC  
1700 Scenic Highway APT 400  
Pensacola, FL 32533

Developer: Lennar Homes, LLC  
801 W. Romana St.  
Pensacola, FL 32502

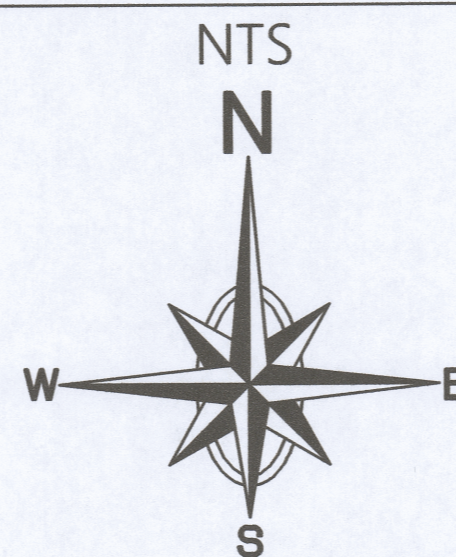
Surveyor: Mullins, LLC  
4900 Bayou Blvd., Ste. 200  
Pensacola, FL 32503  
(850)221-9889 RICKY.SEARS@MULLINSLLC.NET  
Ricky Sears, PLS - FL License #4511

Engineer: Mullins, LLC  
4900 Bayou Blvd., Ste. 200  
Pensacola, FL 32503  
(205)937-9553- Todd@mullinsllc.net  
Todd Wheeler, P.E. - FL License #92378

Gross Project Area: 63.42 Acres  
Wetland Area: 4.04 Acres  
Gross Density: 2.44 Units / Acre (Residential)  
Current Zoning: LDR  
Type of Subdivision: Single-Family  
Number of Lots: 155 Lots  
Contour Interval: One-Foot  
Datum: Florida North NAD1983 & NGVD88  
Street Length: 6768 L.F.  
Type of Streets: Public  
R/W Width: 50'  
Pavement Width: 26' B.O.C. To B.O.C.  
Street Maintenance: Public  
Stormwater Maintenance: Public  
Min. Lot Area: 60.00' x 140.0' (8,400 SF)  
Min. Lot Width at Building Line: 60.00 Feet  
Min. Depth of Front Yard: 25 Feet  
Min. Depth of Rear Yard: 25 Feet  
Min. Width of Each Side Yard: On each side, 5 Feet or 10% of the lot width at the street right-of-way, whichever is greater, but not required to exceed 15 Feet  
Max. Building Height (FFET): 45 Feet  
Property Reference: 28-1S-31-1000-006-010  
28-1S-31-3401-000-000



## LOCATION MAP

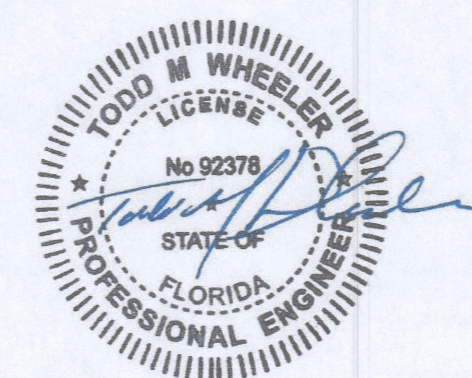


JUNE 2025

Approved: *T. Hampton* 6/25/25  
Date

This document has been reviewed in accordance with requirements of applicable Escambia County Regulations and Ordinances and does not in any way relieve the submitting Architect, Engineer, Surveyor, or other signatory from responsibility of details as drawn.

Digitally signed  
by Todd M  
Wheeler  
Date: 2025.06.09  
10:30:11 -05'00'  
Adobe Acrobat  
version:  
2025.001.20474



This item has been digitally signed and sealed by Todd M Wheeler, PE 92378, using a Digital Signature.  
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

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SHOP DRAWINGS  
TO BE SUBMITTED TO:  
MULLINS, LLC  
ATTN: Todd Wheeler, P.E.  
4900 Bayou Boulevard Suite 200  
Pensacola, FL 32503

PLANS PREPARED BY:

**MULLINS, LLC**  
CIVIL ENGINEERING, DEVELOPMENT DESIGN  
SURVEYING

4900 Bayou Blvd. Ste. 200, Pensacola, FL 32503  
(850) 462-8412

Mullins Project No. 23-183P

NOTE: THE SCALE OF THESE PLANS MAY  
HAVE CHANGED DUE TO REPRODUCTION.

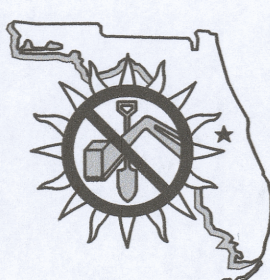
CONSTRUCTION PLAN SET  
JUNE 2025

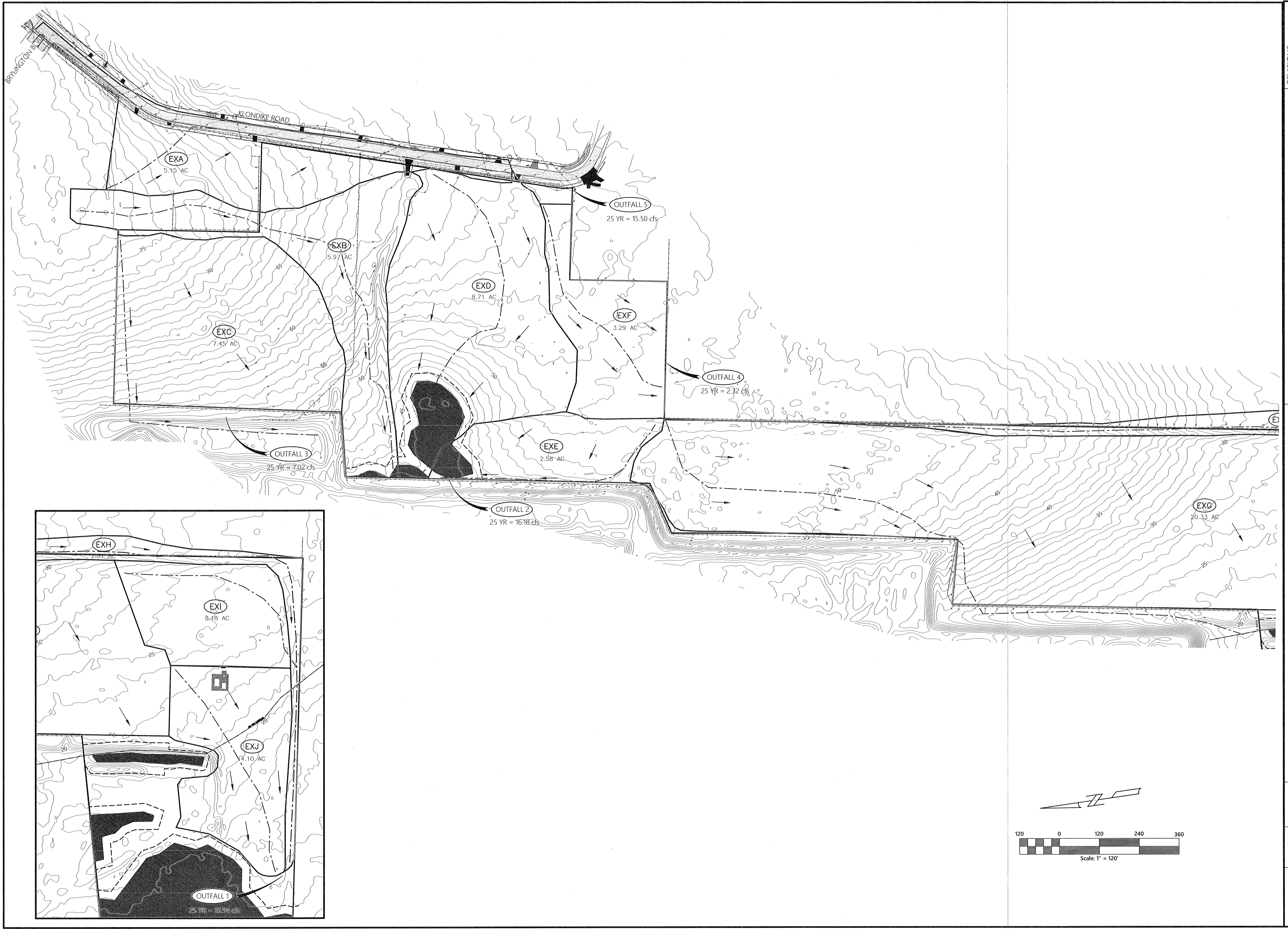
ENGINEERING STATEMENT

ALL PROPOSED ROADWAYS, DRAINAGE, AND  
OTHER IMPROVEMENTS ARE DESIGNED TO  
COMPLY WITH ALL APPLICABLE FEDERAL, STATE,  
AND LOCAL DEVELOPMENT REQUIREMENTS.

ENGINEER OF RECORD: Todd M. Wheeler  
P.E. NO. 92378

48 HOURS  
BEFORE YOU DIG  
CALL SUNSHINE ONE  
1-800-432-4770  
www.callsunshine.com





REVISIONS

NO.	DATE	DESCRIPTION

All documents, including Drawings and Bid Specifications, prepared or furnished by Firms listed on face are instruments of service in respect of the client and firms listed on face. Such documents are not intended to be represented to be suitable for reuse by the Client or others on extensions of the Project or on any other project. Any reuse without written verification by Firms listed on face will entitle Firms listed on face to further compensation at rates to be agreed upon by Firms listed on face and the Client.

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 4900 Bayou Blvd., Ste. 200, Pensacola, FL 32403  
 (850) 462-8412

Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
 PREPARED FOR: Lennar Homes, LLC

PRE DEVELOPED  
 DRAINAGE MAP

Job No. 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER  
**3**



REVISIONS

Date	Description

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Construction Plans for  
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 Escambia County, FL  
 PREPARED FOR: Lemar Homes, LLC

POST DEVELOPED  
 DRAINAGE AREA  
 MAP

Job No. 23-183P  
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SHEET NUMBER  
**4**

GENERAL NOTES:

- 1. THE CONTRACTORS SHALL NOTIFY THE COUNTY DESIGN ENGINEER OR DESIGNEE, AND THE ECUA INSPECTOR 48 HOURS PRIOR TO CONSTRUCTION.
2. ALL CONDITIONS AND STIPULATIONS OF THE CONSTRUCTION PERMITS AND THE APPROVALS ISSUED BY THE ESCAMBIA COUNTY ENGINEER AND ECUA SHALL BE COMPLIED WITHIN EVERY DETAIL.
3. ALL ROADS DAMAGED BY CONSTRUCTION OPERATIONS ARE TO BE PATCHED OR RECONSTRUCTED AS DIRECTED BY THE COUNTY ENGINEER OR DESIGNEE.
...
36. CONTRACTOR SHALL BE PROVIDED A COPY OF THE TECHNICAL SPECS AND GEOTECHNICAL DATA PRIOR TO CONSTRUCTION.

DRAINAGE NOTES:

- 1. CONSTRUCT THE STORMWATER MANAGEMENT FACILITY INCLUDING INLET STRUCTURE, FILTER SYSTEM (TEMP. OR FINAL), AND OUTFALL SYSTEM AND STABILIZE WITH SOD. DO NOT CLEAR ANY OTHER AREAS OF THE SITE UNTIL POND IS STABILIZED.
2. CLEAR THE REMAINING PORTION OF THE SITE, THAT IS APPROVED FOR DRAINAGE, AND CREATE DIVERSION CHANNELS TO DIRECT STORMWATER FLOW TO THE POND. WHERE NEEDED, CHECK DAMS CONSTRUCTED OF HAY BALES, SHALL BE USED TO TRAP SEDIMENT BEFORE IT REACHES THE POND.
...
12. ALL BURIED PIPES SHALL HAVE A MINIMUM COVER OF (1) FOOT OF COVER.

CONSTRUCTION SEQUENCE:

- 1. THE FOLLOWING SEQUENCE OF CONSTRUCTION SHALL BE FOLLOWED:
A) CONSTRUCT TREE PROTECTION BARRICADES AND SEDIMENTATION/EROSION CONTROLS AND CLEARLY FLAG THE LIMITS OF CONSTRUCTION. DO NOT BEGIN CONSTRUCTION UNTIL EROSION CONTROL DEVICES HAVE BEEN INSPECTED AND APPROVED BY THE LOCAL PERMITTING AUTHORITY.
B) CONSTRUCTION PLAN APPROVAL IS REQUIRED TO DOCUMENT THE DESIGN OF INFRASTRUCTURE TO ADEQUATELY SERVE THE CREATED LOTS. THE APPROVAL ALLOWS THE CONSTRUCTION OF THE SUBDIVISION INFRASTRUCTURE AREAS ONLY AS SPECIFICALLY DESIGNATED TO PROCEED, BUT IT DOES NOT ALLOW DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS. NEITHER PLAN OR PLAN ALLOW LAND CLEARING/ LAND DISTURBANCE ACTIVITIES AND DEVELOPMENT ON INDIVIDUAL SUBDIVISION LOTS AS BUILDING PERMITS FOR THE DWELLINGS WILL BE REQUIRED FOR THESE ACTIVITIES PRIOR, ON EACH LOT/PARCEL, IN THE FUTURE.
...
F) SEED/SOD AND LANDSCAPE IN ACCORDANCE WITH THE APPROVED DRAWINGS. OBTAIN A STORMWATER OPERATION AND MAINTENANCE PERMIT. RECORD DRAWINGS SHALL BE FILED WITH THE LOCAL PERMITTING AUTHORITY.

LAYOUT NOTES:

- 1. THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO NATIONAL GEODETIC VERTICAL DATUM.
2. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF EXISTING UTILITIES AND TO DETERMINE IF OTHER UTILITIES WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK AND TAKE ALL NECESSARY STEPS TO PROVIDE FOR UTILITY PROTECTION.
3. REFERENCE BENCHMARKS EXISTS ON THIS PROPERTY AS SHOWN HEREON.
...
5. CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY REGARDING ANY APPARENT CONFLICTS IN THE PROPOSED IMPROVEMENTS ENCOUNTERED DURING THE COURSE OF CONSTRUCTION.

EARTHWORK NOTE:

- 1. NO REPRESENTATION IS MADE REGARDING A BALANCED SITE. THE CONTRACTOR SHALL DETERMINE IF ANY ADDITIONAL FILL IS REQUIRED AND PROVIDE SAME AT NO ADDITIONAL COST TO THE OWNER. LIKEWISE, ANY EXCESS MATERIAL SHALL BE HAULED FROM THE SITE AND PROPERLY DISPOSED OF AT NO ADDITIONAL COST.

UTILITY NOTES:

- 1. THE LOCATION SHOWN FOR EXISTING UNDERGROUND UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK IN EACH AREA. THE CONTRACTOR AGREES TO BE COMPLETELY RESPONSIBLE FOR ALL DAMAGES WHICH MIGHT OCCUR BY HIS/HER FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UTILITIES.
2. UTILITY OWNERS SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION SO THAT THE UTILITY OWNER CAN SPOT VERIFY AND/OR EXPOSE THEIR UTILITIES.
3. EXISTING DRIVEWAYS SHALL BE REPAIRED/RESTORED TO ORIGINAL OR BETTER CONDITION IF CROSSING WITH SANITARY FORCEMAIN IS TO BE OPEN CUT.
4. EXISTING MAILBOXES DISTURBED WITH THE INSTALLATION OF THE SANITARY FORCEMAIN SHALL BE REPAIRED/RESTORED TO ORIGINAL OR BETTER CONDITION

KNOWN UTILITIES OWNERS INCLUDE:

SANITARY SEWER AND WATER - ECUA
MR. FERRY WHITE
P.O. BOX 17089
PENSACOLA, FL 32522-7089
PH: (850) 698-4613
...
TRAFFIC DEPARTMENT - ESCAMBIA COUNTY PUBLIC WORKS
MR. JOHNNY COX
3363 WEST PARK PLACE
PENSACOLA, FL 32505
PH: (850) 595-3404

ELECTRIC - GULF POWER
MR. ALLEN THOMPSON
5120 DOGWOOD DRIVE
MILTON, FL 32570
PH: (850) 549-1225
...
SUNSHINE STATE ONE-CALL
7200 LAKE ELLENOR DRIVE, SUITE
ORLANDO, FL 32809
PH: (800) 432-4770

- 5. AT&T FLORIDA WILL COMPLETE ALL WORK DURING THE HOURS OF 7:30 AM - 4:30 PM, MONDAY THRU FRIDAY. NO NIGHT OR WEEKEND WORK.
6. ALL CABLE DAMAGE MUST BE REPORTED TO THE AT&T FLORIDA REPAIR SERVICE DEPARTMENT AT 611 FROM A LAND LINE OR 877-737-2478 IF USING A CELL PHONE.
7. CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD TRANSMISSION LINES AND UNDERGROUND UTILITIES.
...
13. ELECTRIC/PHONE/CABLE/GAS STRUCTURES INSTALLED WITH IN DRAINAGE ACCESS EASEMENTS SHALL BE LOCATED ALONG THE BOUNDARY OF THE EASEMENT TO MAXIMIZE CLEAR ACCESS FOR MAINTENANCE EQUIPMENT.

LAND DISTURBANCE NOTE:

- 1. THE LAND SHALL REMAIN VEGETATED & IN ITS NATURAL STATE (TREES INCLUDED) UNTIL SUCH TIME AS SPECIFIC SITE PLANS, SUBDIVISION PLATS, & ALL PROPER PERMITTING ALLOWS FOR TREE REMOVAL &/OR LAND DISTURBANCE ACTIVITIES PER ESCAMBIA COUNTY'S LAND DEVELOPMENT CODE. ALL TREE REMOVAL, LAND CLEARING, GRADING, FILLING OR PLACEMENT OF FILL MATERIALS ONSITE, EXCAVATING, CUTTING, BERMING, OR ANY OTHER 'LAND DISTURBING ACTIVITIES' THAT MAY ALTER TOPOGRAPHY OR VEGETATIVE COVER SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION.
2. NO IMPACTS TO WETLANDS ARE PROPOSED WITH THE DEVELOPMENT OF SUBDIVISION.
3. WETLANDS ON SITE INCLUDE: WESTERN BOUNDARY WETLANDS- 40,742 SF AVERAGE BUFFER WIDTH OF 25' SOUTHERN CORNER WETLANDS- 135,291 SF AVERAGE BUFFER WIDTH OF 25' (MAX BUFFER 35' AND MIN BUFFER 15')-NOTED ON SHEET 9B
4. NO IDENTIFIED HERITAGE TREES (TREES WITH 60' DBH OR GREATER) WERE IDENTIFIED ON SITE.

EROSION NOTES:

- 1. EROSION PROTECTION: SOIL EROSION SEDIMENTATION MUST BE CONTROLLED AND RETAINED ON SITE DURING CONSTRUCTION. THEREFORE, EROSION PROTECTION, SUCH AS STAKED BAILED HAY AND SILT FENCE BARRIERS, MUST BE INSTALLED PRIOR TO START OF CONSTRUCTION.
2. SILT FENCE BARRIER SHALL BE INSTALLED AS SHOWN ON PLANS, AND IN ALL AREAS SUBJECT TO SOIL EROSION SEDIMENTATION.
3. POND SLOPES SHALL BE SODDED.
4. GRADES AT CURBS ARE AT FLOWLINE.
5. EROSION CONTROL MATTING SHALL BE BONTERRA CP9 OR EQUAL APPROVED BY THE ENGINEER. INLET FILTER SYSTEMS SHALL BE SILT-SAVER, INC. OR EQUAL APPROVED BY THE ENGINEER.
...
27. SAG FILTERS IN CURB THROATS ARE NOT AN ALLOWABLE SEDIMENT CONTROL METHOD.

Table with 10 columns for REVISIONS, including Date and Description fields.

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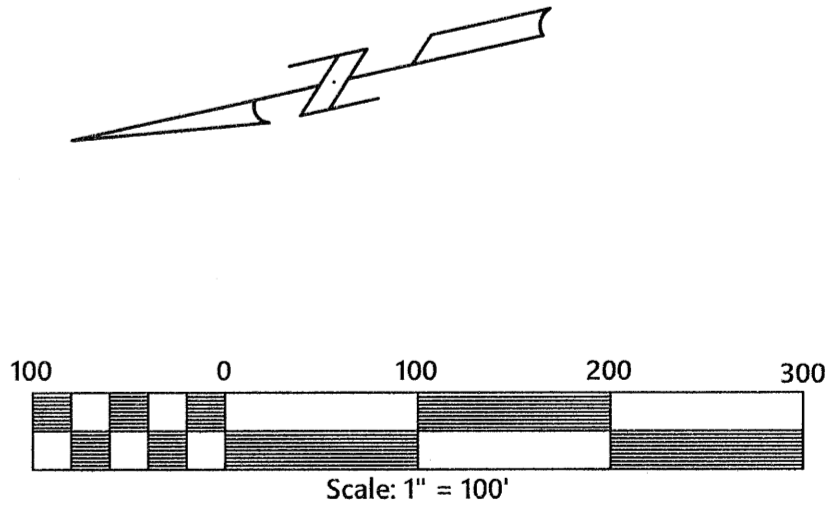
Construction Plans for:
Bennington Park Subdivision
Escambia County, FL
Lennar Homes, LLC
PREPARED FOR:

PROJECT NOTES

Job No. 23-183P
Date: 5/24/2024
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5



REVISIONS	
No.	Date

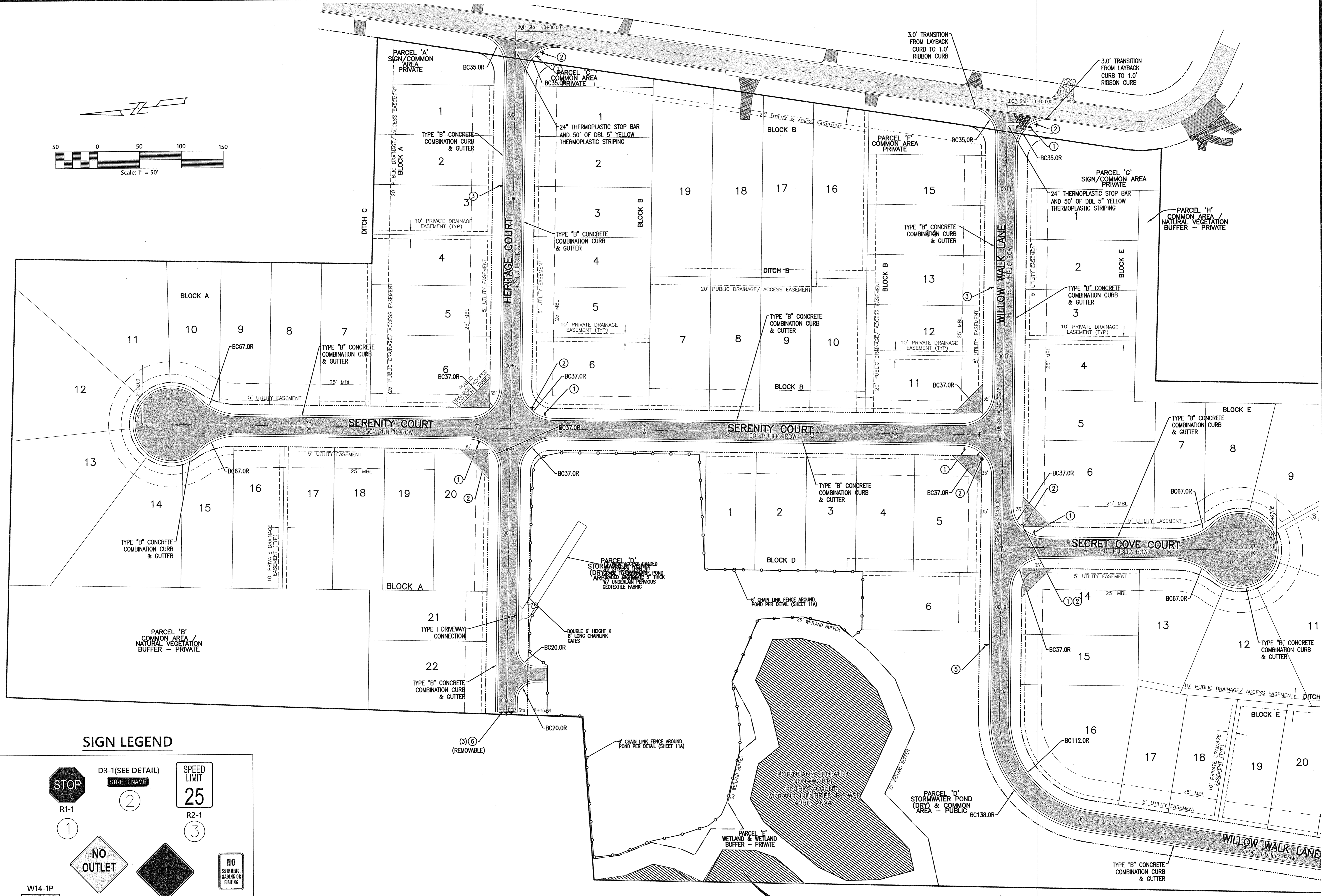
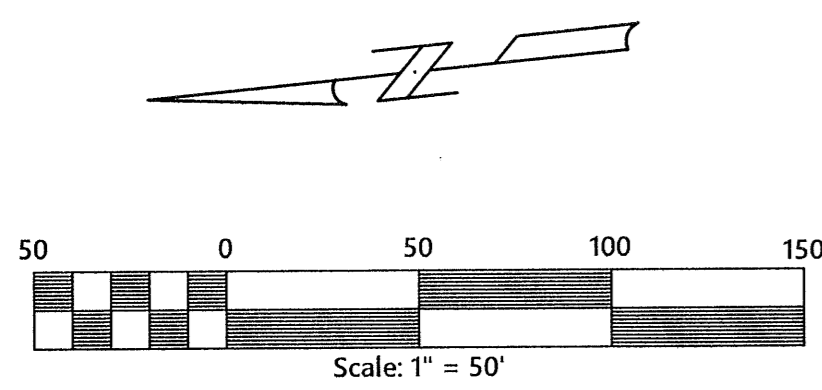
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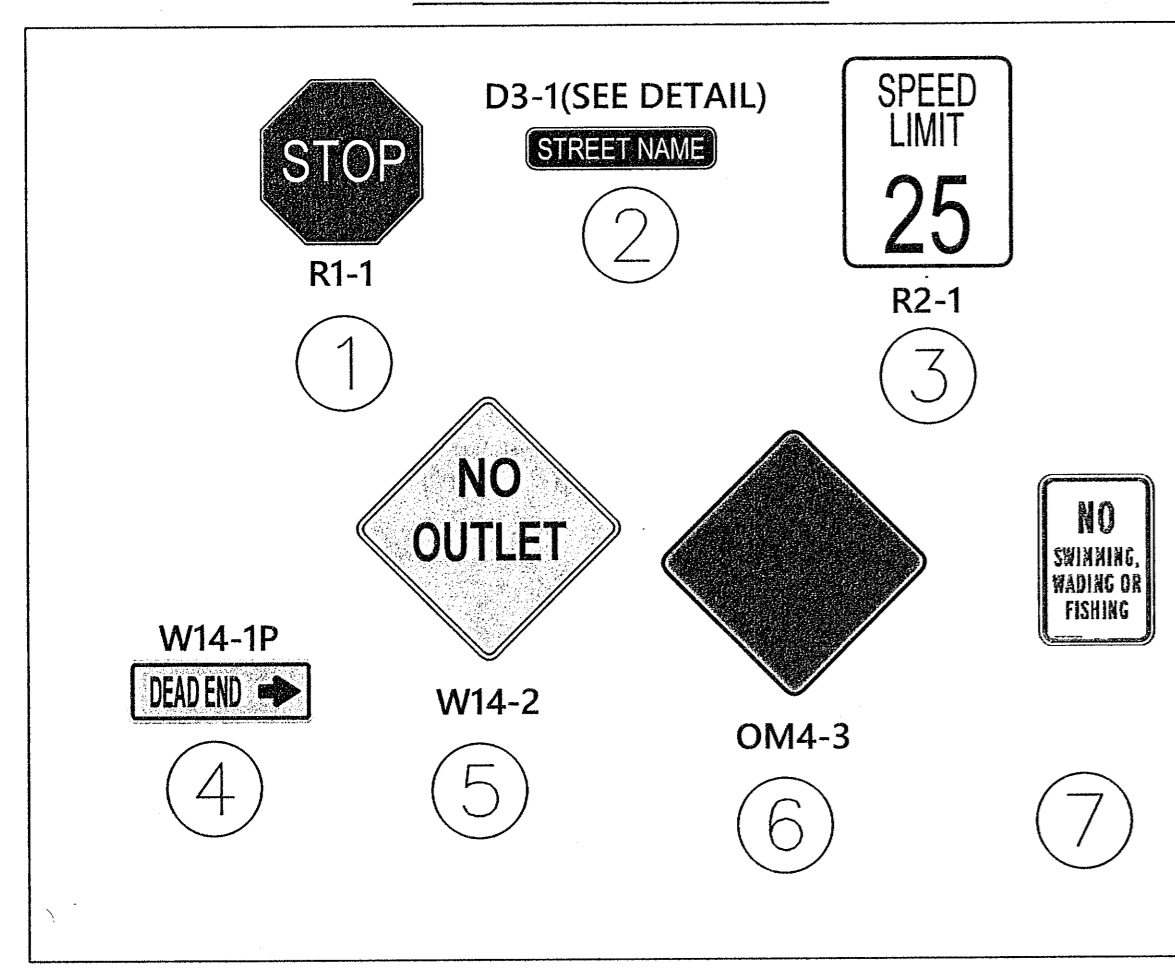
Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
 PREPARED FOR: Lennar-Homes, LLC

EXISTING  
 CONDITIONS PLAN  
 Job No. 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER  
**6**



**SIGN LEGEND**



**REVISIONS**

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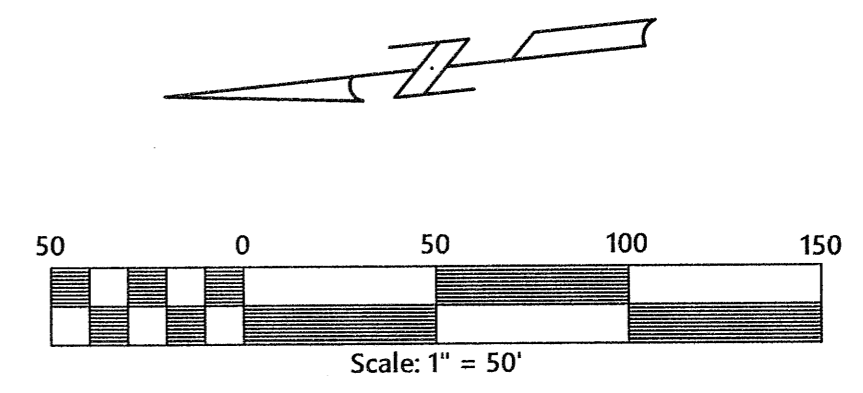
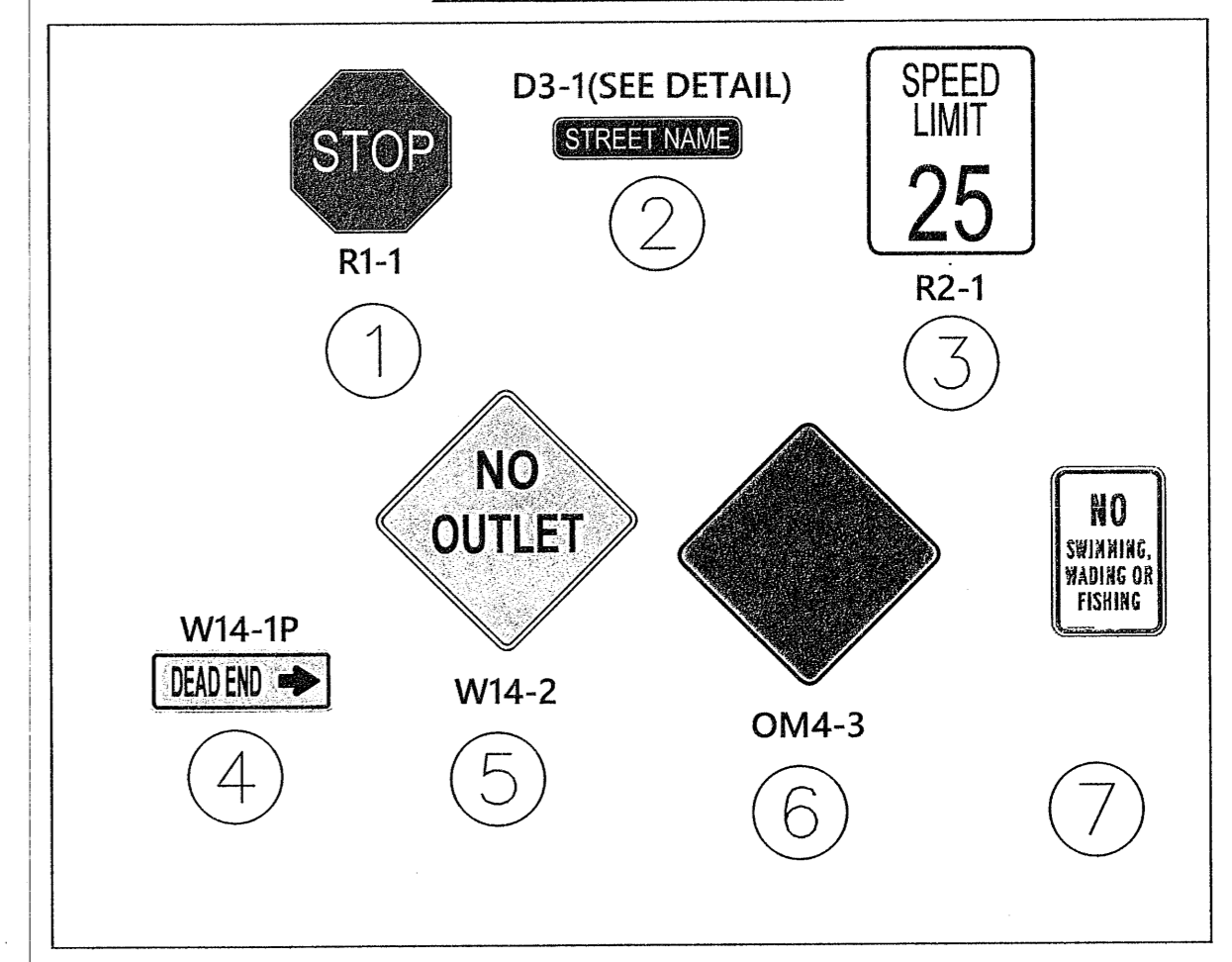
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 PREPARED FOR: Lennar Homes, LLC

**SITE PLAN**  
 Job No. 23-183P  
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**SHEET NUMBER**  
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### SIGN LEGEND



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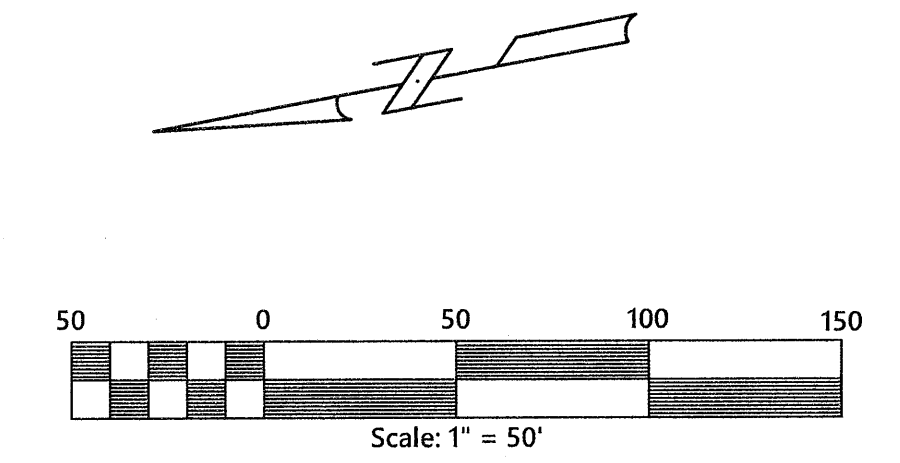
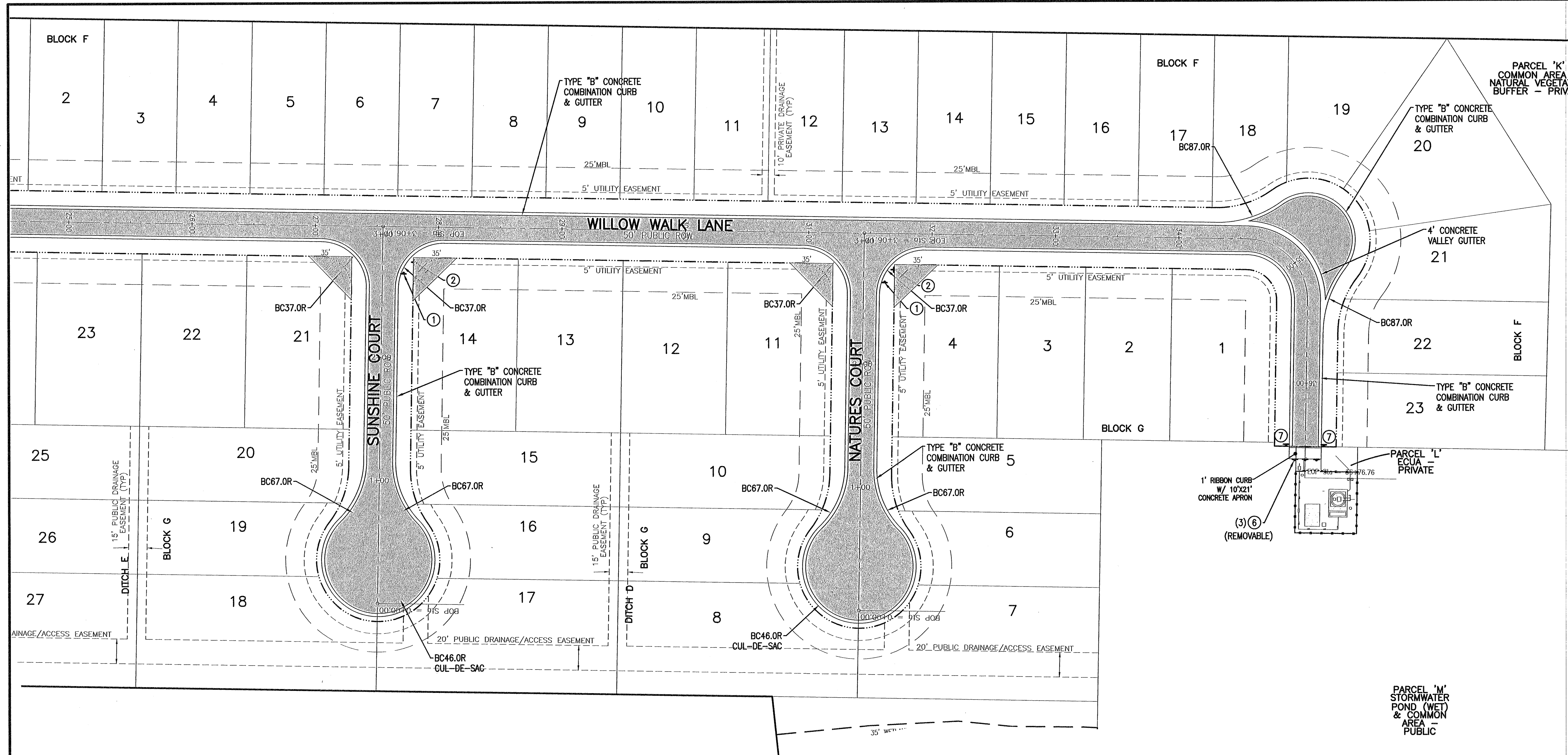
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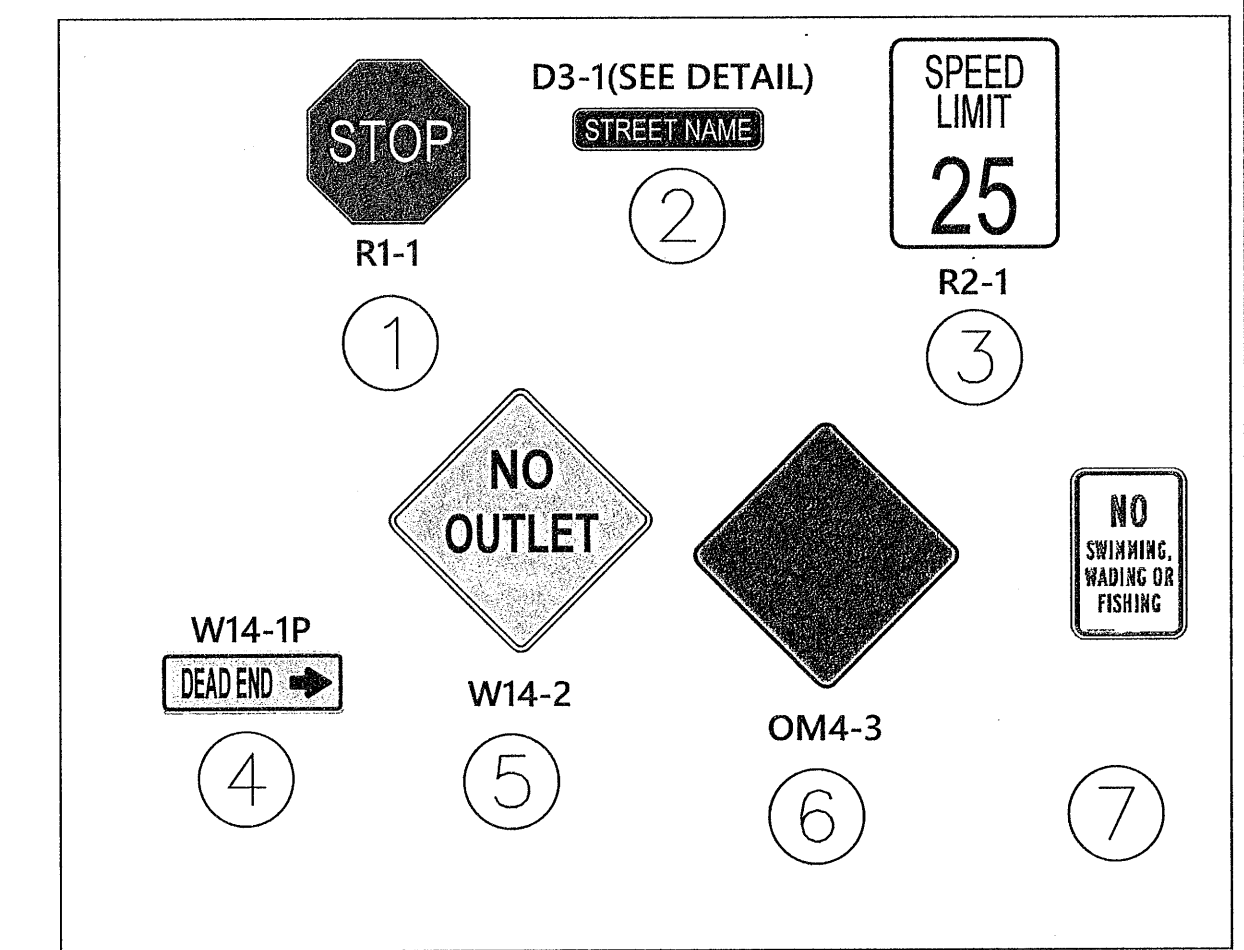
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SITE PLAN  
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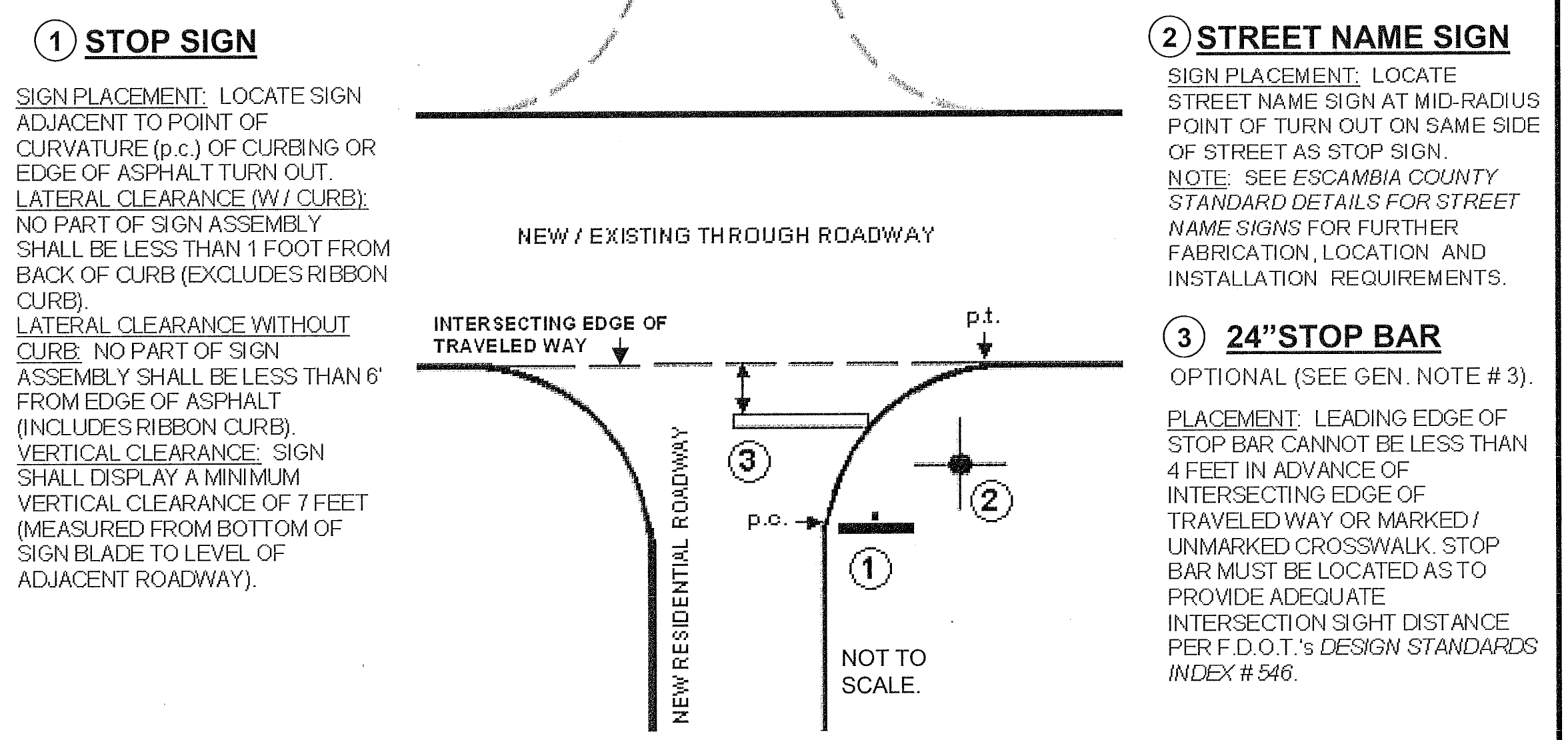


REVISIONS  
 Date: \_\_\_\_\_  
 Description: \_\_\_\_\_

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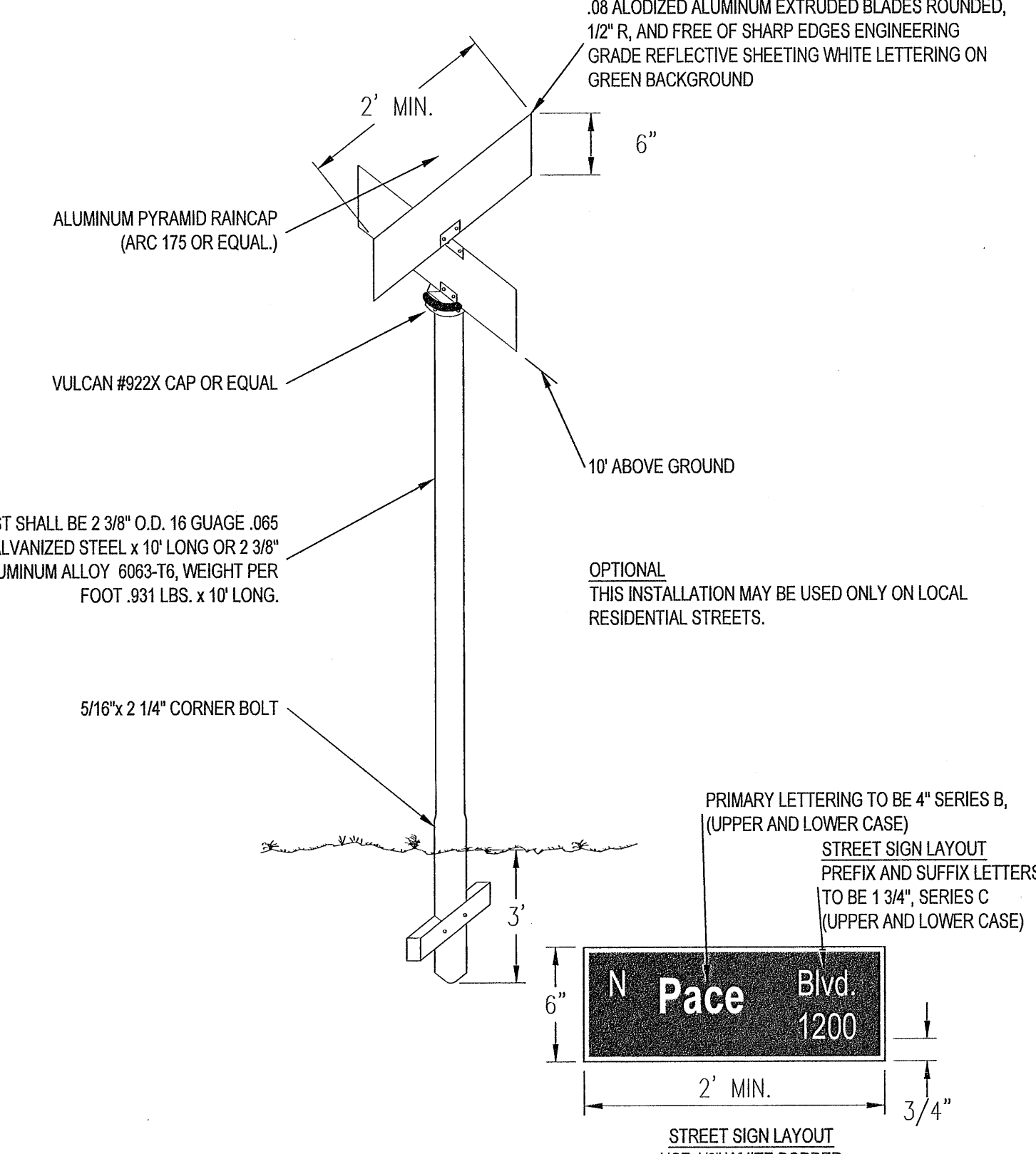
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 (850) 462-8412

- GENERAL NOTES**
- ALL SIGN INSTALLATIONS MUST COMPLY WITH THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) SPECIFICATIONS.
  - ALL PAVEMENT MARKINGS MUST BE THERMOPLASTIC AND COMPLY WITH SECTION 711 OF F.D.O.T.'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
  - STOP BAR APPLICATION IS NOT REQUIRED AT THE INTERSECTION OF TWO RESIDENTIAL ROADWAYS AND / OR ROADWAYS LOCATED WITHIN INTERIORS OF A SUBDIVISION UNLESS SPECIFICALLY NOTED OTHERWISE.



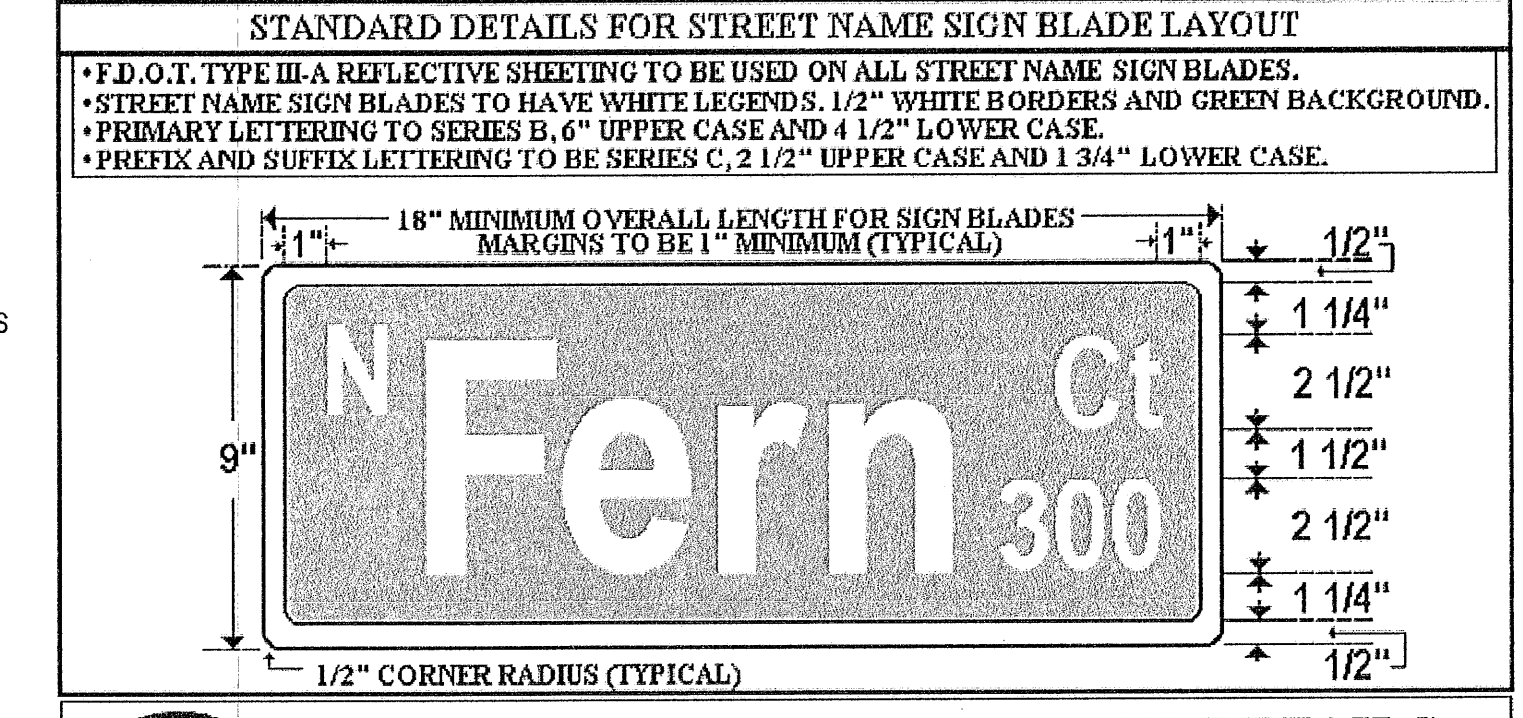
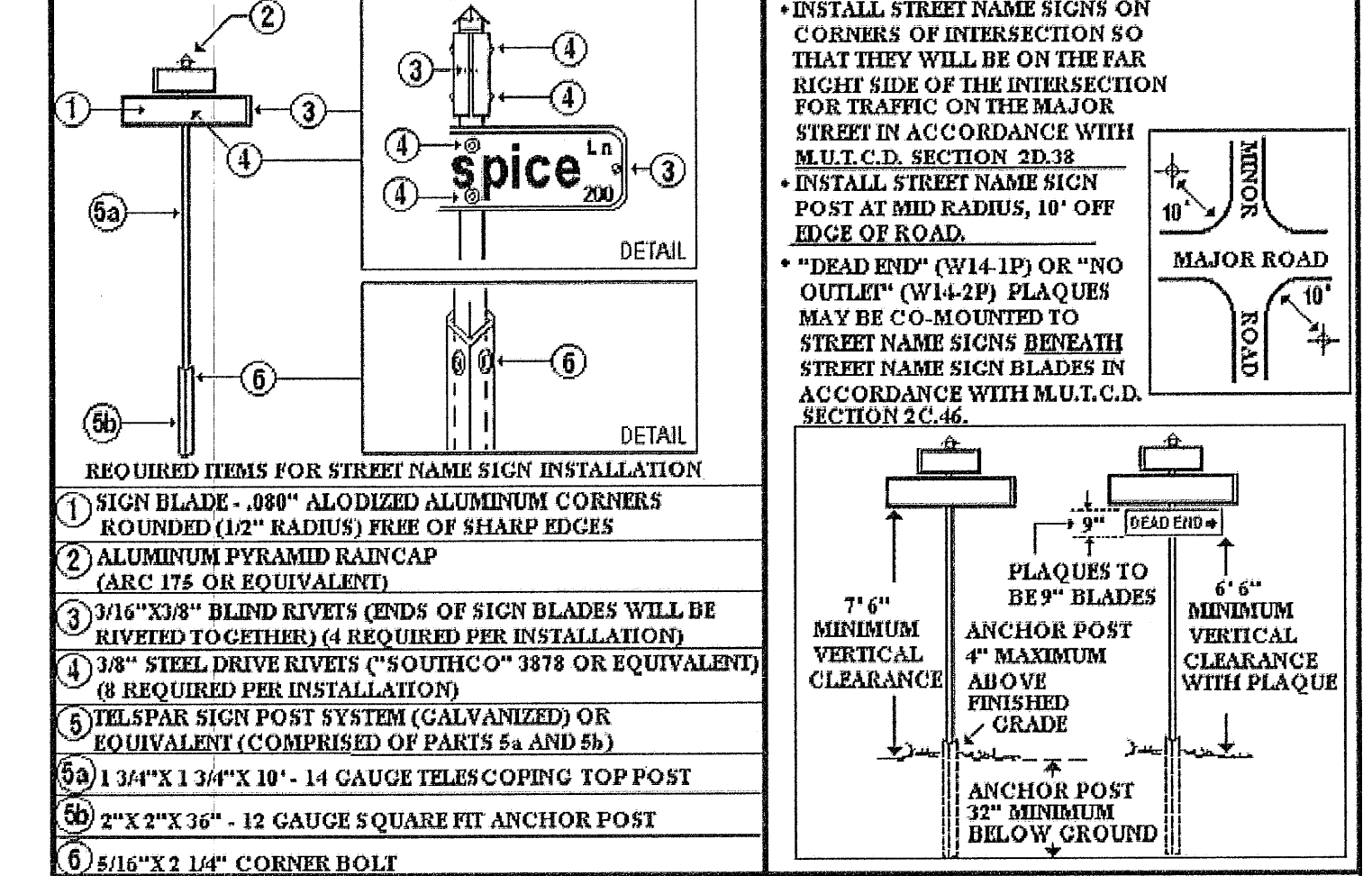
**INSTALLATION DETAILS**  
 TRAFFIC CONTROL SIGNS & MARKINGS FOR NEW RESIDENTIAL INTERSECTIONS  
 ACCEPTABLE PER CURRENT ESCAMBIA COUNTY INSPECTION PRACTICES

**6" SIGN BLADES WITH 4" PRIMARY LETTERING**



**STREET NAME SIGN DETAILS**  
 NOT TO SCALE

**STANDARD DETAILS FOR INSTALLATION AND LOCATION OF STREET NAME SIGNS**



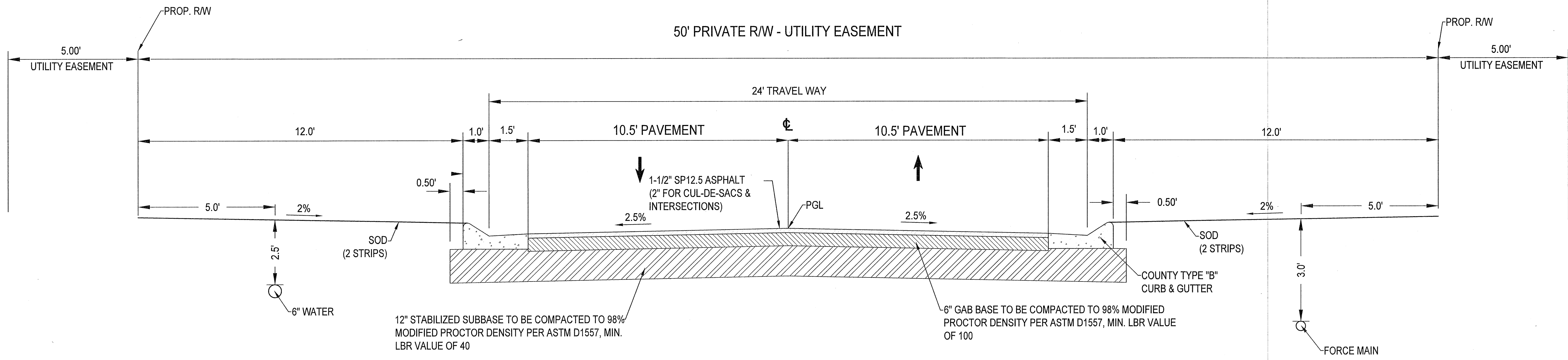
**ESCAMBIA COUNTY STANDARD DETAILS FOR STREET NAME SIGNS**  
 DEPARTMENT OF ENGINEERING - TRAFFIC ENGINEERING DIVISION  
 Suite 1, 1190 West Leonard Street, Pensacola, Florida 32501-1116  
 BY: Alan Theford, Engineering Technician III Revised 6-2002 \*NOT TO SCALE\*

Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
 PREPARED FOR: Lemar Homes, LLC

SITE PLAN

Job No. 23-183P  
 Date: 5/24/2024  
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SHEET NUMBER  
**7B**



**TYPICAL ROADWAY SECTION**  
NOT TO SCALE

REVISIONS	
DATE	DESCRIPTION

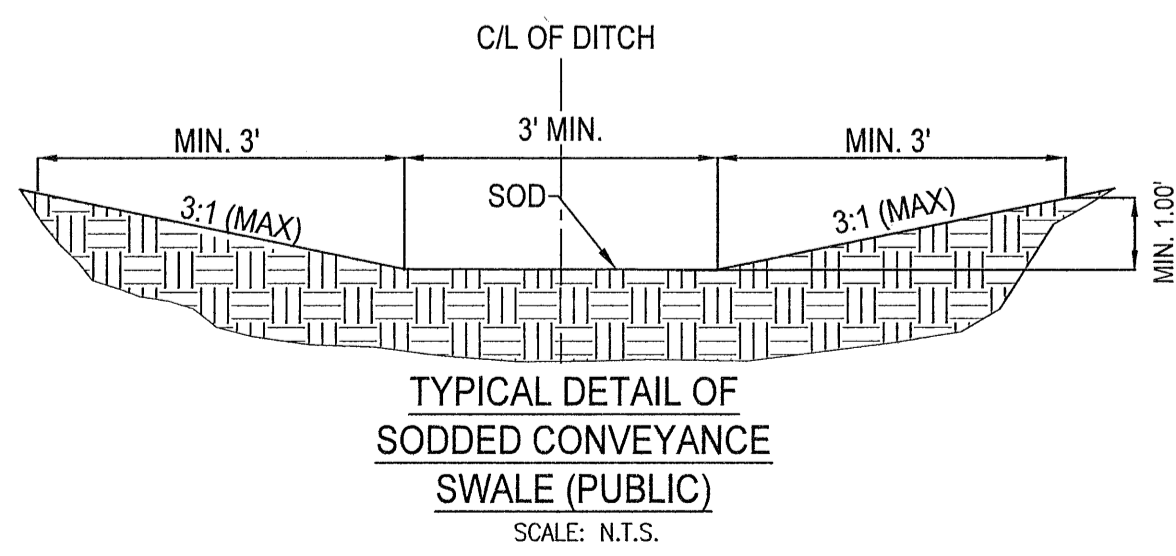
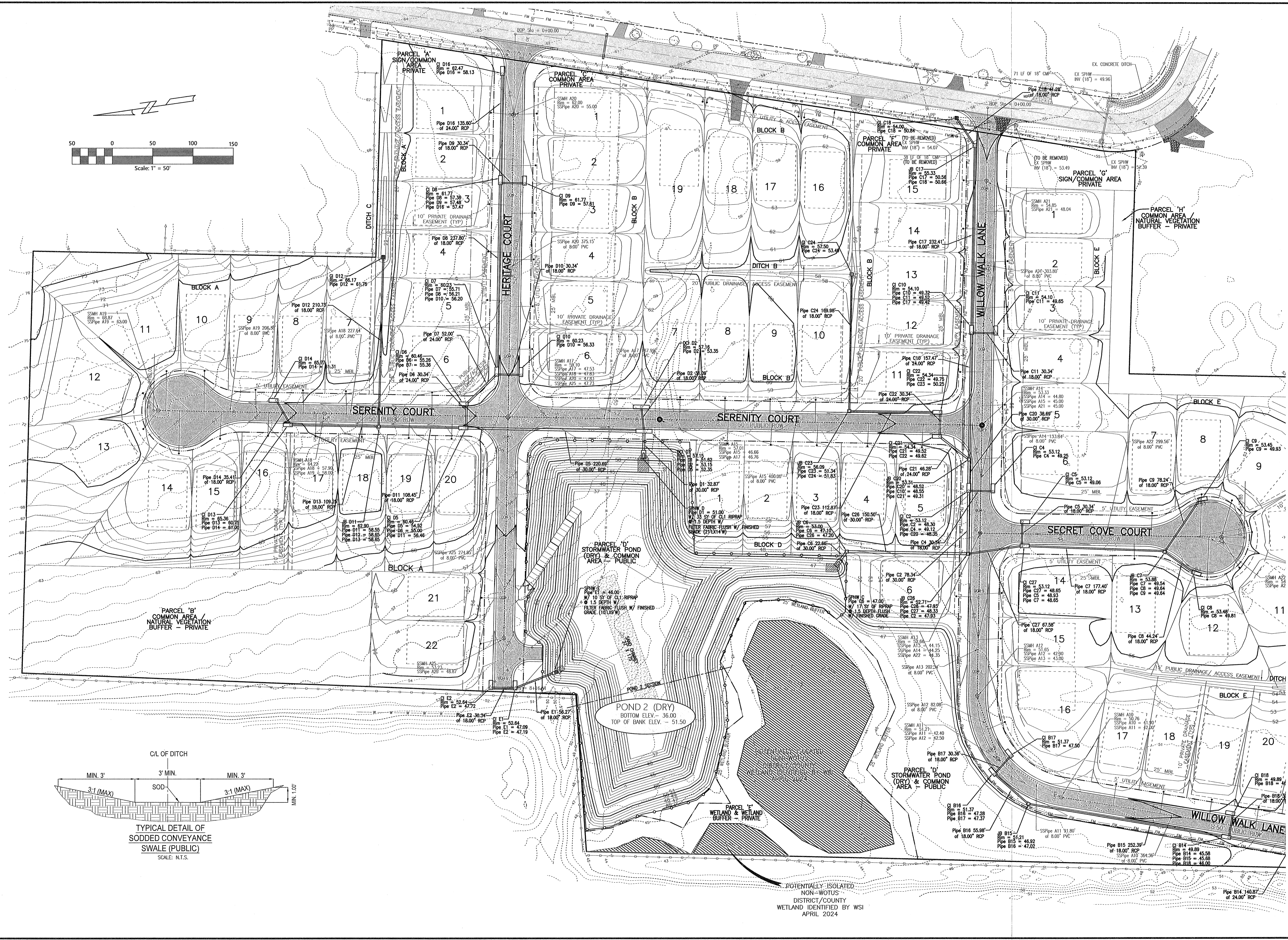
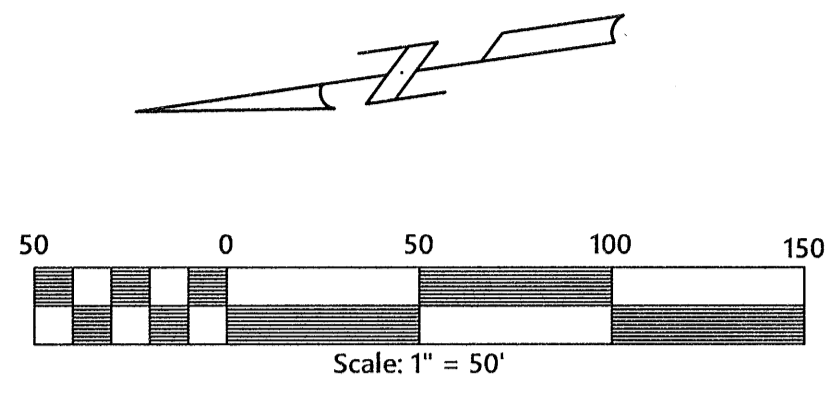
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Construction Plans for  
**Bennington Park Subdivision**  
Escambia County, FL  
PREPARED FOR: Lennar Homes, LLC

TYPICAL SECTION  
Job No. 23-183P  
Date: 5/24/2024  
Drawn By: CAB  
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NO.	DATE	DESCRIPTION
1	5/24/2024	ISSUED FOR PERMIT

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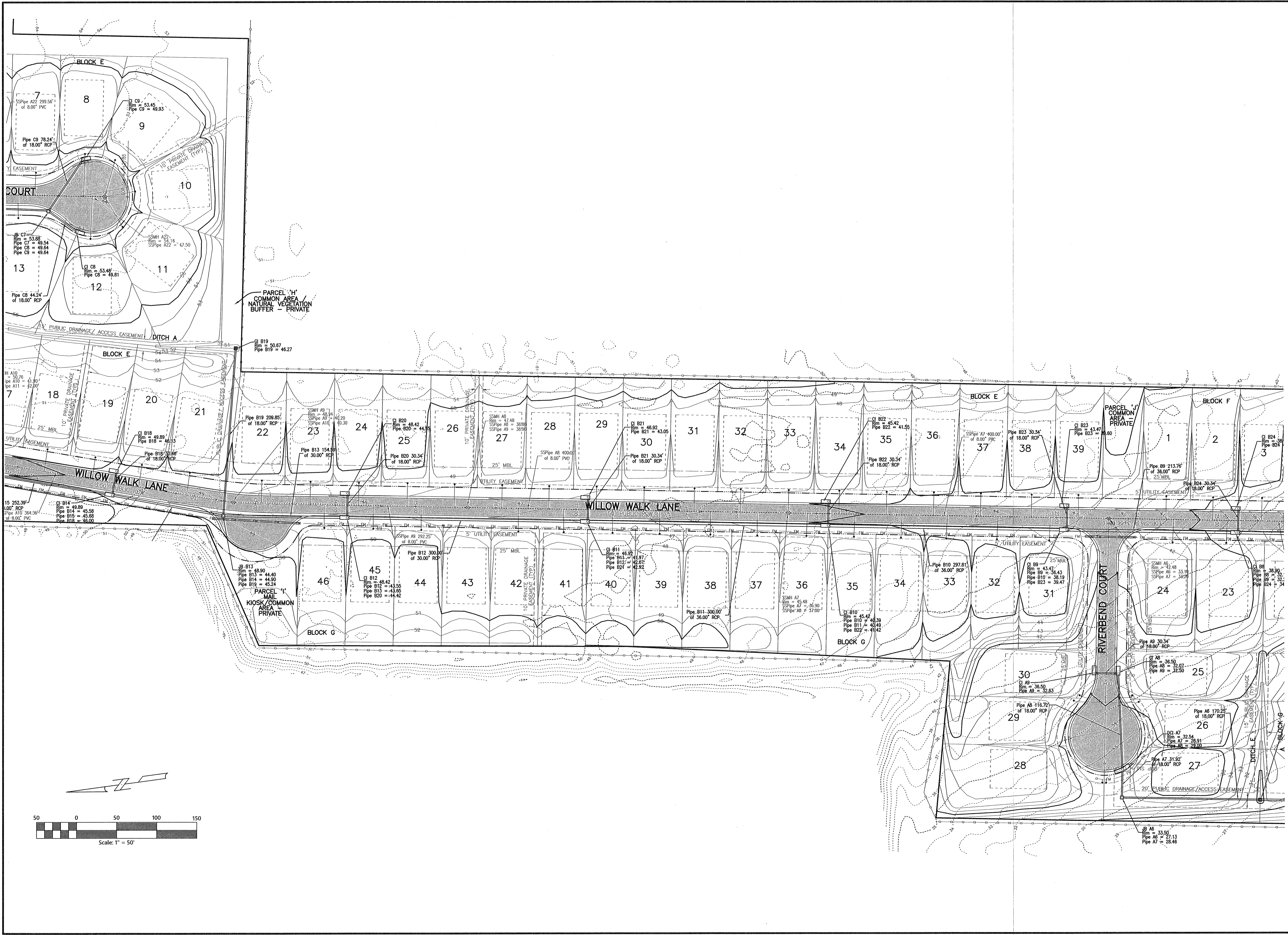
Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
 PREPARED FOR: Lemar Homes, LLC

GRADING AND DRAINAGE PLAN

Job No. 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER  
**9**

POTENTIALLY ISOLATED NON-WOTUS DISTRICT/COUNTY WETLAND IDENTIFIED BY WSI APRIL 2024



REVISIONS

NO.	DATE	DESCRIPTION
1	05/24/2024	ISSUED FOR PERMITS
2	05/24/2024	ISSUED FOR PERMITS
3	05/24/2024	ISSUED FOR PERMITS
4	05/24/2024	ISSUED FOR PERMITS
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45	05/24/2024	ISSUED FOR PERMITS
46	05/24/2024	ISSUED FOR PERMITS

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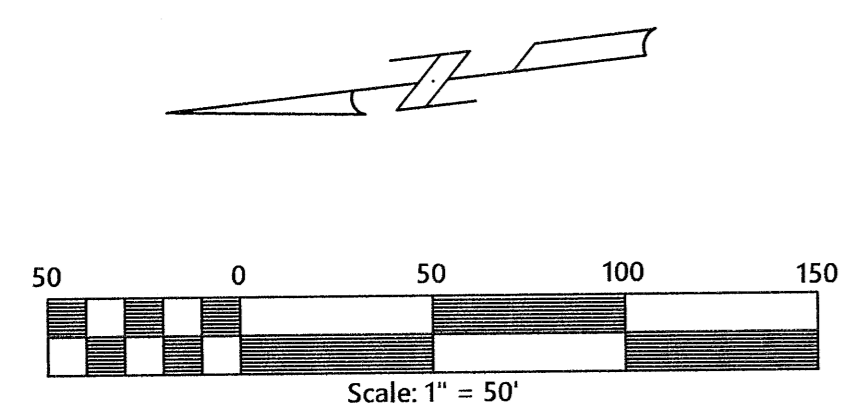
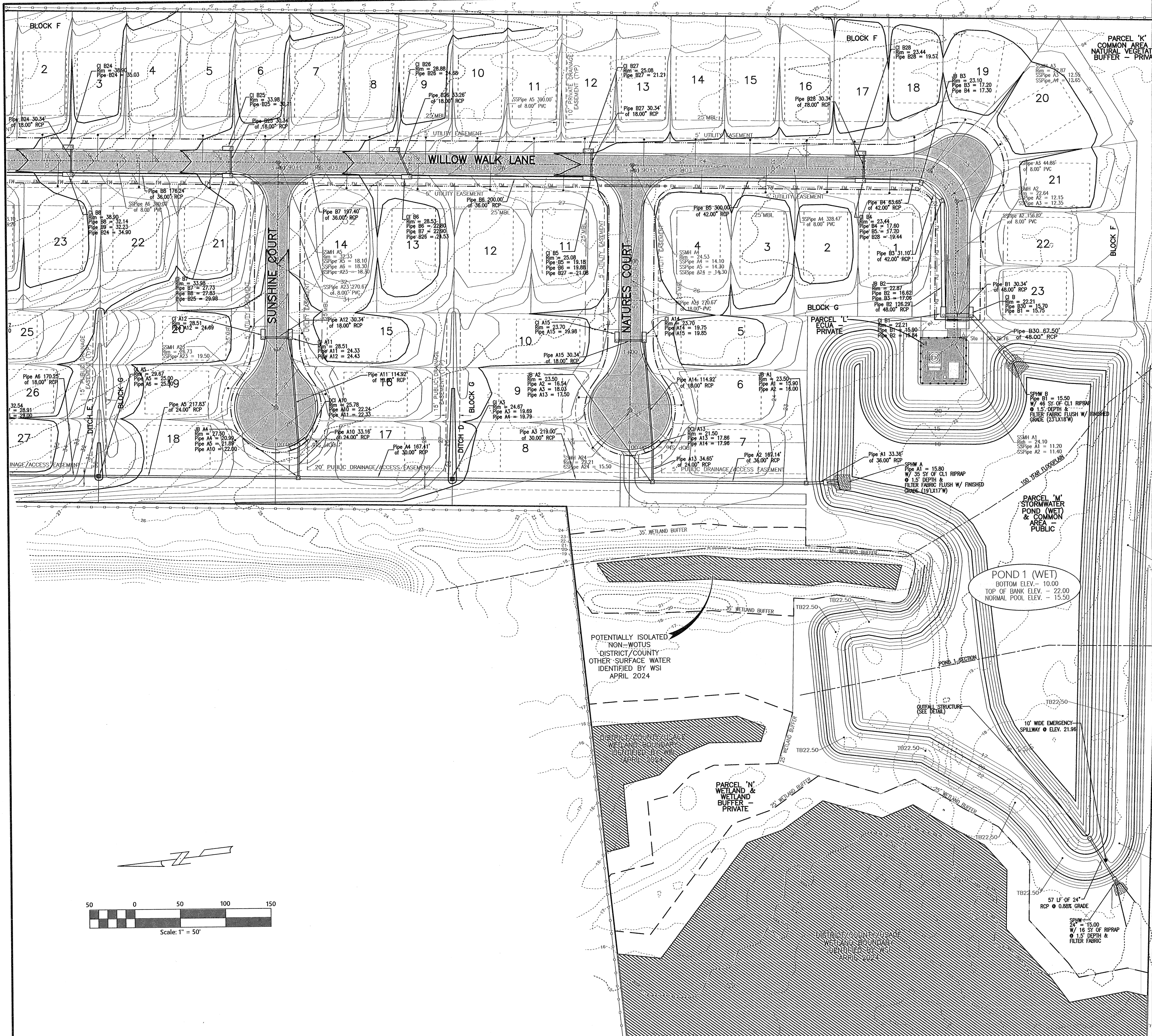
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Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
 PREPARED FOR: Lemnar Homes, LLC

GRADING AND DRAINAGE PLAN

Job No. 23-183P  
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SHEET NUMBER  
**9A**



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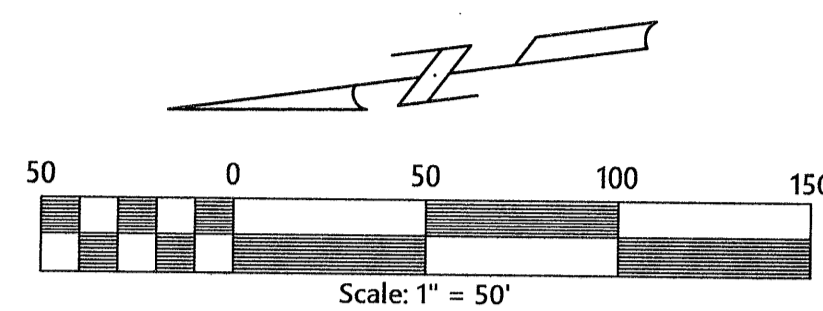
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**VEGETATED NATURAL BUFFER NOTES:**

- 1) VNB CONTRIBUTING AREAS A, B, & D SHOULD BE FULLY ESTABLISHED WITH BAHIA GRASS, CENTIPEDE GRASS, OR APPROVED EQUIVALENT CONSISTENT WITH THE FLORIDA YARDS AND NEIGHBORHOOD PROGRAM.
- 2) VNB'S ARE TO REMAIN IN THEIR NATURAL STATE THROUGHOUT AND UPON CONCLUSION OF CONSTRUCTION TO INSURE PROPER BUFFER INTEGRITY IS ESTABLISHED.
- 3) MINIMUM BUFFER WIDTH IS 25'.



**GRADING NOTE:**  
CONSTRUCTION PLAN APPROVAL IS REQUIRED TO DOCUMENT THE DESIGN OF INFRASTRUCTURE TO ADEQUATELY SERVE THE CREATED LOTS. THE APPROVAL ALLOWS THE CONSTRUCTION OF THE SUBDIVISION INFRASTRUCTURE AREAS ONLY AS SPECIFICALLY DESIGNATED TO PROCEED, BUT IT DOES NOT ALLOW DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS. NEITHER PLAN OR PLAN ALLOW LAND CLEARING/ LAND DISTURBANCE ACTIVITIES AND DEVELOPMENT ON INDIVIDUAL SUBDIVISION LOTS AS BUILDING PERMITS FOR THE DWELLINGS WILL BE REQUIRED FOR THESE ACTIVITIES PRIOR, ON EACH LOT/PARCEL IN THE FUTURE.

