

GENERAL NOTES:

1. CONTRACTOR IS REQUIRED TO VISIT SITE AND FAMILIARIZE HIM/HERSELF WITH THE PROJECT PRIOR TO BIDDING.
2. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL AND STATE REGULATIONS CONCERNING NOTIFICATION TO THE REGULATORY AUTHORITIES OF ANY AND ALL BUILDING RENOVATIONS AND/OR DEMOLITION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MONITORING AND NOTIFYING THE ENGINEER OF RECORD AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND CONCLUSION OF CONSTRUCTION, AS WELL AS SUPPLYING CLEAR AND LEGIBLE REVISIONS TO THE CONSTRUCTION PLANS FOR USE DURING AS-BUILT CERTIFICATION.
4. ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER & MULCH, HYDROSEED AND/OR SOD (RECOMMEND CENTIPEDE, PENSACOLA BAHIA OR BERMUDA SOD). POND AND SWALE TOPS AND SIDES SHALL BE SODDED AND PINNED. ALL SOD PLACED ON SIDE SLOPES 4 TO 1 OR GREATER SHALL BE PINNED.
5. WHERE SOD IS BEING INSTALLED, TOPSOIL SHALL BE USED AS A BASE AT LEAST 3" DEEP.
6. AFTER THE SITE HAS BEEN BROUGHT TO PROPER GRADE FOR PLACEMENT OF TOPSOIL AND IMMEDIATELY PRIOR TO DUMPING AND SPREADING THE TOPSOIL, THE SUBGRADE SHALL BE LOOSENEED BY DISKING OR SCARIFYING TO A DEPTH OF 2" TO INSURE BONDING OF THE TOPSOIL AND SODDING.
7. TOPSOIL SHALL NOT BE PLACED IN A MUDDY CONDITION, WHEN THE SUBGRADE IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND PROPOSED SODDING.
8. THE TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED TO A MINIMUM COMPACTED DEPTH OF 3".
9. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
10. COMPACT THE TOPSOIL ENOUGH TO ENSURE GOOD CONTACT WITH THE UNDERLYING SOIL AND TO OBTAIN A LEVEL SEED BED FOR THE ESTABLISHMENT OF HIGH MAINTENANCE TURF. AVOID UNDUE COMPACTION.
11. CONTRACTOR IS TO MAINTAIN SODDING AND GRASSING BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, RE-GRADING AND REPLANTING AS REQUIRED TO ESTABLISH GRASSED/SODDED AREAS FREE OF ERODED OR BARE AREAS AND REPLACE ANY REJECTED MATERIALS PROMPTLY FROM THE SITE. CONTRACTOR IS TO INCLUDE COST OF MAINTAINING SODDING AND GRASSING IN THE BID.
12. CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN A CODE ENFORCEMENT VIOLATION.
13. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE ANY DISTURBED AREAS FOUND IN RETENTION POND AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
14. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION AND PROVIDE A TOPOGRAPHICAL SURVEY (CERTIFIED BY A STATE OF FLORIDA LICENSED SURVEYOR) OF THE PROJECT AREA WHICH ILLUSTRATES AS-BUILT CONDITIONS OF ALL WORK AND SITE IMPROVEMENTS, INCLUSIVE OF PILING, DRAINAGE STRUCTURES, STORMWATER POND TOPOGRAPHY, SITE ELEVATIONS AND GRADING, OUTLET STRUCTURES, DIMENSIONS, ETC. THESE RECORD DRAWINGS ARE TO BE PROVIDED TO THE PROJECT ENGINEER PRIOR TO REQUESTING FINAL INSPECTION.
15. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY INSPECTIONS OFFICE (850-595-3569) AN INSPECTION OF THE EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO CONSTRUCTION, UNDERGROUND DRAINAGE STRUCTURES PRIOR TO BURIAL, ALL INTERMEDIATE INSPECTIONS AND THE FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
16. EROSION SHALL BE CONTROLLED BY THE USE OF A HAY BALE BARRIER/SILT FENCE AS SHOWN ON PLANS AND SHALL BE SETUP PRIOR TO COMMENCING CONSTRUCTION. THE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT, THE DETENTION AREA SHALL BE CLEANED OF SILT & STABILIZATION OF ALL DISTURBED AREAS SHALL BE ACCOMPLISHED.
17. CONTRACTOR SHALL NOTIFY SUNSHINE ONE UTILITIES (1-800-432-4770) TWO FULL BUSINESS DAYS IN ADVANCE PRIOR TO DIGGING WITHIN R/W.
18. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION AND ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
19. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
20. RIGHT-OF-WAY SHOULDER STABILIZATION SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).
21. ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR. IF THERE WILL BE TEMPORARY STOCKPILING OF MATERIALS ON THE SITE, THESE AREAS SHOULD CONTAIN EROSION CONTROL BMP'S (E.G. SILT FENCE, HAY BALES, ETC) AS NECESSARY.
22. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.
23. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES FOR REMOVAL AND RELOCATION OF EXISTING UTILITY POLES, AERIAL LINES, WATER LINES, GAS LINES AND OTHER UTILITIES AS NECESSARY.
24. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
25. UTILITY LOCATIONS ARE APPROXIMATE BASED ON LOCATION OF ABOVE GROUND APPURTENANCES, AND AS TAKEN FROM THE SURVEY. UNDERGROUND UTILITIES NOT SHOWN HEREIN MAY EXIST.
26. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
27. CONTRACTOR SHALL COMPLY WITH ANY TESTING REQUIRED BY STATE AND LOCAL GOVERNING AGENCIES SUCH AS ASPHALT CORES AND SUB-BASE/BASE COMPACTION TESTING.
28. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY CONFLICTS BETWEEN VENDOR DRAWINGS, EXISTING CONDITIONS AND THE CONSTRUCTION DOCUMENTS.
29. CONTRACTOR TO PROVIDE PROTECTION TO TREES THAT ARE TO REMAIN VIA TREE PROTECTION BARRIERS, REFER TO EROSION CONTROL PLAN FOR MORE INFORMATION.
30. TRENCING OR GRADING AROUND TREES TO REMAIN SHALL BE AWAY FROM THE TREE IN A MANNER TO CAUSE NO DAMAGE TO THE TREE'S CRITICAL ROOT ZONE. THE CRITICAL ROOT ZONE IS REPRESENTED BY A CIRCLE, CENTERED ON THE TREE TRUNK AND HAVING A RADIUS OF ONE FOOT FOR EACH ONE INCH OF TRUNK DIAMETER (DBH). REFER TO LANDSCAPING PLAN FOR ADDITIONAL INFORMATION.

