

S:\2022 Projects\2022-05 HC Pensacola Sign\DWGS\CIVIL\22-05-C001.dwg, Jul 22, 2022 - 11:47:37AM, priscilla

# Site Construction Plans

## For

# Pensacola Sign Renovation

OWNER/DEVELOPER:  
STEVEN ORLICH  
3711 N PALAFOX STREET  
PENSACOLA, FL 32505  
PHONE: 850-433-7878

ENGINEER:  
KENNETH HORNE & ASSOCIATES, INC.  
7201 N. 9th AVENUE, SUITE 6  
PENSACOLA, FLORIDA 32504  
PHONE: (850) 471-9005

SURVEYOR:  
EMERALD COAST ENGINEERING AND  
SURVEYING, LLC  
4400 BAYOU BOULEVARD, SUITE 42A  
PENSACOLA, FL 32503  
PHONE: (850) 474-0313

#### SITE DATA:

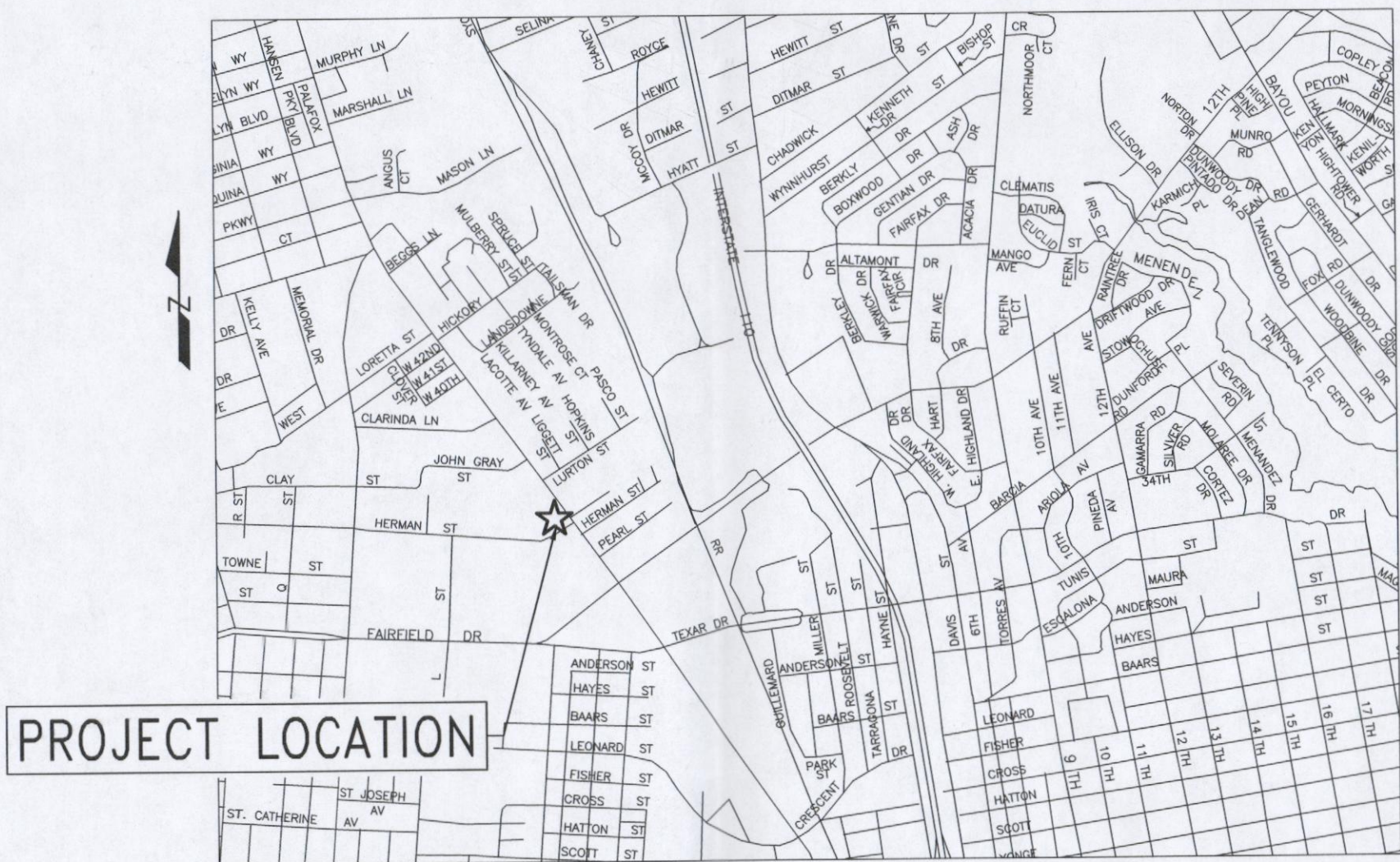
PROPERTY REFERENCE NO: 05-2S-30-1001-001-026  
PROPERTY ADDRESS: 3711 N PALAFOX ST PENSACOLA, FL 32505  
ZONING: HC/LI  
FLU: C  
PROPOSED USE: SIGN STORE