- NOTES:**
1. A POSITIVE DRAINAGE OUTFALL IS A CONVEYANCE SYSTEM (DRAINAGE EASEMENT, ROADWAY WITH A DRAINAGE SYSTEM, CURB AND GUTTER, OR DITCH) WHICH CONTAINS, CONTROLS, AND TRANSMITS STORMWATER RUNOFF TO A CREEK, STREAM, RIVER, BAY, GULF, OCEAN, OR OTHER WATERS OF THE STATE, OR WATERS OF THE UNITED STATES, OR TO ANY FUNCTIONING ESCAMBIA COUNTY OR STATE DRAINAGE SYSTEM.
  2. FINISH FLOOR ELEVATION SHALL BE AS SPECIFIED BY BUILDING CODE.
  3. THESE ARE MINIMAL REQUIREMENTS AND DO NOT RELIEVE THE BUILDER FROM PROVIDING ADDITIONAL GRADING TO DIRECT STORMWATER TO A POSITIVE OUTFALL DRAINAGE SYSTEM AND ELIMINATE NEGATIVE IMPACTS TO ADJACENT LOTS AND PROPERTIES.
  4. DISTURBED LOT AREAS SHALL BE COMPLETELY STABILIZED WITH SOD. IF THE HOME IS CONSTRUCTED, STABILIZE THE FIRST 10' WITH SOD AND SOD AND/OR SEED AND MULCH THE REMAINDER OF THE LOT.
  5. THE HOMEOWNER SHALL COMPLY WITH STATE PERMITTING REQUIREMENTS FOR LARGE AND SMALL CONSTRUCTION SITES, SPECIFICALLY THE NPDES PERMITS WHICH REQUIRES A DETAILED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING AVAILABLE ONSITE FOR REVIEW DURING ALL PHASES OF CONSTRUCTION.
  6. LOT CLEARING ACTIVITIES SHALL NOT PROCEED WITHOUT BUILDING PERMITS FOR THOSE LOTS EXCLUDING CLEARING REQUIRED FOR CONSTRUCTION OF CONVEYANCE SWALES OR DRAINAGE FEATURES DESIGNATED AS THE DEVELOPER'S RESPONSIBILITY.
  7. ALL NEW RUNOFF, DOWNSPOUTS, AND GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO THE ROADS OR SWALES THAT LEAD TO THE RETENTION POND OR APPROVED DRAINAGE SYSTEM.
  8. PROVIDE EROSION CONTROL MEASURES TO ENSURE ALL SEDIMENTS SHALL BE RETAINED ON EACH INDIVIDUAL LOT.

POTENTIALLY ISOLATED NON-WOTUS DISTRICT/COUNTY WETLAND IDENTIFIED BY WSI APRIL 2024

PARCEL 'D' STORMWATER POND (DRY) & COMMON AREA - PUBLIC

PARCEL 'E' WETLAND & WETLAND BUFFER - PRIVATE

POTENTIALLY ISOLATED NON-WOTUS DISTRICT/COUNTY WETLAND IDENTIFIED BY WSI APRIL 2024

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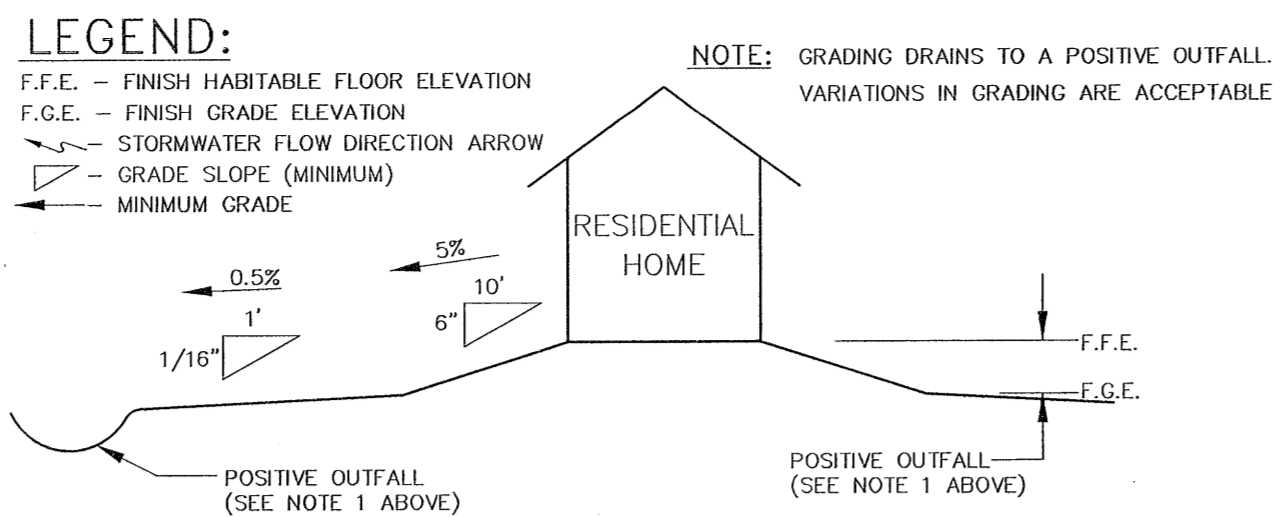
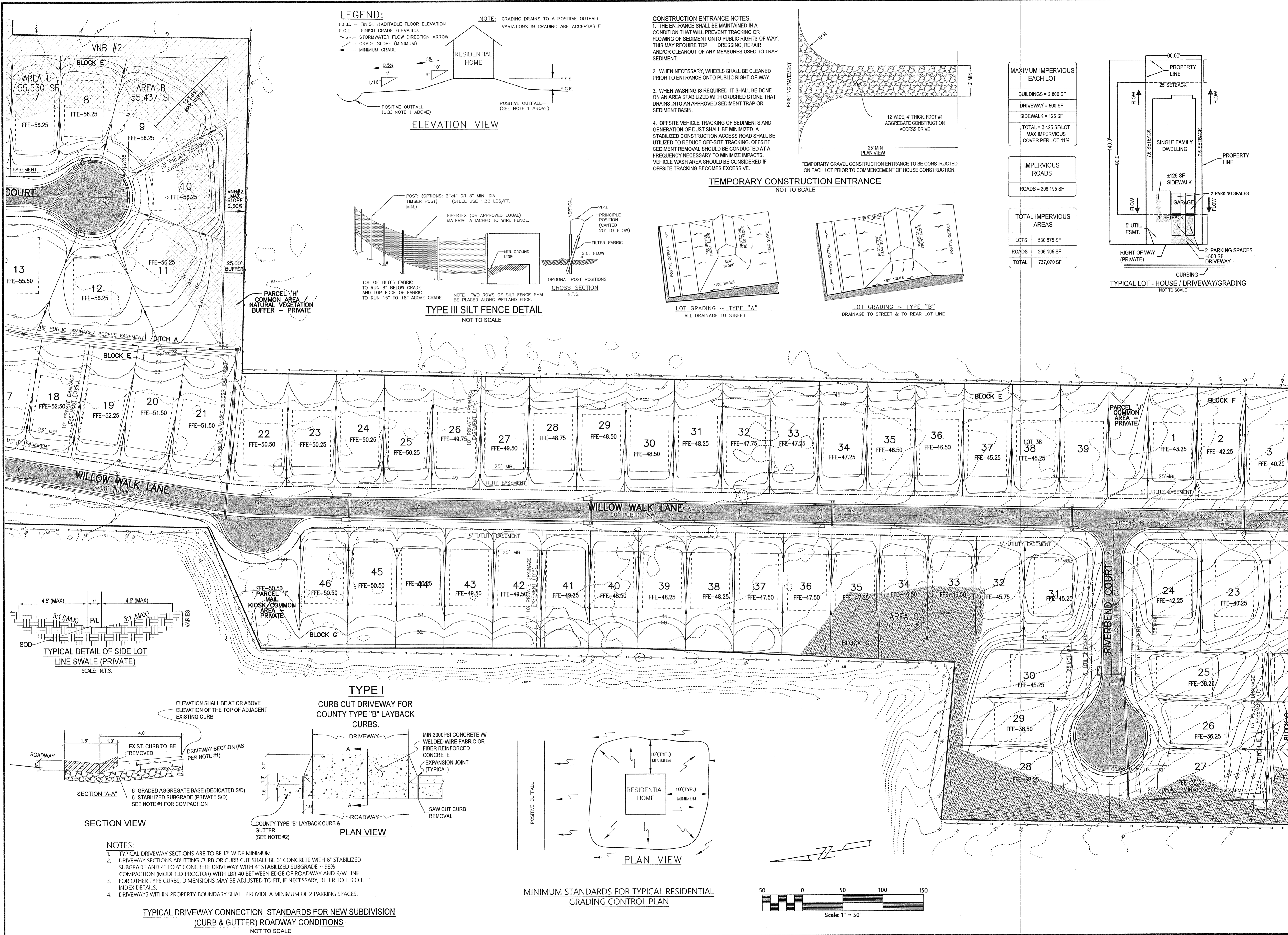
Construction Plans for  
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Escambia County, FL

LOT GRADING PLAN

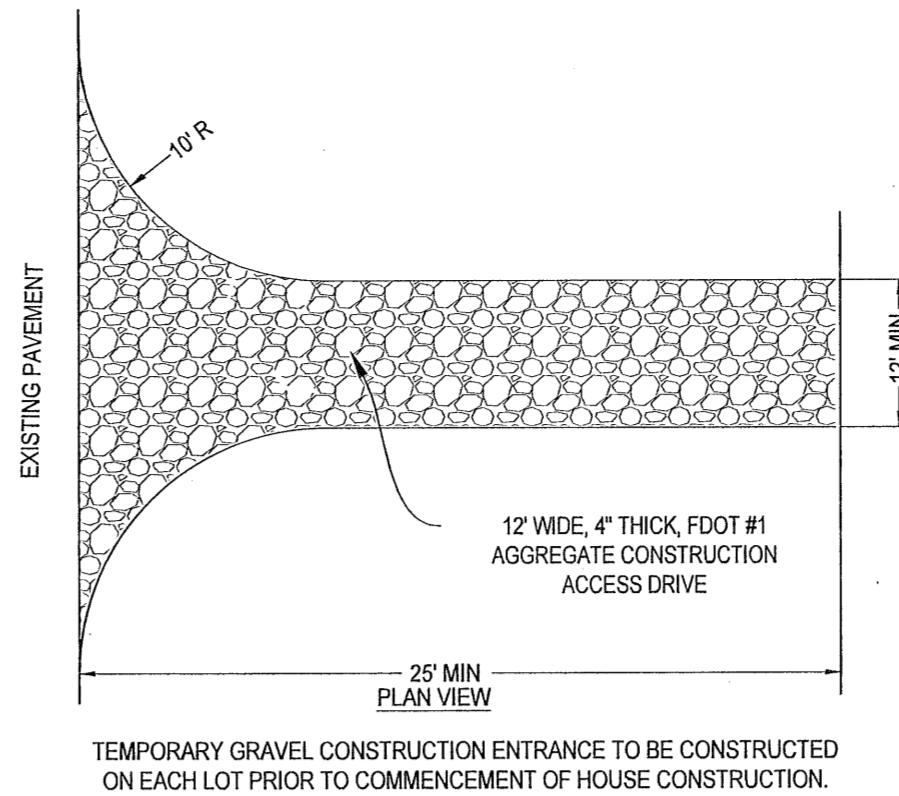
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**10**

PREPARED FOR: Lemnar Homes, LLC



- CONSTRUCTION ENTRANCE NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
  4. OFFSITE VEHICLE TRACKING OF SEDIMENTS AND GENERATION OF DUST SHALL BE MINIMIZED. A STABILIZED CONSTRUCTION ACCESS ROAD SHALL BE UTILIZED TO REDUCE OFF-SITE TRACKING. OFFSITE SEDIMENT REMOVAL SHOULD BE CONDUCTED AT A FREQUENCY NECESSARY TO MINIMIZE IMPACTS. VEHICLE WASH AREA SHOULD BE CONSIDERED IF OFFSITE TRACKING BECOMES EXCESSIVE.



**MAXIMUM IMPERVIOUS EACH LOT**

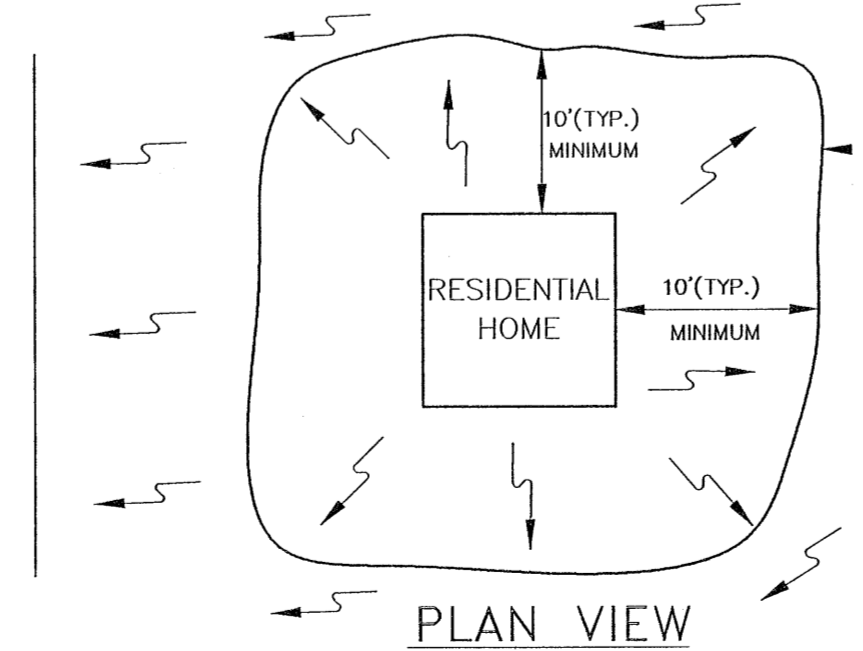
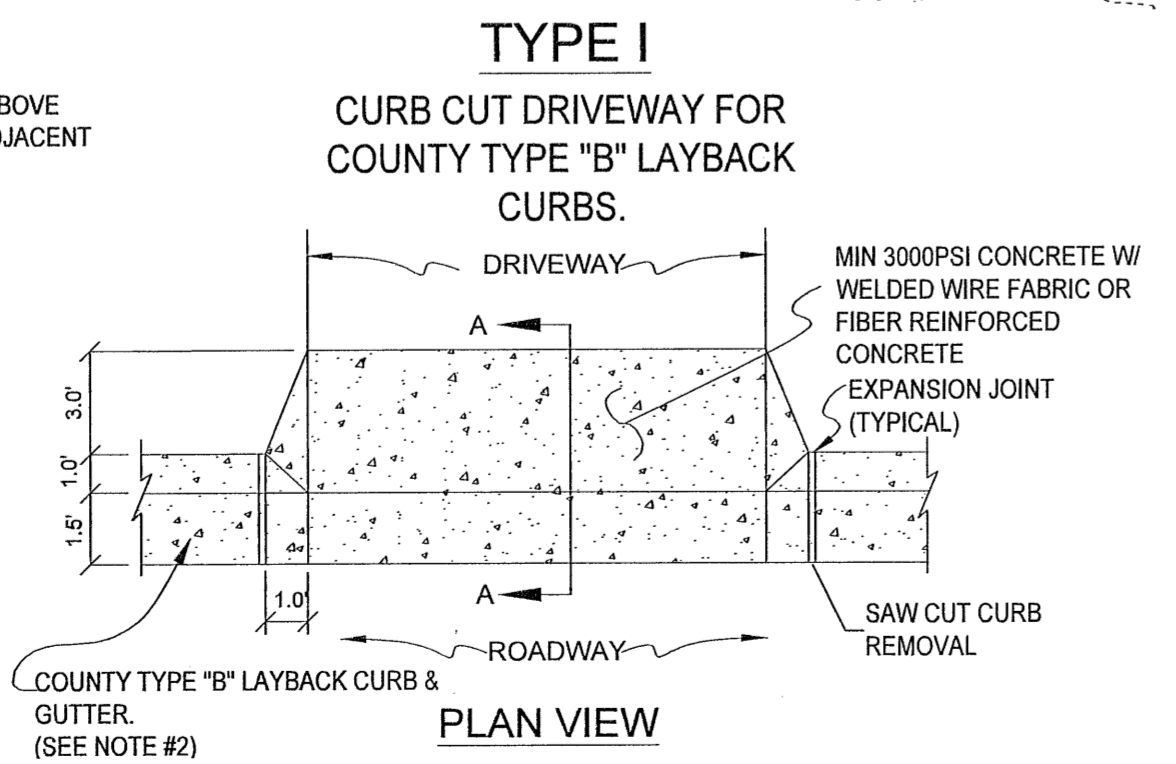
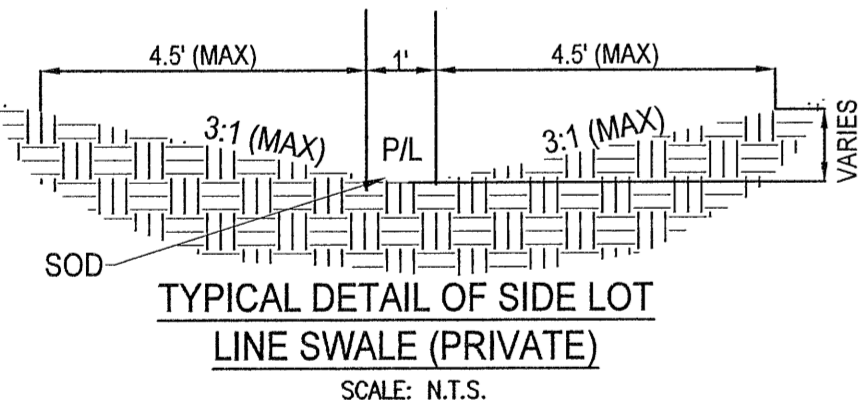
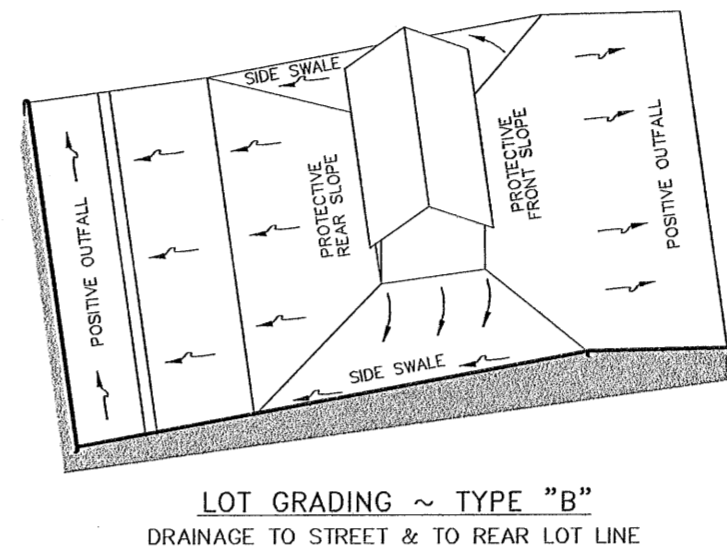
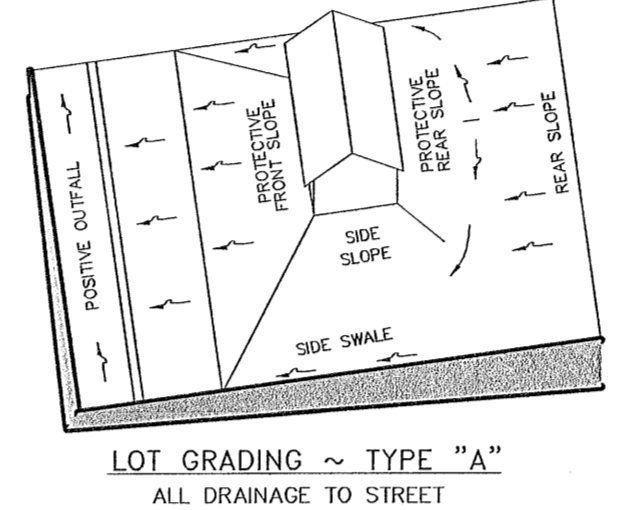
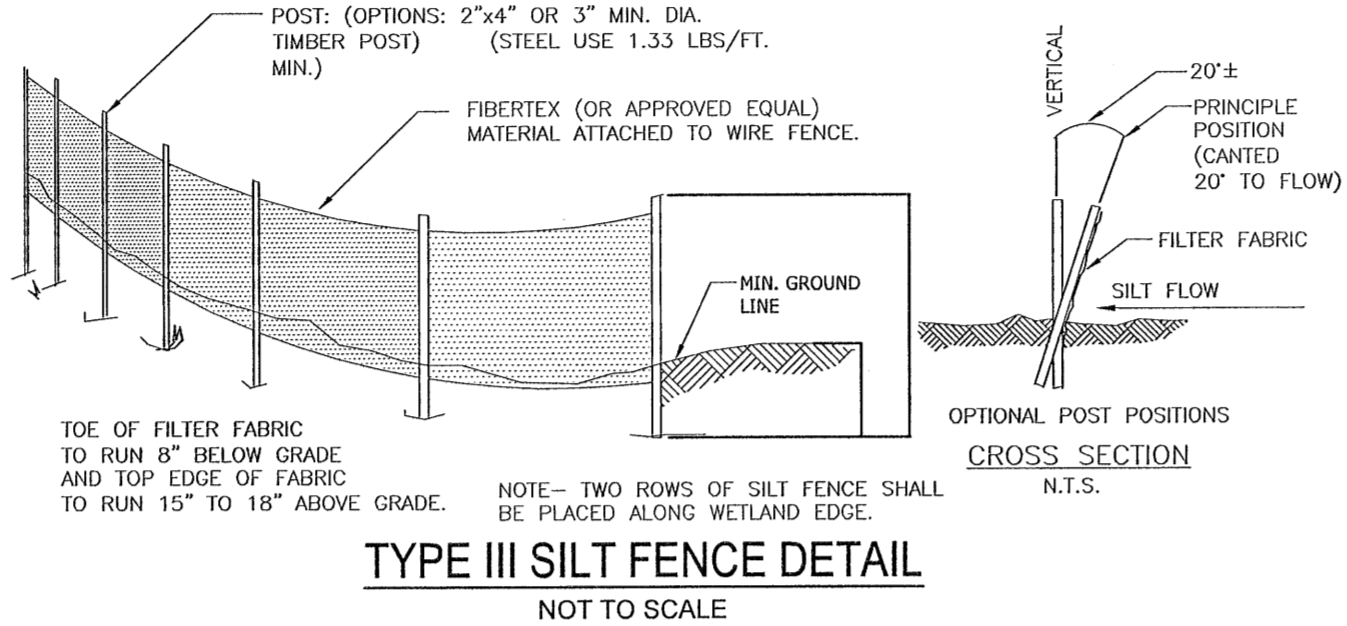
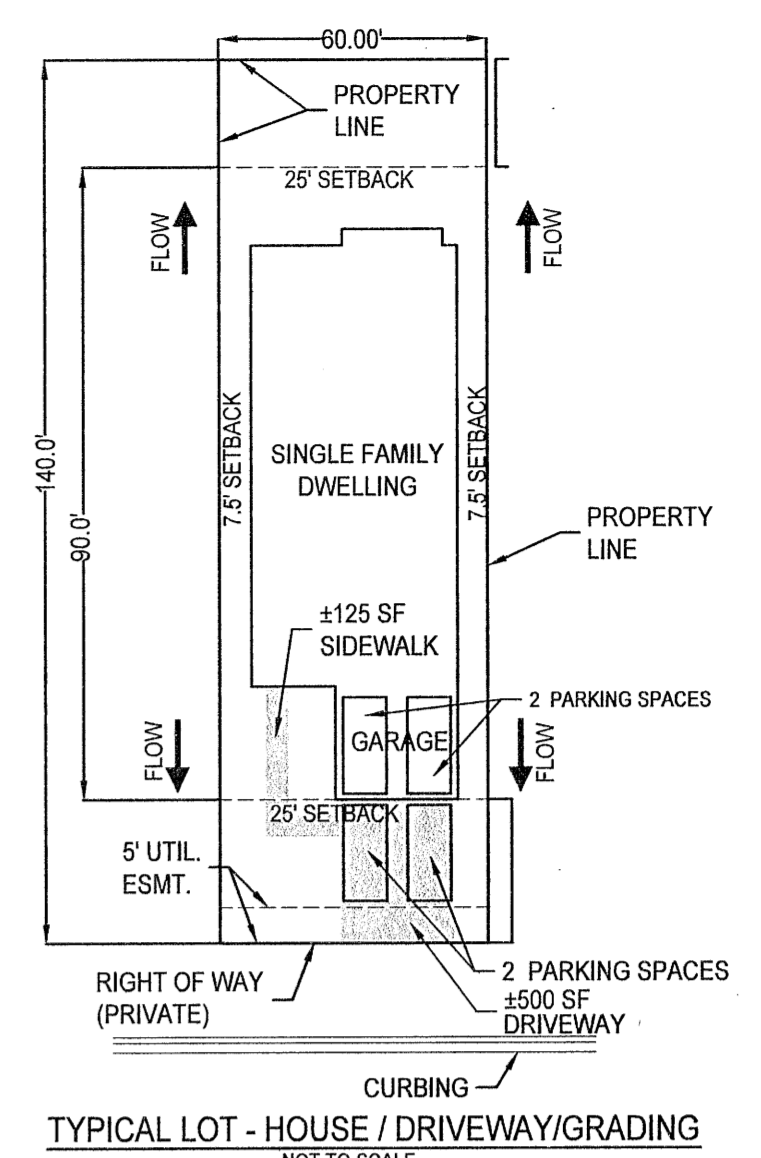
BUILDINGS = 2,800 SF
DRIVEWAY = 500 SF
SIDEWALK = 125 SF
TOTAL = 3,425 SF/LOT
MAX IMPERVIOUS COVER PER LOT 41%

**IMPERVIOUS ROADS**

ROADS = 206,195 SF
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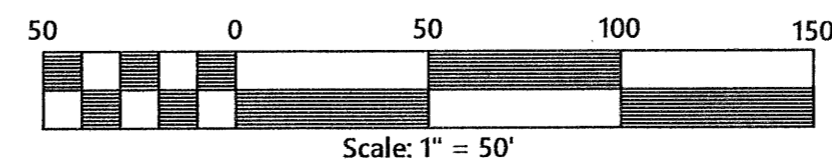
**TOTAL IMPERVIOUS AREAS**

LOTS = 530,875 SF
ROADS = 206,195 SF
TOTAL = 737,070 SF



- NOTES:**
1. TYPICAL DRIVEWAY SECTIONS ARE TO BE 12' WIDE MINIMUM.
  2. DRIVEWAY SECTIONS ABUTTING CURB OR CURB CUT SHALL BE 6" CONCRETE WITH 6" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE - 98% COMPACTION (MODIFIED PROCTOR) WITH LBR 40 BETWEEN EDGE OF ROADWAY AND R/W LINE.
  3. FOR OTHER TYPE CURBS, DIMENSIONS MAY BE ADJUSTED TO FIT, IF NECESSARY, REFER TO F.D.O.T. INDEX DETAILS.
  4. DRIVEWAYS WITHIN PROPERTY BOUNDARY SHALL PROVIDE A MINIMUM OF 2 PARKING SPACES.

**TYPICAL DRIVEWAY CONNECTION STANDARDS FOR NEW SUBDIVISION (CURB & GUTTER) ROADWAY CONDITIONS**  
 NOT TO SCALE



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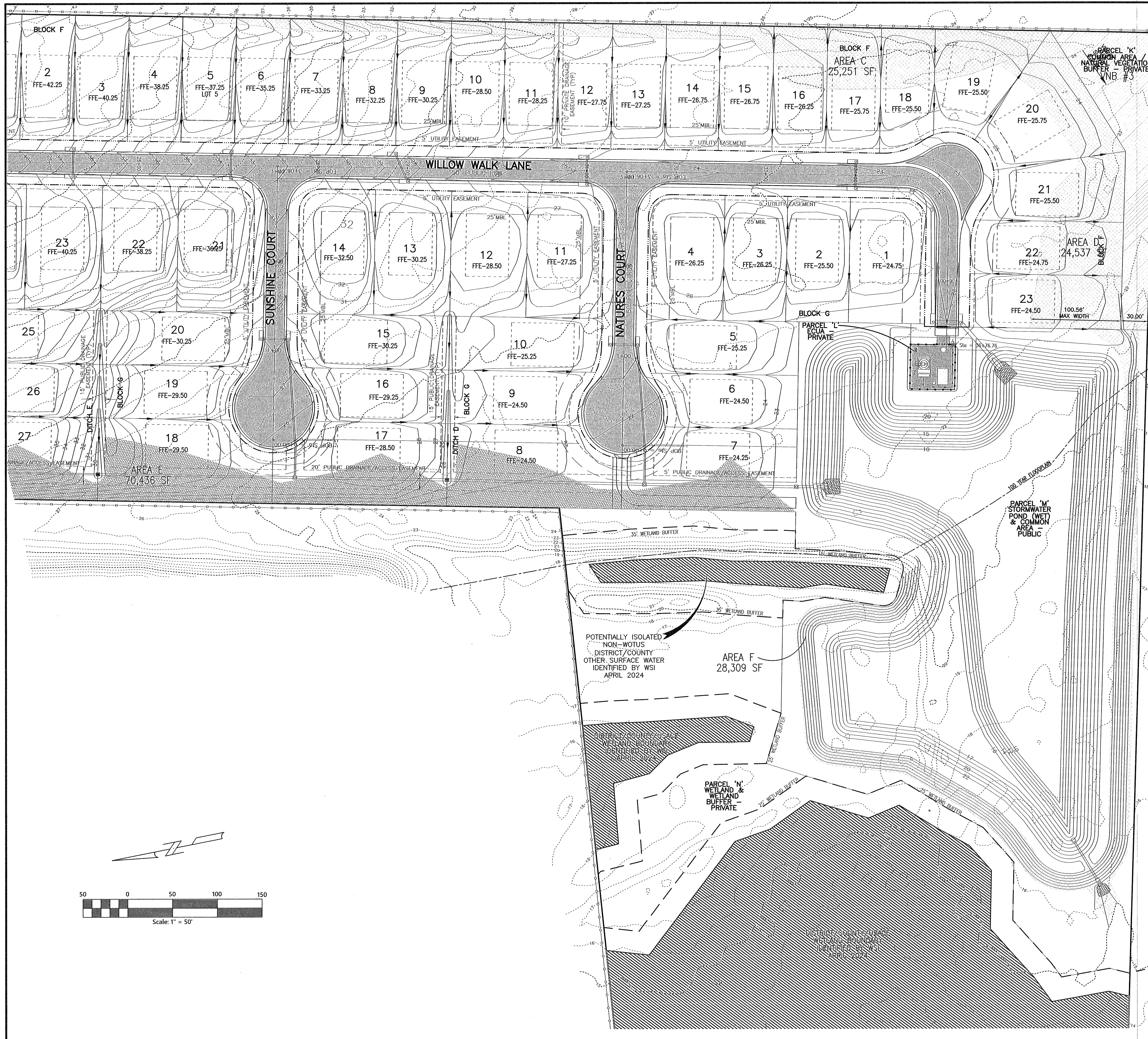
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Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
 PREPARED FOR: Lennar Homes, LLC

**LOT GRADING PLAN**

Job No. 23-183P  
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**HOMEBUILDERS NOTES**

- INSTALL SILT FENCE ALONG ALL DOWN GRADIENT LOT BOUNDARY LINES.
- PROVIDE 12" WIDE, 4" THICK, FDOT #1 AGGREGATE CONSTRUCTION ACCESS DRIVE ON EACH LOT PRIOR TO COMMENCEMENT OF HOUSE CONSTRUCTION.
- FOR RESIDENTIAL LOTS, TREE REMOVAL PRIOR TO CONSTRUCTION OF THE DWELLING, SHALL ONLY BE ALLOWED AFTER COUNTY ISSUANCE OF A BUILDING PERMIT FOR THE DWELLING.

**FLOOD ZONE NOTE:**

THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X AND AE, BASE FLOOD ELEVATION 19.2 FT - 25.3 FT (AREAS SUBJECT TO INUNDATION BY THE 2-PERCENT-ANNUAL-CHANCE FLOOD EVENT DETERMINED BY DETAILED METHODS. BFE'S ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C03556, MAP REVISION DATED SEPTEMBER 29, 2006.

**GENERAL NOTES:**

- HOUSE EQUIPMENT (i.e. AC UNITS) SHALL NOT HINDER THE PROPER INSTALLATION AND/OR FUNCTION OF THE SIDE YARD SWALES.
- CONVEYANCE SWALES SHALL BE BUILT BY THE CONTRACTOR AND TREATMENT OF SIDE SWALES SHALL BE CONSTRUCTED BY HOME BUILDER.
- NO FENCES SHALL BE INSTALLED IN PRIVATE DRAINAGE/ACCESS EASEMENTS.
- LOT CLEARING MAY NOT BE PERFORMED BY GENERAL CONTRACTOR. CLEARING OUTSIDE OF APPROVED LIMITS MUST BE PERFORMED BY HOME BUILDER.
- RIGHT-OF-WAY SHOULDER STABILIZATION ALONG HIGHWAY 97 SHOULD BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION.

**EXISTING VEGETATED NATURAL BUFFER (VNB) ANALYSIS:**

TOTAL ACREAGE DISTURBED: 49.92 AC  
 MAJORITY AREA- TREATED IN DETENTION POND (44.13 AC TREATED)  
 AREA A- TREATED IN VNB#1 (1.12 AC)  
 AREA B- TREATED IN VNB#2 (1.27 AC)  
 AREA D- TREATED IN VNB#3 (0.56 AC)  
 AREA C- RELEASED (PER 10% ALLOWANCE) (0.58 AC)  
 AREA E- RELEASED (PER 10% ALLOWANCE) (1.62 AC)  
 AREA F- RELEASED (PER 10% ALLOWANCE) (0.65 AC)

Tt-TRAVEL TIME (200-300 SECONDS)

$$T_t = \frac{0.007 (n W)^{0.5}}{(P_2)^{0.5} S^{0.5}}$$

where:  $T_t$  = Travel time (hr)  
 $n$  = Manning's roughness coefficient  
 $W$  = Buffer width (ft)  
 $P_2$  = 2-year, 24-hour rainfall depth (in)  
 $S$  = Slope of the hydraulic grade line (land slope) (ft/ft)

- VNB#1:  $\frac{0.007 (0.80 \cdot 142)^{0.5}}{6.0 \cdot 0.5 \cdot 0.04^{0.5} \cdot 0.4} = 0.61 \text{ HR OR } 2196 \text{ SECONDS}$
- VNB#2:  $\frac{0.007 (0.80 \cdot 25)^{0.5}}{6.0 \cdot 0.5 \cdot 0.02^{0.5} \cdot 0.4} = 0.14 \text{ HR OR } 504 \text{ SECONDS}$
- VNB#3:  $\frac{0.007 (0.80 \cdot 30)^{0.5}}{6.0 \cdot 0.5 \cdot 0.026^{0.5} \cdot 0.4} = 0.16 \text{ HR OR } 576 \text{ SECONDS}$

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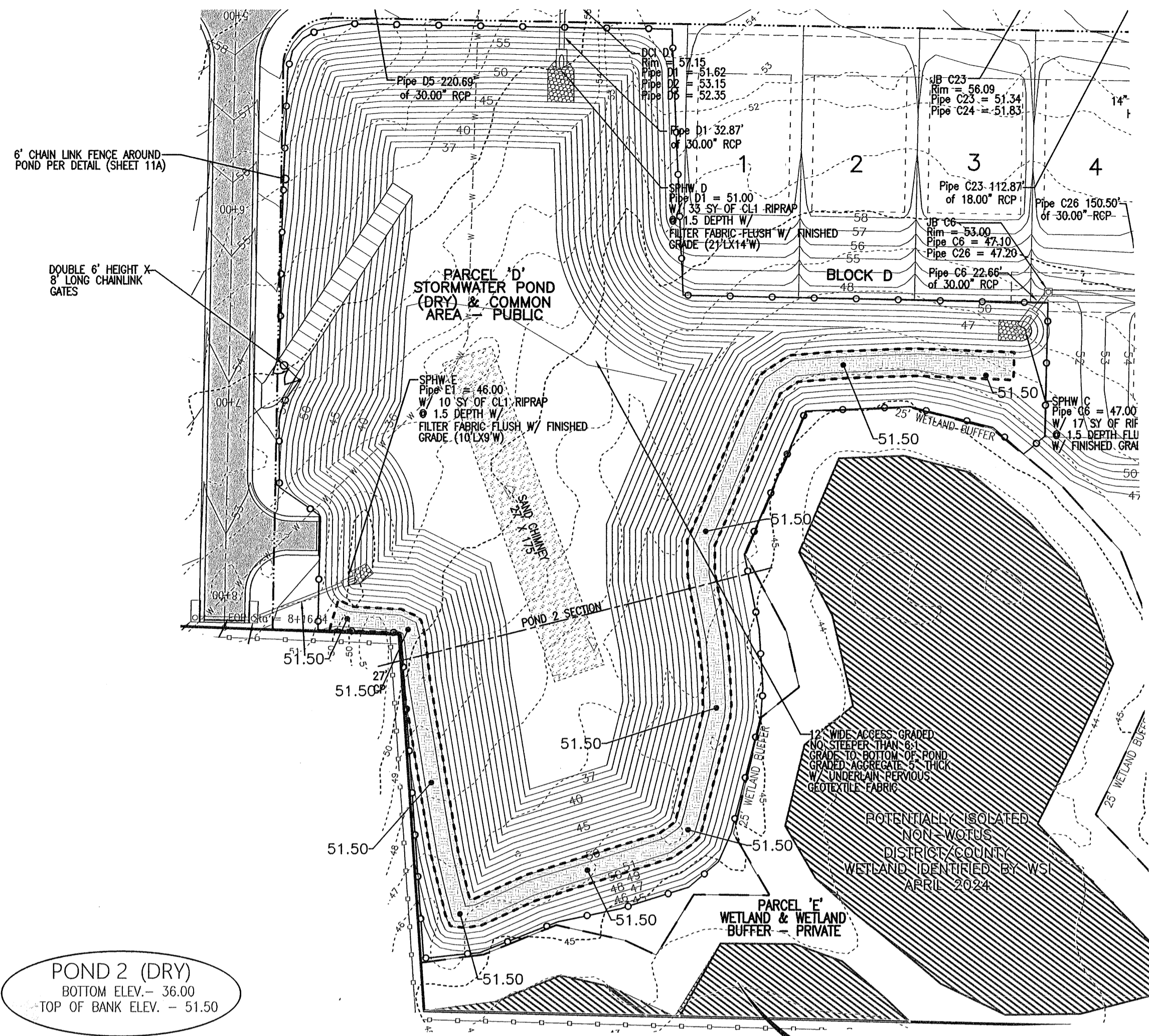
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**LOT GRADING PLAN**

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**10B**



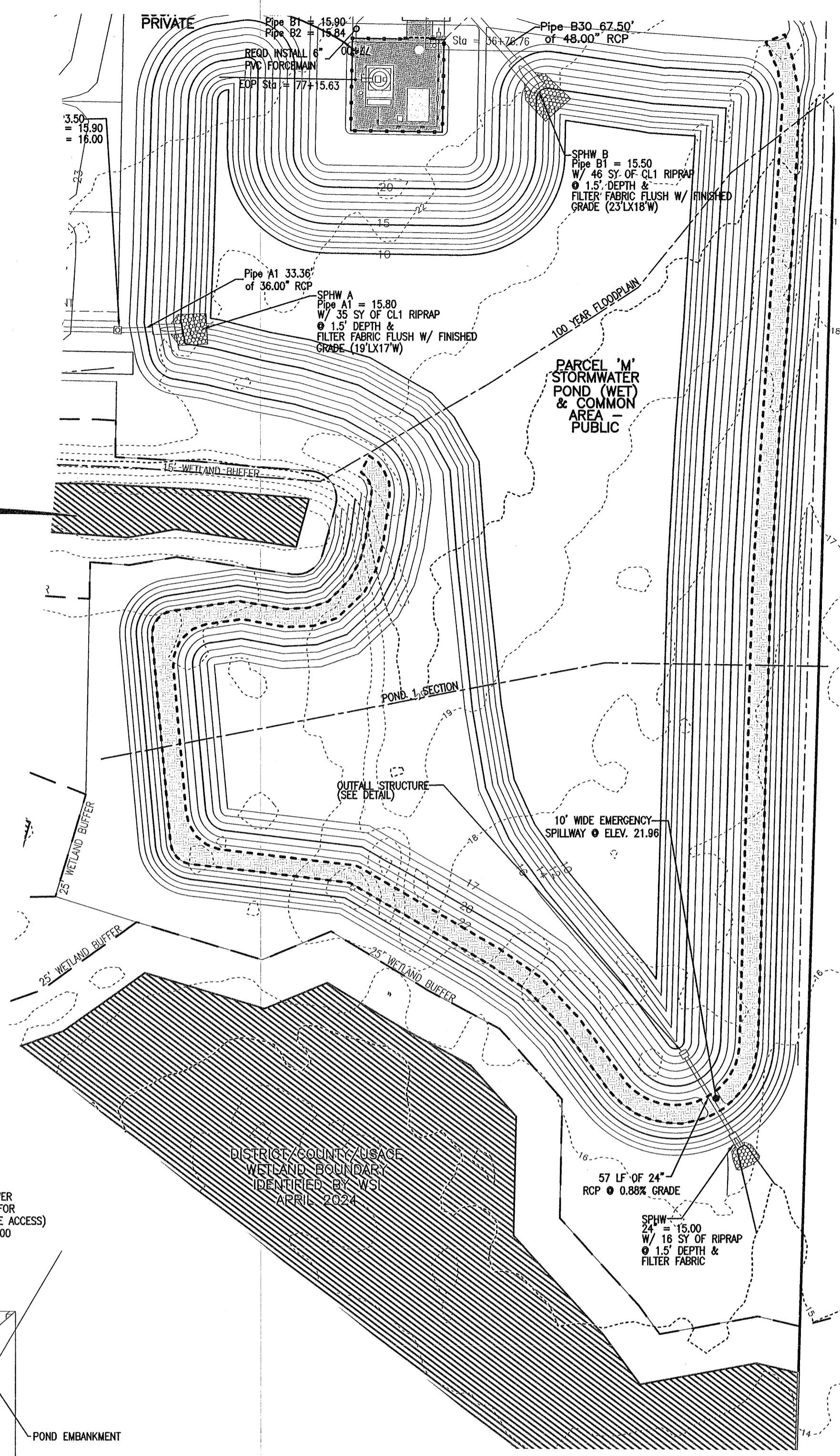
NORTH POND PLAN

POND 2 (DRY)  
BOTTOM ELEV. = 36.00  
TOP OF BANK ELEV. = 51.50

- GENERAL NOTES:
- IN THE EVENT THAT A STRUCTURAL FAILURE (SINK FEATURE) OCCURS DURING CONSTRUCTION, ALL CONSTRUCTION ACTIVITY SHALL CEASE AND A FLORIDA REGISTERED GEOTECHNICAL ENGINEER SHALL BE CONTACTED IMMEDIATELY. A CORRECTIVE MEASURES PLAN MUST BE APPROVED BY THE NWF/WMD AND IMPLEMENTED PRIOR TO RESUMING CONSTRUCTION.
  - SEED AND MULCH AREA WITHIN THE BOTTOM OF THE PROPOSED STORMWATER POND WITH AN EQUAL MIXTURE OF CENTIPEDE GRASS SEED AND ANNUAL RYE GRASS SEED. IF WINTER RYE SEED IS USED, INCLUDE A BAHIA MIX TO INSURE CONTINUED GROWTH AFTER WINTER MONTHS. TOP OF FILTER SHALL NOT BE SEED.
  - SLOPES SHALL BE STABILIZED WITH SOD IMMEDIATELY UPON CONSTRUCTION.
  - STRIP PROPOSED BERM AREAS PLUS A MARGIN OF 3' OUTSIDE THE BERM FOOTPRINT (BUT DO NOT EXTEND WORK ONTO ADJACENT PROPERTY OR WETLAND BUFFER) OF ALL SURFACE VEGETATION AND ROOT MAT (LARGE ROOTS AND SMALL ROOTS IN HIGH DENSITY).
  - BERM SOILS SHALL CONSIST OF SILTY TO CLAYEY SANDS WITH NO MORE THAN 50% PASSING THE US NO. 200 SIEVE (SILT AND CLAY FINES). DO NOT USE "PIPE CLAY", A MARBLED SANDY FAT CLAY TO FAT CLAY WITH HIGH PLASTICITY AND MORE THAN 50% SOIL FINES.
  - PLACE BERM SOILS TO THE PROPOSED LINES AND GRADES IN MAXIMUM 12" LOOSE LIFTS TO A DENSITY NOT LESS THAN 98% OF MAXIMUM DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST ASTM 1557. MOISTURE CONDITION THE SOILS BY DRYING OR WETTING TO AID COMPACTION.
  - TEST THE DENSITY OF THE SOILS TO DETERMINE IF THE REQUIRED COMPACTION DENSITY HAS BEEN ACHIEVED. PERFORM AT LEAST ONE FIELD DENSITY TEST IN EACH COMPACTED LIFT FOR EVERY 50' TO 75' OF BERM LENGTH, ALTERNATING THE TESTS INSIDE AND OUTSIDE OF CENTERLINE BERM. PERFORM FURTHER MOISTURE CONDITIONING AND RE-COMPACTION AS NECESSARY IN LIFT AREAS WITH FAILING DENSITY, AND RE-TEST.
  - PROVIDE TOPSOIL AND SOD COVER ON THE FINISHED BERM SLOPES TO PREVENT EROSION.
  - SLOPES 3:1 OR STEEPER SHALL BE SODDED AND PINNED.
  - THE GEOTECHNICAL ENGINEER MUST BE PRESENT ON-SITE TO VERIFY THAT THE BOTTOM OF THE CHIMNEY IS KEYING INTO THE MORE PERMEABLE LAYER THAT IS UTILIZED IN THE DESIGN CALCULATIONS.
  - THE GEOTECHNICAL ENGINEER MUST BE PRESENT ON-SITE TO VERIFY THAT THE LESS-PERMEABLE MATERIAL HAS BEEN REMOVED TO AN APPROPRIATE DEPTH IN THE BOTTOM OF THE CHIMNEY, PRIOR TO INSTALLING THE CHIMNEY MATERIAL.

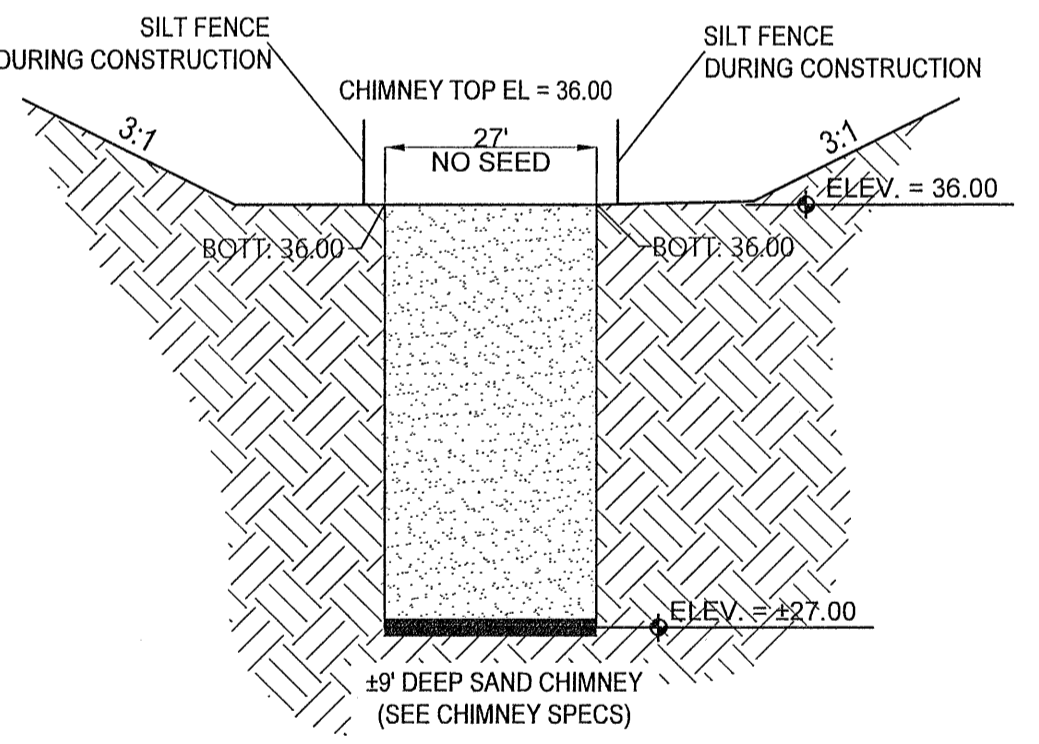
GRADING NOTE  
ALL PROPOSED GRADES SHOWN OUTSIDE OF ROAD R/W, DRAINAGE R/W, DRAINAGE EASEMENTS, AND POND PARCEL IS FOR VISUALIZATION PURPOSES FOR THE HOME BUILDER ONLY. THE CONTRACTOR SHALL ONLY GRADE ROAD R/W, DRAINAGE R/W, DRAINAGE EASEMENTS AND POND PARCEL.

POND 1 (WET)  
BOTTOM ELEV. = 10.00  
TOP OF BANK ELEV. = 22.00  
NORMAL POOL ELEV. = 15.50

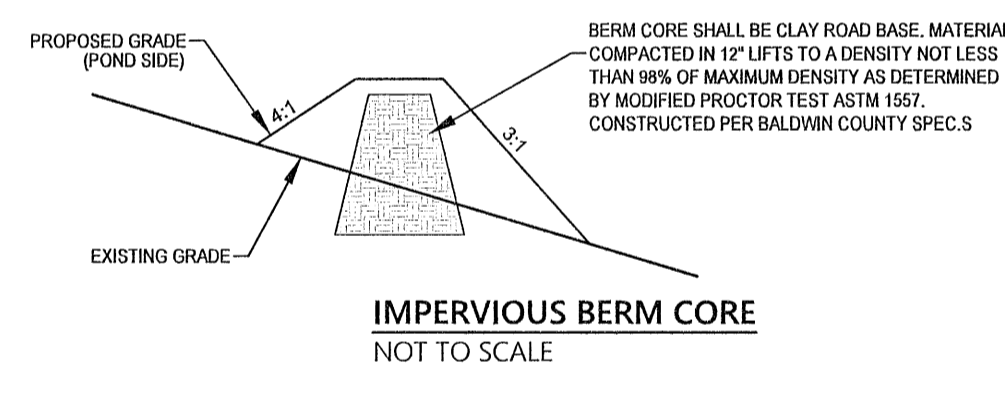


SOUTH POND PLAN

- CHIMNEY NOTES:
- CHIMNEY INSTALLATION SHOULD BE MONITORED BY THE GEOTECHNICAL ENGINEER OF RECORD OR HIS REPRESENTATIVE TO VERIFY THAT THE SOILS THE CHIMNEY WILL BE PLACED INTO MEET OR EXCEED THE BASIS OF DESIGN.
  - CHIMNEY BACKFILL MATERIAL SHOULD BE CLEAN, COARSE SAND CONTAINING LESS THAN 5% FINES WITH A MINIMUM VERTICAL PERMEABILITY OF 30 FT/DAY AT 100% OF THE STANDARD PROCTOR DENSITY.
  - A SAMPLE OF THE CHIMNEY SAND SHOULD BE SUBMITTED TO THE GEOTECHNICAL LAB FOR TESTING AND EVALUATION PRIOR TO PURCHASE.
  - THE CHIMNEY SAND SHOULD BE TESTED AND APPROVED PRIOR TO CONSTRUCTING THE CHIMNEY, AND THE CONTRACTOR SHOULD BE PREPARED TO BACKFILL THE CHIMNEY IMMEDIATELY AFTER APPROVAL BY THE GEOTECHNICAL ENGINEER OF RECORD TO REDUCE CAVE-INS OF THE WALLS.
  - IT IS RECOMMENDED THAT THE CHIMNEY EXCAVATION AND SAND BACKFILL PROCESS BE CONTINUOUS FROM ONE END OF THE CHIMNEY TO THE OTHER TO MINIMIZE CAVE-INS.
  - CHIMNEY SHOULD BE MOUNDDED ON TOP SLIGHTLY TO PROMOTE SETTLEMENT OF FINES AWAY FROM THE CHIMNEY.
  - IF TOP OF THE MOUND BECOMES SILTED OVER DURING OR AFTER CONSTRUCTION, IT SHOULD BE SCRAPED OFF AND REPLACED WITH SIMILAR CLEAN CHIMNEY SAND MATERIAL.
  - TIMBERS CAN BE PLACED AROUND THE CHIMNEY FOR THIS PURPOSE AND TO CONTAIN THE CHIMNEY MATERIAL. THIS WOULD BE A SUITABLE ALTERNATIVE.
  - SAND CHIMNEYS REQUIRE ROUTINE MAINTENANCE TO REMOVE ACCUMULATED SILT FROM THE TOP OF THE CHIMNEY, AND THIS SHOULD BE PERFORMED PERIODICALLY AND WHEN THE POND APPEARS TO BE DRAINING SLOWER THAN USUAL.
  - A 6" MINIMUM KEY DEPTH SHALL BE EXCAVATED INTO THE MORE PERMEABLE SOIL LAYER AS RECOMMENDED BY THE GEOTECH REPORT AT BOTTOM OF CHIMNEY.



TYPICAL SECTION SAND CHIMNEY  
NOT TO SCALE



IMPERVIOUS BERM CORE  
NOT TO SCALE

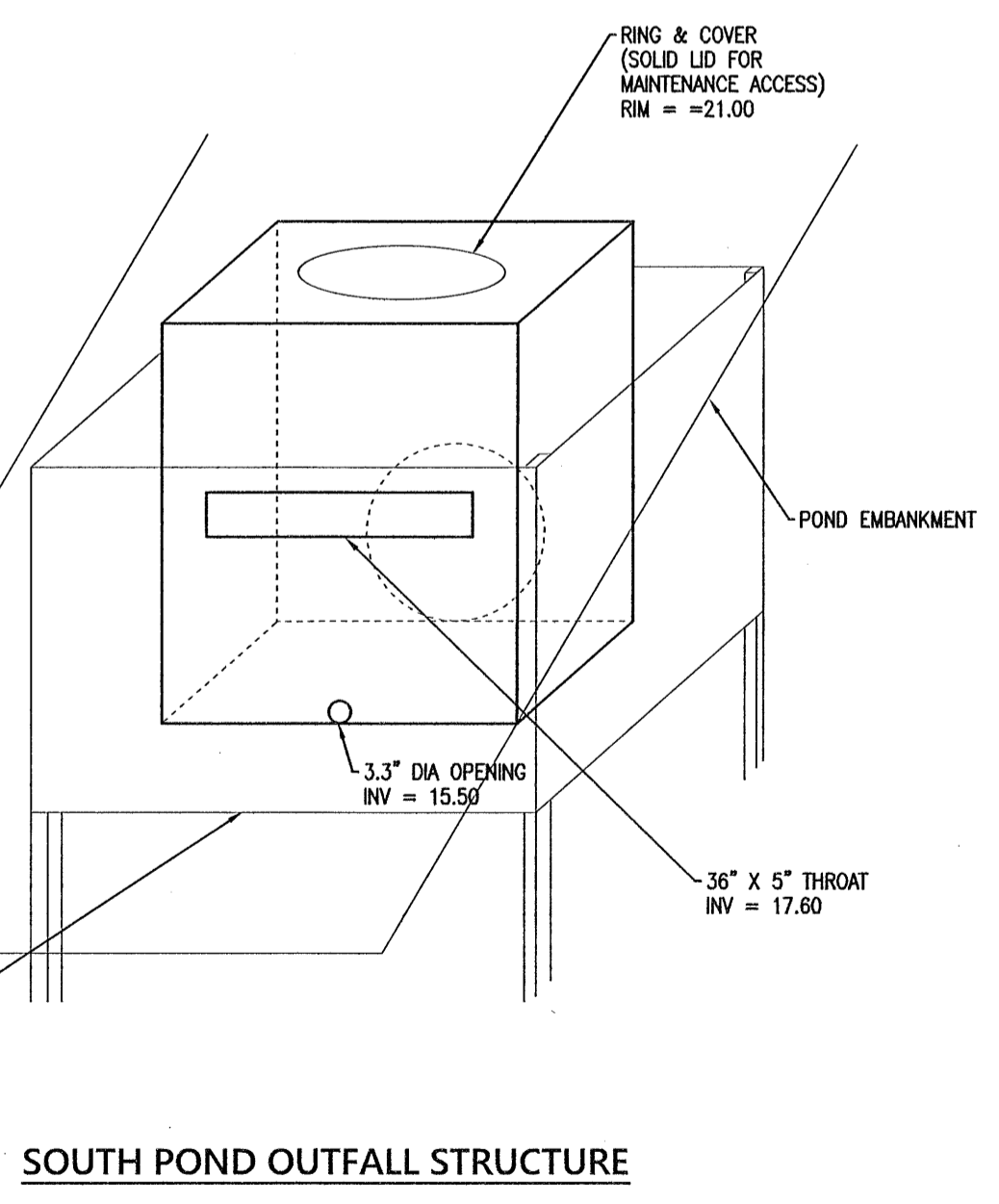
OUTFALL NORTH POND - DRY POND - AREA (OUTFALL 2)  
SCS TR-20 METHOD - STORM EVENT: FDOT-CRITICAL DURATION

DURATION	100 YEAR EVENT		0 DISCHARGE POND			
	PRE (CFS)	POST (CFS)	POND (CFS)	PEAK POND ELEV. (FT)	TOP OF BANK	FREEBOARD PROVIDED
1 HR	2.23	0.37	0.94	38.77	51.50	12.73
2 HR	5.32	0.68	0.94	40.41	51.50	11.09
4 HR	11.32	1.36	0.94	42.71	51.50	8.79
8 HR	15.42	1.82	0.94	45.58	51.50	5.92
24 HR	9.96	1.05	0.94	50.42	51.50	1.08

SCS TR-20 METHOD - STORM EVENT: TYPE III-24HR

YEAR EVENT	PRE (CFS)	POST (CFS)	POND (CFS)	PEAK POND ELEVATION (FT)	TOP OF BANK	FREEBOARD PROVIDED
2	1.05	0.14	0.94	39.03	51.50	12.47
25	16.18	2.26	0.94	45.83	51.50	5.67



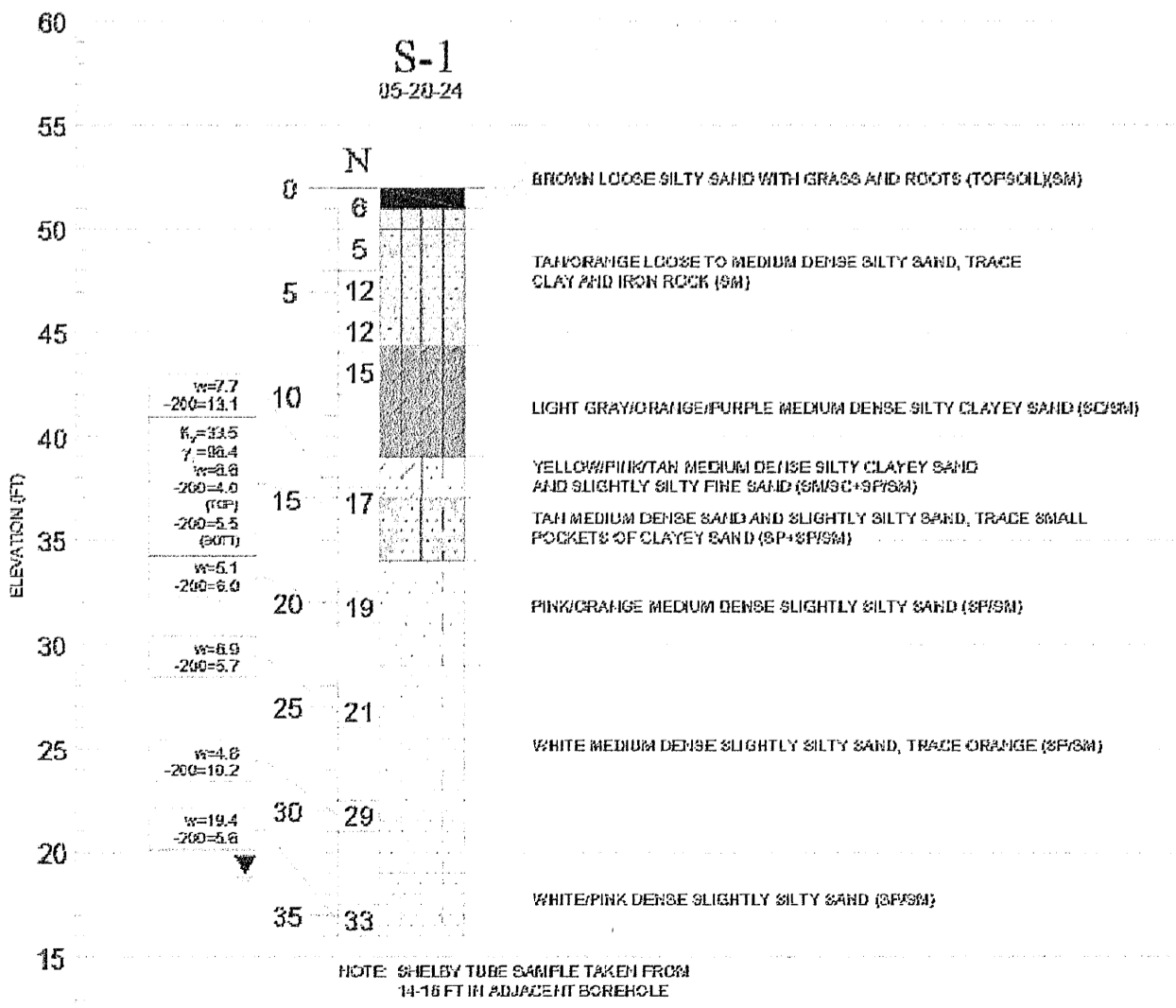
SOUTH POND OUTFALL STRUCTURE

OUTFALL SOUTH POND - WET POND - AREA (OUTFALL 1)  
SCS TR-20 METHOD - STORM EVENT: FDOT-CRITICAL DURATION

DURATION	100 YEAR EVENT		PEAK POND ELEV. (FT)	TOP OF BANK	FREEBOARD PROVIDED
	PRE (CFS)	POST (CFS)			
1 HR	0.97	0.82	17.06	22.00	5.44
2 HR	3.75	1.72	17.87	22.00	4.63
4 HR	9.76	3.27	19.08	22.00	3.42
8 HR	16.53	8.53	20.29	22.00	2.21
24 HR	14.37	11.81	21.91	22.00	0.59

SCS TR-20 METHOD - STORM EVENT: TYPE III-24HR

YEAR EVENT	PRE (CFS)	POST (CFS)	PEAK POND ELEVATION (FT)	TOP OF BANK	FREEBOARD PROVIDED
2	0.98	0.47	17.67	22.00	4.83
25	13.94	6.30	20.04	22.00	2.46



REVISIONS

DATE	DESCRIPTION

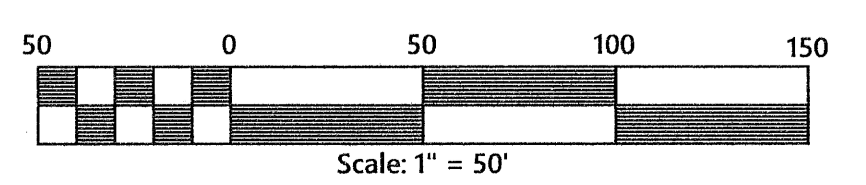
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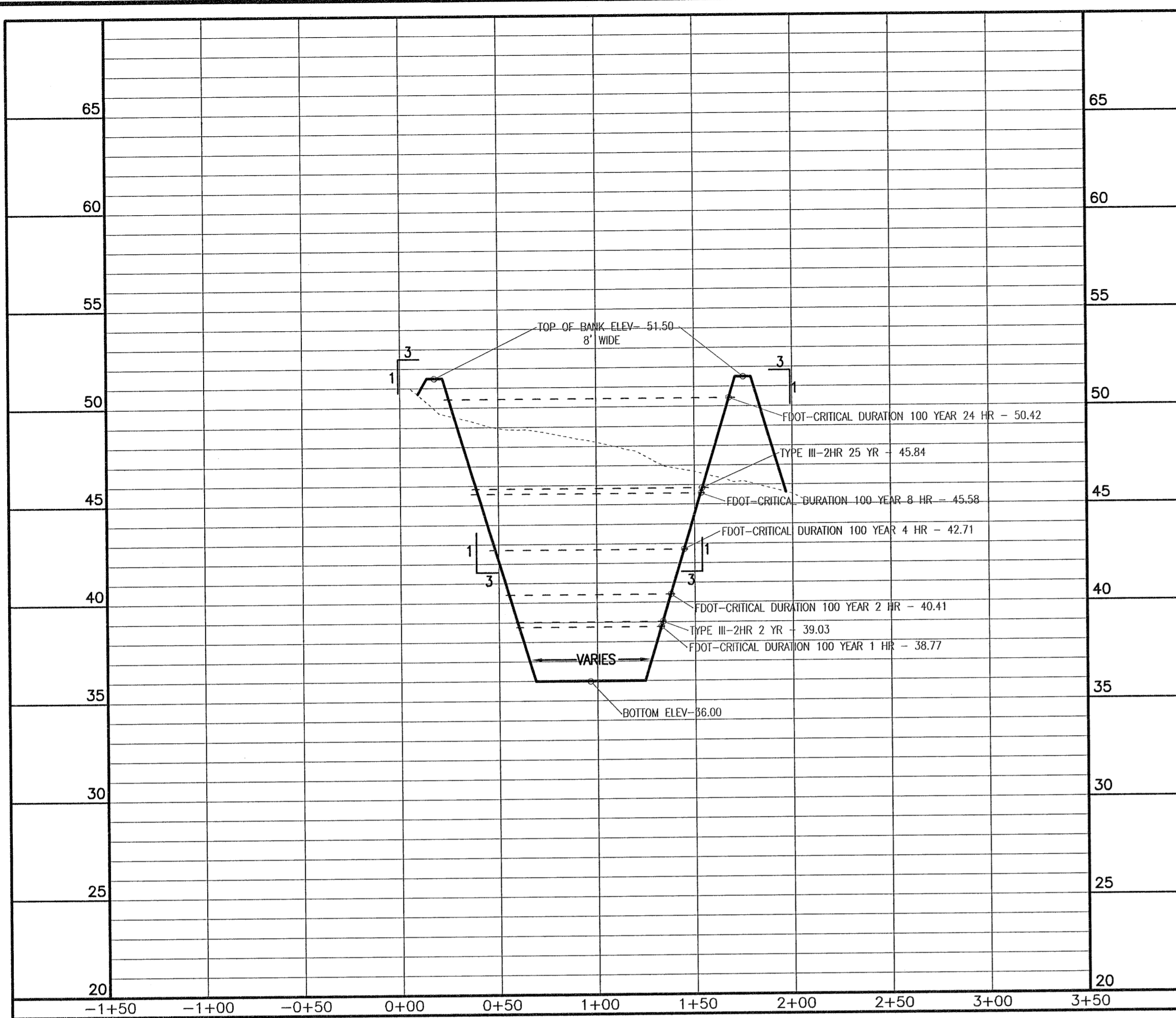
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(850) 462-8412

Construction Plans for  
Bennington Park Subdivision  
Escambia County, FL  
PREPARED FOR: Lemar Homes, LLC

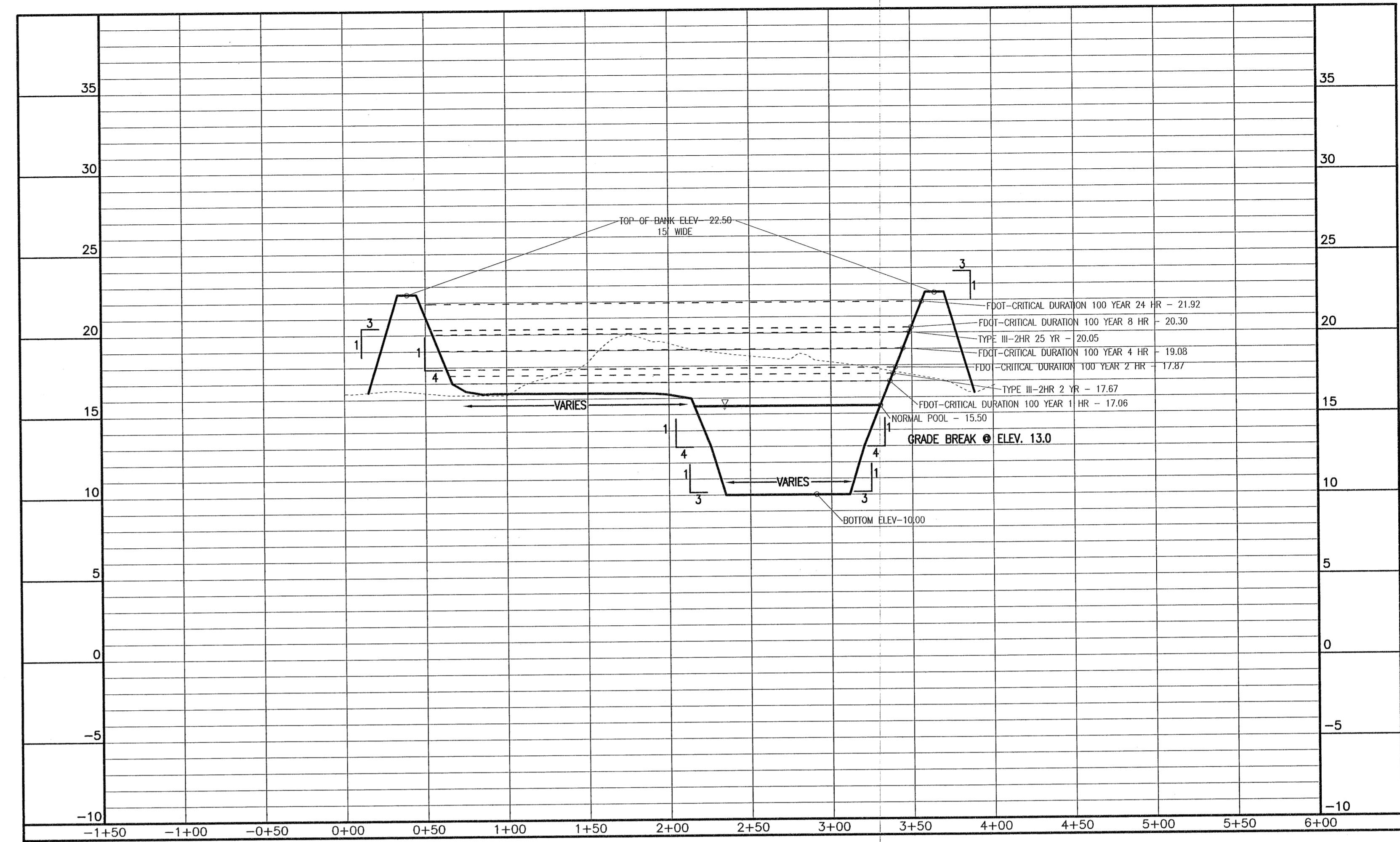
POND PLAN  
Job No. 23-183P  
Date: 5/24/2024  
Drawn By: CAB  
Checked By: ENL

SHEET NUMBER  
**11**

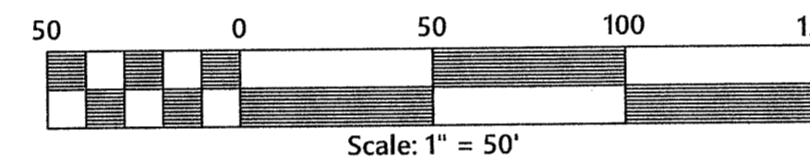




POND 2 (DRY)

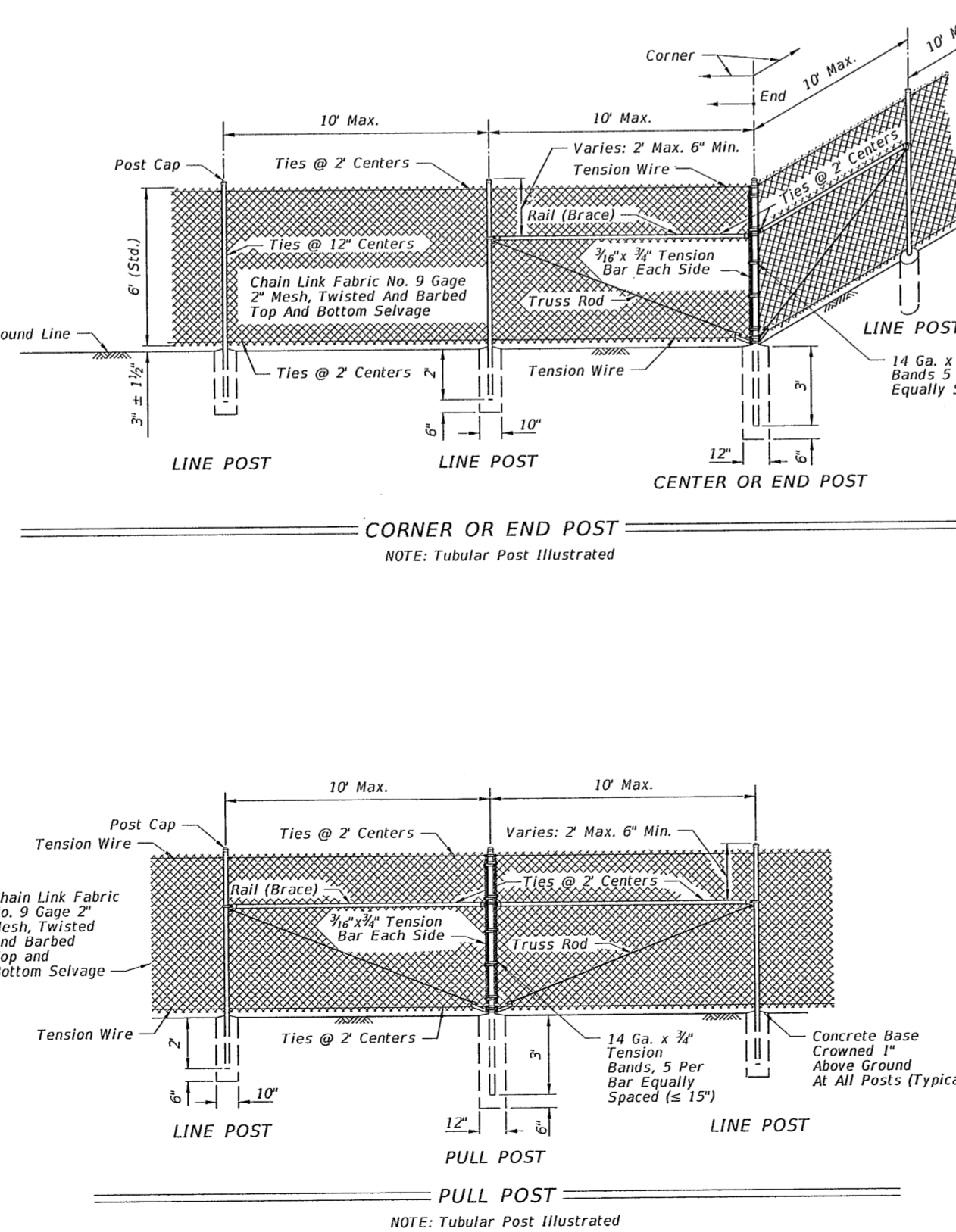


POND 1 (WET)



**GENERAL NOTES:**

- This fence to be used generally in urban areas.
- For supplemental information refer to Specification 550.
- Chain link fabric, post, truss rods, tension wires, tie wires, stretchers, gates and all miscellaneous fittings and hardware shall meet the requirements of AASHTO and ASTM signify current reference.
- Fence Component Options:
  - Line post options:
    - Galvanized steel pipe, Schedule 40 - 1 1/2" nominal dia. zinc galvanized at the rate of 1.8 oz./ft.<sup>2</sup>; ASTM A53 Table 2 (Grade A or B), ASTM F1083, and AASHTO M111.
    - Aluminum coated steel pipe: ASTM A53 Table 2 (Grade A or B) Schedule 40 - 1 1/2" nominal dia., 1.90" OD; coated at the rate of 0.40 oz./ft.<sup>2</sup>; AASHTO M111.
    - Aluminum alloy pipe - 2" nominal dia.; ASTM B241 or B221, Alloy 6063, T6.
    - Steel H-Beam - 1 1/2" x 1 1/2" x 1/4" Zinc Galv. 1.8 oz./ft.<sup>2</sup>; AASHTO M111 and Detail.
    - Aluminum alloy H-Beam - 1 1/2" x 1 1/2" Detail.
    - Steel C - 1 1/2" x 1 1/2" x 1/4" zinc; AASHTO M111; OR - 0.9 oz./ft.<sup>2</sup> zinc-5% aluminum-miscmetal; ASTM F1043 and Detail.
    - Resistance welded steel pipe: 50,000 psi min. yield strength ASTM A569/A569M, A653/A653M or undeposited stock of discontinued A446/A446M base materials; ASTM F699 Group IV (Alternative Design); Fence Industry 2 1/2" OD, 2" NPS, 1,900' dec. equiv., 0.130" min. wall thickness, and min. wt. 2.28 lb./ft.; with ASTM F1043 metric equivalent internal coating Types A, B, C or D and external coating Types A, B, or C; the chrome conversion coating of external Type B shall have a thickness of 15µg/in.<sup>2</sup> min. and the polymer film topcoat shall have a thickness of 0.0003 min.; internal and external coatings are not restricted to the combinations of Table 2, ASTM F1043.
  - Corner, end, and pull post options:
    - Galvanized steel pipe, Schedule 40 - 2" nominal dia. zinc galvanized at the rate of 1.8 oz./ft.<sup>2</sup>; ASTM A53 Table 2, ASTM F1083, and AASHTO M111.
    - Aluminum coated steel pipe: ASTM A53 steel, 2" Tables; Schedule 40; 2" nominal dia., 2.375" OD; coated at the rate of 0.40 oz./ft.<sup>2</sup>; AASHTO M111.
    - Aluminum alloy pipe - 2" nominal dia.; ASTM B241 or B221, Alloy 6063, T6.
    - Resistance welded steel pipe: 50,000 psi min. yield strength ASTM A569/A569M, A653/A653M or undeposited stock of discontinued A446/A446M base materials; ASTM F699 Group IV (Alternative Design); Fence Industry 2 1/2" OD, 2" NPS, 2,375' dec. equiv., 0.130" min. wall thickness, and min. wt. 2.28 lb./ft.; with ASTM F1043 metric equivalent internal coating Types A, B, C or D and external coating Types A, B, or C; the chrome conversion coating of external Type B shall have a thickness of 15µg/in.<sup>2</sup> min. and the polymer film topcoat shall have a thickness of 0.0003 min.; internal and external coatings are not restricted to the combinations of Table 2, ASTM F1043.
  - Rail options:
    - Galvanized steel pipe, Schedule 40 - 1 1/4" nominal dia. zinc galvanized at the rate of 1.8 oz./ft.<sup>2</sup>; ASTM A53 Table 2, ASTM F1083, and AASHTO M111.
    - Aluminum coated steel pipe: ASTM A53 steel, 2" Tables; Schedule 40; 1 1/4" nominal dia., 1.660" OD; coated at the rate of 0.40 oz./ft.<sup>2</sup>; AASHTO M111.
    - Aluminum alloy pipe - 1 1/4" nominal dia.; ASTM B241 or B221, Alloy 6063, T6.
    - Resistance welded steel pipe: 50,000 psi min. yield strength ASTM A569/A569M, A653/A653M or undeposited stock of discontinued A446/A446M base materials; ASTM F699 Group IV (Alternative Design); Fence Industry 1 3/8" OD, 1 1/4" NPS, 1,660' dec. equiv., 0.111" min. wall thick. and min. wt. 1.86 lb./ft.; with ASTM F1043 metric equivalent internal coating Types A, B, C or D and external coating Types A, B, or C; the chrome conversion coating of external Type B shall have a thickness of 15µg/in.<sup>2</sup> min. and the polymer film topcoat shall have a thickness of 0.0003 min.; internal and external coatings are not restricted to the combinations of Table 2, ASTM F1043.
  - Chain link fabric options (2" mesh with twisted and barbed selvage top and bottom for all options except as described in Note 10):
    - AASHTO M181 Type I - Zinc Coated Steel, No. 9 gage (coated wire diameter), coated at the rate of 1.8 oz./ft.<sup>2</sup>; M181 Class B 2.0 oz./ft.<sup>2</sup> modified to 1.8 oz./ft.<sup>2</sup>.
    - AASHTO M181 Type II - Aluminum Coated Steel, No. 9 gage (coated wire diameter), coated at the rate of 0.40 oz./ft.<sup>2</sup>.
    - AASHTO M181 Type IV - Polyvinyl Chloride (PVC) Coated Steel, No. 9 gage (coated core wire diameter), core wire-zinc coated steel, PVC coating: M181 Class A (either extruded or extruded and bonded) or Class B (bonded). See table right. Unless the plans call for M181 standard colors medium green, dark green or black the coating color shall be soft gray matching that of No. 36522 of Federal Standard 595A.
  - Tension wire options:
    - Steel wire No. 7 gage zinc galvanized at the rate of 1.2 oz./ft.<sup>2</sup>; AASHTO M181.
    - Aluminum alloy wire with a diameter of 0.1075" or larger conforming to the requirements of ASTM B211, Alloy 5056 Temper H38, or Alclad Alloy 5056 Temper H192.
    - Aluminum coated steel wire No. 7 gage coated at the rate of 0.40 oz./ft.<sup>2</sup>; AASHTO M181.
  - Tie wire and hog ring options:
    - Steel wire No. 9 gage zinc galvanized at the rate of 1.2 oz./ft.<sup>2</sup>.
    - Aluminum alloy wire with a diameter of 0.1443" or larger conforming to the requirements of ASTM B211, Alloy 5056 Temper H38, or Alclad Alloy 5056 Temper H192.
    - Aluminum coated steel wire No. 7 gage coated at the rate of 0.40 oz./ft.<sup>2</sup>.