SIGNAGE:

FREESTANDING SIGNAGE:

ONE (1) FREESTANDING SIGN STRUCTURE ALLOWED PER PARCEL STREET FRONTAGE (DEVELOPMENT PARCEL IS LESS THAN 2 AC). STRUCTURES SHALL BE PLACED NO LESS THAN 200 LF FROM ANY OTHER NON-EXEMPT SIGN STRUCTURES ON THE SAME PARCEL, EXCLUDING BILLBOARDS. SIGNS SHALL NOT BE PLACED ON PUBLIC PROPERTY, INCLUDING PUBLIC RIGHTS-OF-WAYS, OR PLACED ON PRIVATE PROPERTY IN ANY MANNER THAT PROJECTS OR EXTENDS A SIGN OVER PUBLIC PROPERTY, WITHOUT APPLICABLE PUBLIC AGENCY AUTHORIZATIONS AND PERMITS. SIGN SHALL NOT OBSTRUCT VISION ON PRIVATE PROPERTY ALONG A STREET RIGHT-OF-WAY BETWEEN THREE FEET AND NINE FEET ABOVE GRADE WITHIN TEN FEET OF THE RIGHT OF WAY.

W OAKFIELD ROAD (LOCAL STREET):  
FREESTANDING SIGNAGE SHALL BE LIMITED TO ONE SIGN A MAXIMUM OF 100 SF (100' FRONTAGE \* 1 SF/LF OF FRONTAGE) IN AREA AND A MAXIMUM OF 20 LF IN HEIGHT.

WALL SIGNAGE:

W OAKFIELD FRONTAGE (LOCAL STREET): THE MAXIMUM WALL SIGN AREA SHALL BE LIMITED TO 113 SF (2.25 SF \* 50 LF BLDG. FRONTAGE)

\*EACH BUILDING, OR EACH TENANT SPACE OF A MULTI-TENANT BUILDING, MAY HAVE MULTIPLE WALL SIGNS, BUT THE TOTAL WALL SIGN AREA ON A BUILDING OR TENANT WALL SHALL NOT EXCEED THE ALLOWANCE FOR THAT WALL. UNUSED SIGN AREA ON ONE BUILDING OR TENANT WALL IS NOT AVAILABLE TO ANY OTHER BUILDING OR TENANT WALL. THE CALCULATED MAXIMUM WALL SIGN AREA OF 113 SF IS FOR THE FRONT WALL.

A VALID ESCAMBIA COUNTY SIGN PERMIT MUST BE OBTAINED PRIOR TO ERECTING, CONSTRUCTING, ALTERING OR RELOCATING ANY SITE SIGNAGE. FOR SIGNS PLACED ON A CORNER, THE SIDE SETBACK WILL BE DETERMINED BY MEASURING 35' ALONG THE INTERSECTIONS OF THE TWO PUBLIC RIGHTS OF WAY.

JURISDICTIONAL CONTACTS:

**ESCAMBIA COUNTY DEVELOPMENT SERVICES**  
3363 WEST PARK PLACE  
PENSACOLA, FL 32505  
PHONE NO.: (850)-595-3475  
FAX NO.: (850)-595-3481

**EMERALD COAST UTILITIES AUTHORITY**  
9255 STURDEVANT STREET  
PENSACOLA, FL 32514  
PHONE NO.: (850)-476-5110  
FAX NO.: 850-494-7346

**NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT**  
700 US HIGHWAY 331 SOUTH  
DEFUNIAK SPRINGS, FL 32435  
PHONE NO.: (850)-951-4660  
FAX NO.: (850)-892-8007

**FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION**  
2600 BLAIR STONE ROAD  
TALLAHASSEE, FL 32399  
PHONE NO.: (866)-336-6312  
FAX NO.: (850)-297-1211

**FLORIDA DEPARTMENT OF TRANSPORTATION**  
6025 OLD BAGDAD HIGHWAY.  
PENSACOLA, FL 32583  
PHONE NO.: (850)-981-3000  
FAX NO.: (850)-981-2719

PROJECT DIRECTORY:

**CIVIL ENGINEER**  
HAMMOND ENGINEERING, INC.  
3802 NORTH 'S' ST.  
PENSACOLA, FL 32505  
PHONE NO.: (850)-434-2603  
FAX NO.: (850)-434-2650

**SURVEYOR**  
NORTHWEST FLORIDA LAND SURVEYING, INC.  
7142 BELGIUM CIRCLE  
PENSACOLA, FL 32526  
PHONE NO.: (850)-432-1052

**GEOTECHNICAL ENGINEER**  
NOVA ENGINEERING & ENVIRONMENTAL, LLC.  
140-A LURTON STREET  
PENSACOLA, FL 32501  
PHONE NO.: (850)-607-7782  
FAX NO.: (850)-249-6683

Approved	
ESCAMBIA COUNTY DRC PLAN REVIEW	
DRC Chairman Signature	6-22-22
Printed Name: Jennifer Hampton	Date
Development Services Director or Designee	
This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.	



**HAMMOND ENGINEERING, INC.**  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH "S" STREET  
PENSACOLA, FLORIDA 32505  
850-434-2603  
FAX 850-434-2650  
TOM@SELANDDESIGN.COM

REVISED JUNE 14, 2022  
HEI PROJECT #: 21-104

# SITE DEVELOPMENT PLANS FOR H&H ACCESSORY SHOP

SECTION 38 TOWNSHIP 1 SOUTH, RANGE 30 WEST  
ESCAMBIA COUNTY, FLORIDA

521 W OAKFIELD ROAD  
PENSACOLA, FL 32503

OWNER/DEVELOPER:

WAYNE HALL  
HARRELL & HALL PROPERTIES LLC.  
43 AIRPARK CT  
ALIBASTER, AL 35007  
(205)-664-9191

PROPERTY I.D NO: 38-1S-30-2304-000-001  
ZONING DESIGNATION: HC/LI  
ADJACENT ZONING: HC/LI  
FLU DESIGNATION: C  
ADJACENT FLU: C

INDEX OF DRAWINGS:

- C1 ~ COVER
- C2 ~ EXISTING CONDITIONS
- C3 ~ DEMOLITION & EROSION CONTROL PLAN
- C4 ~ SITE PLAN
- C5 ~ GRADING & DRAINAGE PLAN
- C6 ~ UTILITY PLAN
- C7 ~ LANDSCAPING PLAN
- C8 ~ EROSION CONTROL DETAILS
- C9 ~ CONSTRUCTION DETAILS
- C10 ~ CONSTRUCTION DETAILS
- C11 ~ CONSTRUCTION DETAILS