NO NET INCREASE IN IMPERVIOUS AREA  
WILL RESULT FROM THIS PROJECT

#### ESCAMBIA COUNTY NOTES:

1. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
2. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
3. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
4. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD.
5. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPOGRAPHY OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
6. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT 850-595-3472. AS BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
7. NOTIFY SUNSHINE 811 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RIGHT-OF-WAY; 1-800-432-4770.
8. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN-OFF FROM THE COUNTY.
9. TRENCHING AND GRADING AROUND TREES WHICH ARE TO REMAIN SHALL BE AWAY FROM THE TREE IN A MANNER TO CAUSE NO DAMAGE TO THE TREE.
10. NOTIFY ESCAMBIA COUNTY 48 HOURS IN ADVANCE TO DIGGING WITHIN RIGHT-OF-WAY:  
ESCAMBIA COUNTY TRAFFIC SIGNAL UTILITY SPOTS  
MS. JOHNNY COX  
363 WEST PARK PLACE  
PENSACOLA, FLORIDA 32505  
(850) 595-3484

PARCEL AREA	26,921 SF (0.62 ACRE)
EXISTING IMPERVIOUS AREA	24,852 SF (0.57 ACRE)
EXISTING PERVIOUS AREA	2,069 SF (0.05 ACRE)
PROPOSED IMPERVIOUS AREA	24,852 SF (0.57 ACRE)
PROPOSED PERVIOUS AREA	2,069 SF (0.05 ACRE)



VICINITY MAP  
SCALE: 1" = 2000'

"THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND .2- PERCENT-ANNUAL-CHANCE FLOODPLAINS. NO BFES OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0380G, MAP REVISION DATED SEPTEMBER 29, 2006. PRELIM MAPS JANUARY 27, 2017, MAP PANEL NUMBER 12033C0430J."

#### GENERAL NOTES:

1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO ESCAMBIA COUNTY STANDARDS.
2. THE CONTRACTOR IS ADVISED TO FAMILIARIZE HIMSELF WITH THE SITE PRIOR TO BIDDING. COORDINATE VISIT WITH OWNER.
3. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES WITH VARIOUS UTILITY COMPANIES PRIOR TO CONSTRUCTION.
4. ALL LANDSCAPING SHALL COMPLY WITH DESIGN STANDARDS MANUAL CHAPTER 2, ENVIRONMENTAL OF THE ESCAMBIA COUNTY LAND DEVELOPMENT CODE.
5. ALL WORK WITHIN THE RIGHT-OF-WAYS SHALL CONFORM TO ESCAMBIA COUNTY STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) AND F.D.O.T. STANDARD DETAILS AND SPECIFICATIONS (LATEST EDITION).
6. CONTRACTOR SHALL FILE A "NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES." CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THIS PERMIT THROUGHOUT THE COURSE OF CONSTRUCTION.

#### EROSION CONTROL NOTES:

1. HAY BALES OR SILT FENCE SHALL BE PLACED AS REQUIRED. POSTS FOR SILT FENCE SHALL BE AT A DEPTH TO RESIST OVERTURNING. THE BOTTOM EDGE OF THE FABRIC SHALL BE BELOW GRADE AND COVERED WITH SOIL. SUPPLEMENT WITH HAY BALES AS REQUIRED TO PREVENT THE PASSAGE OF SOIL MATERIALS. HAY BALES ARE TO BE PROPERLY PLACED AND STAKED. (SEE TYPICAL DETAILS)
2. ISOLATED AREAS OF CONSTRUCTION MAY NEED TO BE ADDRESSED BY THE CONTRACTOR AS FIELD CONDITIONS DICTATE.
3. UPON COMPLETION OF CONSTRUCTION, ALL DISTURBED AREAS ARE TO BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD.
4. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT EROSION CONTROL MEASURES USED ARE MAINTAINED AND FULLY FUNCTIONAL DURING RAINFALL EVENTS.

Sheet List Table

Sheet Number	Sheet Title
C001	COVER SHEET
C101	EXISTING CONDITIONS AND DEMO PLAN
C201	SITE GEOMETRY AND GRADING PLAN
C501	DETAILS

Approved  
ESCAMBIA COUNTY DRC PLAN REVIEW

DRC Chairman Signature: *[Signature]* Date: 8/3/2022

Printed Name: Eric Johnson  
Development Services Director or Designee

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does of not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

Kenneth Horne & Associates, Inc.  
CIVIL ENGINEERS



PO BOX 10669, PENSACOLA, FLORIDA 32524  
7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504  
(850) 471-9005 info@kh-a.com FAX (850) 471-0093

FL CERTIFICATE OF AUTHORIZATION NO. 8268

PENSACOLA SIGN

RENOVATION

COVER SHEET

FLORIDA

ESCAMBIA

DRAWN BY: PC

DESIGNED BY: CK

CHECKED BY: CK

DATE: 06/27/2022

SCALE: N.T.S.