**GENERAL NOTES CONTINUED**

- Unless a specific material is called for in the plans the Contractor may elect to use either a single type of material or a combination of material types from the component options listed in note 4. Combinations of optional materials are restricted as follows:
  - Only one fabric optional material will be permitted between corner and end post assemblies.
  - Only one line post optional material will be permitted between corner and end post assemblies, or the corner and end post assemblies optional material, but, pull post assemblies shall be the same optional material between any set of corner and/or end post assemblies.
- Concrete for bases shall be Class NS concrete as specified in Specification 340 or a packaged, dry material meeting the requirements of a concrete under ASTM C-387. Materials for Class NS concrete may be proportioned by volume and/or by weight.
- Line post shall be 8'-0" long (Standard). Line post are to be set in concrete as described above or by the following methods:
  - In accordance with special details and/or as specifically described in the Contract Plans and Specifications.
  - In accordance with ASTM F567 Subsections 5.4 through 5.10 as approved by the Engineer.
- Line post installed in accordance with Section 5.8 shall be 9'-0" long.
  - Post mounted on concrete structure or solid rock shall be mounted in accordance with the base plate detail "Fence Mounting on Concrete Endwalls and Retaining Wall", Sheet 3; or, by embedment in accordance with ASTM F567 Subsection 5.5.
- End, pull and corner post assemblies shall be in concrete as detailed above for all soil conditions other than solid rock. Post within assemblies that are located on concrete structures or solid rock shall be set by base plate or by embedment as prescribed under (a) above for line post.
- Line and assembly posts for 6' fence which must be lengthened due to a variation in the normal ground clearance, shall be set an additional 3" in depth for each 1' of additional ground clearance.
- Pull post shall be used at breaks in vertical grades of 15° or more, or at approximately 350' centers except that this maximum interval may be reduced by the Engineer on curves where the curve is greater than 3'.
- Corner post are to be installed at all horizontal breaks in fence at 15' or more and as required at vertical breaks over 15' as determined by the Engineer.
- When fence has an installed top of fabric height less than 6' knuckled top and bottom selvages shall be used unless the plans specifically identify locations for twisted selvage fabrics.
- Unless sliding gates or special gates are called for in the plans, all gates shall be chain link swing gates meeting the material requirements described and as approved by the Engineer. Payment shall include the gates, single or double, all necessary hardware for installation and any additional length and/or size for posts at the opening. Gates shall be paid for under the contract unit price for Fence Gates, EA.
- For construction purposes corner post assemblies shall consist of one corner post, two truss rods, and all necessary fittings and hardware as detailed. End post assemblies shall consist of one end post, one brace, one truss rod and all necessary fittings and hardware as detailed.
- In areas where there are physical constraints outside the right-of-way which restricts the fence construction, the fabric may be installed on the inside of the posts.

TYPE IV VINYL COATED FABRIC								
AASHTO M181 Table 4 Redefined As Follows								
Specified Diameter Of Metallic Coated Core Wire	Minimum Weight Of Zinc Coating	PVC Thickness Range	M181 Class B (Bonded Coating)					
			oz./ft. <sup>2</sup>	g/m <sup>2</sup>	in. mm			
0.148	3.77	9	0.30	92	0.015 to 0.025	0.38 to 0.64	0.006 to 0.010	0.15 to 0.25

**DESIGN NOTE**

This index details fencing that is constructed with chain link fabric 6' (nominal) in height and with specific ground clearance. For fencing of different height or installation details, the fence shall be fully detailed in the Contract plans.

LAST REVISION 11/01/17	DESCRIPTION: FY 2024-25 STANDARD PLANS	INDEX 550-002	SHEET 1 of 3
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LAST REVISION 11/01/17	DESCRIPTION: FENCE TYPE B	INDEX 550-002	SHEET 2 of 3
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POND 2 (DRY) - FENCING DETAILS

**REVISIONS**

Date	Description

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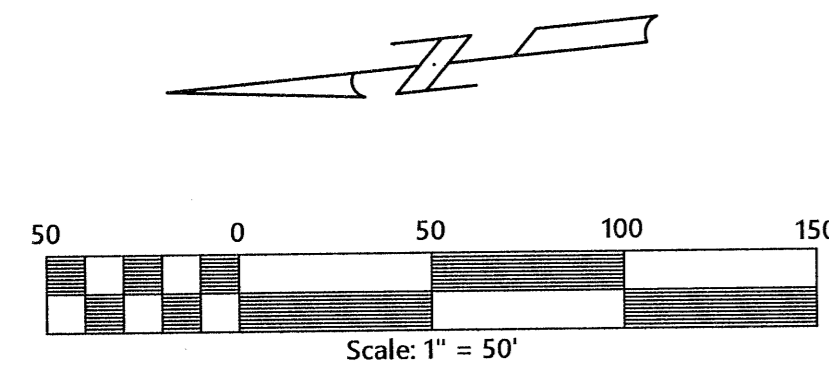
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Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
 Lemar Homes, LLC  
 PREPARED FOR:

**POND SECTIONS**

Job No. 23-183P  
 Date: 5/24/2024  
 Drawn by: CAB  
 Checked by: ENL

SHEET NUMBER  
**11A**



POTENTIALLY ISOLATED  
NON-WOTUS  
DISTRICT/COUNTY  
WETLAND IDENTIFIED BY WSI  
APRIL 2024

REVISIONS

Date	Description

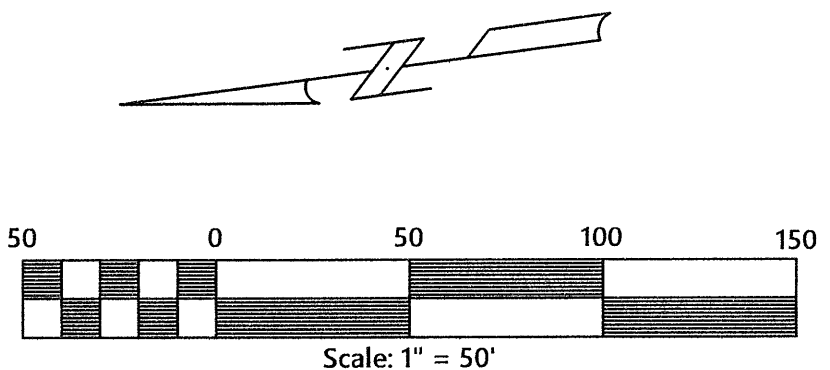
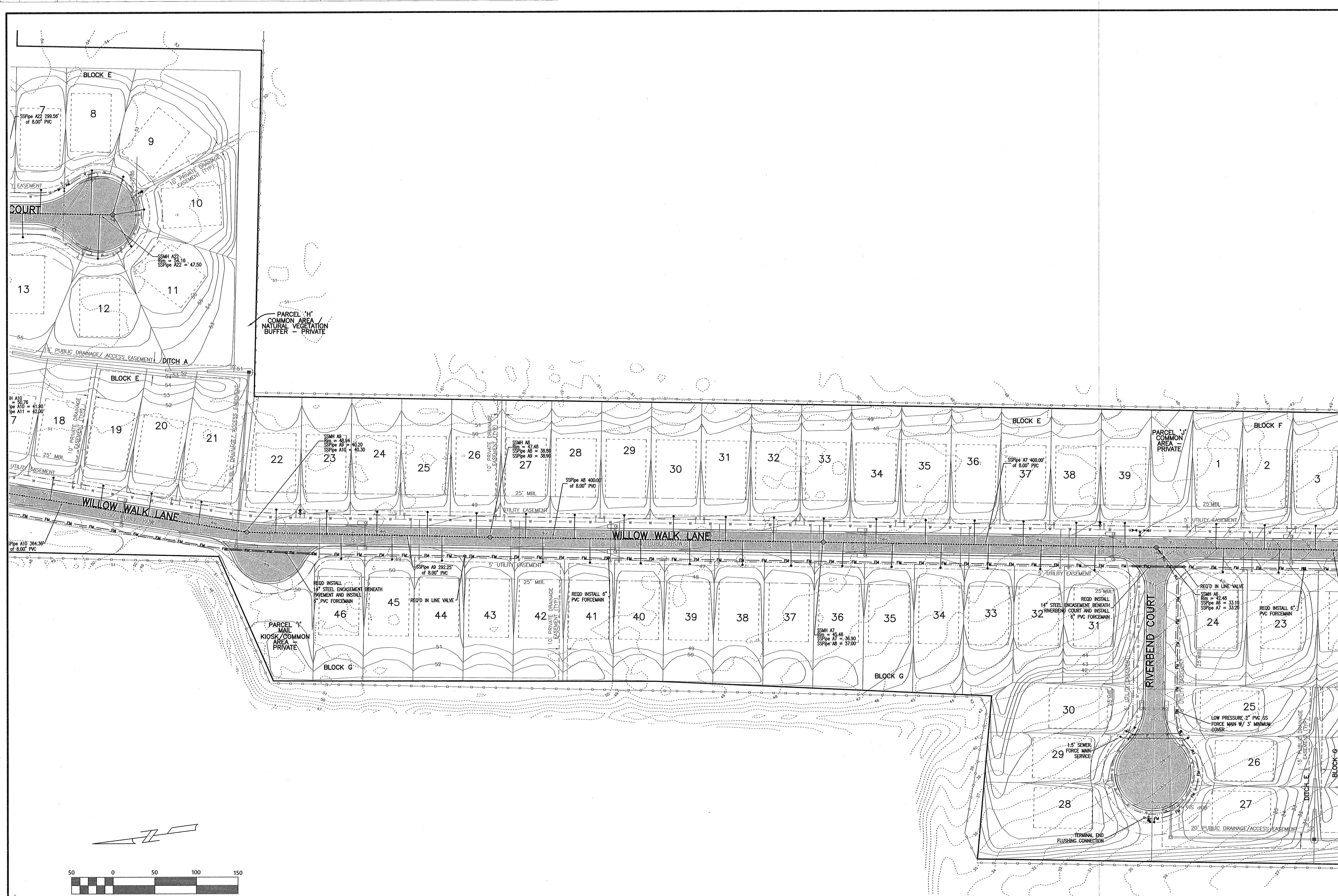
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Construction Plans for  
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Escambia County, FL  
PREPARED FOR: Lennar Homes, LLC

SANITARY SEWER PLAN  
Job No. 23-183P  
Date: 5/24/2024  
Drawn By: CAB  
Checked By: ENL

SHEET NUMBER  
**12**



REVISIONS

Date	Description

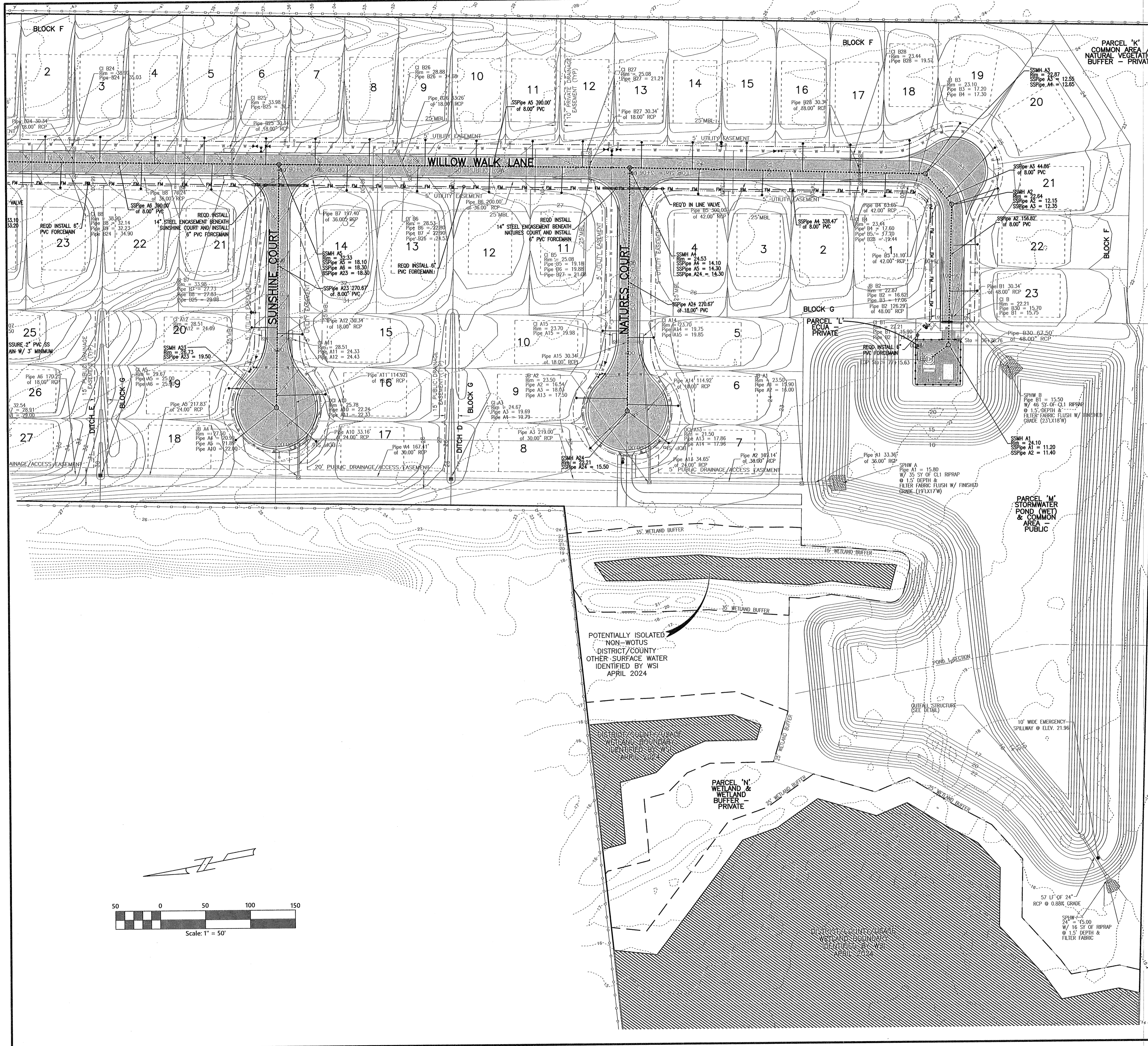
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Construction Plans for  
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 PREPARED FOR: Lennar Homes, LLC

SANITARY SEWER PLAN

Job No.	23-183P
Date:	5/24/2024
Drawn By:	CAB
Checked By:	ENL
SHEET NUMBER	<b>12A</b>



REVISIONS

Date	Description

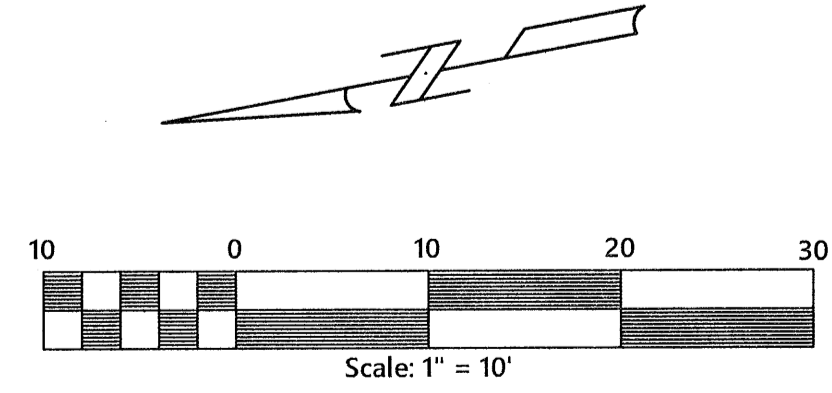
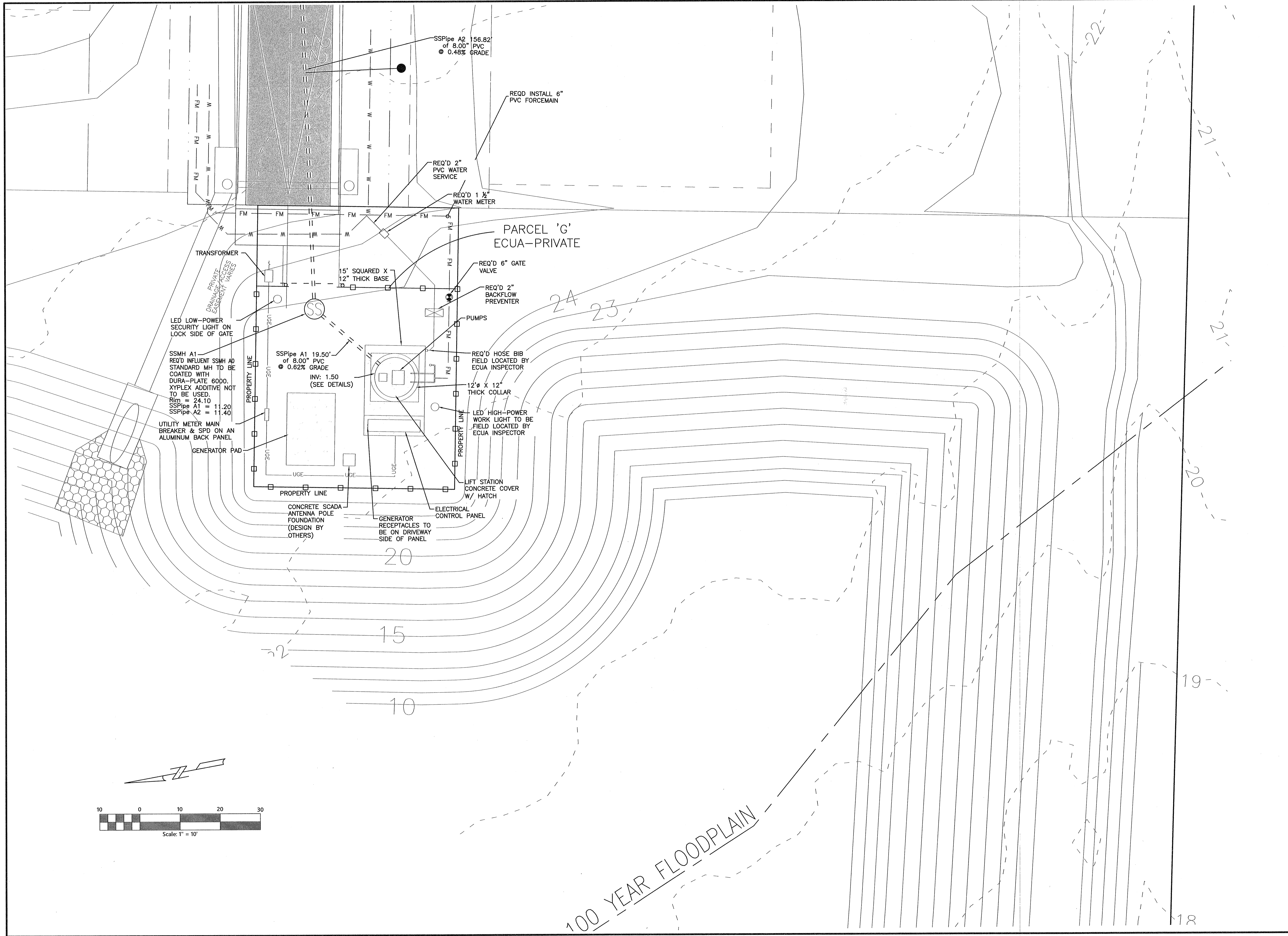
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Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
 PREPARED FOR: Lenmar Homes, LLC

SANITARY SEWER PLAN  
 Job No: 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER  
**12B**



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Date	By	Description

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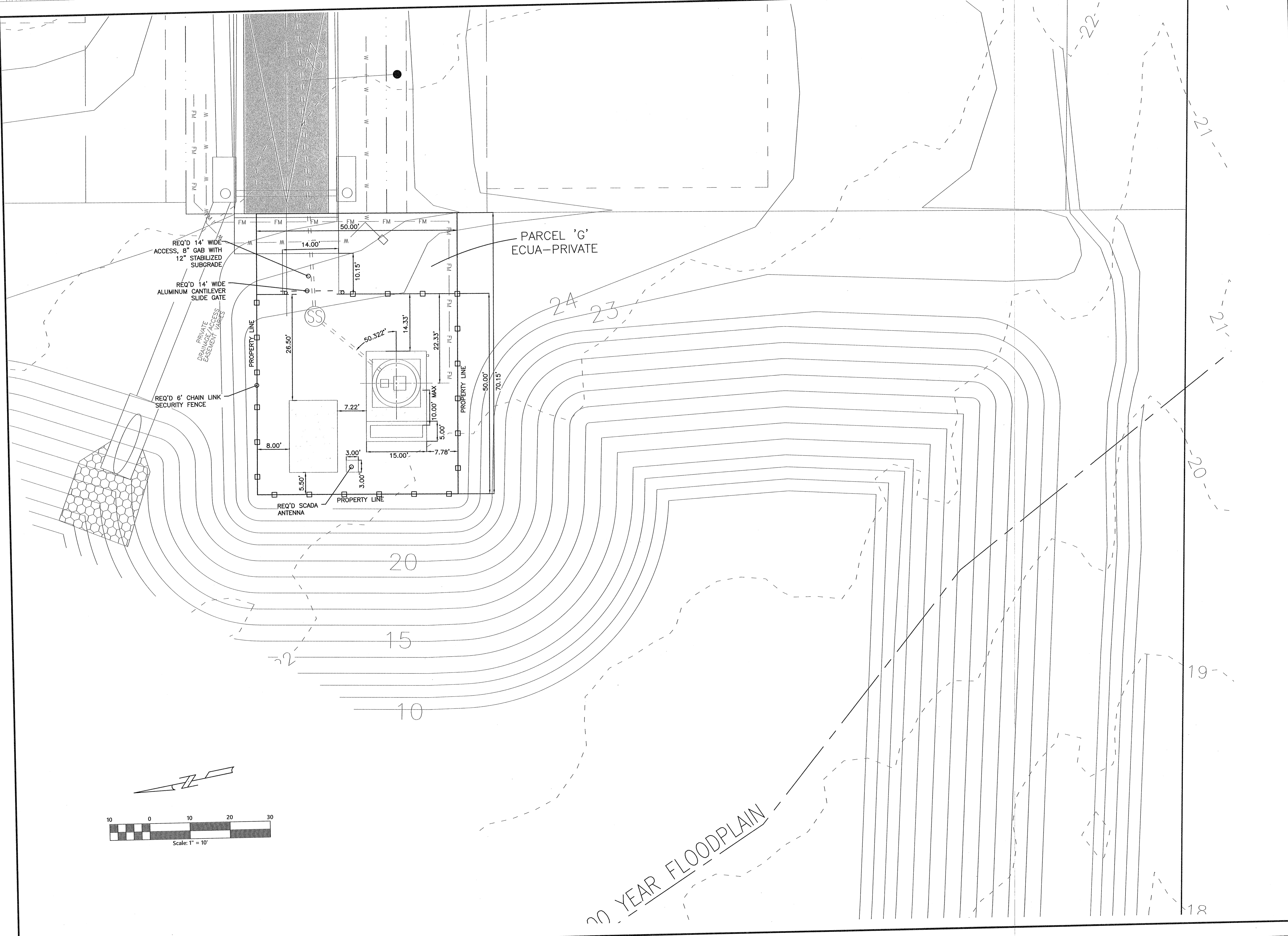
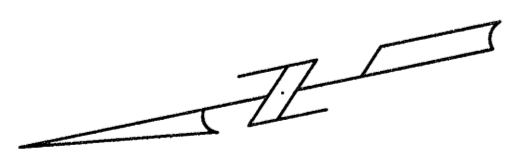
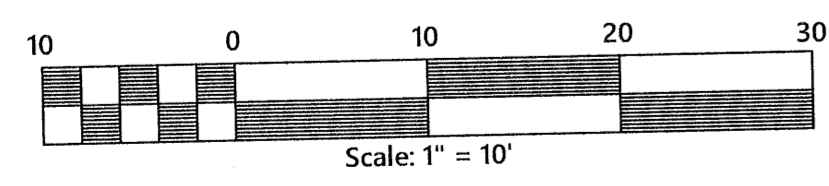
Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL

PREPARED FOR: Lennar Homes, LLC

LIFT STATION SITE PLAN

Job No. 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER  
**12C**



PARCEL 'G'  
ECUA-PRIVATE

20 YEAR FLOODPLAIN

REVISIONS

Date	Description

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 (850) 462-8412

Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
 PREPARED FOR: Lemnar Homes, LLC

LIFT STATION SITE PLAN  
 Job No. 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER  
**12D**

Lift Station Pump Selection Worksheet

This document shall be prepared by the Engineer of Record (EOR) and used to evaluate the three best pump options from ECUA's list of approved manufacturers for the project listed below. The pumps listed are not necessarily "equal" with respect to overall performance, price, etc; however, they have been reviewed and approved by ECUA. These three pumps shall be listed on the plans in order to allow Bidders to price and use any of them on this project.

Project Name: Bennington Park Project CIP #: 2023-056  
 EOR/Company: Mullins, LLC  
 ECUA Project Manager: Pete Kummer Design pump rate (gpm): 220 and TDH (feet): 161.2

Pump Property	Pump 'A'	Pump 'B'	Pump 'C'
Manufacturer/Model #	KSB/KRFF400401274XEG-S	Fairbanks, 4" 5435MV	
Supplier Company Name	Pump and Process Egpt.	Pump and Process Egpt.	
Sales Rep Name	Jeb Smith	Jeb Smith	
Vortex or Non-dog*	Vortex	Multi-Vane	
RPM*	1771	1780	
Impeller diameter (in.)*	12.8125	12.4"	
Duty point flow, head (gpm,ft)*	267, 178	220, 161.2	
Shutoff Head (ft)	189	175	
Shutoff head - Duty point head	11	13.8	
Duty point efficiency (%)	31.2	40.26	
Duty Point Motor Size (HP)*	38.4	23	
NOL motor size (HP)*	60	50	
NOL Motor FLA Rating (Amps)	80.3	62.7	
Voltage required (V)	460	460	
Max. Impellor Size (in.)	15.375	14.0	
Max. Motor Size (HP)	50	75	
Budget estimate for 3 pumps	\$170K	\$180K	
Delivery time (weeks)	36 weeks	36 weeks	

\*Attach copy of system curve plotted on manufacturer's pump curve. Spreadsheet curves not allowed.

Approval of these pumps for use on this project:

[Signature] 3/21/25  
 Engineer of Record (EOR) Date

ECUA Project Engineer \_\_\_\_\_ Date \_\_\_\_\_

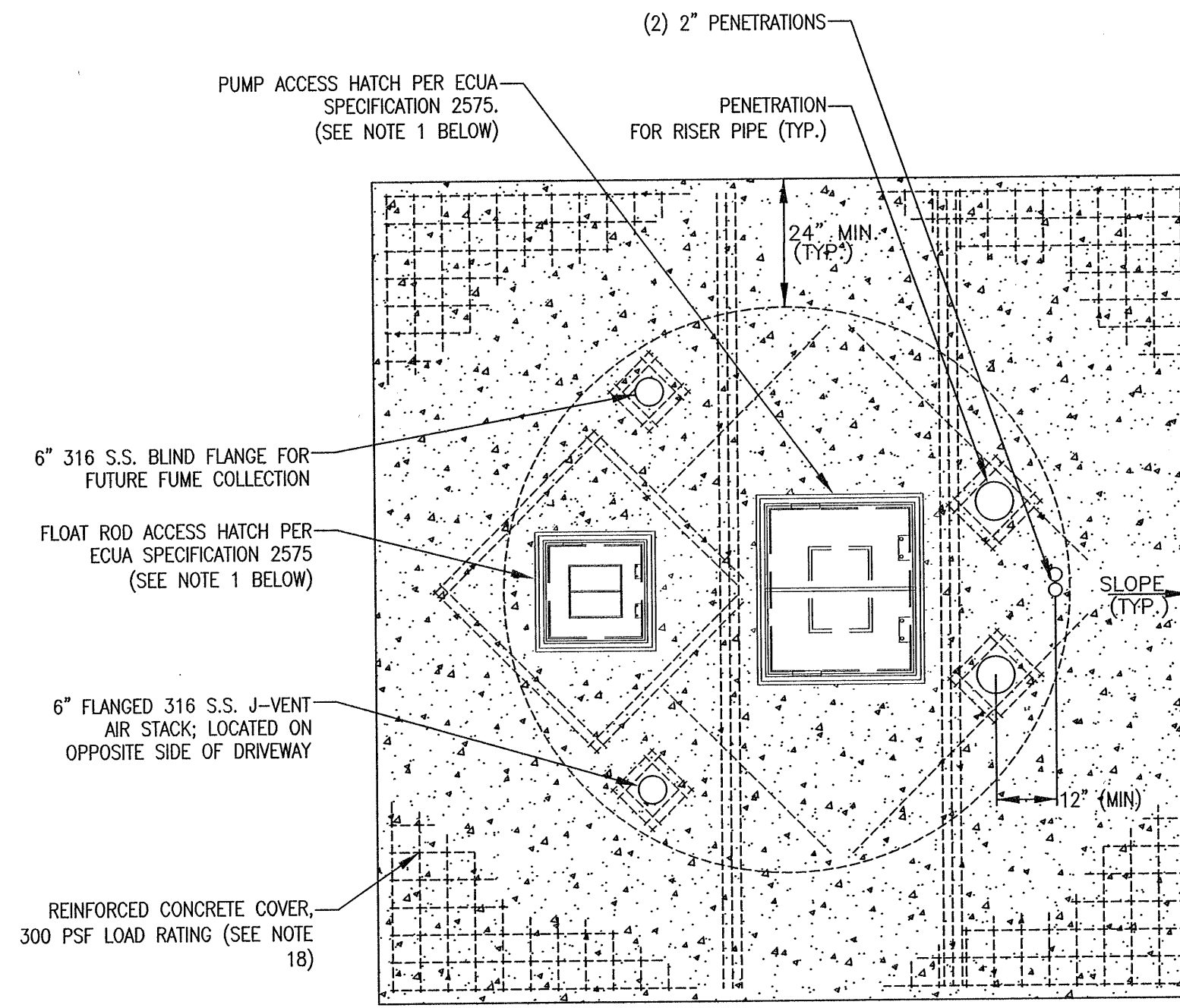
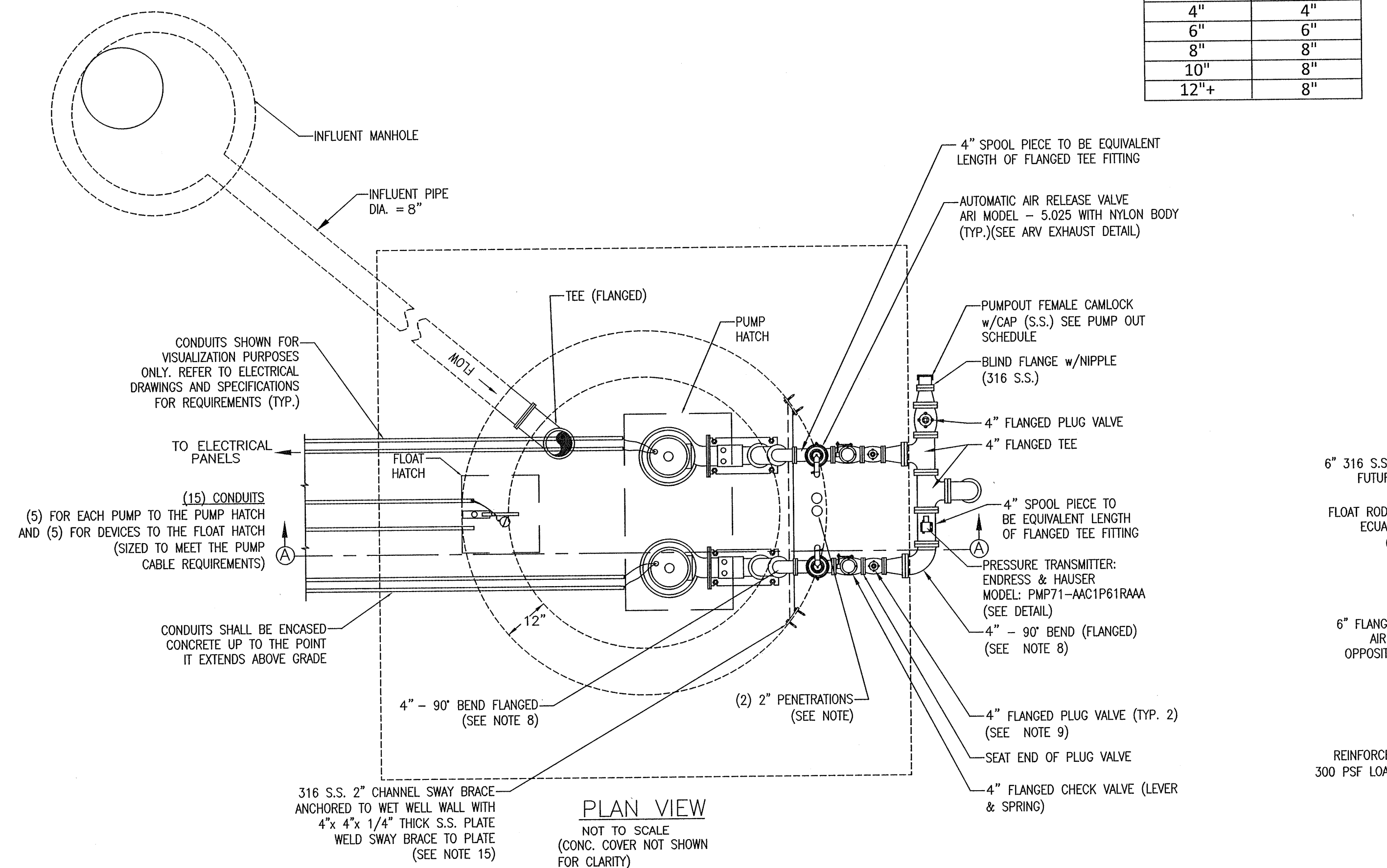
\_\_\_\_\_ Date \_\_\_\_\_

ECUA Lift Station Staff \_\_\_\_\_ Date \_\_\_\_\_

\_\_\_\_\_ Date \_\_\_\_\_

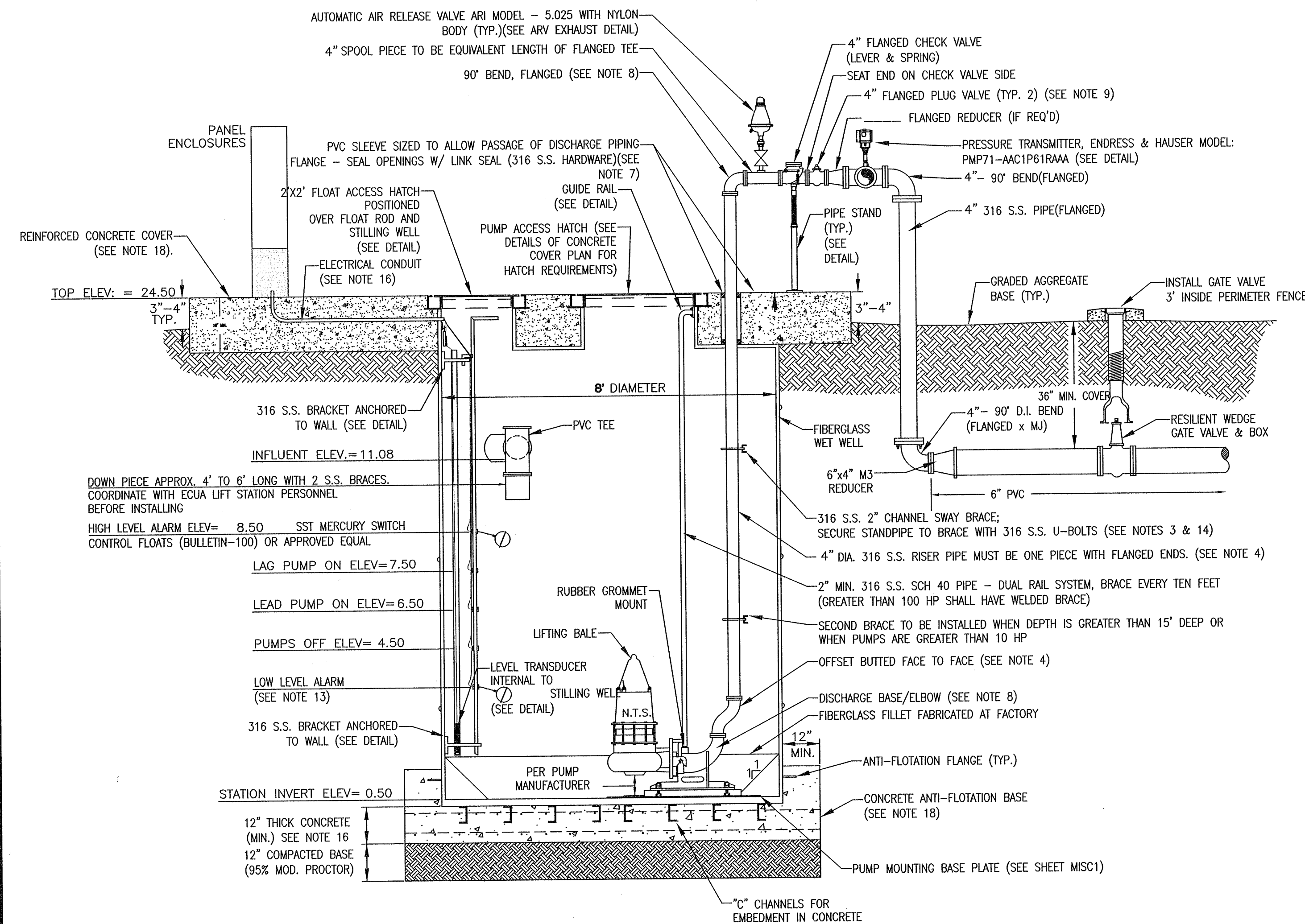
PUMP OUT SCHEDULE

DISCHARGE	CAMLOCK
4"	4"
6"	6"
8"	8"
10"	8"
12"+	8"



- NOTES:
- FAILURE TO PROVIDE HATCHES AS SPECIFIED IN SECTION 2575 WILL RESULT IN ECUA'S REJECTION OF ACCESS HATCH AND/OR WET WELL.
  - ALL ALUMINUM SURFACES IN CONTACT WITH CONCRETE SHALL BE COATED WITH A BITUMASTIC PAINT.

CONCRETE COVER PLAN  
 NOT TO SCALE



WET WELL  
 CROSS SECTION A-A  
 NOT TO SCALE

GENERAL LIFT STATION NOTES

- THE LOCATION OF INFLUENT LINES, WATER SUPPLY, ETC. ARE DRAWN OUT OF ORIENTATION ON SECTIONAL VIEW FOR CLARITY. SEE PLAN VIEW FOR PROPER ORIENTATION.
- ALL PENETRATIONS IN WET WELL WALL FOR PIPING, ELECTRICAL, ETC. SHALL BE SEALED & SLEEVED.
- TO PROTECT RISER PIPE FROM SWAY BRACE, EITHER WRAP PIPE WITH RUBBER SHEETING OR INSERT ALL U-BOLTS THROUGH RUBBER HOSE.
- PIPING WITHIN THE WET WELL SHALL BE FLANGED SCHEDULE 10 316 STAINLESS STEEL. INTERMEDIATE JOINTS SHALL BE WELDED. FITTINGS WITHIN THE WET WELL SHALL BE FLANGED 316 STAINLESS STEEL. ALL NUTS, BOLTS & ACCESSORIES WITHIN THE WET WELL SHALL BE 316 STAINLESS STEEL.
- PIPE AND FITTINGS OUTSIDE OF THE WET WELL AND ABOVE GROUND SHALL BE 316 STAINLESS STEEL (FLANGED, SCHEDULE 10). ALL WELD-ON FLANGES SHALL BE 125# RF SOCKET- WELD FLANGE OR RF WELD NECK FLANGE (TYPE). ALL BOLTS, WASHERS AND NUTS SHALL BE 316 STAINLESS STEEL AND SHALL BE COATED WITH "NEVER SEIZE" COMPOUND.
- THE ANNULAR SPACE BETWEEN CONCRETE COVER AND RISER PIPE SHALL BE SEALED VIA LINK SEAL.
- PROVIDE (2) 2\"/>

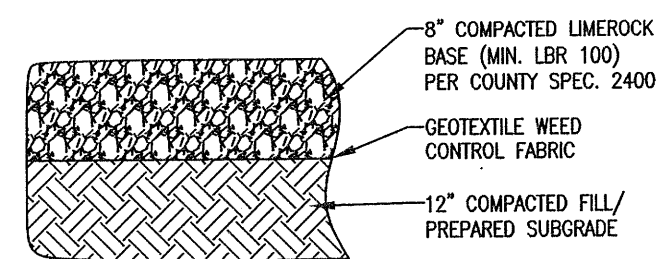
REVISIONS

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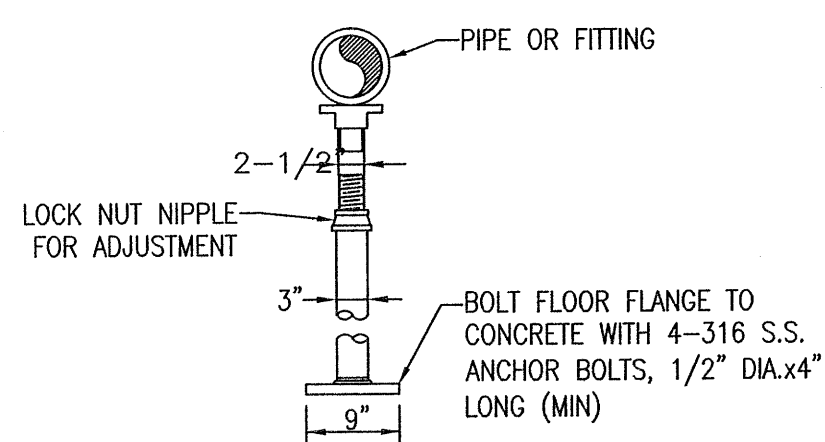
Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
 PREPARED FOR: Lennar Homes, LLC

LIFT STATION  
 DETAILS  
 Job No. 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL  
 SHEET NUMBER  
**12E**  
 SHEET BASED ON DS-3.1



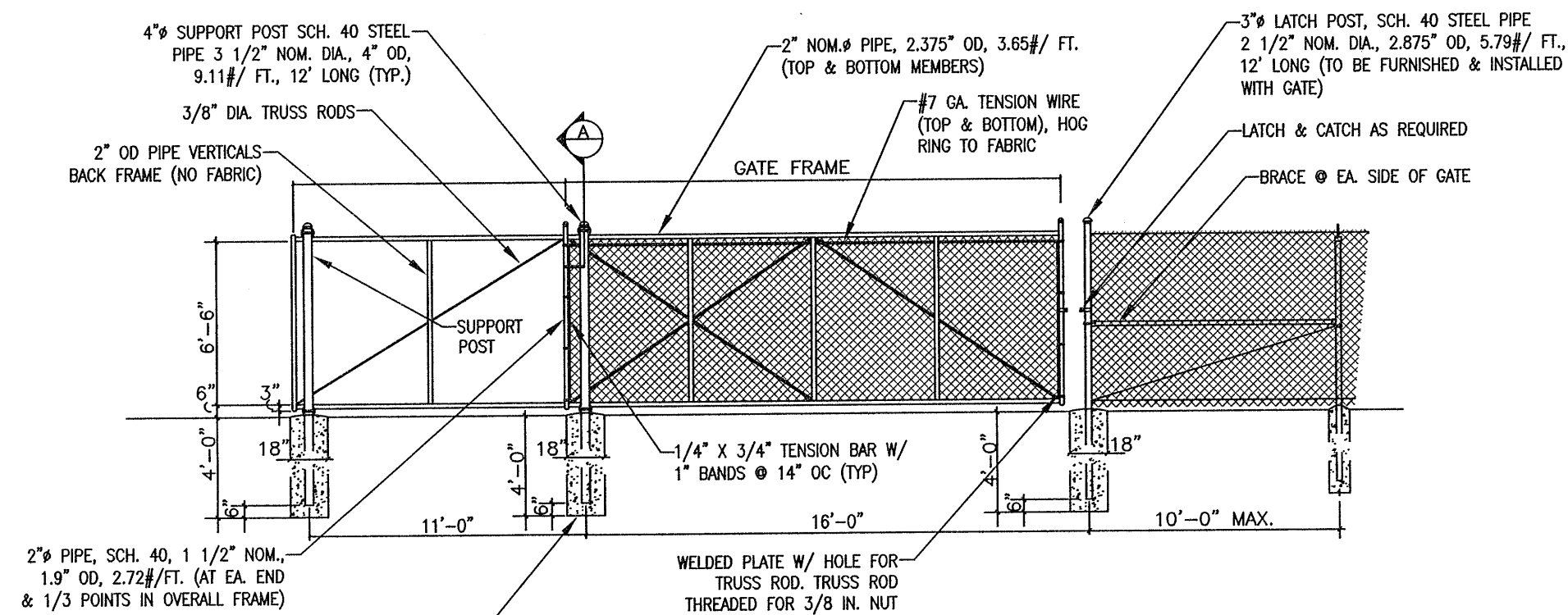
- NOTES:**
1. ALL DEPTHS ARE COMPACTED DEPTHS.
  2. PREPARE SUBGRADE BY CLEARING AND GRUBBING, STRIPPING TOPSOIL AND PLACING GEOTEXTILE FABRIC.
  3. FILL FOR LIFT STATION SITE SHALL BE SAND MECHANICALLY COMPACTED TO 95% MODIFIED PROCTOR DENSITY IN MAXIMUM 12-INCH LIFTS LOOSE MEASUREMENT TO ACHIEVE CORRECT GRADE.

**DS-4**  
**1** **GRADED AGGREGATE BASE DETAIL**  
NOT TO SCALE



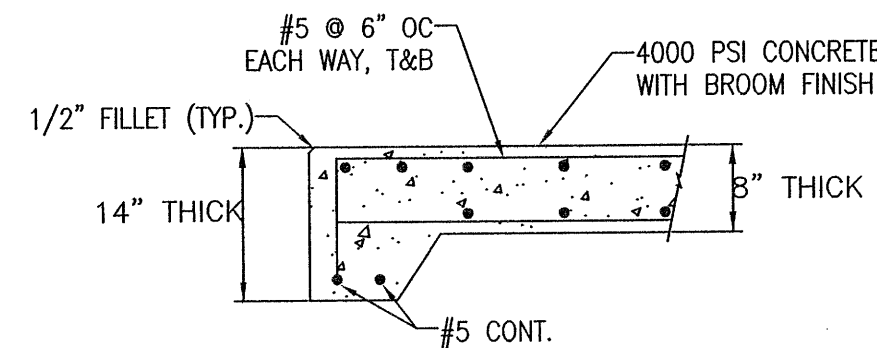
- NOTES:**
1. ADJUSTABLE PIPE SUPPORT "ANVIL" FIGURE 265" OR EQUAL.
  2. ALL SUPPORT MATERIALS SHALL BE 316 S.S.
  3. THE COMPONENTS OF THE VALVE SUPPORT SHALL BE ENLARGED AS APPROVED BY ECUA.
  4. FIT A PIPE STAND FOR EACH DISCHARGE PIPE; WET WELLS WITH A FLOW METER SHALL ALSO HAVE A PIPE STAND ON EACH SIDE OF THE FLOW METER.

**DS-4**  
**4** **ADJUSTABLE PIPE STAND DETAIL**  
NOT TO SCALE



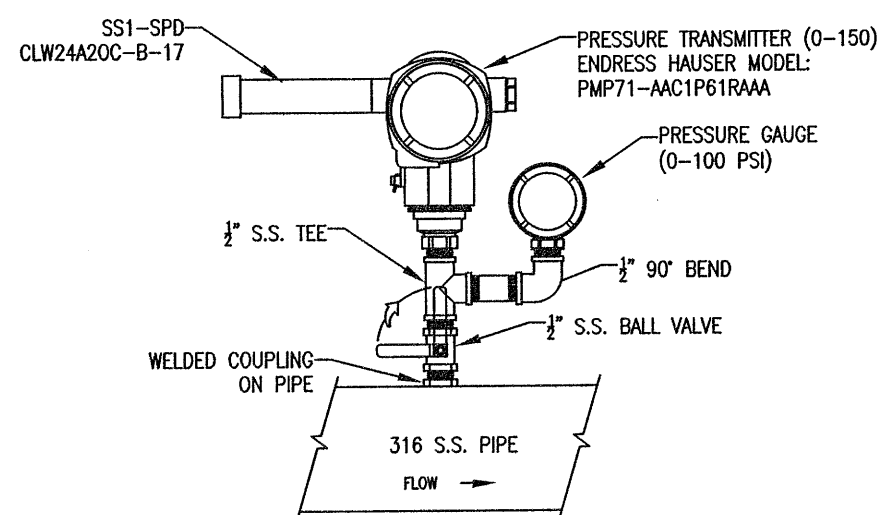
**NOTE:**  
NO FABRIC SHOWN IN FRONT OF BACK FRAME FOR CLARITY. PROVIDE BRACE @ MID-POINT EACH SIDE OF GATE WITH 3/8" DIA. TRUSS ROD IN BOTTOM HALF (NOT SHOWN FOR CLARITY)

**DS-4**  
**7** **CANTILEVERED GATE + FENCING DETAIL**  
NOT TO SCALE

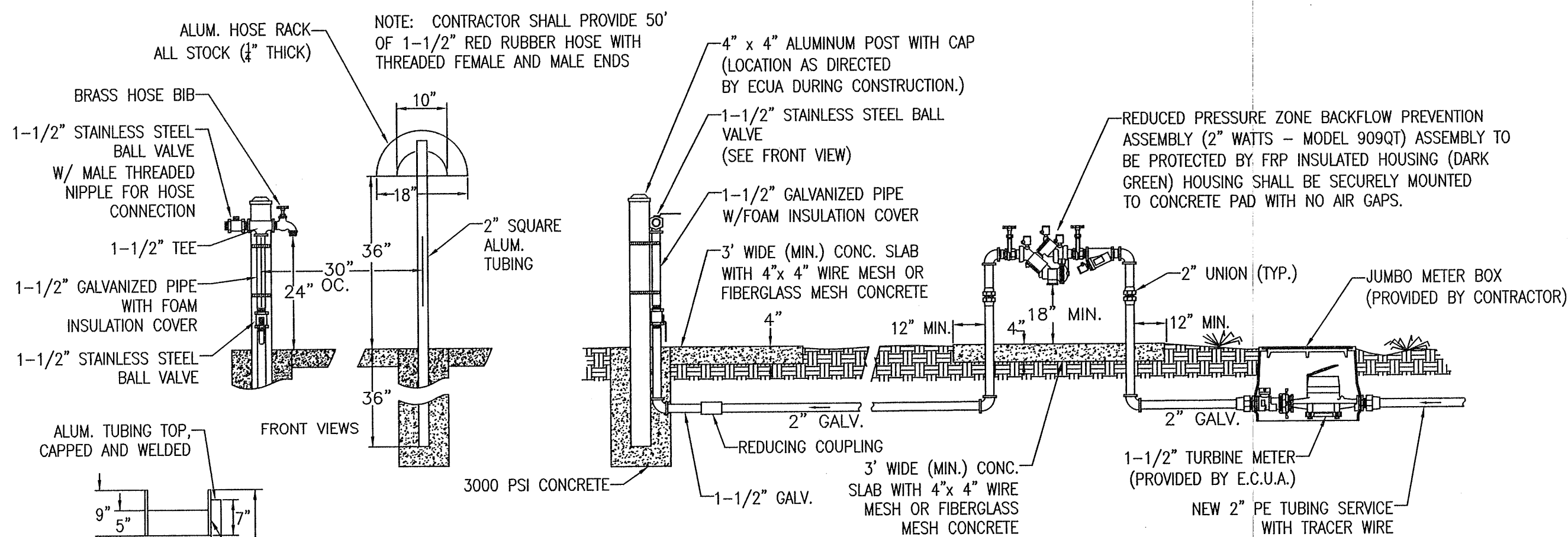


- NOTES:**
1. PAD DIMENSIONS PER PLANS.
  2. PROVIDE EXPANSION JOINTS AND CRACK RELIEF JOINTS PER ACI STANDARDS.

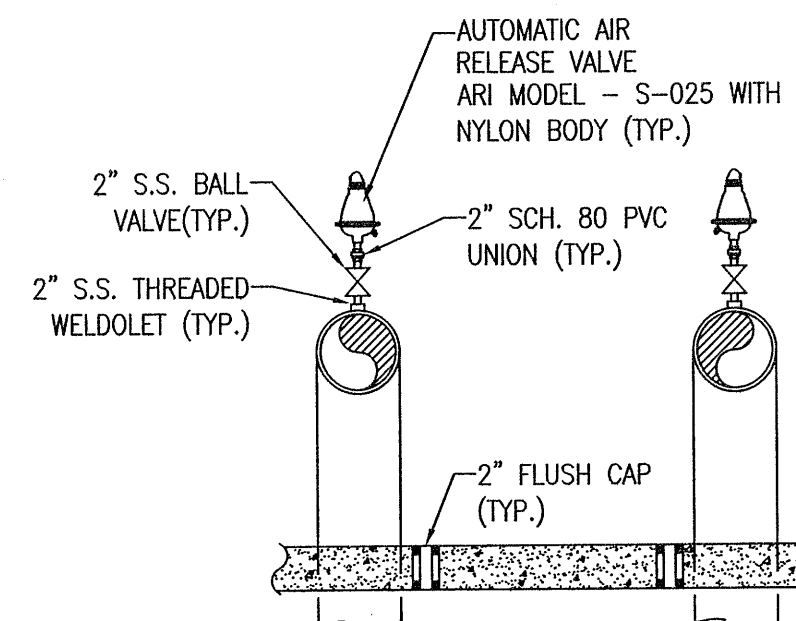
**DS-4**  
**2** **GENERATOR PAD DETAIL**  
NOT TO SCALE



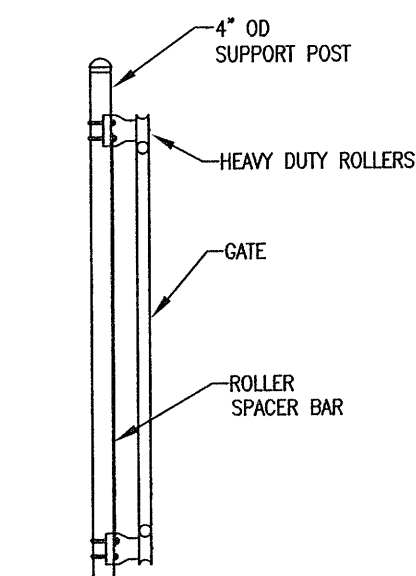
**DS-4**  
**5** **PRESSURE TRANSMITTER DETAIL**  
NOT TO SCALE



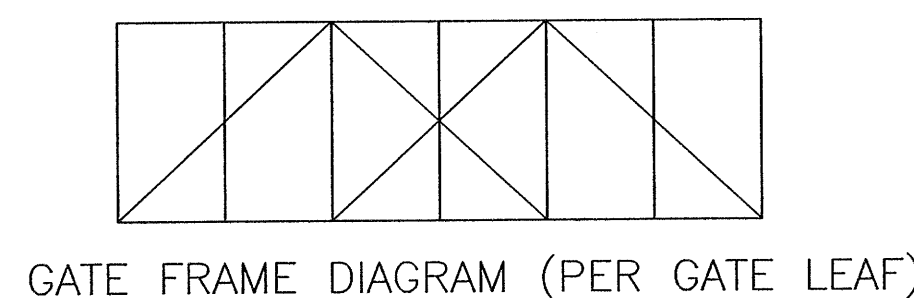
**DS-4**  
**3** **WASHDOWN STATION AND METER DETAIL**  
NOT TO SCALE



**DS-4**  
**6** **ARV EXHAUST DETAIL**  
NOT TO SCALE

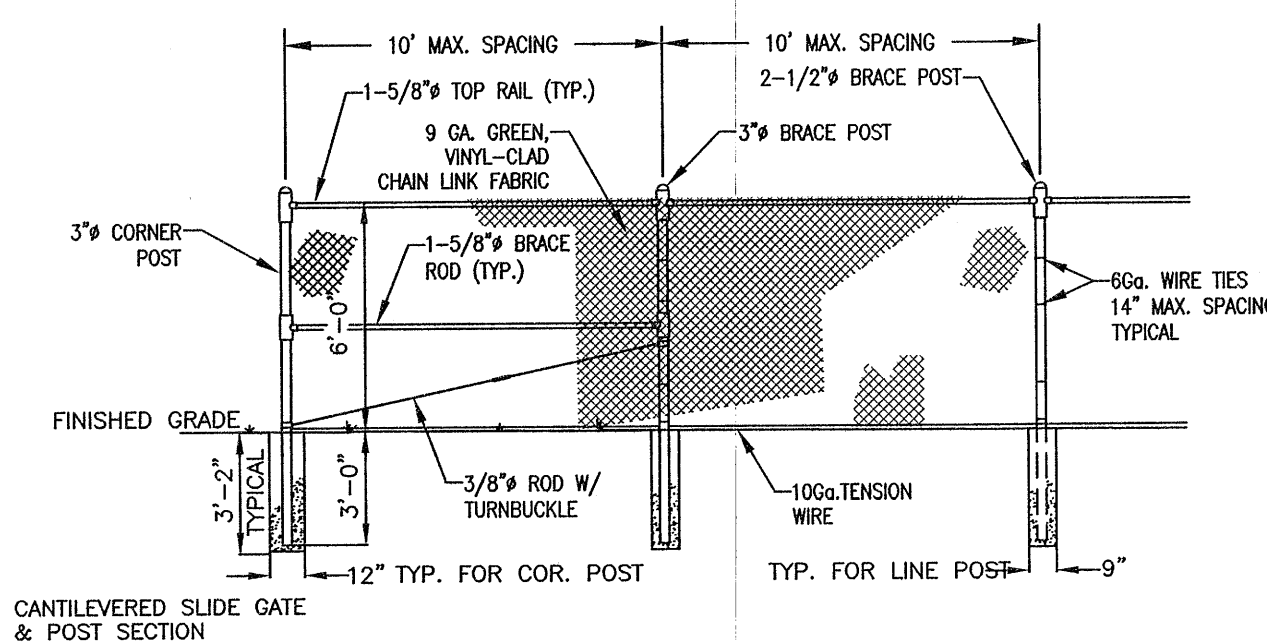


**DS-4**  
**7** **CANTILEVERED GATE + FENCING DETAIL**  
NOT TO SCALE



GATE OPENING	GATE FRAME	BACK FRAME
16'-0"	16'-3"	11'-0"

**CANTILEVERED SLIDE GATE DIMENSIONS PER GATE LEAF**



**6\"/>**

**REVISIONS**

Date	By	Description

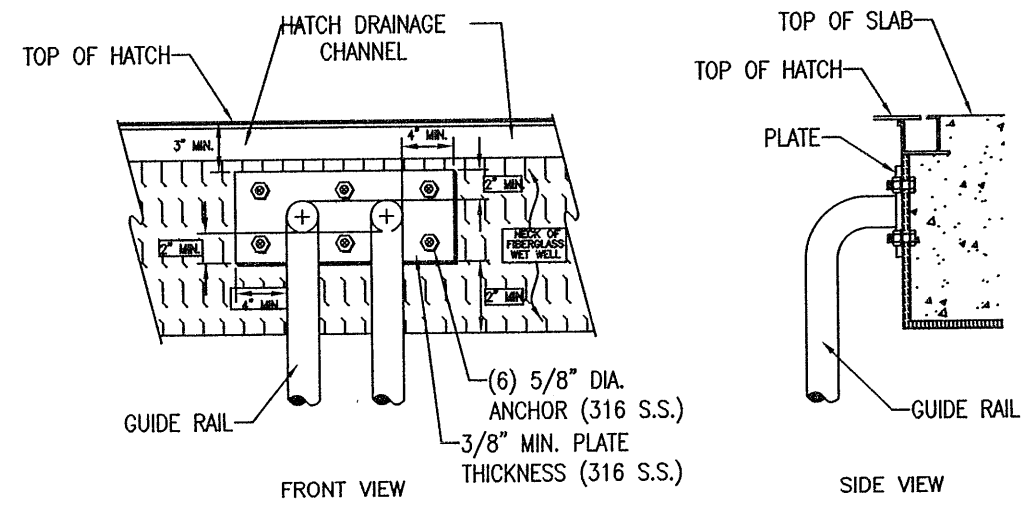
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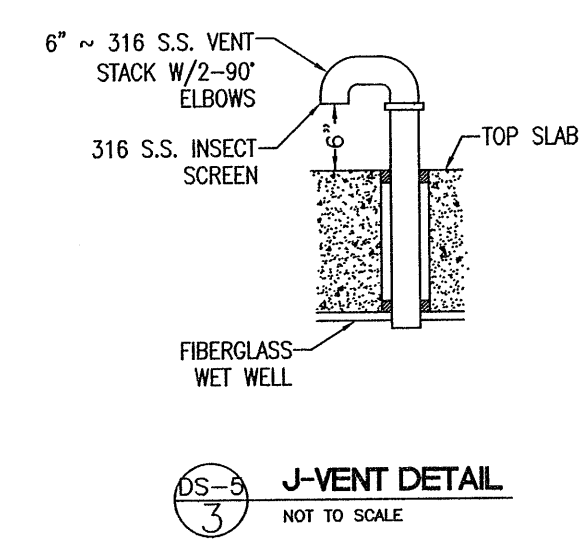
**LIFT STATION DETAILS**  
Job No. 23-183P  
Date: 5/24/2024  
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SHEET NUMBER  
**12F**

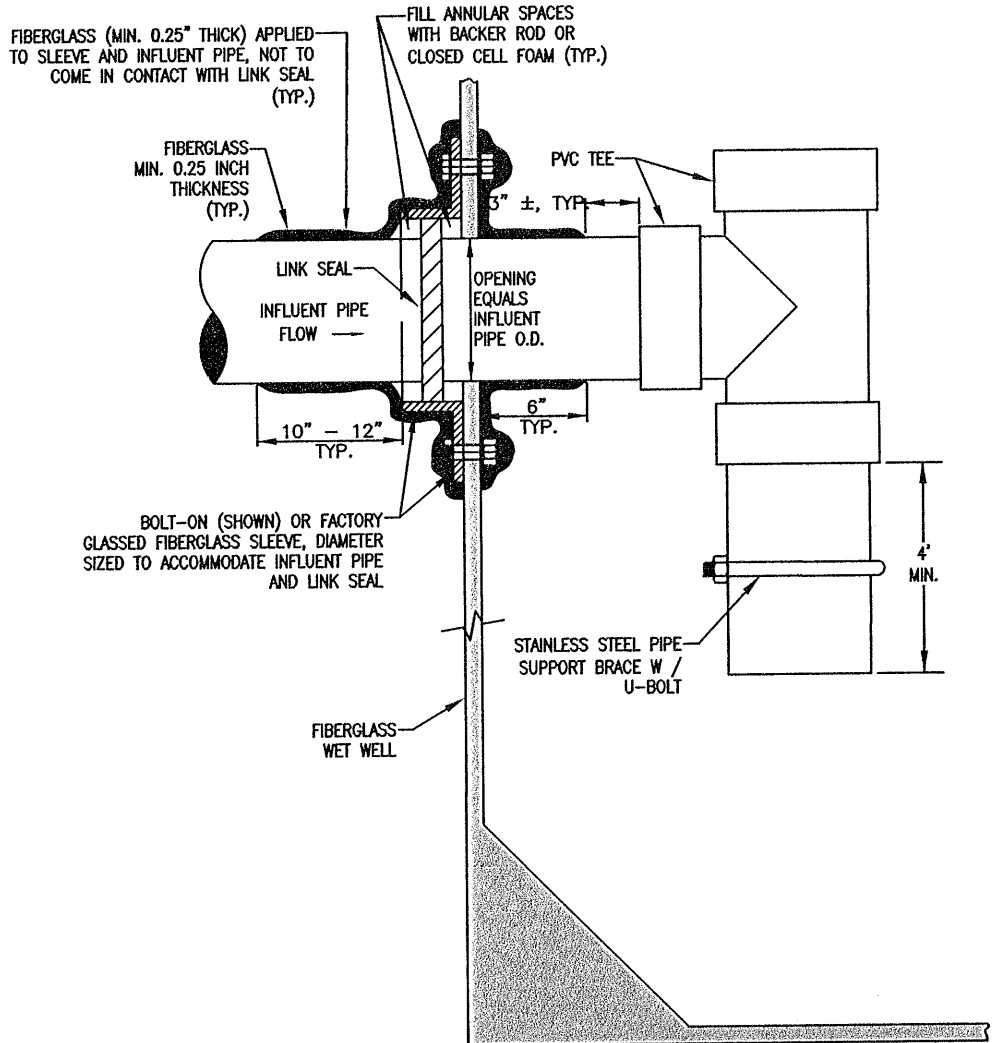


- NOTES
1. REQUIRE SUBMITTAL FOR "STYLE" OF RAIL ATTACHMENT.
  2. GUIDE RAILS TO BE 2" MIN. 316 S.S. WELDED OR BOLTED TO PLATE IN A MANNER ACCEPTABLE TO ECUA.

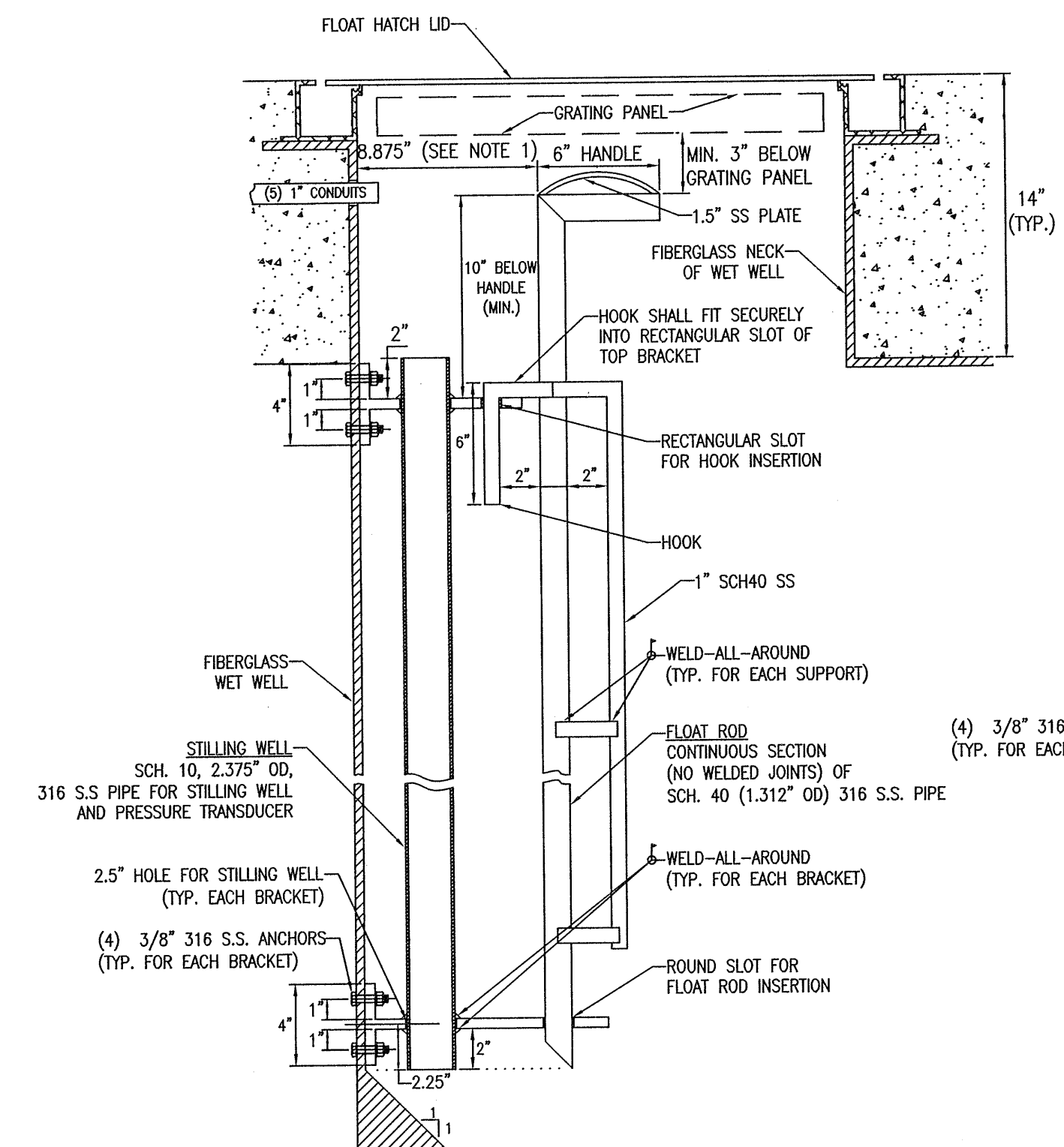
DS-3  
1  
GUIDE RAIL DETAIL  
NOT TO SCALE



DS-3  
3  
J-VENT DETAIL  
NOT TO SCALE

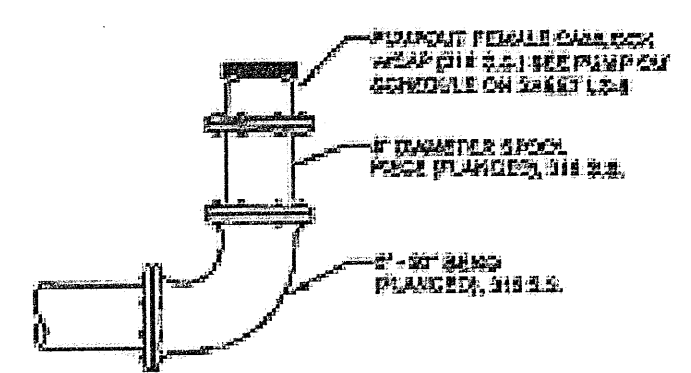
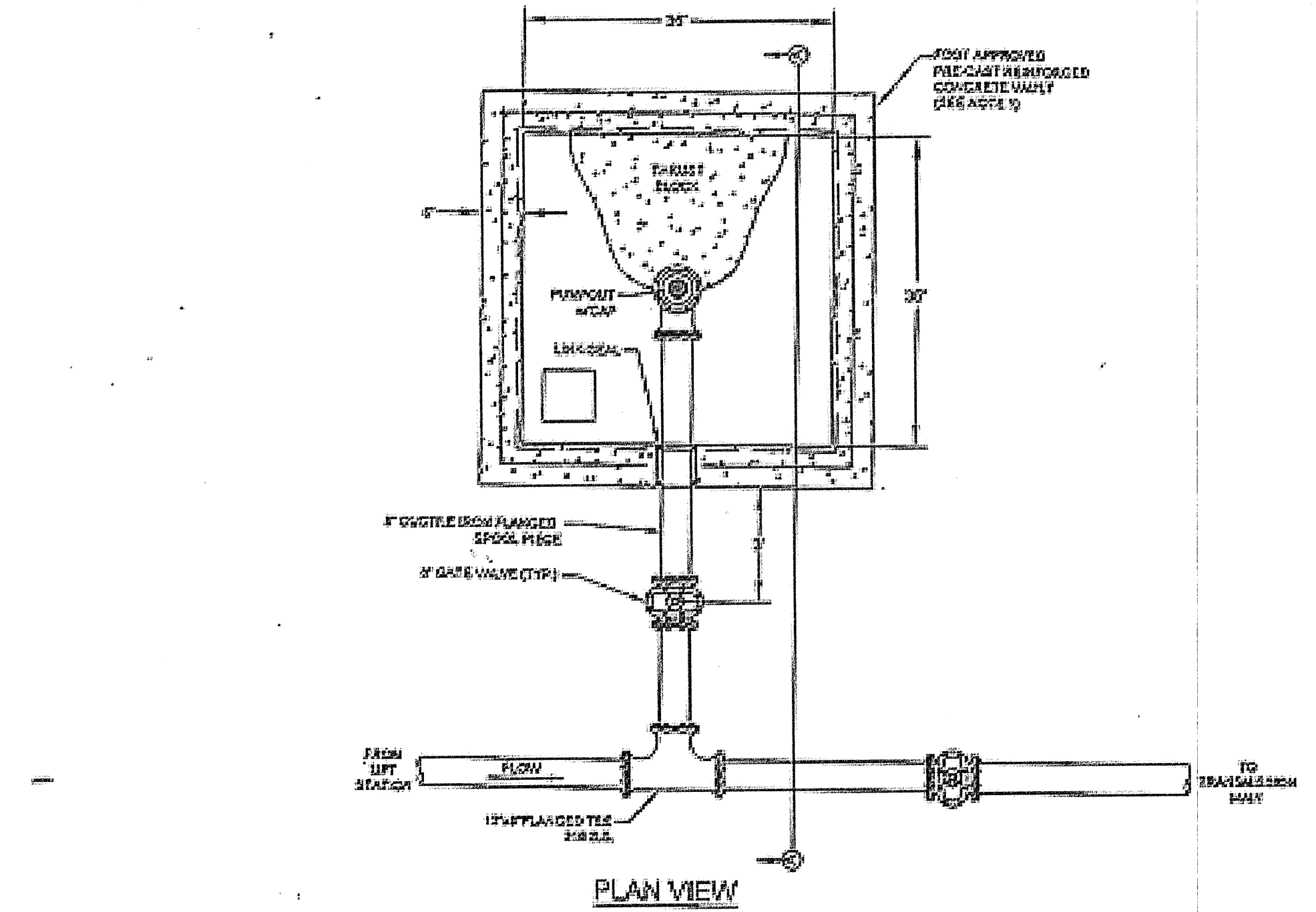
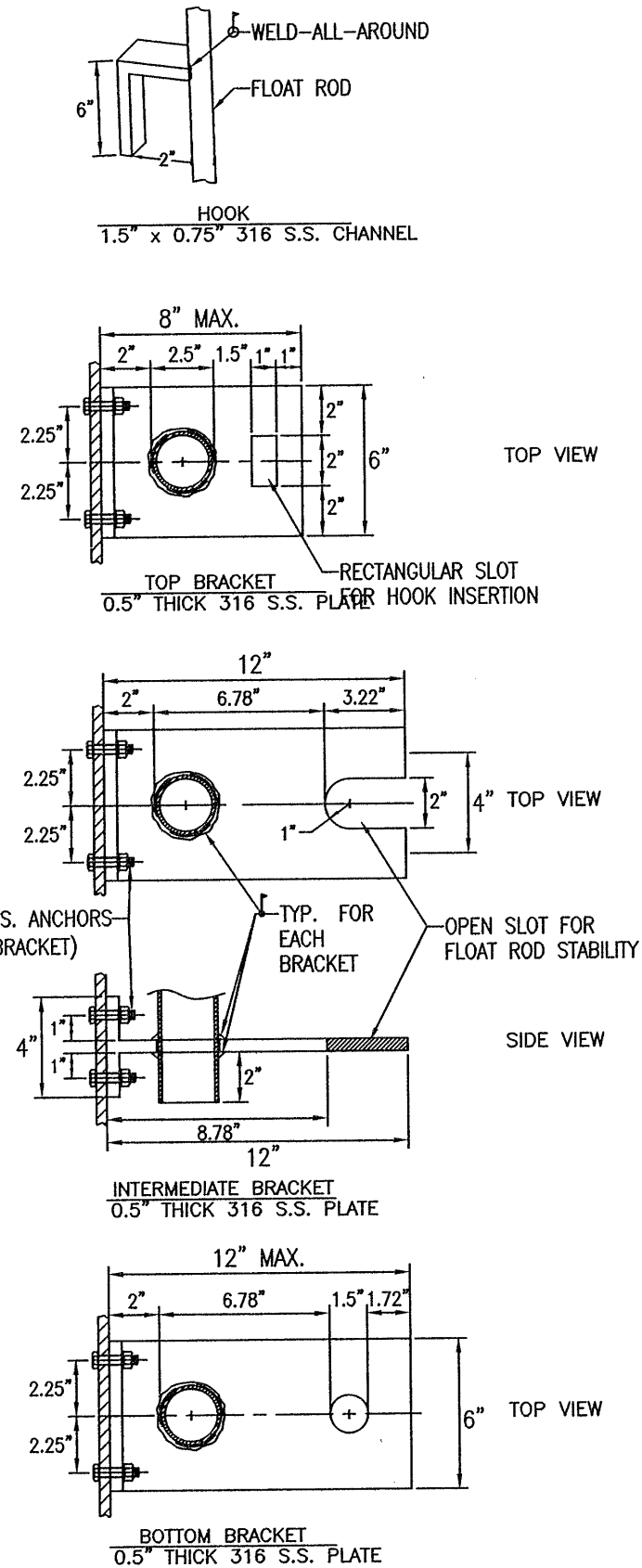


DS-3  
4  
INFLUENT PIPE CONNECTION DETAIL  
NOT TO SCALE

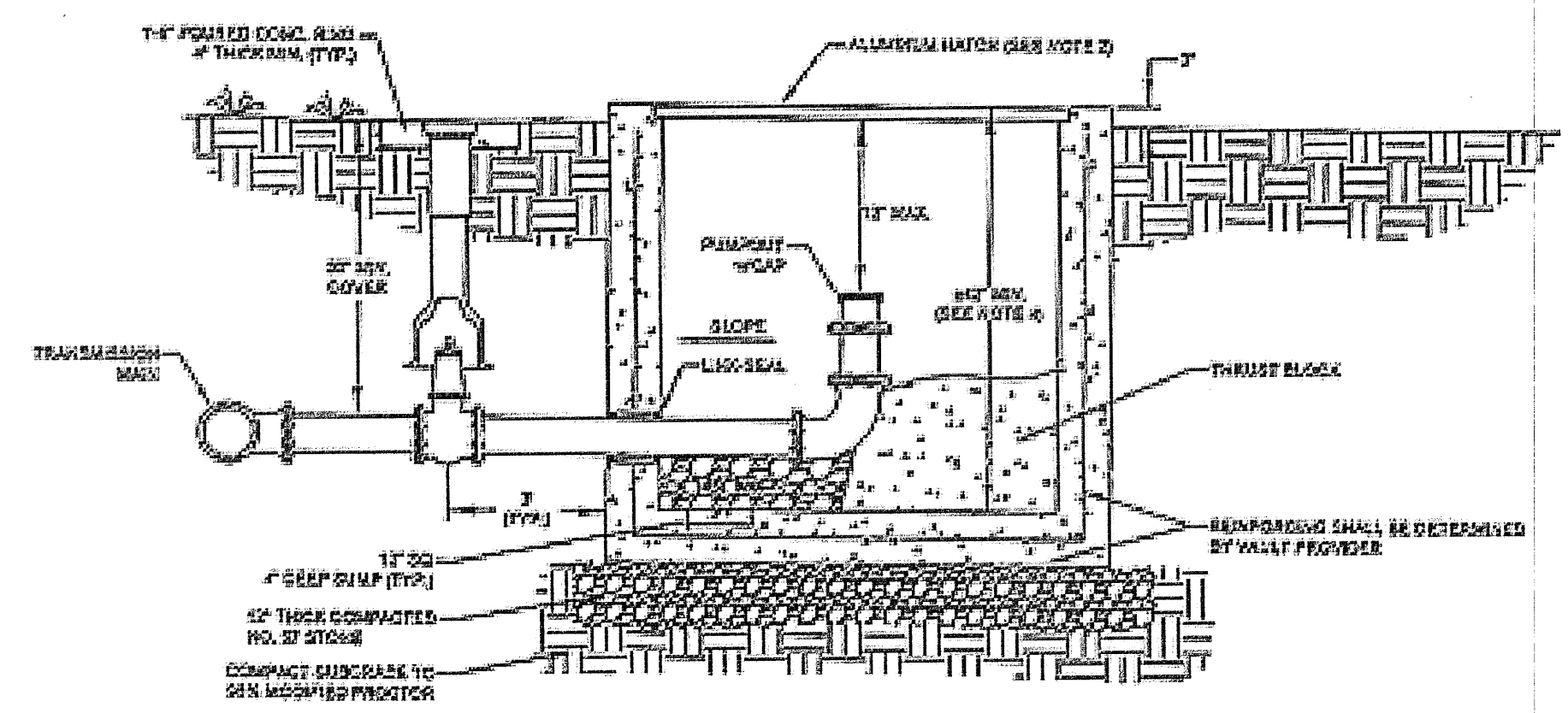


- NOTES
1. THE BRACKET DIMENSIONS PROVIDED WITH THIS DETAIL REQUIRE THE FIBERGLASS NECK (FOR HATCH) AND FLOAT ROD PLACEMENT TO BE POSITIONED PER THE DIMENSIONS SHOWN. SHOULD THE CONTRACTOR ALTER THE FIBERGLASS NECK AND FLOAT ROD PLACEMENT DIMENSIONS FROM WHAT IS SHOWN IN THIS DETAIL, THEN CONTRACTOR SHALL SUPPLY NEW BRACKET DRAWINGS WITH NEW DIMENSIONS AS PART OF SHOP DRAWING SUBMITTAL.
  2. SPACING BETWEEN BRACKETS SHALL NOT BE MORE THAN 10 FEET.