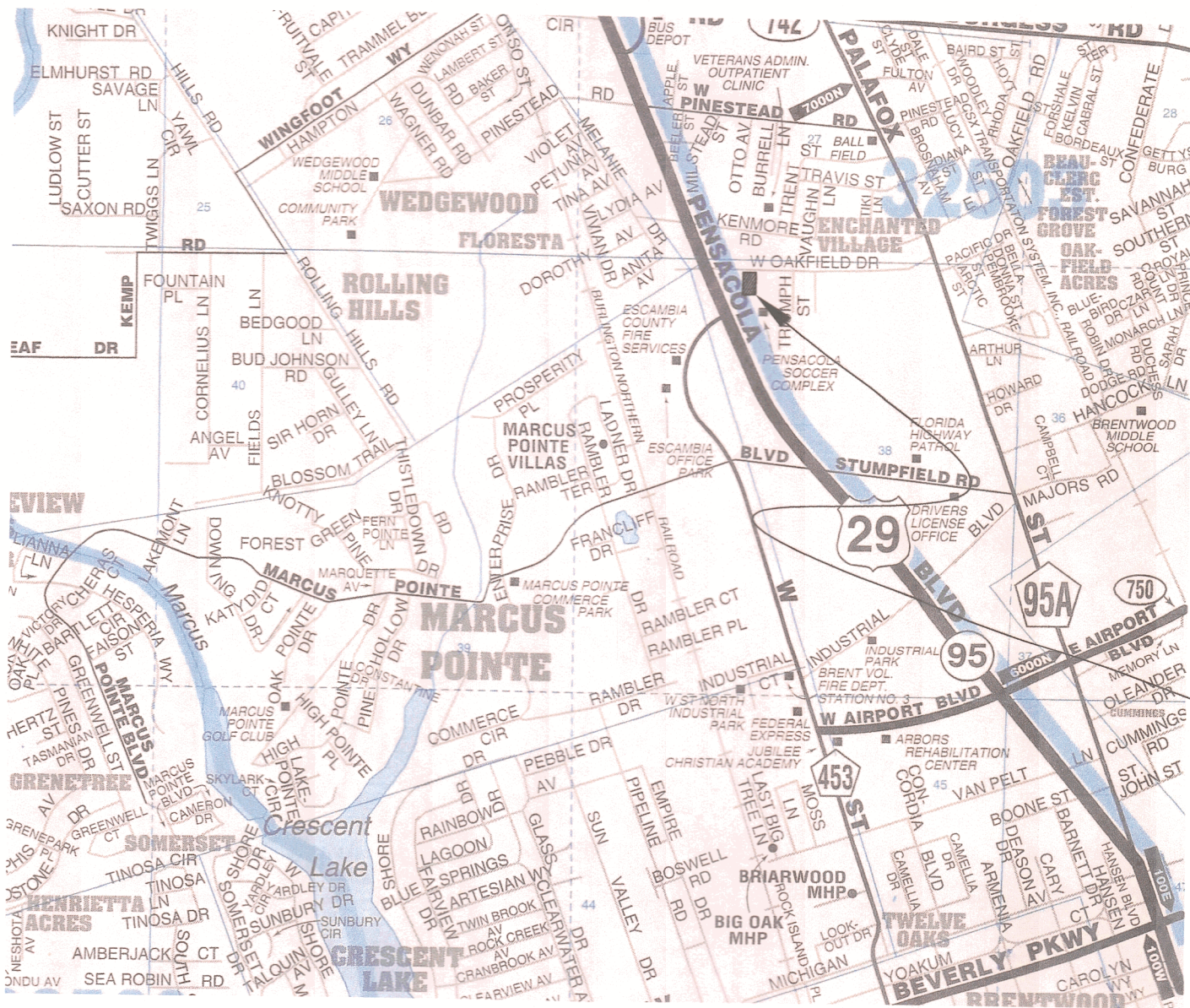
GENERAL NOTES:

31. CONTRACTOR SHALL CONSTRUCT TEMPORARY MEASURES AND SUPPORT TO ACCESS THE SITE AND SHALL INCLUDE THE COST FOR SAME IN THE BID. CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE SATISFACTION OF THE OWNER AND/OR GOVERNING AGENCY.
32. CONTRACTOR SHALL COORDINATE HIS WORK AND COOPERATE WITH OTHER CONTRACTORS WORKING AROUND THE PROJECT AREA.
33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0516) AND LOCAL (ESCAMBIA COUNTY HEALTH DEPT. 850-595-8700) AGENCIES.
34. SOLID WASTE SHALL BE KEPT IN AN APPROVED DUMPSTER THROUGHOUT CONSTRUCTION ACTIVITIES.
35. ALL VALVE BOXES SHALL BE SET FLUSH WITH GRADE(IF APPLICABLE).
36. ADEQUATE PROVISIONS SHALL BE MADE FOR FLOW OF SEWERS, DRAINS, AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
37. THE CONTRACTOR SHALL FLUSH AND CLEAN ALL STORMWATER PIPES AND STRUCTURES AT END OF CONSTRUCTION AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED.
38. PLACEMENT OF UNDERGROUND SYSTEMS, IRRIGATION, SEWER, WATER, DRAINAGE, ELECTRICAL, GAS, ETC. SHALL BE COMPLETED PRIOR TO LANDSCAPE INSTALLATION.
39. PROPERTY OBSTRUCTIONS WHICH ARE TO REMAIN IN PLACE SUCH AS BUILDINGS, SEWERS, DRAINS, WATER OR GAS PIPES, ELECTRICAL, CONDUITS, POLES, WALLS, POSTS, ETC. ARE TO BE CAREFULLY PROTECTED AND ARE NOT TO BE DISPLACED UNLESS NOTED.
40. THE CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE AND FEDERAL AGENCIES RULES CONCERNING SAFETY.
41. CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS, AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK AND UNTIL IT IS SAFE FOR BOTH PEDESTRIAN AND VEHICULAR TRAFFIC.
42. CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH DE-WATERING AND DE-MUCKING FOR INSTALLATION OF REQUIRED INFRASTRUCTURE (IF APPLICABLE).
43. THE CONTRACTORS MEANS AND METHODS OF GROUNDWATER DE-WATERING SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS FOR THE TEMPORARY DIVERSION OF GROUNDWATER AND ITS DISCHARGE, INCLUDING FAC CHAPTER 62-621.300(2) "GENERIC PERMIT FOR THE DISCHARGE OF PRODUCED GROUNDWATER FROM ANY NON-CONTAMINATED SITE ACTIVITY" (IF APPLICABLE).
44. CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH SELECT BACKFILL FOR INSTALLATION OF ANY INFRASTRUCTURE.
45. CONTRACTOR SHALL CLEAN UP ENTIRE SITE INCLUDING STAGING AREAS AT LEAST TWO TIMES PER WEEK. THIS SHALL INCLUDE LOCATING TRASH/SCRAP RECEPTACLES AT APPROPRIATE LOCATIONS AROUND THE SITE. CONTRACTOR SHALL PICK UP ALL ROCKS, METAL, PIPE, NAILS, NUTS, BOLTS, BOARDS, PAPER, TRASH, ETC. AT LEAST TWICE A WEEK. CONTRACTOR SHALL INCLUDE COST OF SAME IN BID.
46. CONTRACTOR SHALL RESTORE ALL STAGING AREAS TO AS GOOD AS OR BETTER CONDITION THAN EXISTED PRIOR TO CONSTRUCTION. THIS INCLUDES IRRIGATION AND SOD REPLACEMENT IF NECESSARY. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 20 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC WILL IMMEDIATELY RECEIVE A RATE OF TWO (2) TONS PER ACRE.
47. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL.
48. ANY SLOPES RECEIVING INFRASTRUCTURE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).
49. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STANDARDS FOR EROSION CONTROL.
50. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMITS OF DISTURBANCE OR ONTO PUBLIC RIGHT OF WAY WILL BE REMOVED IMMEDIATELY.
51. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
52. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #48 ABOVE.
53. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
54. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
55. ANY DIRT THAT RUNS OFF OF THE PROJECT SITE ONTO PUBLIC STREETS SHALL BE REMOVED AND CLEANED IMMEDIATELY. FAILURE TO COMPLY CAN RESULT IN CODE ENFORCEMENT ACTION.
56. ANY AREAS USED FOR THE CONTRACTORS STAGING, INCLUDED BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (I.E. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.) SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.
57. ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT ESCAMBIA COUNTY, FDEP, AND ECMA STANDARDS AND REQUIREMENTS.
58. FOR SITES WITH DISTURBANCE EXCEEDING 1 ACRE, TO COMPLY WITH NPDES REQUIREMENTS, THE CONTRACTOR SHALL SUBMIT AN NPDES NOTICE OF INTENT TO FDEP A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ADDITIONALLY, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY, AS PROVIDED TO ANY FDEP REPRESENTATIVE THAT MAY VISIT THE SITE DURING CONSTRUCTION.
59. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADDRESSES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
60. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM RUNNING DUE TO SEDIMENTS.
61. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.
62. WORK PROPOSED NEXT TO THE R/W WITH EXISTING SWALE SYSTEMS MAY REQUIRE ADDITIONAL PROVISIONS TO REPAIR/RESTORE EXISTING DRAINAGE SWALES AS NEEDED TO ENSURE ADEQUATE DRAINAGE. R/W SHOULDER STABILIZATION SHOULD BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION.