NOT FOR CONSTRUCTION

DATE: BY:

PROJECT NO: 2022-05

C001

SHEET: 1 OF 4

NO. DATE

REVISIONS

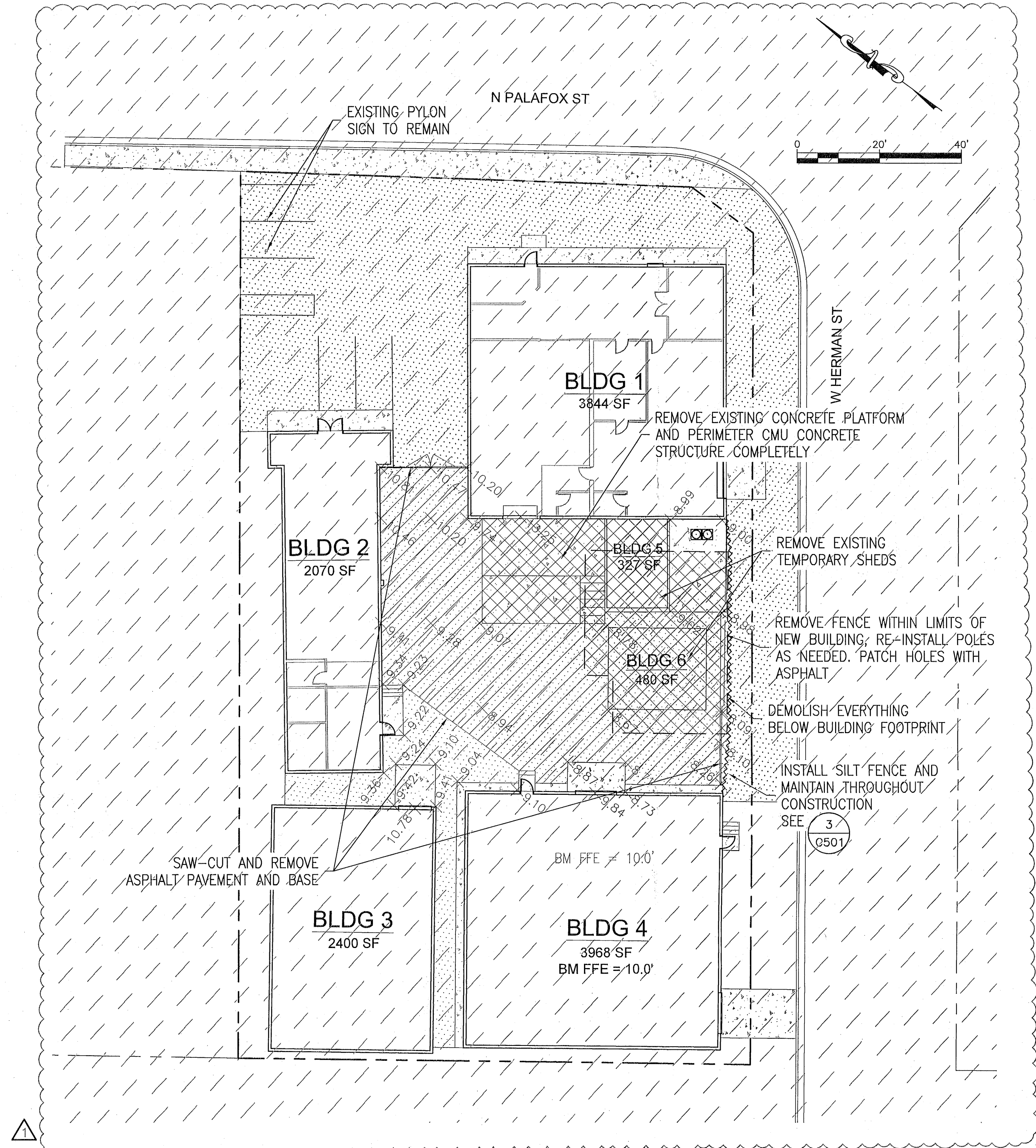
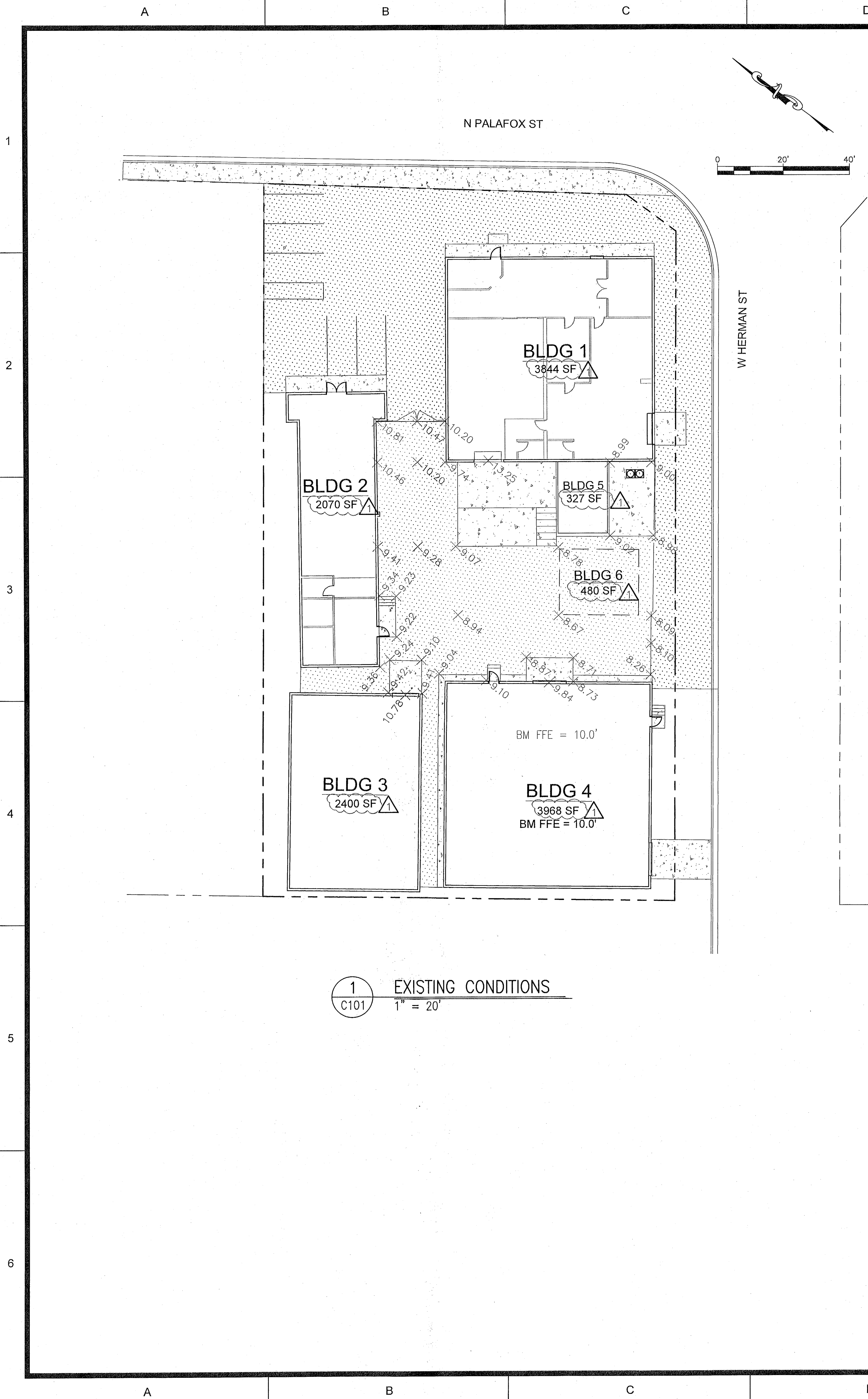
RESPONSE TO DRC COMMENTS