DS-3  
2  
MOUNTING BRACKETS FOR STILLING WELL AND FLOAT ROD  
NOT TO SCALE



PUMP-OUT W/CAP



CROSS SECTION 'A-A'

- NOTES
1. VAULT 6 HANDED HATCH SHALL BE RATED FOR 100 LB LOADS.
  2. 30" X 30" X 1/2" ALUMINUM ANGLE LEAD HATCH WITH HANGES LOCATED ON THE OPPOSITE SIDE OF DRIVE WITH 3/8" S.S. PADLOCK BAR, WELD-GRADE W/ALL AND SPRING ASSIST FEELERS.
  3. ALL EXPOSED FASTENING HARDWARE & TIE BARS SHALL BE 316 S.S.
  4. VAULT HEIGHT SHALL BE FIELD DETERMINED.
  5. GYNT HEIGHT OF VAULT PER EQUIN HANDLE COATING STANDARDS.

DS-3  
11  
PUMP-OUT VAULT DETAIL  
NOT TO SCALE

SHEET BASED ON DS-5

NO.	DATE	DESCRIPTION

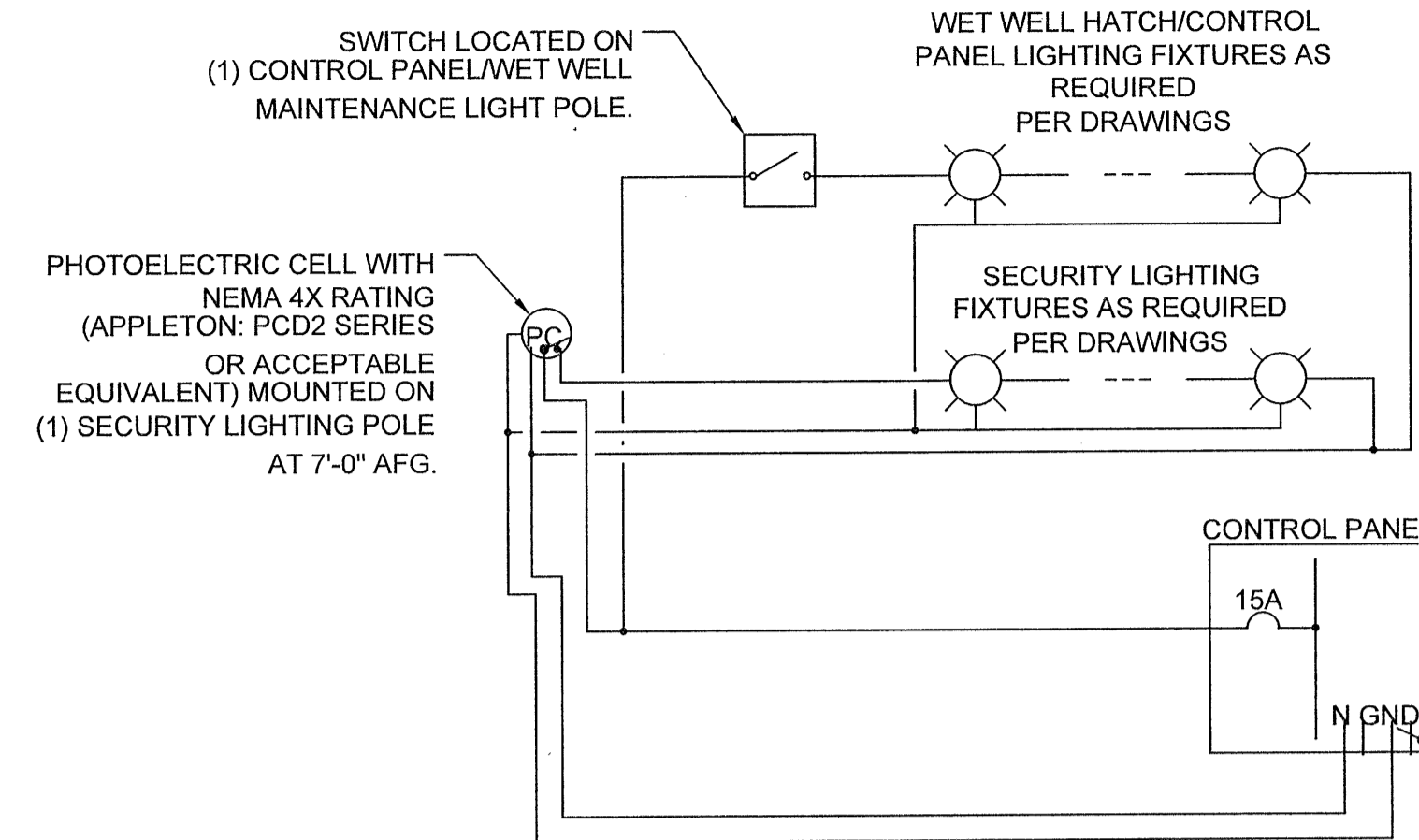
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PREPARED FOR: Lennar Homes, LLC

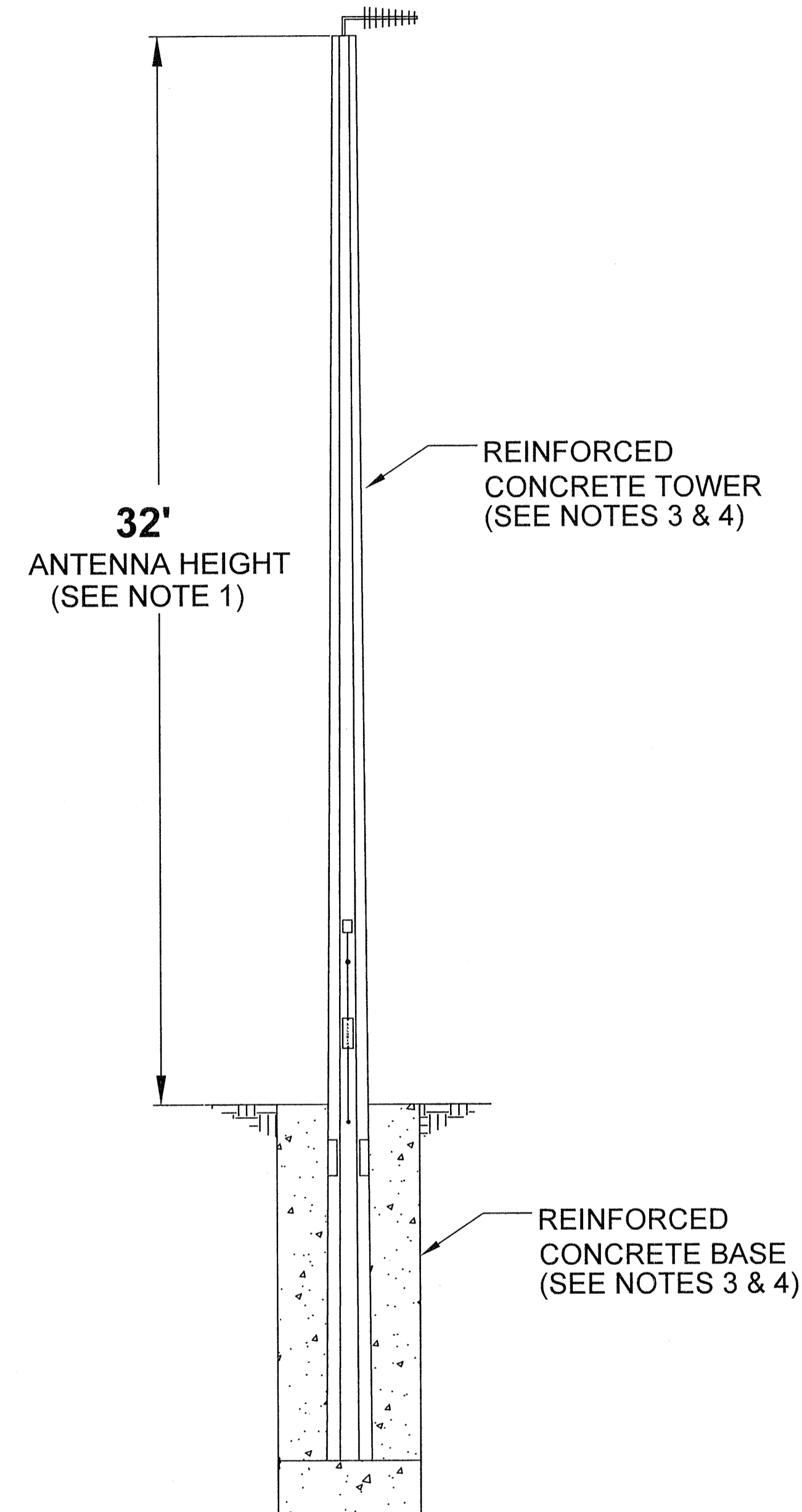
LIFT STATION DETAILS  
Job No. 23-183P  
Date: 5/24/2024  
Drawn By: CAB  
Checked By: ENL

SHEET NUMBER  
**12G**



DS-7  
1  
TYPICAL LIGHTING CONTROL DIAGRAM.  
NOT TO SCALE

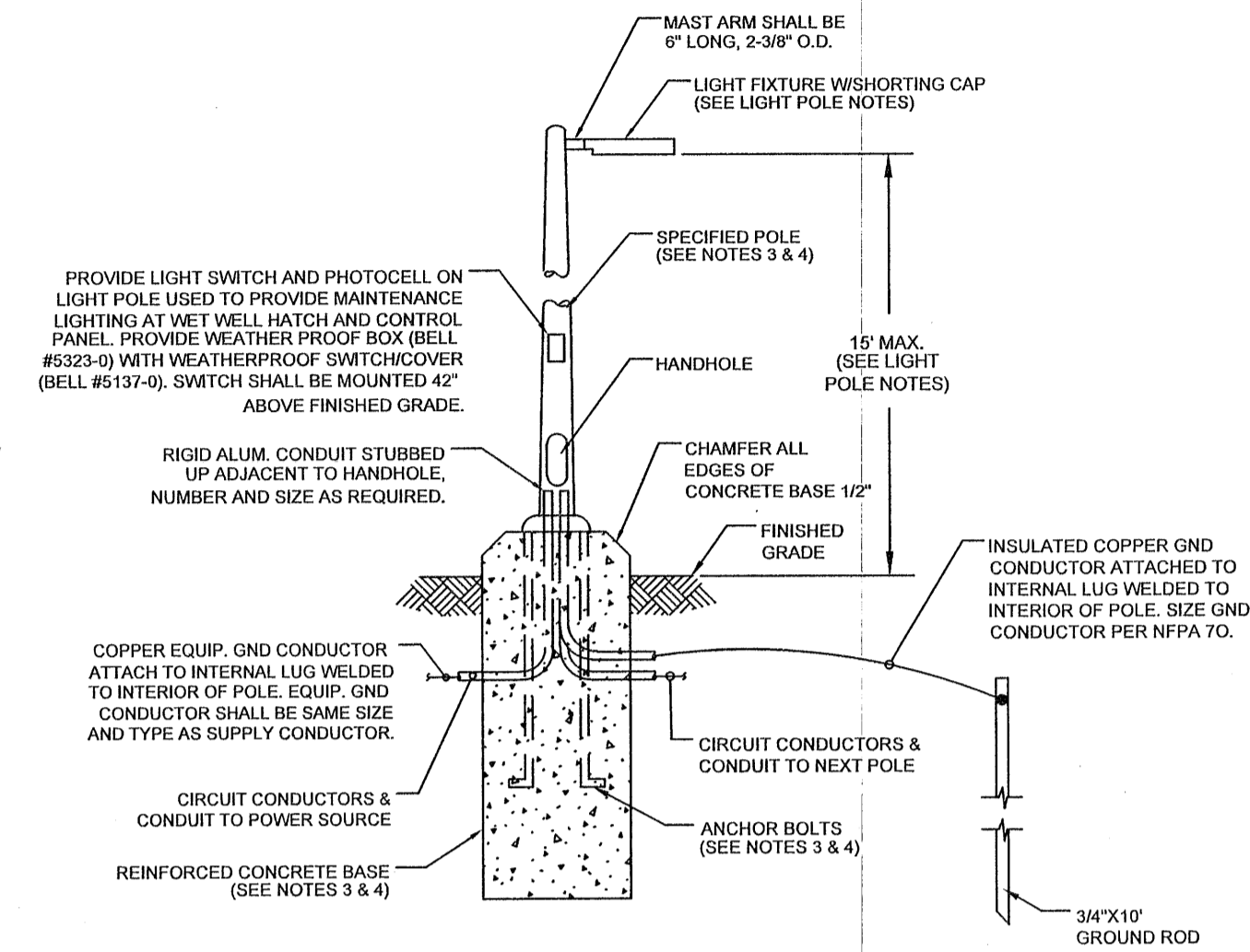
SHEET BASED ON DS-7



DS-6  
2  
CONCRETE TOWER/BASE FOR SCADA ANTENNA  
NOT TO SCALE

NOTES:

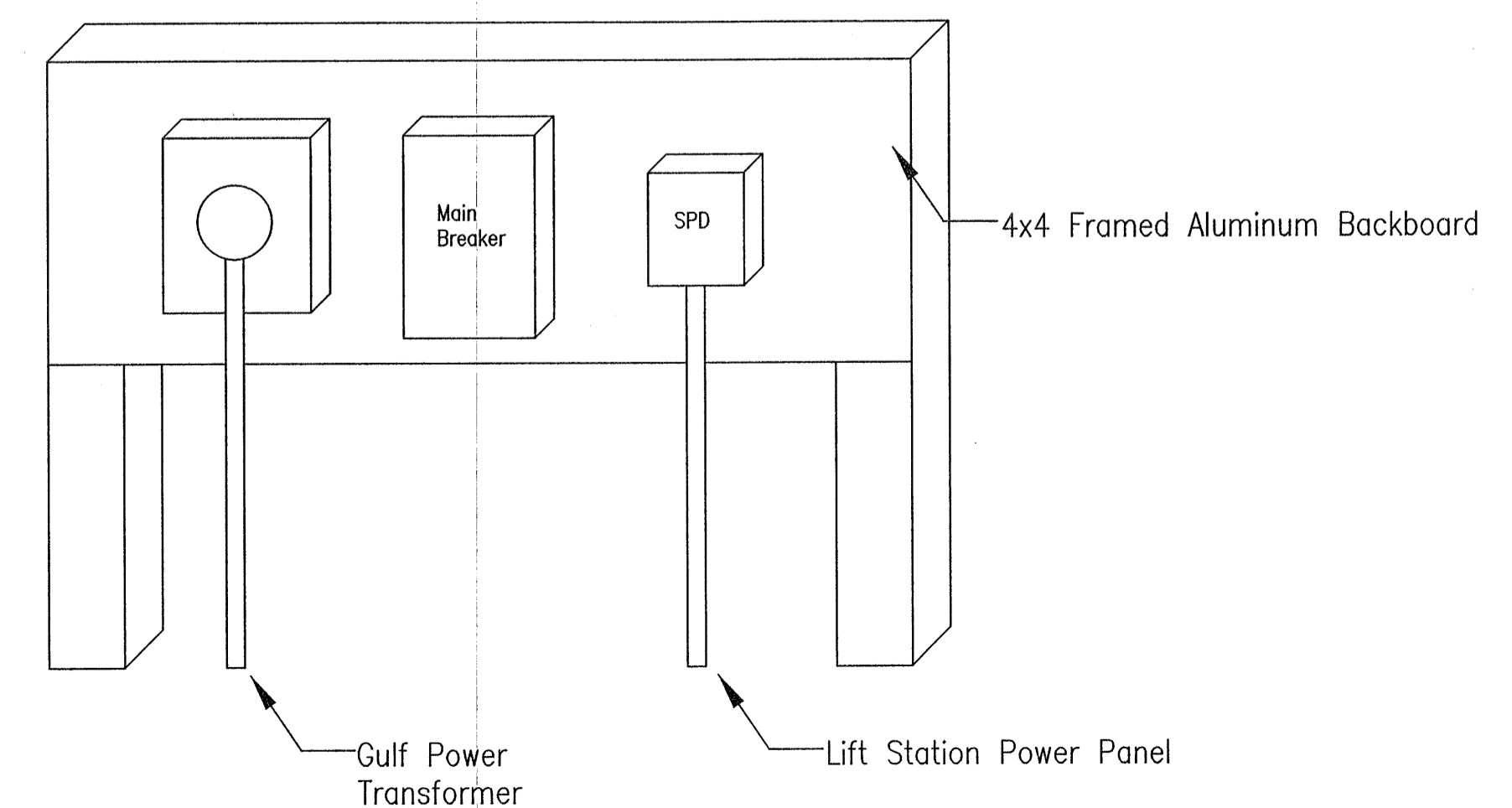
1. ANTENNA HEIGHT PER RADIO PATH STUDY.
2. CONTRACTOR CAN SELECT FROM EITHER ANTENNA TOWER OPTION. ROHN TOWER/BASE SHALL BE CONSTRUCTED PER DETAIL THIS SHEET, CONCRETE TOWER/BASE SHALL BE CONSTRUCTED PER DELEGATED ENGINEERING DOCUMENTS.
3. CONTRACTOR SHALL PROVIDE DESIGN PERFORMED BY FLORIDA LICENSED P.E. AND SHALL INCLUDE DESIGN IN DELEGATED ENGINEERING DOCUMENT.
4. FOR WIND LOAD CALCULATIONS, ASSUME WIND SPEED OF 164 MPH, EXPOSURE "D" PER ASCE 7-10/FBC 2010 WIND DATA, AS WELL AS LOOSE, SANDY SOILS.



DS-6  
3  
SECURITY LIGHT AND WORK LIGHT DETAIL  
NOT TO SCALE

LIGHT POLE NOTES:

- A. FIXTURE SHALL BE LED, (RAB - ALED-13Y FOR GATE & ALED 18Y FOR WET WELL), 120V, WITH PHOTOCONTROL & SWITCH, POLE MOUNTED @ 42" (OR ENGINEER APPROVED EQUAL)
- B. REFER TO SPECIFICATIONS SECTION 16521 "EXTERIOR LIGHTING" FOR ADDITIONAL REQUIREMENTS.
- C. LIGHT FIXTURES SHALL BE MOUNTED AT 15'-0" (MAXIMUM) ABOVE FINISHED GRADE.
- D. LIGHTING FIXTURE LAYOUT SHALL BE BASED UPON ACHIEVING 1 FOOT CANDLES (+/- 20%) AT THE FRONT OF THE CONTROL PANEL (WORK-PLANE OF 24" AFG) AND AT THE WET WELL ACCESS HATCH (WORKPLANE OF 0" AFG).
- E. GENERAL SECURITY LIGHTING SHALL ENCOMPASS ACCESS GATE AND ALL PIPING/EQUIPMENT AT A MIN: AVERAGE 1 FOOT-CANDLE (+/- 20%, AT WORKPLANE OF 0" AFG).
- F. REFER TO LIGHTING CONTROL DIAGRAM ON SHEET DS-7 FOR ADDITIONAL REQUIREMENTS.
- G. ELECTRICAL SERVICE FOR POWER METER AND MAIN DISCONNECT WILL BE PLACED UNDERGROUND.



POWER METER AND MAIN DISCONNECT BACKBORAD  
NOT TO SCALE

SHEET BASED ON DS-6

REVISIONS	Date	By

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LIFT STATION DETAILS  
Job No. 23-183P  
Date: 5/24/2024  
Drawn By: CAB  
Checked By: ENL

SHEET NUMBER  
**12H**



## EOR's Summary of Performance and Design Criteria for Contractor's Delegated Engineering Documents

This sheet acts as a summary only. Contractor is required to thoroughly examine the remainder of these plans as well as ECUA's Engineering Manual for all performance and design criteria, which as a whole, is considered sufficient for Contractor's use in bidding and coordinating professional design services for the development of Contractor's Delegated Engineering Documents.

Delegated Engineering Design	EOR Supplied Design Criteria	Applicable Design Standards
Fiberglass Wet Well	Diameter (feet): 8' Depth (feet): 24.00'	Plans, ECUA Engineering Manual, ASTM D3753, Fiberglass Manufacturer's Recommendations
Pump Mounting Baseplate	See Wet Well dimensions above and List of Allowable Pumps on Pump Selection Worksheet	Plans and ECUA Engineering Manual
Anti-flotation Concrete Base	See Wet Well dimensions above	Plans and ECUA Engineering Manual
Concrete Cover	See Site Plan for cover dimensions	Plans and ECUA Engineering Manual
Control Panel Base	See Control Panel information above and Site Plan for location	Plans and ECUA Engineering Manual
Electrical Control Panels	Panel Layout: <input type="checkbox"/> Abutting <input type="checkbox"/> Linear Service Voltage: <input checked="" type="checkbox"/> 480V <input type="checkbox"/> 240V Starter Type: <input type="checkbox"/> FVNR <input type="checkbox"/> RVSS <input type="checkbox"/> VFD	Plans, ECUA Engineering Manual, and ECUA Design Standard Drawings DS-xx through DS-xx
Work/Security Light Poles and Bases	See Plans	Plans and ECUA Engineering Manual
Concrete Pole and Base for SCADA Antenna (if applicable)	Antenna Height (feet): 32'	Plans and ECUA Engineering Manual

Date: ---
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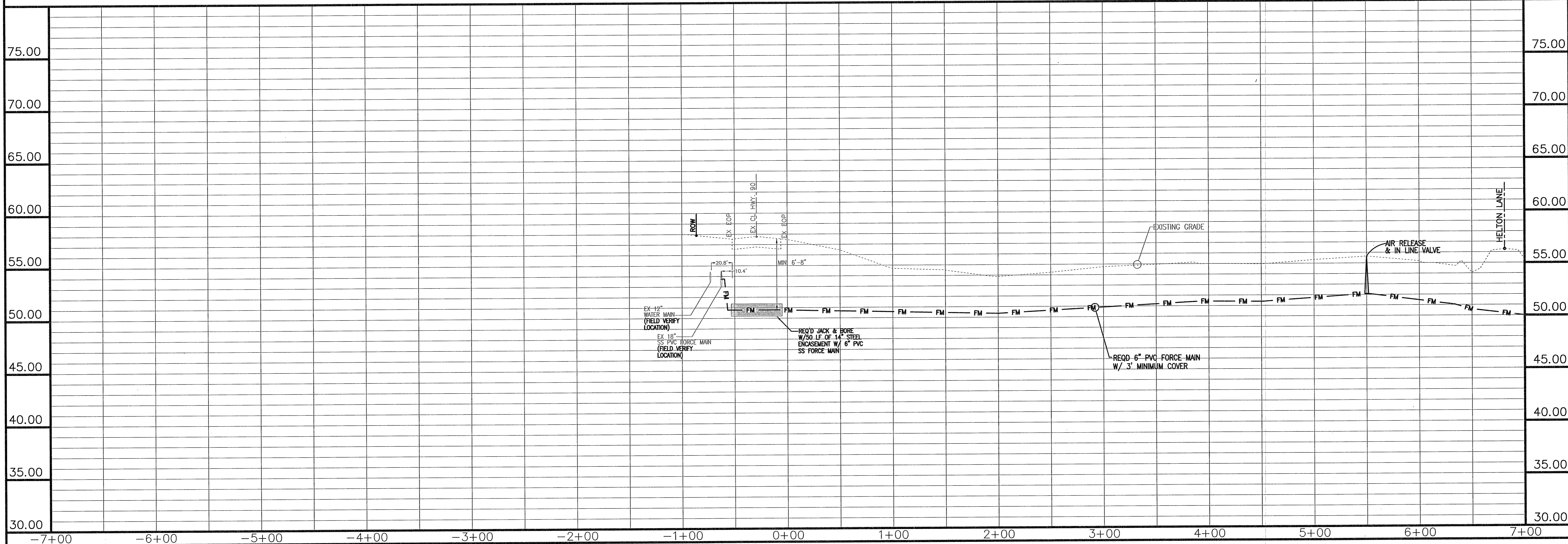
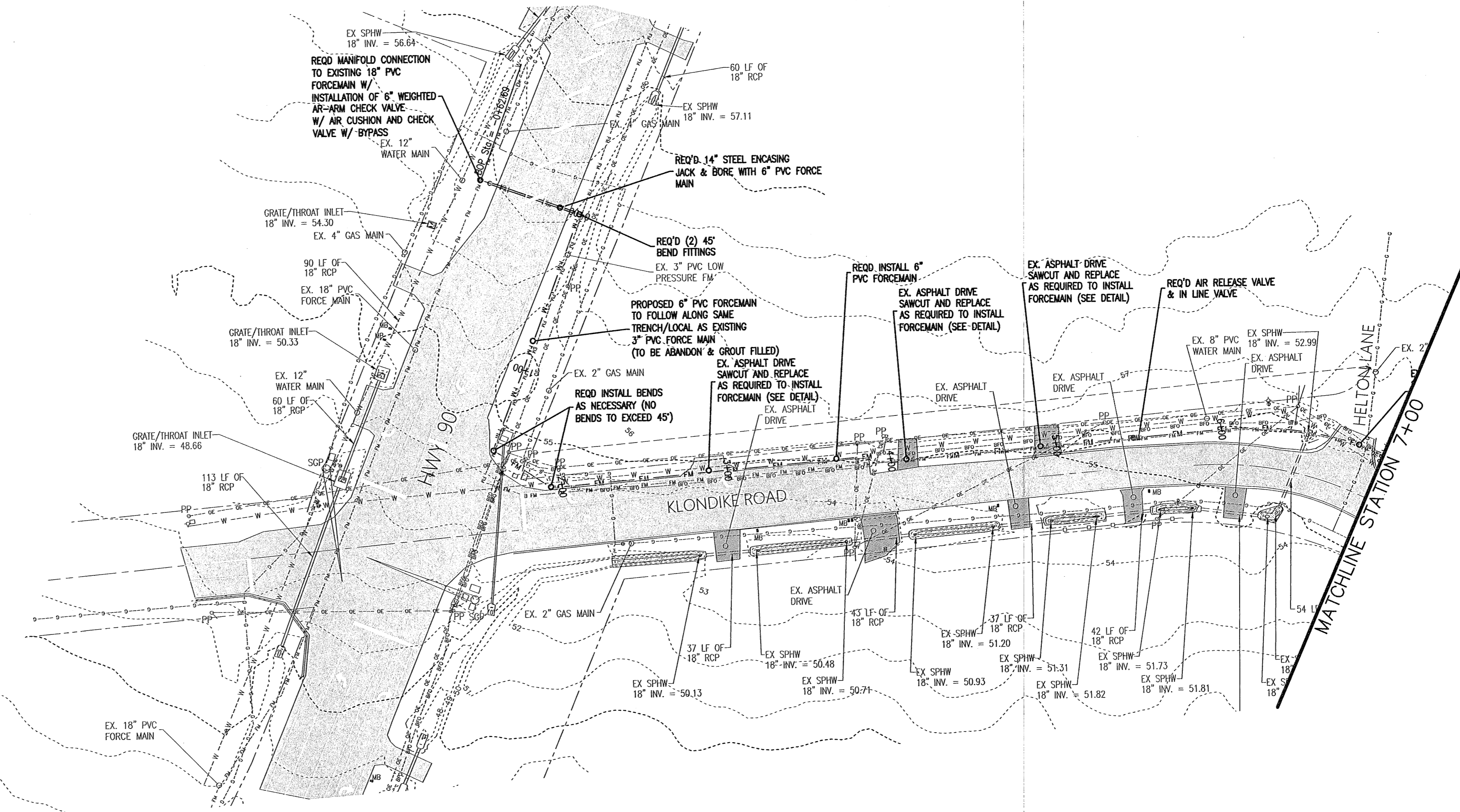
LIFT STATION  
 DETAILS

Job No: 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER  
121



SCALES:  
 1" = 50' HOR  
 1" = 5' VER



REVISIONS	
Date: ---	By: ---
Date: ---	By: ---
Date: ---	By: ---
Date: ---	By: ---
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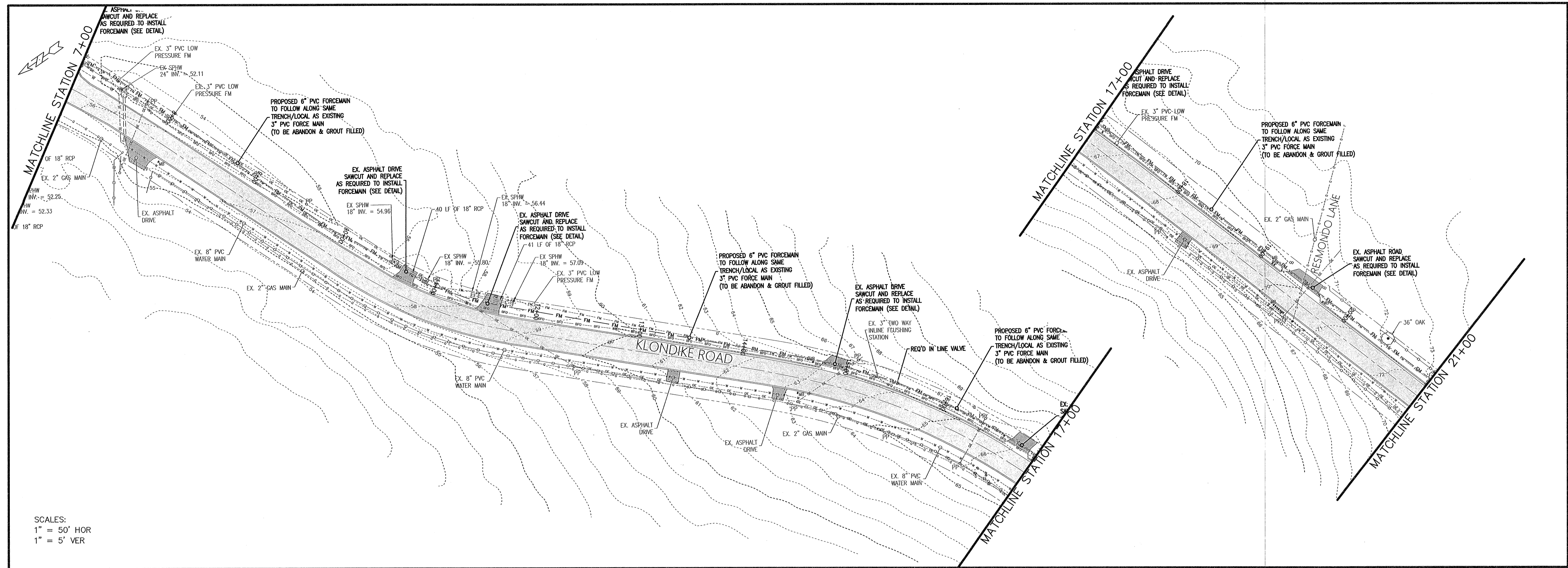
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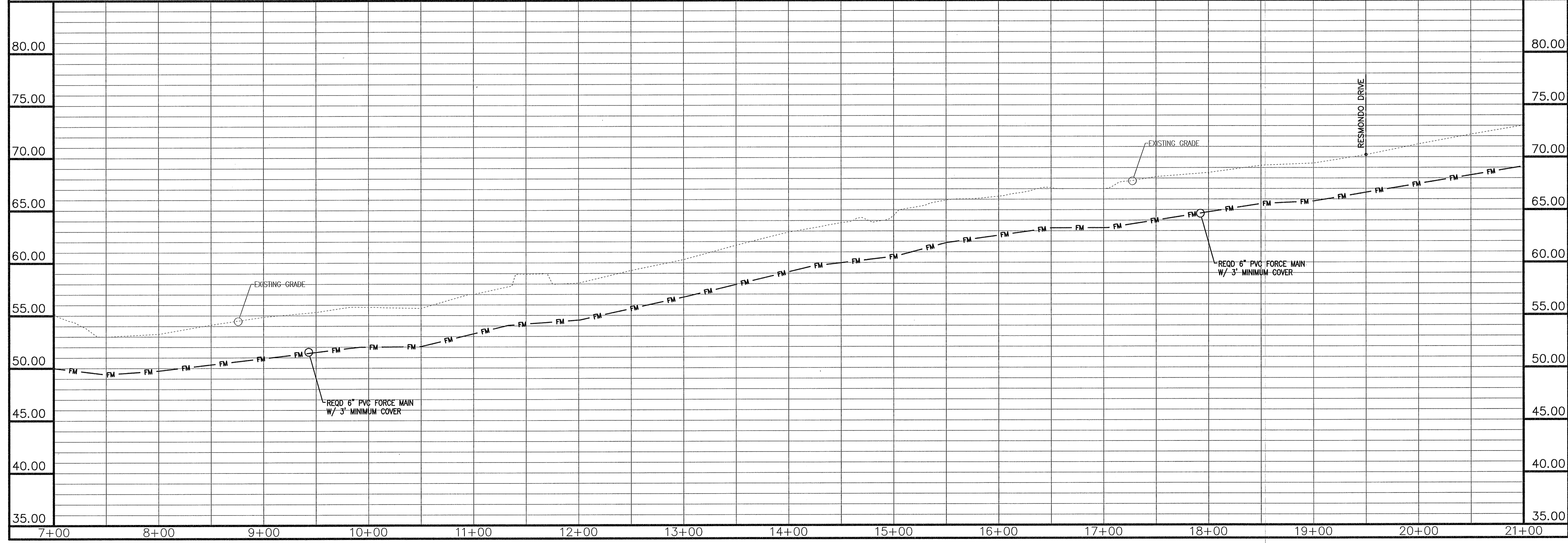
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 PREPARED FOR: Lennar Homes, LLC

OFF SITE FORCE  
 MAIN PLAN &  
 PROFILE  
 Job No. 23-183P  
 Date: 7/23/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER  
**12J**



SCALES:  
1" = 50' HOR  
1" = 5' VER



NO.	DATE	REVISIONS

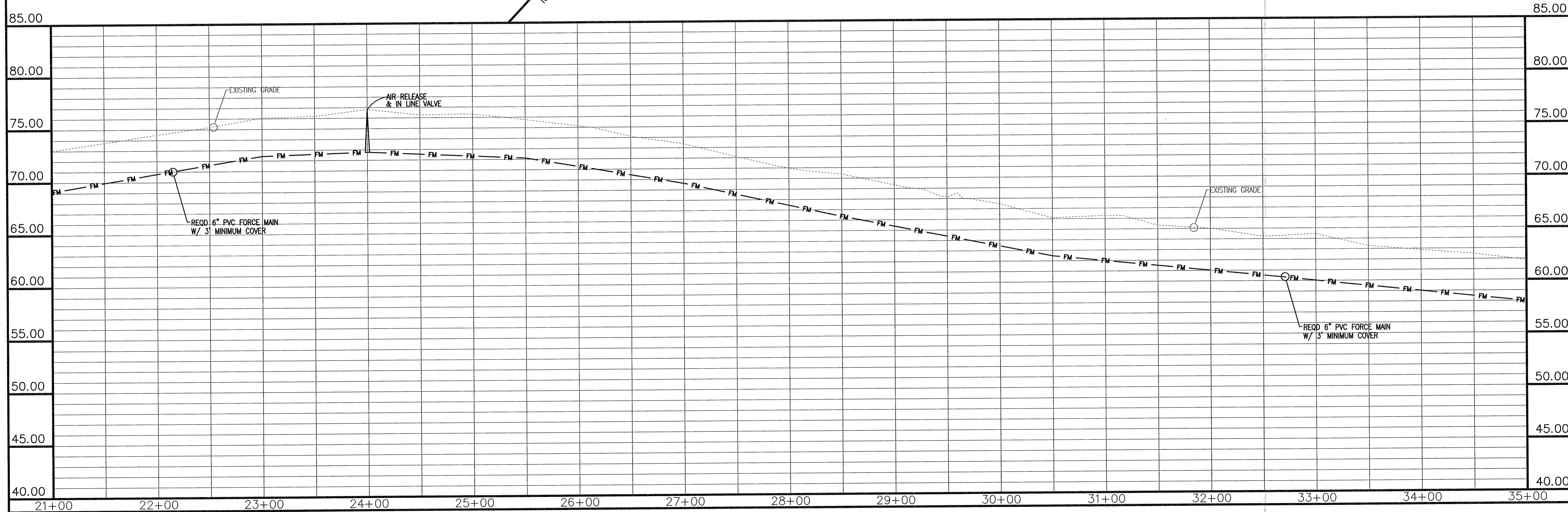
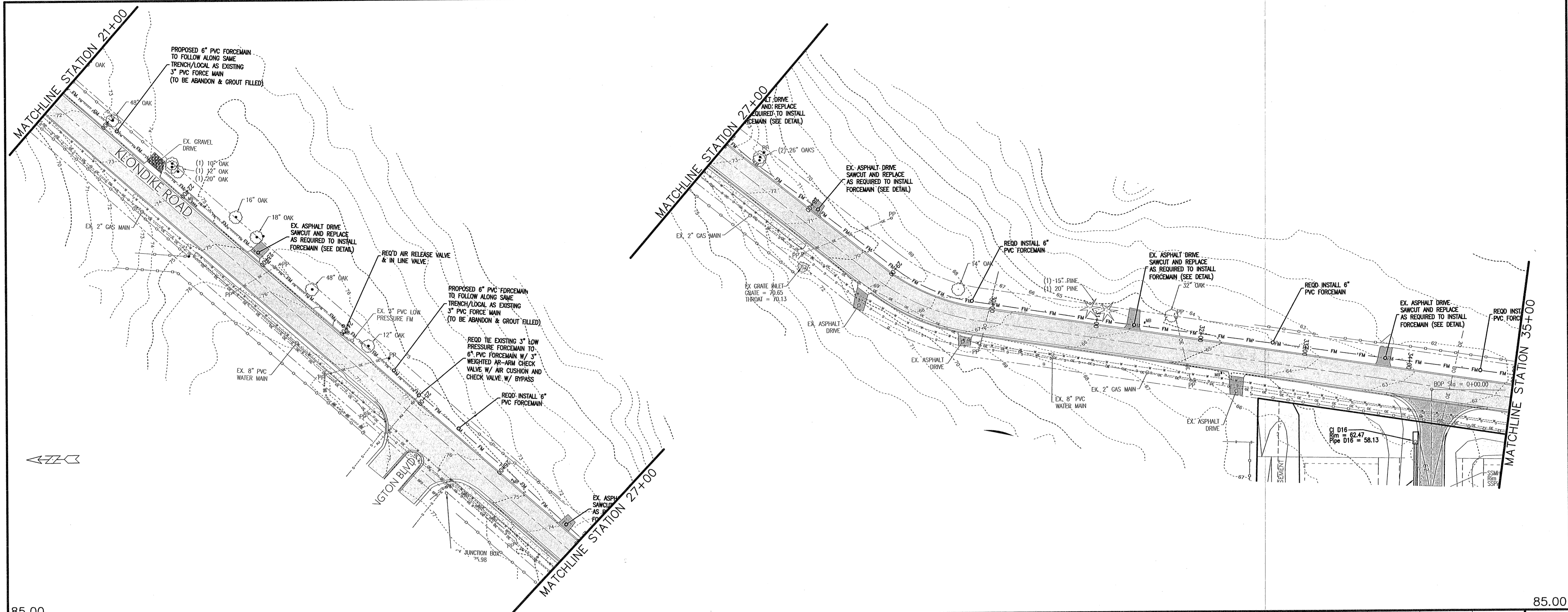
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**MULLINS, LLC**  
CIVIL ENGINEERING, DEVELOPMENT DESIGN SURVEYING  
4600 Bayou Blvd., Ste. 200, Pensacola, FL 32403  
(850) 462-8412

Construction Plans for  
**Bennington Park Subdivision**  
Escambia County, FL  
PREPARED FOR: Lemnar Homes, LLC

OFF SITE FORCE MAIN PLAN & PROFILE  
Job No. 23-183P  
Date: 7/23/2024  
Drawn By: CAB  
Checked By: ENL  
SHEET NUMBER

**12K**



REV	DATE	DESCRIPTION

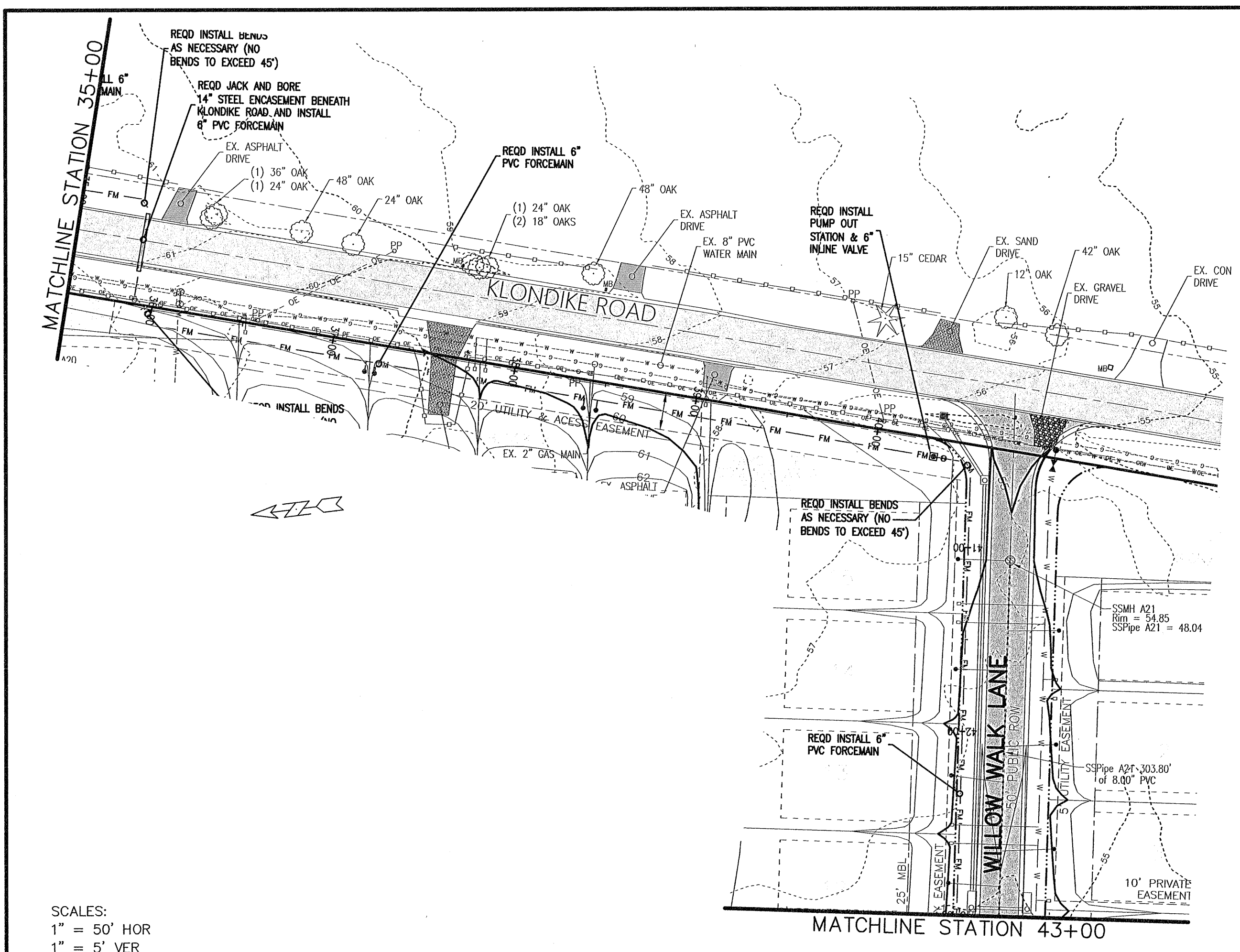
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 CIVIL ENGINEERING, DEVELOPMENT DESIGN  
 SURVEYING  
 4900 Bayou Blvd., Ste. 200, Pensacola, FL 32403  
 (850) 462-8412

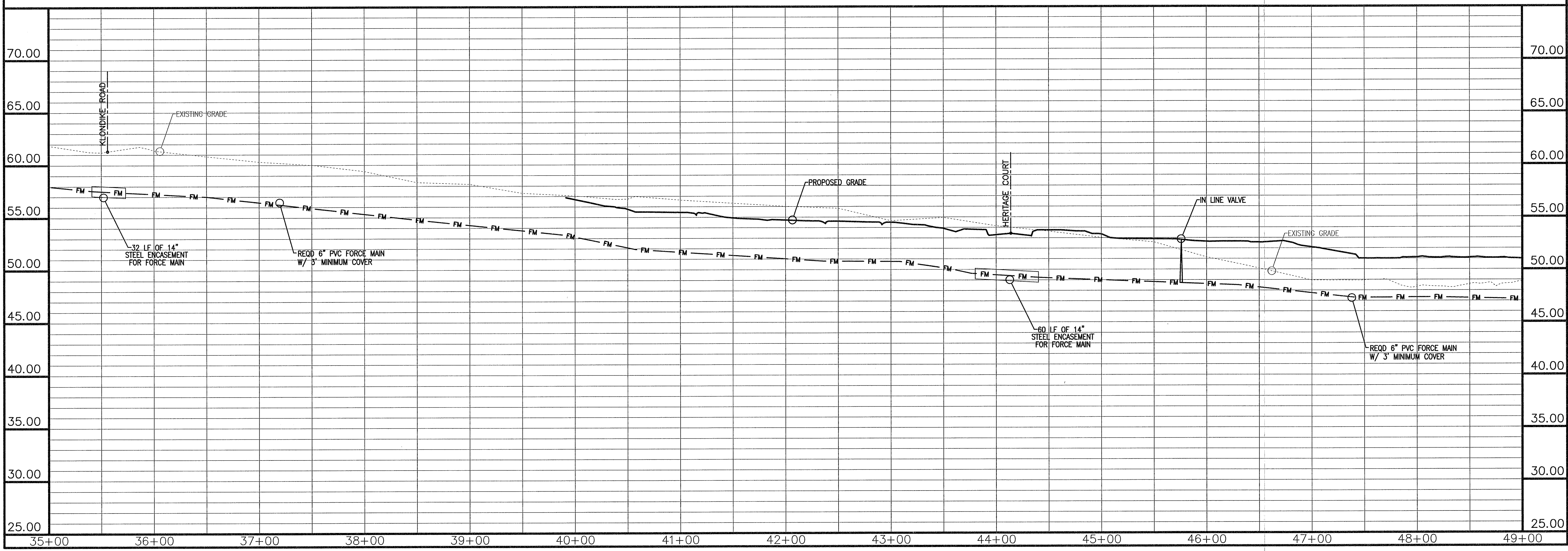
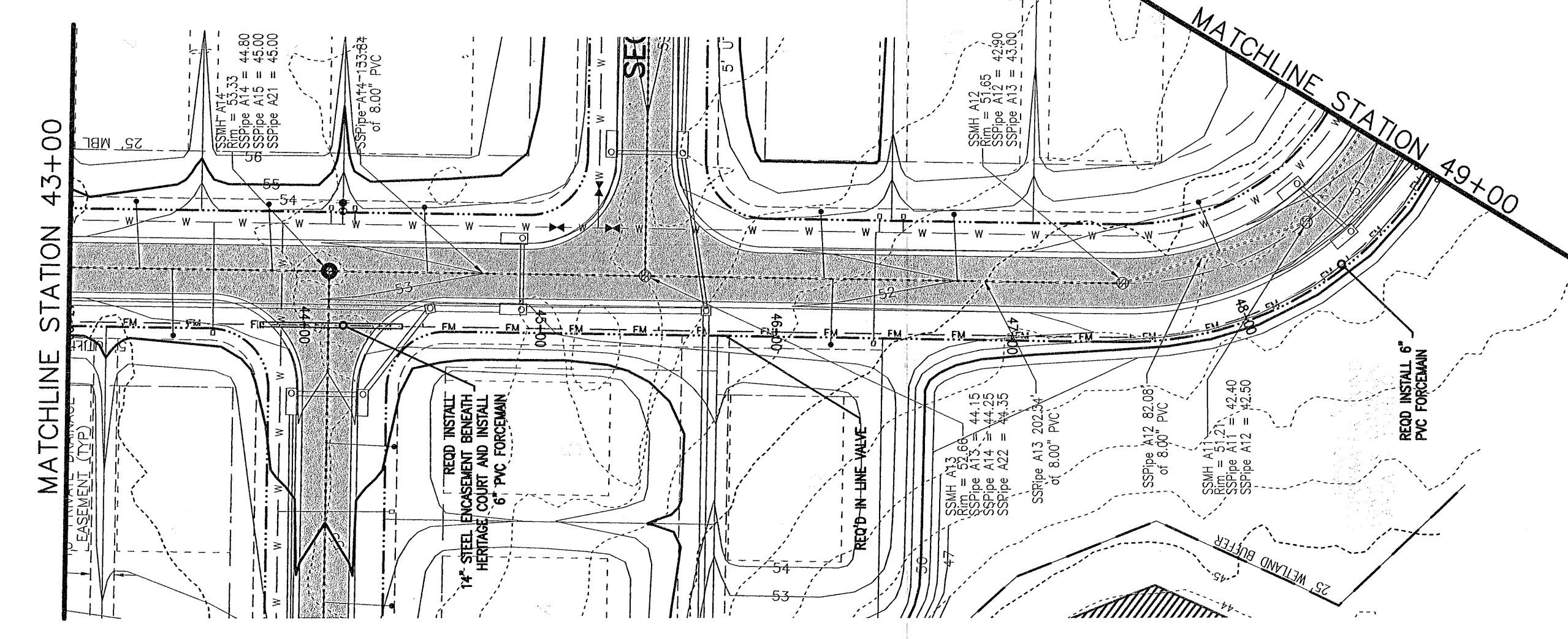
Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
 PREPARED FOR: Lennar Homes, LLC

OFF SITE FORCE MAIN PLAN & PROFILE  
 Job No: 23-183P  
 Date: 7/23/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER  
**12L**



SCALES:  
1" = 50' HOR  
1" = 5' VER



REVISIONS	Date	By

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CIVIL ENGINEERING, DEVELOPMENT DESIGN SURVEYING

4900 Bayou Blvd., Ste. 200, Pensacola, FL 32403  
(850) 462-8412

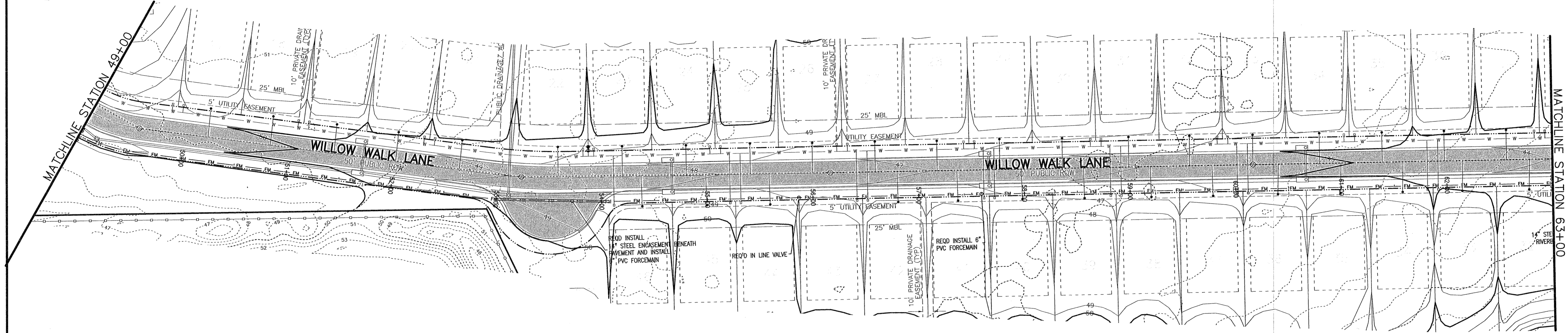
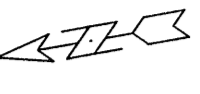
Construction Plans for  
**Bennington Park Subdivision**  
Escambia County, FL

PREPARED FOR: **Lenmar Homes, LLC**

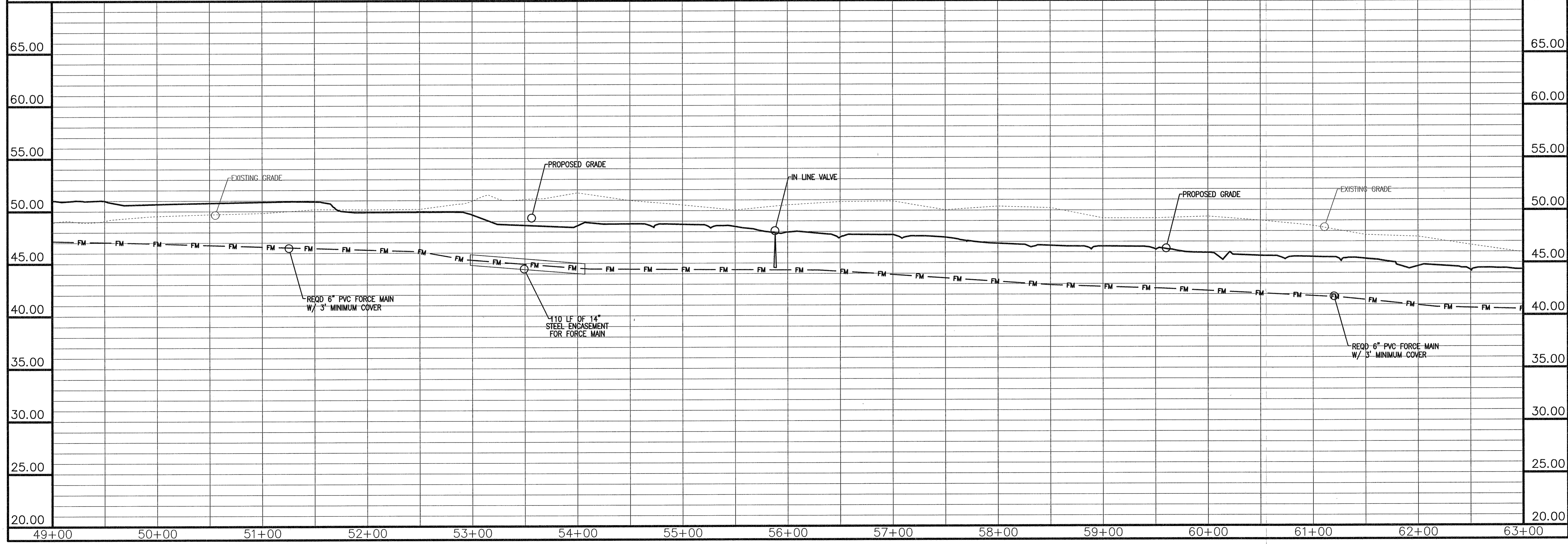
OFF SITE FORCE MAIN PLAN & PROFILE

Job No: 23-183P  
Date: 7/23/2024  
Drawn By: CAB  
Checked By: ENL

SHEET NUMBER  
**12M**



SCALES:  
 1" = 50' HOR  
 1" = 5' VER



REVISIONS	
Date	Description

**MULLINS, LLC**  
 CIVIL ENGINEERING, DEVELOPMENT DESIGN SURVEYING  
 4600 Bayou Blvd., Ste. 200, Pensacola, FL 32403  
 (950) 462-8412

Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
 PREPARED FOR: Lennar Homes, LLC

OFF SITE FORCE MAIN PLAN & PROFILE

Job No. 23-183P  
 Date: 7/23/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER  
**12N**

REVISIONS	
Date	Description

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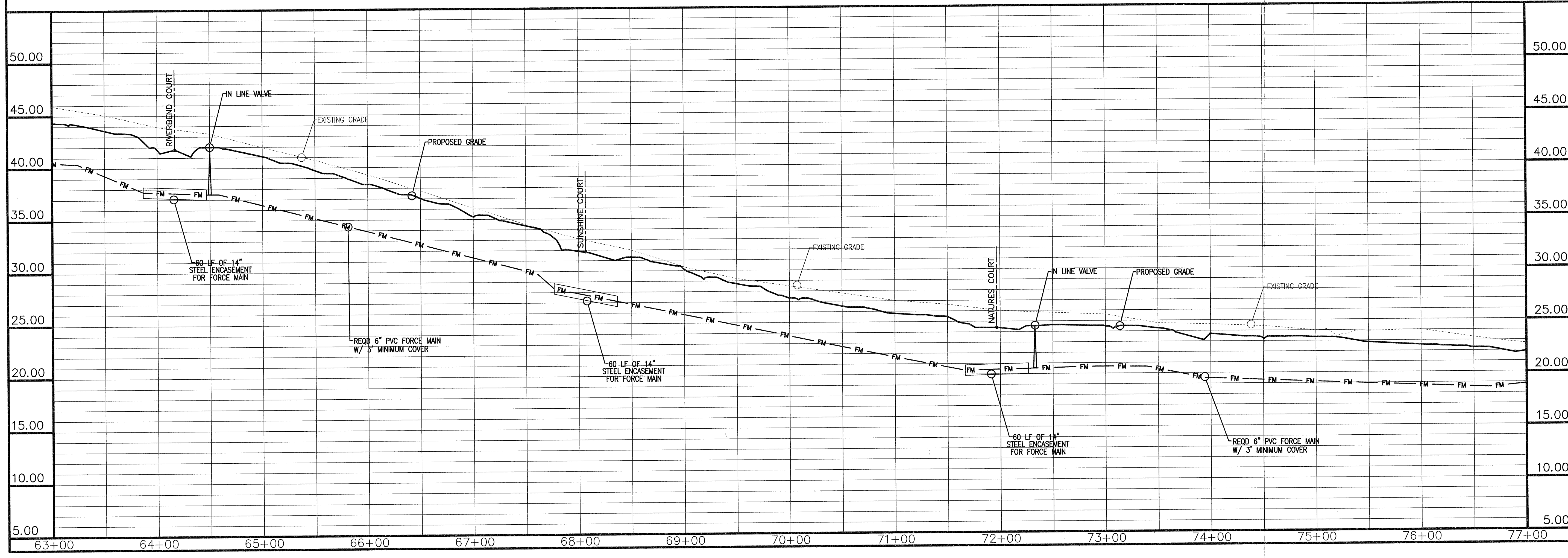
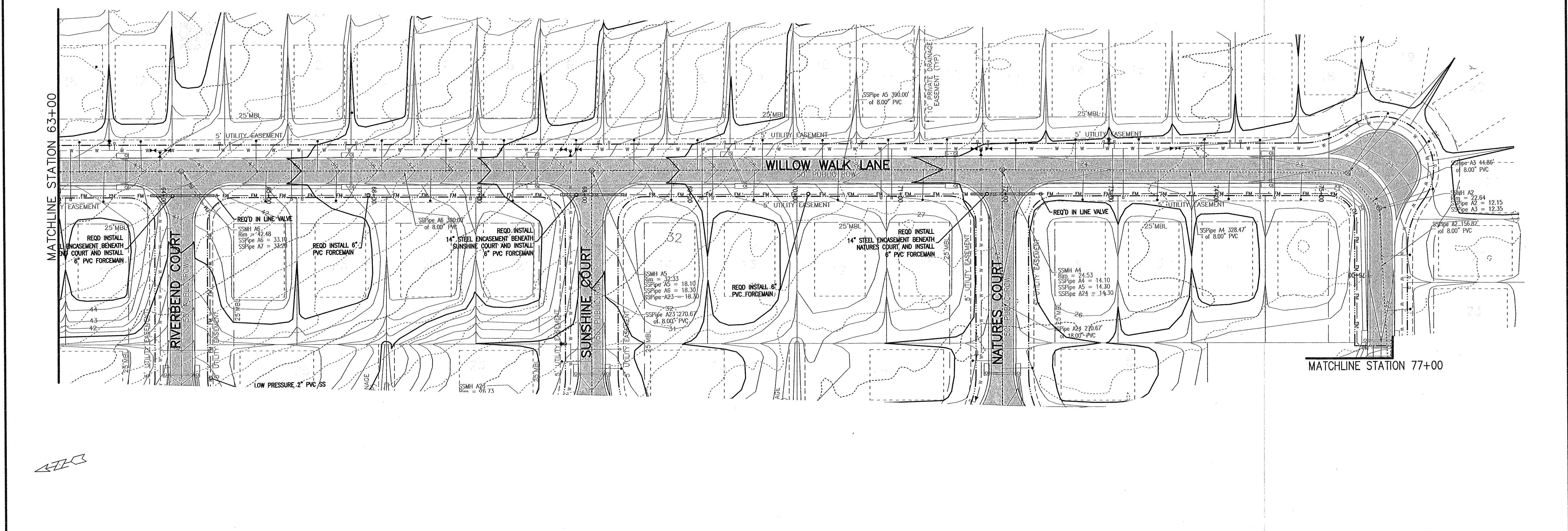
**MULLINS, LLC**  
 CIVIL ENGINEERING, DEVELOPMENT DESIGN  
 SURVEYING  
 4900 Bayou Blvd., Ste. 200, Pensacola, FL 32403  
 (850) 462-8412

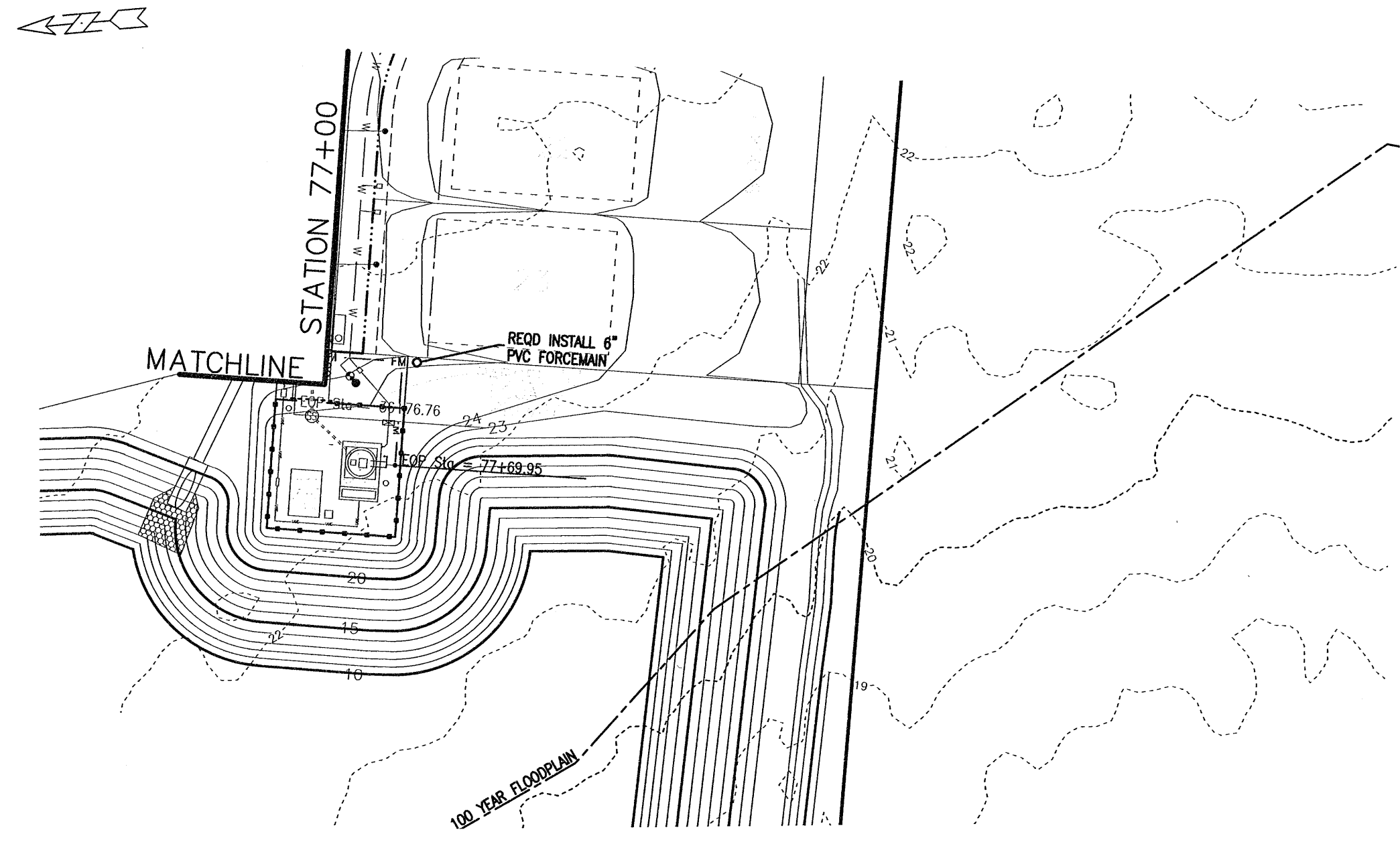
Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
 PREPARED FOR: Lennar Homes, LLC

OFF SITE FORCE  
 MAIN PLAN &  
 PROFILE

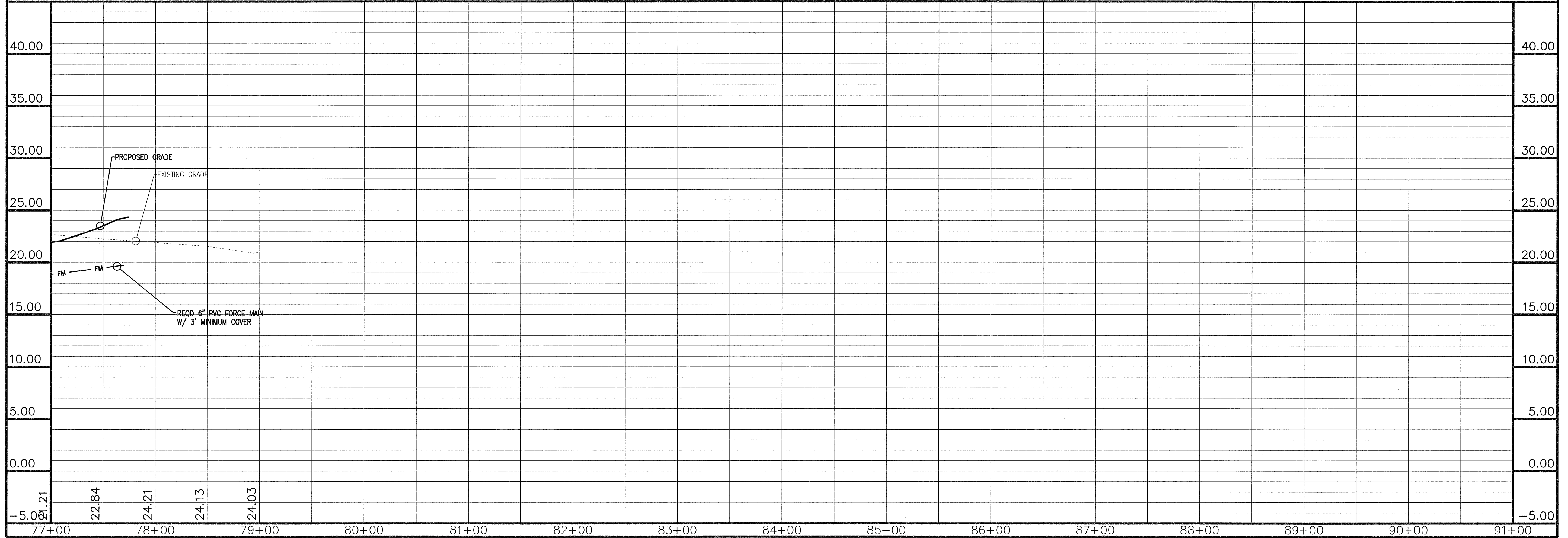
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 Date: 7/23/2024  
 Drawn By: CAB  
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SHEET NUMBER  
**120**





SCALES:  
 1" = 50' HOR  
 1" = 5' VER



REV	DATE	DESCRIPTION

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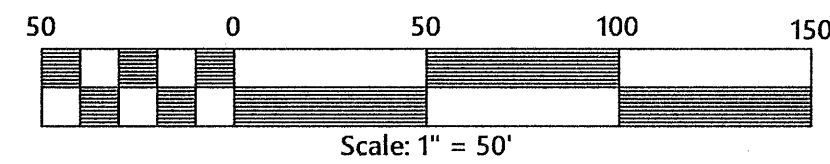
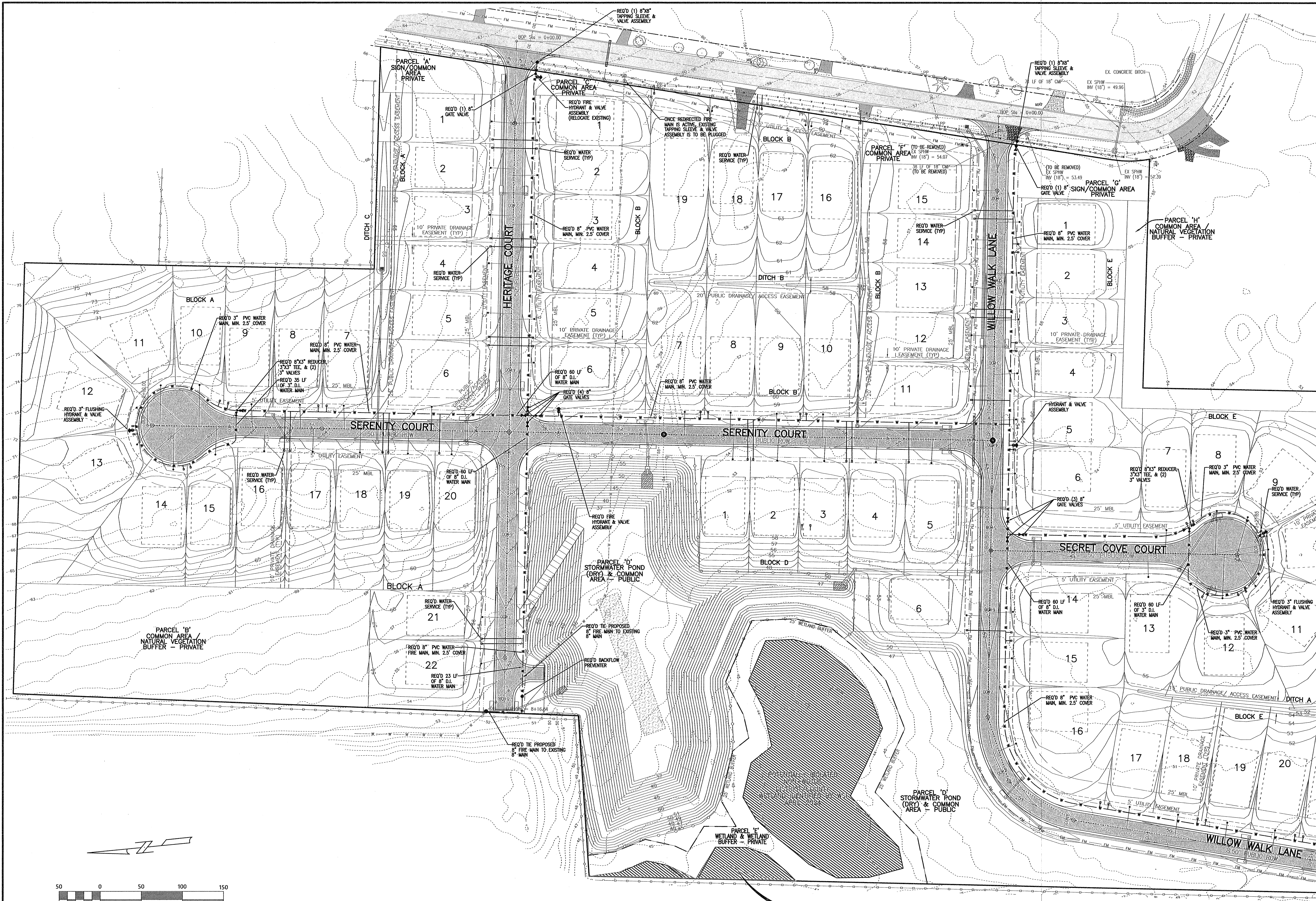
**MULLINS, LLC**  
 CIVIL ENGINEERING, DEVELOPMENT DESIGN SURVEYING  
 4800 Bayou Blvd., Ste. 200, Pensacola, FL 32403  
 (850) 462-8412

Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
 PREPARED FOR: Lennar Homes, LLC

OFF SITE FORCE  
 MAIN PLAN &  
 PROFILE

Job No. 23-183P  
 Date: 7/23/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER  
**12P**



POTENTIALLY ISOLATED  
NON-WOTUS  
DISTRICT/COUNTY  
WETLAND IDENTIFIED BY WSI  
APRIL 2024

**REVISIONS**

No.	Date	Description

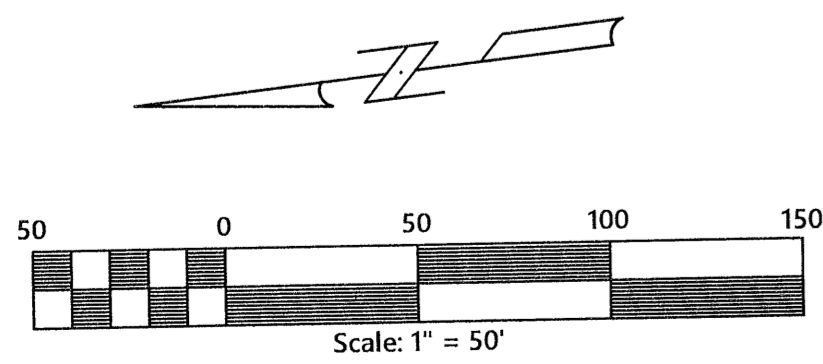
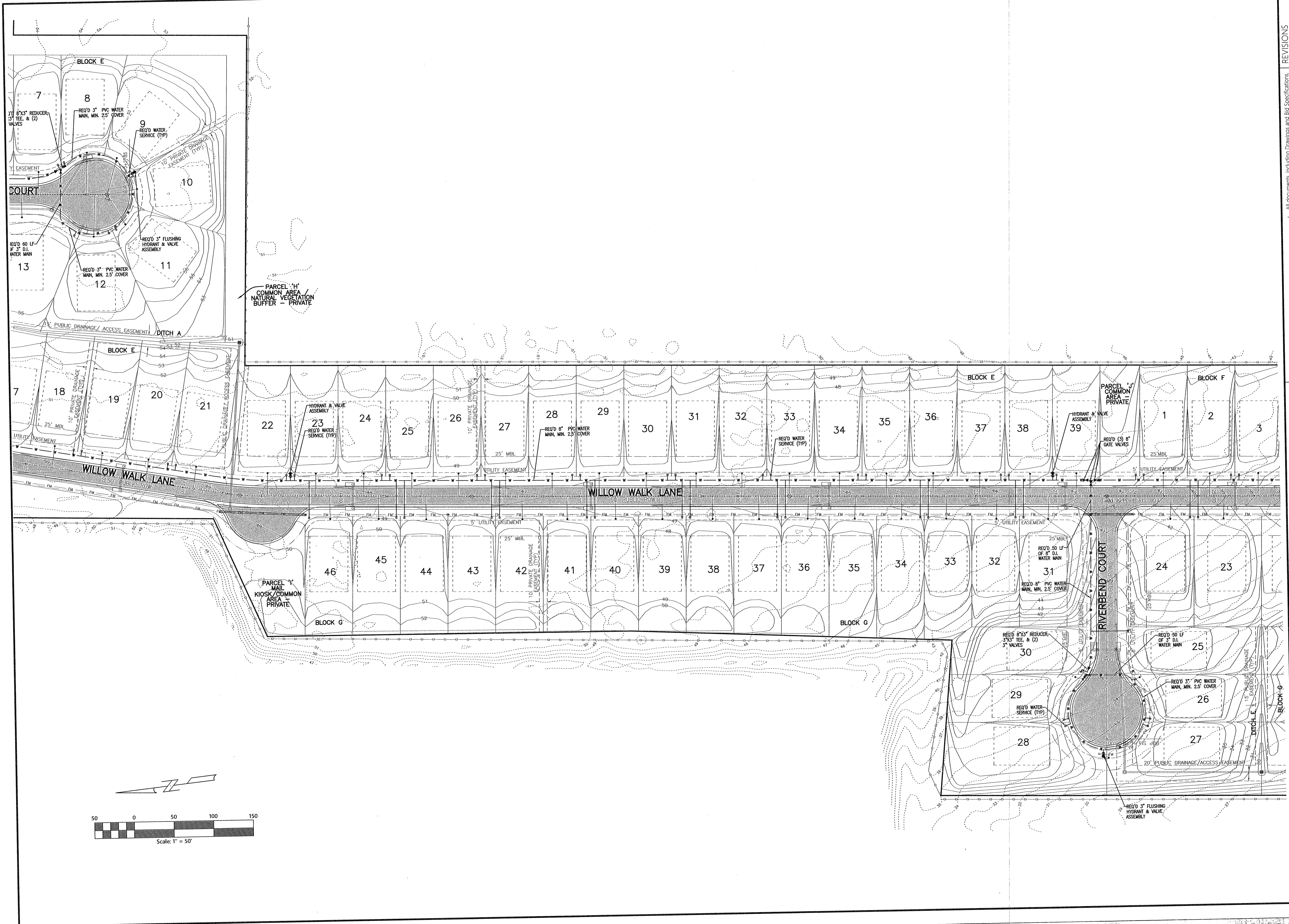
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CIVIL ENGINEERING, DEVELOPMENT DESIGN & SURVEYING  
4900 Bayou Blvd., Ste. 200, Pensacola, FL 32403  
(850) 462-8412

Construction Plans for  
**Bennington Park Subdivision**  
Escambia County, FL  
PREPARED FOR: Lennar Homes, LLC