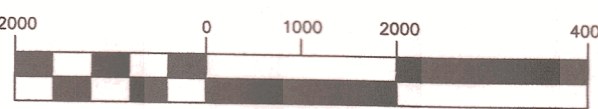


FLOOD ZONE DATA

THE SUBJECT PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT-ANNUAL-CHANCE FLOODPLAINS. NO BFE'S OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 1203C0360G, MAP REVISIONS DATED SEPTEMBER 29, 2006.				
FLOOD ZONE(S)	NFIP COMMUNITY NUMBER	MAP NUMBER	PANEL NUMBER(S)	SUFFIX
X	120080	12033C	0360	G
			MAP REVISION DATE	
			SEPTEMBER 29, 2006	



PROJECT  
LOCATION

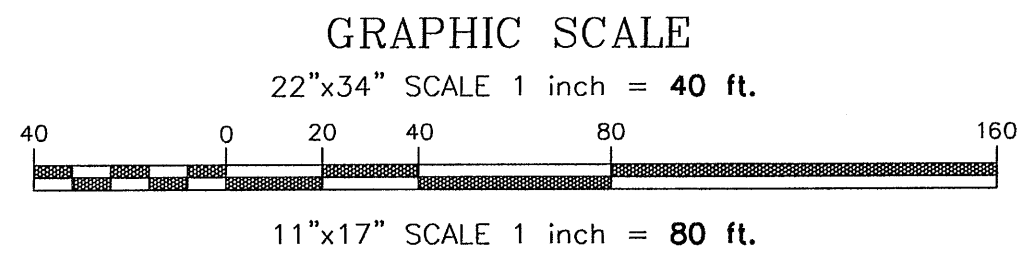


VICINITY MAP  
GRAPHIC SCALE

22" x 34": 1 inch =2000 ft.  
11" x 17": 1 inch = 4000 ft.

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DESCRIPTION AS FURNISHED: (OFFICIAL RECORDS BOOK: 7184, PAGE: 484)

PARCEL 2:

COMMENCE AT THE NORTHWEST CORNER OF SECTION 38, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA; THENCE EAST ALONG THE NORTH LINE OF SECTION 38 FOR A DISTANCE OF 521.34 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE EAST ALONG THE NORTH LINE OF SECTION 38 FOR A DISTANCE OF 150.00 FEET; THENCE RIGHT 89°20' FOR A DISTANCE OF 232.50 FEET; THENCE RIGHT 86°00' FOR A DISTANCE OF 150.50 FEET; THENCE RIGHT 94°00' FOR A DISTANCE OF 244.74 FEET TO THE POINT OF BEGINNING. ALL LYING AND BEING IN SECTION 38, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA.

PARCEL 3:

A PARCEL OF LAND IN GOVERNMENT LOT 2, SECTION 38, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE SOUTH RIGHT OF WAY LINE OF OAKFIELD ROAD (50' R/W) AND THE EAST RIGHT OF WAY LINE OF U.S. HIGHWAY #29 (STATE ROAD #95-200' R/W); THENCE GO SOUTH 22°42'35" EAST ALONG SAID EAST RIGHT OF WAY LINE FOR A DISTANCE OF 136.44 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 22°42'35" EAST ALONG SAID EAST RIGHT OF WAY LINE FOR A DISTANCE OF 272.45 FEET; THENCE SOUTH 89°06'00" EAST FOR A DISTANCE OF 77.01 FEET; THENCE NORTH 00°14'00" EAST FOR A DISTANCE OF 249.74 FEET; THENCE NORTH 89°06'00" WEST FOR A DISTANCE OF 183.24 FEET TO THE POINT OF BEGINNING. ALL LYING AND BEING IN SECTION 38, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA.