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ROBERT C. KRASNOSKY  
FL PE 49949



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PENSACOLA SIGN

RENOVATION

EXISTING CONDITIONS AND DEMOLITION PLAN

FLORIDA

ESCAMBIA

DRAWN BY: PC

DESIGNED BY: CK

CHECKED BY: CK

DATE: 06/27/2022

SCALE: 1" = 20'

NOT FOR CONSTRUCTION

BY:

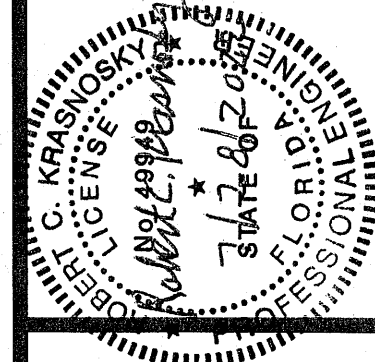
PROJECT NO: 2022-05

C101

SHEET: 2 OF 4

Kenneth Horne & Associates, Inc.  
CIVIL ENGINEERS

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FL CERTIFICATE OF AUTHORIZATION NO. 8288



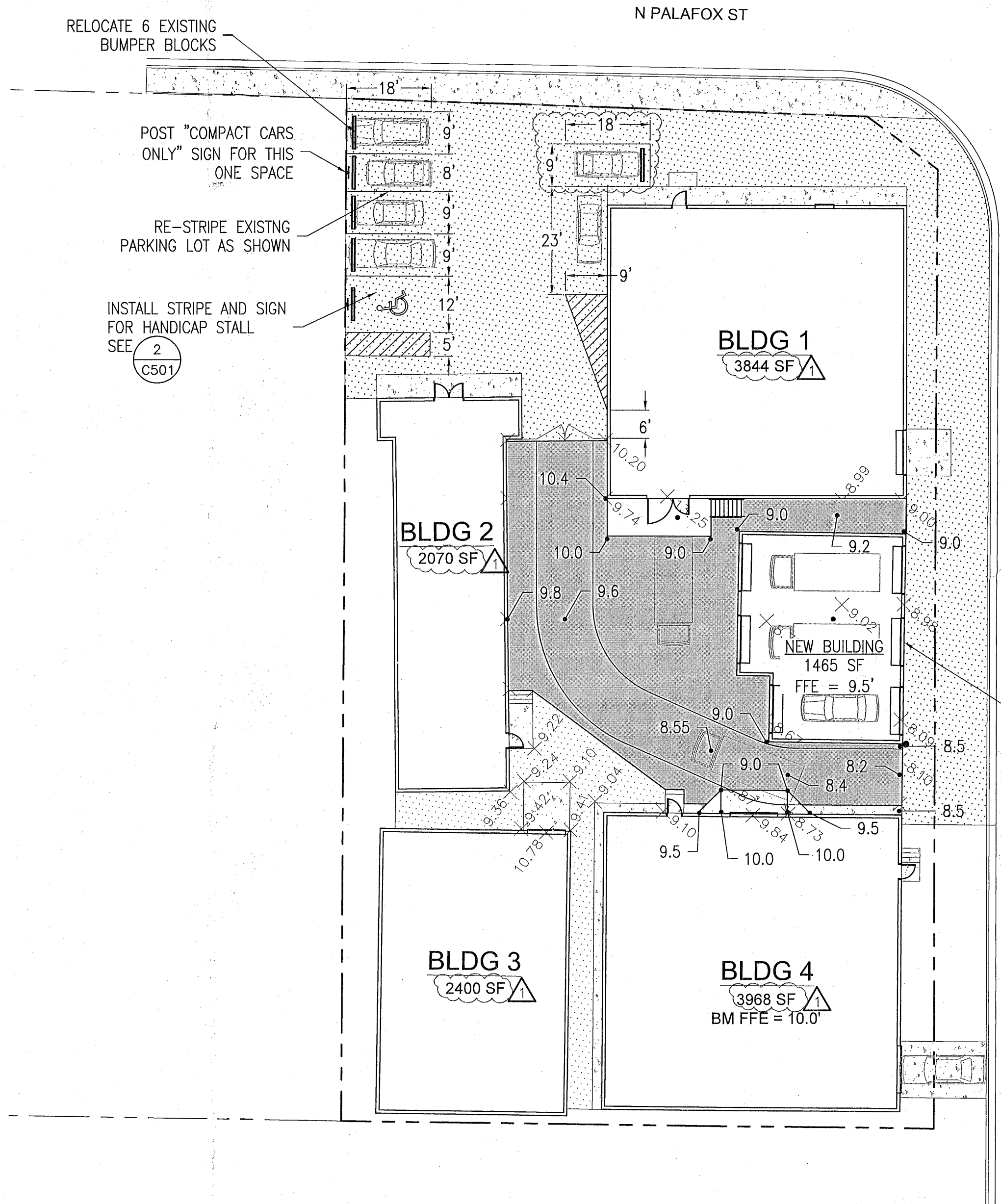
ROBERT C. KRASNOSKY  
FL PE 49949

REVISIONS

NO. DATE RESPONSE TO DRC COMMENTS

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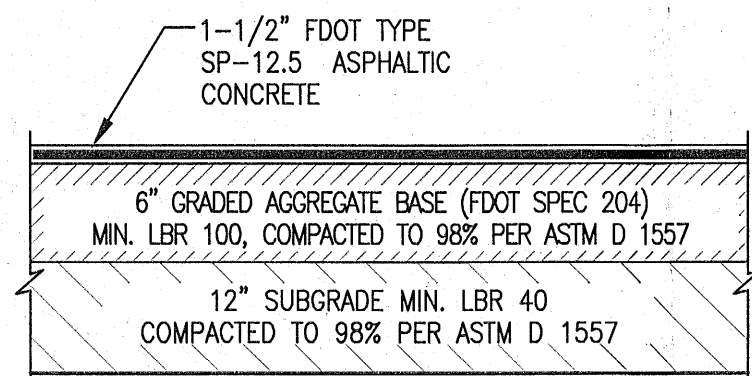
1 SITE GEOMETRY AND GRADING PLAN  
1" = 20'