**WATER DISTRIBUTION PLAN**  
Job No: 23-183P  
Date: 5/24/2024  
Drawn By: CAB  
Checked By: ENL

SHEET NUMBER  
**13**



REVISIONS
Date: ---
Date: ---
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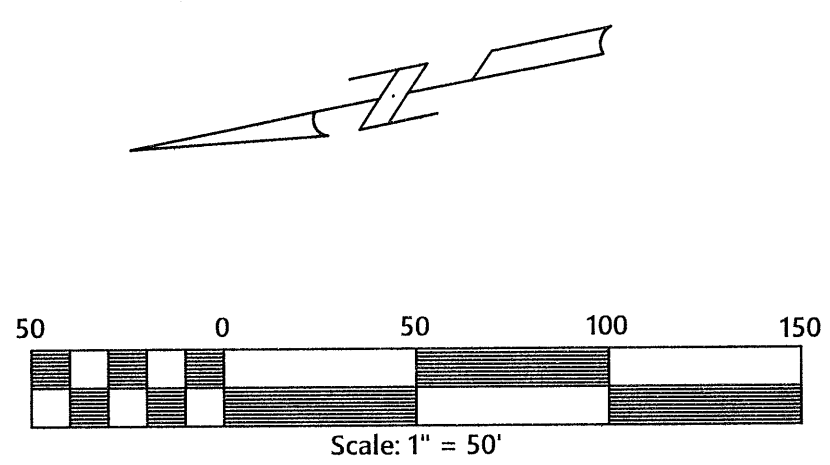
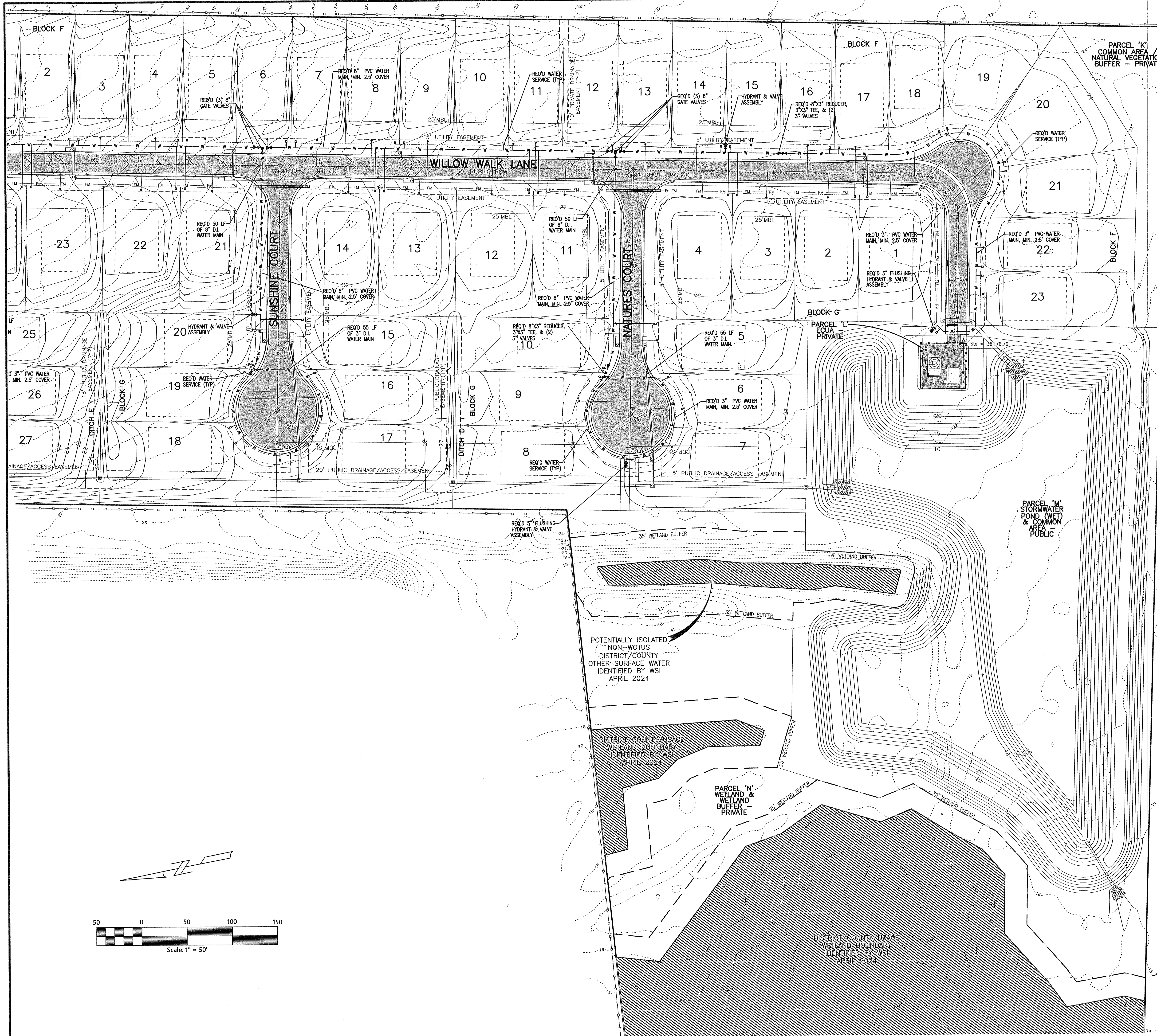
**MULLINS, LLC**  
 CIVIL ENGINEERING, DEVELOPMENT DESIGN SURVEYING  
 4900 Bayou Blvd., Ste. 200, Pensacola, FL 32403  
 (850) 462-8412

Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
 PREPARED FOR: Lennar Homes, LLC

WATER DISTRIBUTION PLAN

Job No: 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER  
**13A**



POTENTIALLY ISOLATED  
NON-WOTUS  
DISTRICT/COUNTY  
OTHER SURFACE WATER  
IDENTIFIED BY WSI  
APRIL 2024

DISTRICT/COUNTY/STATE  
WETLAND BOUNDARY  
IDENTIFIED BY WSI  
APRIL 2024

PARCEL 'N'  
WETLAND &  
WETLAND  
BUFFER  
PRIVATE

DISTRICT/COUNTY/STATE  
WETLAND BOUNDARY  
IDENTIFIED BY WSI  
APRIL 2024

REVISIONS	
Date: ---	By: ---
Date: ---	By: ---
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Date: ---	By: ---
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Date: ---	By: ---

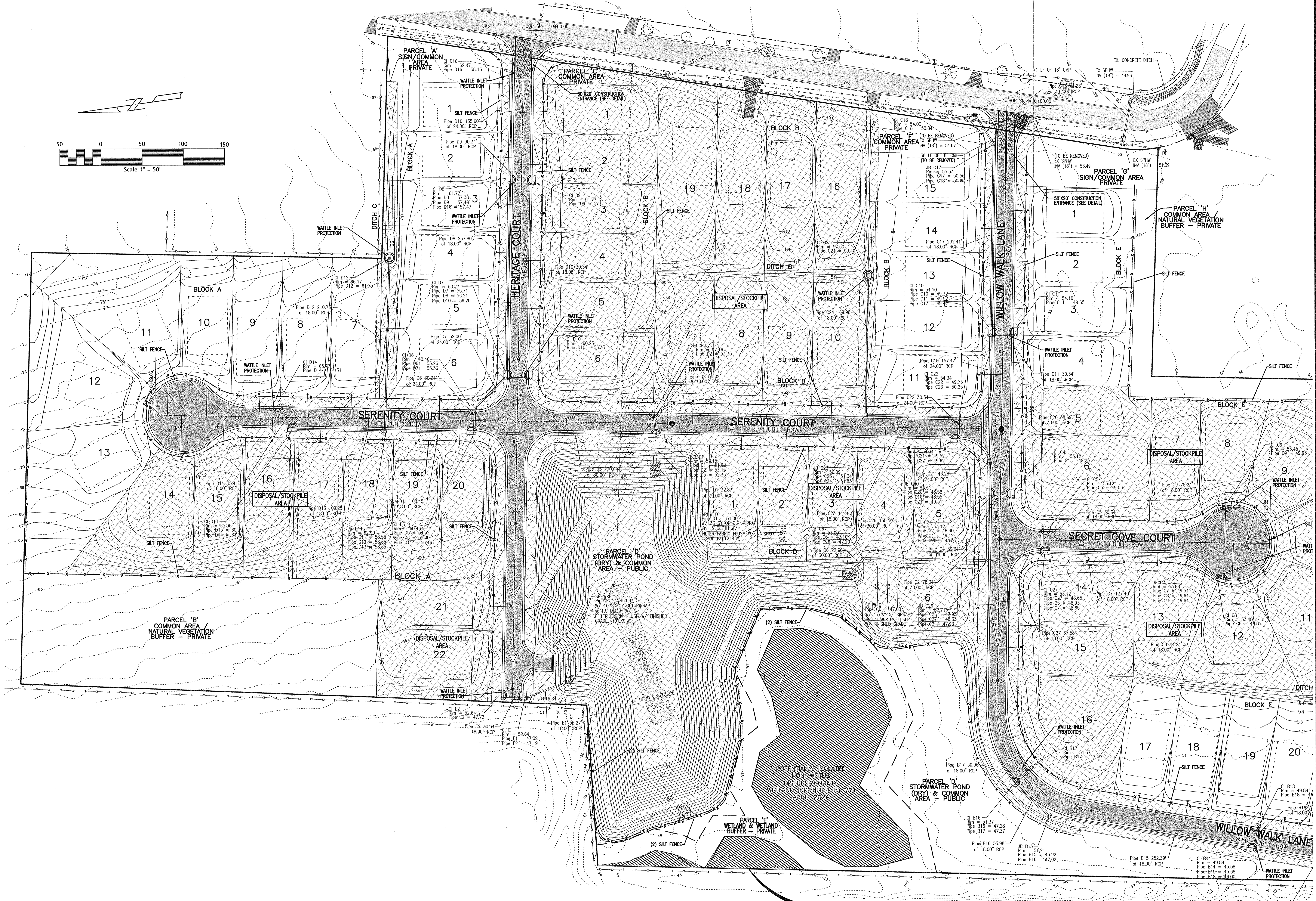
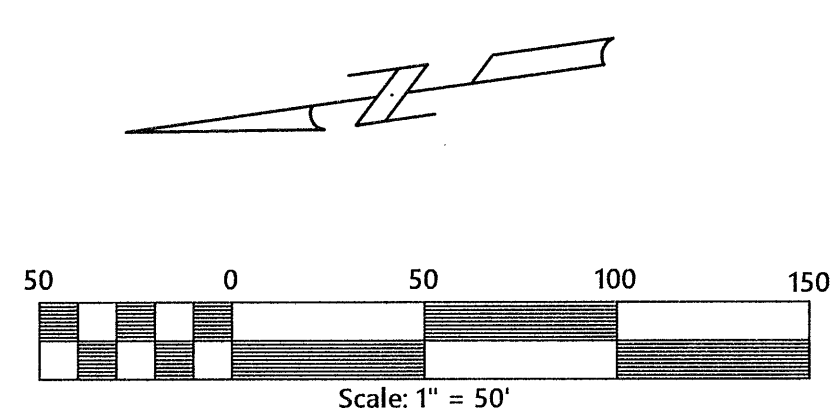
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**MULLINS, LLC**  
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SURVEYING  
4900 Bayou Blvd., Ste. 200, Pensacola, FL 32403  
(850) 462-8412

Construction Plans for  
**Bennington Park Subdivision**  
Escambia County, FL  
PREPARED FOR: Lennar Homes, LLC

WATER  
DISTRIBUTION PLAN  
Job No: 23-183P  
Date: 5/24/2024  
Drawn By: CAB  
Checked By: ENL

SHEET NUMBER  
**13B**



POTENTIALLY ISOLATED NON-WOTUS DISTRICT/COUNTY WETLAND IDENTIFIED BY WSI APRIL 2024

REVISIONS		
Date	By	Description

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**MULLINS, LLC**  
 CIVIL ENGINEERING, DEVELOPMENT DESIGN SURVEYING  
 4600 Bayou Blvd., Ste. 200, Pensacola, FL 32403  
 (850) 462-8412

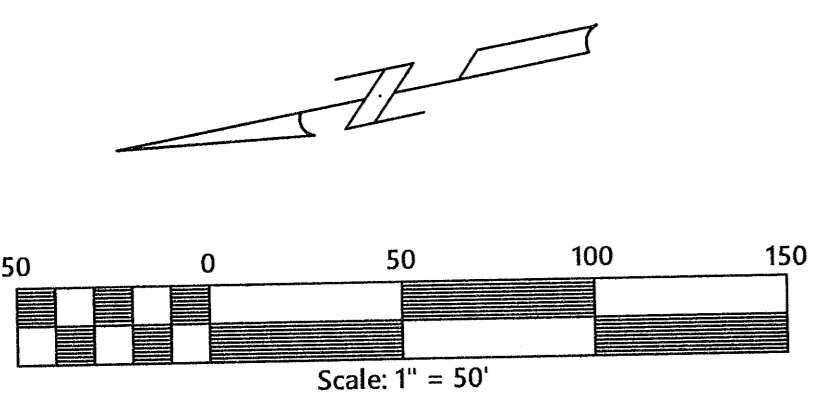
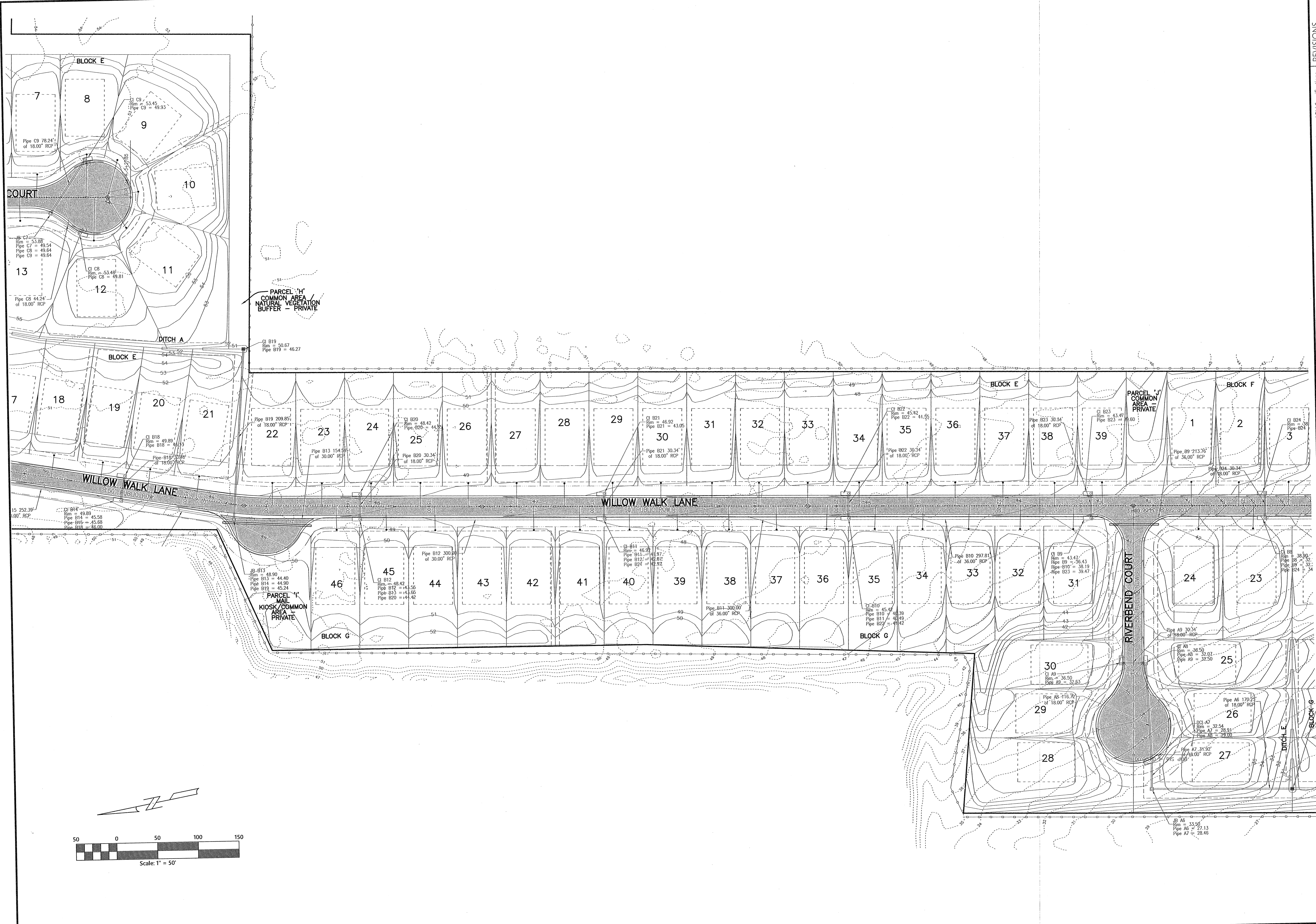
Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
 PREPARED FOR: Lennar Homes, LLC

EROSION CONTROL PLAN

Job No. 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER

**14**



REVISIONS

NO.	DATE	DESCRIPTION

All documents, including Drawings and Bid Specifications prepared or furnished by Firms listed on face, are preparatory to the work of the Client and the Firms listed on face shall retain an ownership and property interest therein whether or not the Project is completed. Such documents are not intended to be represented to be suitable for reuse by the Client or others on extensions of the Project or on any other project. Any reuse without written verification by Firms listed on face will entitle Firms listed on face to further compensation at rates to be agreed upon by Firms listed on face and the Client.

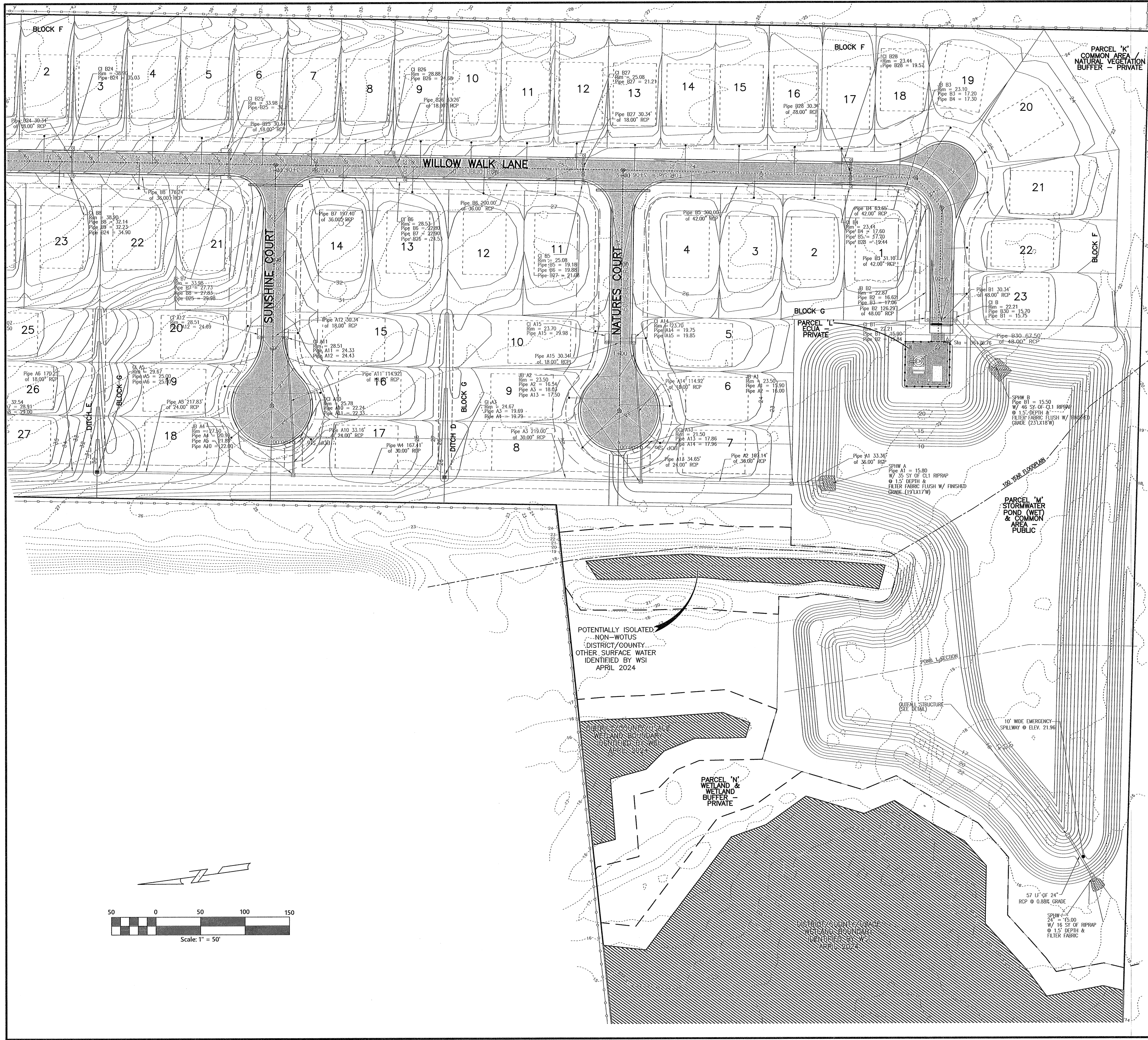
**MULLINS, LLC**  
 CIVIL ENGINEERING, DEVELOPMENT DESIGN SURVEYING  
 4800 Bayou Blvd., Ste. 200, Pensacola, FL 32403  
 (850) 462-8412

Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
 PREPARED FOR: Lennar Homes, LLC

**EROSION CONTROL PLAN**

Job No. 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER  
**14A**



POTENTIALLY ISOLATED  
-NON-WOTUS  
DISTRICT/COUNTY  
OTHER SURFACE WATER  
IDENTIFIED BY WSI  
APRIL 2024

DISTRICT/COUNTY/USACE  
WETLAND BOUNDARY  
IDENTIFIED BY WSI  
APRIL 2024

PARCEL 'N'  
WETLAND &  
WETLAND  
BUFFER  
PRIVATE

DISTRICT/COUNTY/USACE  
WETLAND BOUNDARY  
IDENTIFIED BY WSI  
APRIL 2024

REVISIONS	
Date	Description

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CIVIL ENGINEERING, DEVELOPMENT DESIGN  
SURVEYING

4800 Bayou Blvd, Ste. 200, Pensacola, FL 32403  
(850) 462-8412

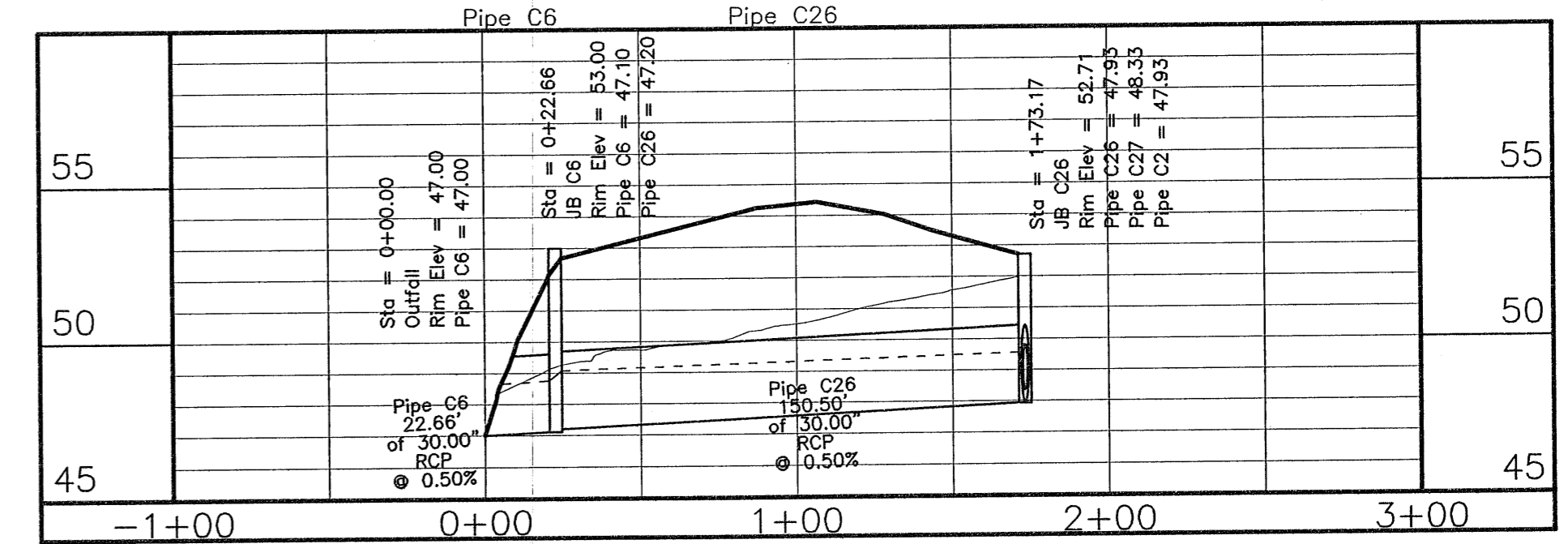
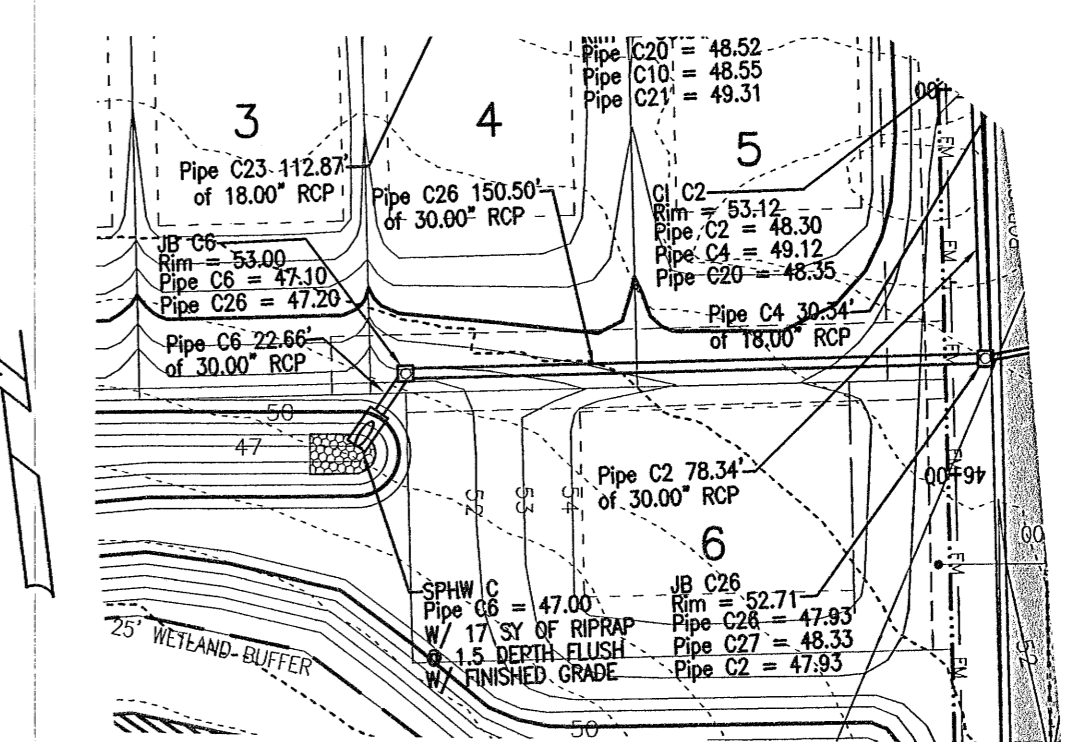
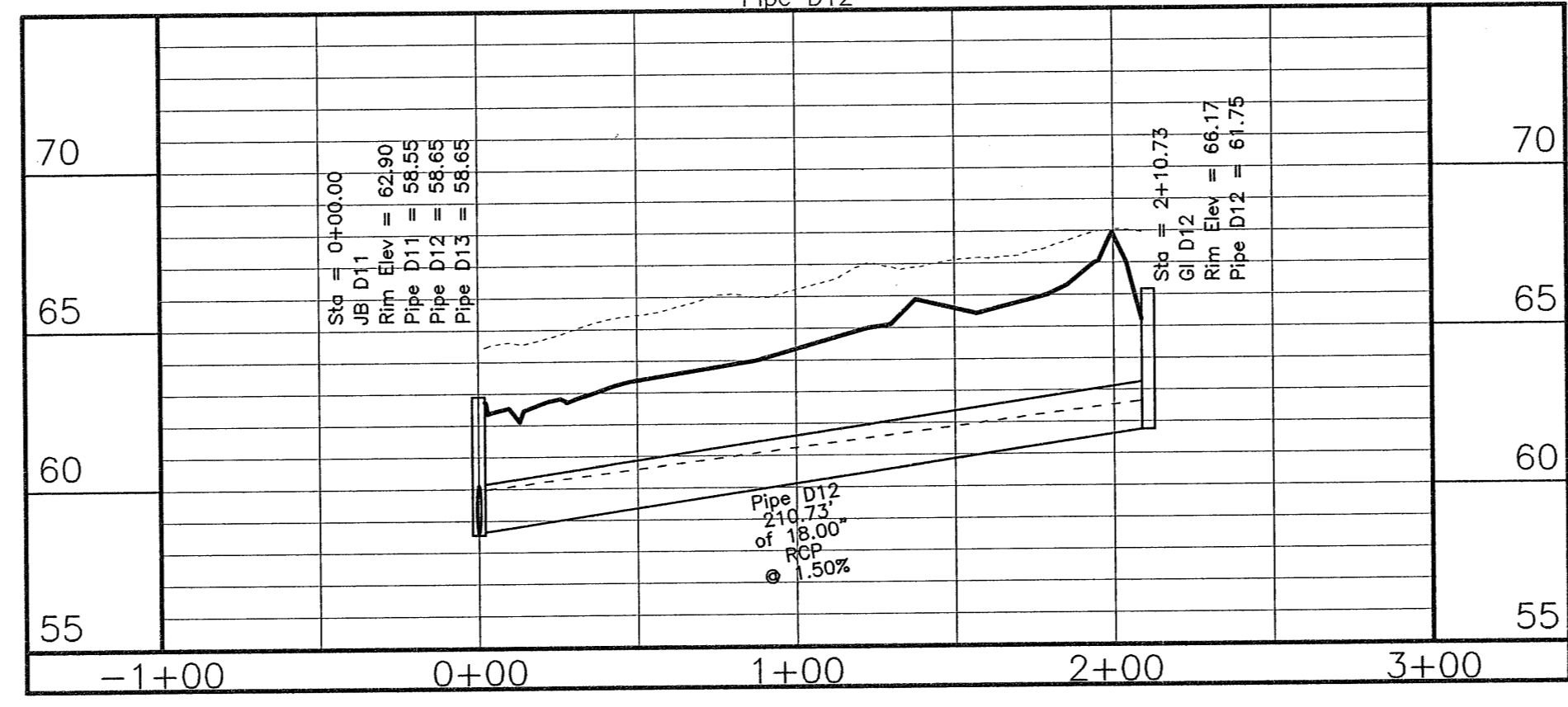
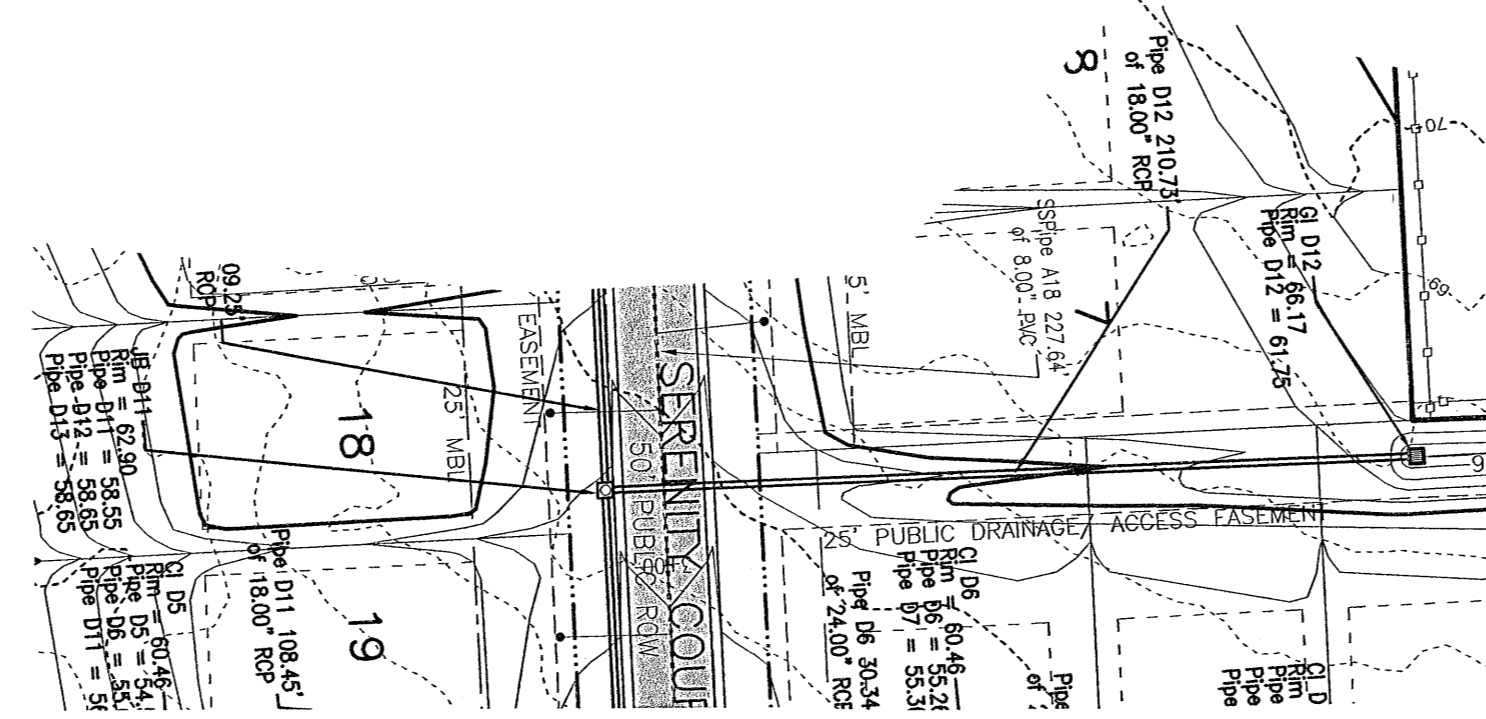
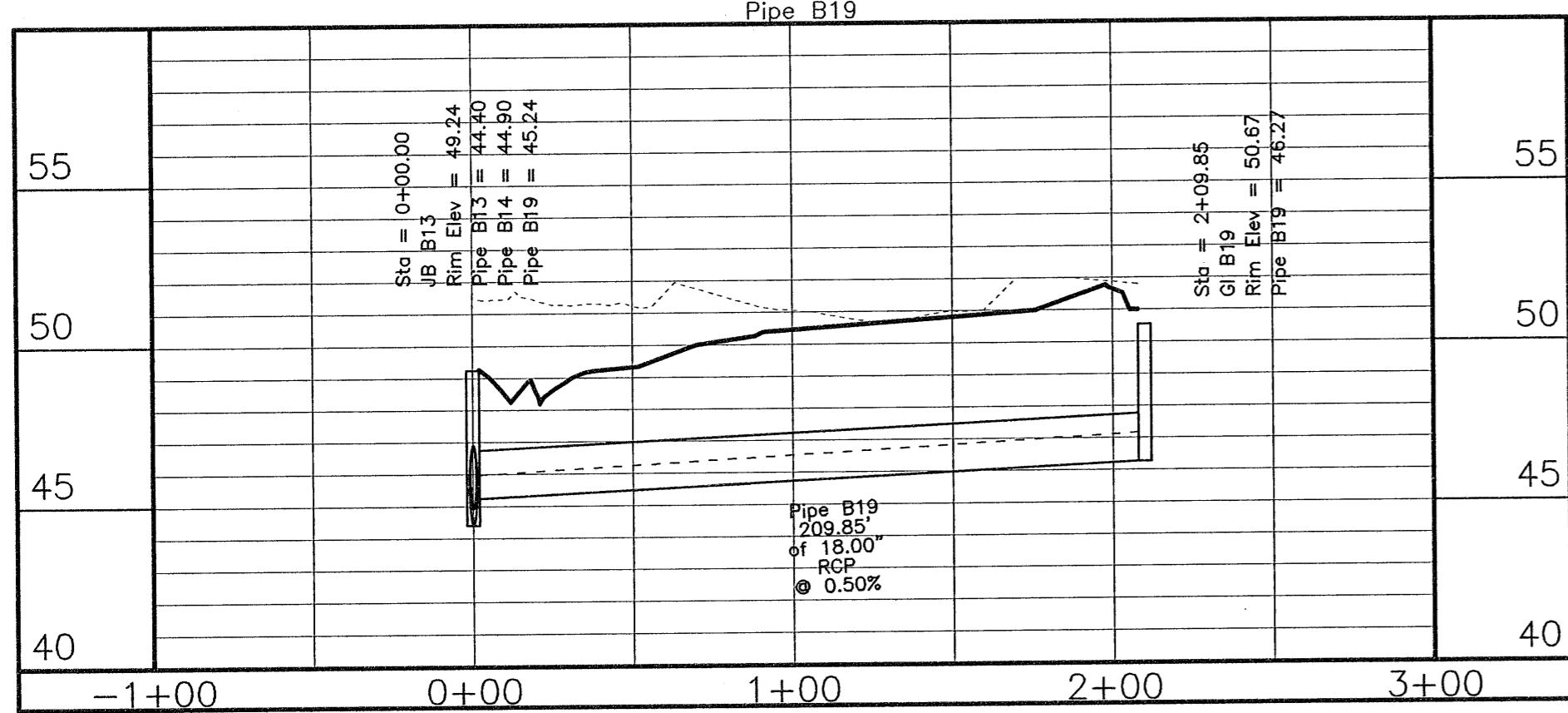
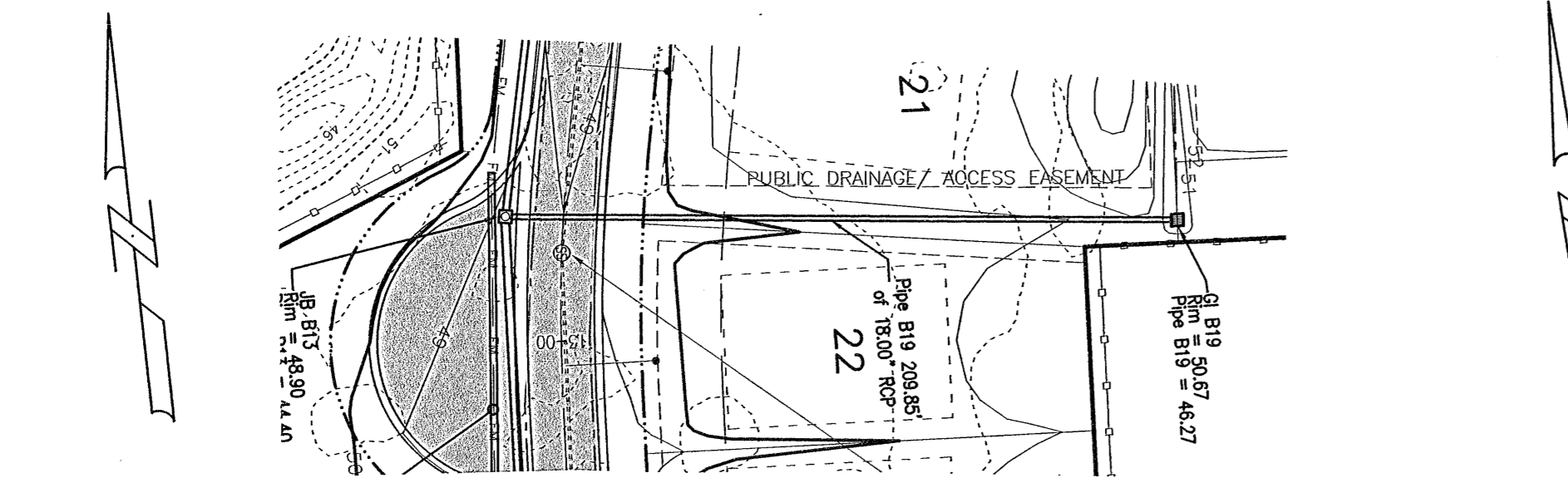
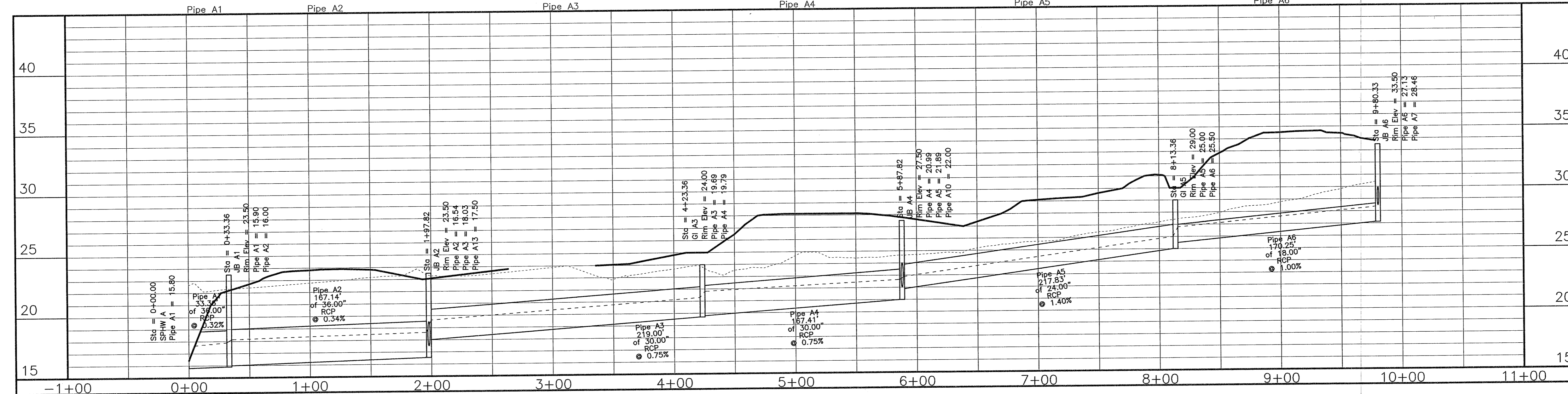
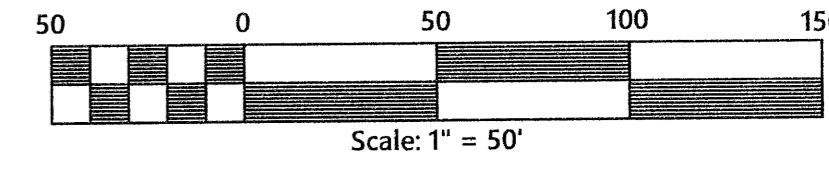
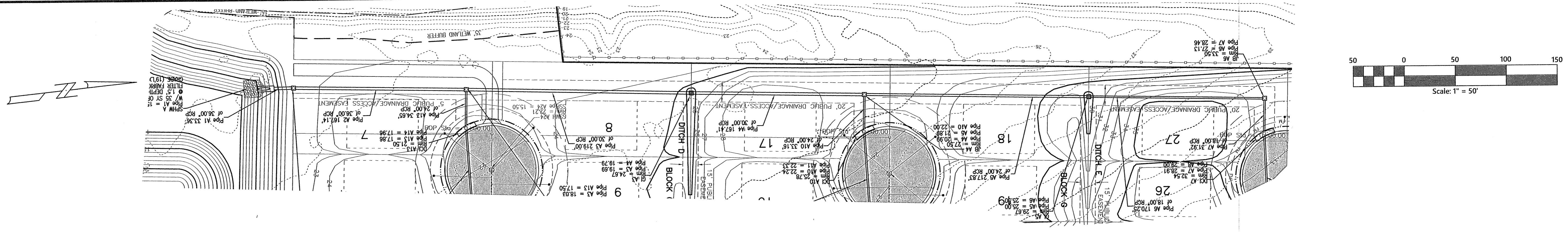
Construction Plans for  
**Bennington Park Subdivision**  
Escambia County, FL

PREPARED FOR: Lemnar Homes, LLC

EROSION CONTROL PLAN

Job No. 23-183P  
Date: 5/24/2024  
Drawn By: CAB  
Checked By: ENL

SHEET NUMBER  
**14B**



REVISIONS

Date	Description

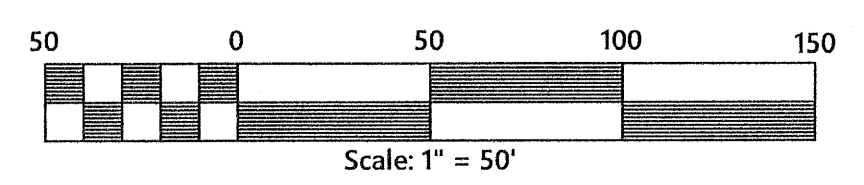
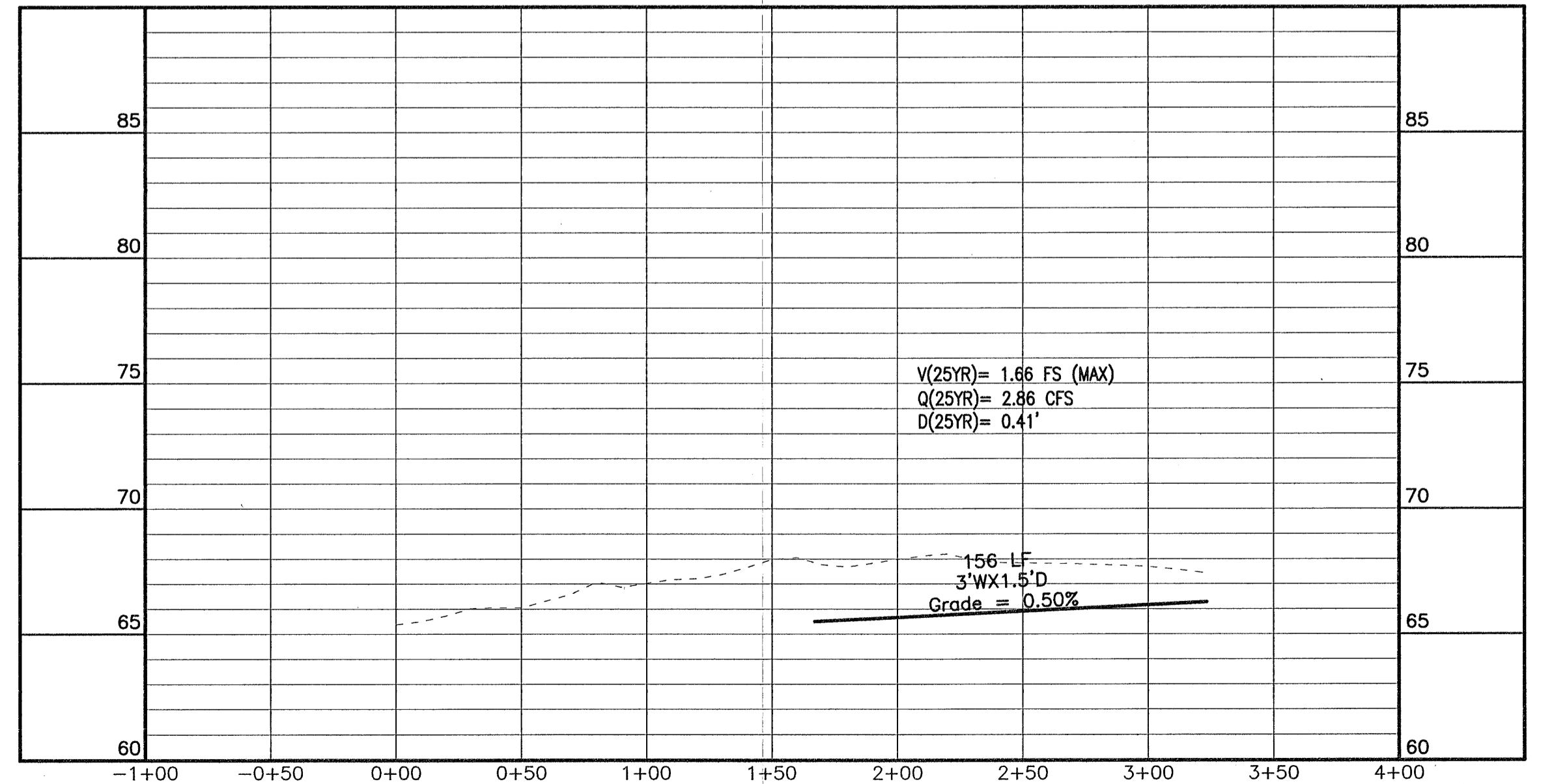
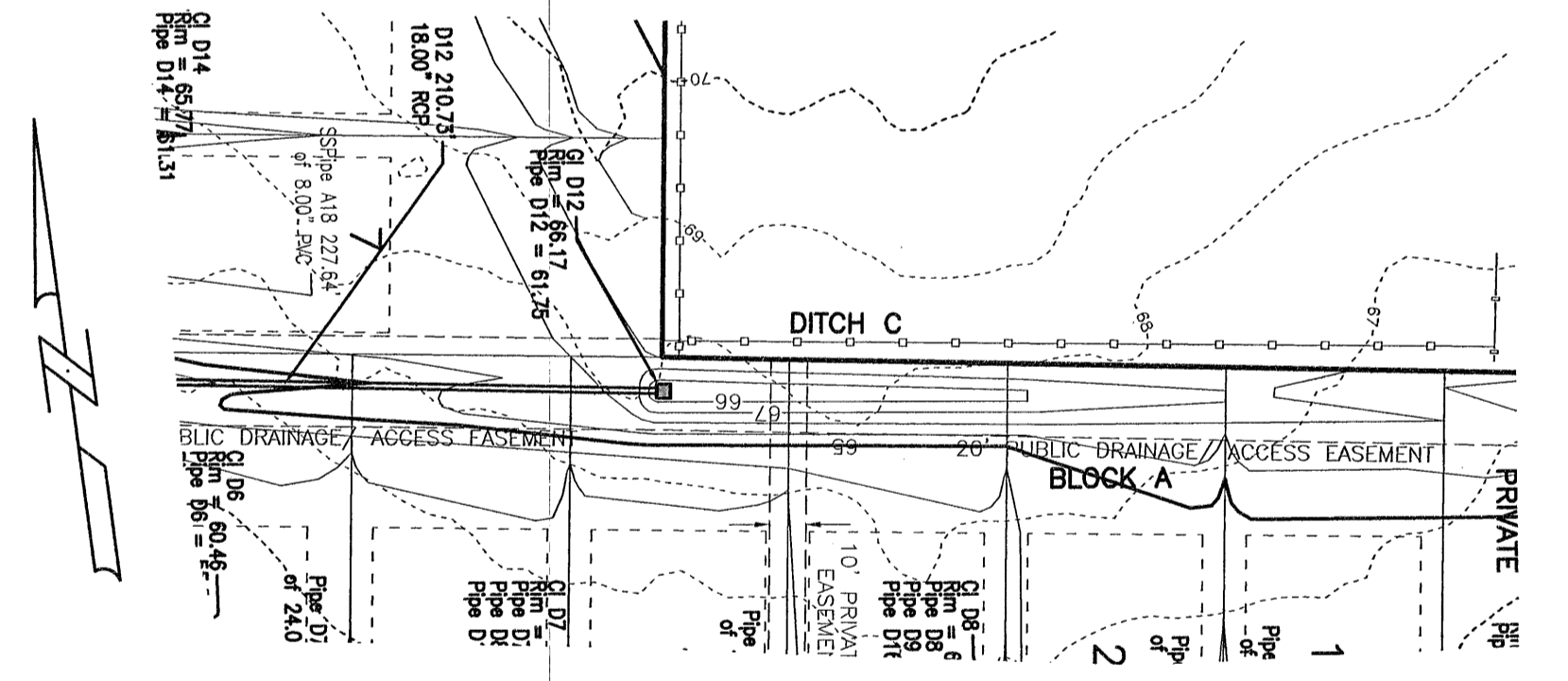
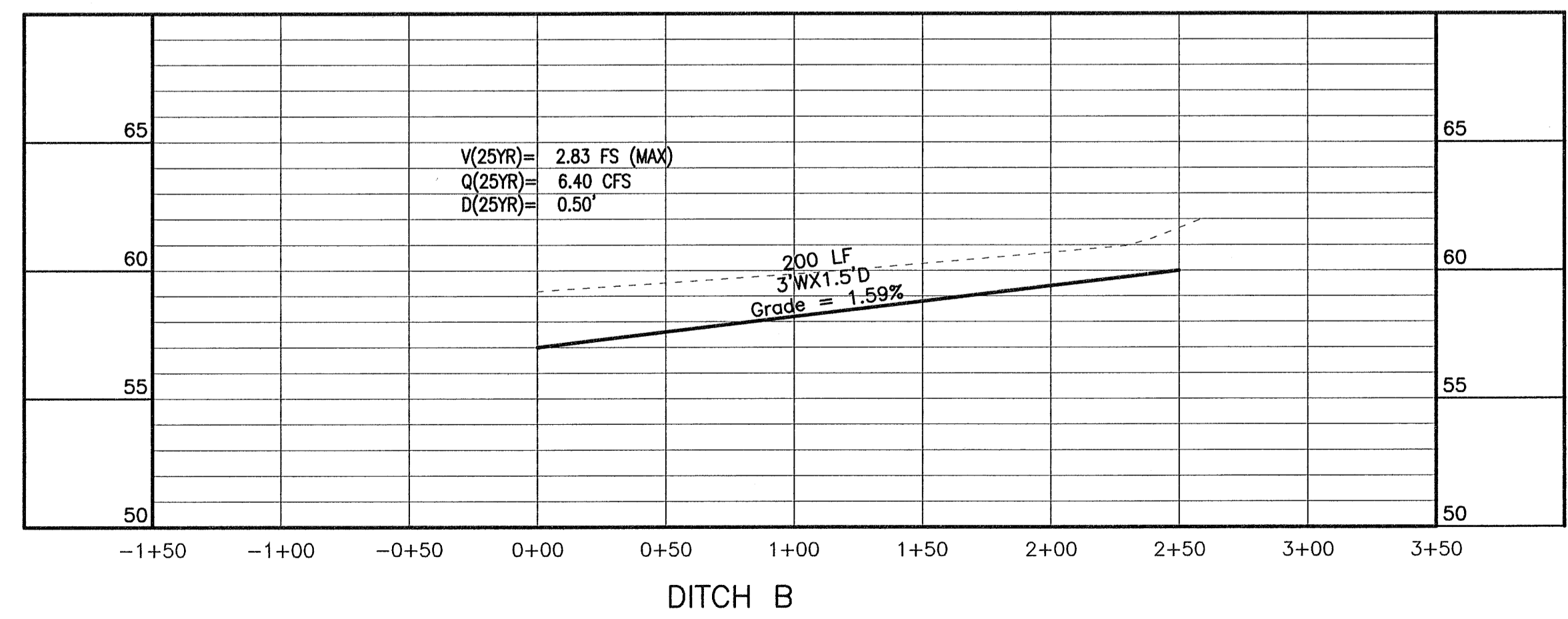
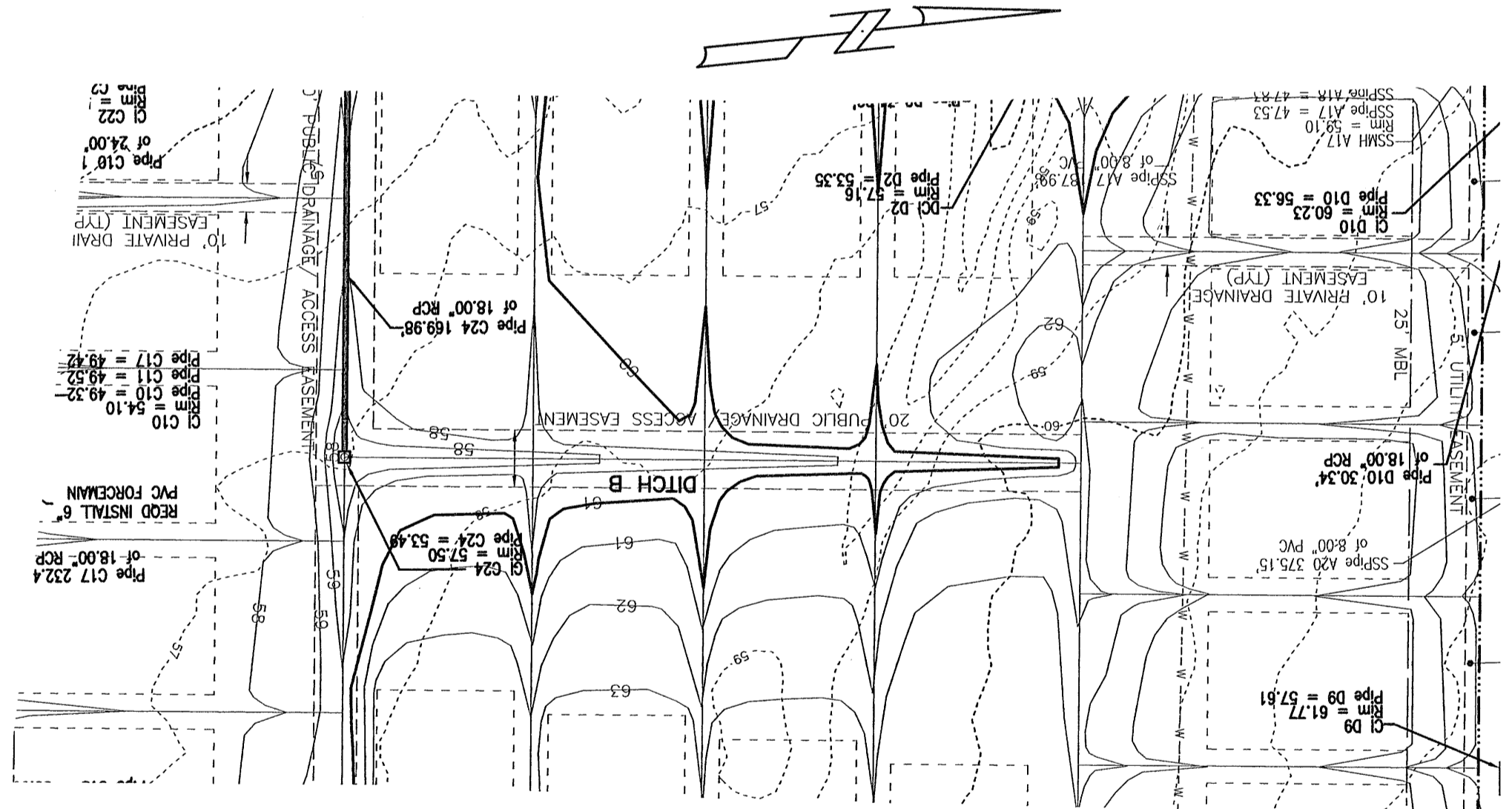
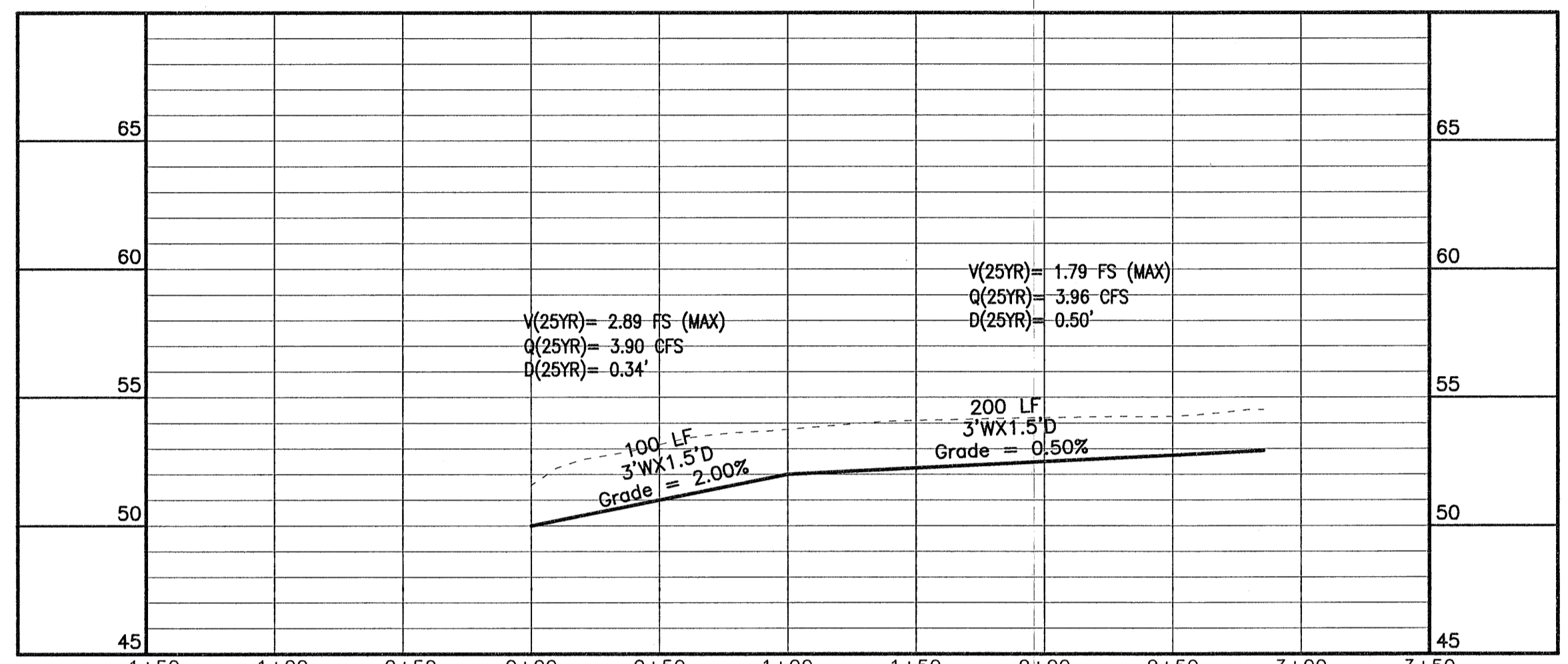
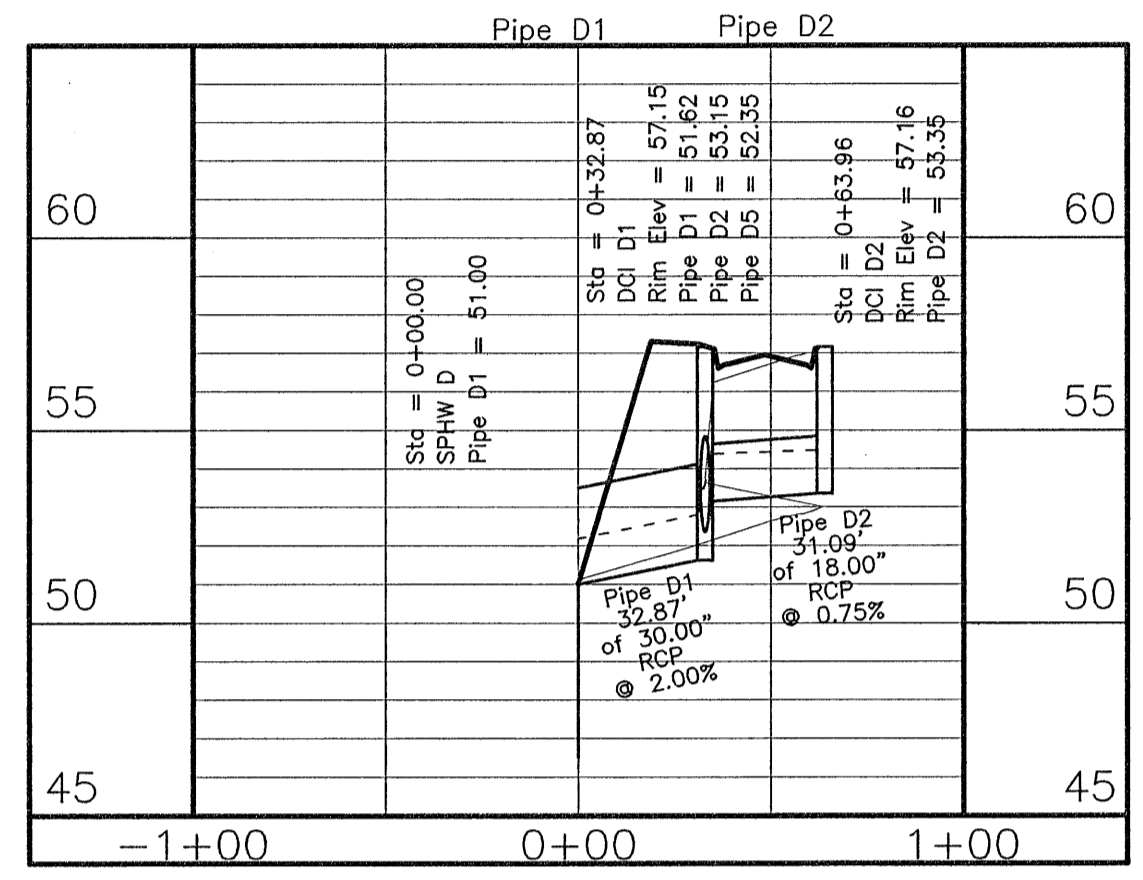
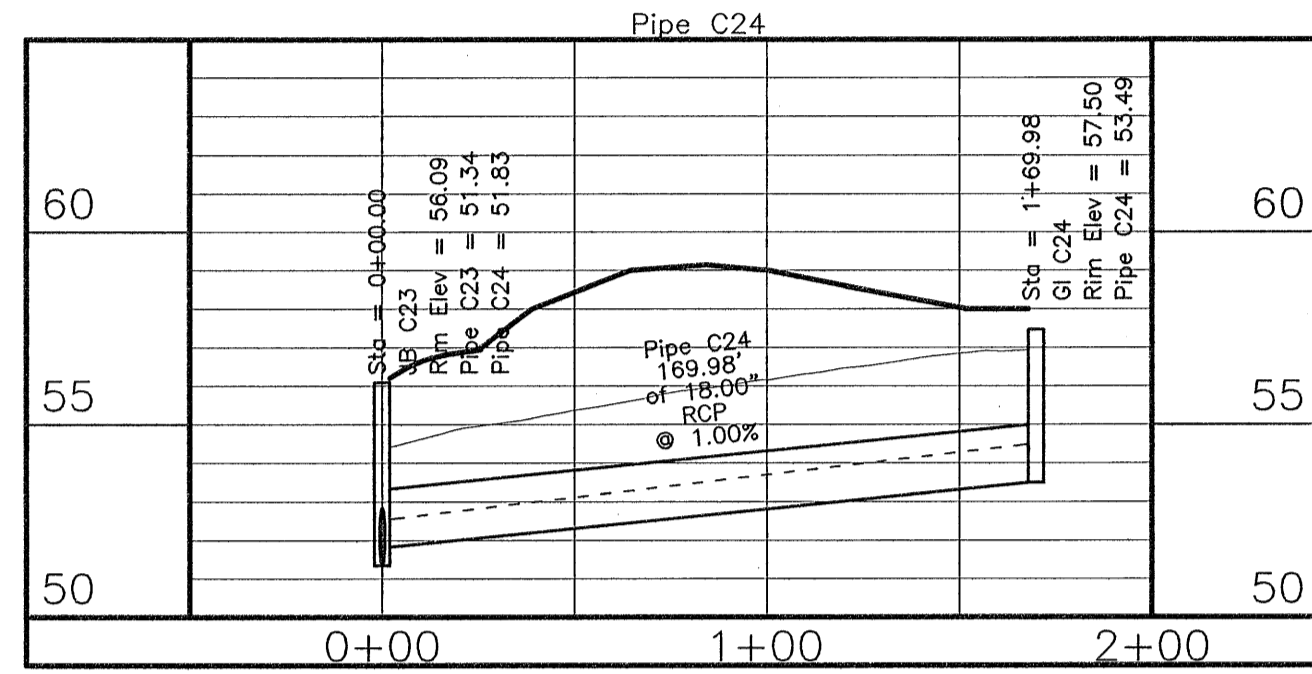
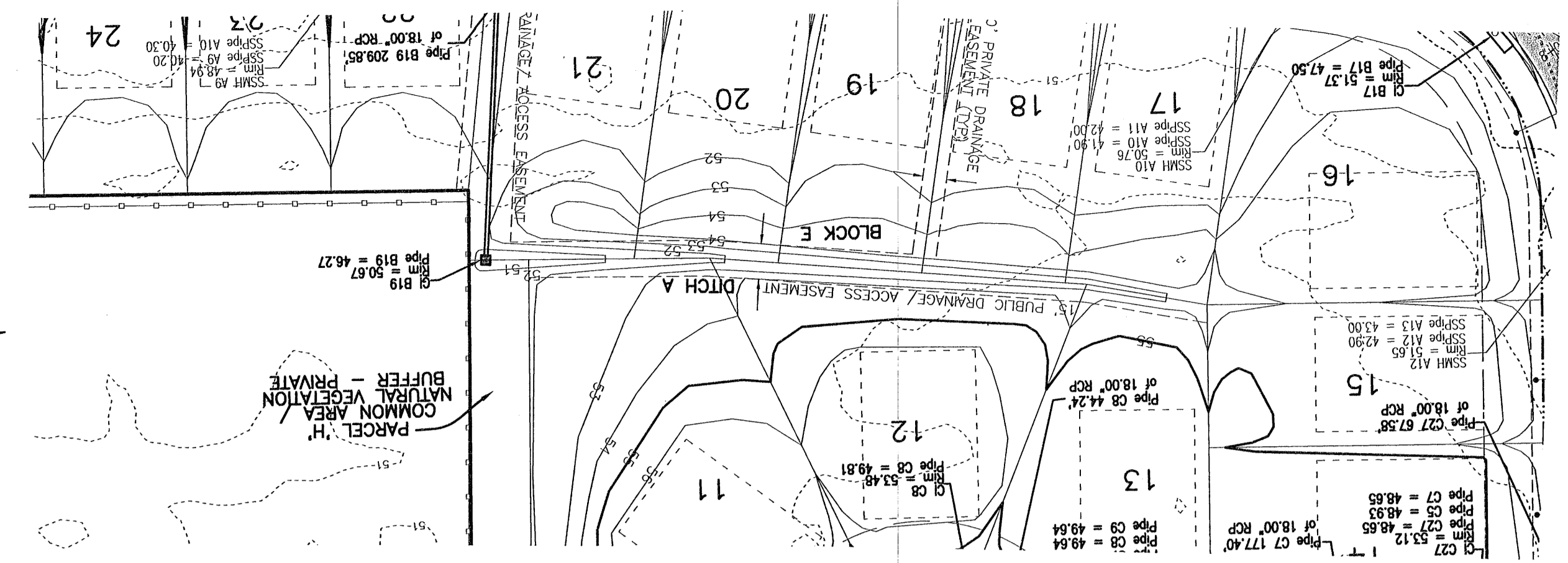
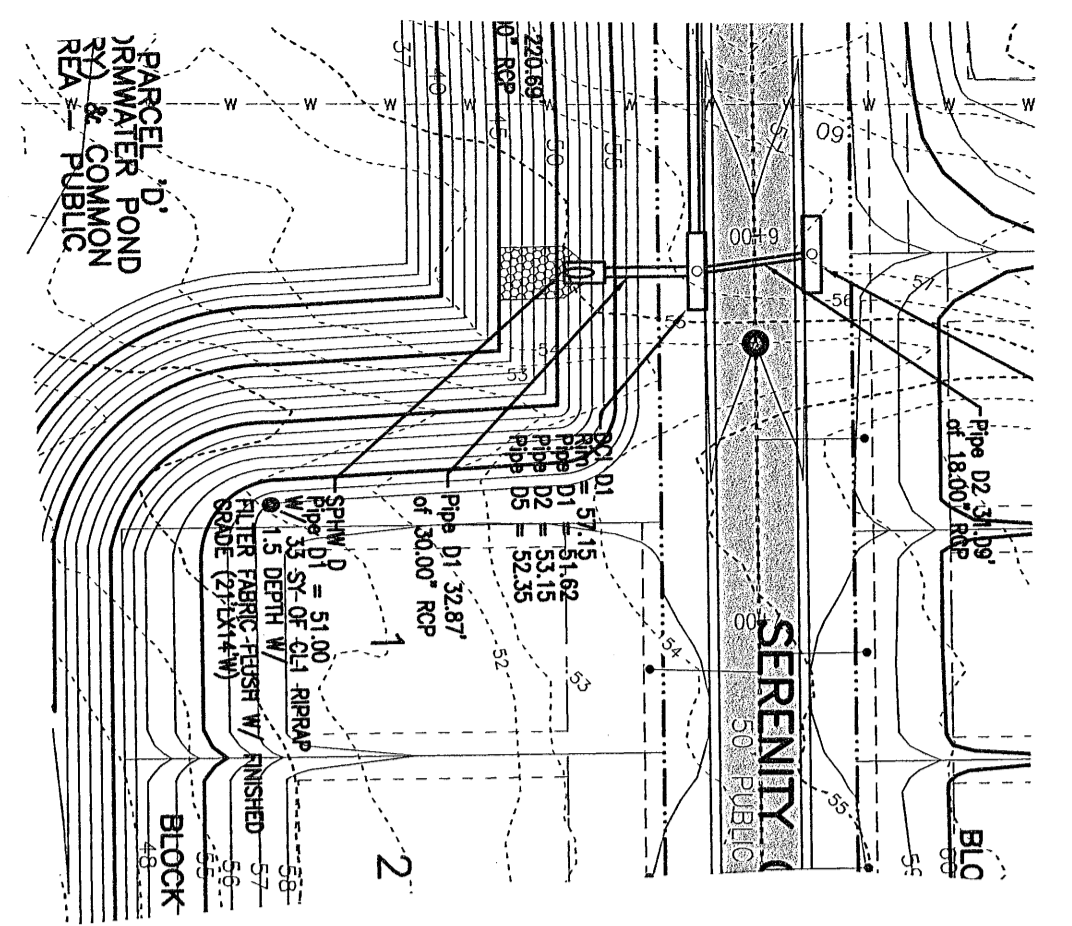
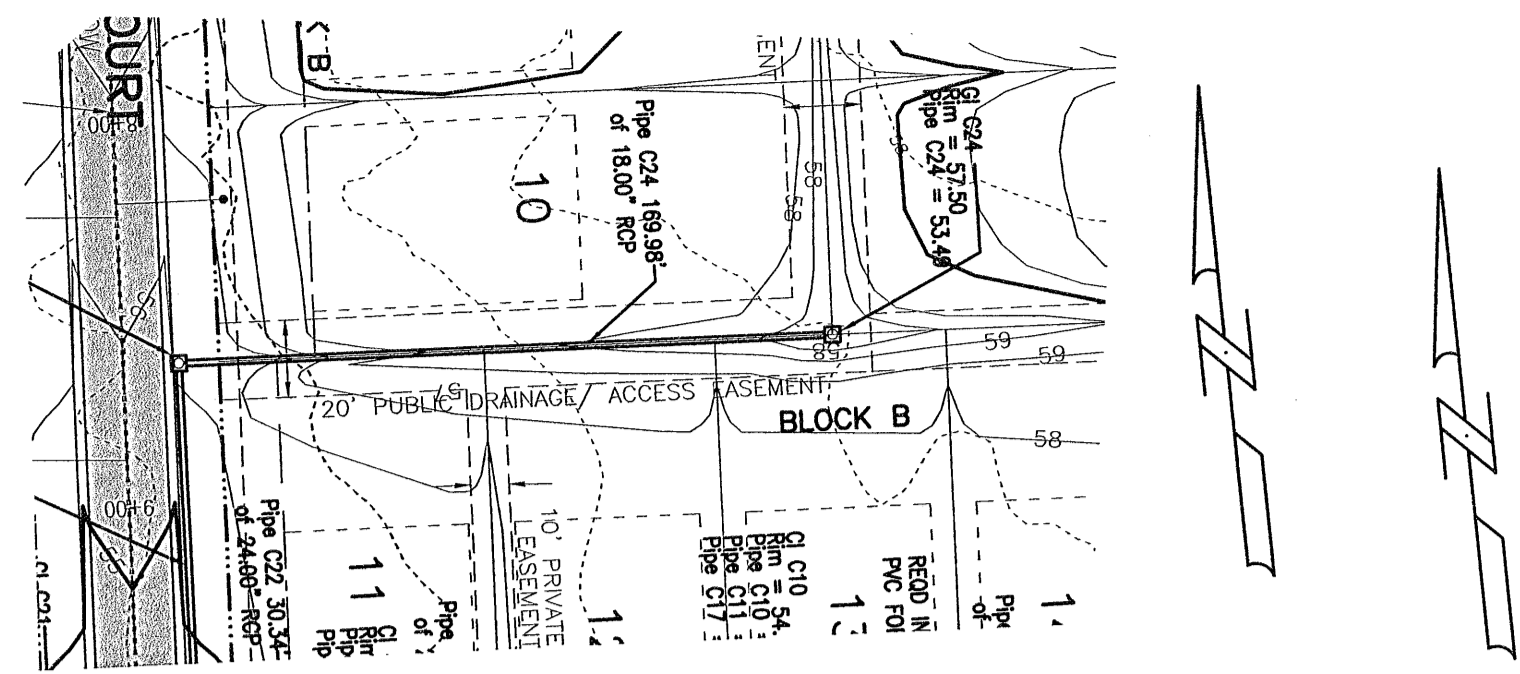
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**MULLINS, LLC**  
 CIVIL ENGINEERING, DEVELOPMENT DESIGN  
 SURVEYING  
 4900 Bayou Blvd., Ste. 200, Pensacola, FL 32403  
 (850) 462-8412

Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
 PREPARED FOR: Lennar Homes, LLC

STORM PROFILES  
 Job No: 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER  
**15**



REVISIONS

DATE	DESCRIPTION

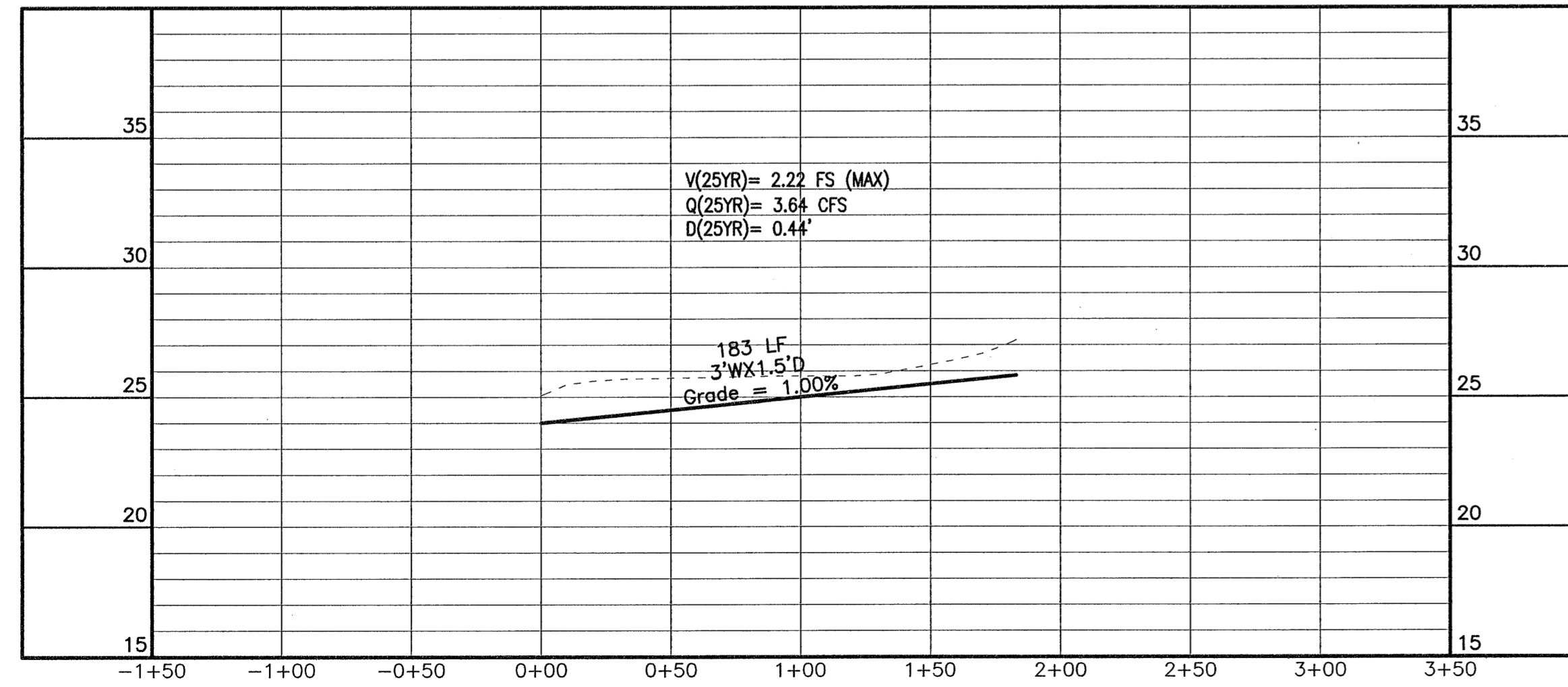
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 4900 Bayou Blvd., Ste. 200, Pensacola, FL 32403  
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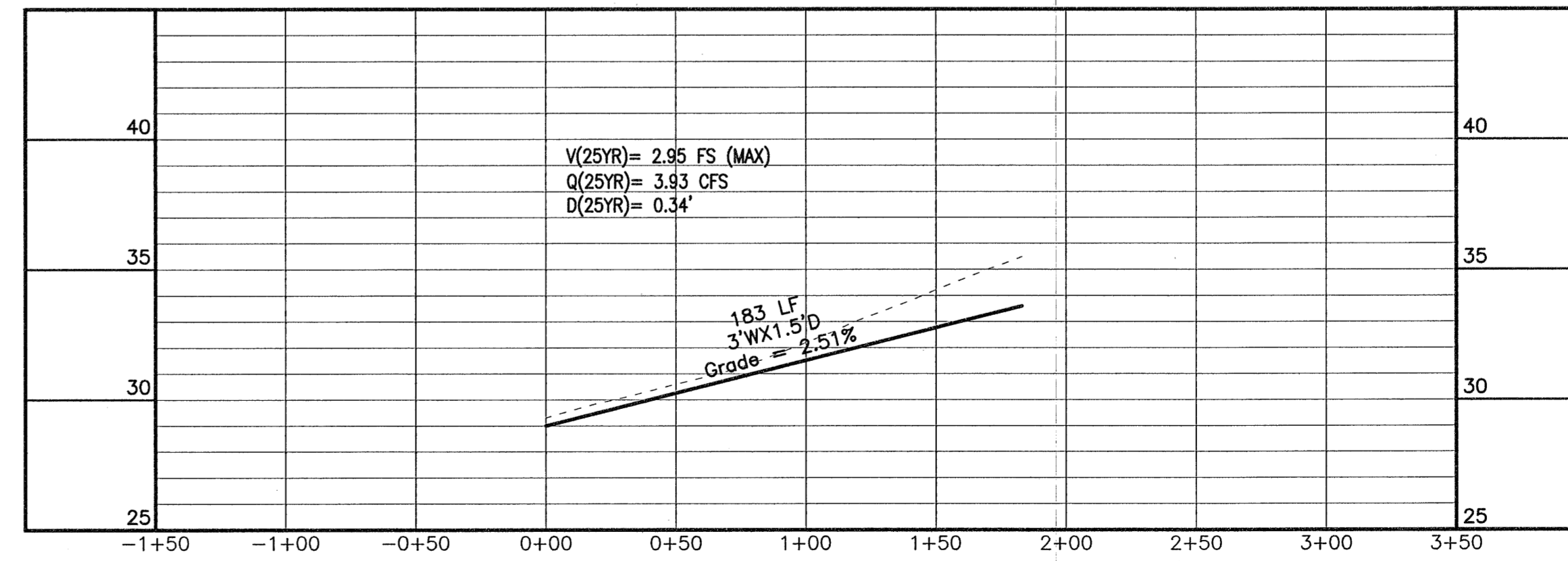
Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
 PREPARED FOR: Lemnar Homes, LLC