GENERAL NOTES:

- THE BEARINGS AS SHOWN HEREON ARE REFERENCED TO THE ASSUMED BEARING OF SOUTH 22 DEGREES 42 MINUTES 35 SECONDS EAST ALONG THE WEST LINE OF THE PROPERTY AS PER THE DESCRIPTION AS FURNISHED.
- THE SURVEY DATUM AS SHOWN HEREON IS REFERENCED TO THE DESCRIPTION AS FURNISHED AND TO EXISTING FIELD MONUMENTATION.
- NO TITLE SEARCH WAS PROVIDED TO NOR PERFORMED BY NORTHWEST FLORIDA LAND SURVEYING, INC., FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, STATE AND/OR FEDERAL JURISDICTIONAL AREAS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE SUBJECT PROPERTY.
- THE PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE "X", OUTSIDE 0.2% ANNUAL CHANCE OF FLOOD, AS DETERMINED FROM FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA (UNINCORPORATED AREAS), MAP NUMBER 12033C 0360 G, REVISED SEPTEMBER 29, 2006.
- THIS SURVEY DOES NOT DETERMINE OWNERSHIP.
- THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.051 - 5J-17.053 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, TO THE BEST OF MY KNOWLEDGE AND BELIEF.
- THE MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS.
- THE MEASUREMENTS OF THE BUILDINGS AND/OR FOUNDATIONS SHOWN HEREON DO NOT INCLUDE CONCRETE FOOTERS OR EAVE OVERHANGS.
- FENCE LOCATIONS SHOWN HEREON MAY BE EXAGGERATED AND NOT TO SCALE FOR CLARITY PURPOSES
- FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM, WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER, FRED R. THOMPSON, AND IS TO BE RETURNED TO OWNER UPON REQUEST.
- THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY ISSUED ON THE SURVEY DATE WITH A RAISED SEAL TO INSURE THE ACCURACY OF THE INFORMATION AND TO FURTHER INSURE THAT NO CHANGES, ALTERATIONS OR MODIFICATIONS HAVE BEEN MADE. NO RELIANCE SHOULD BE MADE ON A DOCUMENT TRANSMITTED BY COMPUTER OR OTHER ELECTRONIC MEANS UNLESS FIRST COMPARED TO THE ORIGINAL SIGNED AND SEALED DOCUMENT.
- THIS SURVEY MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS BY COUNTY, STATE OR OTHER AGENCIES.
- ENCROACHMENTS ARE AS SHOWN.
- THE PURPOSE OF THIS SURVEY IS TO RETRACE AND MONUMENT THE DEED OF RECORD ON THE GROUND AS WELL AS LOCATE ON SITE IMPROVEMENTS, EVIDENCE OF POSSESSION, AND ENCROACHMENTS TO BE SHOWN ON THE SURVEY TO SCALE AND THEIR RELATIONSHIP TO THE BOUNDARY.
- THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988, FROM ESCAMBIA COUNTY GEODETIC CONTROL POINT STAMPED "ESC 4075" HAVING A PUBLISHED ELEVATION OF 109.05 FEET, BASED ON ESCAMBIA COUNTY, FLORIDA GPS NETWORK SURVEY PERFORMED BY BASKERVILLE DONOVAN, INC. DATED 10/15/97.
- UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON INFORMATION PROVIDED BY OTHERS AND THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. CALL 811 SUNSHINE UTILITY LOCATORS 48 HOURS PRIOR TO DIGGING WITHIN THE RIGHT OF WAY.

DENOTES:

- ~ 1/2" CAPPED IRON ROD, NUMBERED 7277 (PLACED)
- ~ 1/2" CAPPED IRON ROD, ILLEGIBLE (FOUND)
- ~ DEED INFORMATION
- ~ FIELD INFORMATION
- R/W ~ RIGHT OF WAY
- P.O.B. ~ POINT OF BEGINNING
- ~ BENCHMARK
- ~ FIRE HYDRANT
- ~ WATER VALVE
- ~ WATER METER
- ~ UTILITY POLE
- ~ LIGHT POLE
- ~ STORM WATER INLET

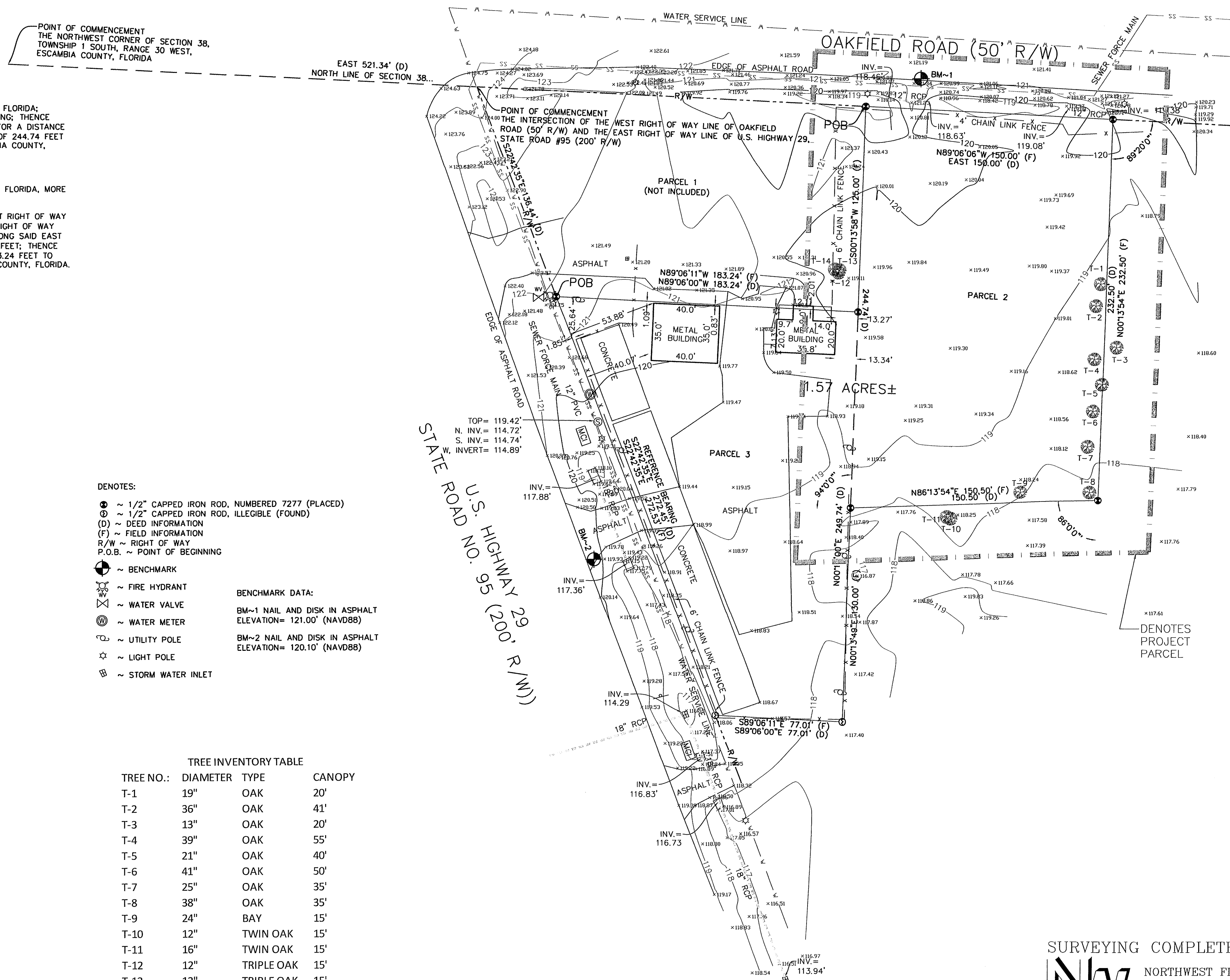
BENCHMARK DATA:

BM-1 NAIL AND DISK IN ASPHALT  
ELEVATION= 121.00' (NAVD88)

BM-2 NAIL AND DISK IN ASPHALT  
ELEVATION= 120.10' (NAVD88)

TREE INVENTORY TABLE

TREE NO.:	DIAMETER	TYPE	CANOPY
T-1	19"	OAK	20'
T-2	36"	OAK	41'
T-3	13"	OAK	20'
T-4	39"	OAK	55'
T-5	21"	OAK	40'
T-6	41"	OAK	50'
T-7	25"	OAK	35'
T-8	38"	OAK	35'
T-9	24"	BAY	15'
T-10	12"	TWIN OAK	15'
T-11	16"	TWIN OAK	15'
T-12	12"	TRIPLE OAK	15'
T-13	12"	TRIPLE OAK	15'
T-14	12"	TRIPLE OAK	15'



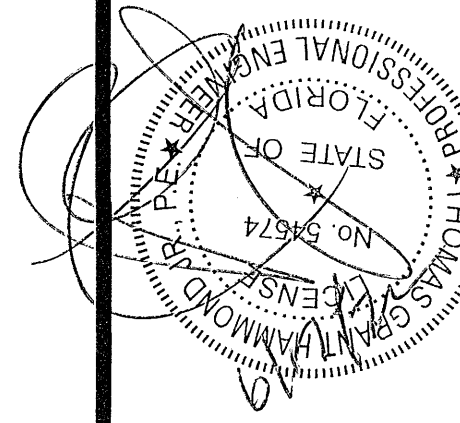
SURVEYING COMPLETED BY:



NORTHWEST FLORIDA LAND SURVEYING, INC.  
7142 BELGIUM CIRCLE  
Pensacola, FL 32526  
(850) 432-1052

NO.	DATE	REVISIONS
1	06/14/2022	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

**HAMMOND ENGINEERING, INC.**  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH "S" STREET  
PENSACOLA, FLORIDA 32505  
850 434-2603  
FAX 850-434-2650  
TOM@SELANDDESIGN.COM



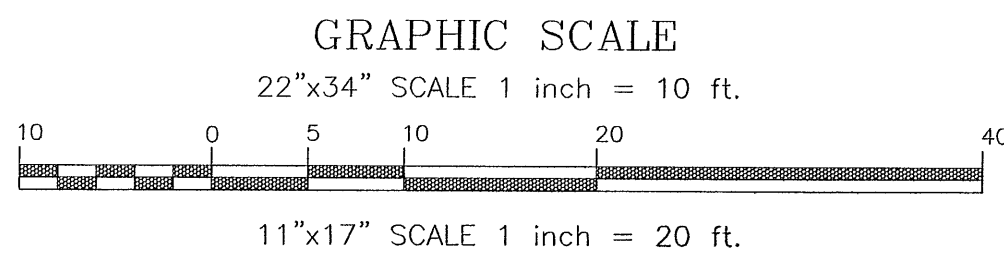
**SITE DEVELOPMENT  
PLANS FOR  
H&H  
ACCESSORY SHOP  
EXISTING CONDITIONS**

ESCAMBIA COUNTY FLORIDA

DRAWN BY: CUG	DESIGNED BY: RLS
CHECKED BY: TGH	DATE: 05/20/2022
SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION
BY:	DATE:

PROJECT NO: 21-104

SHEET: **C2**



LAND DISTURBANCE ACTIVITIES NOTE:

- THE LAND SHALL REMAIN IN ITS VEGETATED STATE (PROTECTED TREES INCLUDED, NO FILL MATERIALS PLACED ONSITE, GRADING, EXCAVATING, ETC.) SHALL BE PERMITTED PRIOR TO INITIATION OF SITE WORK.

LEGEND:

	DENOTES EXISTING ASPHALT
	DENOTES EXISTING CONCRETE
	DENOTES EXISTING CHAINLINK FENCE TO BE REMOVED
	DENOTES PROPOSED SILT FENCE
	DENOTES PROPOSED TREE PROTECTION BARRIER
	DENOTES EXISTING STORM PIPE
	DENOTES EXISTING UTILITY POLE
	DENOTES EXISTING TREE



Know what's below  
Call before you dig

CONTRACTOR TO NOTIFY SUNSHINE 811  
A MINIMUM 2 BUSINESS DAYS IN  
ADVANCE PRIOR TO DIGGING WITHIN  
THE RIGHT OF WAY; 1-800-432-4770

DEMOLITION/EROSION CONTROL NOTES

- WHERE ASPHALT/CONCRETE TO BE REMOVED EXTENDS PAST PROPERTY LINE, CONTRACTOR TO COORDINATE PROPOSED REMOVAL WITH ADJACENT PROPERTY OWNER TO ASSURE HE/SHE DESIRES MISCELLANEOUS IMPERVIOUS SURFACE TO BE REMOVED.
- WHERE EXISTING ASPHALT/CONCRETE IS BEING REMOVED ON PROPERTY LINE, REMOVAL SHALL BEGIN AT THE PROPERTY LINE AND WORK TOWARDS THE INTERIOR OF THE PROPERTY. INITIALLY, A 3'-4" STRIP OF EXISTING ASPHALT/CONC. SHALL BE REMOVED NEXT TO THE PROPERTY LINE TO ALLOW FOR INSTALLATION OF PROPOSED EROSION CONTROL BMP'S.
- IT IS UNDERSTOOD THAT WHERE SILT FENCING IS ILLUSTRATED ON EXISTING ASPHALT/CONC. THAT THE EXISTING ASPHALT/CONC. SHALL BE REMOVED IN THAT IMMEDIATE AREA PRIOR TO INSTALLATION OF BMP.
- THE EROSION AND SEDIMENT CONTROL RULES ARE PERFORMANCE ORIENTED. THAT IS, THE MEASURES USED AT A CONSTRUCTION SITE MUST BE EFFECTIVE IN CONTROLLING EROSION AND PREVENTING OFF-SITE SEDIMENTATION FOR THE SITE TO BE IN COMPLIANCE. FOLLOWING AN APPROVED PLAN AND INSTALLING THE CONTROL MEASURES MAY NOT BE ENOUGH FOR A SITE TO BE IN COMPLIANCE WITH THE RULES. IF EROSION AND OFF-SITE SEDIMENTATION OCCUR, THE CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLING ADDITIONAL MEASURES TO CORRECT ANY PROBLEM ASSOCIATED WITH COMPLIANCE OF THE NPDES PERMIT OR ANY OTHER PERMIT REQUIRED FOR THE SITE CONSTRUCTION. THE CONTRACTOR WILL ALSO BE COMPLETELY

RESPONSIBLE FOR ANY FINES LEVIED BY ANY GOVERNING AGENCY ON THE PROJECT DURING CONSTRUCTION.