PARCEL AREA	26,921 SF
TOTAL PROPOSED BUILDING AREAS	13,747 SF
BUILDING LOT COVERAGE	51%

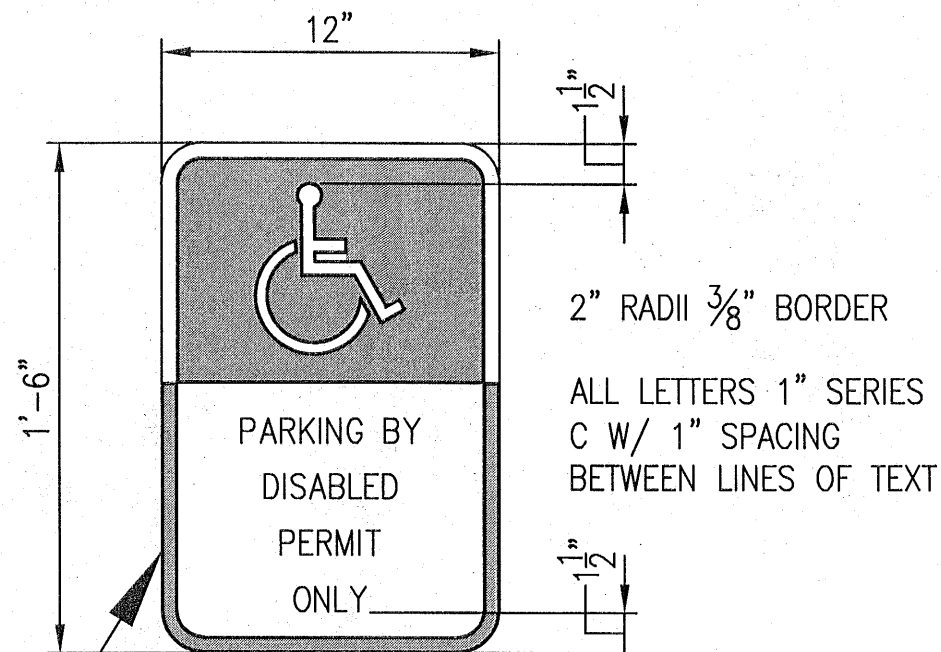
PROJECT NO: 2022-05 C201	DATE: 06/27/2022	DESIGNED BY: CK	DRAWN BY: PC
BY: DATE:	NOT FOR CONSTRUCTION	SCALE: 1" = 20'	CHECKED BY: CK
ESCAMBIA	FLORIDA	RENOVATION	PENSACOLA SIGN
7201 N. 9TH AVENUE, SUITE 6, PENSACOLA, FLORIDA 32504 (850) 471-9005 info@kh-a.com FAX (850) 471-0093	CIVIL ENGINEERS	Kenneth Horne & Associates, Inc.	
FL. CERTIFICATE OF AUTHORIZATION NO. 8268	7/28/2022	C. KRASNOSKY LICENSED PROFESSIONAL ENGINEER FL. LICENSE NO. 12345	
ROBERT C. KRASNOSKY FL. PE 49949	THIS DRAWING IS THE PROPERTY OF KENNETH HORNE & ASSOCIATES, INC. IT IS NOT TO BE REPRODUCED IN WHOLE OR IN PART FOR ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.		
3 OF 4	SHEET:		



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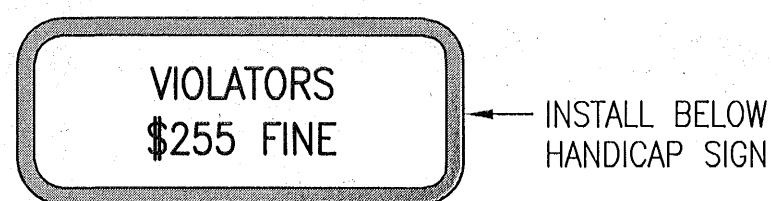


1  
C501  
ASPHALT PAVEMENT SECTION  
NO SCALE



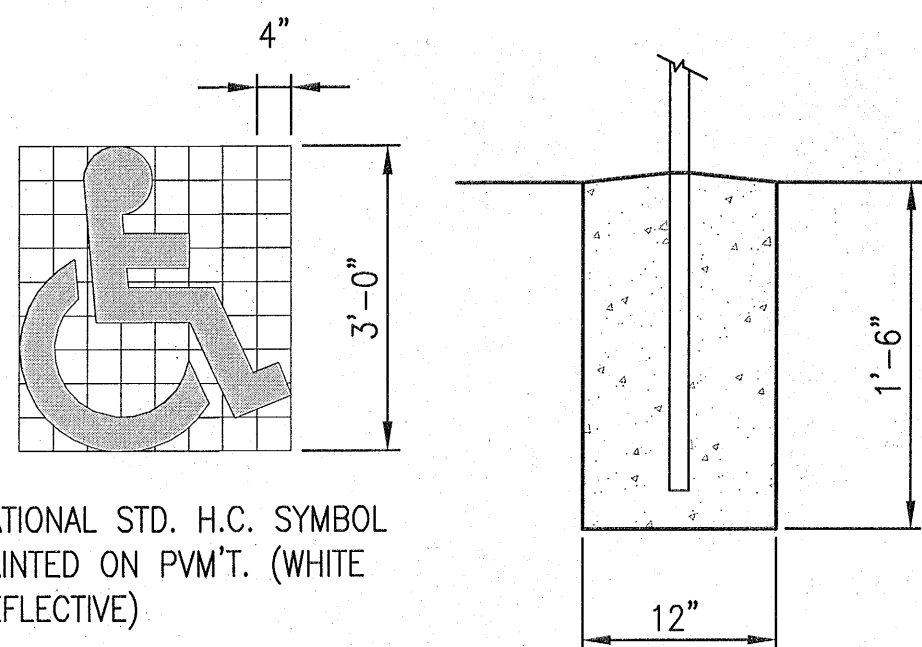
NOTE: SIGN SHALL BE PER FDOT FTP 20-06, POST & MOUNTING SHALL BE PER FDOT REQUIREMENTS

SIGNS USED AS PER FLORIDA STATUTES



NOTES:  
1. TOP PORTION OF SIGN SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER.  
2. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.  
3. SIGN MAY BE FABRICATED ON ONE PANEL OR TWO.  
4. SIGNS ARE TO BE MOUNTED AT STANDARD HEIGHT. (7' FROM PAVEMENT TO BOTTOM OF SIGN).