STORM PROFILES  
 Job No. 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL

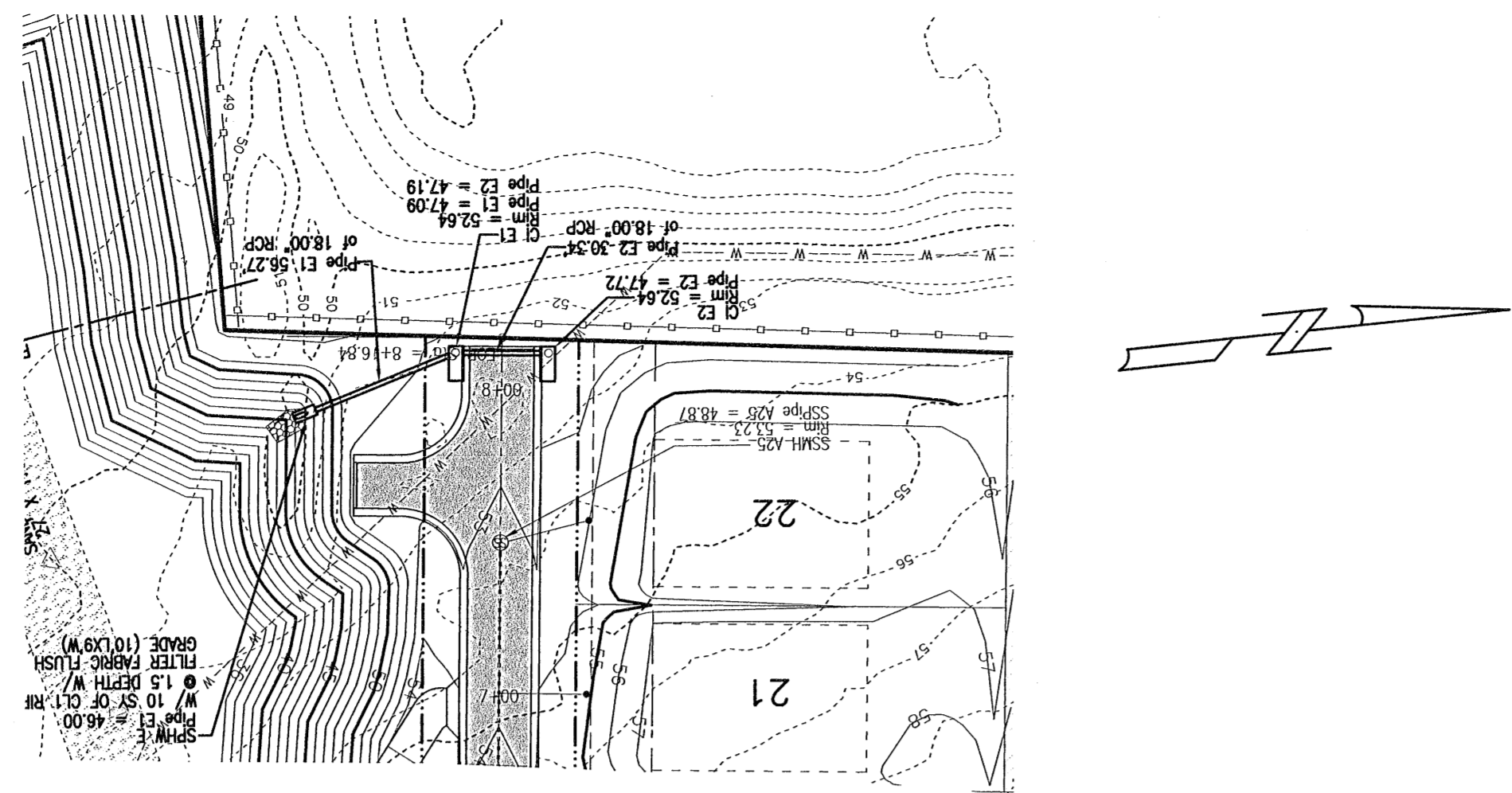
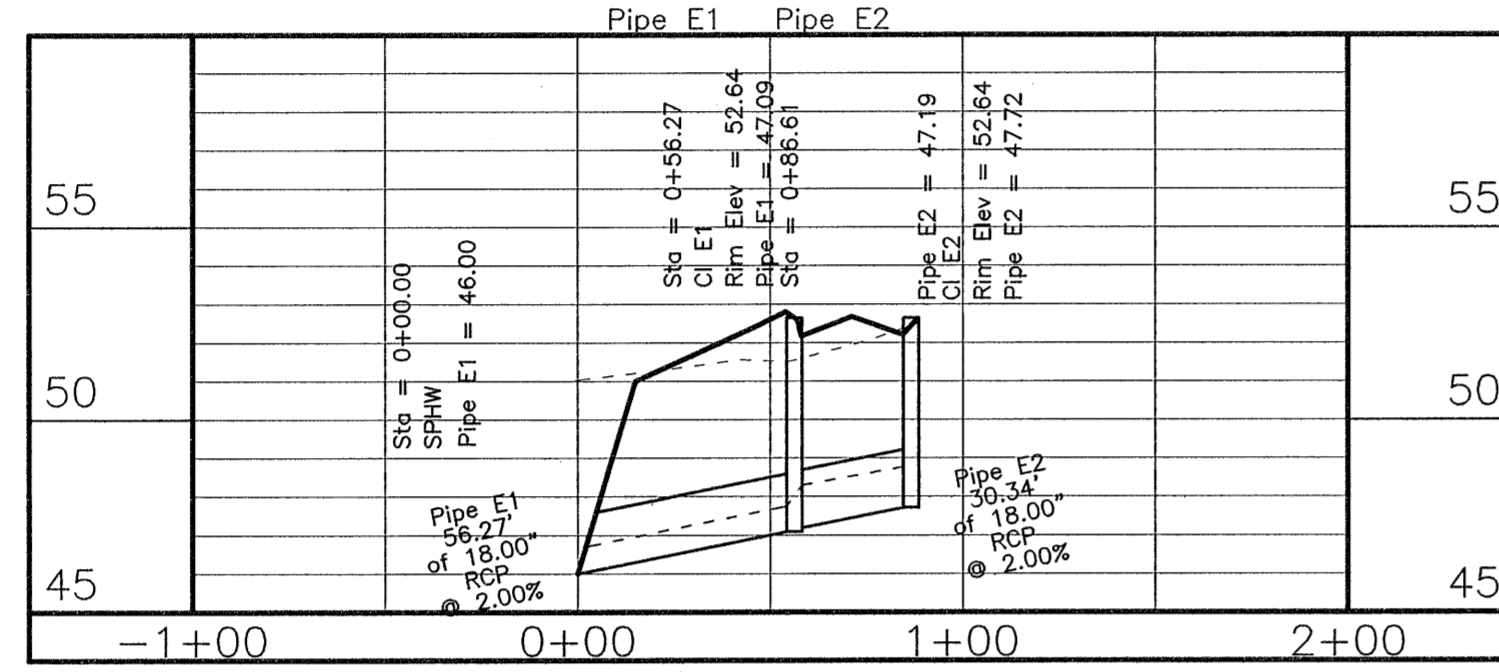
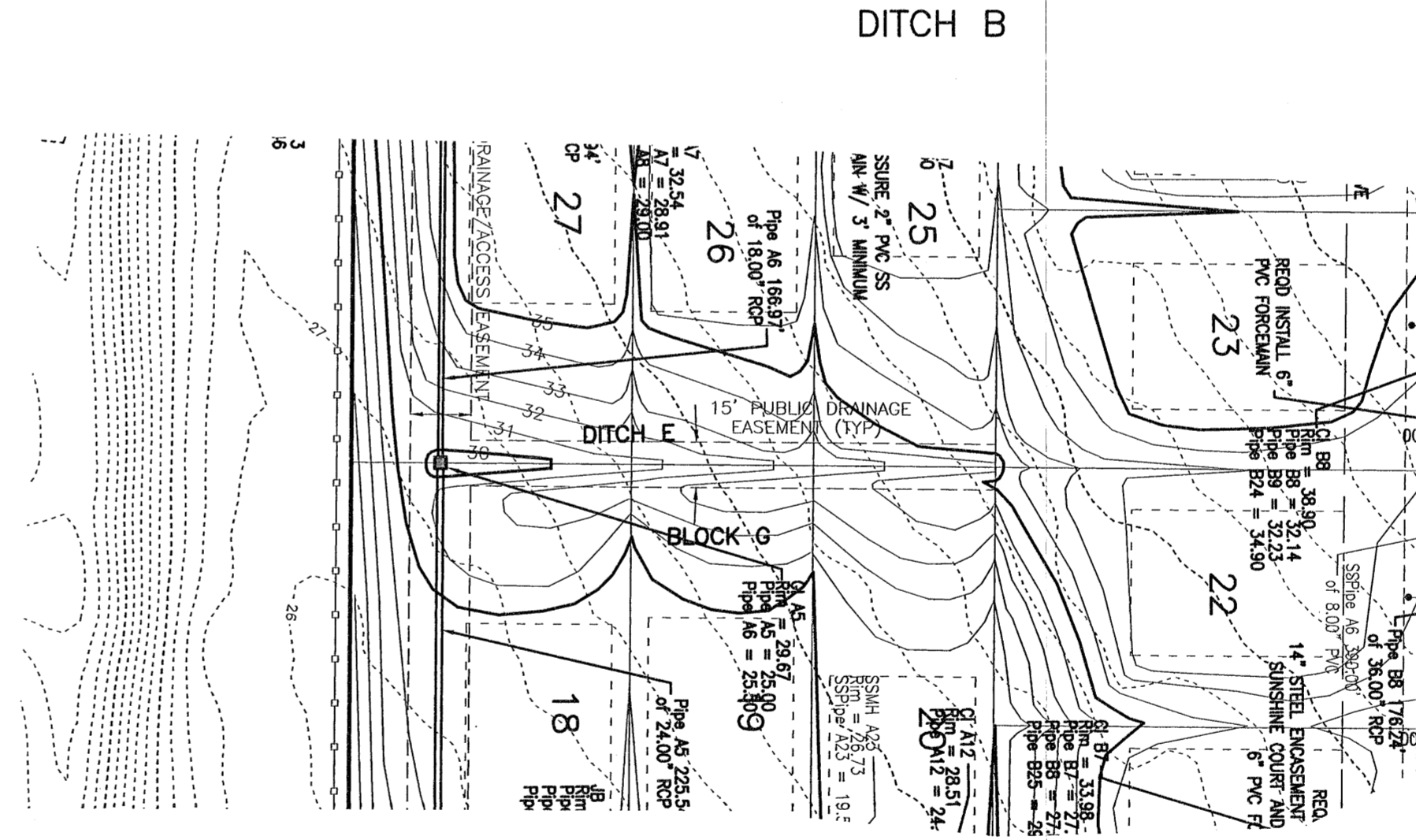
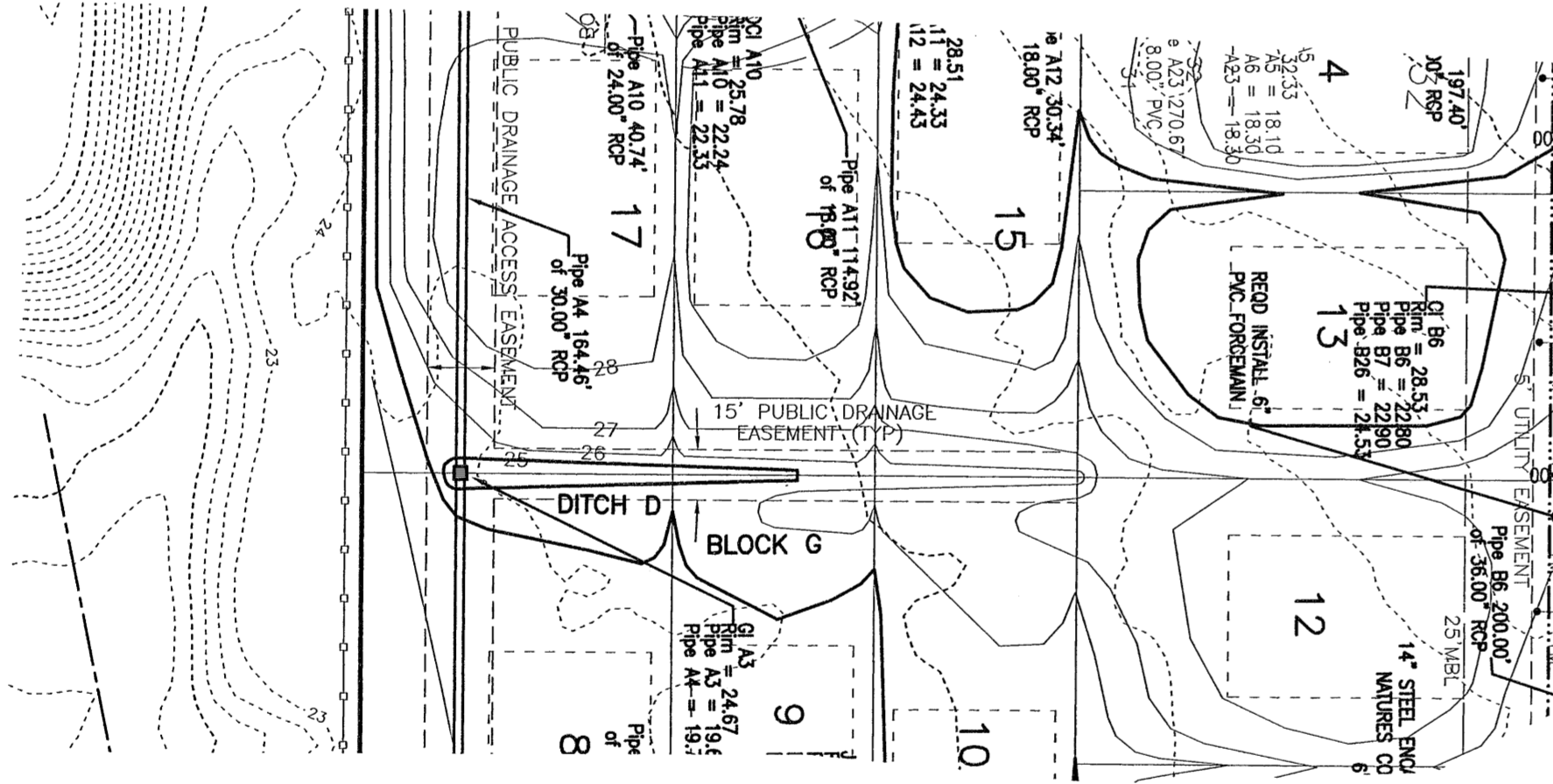
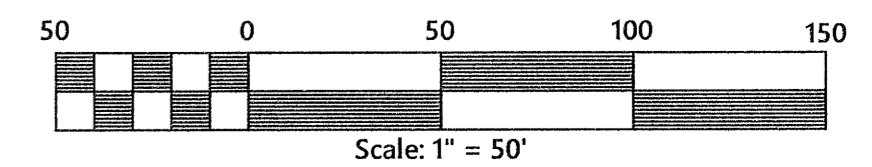
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**15A**



DITCH D



DITCH E



Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL

STORM PROFILES

Job No. 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER

**15B**

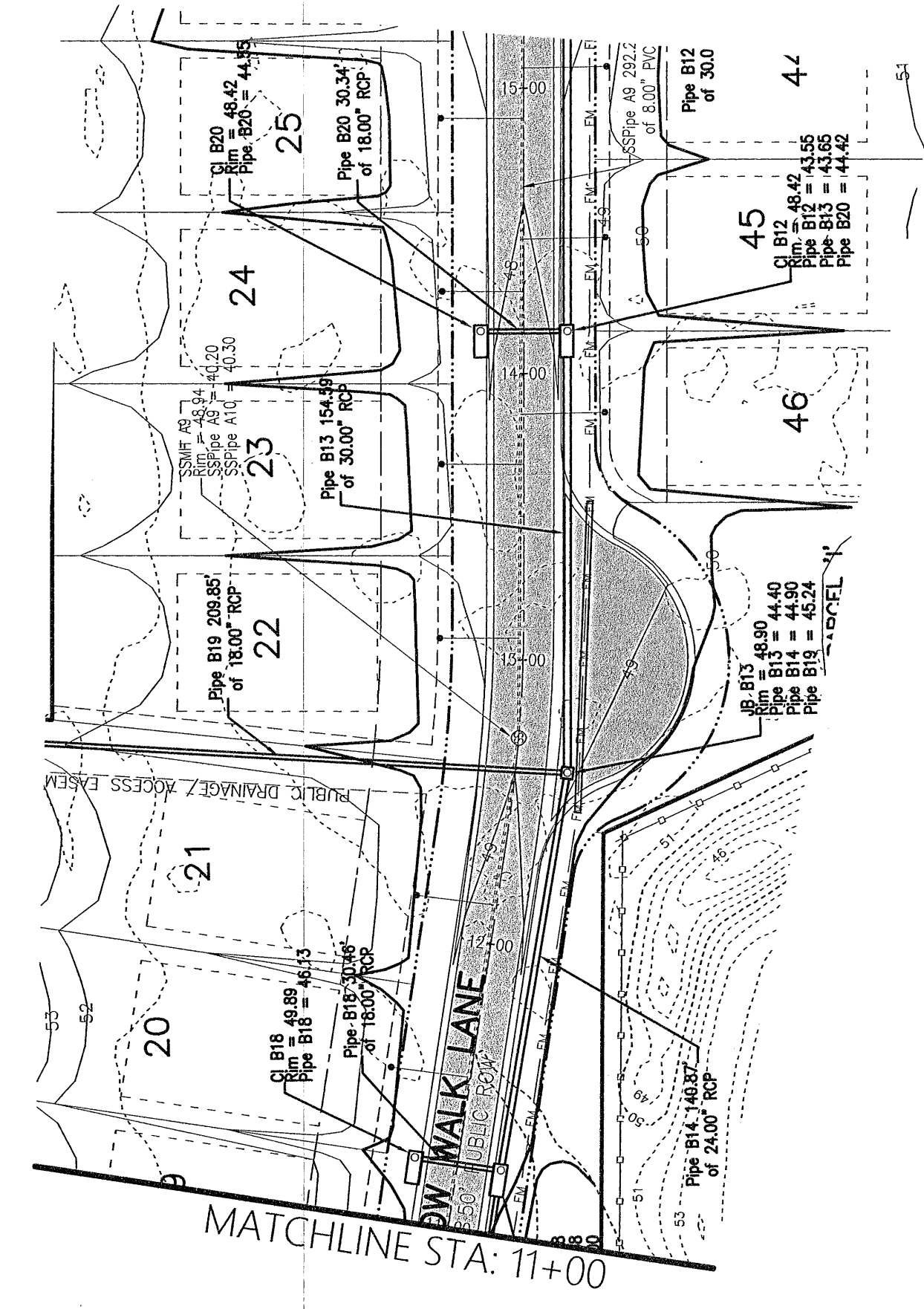
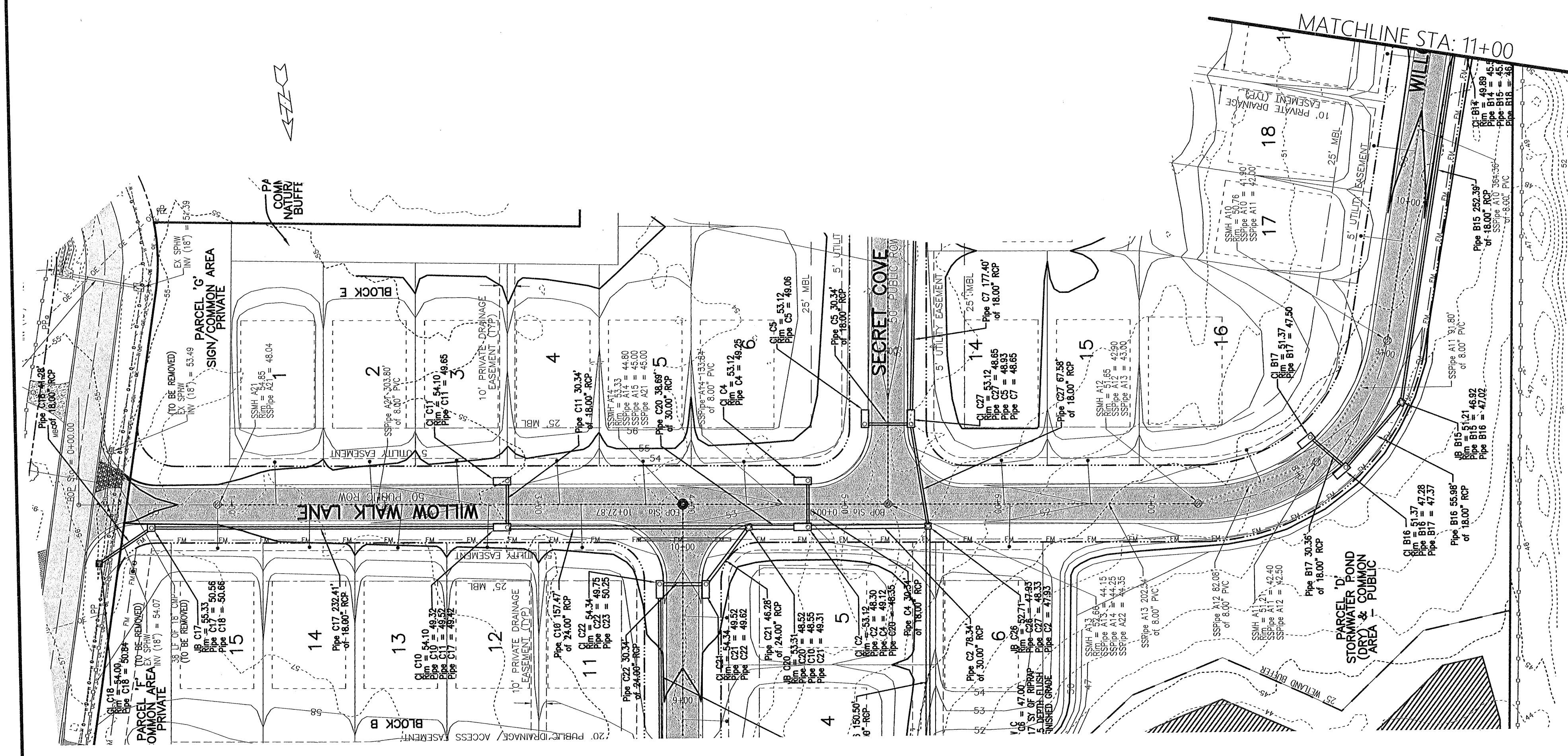
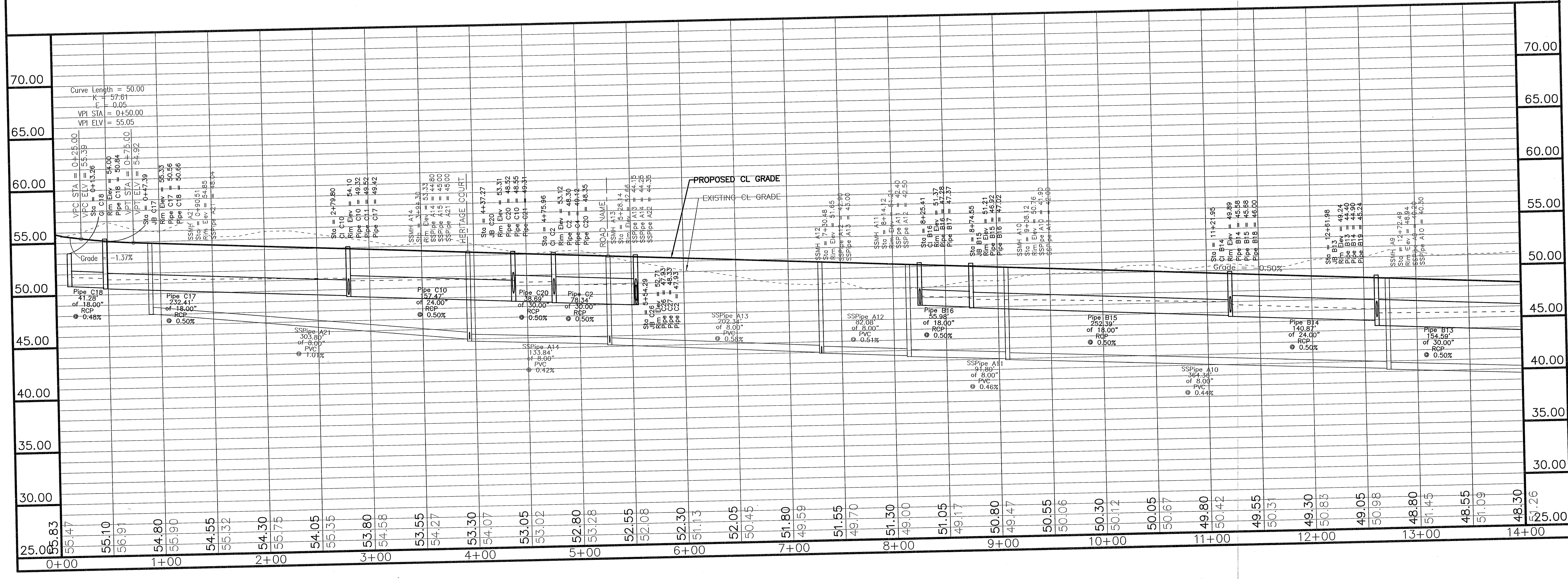
REVISIONS

Date	Description

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 4500 Bayou Blvd., Ste. 200, Pensacola, FL 32503  
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All documents including Drawings and Bid Specifications, prepared or furnished by Firms listed on face, are instruments of service in respect of the client and firms listed on face. Interest in ownership and property interest therein whether or not the Project is completed. Such documents are not intended to be presented to be suitable for reuse by the Client or others on extensions of the Project or on any other project. Any reuse without written verification by Firms listed on face will entitle Firms listed on face to further compensation at rates to be agreed upon by firms listed on face and the Client.

PREPARED FOR: Lemnar Homes, LLC



SHEET NUMBER

19

CENTERLINE A  
PLAN & PROFILE A

Bennington Park Subdivision  
Escambia County, FL

Construction Plans for  
Bennington Park Subdivision  
Escambia County, FL

MULLINS, LLC  
CIVIL ENGINEERING, DEVELOPMENT DESIGN  
SURVEYING

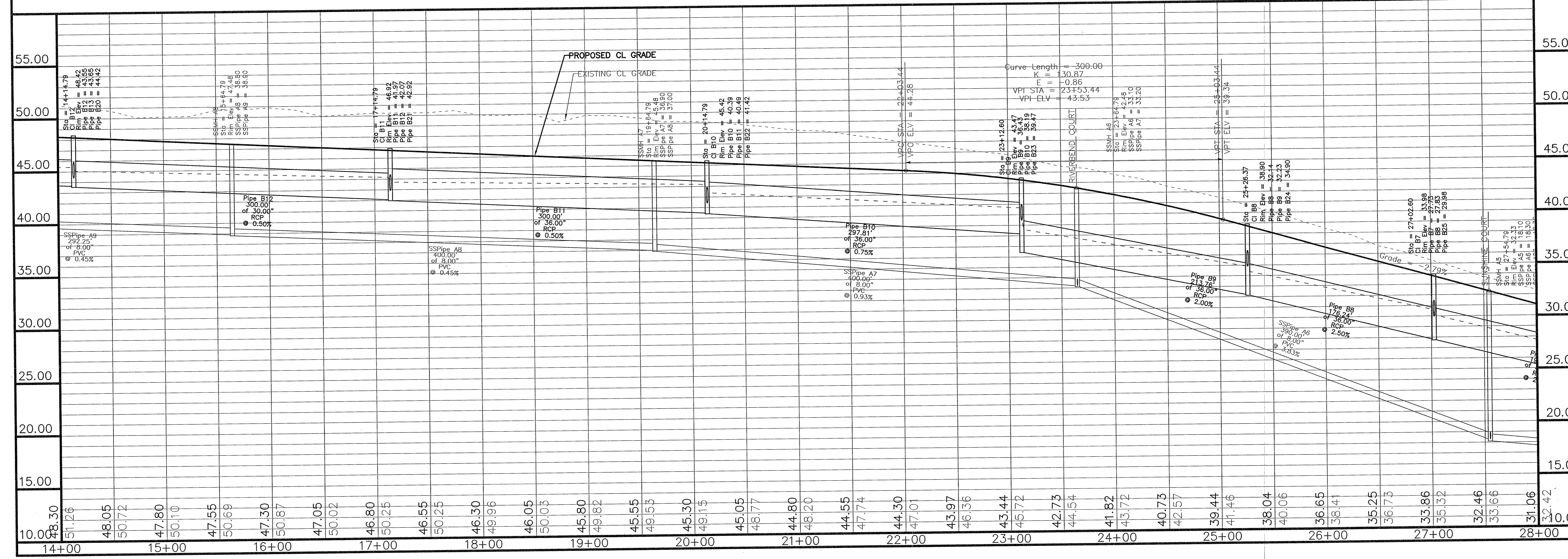
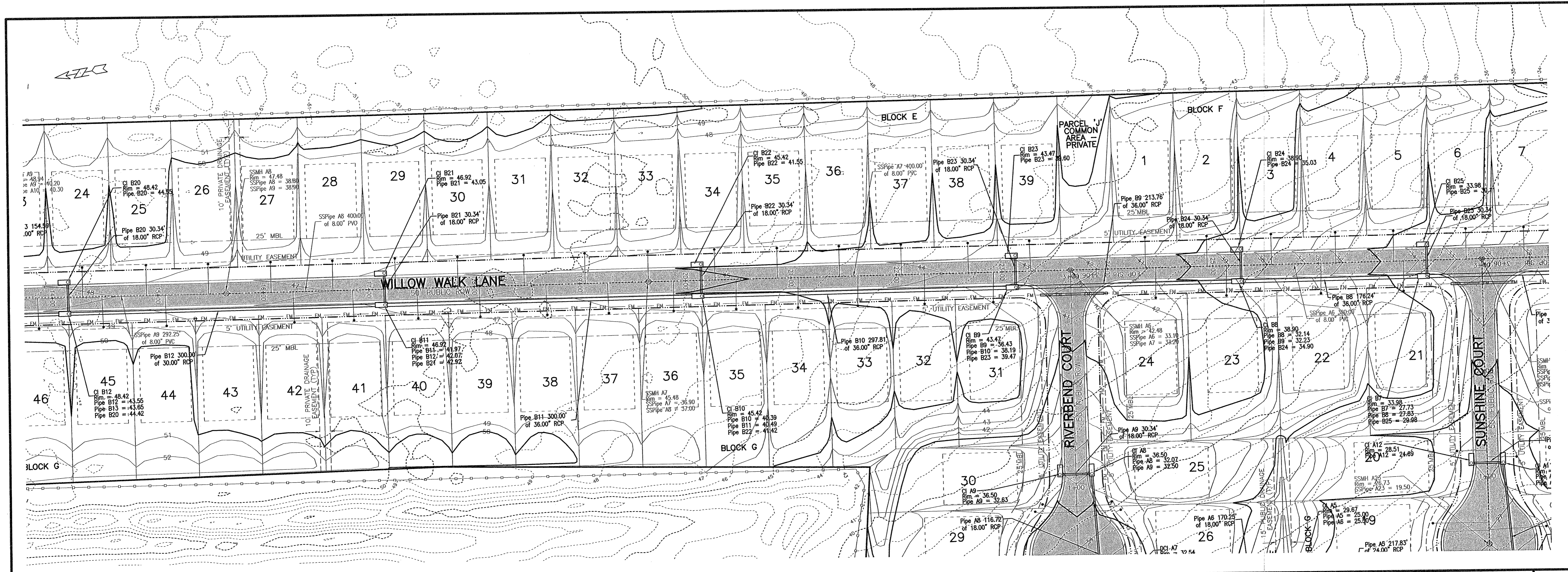
4950 Bayou Blvd., Ste. 200, Pensacola, FL 32403  
(850) 462-8412

PREPARED FOR: Lennar Homes, LLC

Job No. 23-183P  
Date: 5/24/2024  
Drawn By: CAB  
Checked By: ENL

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All documents, including Drawings and Bid Specifications, prepared or furnished by Firms listed on face, are instruments of service in respect of the client and limits listed on face, shall remain an ownership and copyrighted interest therein whether or not they are represented to be such documents are the Client or others on extensions of submittal or on any other project. Any reuse without written verification by Firms listed on face will entitle Firms listed on face to further compensation at rates to be agreed upon by Firms listed on face and the Client.



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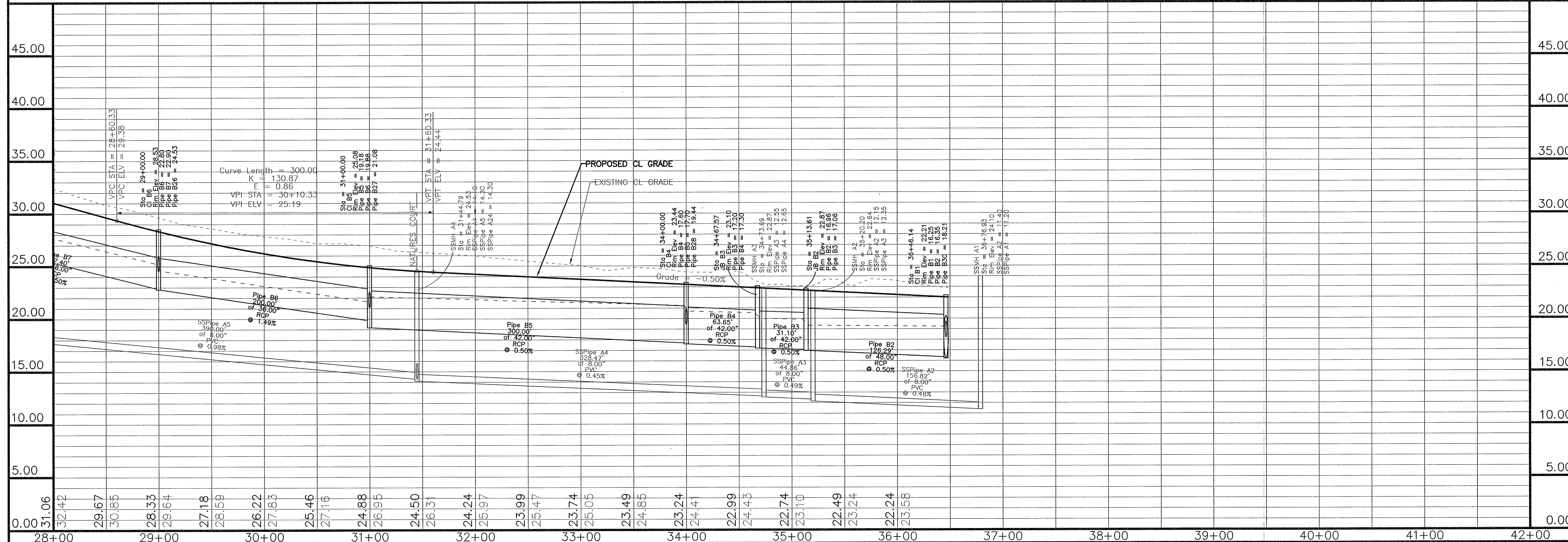
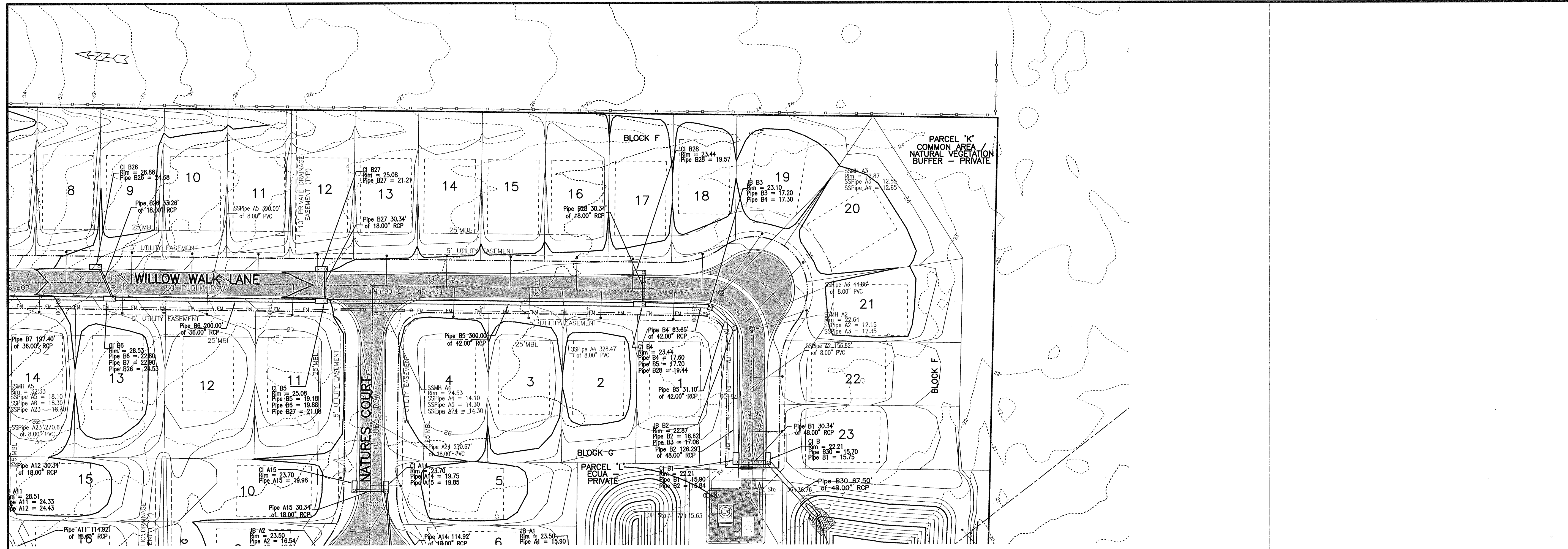
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Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
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CENTERLINE A  
 PLAN & PROFILE B  
 Job No. 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER  
**20**



REVISIONS

Date	Description

All documents, including Drawings and Bid Specifications, prepared or furnished by Firms listed on face, are instruments of service in respect of the client and firms listed on face, shall retain an ownership and property interest therein whether or not the Project is completed. Such documents are not intended to be represented to be suitable for reuse by the Client or others on extensions of the Project or on any other project. Any reuse without written verification by Firms listed on face will entitle Firms listed on face to further compensation at rates to be agreed upon by Firms listed on face and the Client.

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 SURVEYING

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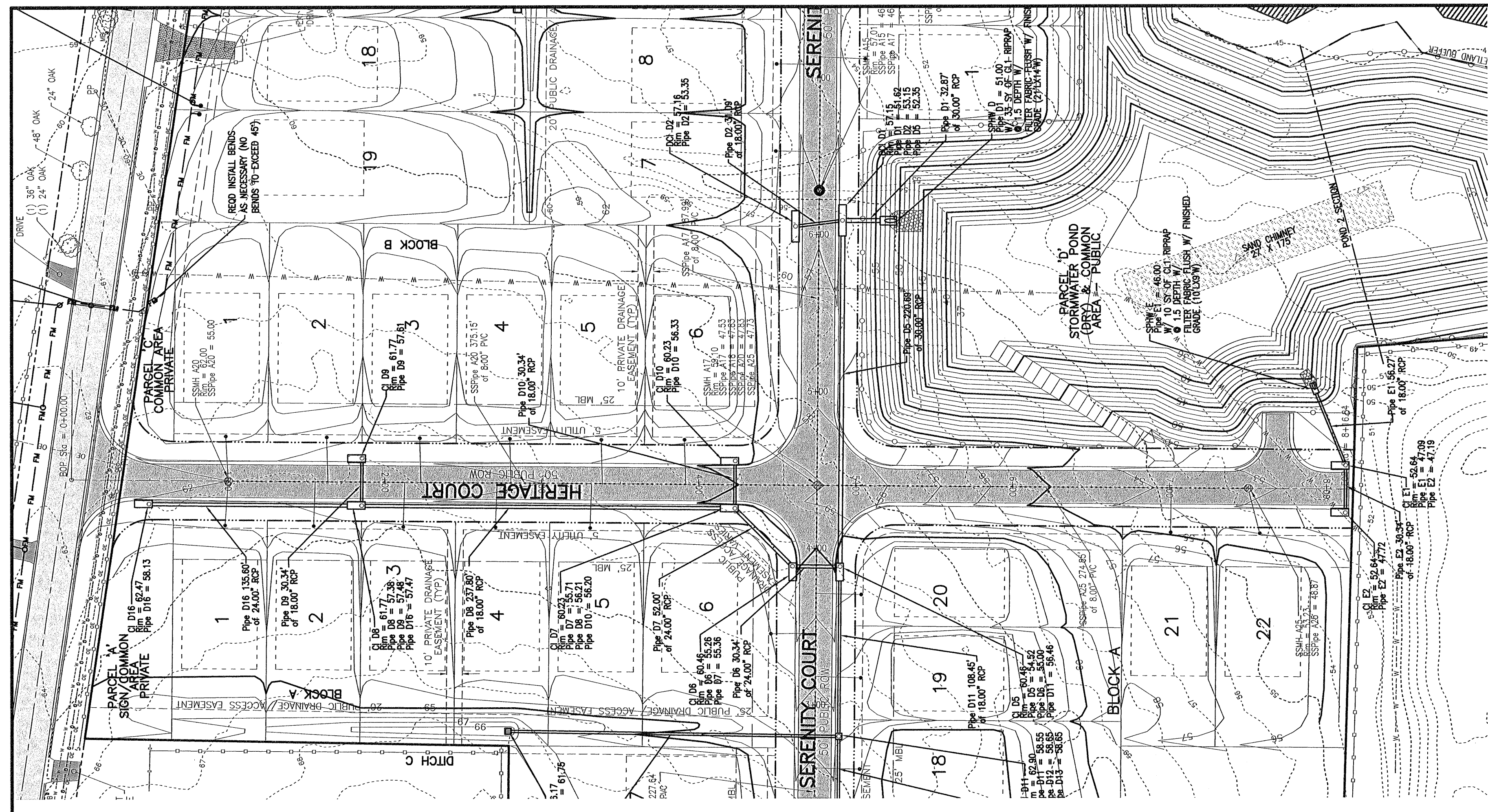
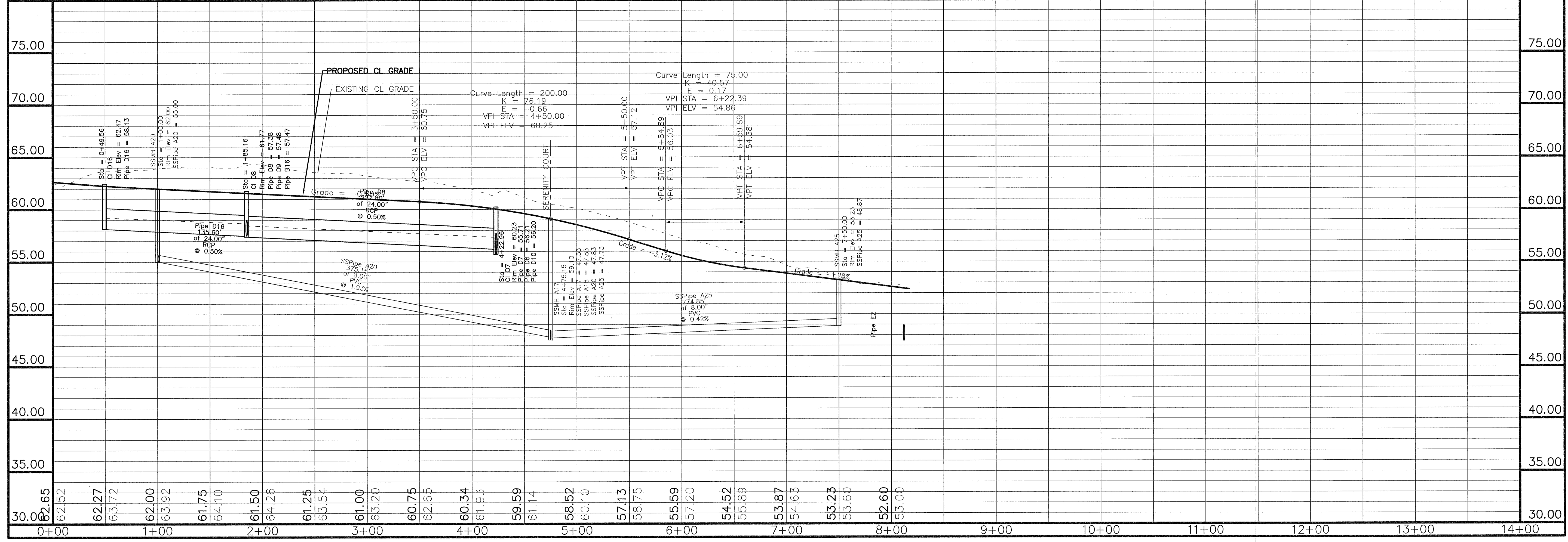
Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL

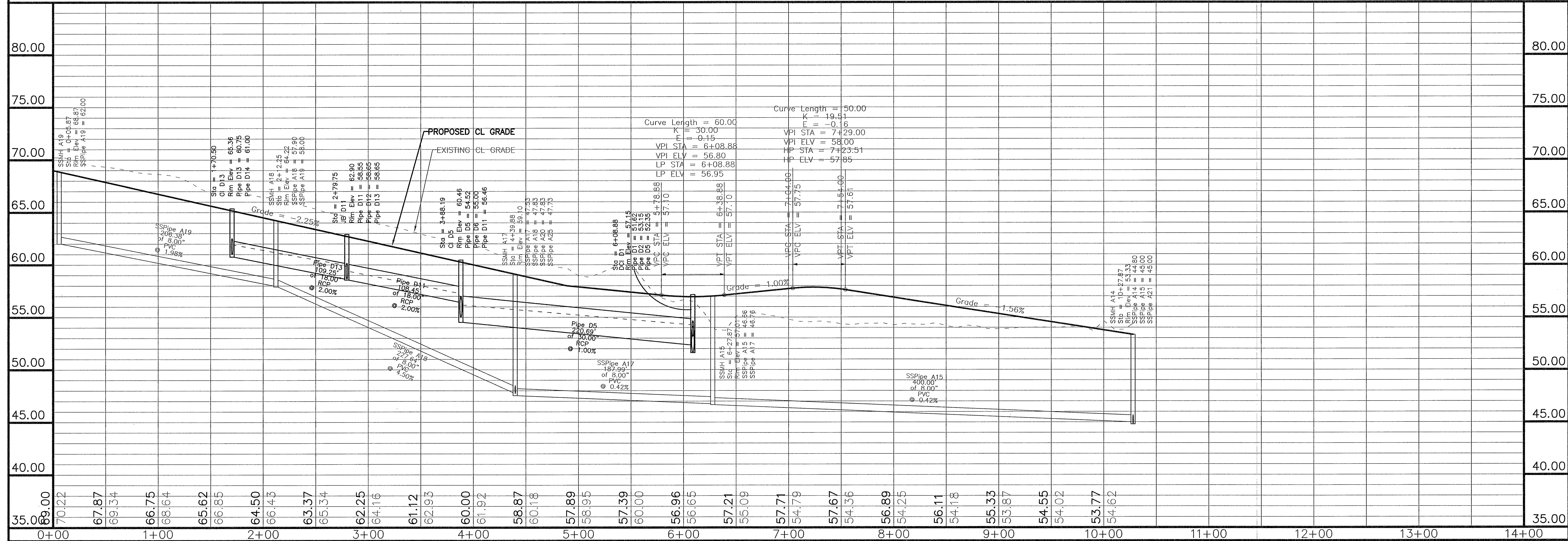
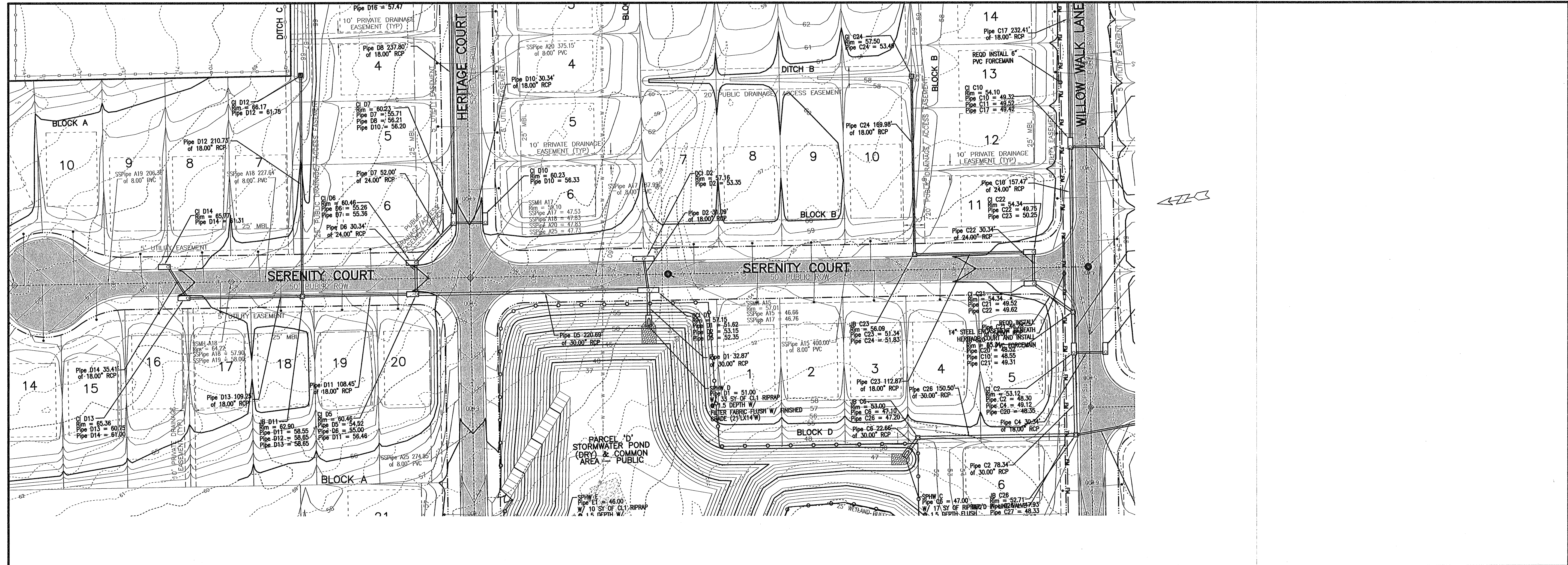
PREPARED FOR: Lennar Homes, LLC

CENTERLINE A  
 PLAN & PROFILE C

Job No. 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER  
**21**



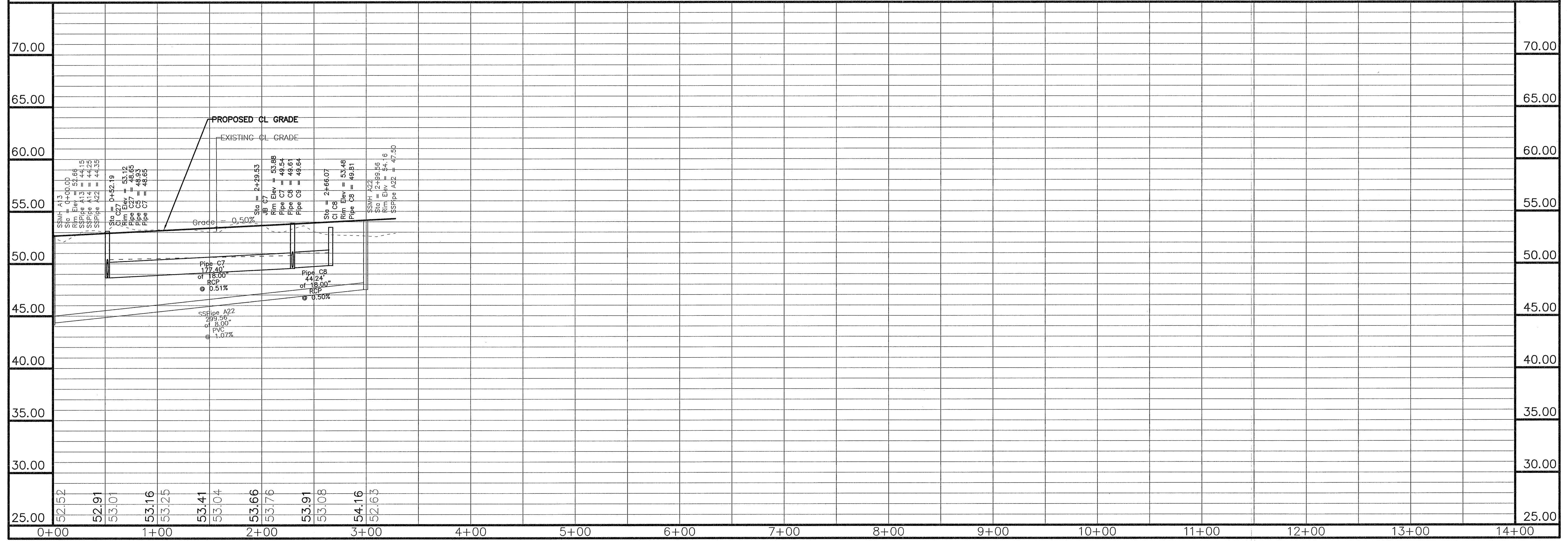
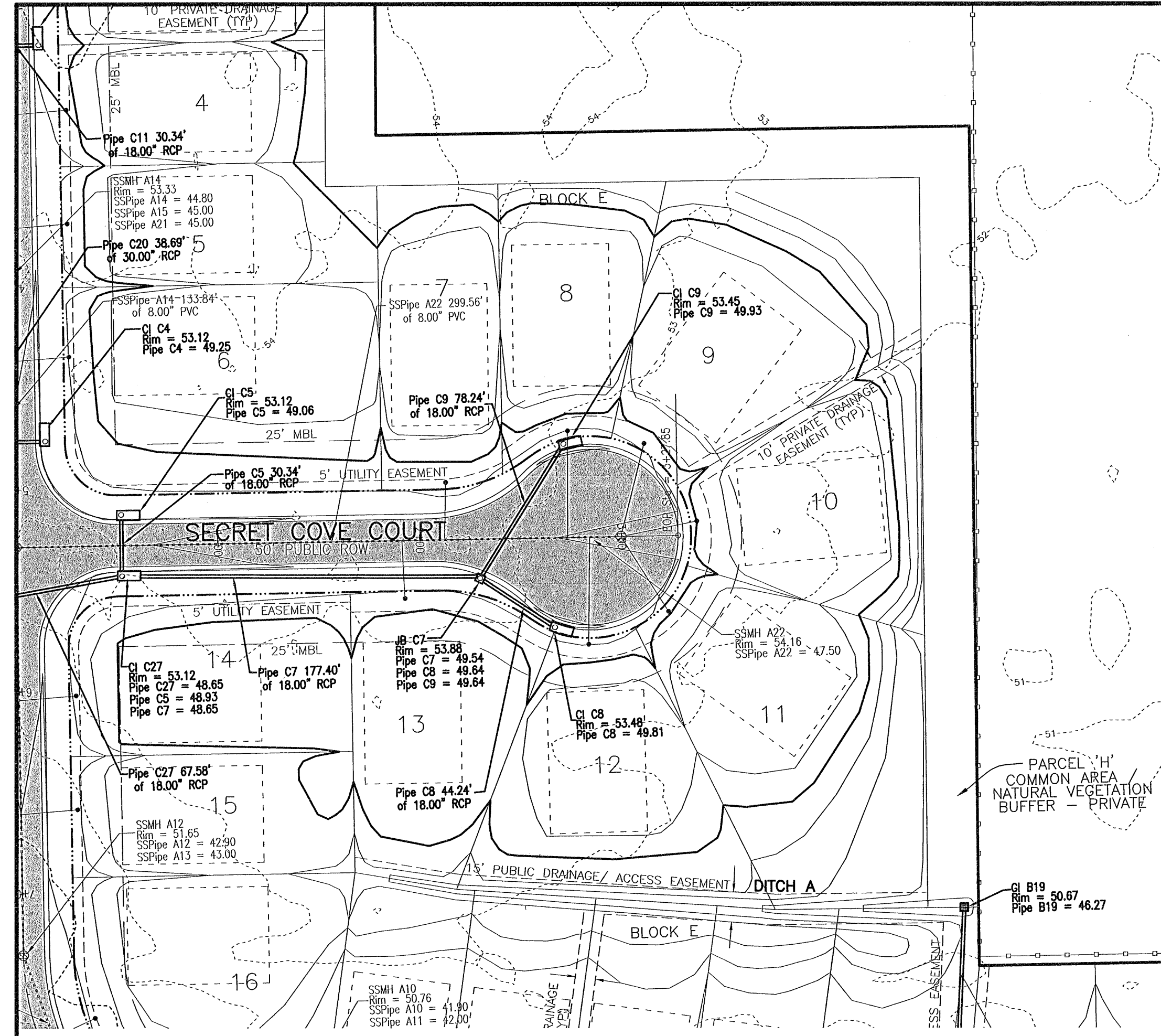


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 4900 Bayou Blvd, Ste. 200, Pensacola, FL 32403  
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Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
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CENTERLINE C  
 PLAN & PROFILE

Job No. 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL



REVISIONS

Date	Description

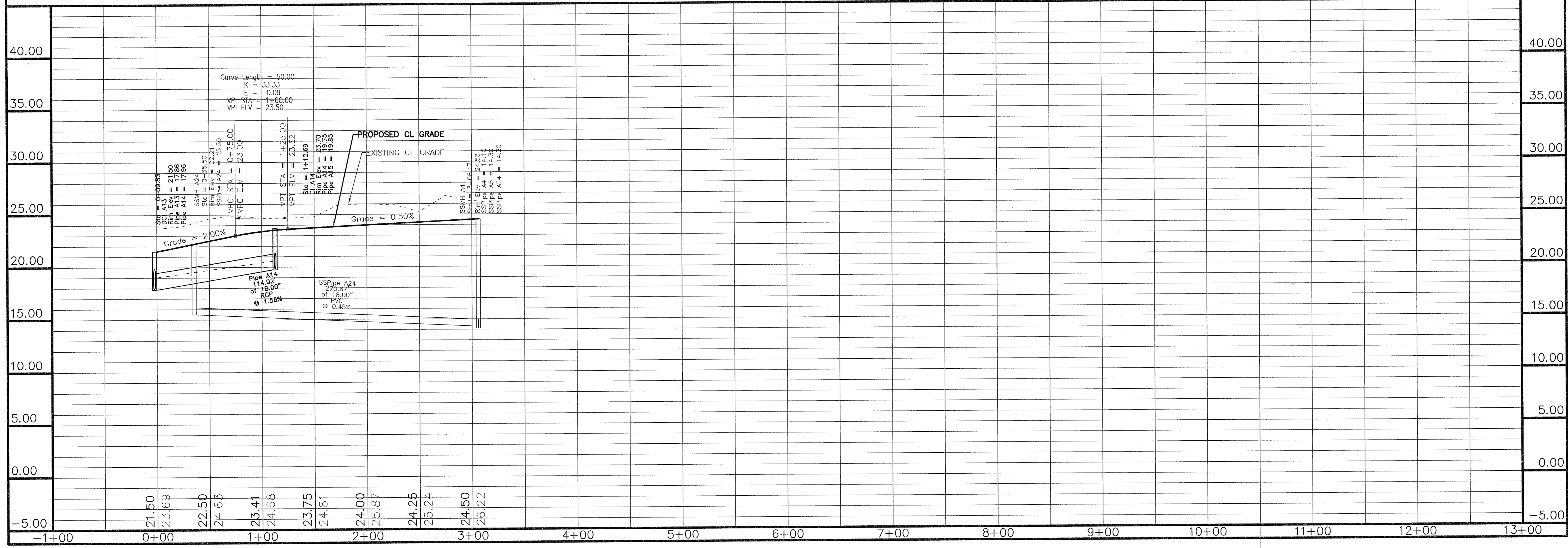
All documents, including Drawings and Bid Specifications, prepared or furnished by Firms listed on face are listed on face, shall retain an ownership and property interest therein whether or not the Project is completed. Such documents are not intended to be represented to be suitable for reuse by the Client or others on extensions of the Project or on any other project. Any reuse without written verification by Firms listed on face will entitle Firms listed on face to further compensation at rates to be agreed upon by Firms listed on face and the Client.

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Construction Plans for  
**Bennington Park Subdivision**  
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SECRET COVE COURT  
 PLAN & PROFILE  
 Job No. 23-183P  
 Date: 5/24/2024  
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**24A**



REVISIONS

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All documents, including Drawings and Bid Specifications, prepared or furnished by Firms listed on face, are instruments of service in respect of the client and firms listed on face, shall retain an ownership and property interest therein whether or not the Project is completed. Such documents are not intended to be represented to be suitable for reuse by the Client or others on extensions of the Project or on any other project. Any reuse without written verification by Firms listed on face will entitle Firms listed on face to pursue compensation from the Client. To be agreed upon by Firms listed on face and the Client.

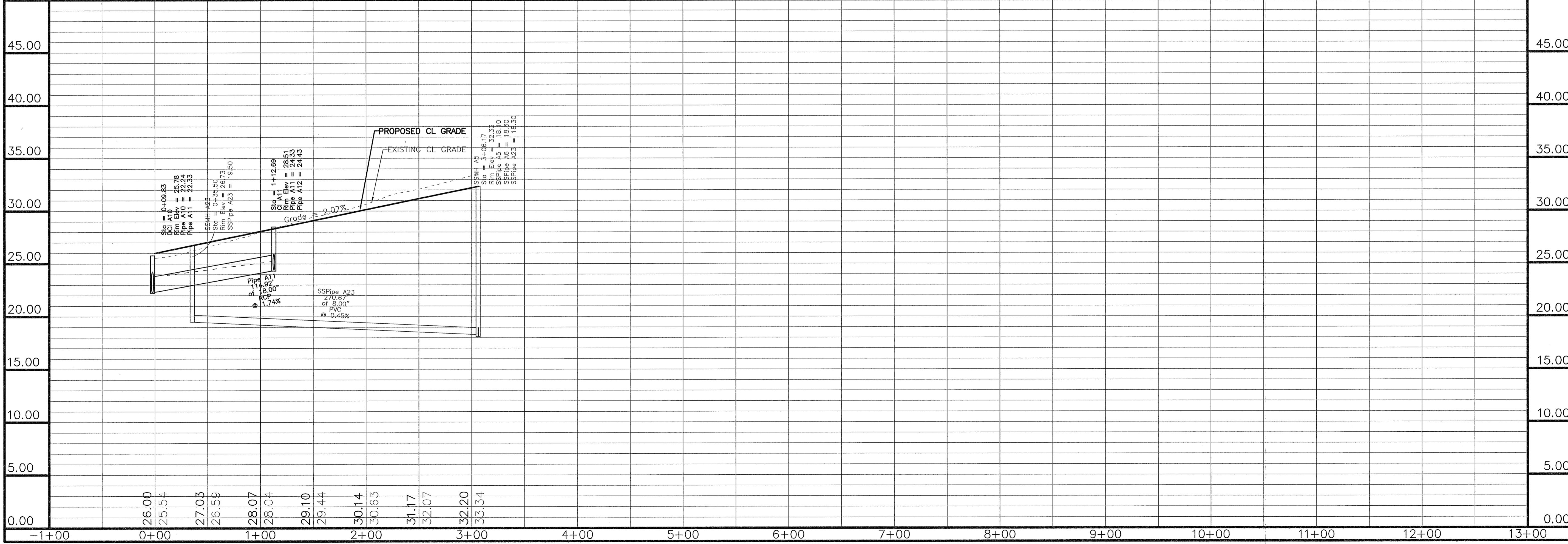
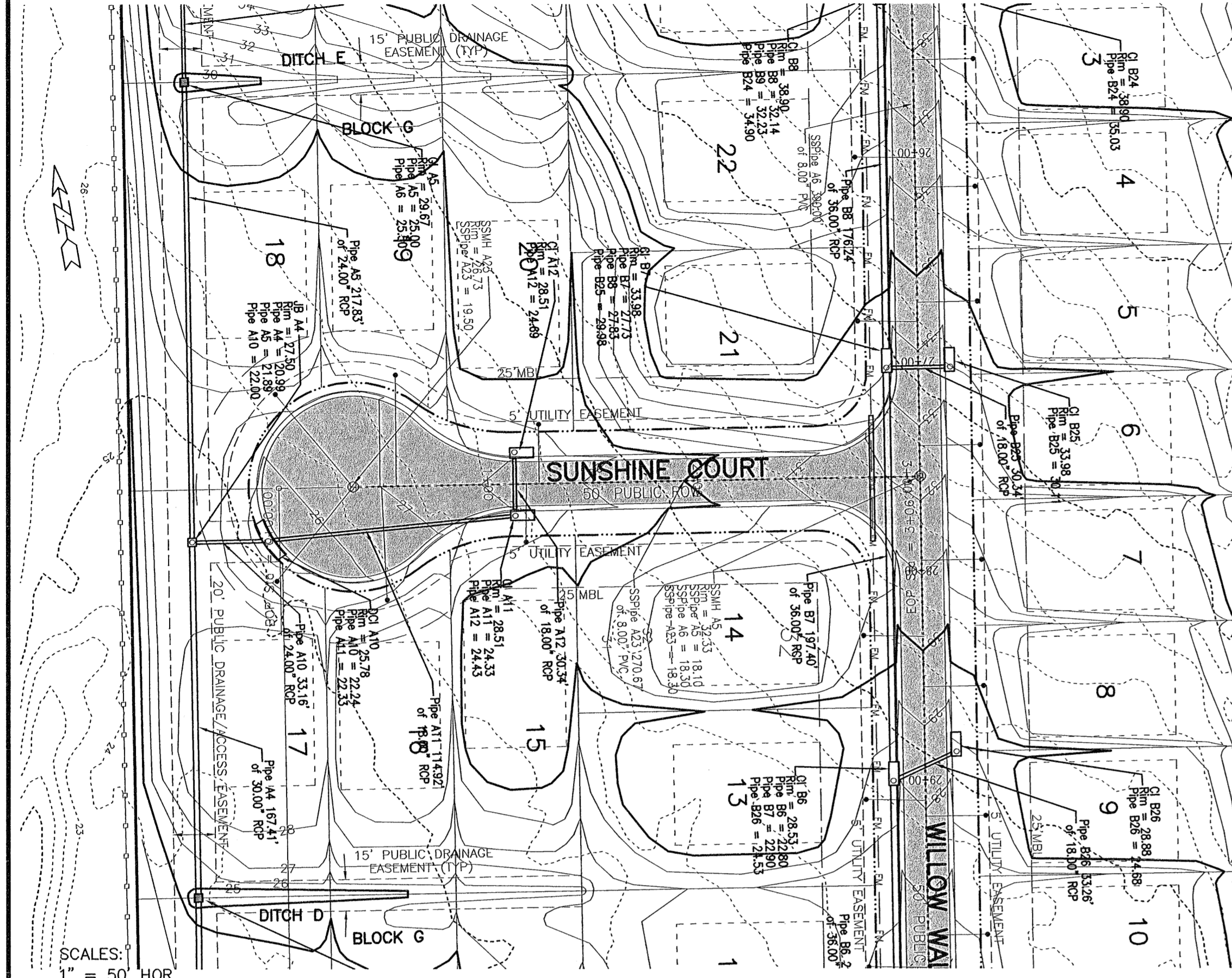
**MULLINS, LLC**  
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 SURVEYING  
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Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
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CENTERLINE D  
 PLAN & PROFILE  
 Job No: 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER  
**25**

SCALES:  
 1" = 50' HOR  
 1" = 5' VER



REVISIONS

Date	Description

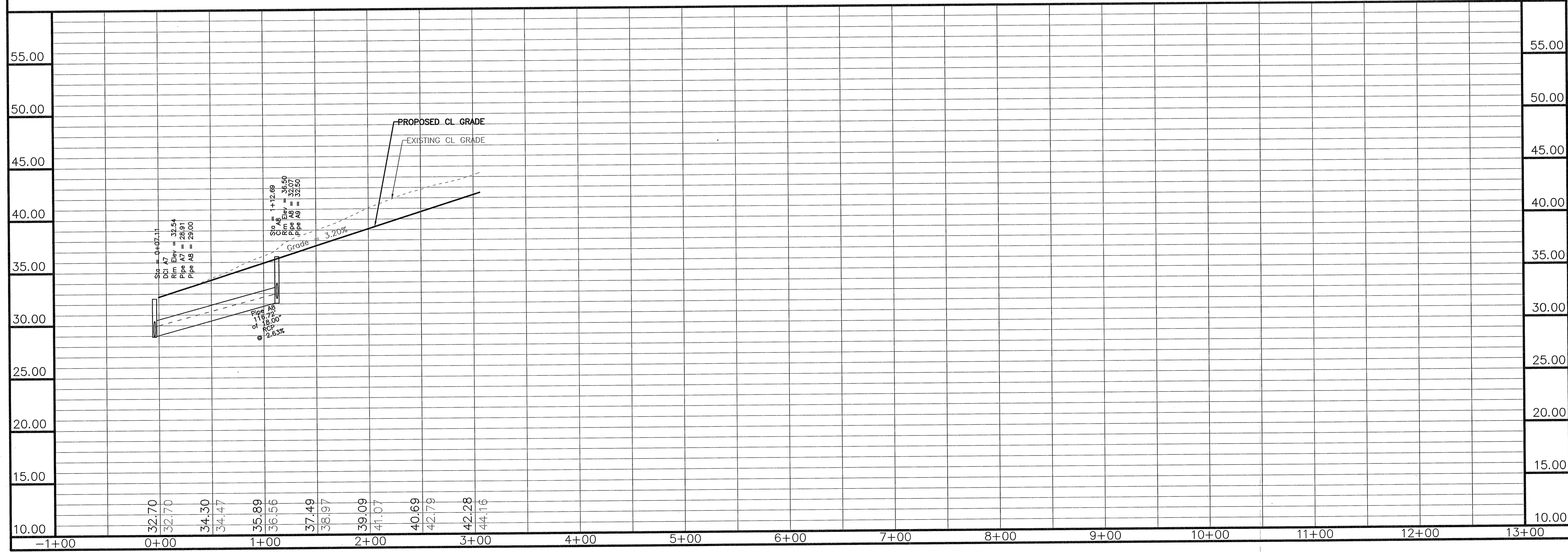
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 4900 Bayou Blvd, Ste. 200, Pensacola, FL 32403  
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Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
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CENTERLINE E  
 PLAN & PROFILE  
 Job No: 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER  
**26**



REVISIONS

Date	Description

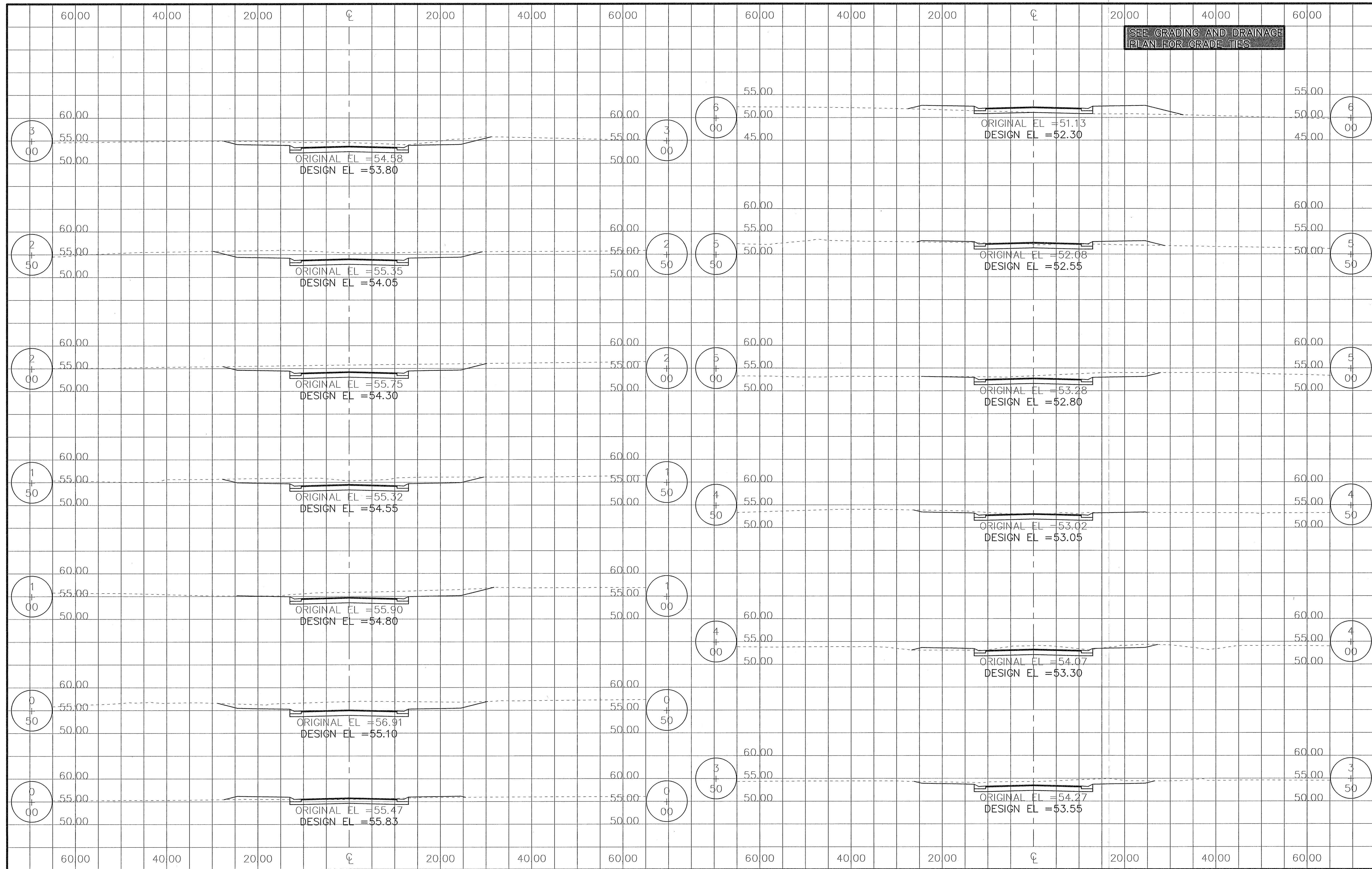
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Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
 PREPARED FOR: Lennar Homes, LLC

CENTERLINE F  
 PLAN & PROFILE  
 Job No: 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER  
**27**



REVISIONS

Date	Description

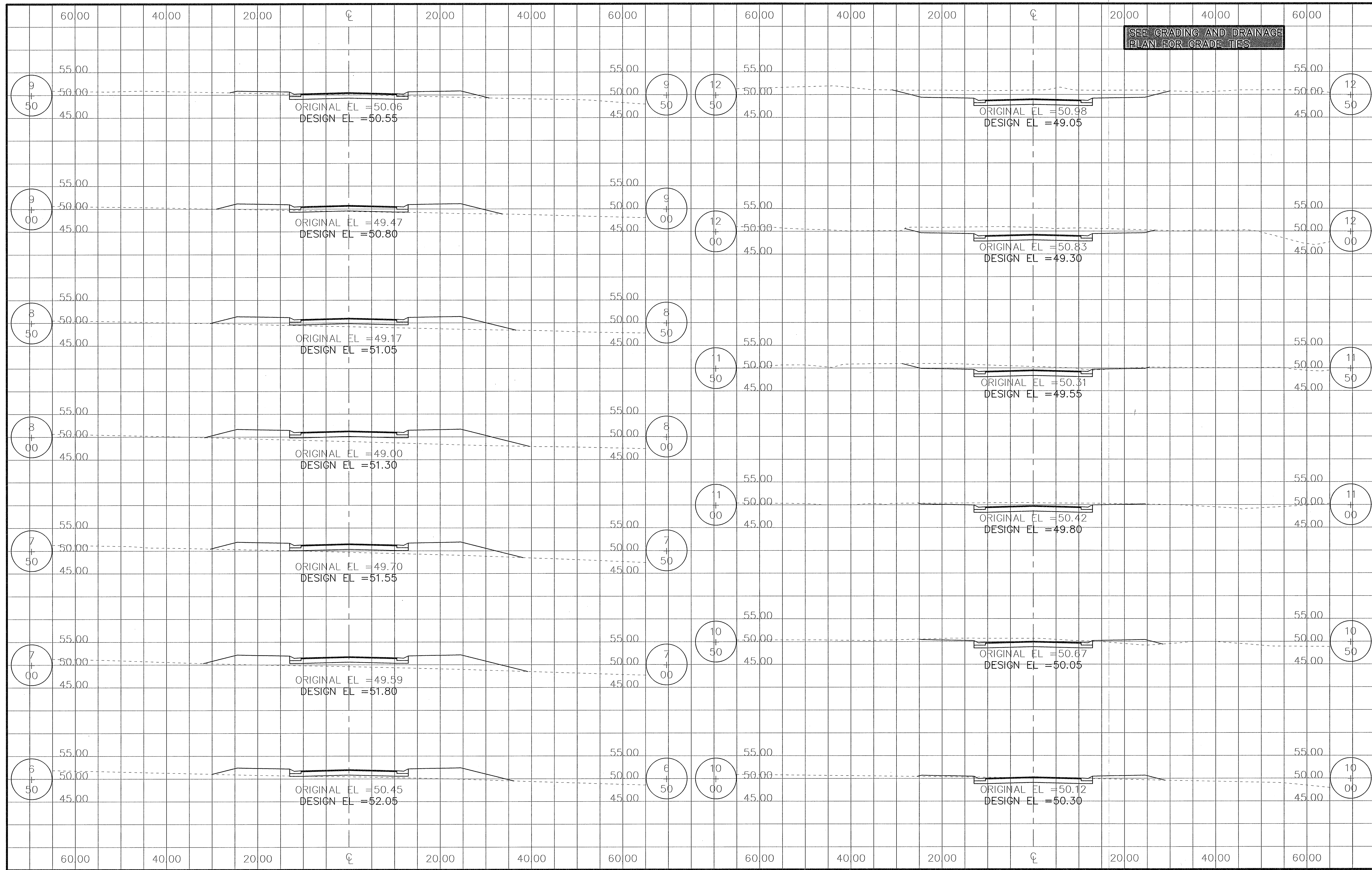
All documents, including Drawings and Bid Specifications, prepared or furnished by Firms listed on face, are instruments of service in respect of the client and firms listed on face. Such documents are not intended to be construed as a contract or any other project. Any reuse without written verification by Firms listed on face will be deemed to be agreed upon by firms listed on face and the Client.