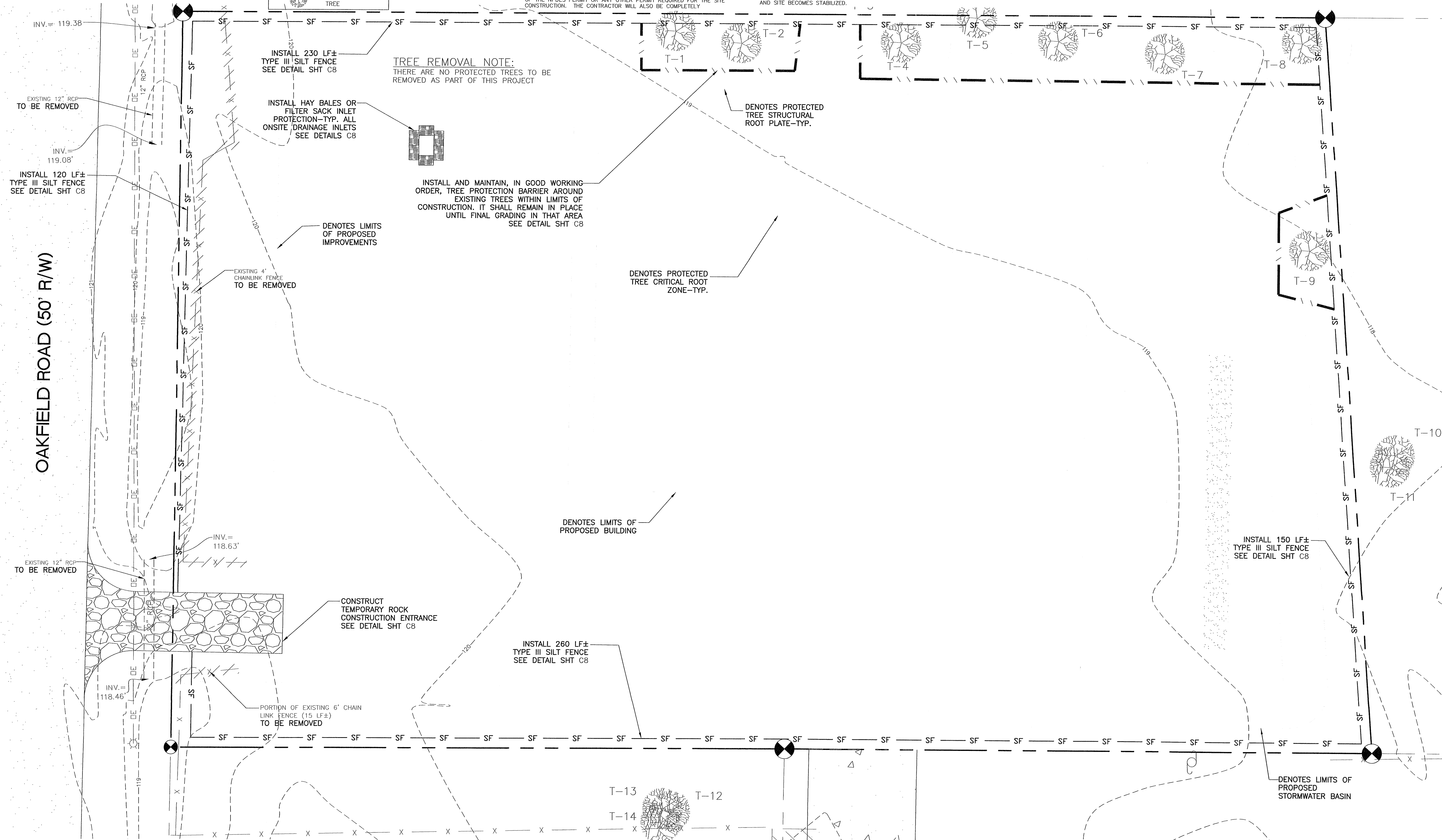
- EROSION CONTROL MEASURES SHOWN ARE MINIMUM REQUIREMENTS ONLY. CONTRACTOR SHALL REINFORCE AND/OR ADD ADDITIONAL MEASURES AS CONDITIONS WARRANT AND/OR AS DIRECTED BY THE PROPER REGULATORY AUTHORITIES.
- ON SITES > 1 ACRE, IF > 1 CONTIGUOUS ACRE IS DECLARED, A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED WITHIN 10 WORKING DAYS ON THE PORTION OF THE SITE UPON WHICH FURTHER ACTIVE CONSTRUCTION WILL NOT BE UNDERTAKEN WITHIN 90 DAYS.
- TO COMPLY WITH NPDES REQUIREMENTS, EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS; INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO FDEP.
- TREE PROTECTION BARRICADES SHALL BE INSTALLED PRIOR TO ANY SITE DISTURBANCE AND EARTH MOVING IMPACTS (I.e. ROOT RAKING, TRENCHING, GRADING, ETC.) SHOULD TAKE PLACE OUTSIDE OF THE PROTECTION BARRICADE. ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.