HANDICAP PARKING SIGN DETAIL



HANDICAP SIGN POST FDN

FOR STALL DIMENSIONS, SEE SITE GEOMETRY PLAN  
FOR ELEVATIONS SEE SITE GRADING PLAN

2  
C501  
HANDICAP PLAN AND DETAILS  
NO SCALE

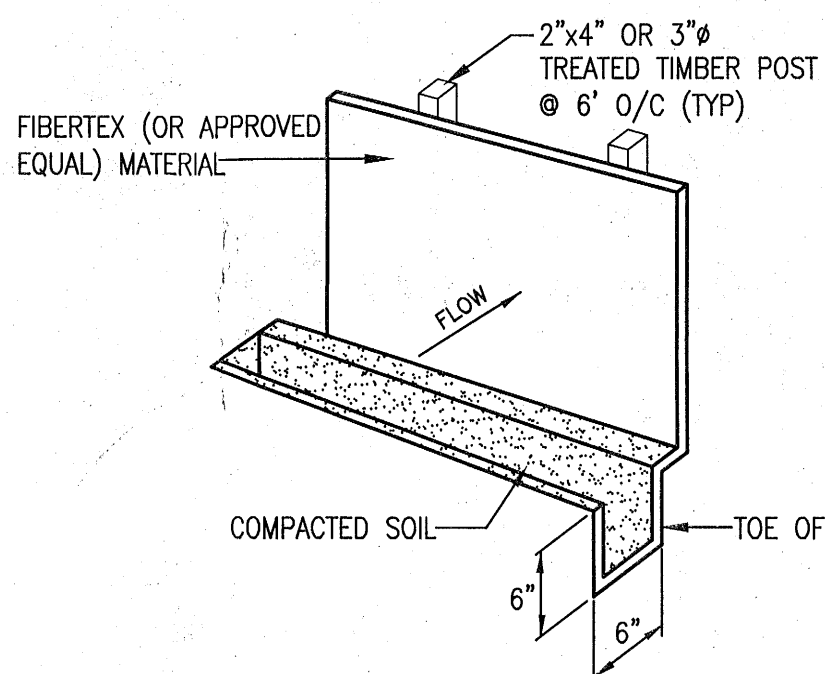
STORMWATER POLLUTION PREVENTION PLAN GENERAL NOTES:

1. EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION, SECTIONS 104, 570, 575 AND 980 TO 986.
3. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
4. SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFF SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
6. SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE NUMBER 2 (ABOVE).
7. THE SITE SHALL ALWAYS BE GRADED AND MAINTAINED SUCH THAT STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
8. AREAS USED FOR THE CONTRACTOR'S STAGING, INCLUDING BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (E.G. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.), SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.

PROPOSED SEQUENCE OF CONSTRUCTION:

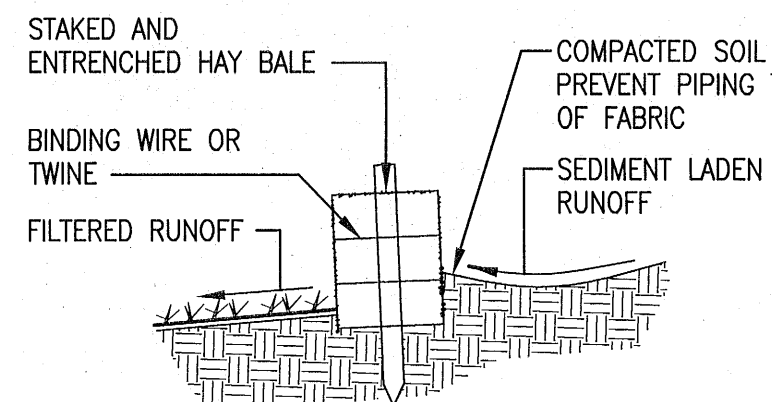
CONSTRUCTION SHOULD PROCEED IN THE FOLLOWING MANNER:

1. INSTALLATION OF SEDIMENT AND EROSION CONTROL DEVICES THAT CAN BE PLACED PRIOR TO ANY MAJOR SOIL DISTURBANCES.



SILT FENCE DETAIL

SILT SCREEN OR STAKED HAY BALE SILT BARRIERS SHALL BE INSTALLED BEFORE CLEARING, GRADING OR OTHER CONSTRUCTION ACTIVITIES ARE INITIATED. PROVIDE TEMPORARY SWALES TO ASSURE THAT ALL STORM WATER DISCHARGES FLOW THROUGH SILT BARRIERS. BARRIERS TO REMAIN IN PLACE AND BE MAINTAINED UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED