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 4900 Bayou Blvd., Ste. 200, Pensacola, FL 32403  
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**Bennington Park Subdivision**  
 Escambia County, FL  
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WILLOW WALK COURT CROSS SECTIONS  
 Job No. 23-183P  
 Date: 5/24/2024  
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SHEET NUMBER  
**28**



SEE GRADING AND DRAINAGE PLAN FOR GRADE TIES

REVISIONS

Date	By	Description

All documents, including Drawings and Bid Specifications, prepared or furnished by Firms listed on face, are instruments of service in respect of the client and firm listed on face. Such documents are not intended to be suitable for reuse by the Client or others on extensions of the Project or on any other project. Any reuse without written verification by Firms listed on face will entitle Firms listed on face to further compensation at rates to be agreed upon by Firms listed on face and the Client.

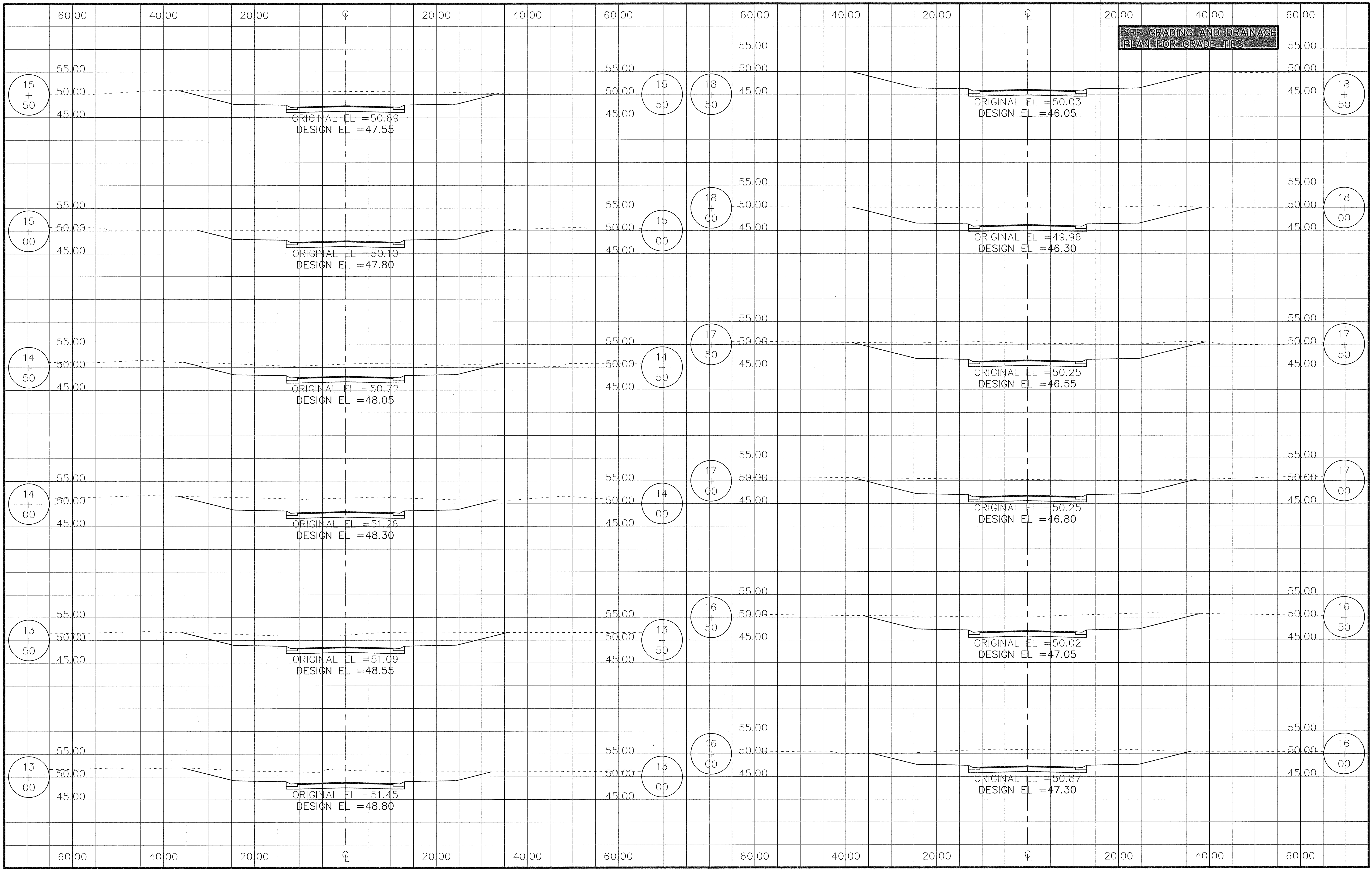
**MULLINS, LLC**  
 CIVIL ENGINEERING, DEVELOPMENT DESIGN SURVEYING  
 4900 Bayou Blvd., Ste. 200, Pensacola, FL 32403  
 (850) 462-8412

Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
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WILLOW WALK COURT CROSS SECTIONS

Job No. 23-183P  
 Date: 5/24/2024  
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SHEET NUMBER  
**29**



SEE GRADING AND DRAINAGE PLAN FOR GRADE TIES

REVISIONS

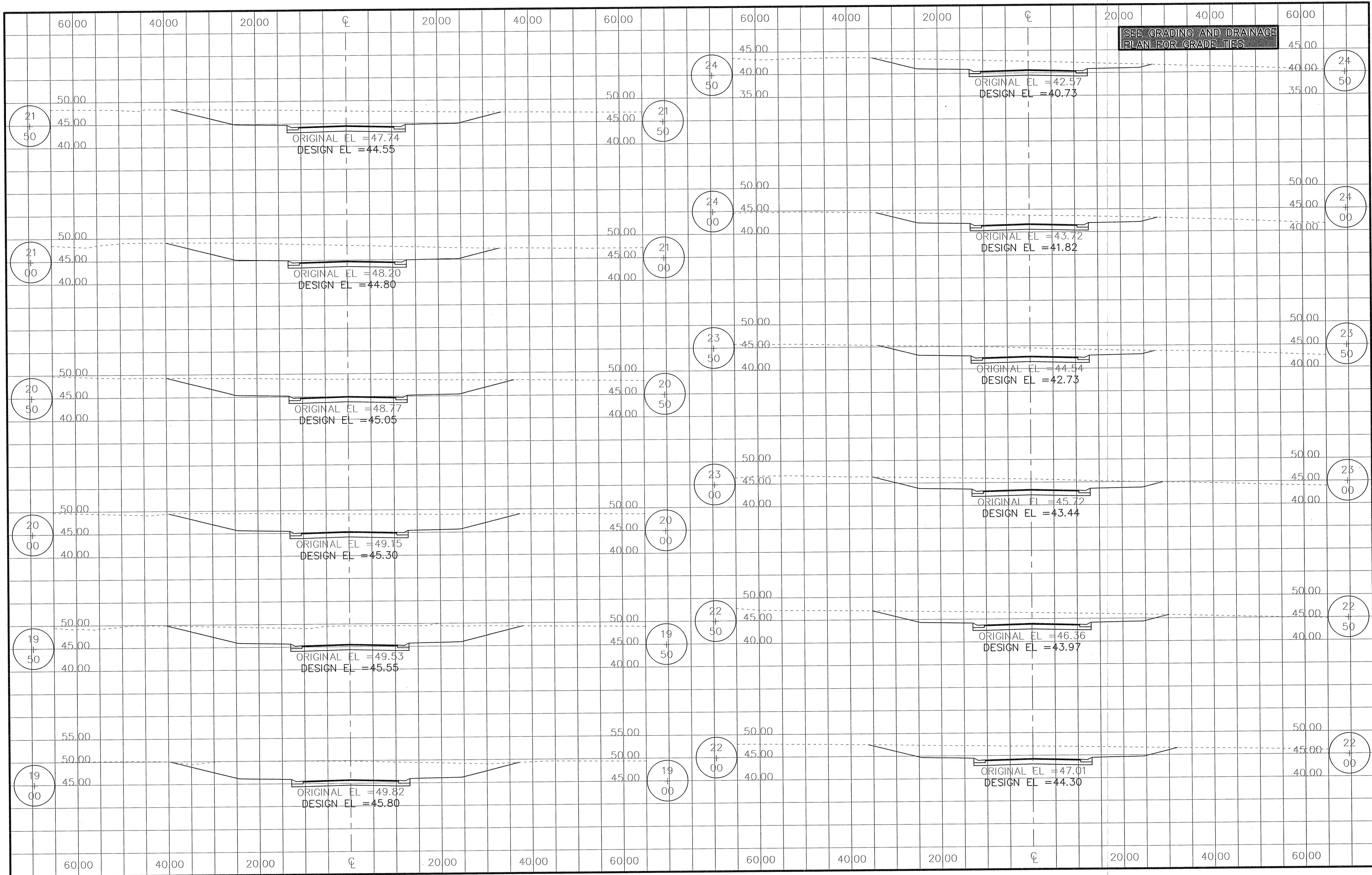
Date	By	Description

All documents, including Drawings and Bid Specifications, prepared or furnished by Firms listed on face and firms listed on face, shall retain an ownership and property interest therein whether or not the Project is completed. Such documents are not intended to be represented to be suitable for reuse by the Client or others on extensions of the Project or on any other project. Any reuse without written verification by Firms listed on face will be at the Client's risk. Firms listed on face to further compensation at rates to be agreed upon by Firms listed on face and the Client.

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 (850) 462-6412

Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
 PREPARED FOR: Lennar Homes, LLC

WILLOW WALK COURT CROSS SECTIONS  
 Job No. 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL



SEE GRADING AND DRAINAGE PLAN FOR GRADE TIES

REVISIONS	Date	By

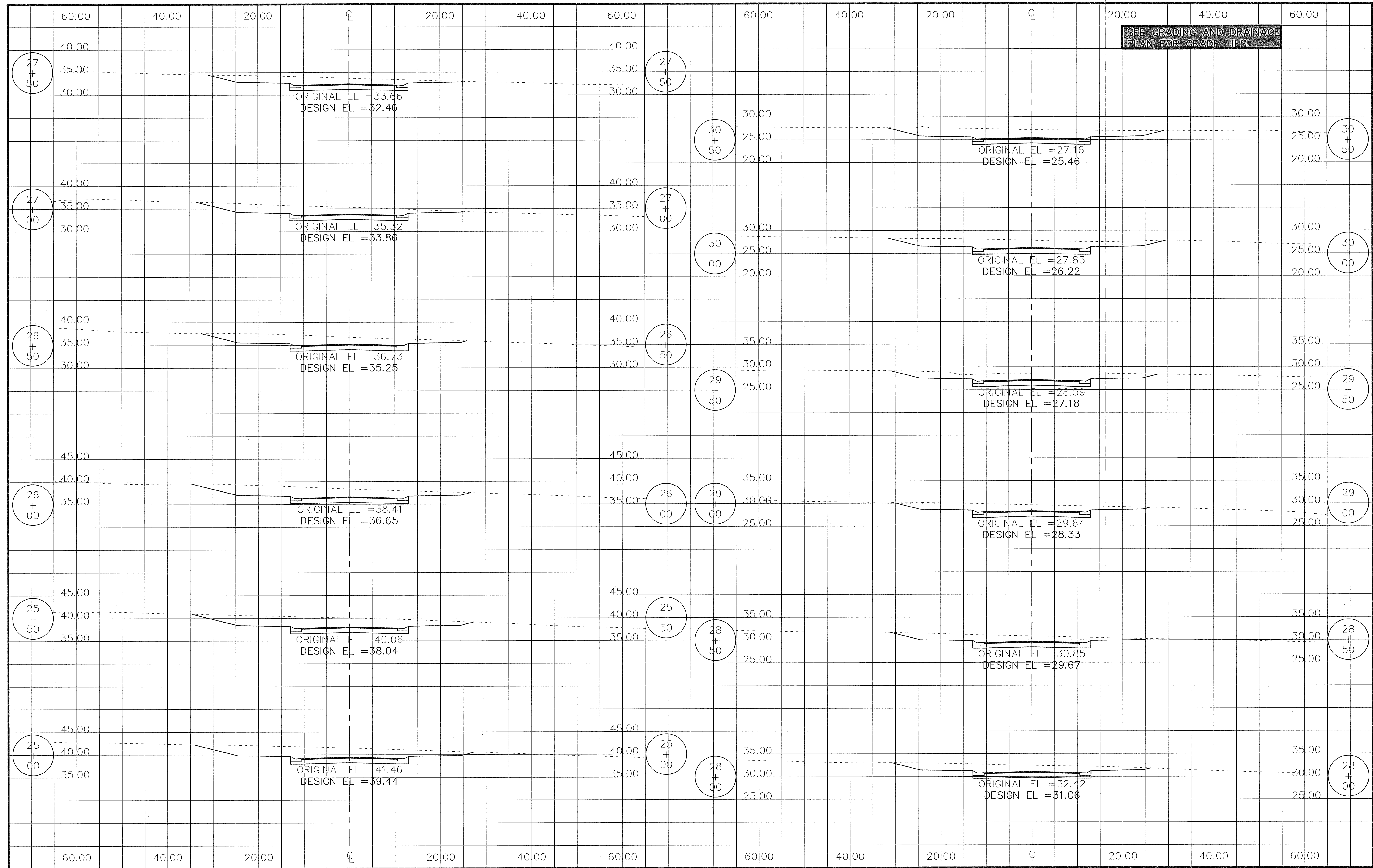
All documents, including Drawings and Bid Specifications, prepared or furnished by Firms listed on face, are instruments of service in respect of the client and firms listed on face, shall retain an ownership and property interest therein whether or not the Project is completed. Such documents are not intended to be represented to be suitable for reuse by the Client or others on extensions of the Project or on any other project. Any reuse without written verification by Firms listed on face will create a presumption of negligence on the part of the Client. Firms listed on face shall be held liable for the same to be agreed upon by Firms listed on face and the Client.

**MULLINS, LLC**  
 CIVIL ENGINEERING, DEVELOPMENT DESIGN SURVEYING  
 4800 Bayou Blvd., Ste. 200, Pensacola, FL 32409  
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Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
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WILLOW WALK COURT CROSS SECTIONS  
 Job No: 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER  
**31**



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Date	Description

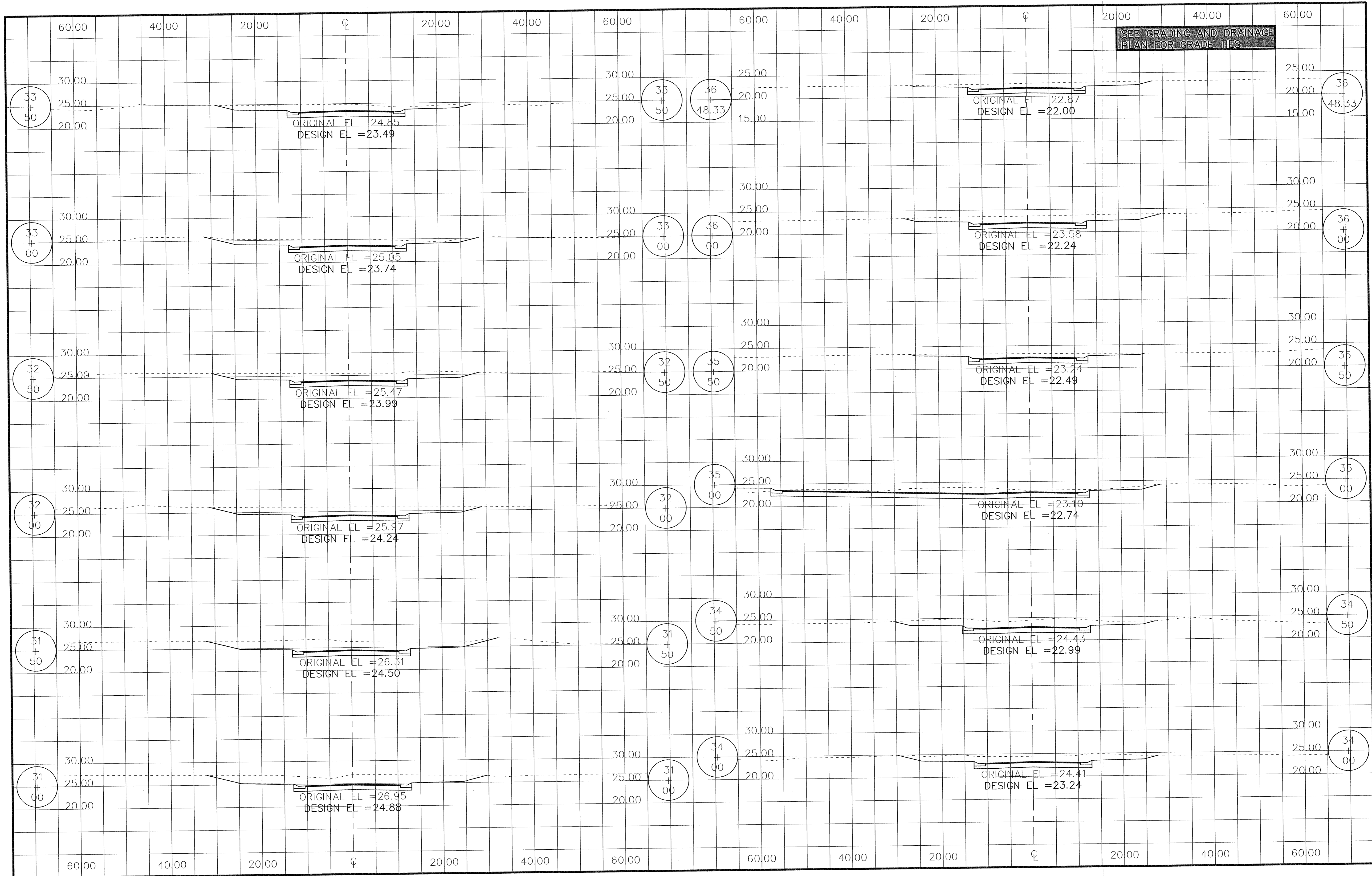
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**MULLINS, LLC**  
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Construction Plans for  
**Bennington Park Subdivision**  
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WILLOW WALK COURT CROSS SECTIONS  
 Job No. 23-183P  
 Date: 5/24/2024  
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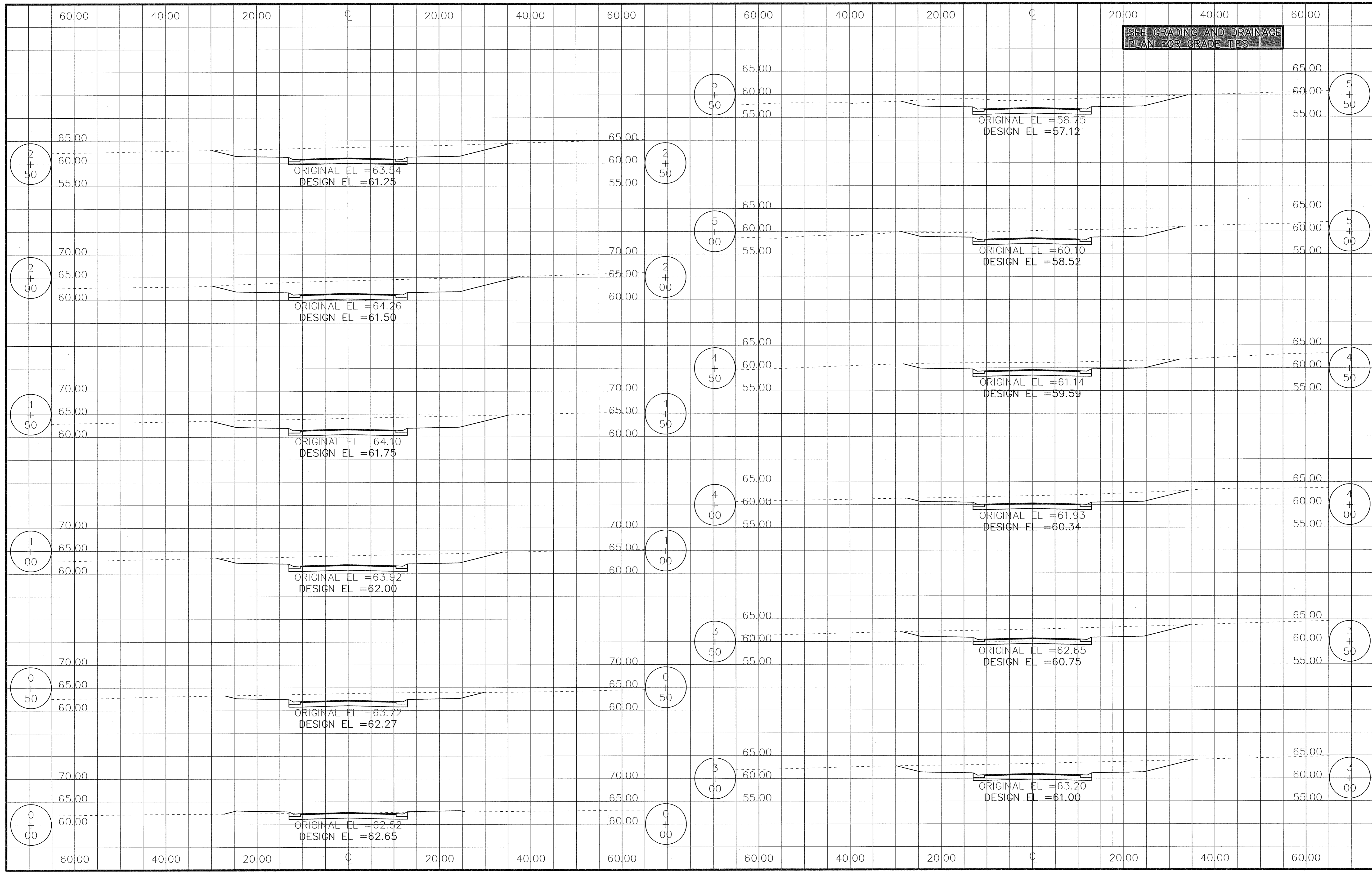
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**MULLINS, LLC**  
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Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
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WILLOW WALK COURT CROSS SECTIONS  
 Job No. 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER  
**33**



SEE GRADING AND DRAINAGE PLAN FOR GRADE TIES

REVISIONS	DATE	BY

All documents, including Drawings and Bid Specifications, prepared or furnished by Firms listed on face, are instruments of service in respect of the client and firm listed on face. Firms shall retain an ownership and property interest therein whether or not the Project is completed. Such documents are not intended to be represented to be suitable for reuse by the Client or others on extensions of the Project or on any other project. Any reuse without the written permission of Firms listed on face shall be at the Client's risk. Firms listed on face shall be held harmless to be agreed upon by Firms listed on face and the Client.

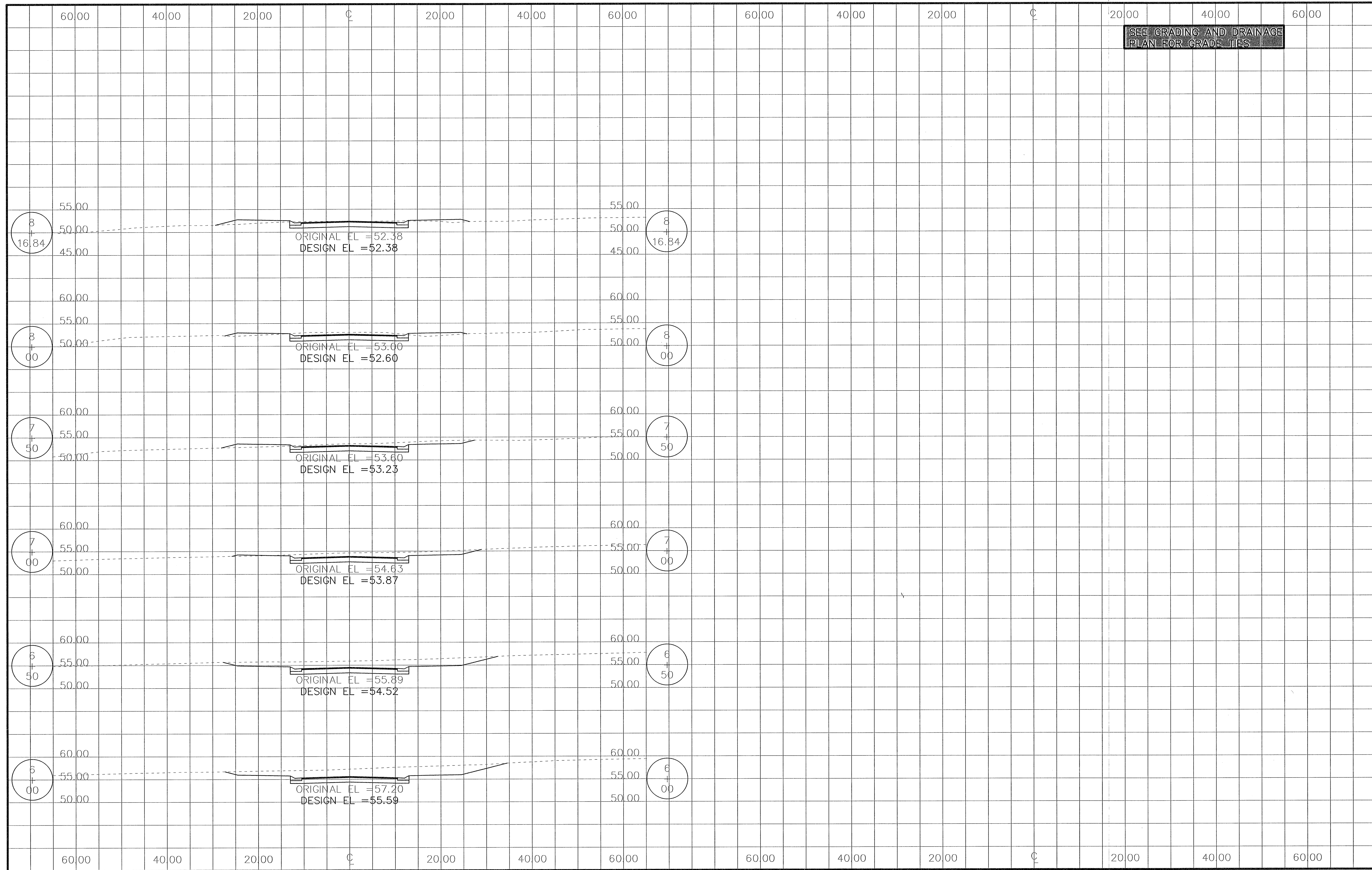
**MULLINS, LLC**  
 CIVIL ENGINEERING, DEVELOPMENT DESIGN SURVEYING  
 4900 Bayou Blvd, Ste. 200, Pensacola, FL 32403  
 (850) 462-8412

Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
 PREPARED FOR: Lennar Homes, LLC

HERITAGE COURT  
 CROSS SECTIONS

Job No. 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL

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**34**



SEE GRADING AND DRAINAGE PLAN FOR GRADE TIES

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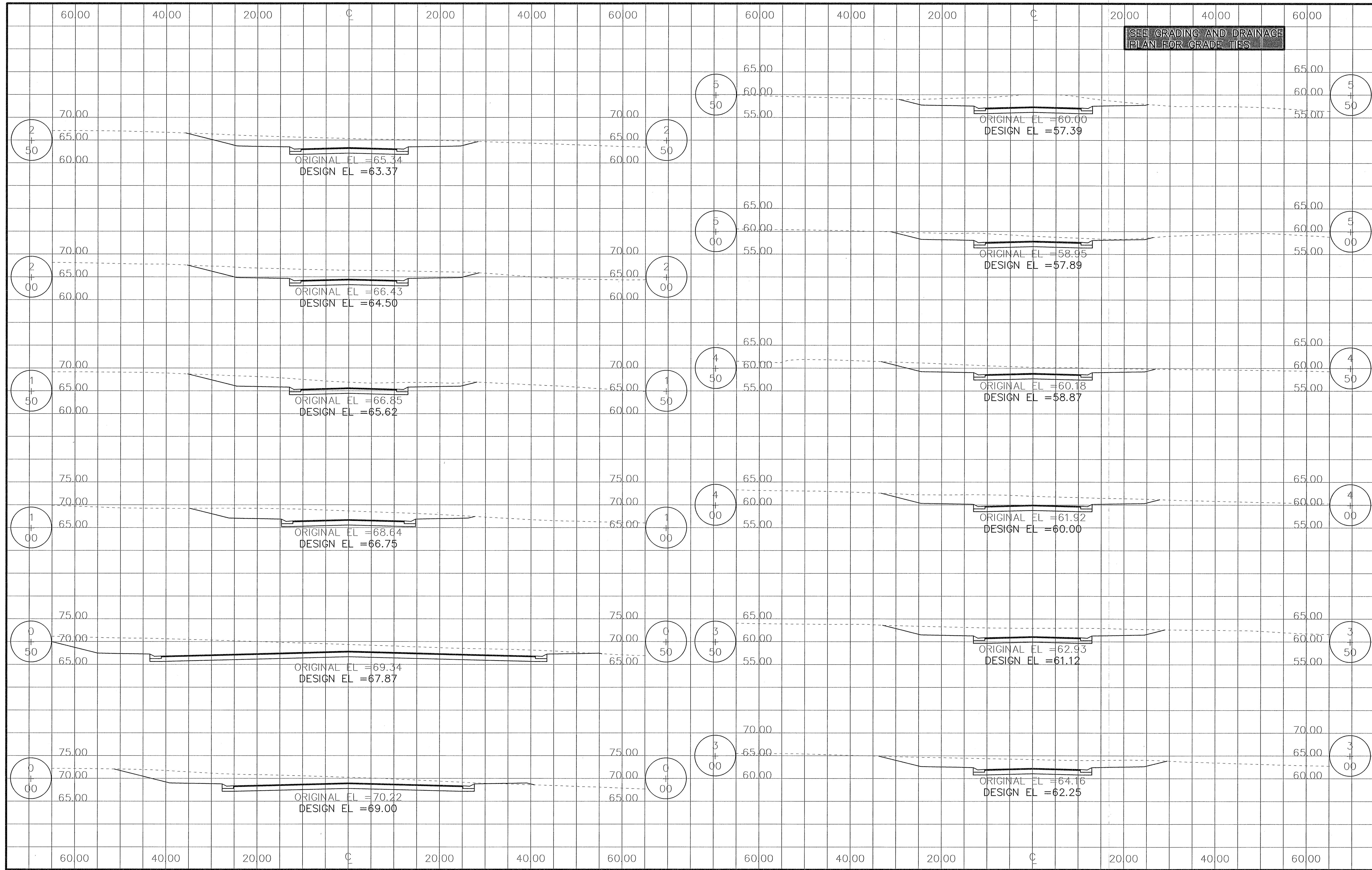
**MULLINS, LLC**  
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 SURVEYING  
 4900 Bayou Blvd., Ste. 200, Pensacola, FL 32403  
 (850) 462-8412

Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
 PREPARED FOR: Lennar Homes, LLC

HERITAGE COURT  
 CROSS SECTIONS

Job No. 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER  
**35**



REVISIONS

NO.	DATE	DESCRIPTION

All documents, including Drawings and Bid Specifications, prepared or furnished by Firms listed on face, are instruments of service in respect of the client and firms listed on face, shall retain an ownership and property interest therein whether or not the Project is completed. Such documents are not intended to be represented to be suitable for reuse by the Client or others on extensions of the Project or on any other project. Any reuse without written verification by Firms listed on face will entitle Firms listed on face to further compensation at rates to be agreed upon by Firms listed on face and the Client.

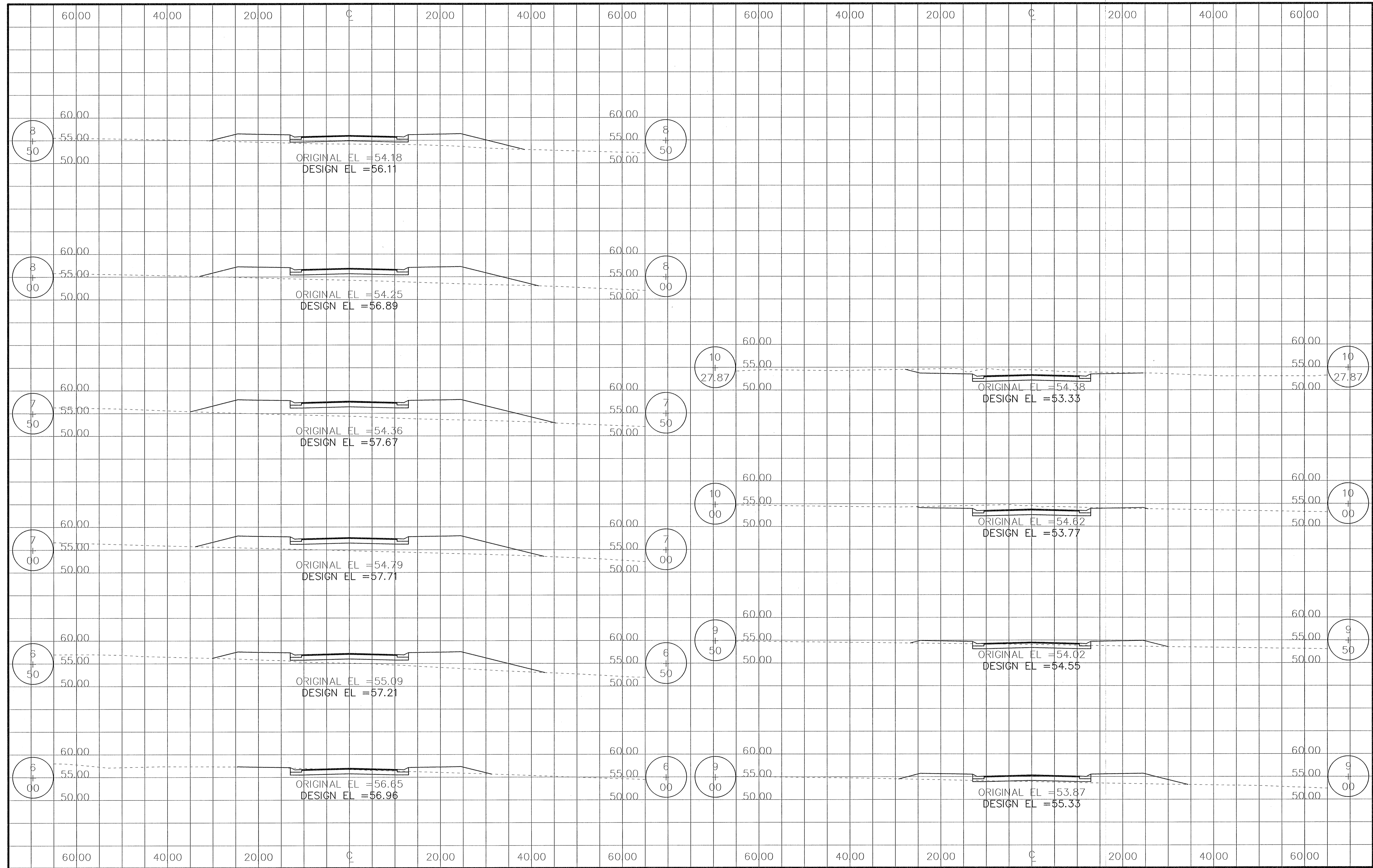
**MULLINS, LLC**  
 CIVIL ENGINEERING, DEVELOPMENT DESIGN SURVEYING  
 4800 Bayou Blvd., Ste. 200, Pensacola, FL 32403  
 (850) 462-8412

Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
 PREPARED FOR: Lennar Homes, LLC

SERENITY COURT  
 CROSS SECTIONS

Job No. 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER  
**36**



REVISIONS	DATE	BY

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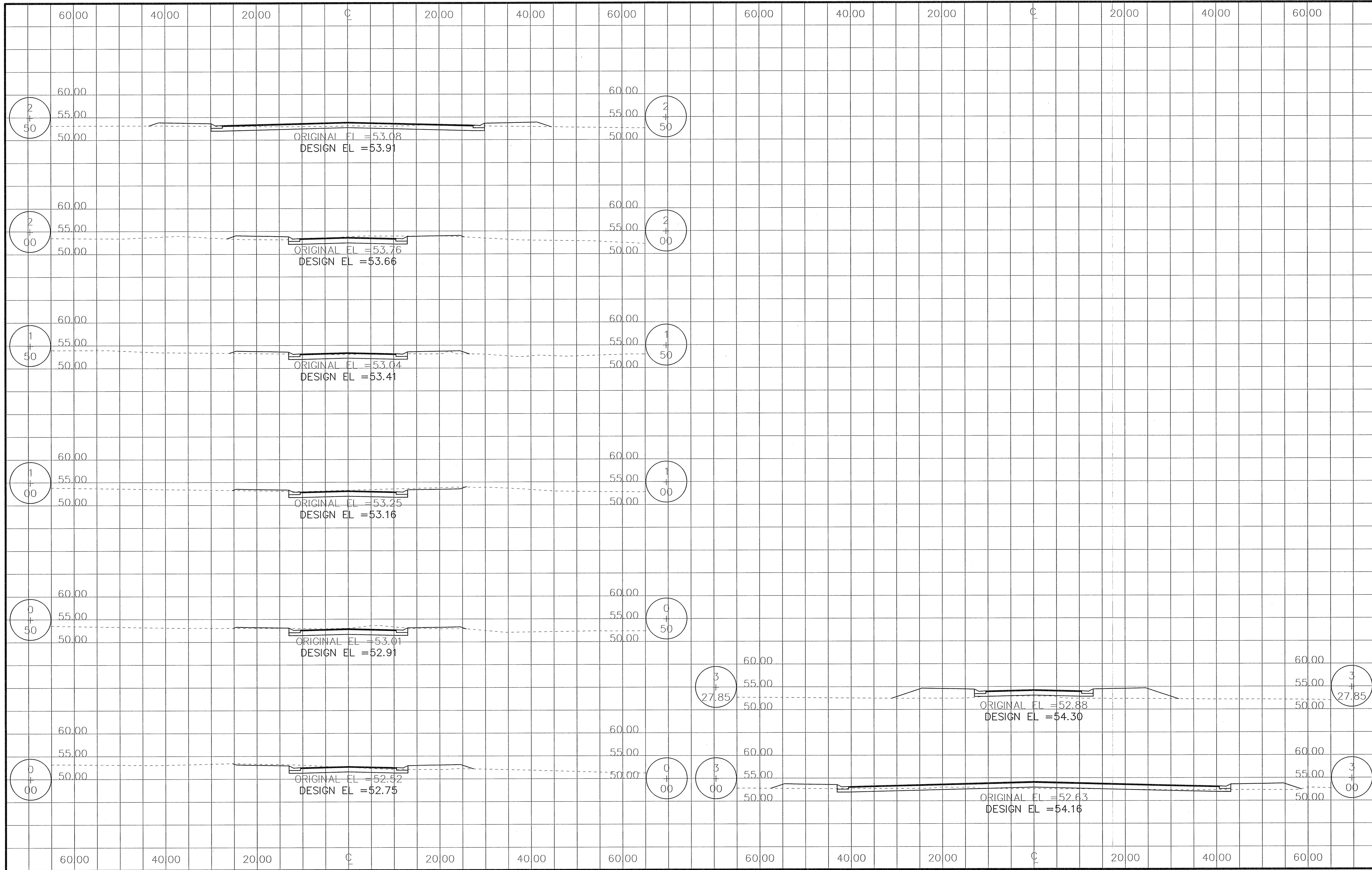
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Construction Plans for  
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 Escambia County, FL  
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SERENITY COURT  
 CROSS SECTIONS

Job No. 23-183P  
 Date: 5/24/2024  
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 Checked By: ENL

SHEET NUMBER  
**37**



REVISIONS

Date	By	Description

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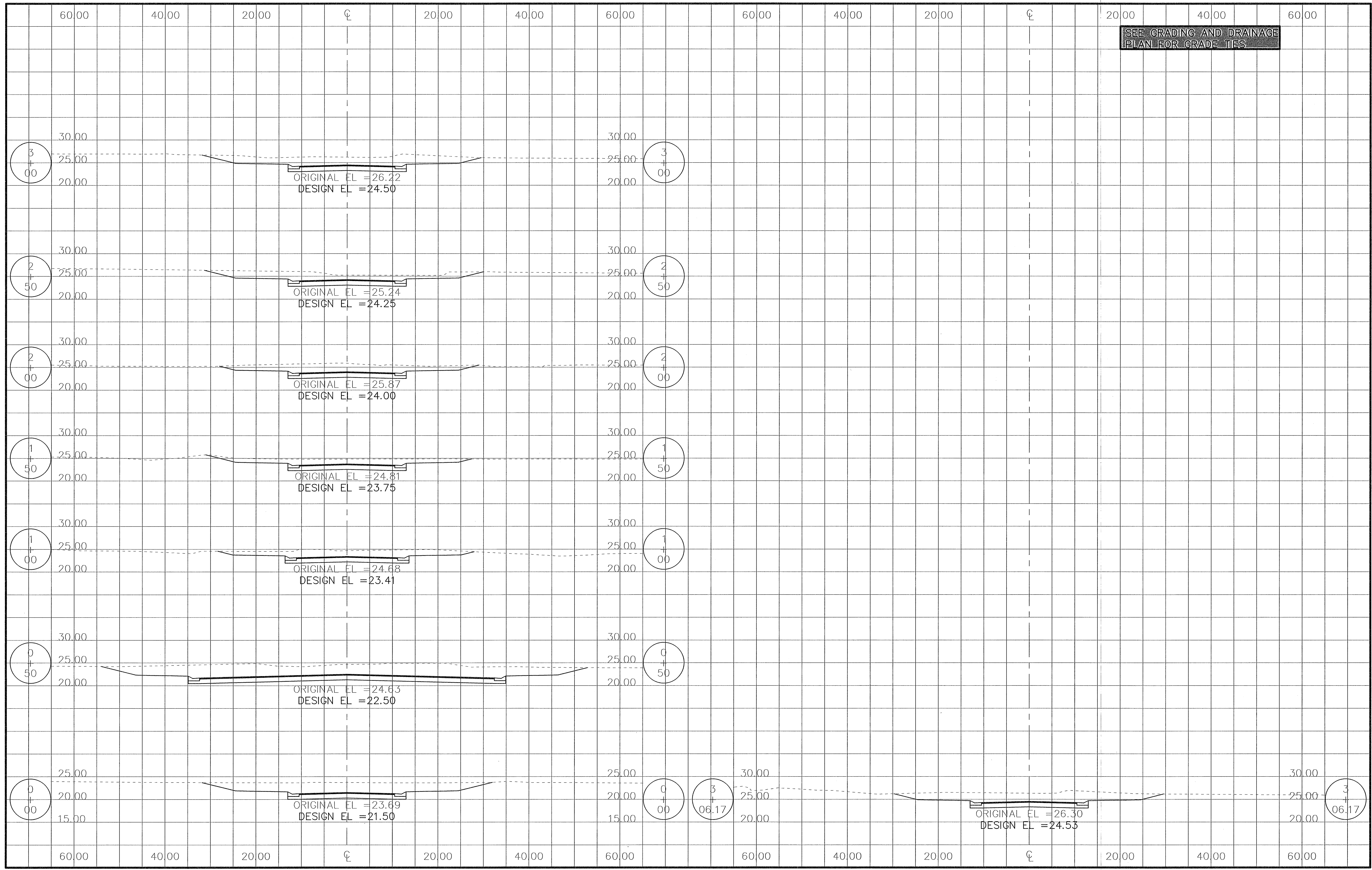
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Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
 PREPARED FOR: Lennar Homes, LLC

SECRET COVE  
 COURT  
 CROSS SECTIONS

Job No. 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER  
**37A**



REVISIONS

Date	---
Date	---
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Date	---

All documents, including Drawings and Bid Specifications, prepared or furnished by Firms listed on face, are instruments of service in respect of the client and firms listed on face. Such documents are not intended to be used for any other project. Any reuse without written verification by Firms listed on face will be agreed upon by Firms listed on face and the Client.

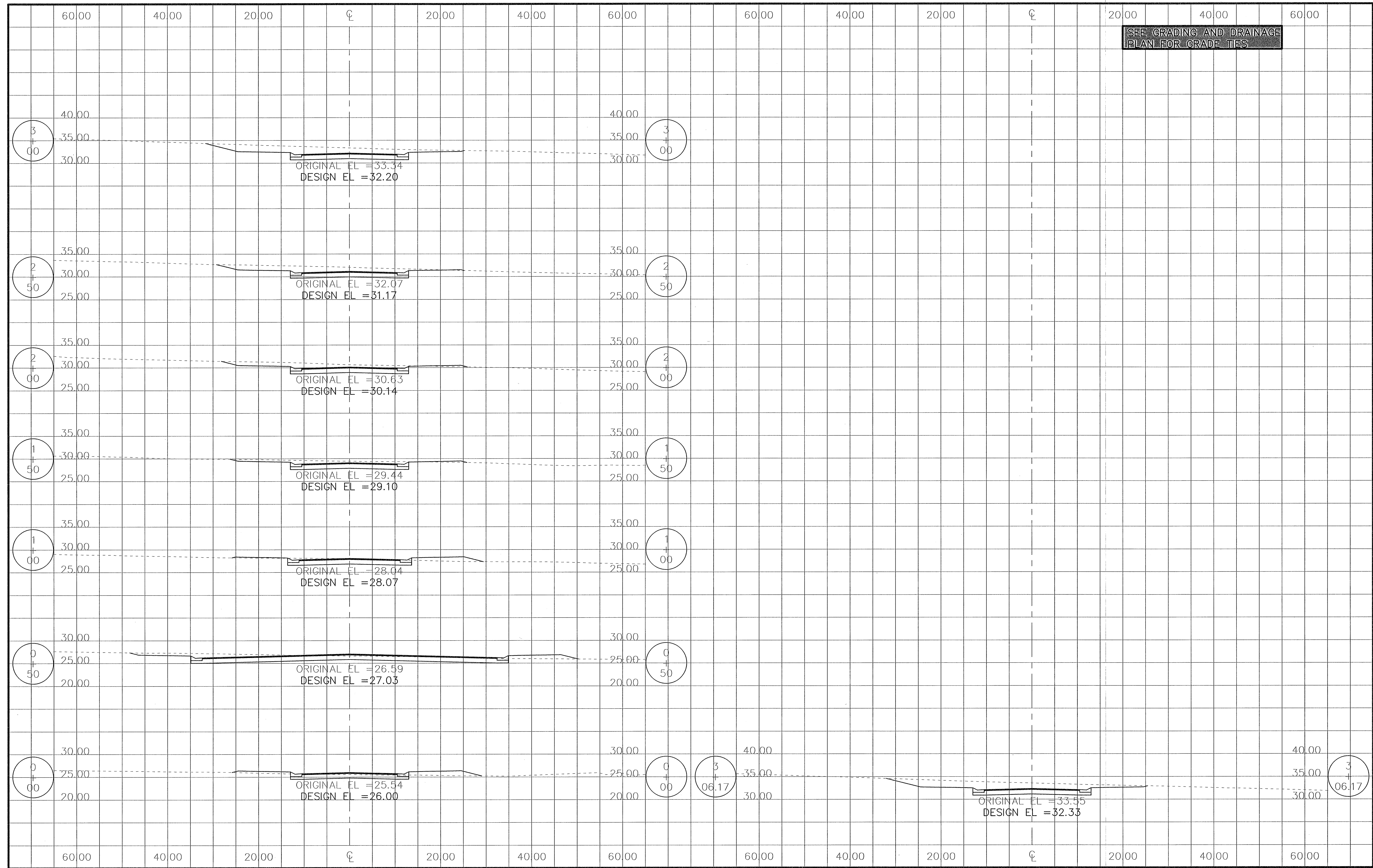
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Construction Plans for  
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 Escambia County, FL  
 PREPARED FOR: Lennar Homes, LLC

NATURES COURT CROSS SECTIONS

Job No. 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER  
**38**



SEE GRADING AND DRAINAGE PLAN FOR GRADE TIES

REVISIONS	DATE	BY

All documents, including Drawings and Bid Specifications, prepared or furnished by Firms listed on face are instruments of service in respect of the client and firm listed on face, shall retain an ownership and property interest therein whether or not the Project is completed. Such documents are not intended to be represented to be suitable for reuse by the Client or others on extensions of the Project or on any other project. Any reuse without written verification by Firms listed on face will be deemed to be a violation of the terms of the agreement. Firms listed on face to further compensation at rates to be agreed upon by Firms listed on face and the Client.

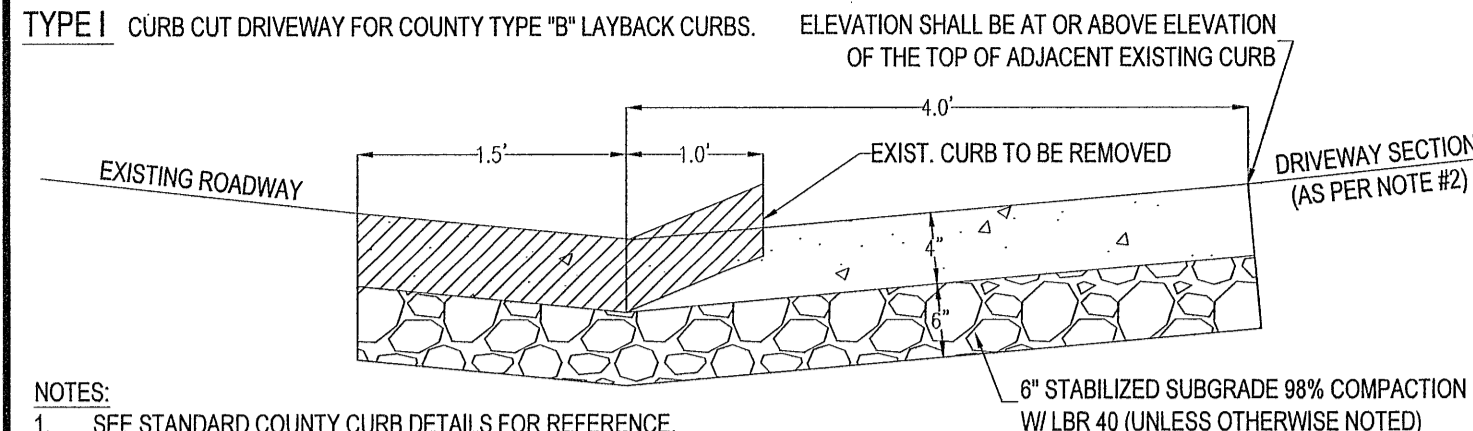
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Construction Plans for  
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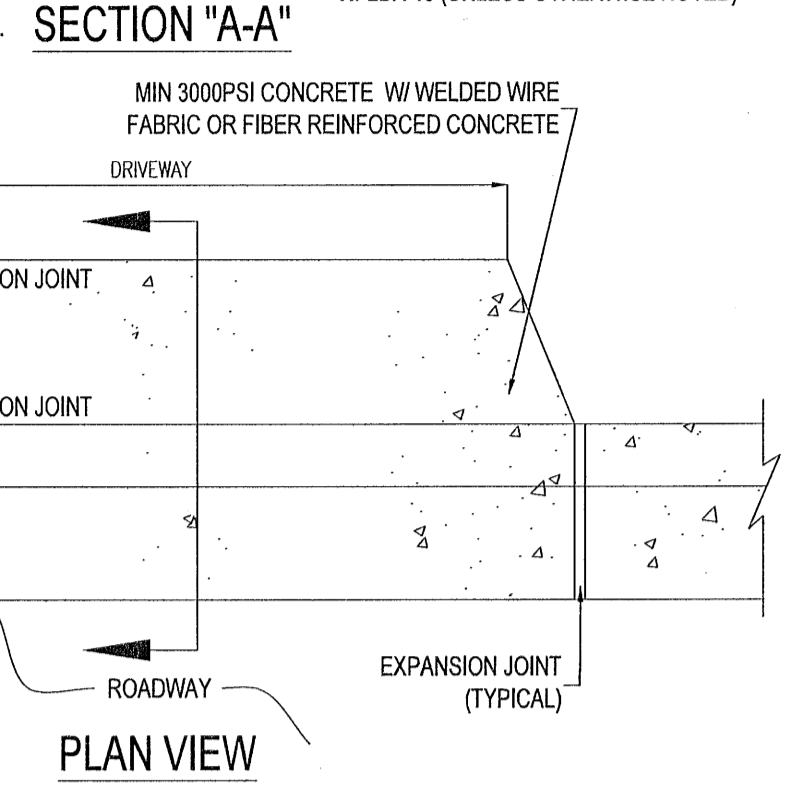
SUNSHINE COURT  
 CROSS SECTIONS

Job No. 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL

SHEET NUMBER  
**39**



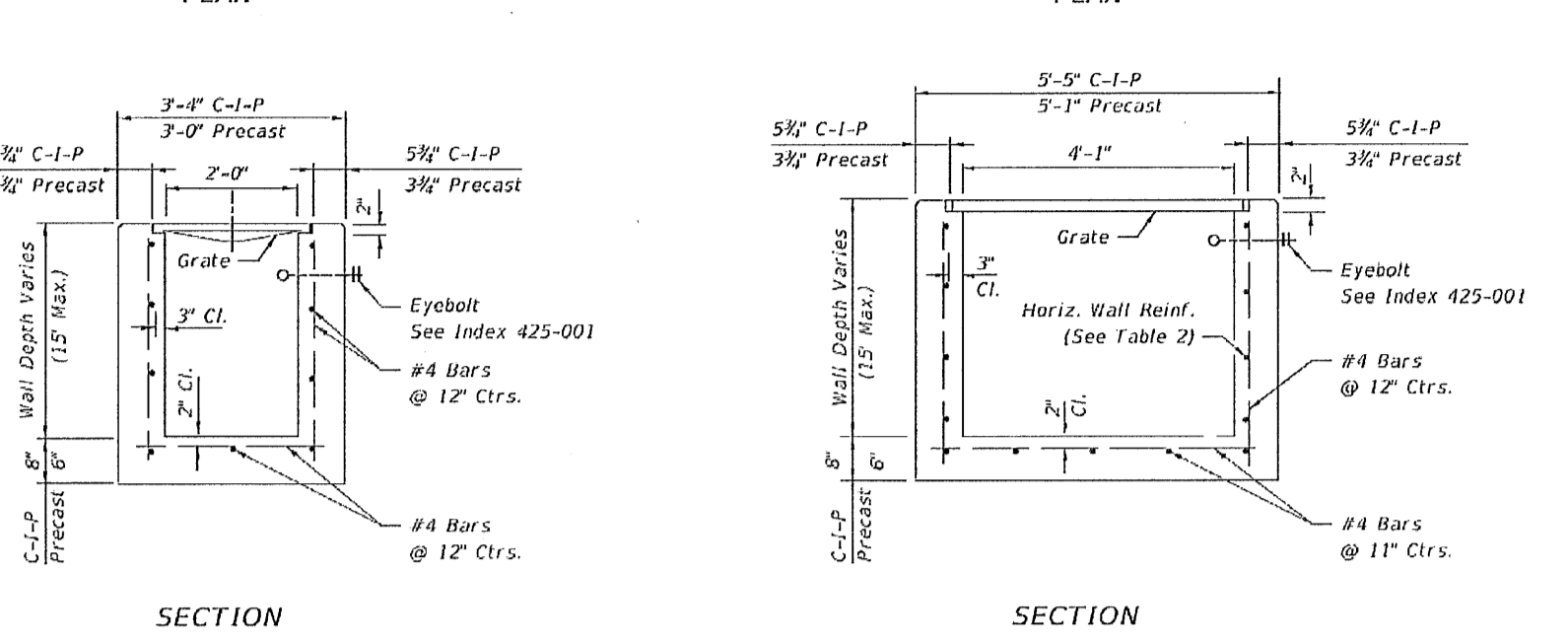
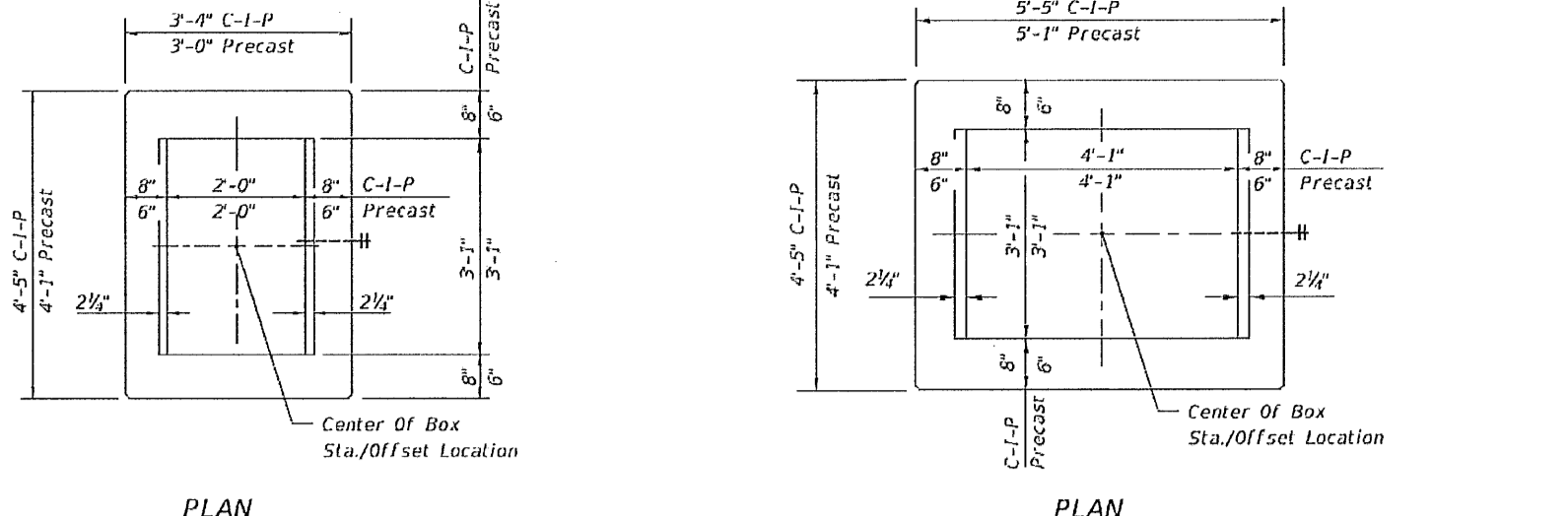
**NOTES:**  
 1. SEE STANDARD COUNTY CURB DETAILS FOR REFERENCE.  
 2. SEE F.D.O.T. INDEX NO. 000-515 FOR OTHER CONNECTIONS.  
 \* FOR OTHER TYPE CURBS, DIMENSIONS MUST BE ADJUSTED, WHEN NECESSARY TO FIT.



**NOTES:**  
 1. ALL MATERIALS AND LABOR FOR INSTALLATION WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER/CONTRACTOR.  
 2. RESIDENTIAL DRIVEWAYS ABUTTING PAVED ROADS SHALL BE 1" OF ASPHALT WITH 4" STABILIZED SUB GRADE OR 4" CONCRETE WITH 4" STABILIZED SUB GRADE - 8% COMPACTION (MODIFIED PROCTOR) WITH LBR 40 BETWEEN EDGE OF ROADWAY AND ROWLINE. COMPACTION AND TESTING IF NECESSARY, THIS WILL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.  
 3. DRIVEWAYS ABUTTING A DIRT ROAD SHALL BE MALLED ASPHALT, GRADED AGGREGATE BASE, OR WASHED CONCRETE (4" IN DEPTH) ON THE COUNTY MAINTAINED PORTION OF DRIVEWAY.  
 4. IF NECESSARY, REFER TO ROAD DETAIL AS REFERENCED BELOW.  
 5. RADIUS OR FLARE IS REQUIRED FOR TYPE II OR TYPE III CONNECTIONS. SEE DETAIL.  
 6. PARKING SPACES WITHIN COUNTY FRONT-OF-WAY SHALL PROVIDE A MINIMUM OF 7 PARKING SPACES.  
 7. TYPICAL DRIVEWAY SECTIONS ARE TO BE OF MINIMUM SIZE (SEE NOTE #2 FOR FURTHER TYPES AND DEPTHS).  
 8. DRIVEWAY SLOPE SHALL NOT CREATE OR EXAGGERATE VEHICULAR SCRAPING. ATTEMPTS SHALL BE MADE TO CORRECT THIS TYPE OF PROBLEM.  
 9. FOR COUNTY IMPROVEMENT PROJECTS, REPLACEMENT DRIVEWAYS SHALL MATCH EXISTING WIDTHS AT ROADWAY EDGE OF TRAVEL WITHOUT COMPROMISING SAFETY.

**TYPE II SPECIAL INNOVATIVE DRIVEWAY CONNECTION** AS DESIGNED BY A FLORIDA REGISTERED PROFESSIONAL ENGINEER (P.E.) OR LICENSED CONTRACTOR APPROVED BY THE APPROPRIATE PUBLIC WORKS/DEVELOPMENT REVIEW STAFF AND REQUIRES A DETAILED PLAN SUBMITTAL FOR REVIEW PRIOR TO ISSUANCE OF PERMIT.  
**TYPE III** REQUIRES A F.D.O.T. CONNECTION PERMIT (PROVIDE APPROVED F.D.O.T. PERMIT TO OBTAIN COUNTY APPROVAL), REFER TO INDEX NO. 000-515 AND CONTACT F.D.O.T. AT (850) 891-3000. MAY REQUIRE PLANS PREPARED BY A FLORIDA REGISTERED PROFESSIONAL ENGINEER (P.E.).

**TYPE I DRIVEWAY CONNECTION STANDARDS**  
 NOT TO SCALE

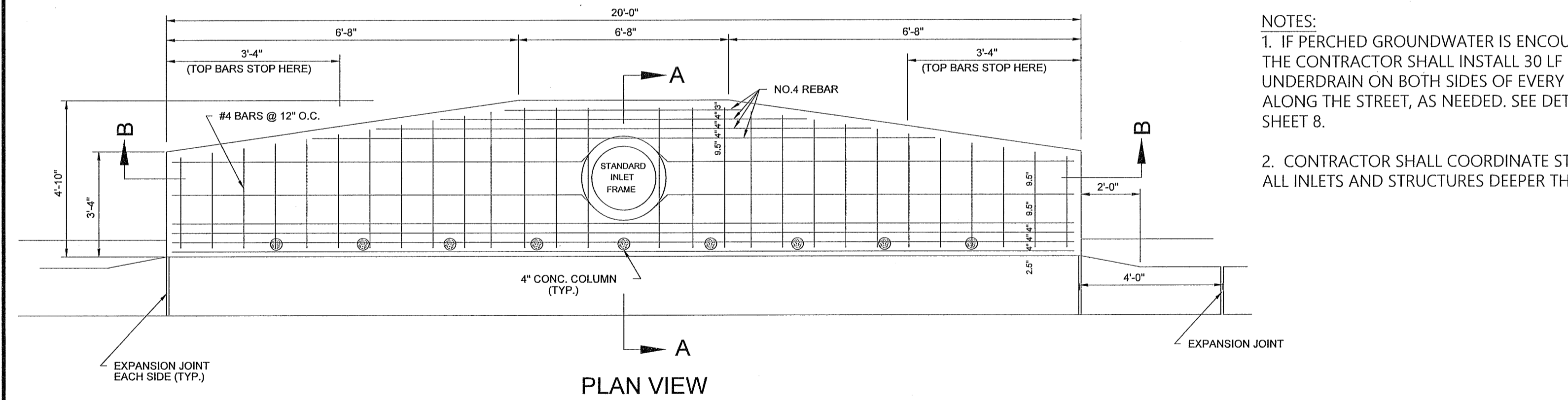


**HORIZONTAL WALL REINFORCING SCHEDULES (TABLE 1)**  
**HORIZONTAL WALL REINFORCING SCHEDULES (TABLE 2)**

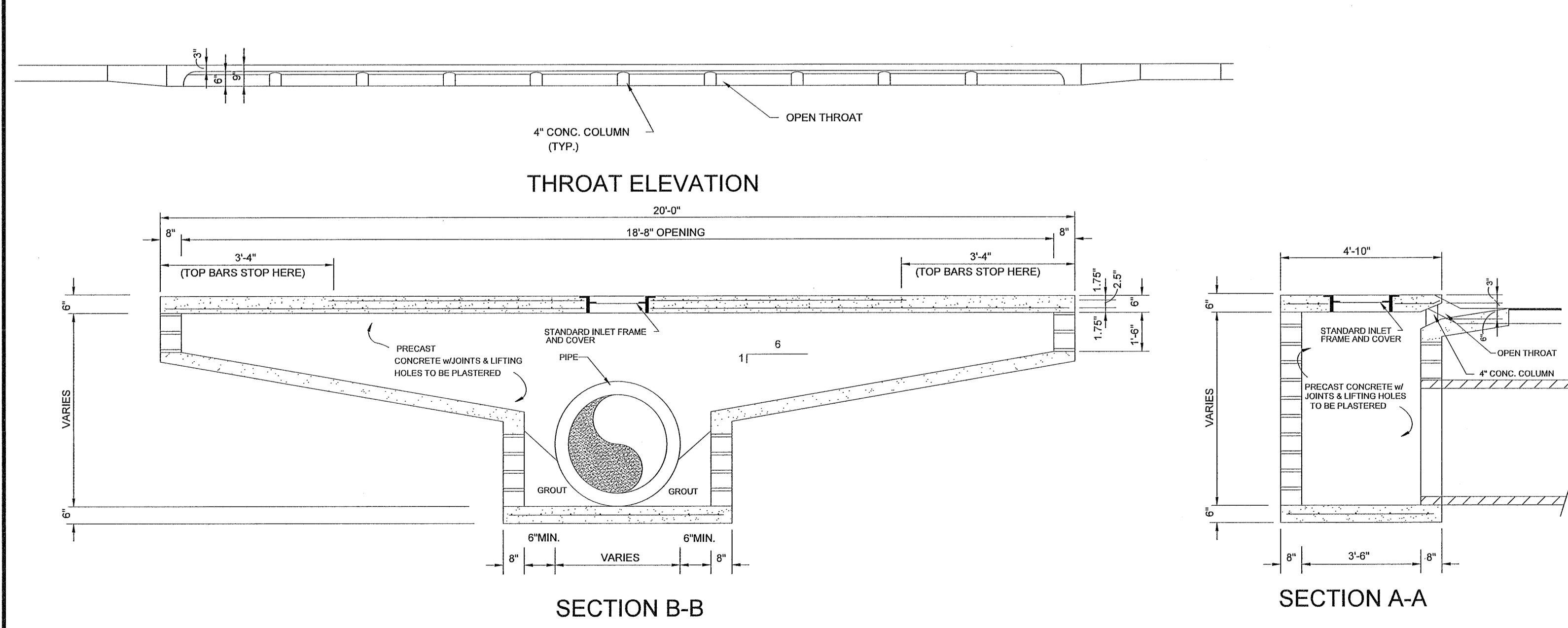
WALL DEPTH	SCHEDULE	AREA (in. <sup>2</sup> /ft.)	MAX. SPACING BARS WWF
0'-10"	A12	0.20	12" 8"
10'-13"	A4	0.20	4" 3"
10'-15"	B5.5	0.24	5 1/2" 5"

**TYPE C**  
 Recommended Maximum Pipe Size:  
 2'-0" Wall - 18" Pipe  
 3'-1" Wall - 24" Pipe (18" where an 18" pipe enters a 2'-0" wall)

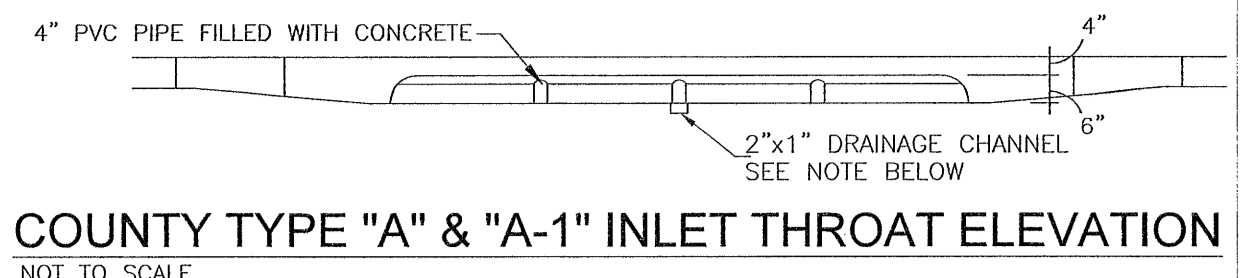
**TYPE D**  
 Recommended Maximum Pipe Size:  
 3'-1" Wall - 24" Pipe  
 4'-1" Wall - 36" Pipe



**NOTES:**  
 1. IF PERCHED GROUNDWATER IS ENCOUNTERED THE CONTRACTOR SHALL INSTALL 30 LF OF TYPE 1 UNDERDRAIN ON BOTH SIDES OF EVERY INLET ALONG THE STREET, AS NEEDED. SEE DETAIL ON SHEET 8.  
 2. CONTRACTOR SHALL COORDINATE STEPS IN ALL INLETS AND STRUCTURES DEEPER THAN 4'.

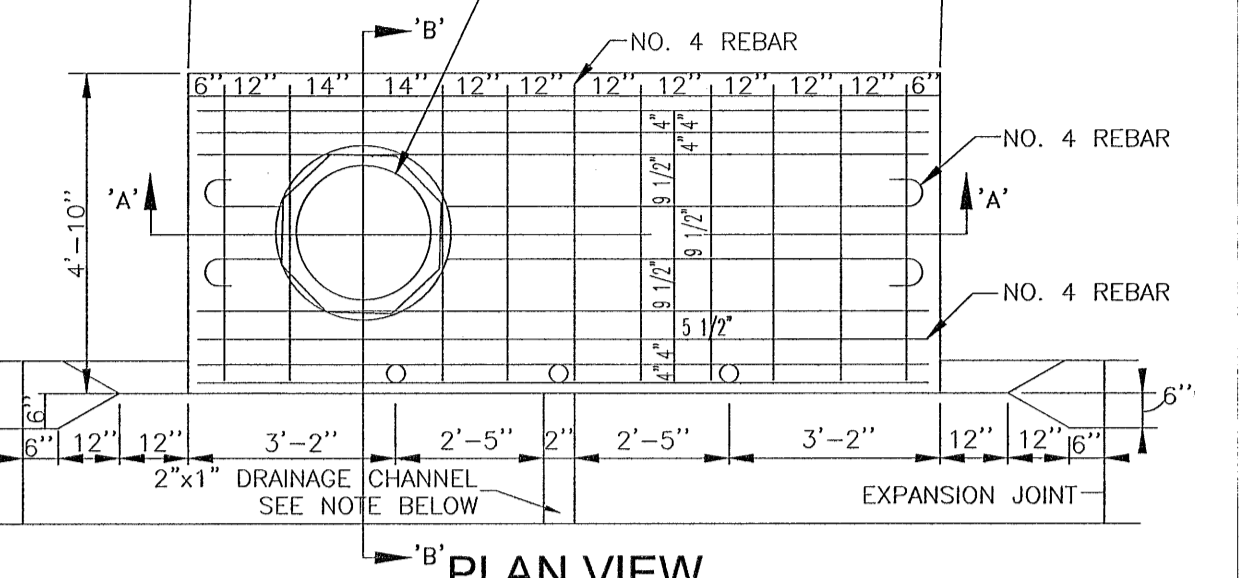


**SECTION B-B**  
**SECTION A-A**  
**TYPE DOUBLE 'A' DROP INLET DETAIL**  
 N.T.S.

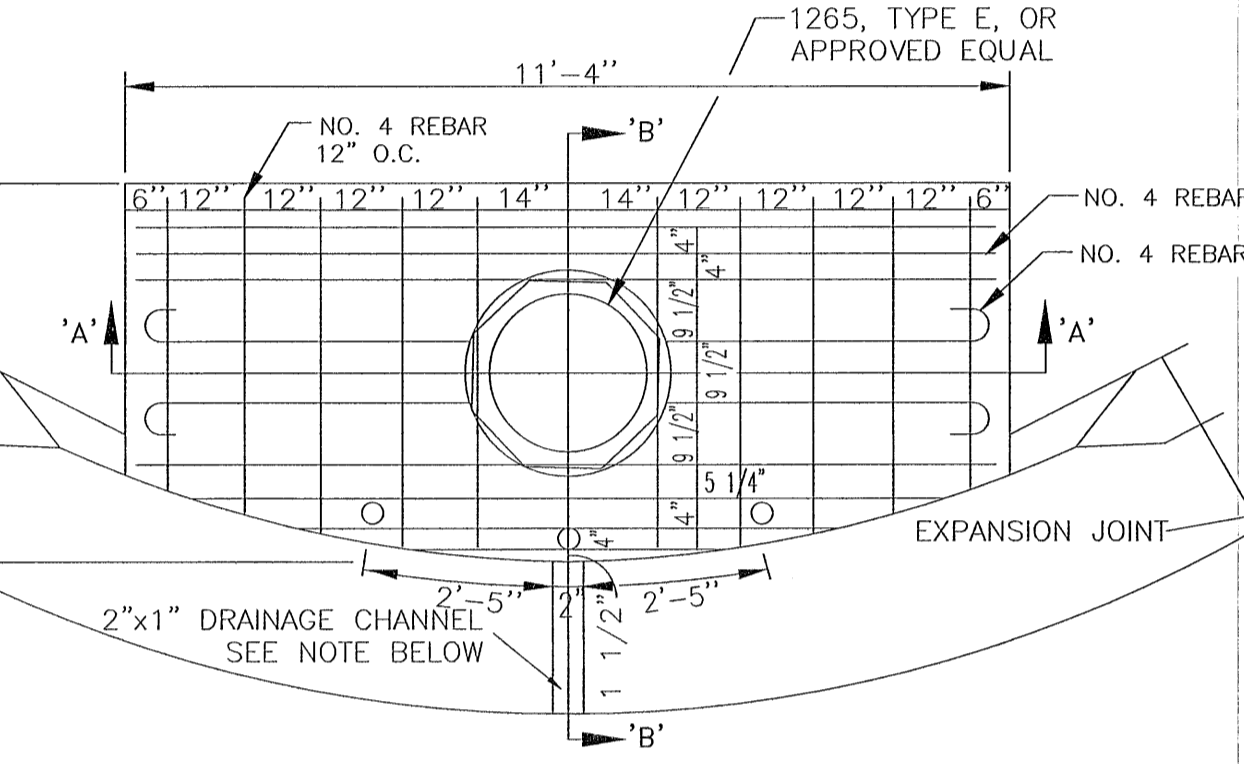


**COUNTY TYPE 'A' & 'A-1' INLET THROAT ELEVATION**  
 NOT TO SCALE

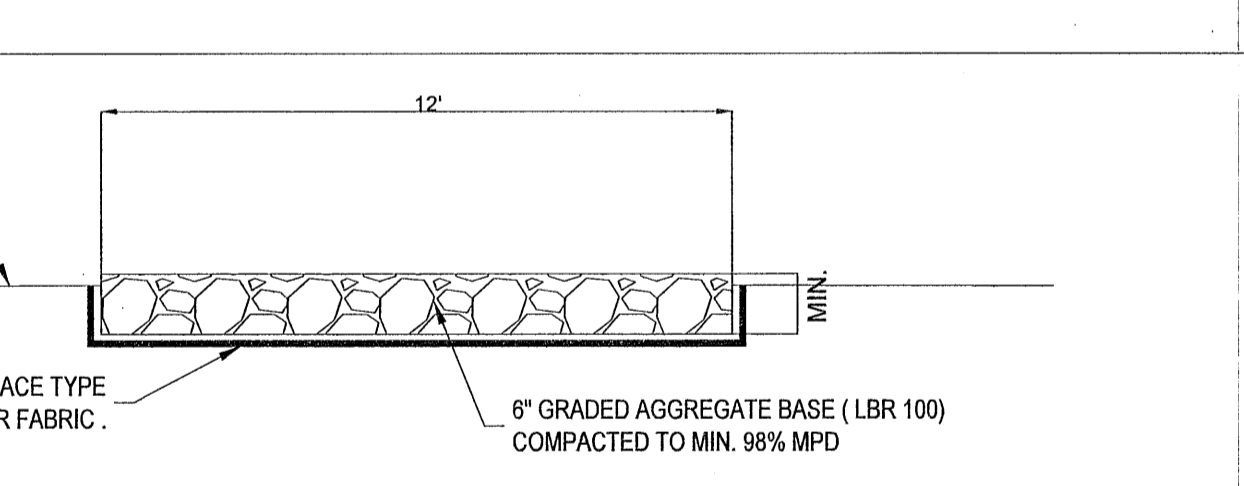
**NOTE:** CONTRACTOR SHALL CONSTRUCT DRAINAGE CHANNEL PRIOR TO CONCRETE POUR.



**COUNTY TYPE 'A' CURB INLET DETAIL**  
 NOT TO SCALE  
**NOTE:** CONTRACTOR SHALL CONSTRUCT DRAINAGE CHANNEL PRIOR TO CONCRETE POUR.

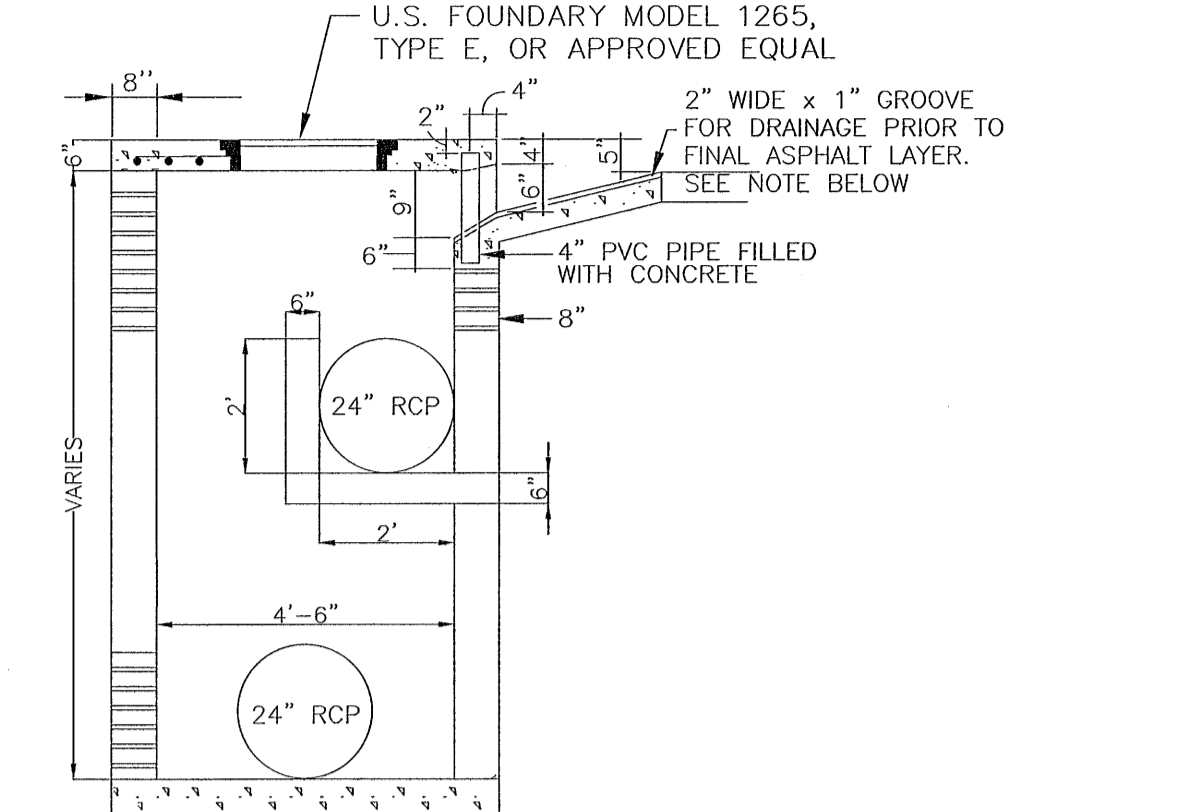


**PLAN VIEW**  
**COUNTY TYPE 'A-1' CURB INLET DETAIL**  
 NOT TO SCALE  
**NOTE:** CONTRACTOR SHALL CONSTRUCT DRAINAGE CHANNEL PRIOR TO CONCRETE POUR.



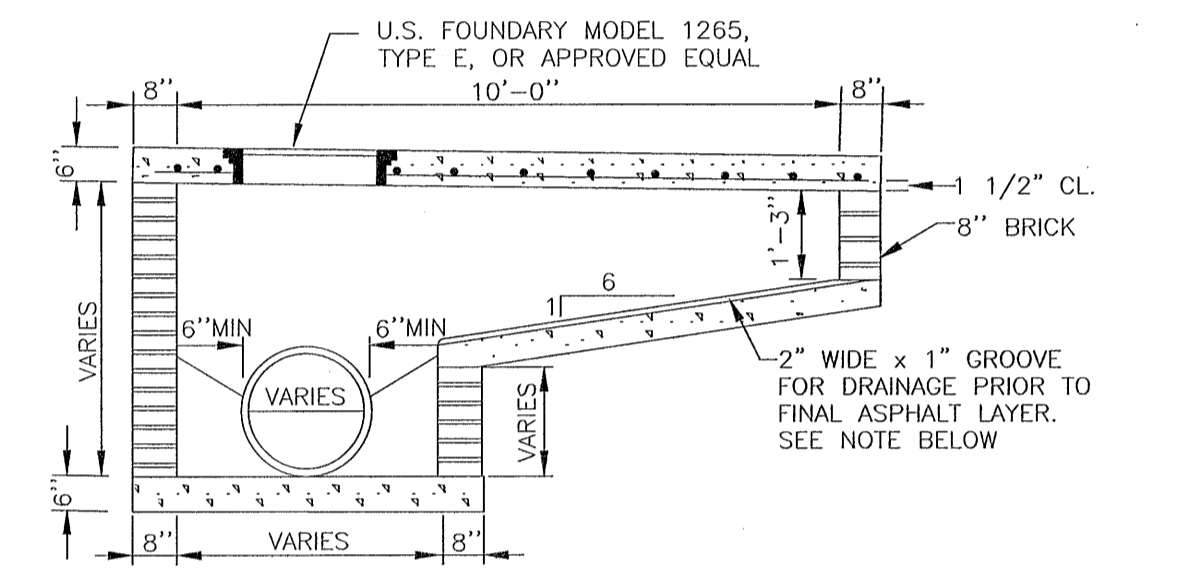
**POND ACCESS ROAD TYPICAL SECTION**  
 NOT TO SCALE

**NOTES:**  
 1. IF PERCHED GROUNDWATER IS ENCOUNTERED THE CONTRACTOR SHALL INSTALL 30 LF OF TYPE 1 UNDERDRAIN ON BOTH SIDES OF EVERY INLET ALONG THE STREET, AS NEEDED. SEE DETAIL ON SHEET 8.  
 2. CONTRACTOR SHALL COORDINATE STEPS IN ALL INLETS AND STRUCTURES DEEPER THAN 4'.

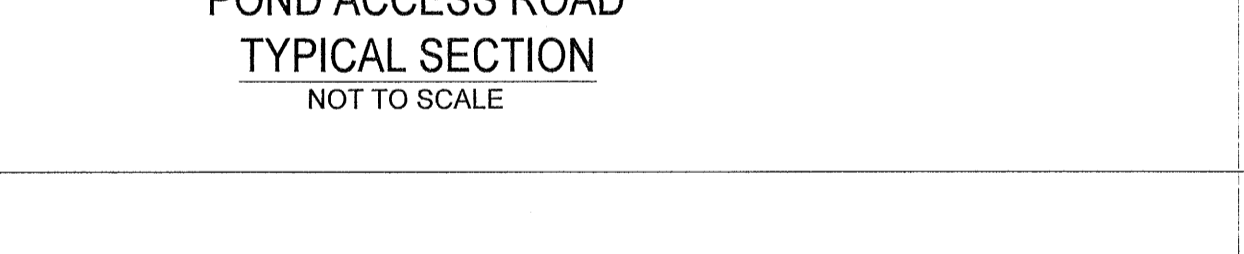


**SECTION 'B'-B'**  
**COUNTY TYPE 'A & A-1' MODIFIED INLET**  
 NOT TO SCALE

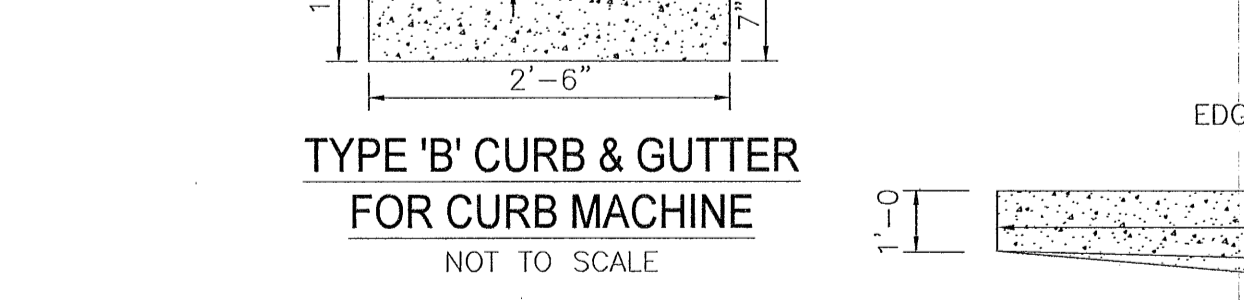
**NOTE:** CONTRACTOR SHALL CONSTRUCT DRAINAGE CHANNEL PRIOR TO CONCRETE POUR.



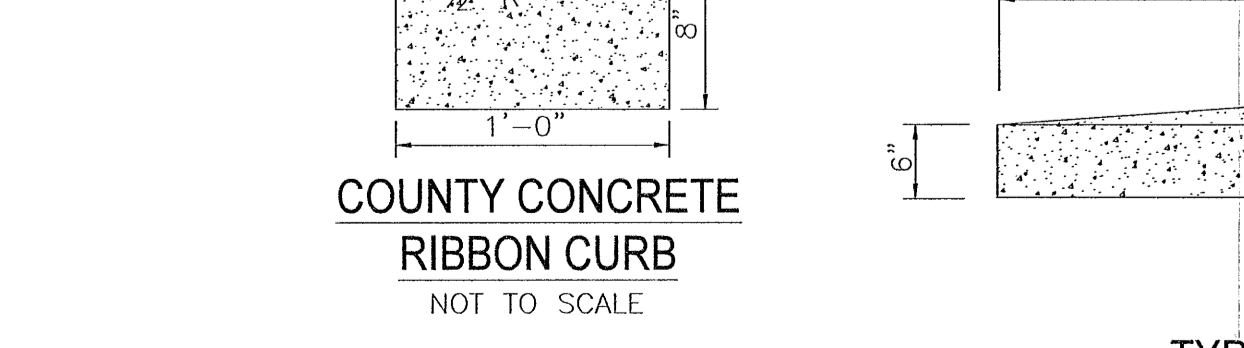
**SECTION 'A'-A'**  
**COUNTY TYPE 'A' WITH END BOX**  
 NOT TO SCALE  
**NOTE:** CONTRACTOR SHALL CONSTRUCT DRAINAGE CHANNEL PRIOR TO CONCRETE POUR.



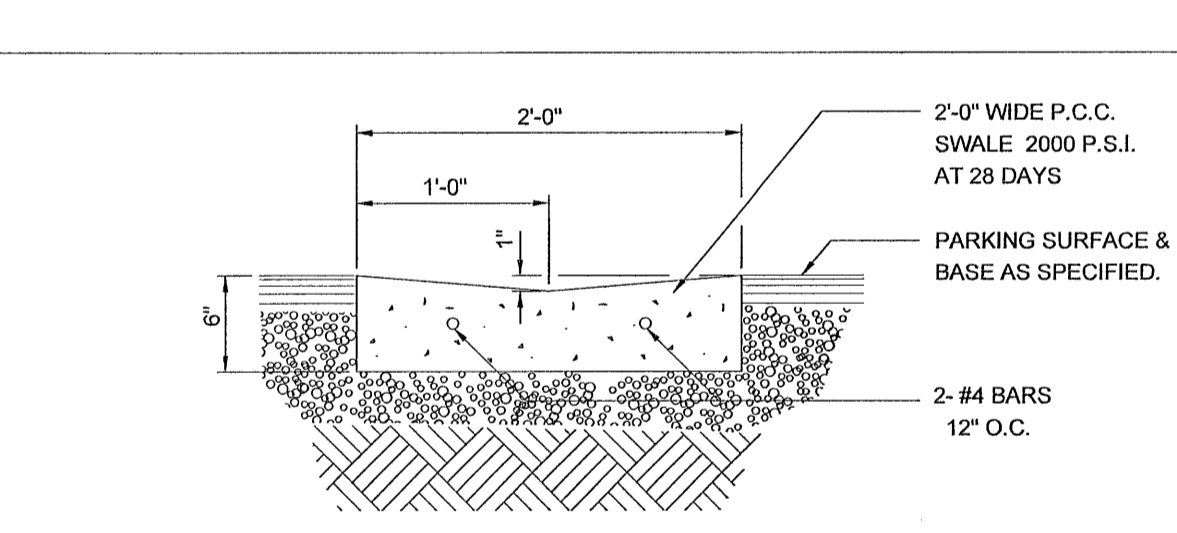
**TYPE 'B' CURB & GUTTER FOR CURB MACHINE**  
 NOT TO SCALE



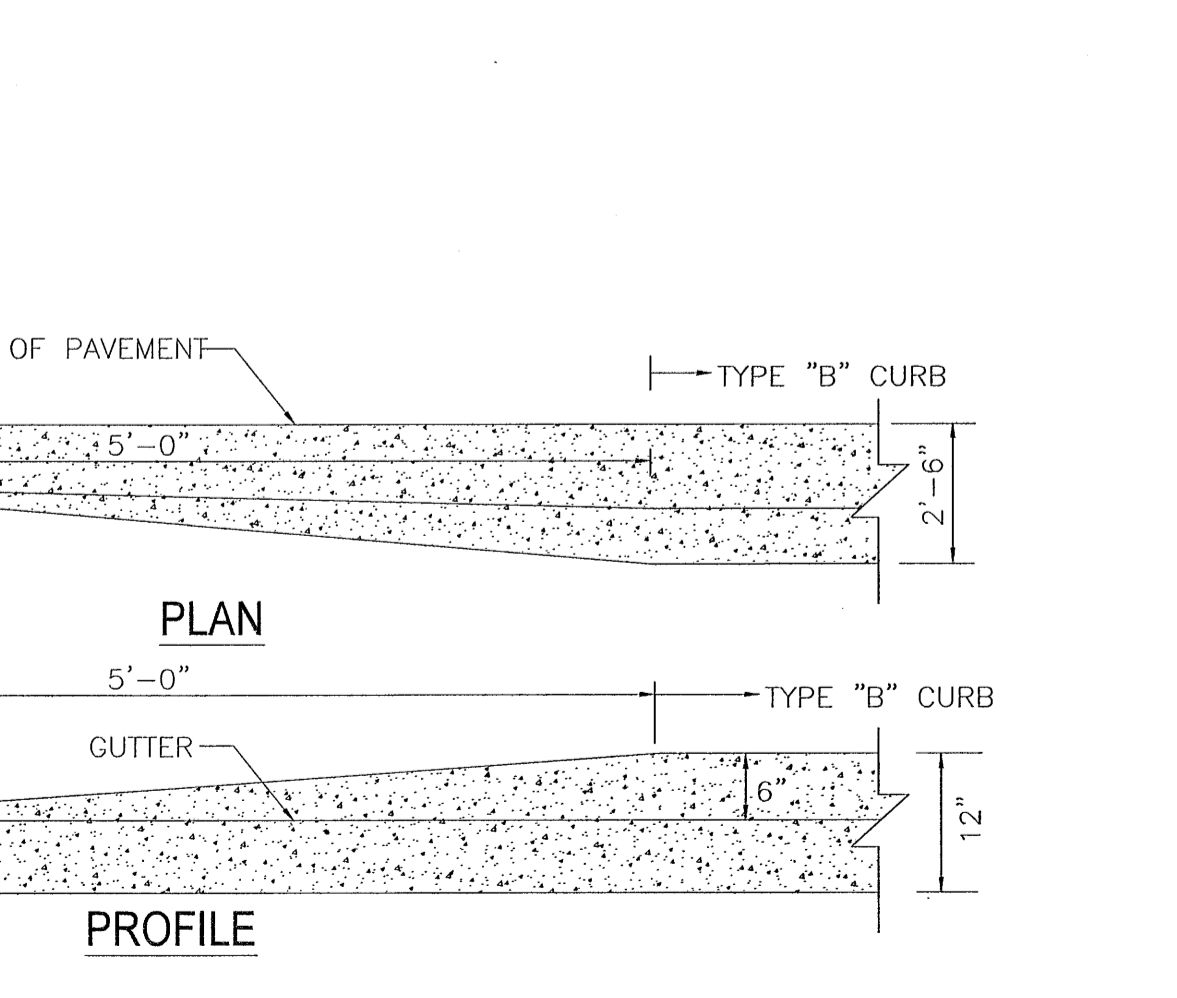
**COUNTY CONCRETE RIBBON CURB**  
 NOT TO SCALE



**TYPICAL 5' CURB TRANSITION**  
 NOT TO SCALE



**CONCRETE VALLEY GUTTER**  
 NOT TO SCALE



**TYPICAL 5' CURB TRANSITION**  
 NOT TO SCALE

**NOTES:**  
 1. ALL CURB TO HAVE DUMMY JOINT AT 10' ON CENTER. MIN. DEPTH OF JOINT TO BE 2".  
 2. EXPANSION JOINTS ARE TO BE 60' ON CENTER. TYPICAL FOR ALL CURB.  
 3. CONCRETE TO BE 3000 PSI.

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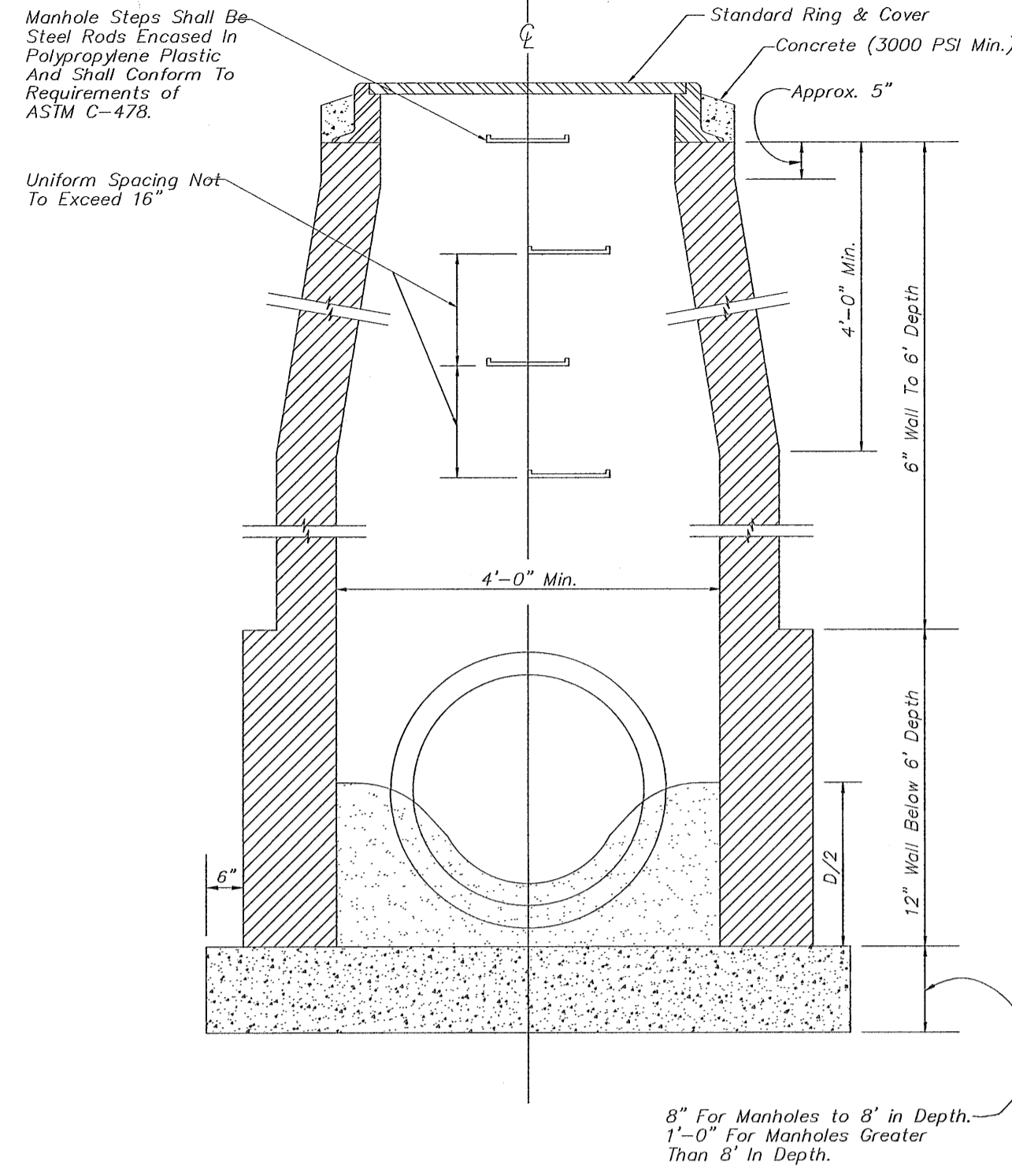
Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
 PREPARED FOR: Lennar Homes, LLC

**PROJECT DETAILS**

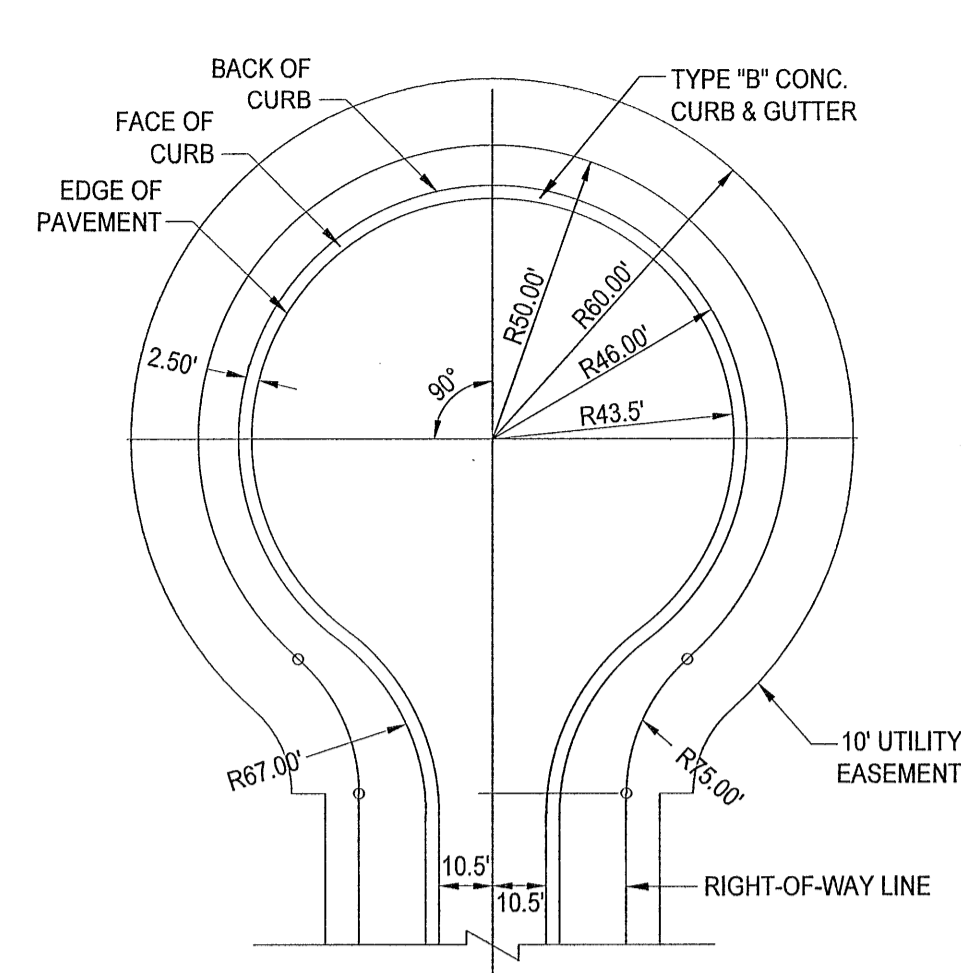
Job No. 23-183P  
 Date: 5/24/2024  
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 Checked By: ENL

**SHEET NUMBER**  
**41**

- NOTES:  
 1) BOX MUST BE PRE-CAST CONCRETE. BOX CANNOT BE CONSTRUCTED OF BRICKS.  
 2) ALL STORM STRUCTURES 4 FT OR DEEPER REQUIRE STEPS.



**STANDARD STORM SEWER MANHOLE**  
NOT TO SCALE



DIMENSIONS BASED ON TYPE "B" CONCRETE CURB  
(SEE GEOMETRY PLAN FOR DEVIATIONS FROM DETAIL)  
**TYPICAL CUL-DE-SAC PLAN**  
NOT TO SCALE

**GENERAL NOTES**

- ALL SIGN INSTALLATIONS MUST COMPLY WITH THE LATEST *MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)* SPECIFICATIONS.
- ALL PAVEMENT MARKINGS MUST BE THERMOPLASTIC AND COMPLY WITH SECTION 711 OF F.D.O.T.'S *STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION*.
- STOP BAR APPLICATION IS NOT REQUIRED AT THE INTERSECTION OF TWO RESIDENTIAL ROADWAYS AND / OR ROADWAYS LOCATED WITHIN INTERIORS OF A SUBDIVISION UNLESS SPECIFICALLY NOTED OTHERWISE.

**1 STOP SIGN**

**SIGN PLACEMENT:** LOCATE SIGN ADJACENT TO POINT OF CURVATURE (p.c.) OF CURBING OR EDGE OF ASPHALT TURN OUT. **LATERAL CLEARANCE (W/ CURB):** NO PART OF SIGN ASSEMBLY SHALL BE LESS THAN 1 FOOT FROM BACK OF CURB (EXCLUDES RIBBON CURB). **LATERAL CLEARANCE WITHOUT CURB:** NO PART OF SIGN ASSEMBLY SHALL BE LESS THAN 6' FROM EDGE OF ASPHALT (INCLUDES RIBBON CURB). **VERTICAL CLEARANCE:** SIGN SHALL DISPLAY A MINIMUM VERTICAL CLEARANCE OF 7 FEET (MEASURED FROM BOTTOM OF SIGN BLADE TO LEVEL OF ADJACENT ROADWAY).

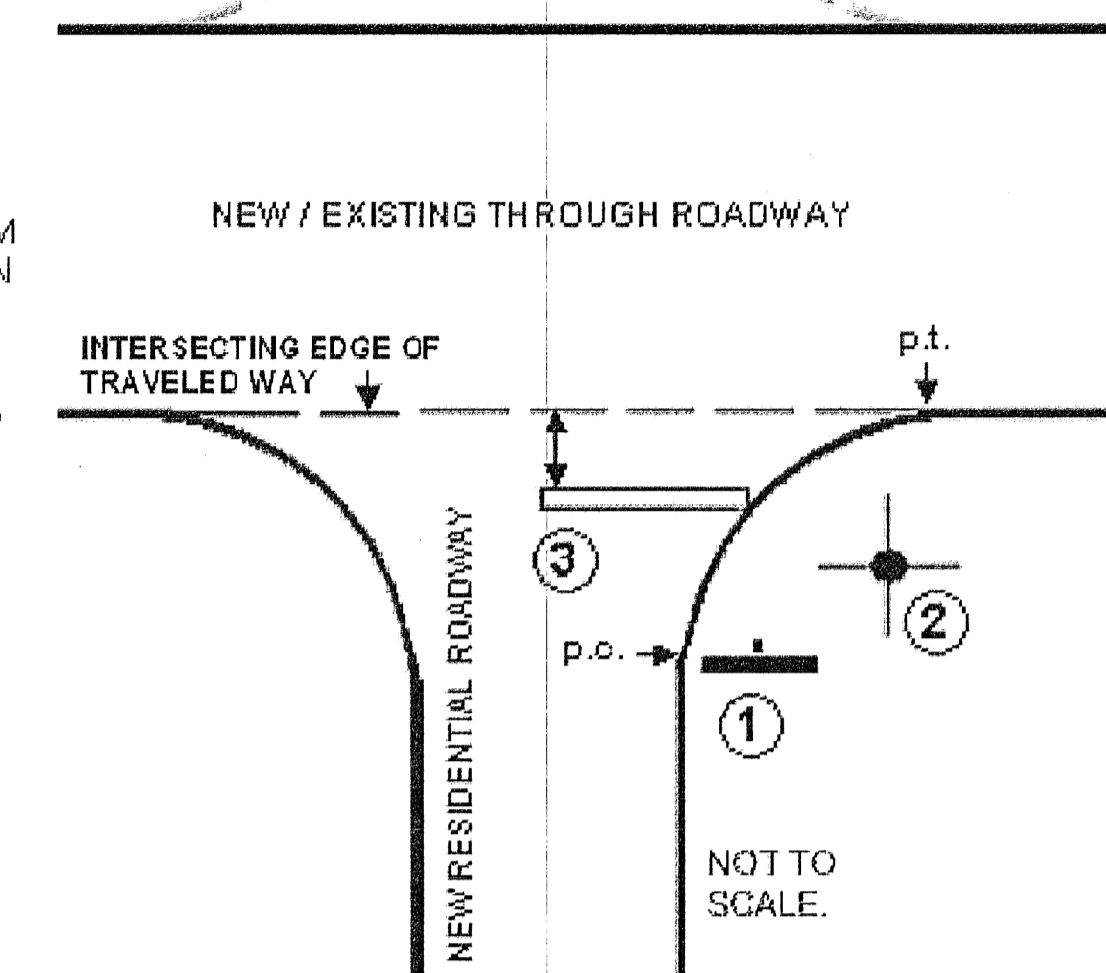
**2 STREET NAME SIGN**

**SIGN PLACEMENT:** LOCATE STREET NAME SIGN AT MID-RADIUS POINT OF TURN OUT ON SAME SIDE OF STREET AS STOP SIGN. **NOTE:** SEE ESCAMBIA COUNTY STANDARD DETAILS FOR STREET NAME SIGNS FOR FURTHER FABRICATION, LOCATION AND INSTALLATION REQUIREMENTS.

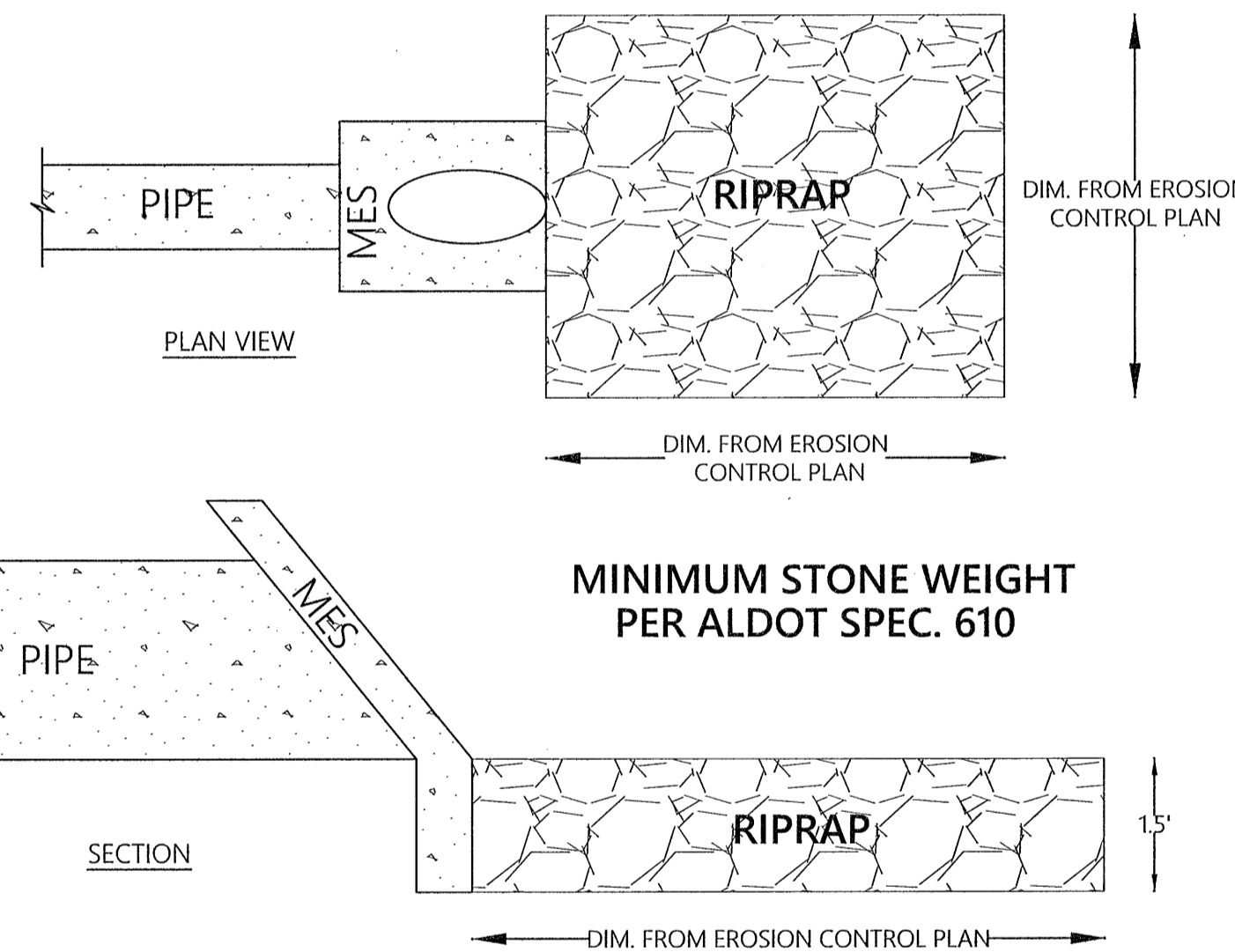
**3 24" STOP BAR**

OPTIONAL (SEE GEN. NOTE # 3).

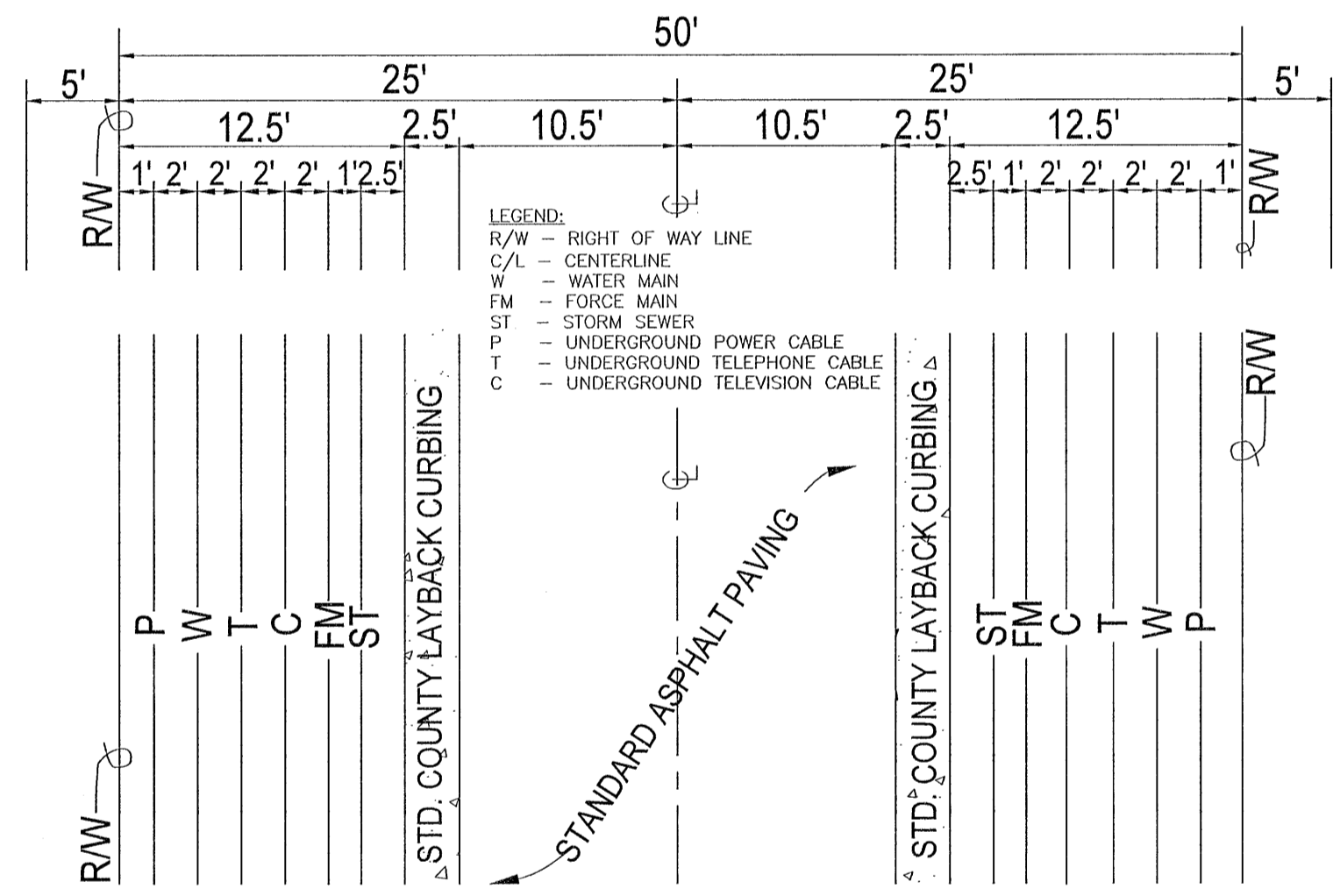
**PLACEMENT:** LEADING EDGE OF STOP BAR CANNOT BE LESS THAN 4 FEET IN ADVANCE OF INTERSECTING EDGE OF TRAVELED WAY OR MARKED / UNMARKED CROSSWALK. STOP BAR MUST BE LOCATED AS TO PROVIDE ADEQUATE INTERSECTION SIGHT DISTANCE PER F.D.O.T.'S *DESIGN STANDARDS INDEX # 546*.



**INSTALLATION DETAILS**  
**TRAFFIC CONTROL SIGNS & MARKINGS FOR NEW RESIDENTIAL INTERSECTIONS**  
 ACCEPTABLE PER CURRENT ESCAMBIA COUNTY INSPECTION PRACTICES

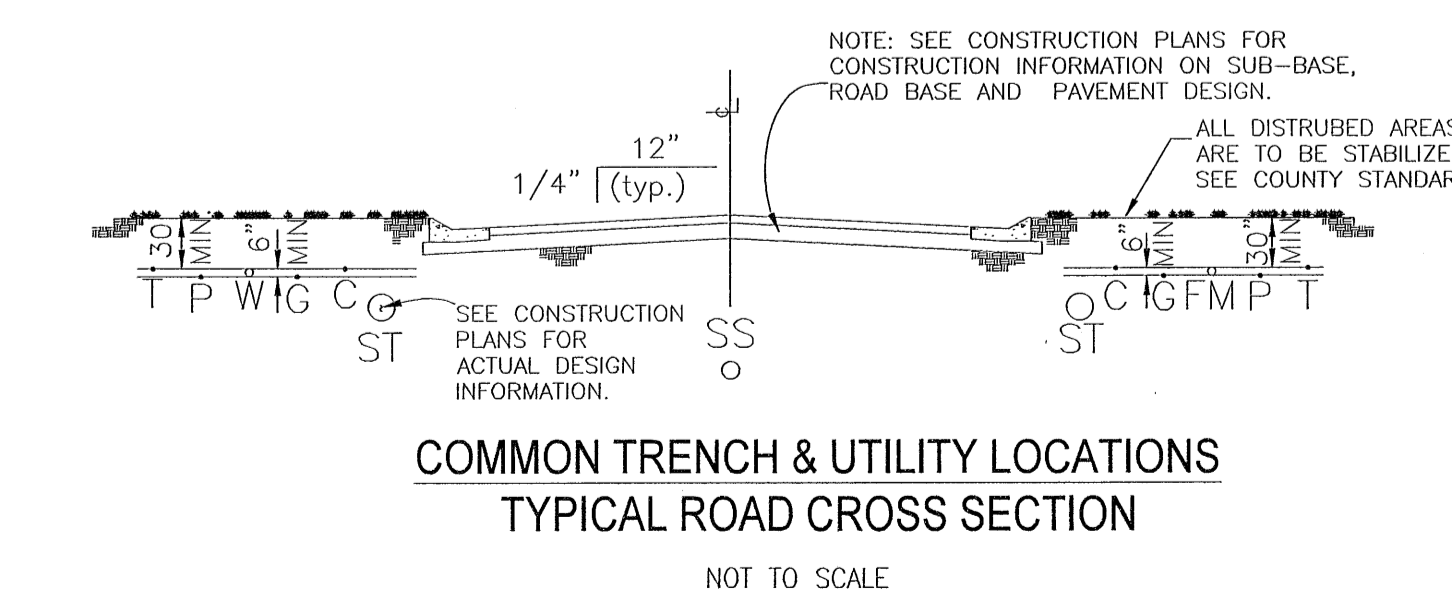


**RIPRAP (CLASS 1) INSTALLATION DETAIL**  
NOT TO SCALE

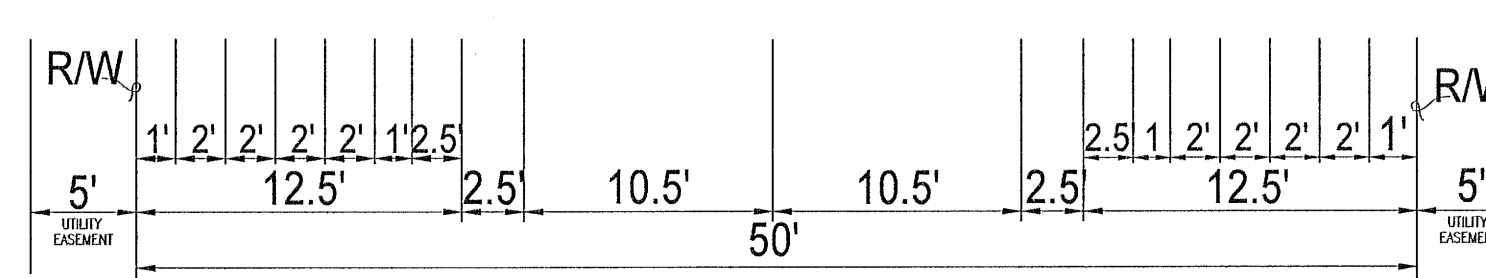


**COMMON TRENCH & UTILITY LOCATIONS**  
**TYPICAL ROAD PLAN VIEW**  
NOT TO SCALE

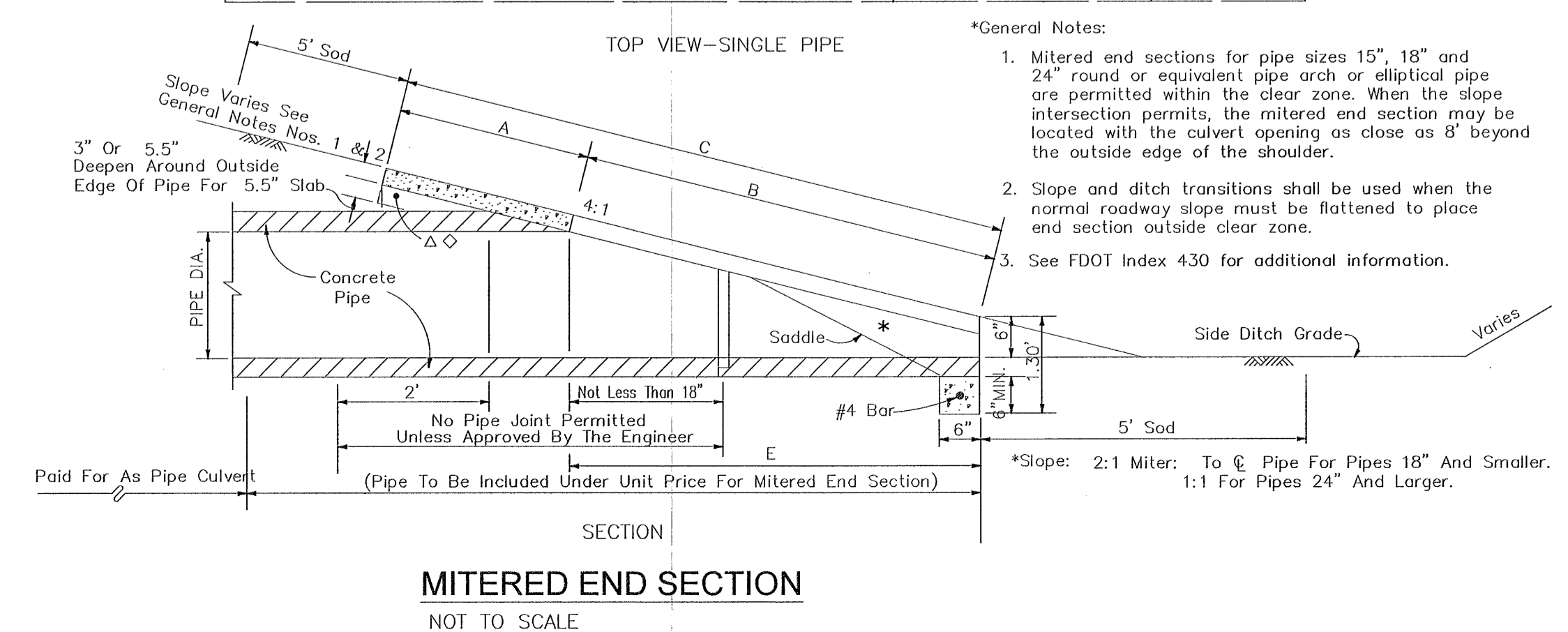
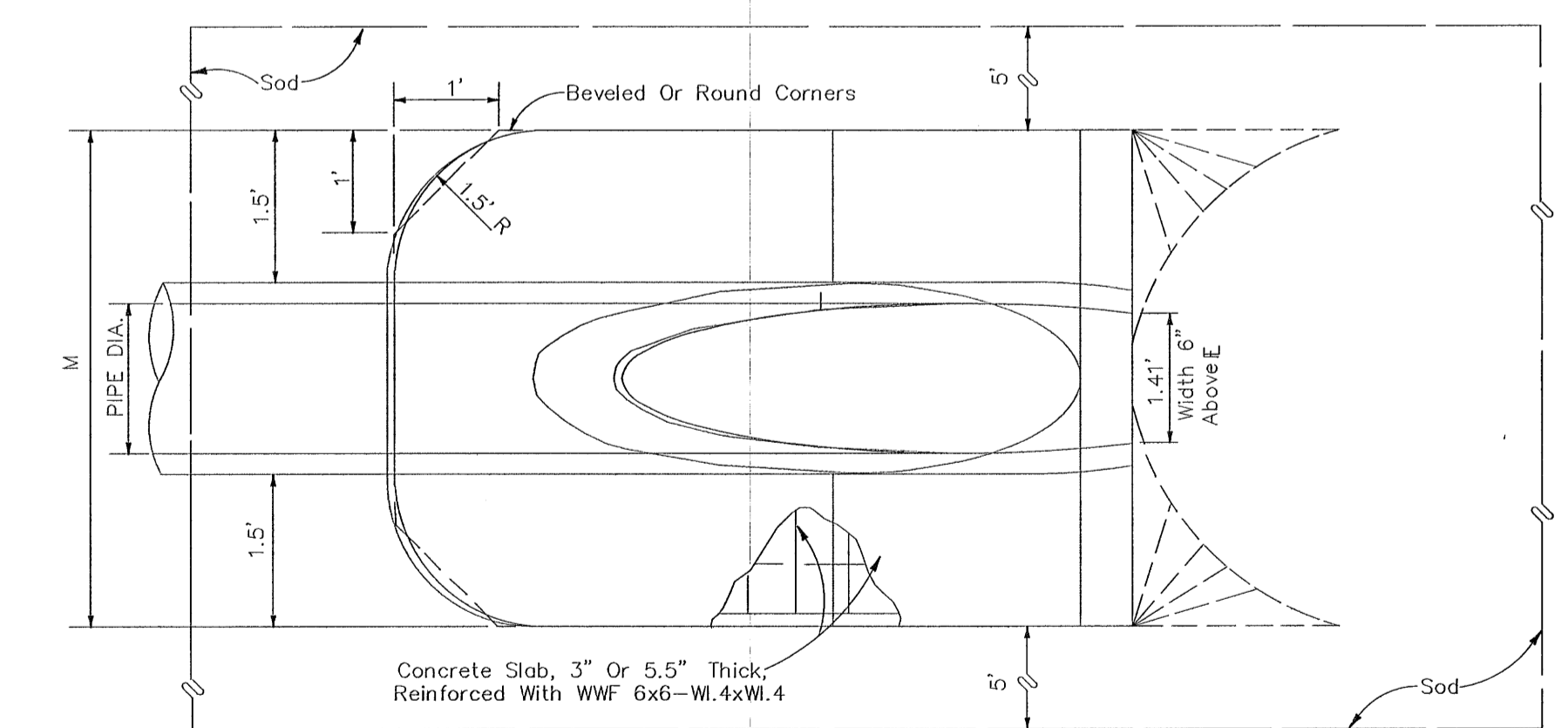
- NOTES:  
 1) THIS IS A TYPICAL LOCATION PLAN. SEE CONSTRUCTION PLANS TO DETERMINE WHICH SIDE OF THE R/W ACTUALLY RECEIVES UTILITIES. SOME UTILITIES MAY ONLY BE ON ONE SIDE (I.E. WATER, FORCE MAIN AND STORM SEWER).  
 2) ALL PROPOSED UNDERGROUND UTILITIES WITHIN RW'S OR UTILITY CONDUIT FOR ROAD CROSSINGS SHALL BE INSTALLED PRIOR TO PAVING. NO STREETS OR ROADS UNDER THE TWO (2) YEAR WARRANTY WILL BE ALLOWED TO BE OPEN CUT, OR JACK-AND-BORED. TO ACCOMPLISH THIS REQUIREMENT, COMMON TRENCHING IS REQUIRED WHENEVER POSSIBLE. IF COMMON IS NOT FEASIBLE OPTION, THE DEVELOPER SHALL INSTALL CONDUIT FOR THE UTILITY NOT PARTICIPATING IN THE COMMON TRENCHING FOR ALL ROAD CROSSINGS AND THE UTILITY COMPANY SHALL BE REQUIRED TO USE THE CONDUIT.  
 3) ALL RW CONSTRUCTION WORK SHALL COMPLY WITH ESCAMBIA COUNTY TECHNICAL SPECIFICATIONS.  
 4) CONTRACTORS SHALL INSTALL EACH UTILITY SERVICE IN THE LOCATION AS SHOWN IN THE COMMON TRENCH DETAIL.



**COMMON TRENCH & UTILITY LOCATIONS**  
**TYPICAL ROAD CROSS SECTION**  
NOT TO SCALE



Dia. D	Rise R	Span S	X	A	B	C	E	F	G	H	M				N	5 1/2" CONC. SLAB (CY) (See General Note 3)				3" CONC. SLAB (CY) (See General Note 3)				SODDING (SY)							
											Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe		Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe	Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe	Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe	Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe
18"	—	—	2'-10"	2.36'	5.12'	7.48'	5.03'	9'	1.41'	4.0'	4.92'	7.75'	10.58'	13.42'	1.21'	0.66	0.99	1.31	1.65	0.47	0.69	0.91	1.14	25	28	31	35				
36"	—	—	5'-1"	2.87'	11.31'	14.18'	11.03'	15'	2.24'	4.0'	6.67'	11.75'	16.83'	21.92'	1.33'	1.32	2.21	3.08	3.96	0.89	1.48	2.05	2.63	34	40	46	52				
42"	—	—	6'-0"	3.05'	13.37'	16.42'	13.03'	17'	2.45'	4.0'	7.25'	13.25'	19.25'	25.25'	1.38'	1.58	2.76	3.91	5.09	1.05	1.82	2.57	3.34	38	44	51	58				



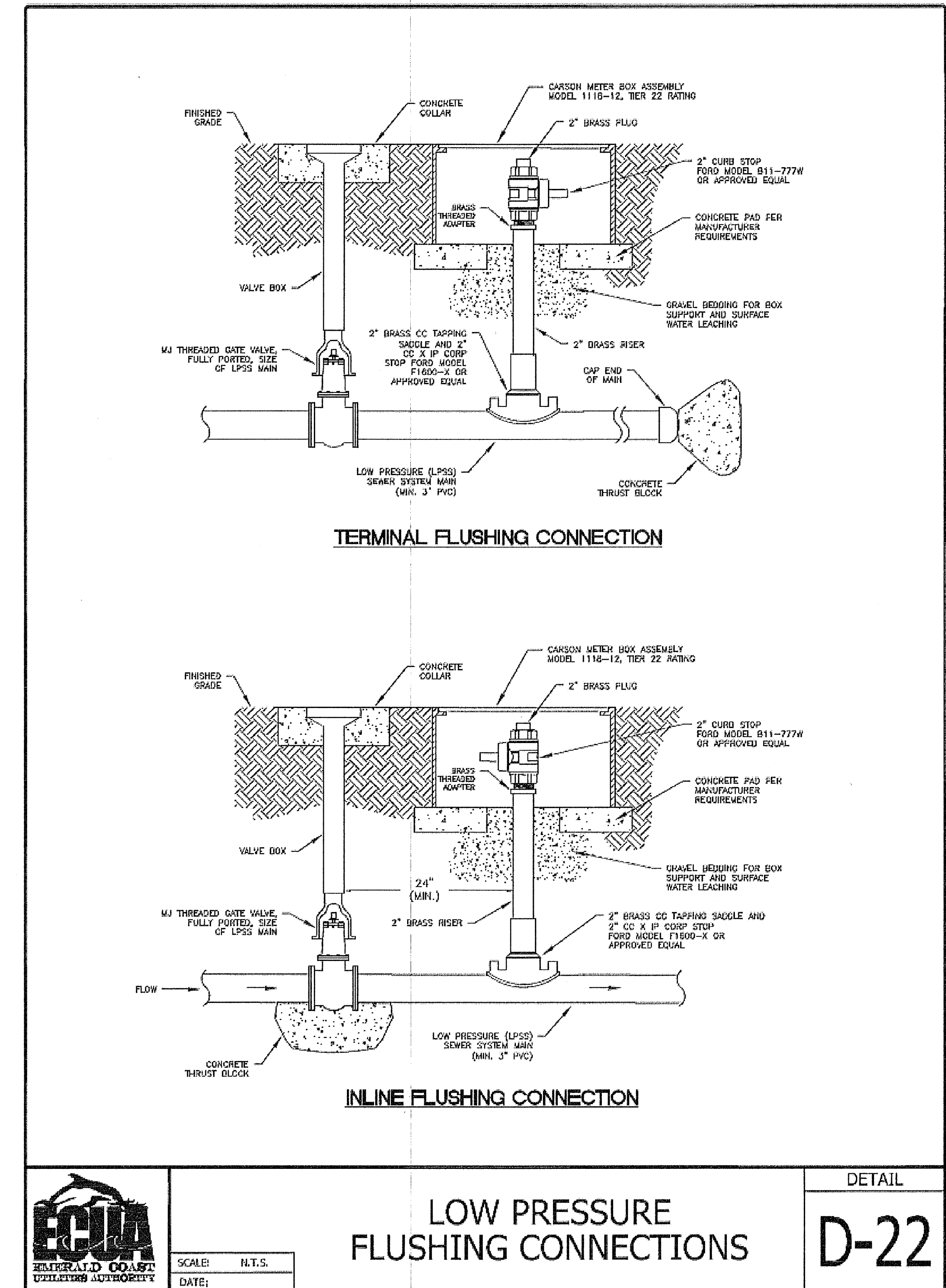
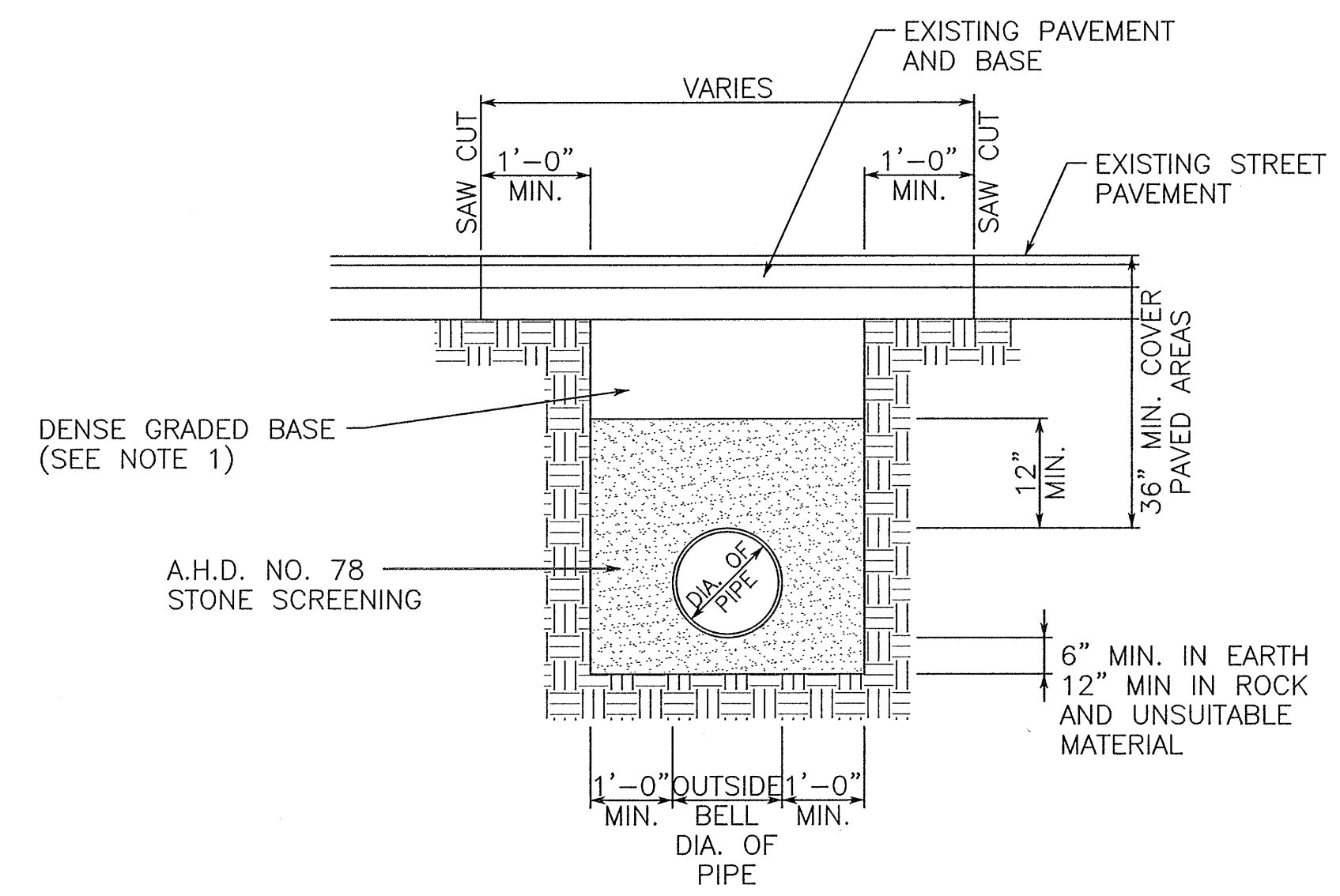
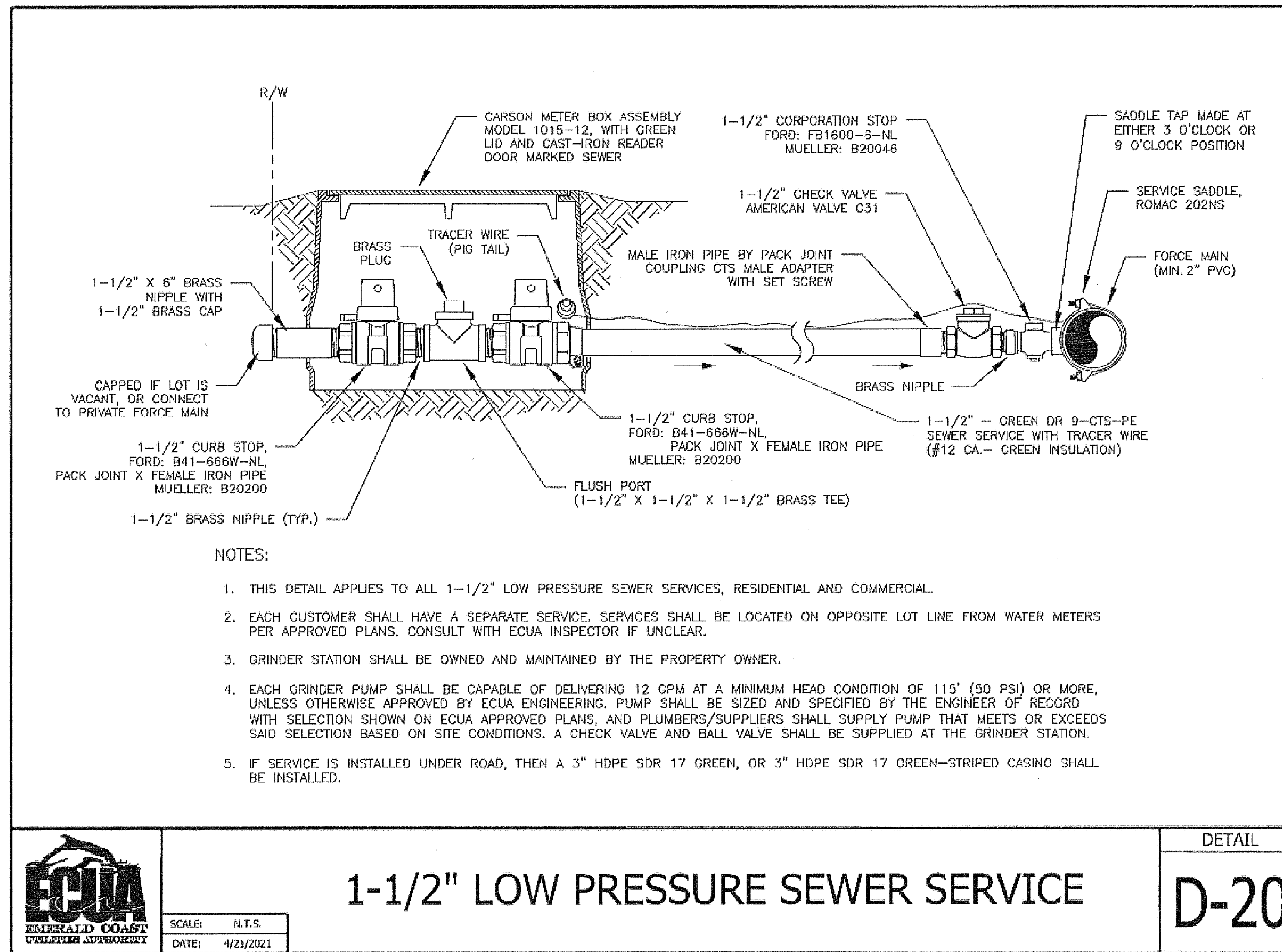
**MITERED END SECTION**  
NOT TO SCALE

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Construction Plans for  
**Bennington Park Subdivision**  
 Escambia County, FL  
 PREPARED FOR: Lennar Homes, LLC

**PROJECT DETAILS**  
 Job No. 23-183P  
 Date: 5/24/2024  
 Drawn By: CAB  
 Checked By: ENL

**SHEET NUMBER**  
 42



REVISIONS


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**MULLINS, LLC**  
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Escambia County, FL

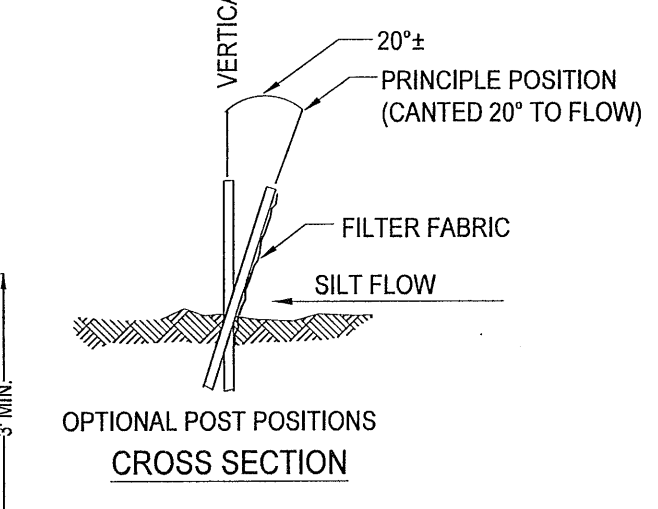
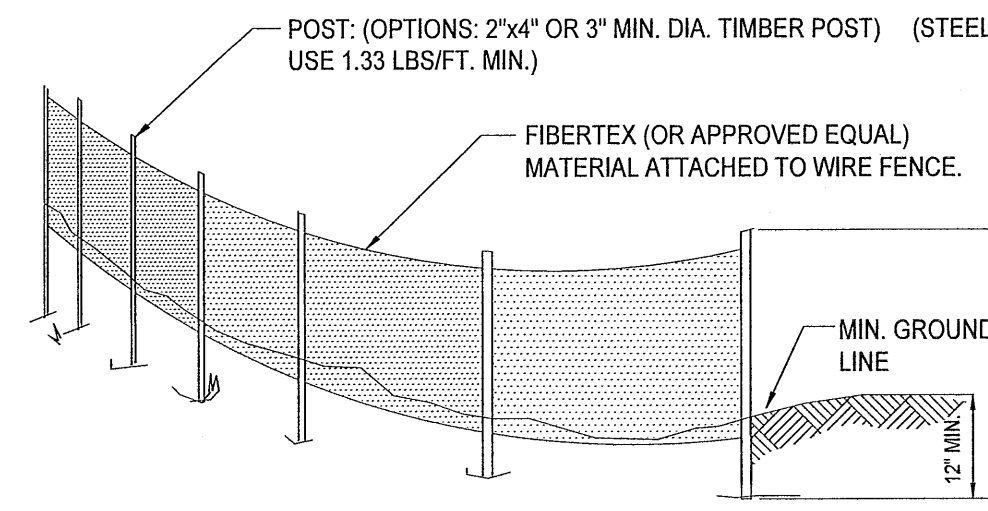
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- NOTES:
- 1) TWO ROWS OF SILT FENCE SHALL BE PLACED ALONG WETLAND EDGE.
  - 2) BALES TO BE STAKED AT THE DIRECTION OF THE ENGINEER.



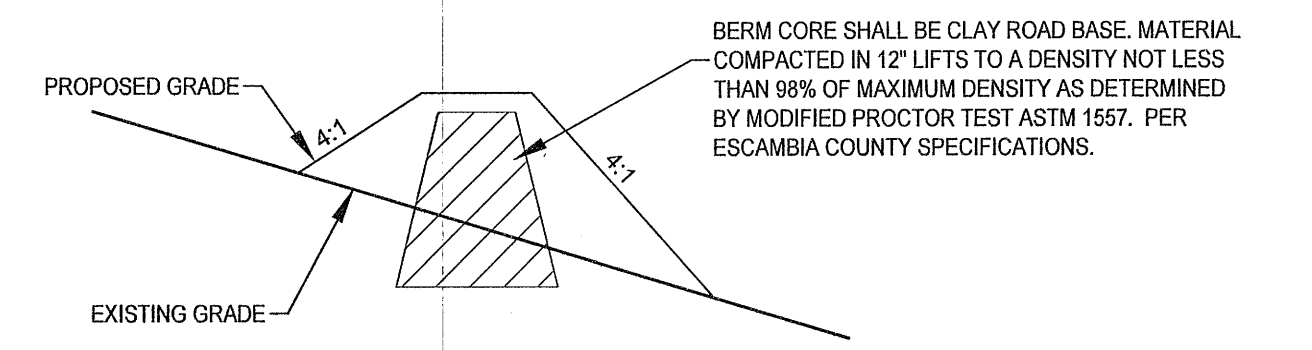
SILT FENCE NOTE:  
1. WIRE BACKED SILT FENCE SHALL BE USED ALONG THE FRONT OF TYPICAL LOTS AND STAKED SILT FENCE FOR ALL OTHER NECESSARY SITES. WETLANDS SHALL BE PROTECTED WITH FABRIC SILT FENCING AND BURIED HAYBALE SYSTEMS.

LENGTH (AVAILABLE IN 10', 15' & 22')

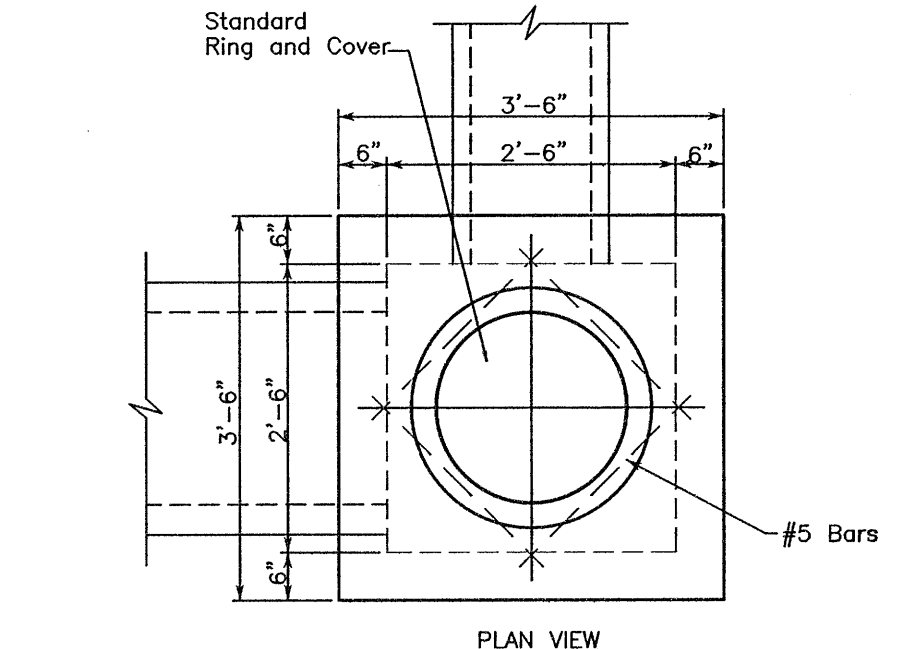
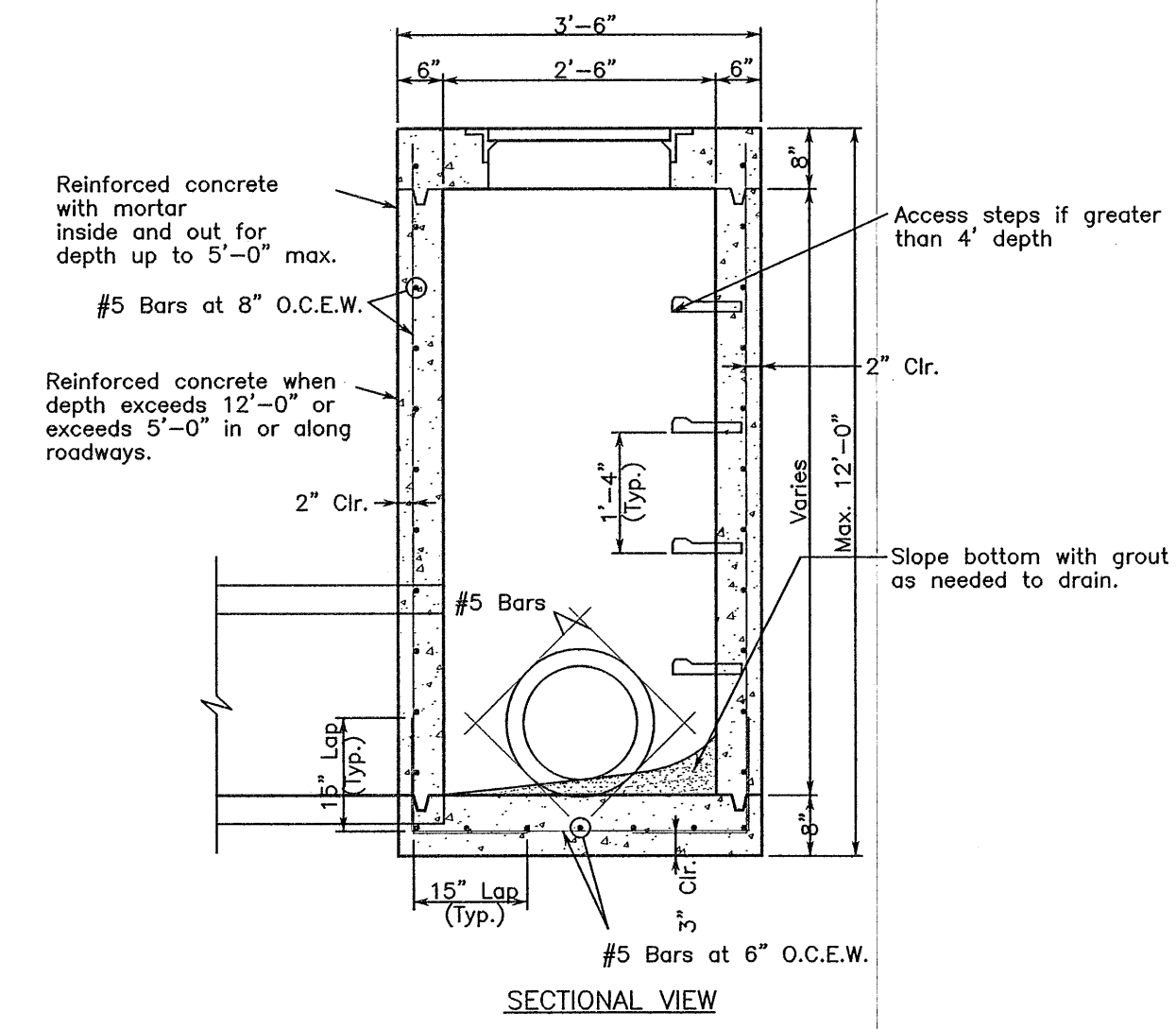
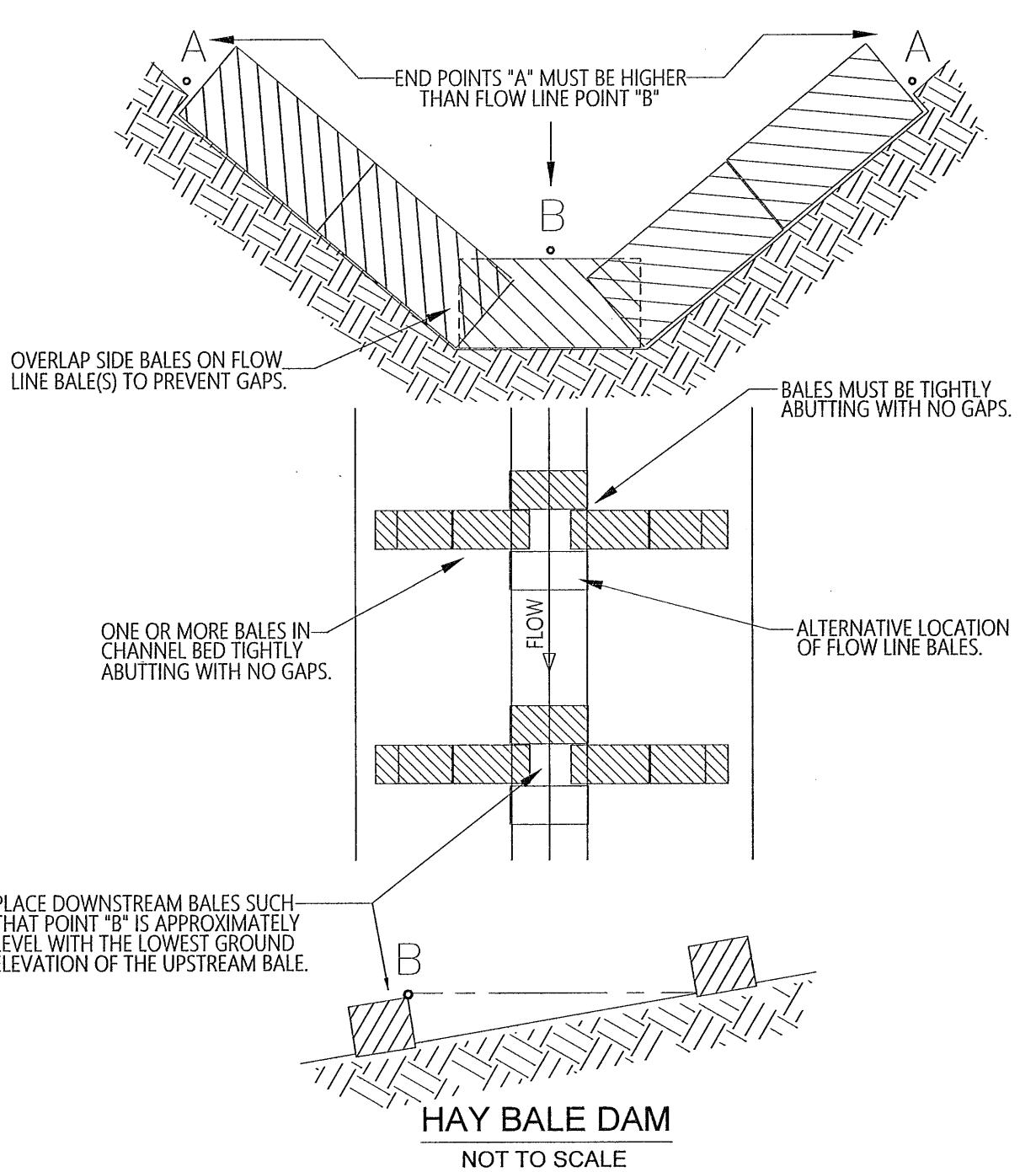
MODEL #	MATERIAL: HIGH VISIBILITY GREEN
TLW 10	FABRIC MATERIAL: POLYESTER
TLW 15	SCALE: NOT TO SCALE
TLW 22	LAST UPDATED: JULY 2015

**WEIGHTED TRAVEL LANE WATTLE WITH PINE STRAW  
IN HIGH VISIBILITY GREEN**

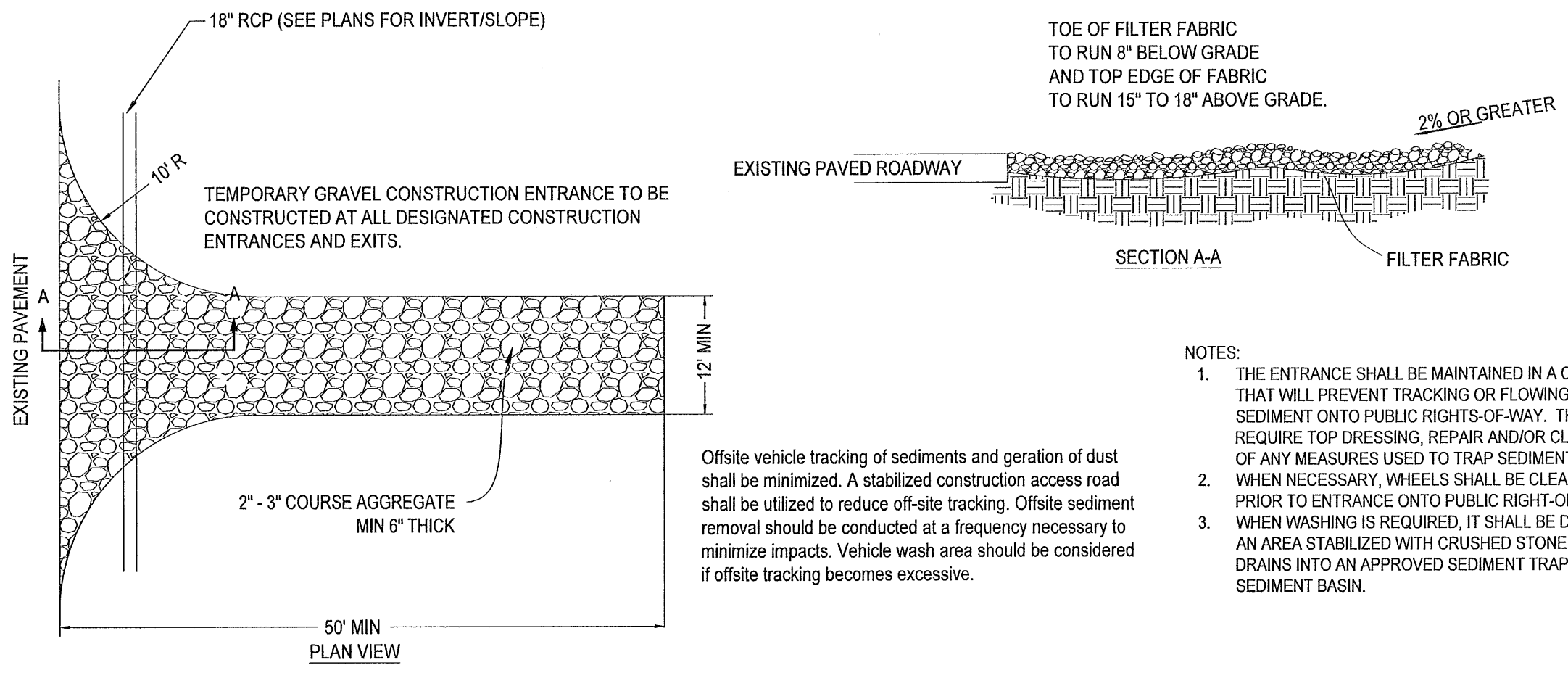
- GENERAL NOTES:
1. IN THE EVENT THAT A STRUCTURAL FAILURE (SINK FEATURE) OCCURS DURING CONSTRUCTION, ALL CONSTRUCTION ACTIVITY SHALL CEASE AND A FLORIDA REGISTERED GEOTECHNICAL ENGINEER SHALL BE CONTACTED IMMEDIATELY. A CORRECTIVE MEASURES PLAN MUST BE APPROVED BY THE NWFWM AND IMPLEMENTED PRIOR TO RESUMING CONSTRUCTION.
  2. SLOPES SHALL BE STABILIZED WITH SOD IMMEDIATELY UPON CONSTRUCTION.
  3. STRIP PROPOSED BERM AREAS PLUS A MARGIN OF 3' OUTSIDE THE BERM FOOTPRINT (BUT DO NOT EXTEND WORK ONTO ADJACENT PROPERTY OR WETLAND BUFFERS) OF ALL SURFACE VEGETATION AND ROOT MAT (LARGE ROOTS AND SMALL ROOTS IN HIGH DENSITY).
  4. BERM SOILS SHALL CONSIST OF SILTY TO CLAYEY SANDS WITH NO MORE THAN 50% PASSING THE US NO. 200 SIEVE (SILT AND CLAY FINES). DO NOT USE "PIPE CLAY", A MARBLED SANDY FAT CLAY TO FAT CLAY WITH HIGH PLASTICITY AND MORE THAN 50% SOIL FINES.
  5. BERM CORE SHALL BE CLAY ROAD BASE. MATERIAL COMPACTED IN 12" LIFTS TO A DENSITY NOT LESS THAN 98% OF MAXIMUM DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST ASTM 1557. PER ESCAMBIA COUNTY SPECIFICATIONS.
  6. TEST THE DENSITY OF THE SOILS TO DETERMINE IF THE REQUIRED COMPACTION DENSITY HAS BEEN ACHIEVED. PERFORM AT LEAST ONE FIELD DENSITY TEST IN EACH COMPACTED LIFT FOR EVERY 50' TO 75' OF BERM LENGTH, ALTERNATING THE TESTS INSIDE AND OUTSIDE OF CENTERLINE BERM. PERFORM FURTHER MOISTURE CONDITIONING AND RE-COMPACTION AS NECESSARY IN LIFT AREAS WITH FAILING DENSITY, AND RETEST.
  7. PROVIDE TOPSOIL AND SOD COVER ON THE FINISHED BERM SLOPES TO PREVENT EROSION.
  8. SLOPES 4:1 OR STEEPER SHALL BE SODDED AND PINNED.



**IMPERVIOUS BERM CORE**  
NOT TO SCALE



- NOTES:
1. All concrete shall be class "A" and shall develop a minimum compressive strength of 3000 PSI in 28 days.
  2. Reinforcing shall be grade 60 deformed bars and shall conform to ASTM requirements.
  3. Steps are required on all Junction Boxes when dimensions from bottom of top slab to top of bottom slab is greater than 4'-0".



- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

Offsite vehicle tracking of sediments and geration of dust shall be minimized. A stabilized construction access road shall be utilized to reduce off-site tracking. Offsite sediment removal should be conducted at a frequency necessary to minimize impacts. Vehicle wash area should be considered if offsite tracking becomes excessive.

**TEMPORARY CONSTRUCTION ENTRANCE**  
NOT TO SCALE

REVISIONS	DATE	BY

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