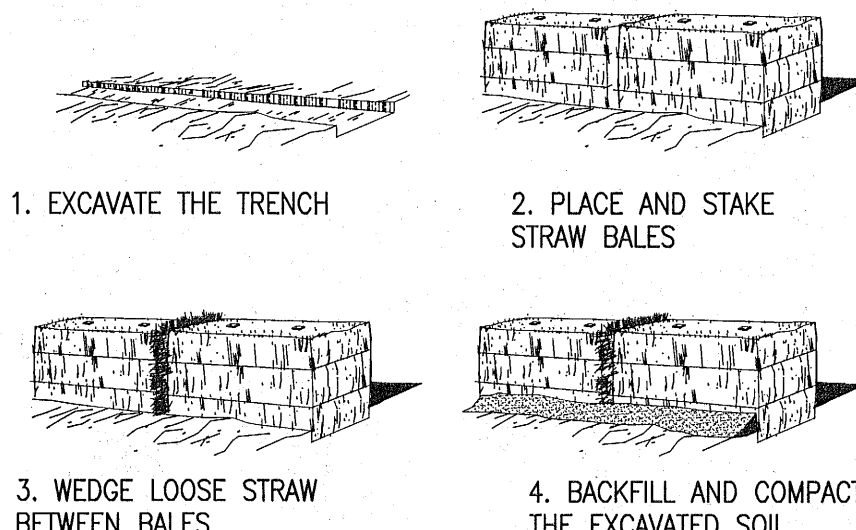
DETAIL OF PROPERLY INSTALLED HAY BALE

3  
C501  
EROSION CONTROL DETAILS  
NO SCALE

2. CLEAR AND REMOVE EXISTING VEGETATION IN THOSE AREAS WHERE NECESSARY. REMAINING VEGETATION IS TO BE PROPERLY PROTECTED AND TO REMAIN IN ITS NATURAL STATE.
3. IMMEDIATE INSTALLATION OF REMAINING SEDIMENT AND EROSION CONTROL DEVICES.
4. INITIATE CONSTRUCTION.
5. UPON COMPLETION OF CONSTRUCTION ACTIVITIES, PROVIDE RESTORATION, FINE GRADE REMAINDER OF SITE.
6. REMOVAL OF APPROPRIATE TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.

EROSION AND SEDIMENTATION CONTROL NOTES:

1. SILT FENCE SHALL BE PLACED IN A SINGLE ROW, LENGTHWISE ON THE CONTOUR, WITH ENDS OF ADJACENT FENCES TIGHTLY ABUTTING ONE ANOTHER PRIOR TO EARTHWORK OPERATIONS.
2. THE SILT FENCE BARRIER SHALL BE ENTRENCHED AND BACK FILLED. A TRENCH SHALL BE EXCAVATED THE LENGTH OF THE PROPOSED BARRIER TO A MINIMUM DEPTH OF 6 INCHES. THE EXCAVATED SOIL SHALL BE BACKFILLED AGAINST THE BARRIER. BACK FILL SOIL SHALL CONFIRM TO THE GROUND LEVEL ON THE DOWNHILL SIDE AND SHALL BE BUILT UP TO 4 INCHES AGAINST THE UPHILL SIDE OF THE BARRIER.
3. SILT FENCE BARRIER SHALL BE SECURELY ANCHORED.
4. SILT FENCE BARRIERS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS, BUT NOT BEFORE THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.
5. SILT FENCE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
6. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCE, END RUNS AND UNDERCUTTING BENEATH FENCE.
7. NECESSARY REPAIRS TO SILT FENCE BARRIERS OR REPLACEMENT OF FENCE SHALL BE ACCOMPLISHED PROMPTLY.
8. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE BARRIER.
9. SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SODDED.



CONSTRUCTION OF A STRAW BALE BARRIER

Kenneth Horne & Associates, Inc.  
CIVIL ENGINEERS



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PENSACOLA SIGN  
RENOVATION

DETAILS

FLORIDA

ESCAMBIA

DRAWN BY: PC  
DESIGNED BY: CK  
CHECKED BY: CK  
DATE: 06/27/2022  
SCALE: N.T.S.  
NOT FOR CONSTRUCTION  
BY: DATE:

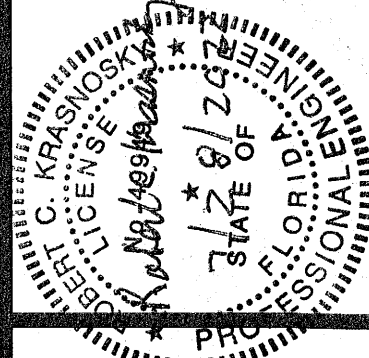
PROJECT NO: 2022-05  
C501

SHEET: 4 OF 4

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REVISIONS

NO. DATE



ROBERT C. KRASNOSKY  
FL. PE 49949