TREE ID/REMOVAL TABLE

TREE #	TYPE	SIZE (DBH)	REASON FOR REMOVAL
1	OAK	19"	TO REMAIN
2	OAK	36"	TO REMAIN
3	OAK	13"	TO REMAIN
4	OAK	39"	TO REMAIN
5	OAK	21"	TO REMAIN
6	OAK	41"	TO REMAIN
7	OAK	25"	TO REMAIN
8	OAK	38"	TO REMAIN
9	BAY	24"	TO REMAIN
10	TWIN OAK	12"	TO REMAIN
11	TWIN OAK	16"	TO REMAIN
12	TRIPLE OAK	12"	TO REMAIN
13	TRIPLE OAK	12"	TO REMAIN
14	TRIPLE OAK	12"	TO REMAIN

DEWATERING NOTES:

- DEWATERING IS EXPECTED TO OCCUR AS PART OF THE OVERALL CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS PROJECT.
- UNFILTERED DEWATERING IS NOT PERMITTED. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER.
- COVERAGE UNDER THE GENERIC PERMIT FOR DISCHARGE OF GROUND WATER FROM DEWATERING OPERATIONS (FDEP DOCUMENT 62-621.300(2)(d)) SHALL BE OBTAINED FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION PRIOR TO ANY DEWATERING OPERATIONS OCCURRING. THE TERMS AND CONDITIONS OF THIS PERMIT SHALL BE COMPLIED WITH FOR THE DURATION OF DEWATERING OPERATIONS.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH SEC. 40A-2.061 F.A.C.; GENERAL WATER USE PERMITS BY RULE. DEWATERING OPERATIONS MAY BE GOVERNED BY THE REGULATIONS SPECIFIED IN THE F.A.C. AND THE WATER USE PERMIT APPLICANT'S HANDBOOK, LATEST EDITION.
- CONTRACTOR SHALL MITIGATE ANY HARM CAUSED BY THE PERMITTED WITHDRAWALS OR DIVERSIONS OF GROUNDWATER ON LEGAL WATER USES, OFFSITE LAND USE, AND WATER RESOURCES & ASSOCIATED ENVIRONMENTAL FEATURES WHICH EXISTED AT THE TIME OF PERMIT APPLICATION. THE DISTRICT RESERVES THE RIGHT TO CURTAIL PERMITTED WITHDRAWAL AND DIVERSION RATES IF THE WITHDRAWAL OR DIVERSION CAUSES HARM TO LEGAL USES OF WATER, OFFSITE LAND USE, OR WATER RESOURCES AND ASSOCIATED ENVIRONMENTAL FEATURES THAT EXISTED AT THE TIME OF PERMIT APPLICATION.



REVISIONS

NO.	DATE	REVISIONS
1	06/14/2022	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

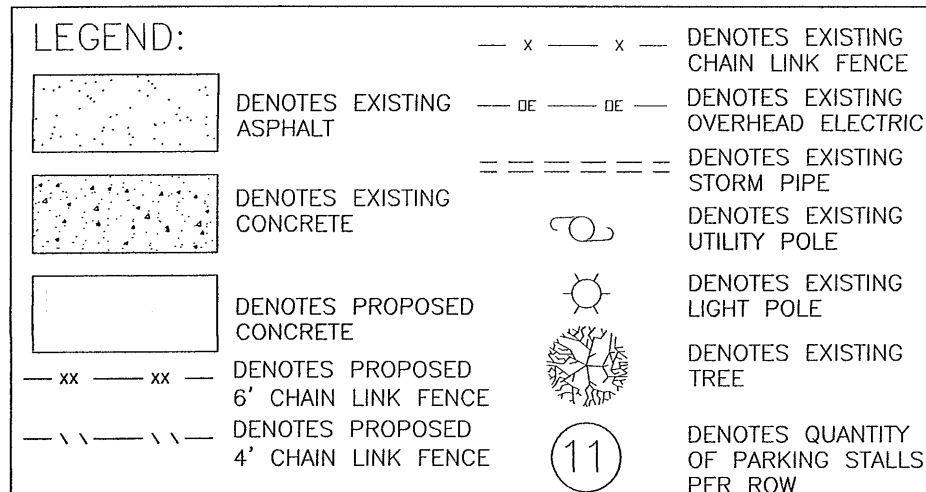
HAMMOND ENGINEERING, INC.  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH "S" STREET  
PENSACOLA, FLORIDA 32505  
850 434-2603  
FAX 850-434-2650  
TOM@SELANDDESIGN.COM

SITE DEVELOPMENT  
PLANS FOR  
H&H  
ACCESSORY SHOP  
DEMOLITION & EROSION  
CONTROL PLAN  
FLORIDA  
ESCAMBIA COUNTY

DRAWN BY: GJB  
DESIGNED BY: RLS  
CHECKED BY: TGH  
DATE: 05/20/2022  
SCALE: AS SHOWN  
NOT RELEASED FOR  
CONSTRUCTION  
BY: DATE:

PROJECT NO: 21-104  
SHEET: C3





**PARKING CALCULATIONS:**

PROPOSED 4,680 SF SERVICE AND REPAIR OF MOTOR VEHICLES SHOP

AS PER 3-1.2 ESCAMBIA COUNTY DESIGN STANDARDS MANUAL:  
1 PARKING STALLS PER 400 SF REQUIRED  
(4,860/400) ~ 12 STALLS REQUIRED

PROPOSED 320 SF SERVICE OFFICE

AS PER 3-1.2 ESCAMBIA COUNTY DESIGN STANDARDS MANUAL:  
3.5 PARKING STALLS PER 1,000 SF REQUIRED  
(320/1,000)\*3.5 ~ 2 STALLS REQUIRED

**14 TOTAL PARKING STALLS REQUIRED**

13 REGULAR STALLS PROPOSED  
1 HANDICAP STALL PROPOSED  
14 TOTAL STALLS PROPOSED

PARKING STALL NOTES:

- ALL HANDICAP PARKING STALLS ARE TO MEASURE 12' x 18' WITH AN ADJACENT 5' WIDE AISLE
- ALL STANDARD PARKING STALLS ARE TO MEASURE 9' x 18'
- ALL PARKING STALLS ARE TO BE DEMARCATED WITH 4" SOLID WHITE LINES UNLESS OTHERWISE NOTED

ADVERSE IMPACT NOTE:

AS PER SEC. 3-2.11(b)(3)g. OF THE ESCAMBIA COUNTY LAND DEVELOPMENT CODE, ALL REPAIR SERVICES, INCLUDING APPLIANCE REPAIR, FURNITURE REFINISHING AND UPHOLSTERY, WATCH AND JEWELRY REPAIR, SMALL ENGINE AND MOTOR SERVICES, AND MAJOR MOTOR VEHICLE AND BOAT SERVICE AND REPAIR ARE PERMITTED USES WITHIN THE HC/LI ZONING DISTRICT, BUT EXCLUDING OUTDOOR WORK OR STORAGE.

SITE DATA:  
521 W OAKFIELD ROAD  
PARCEL ID: 38-1S-30-2304-000-001  
PARCEL ZONING: HC/LI  
FLU: COM

BUILDING SETBACKS REQUIRED (HC/LI ZONED PARCEL):  
FRONT SETBACK = 15'  
REAR SETBACK = 15'  
SIDE SETBACK = 10'

MAXIMUM IMPERVIOUS SURFACE: 85%  
MAXIMUM BUILDING HEIGHT: 150'  
MAXIMUM FLOOR AREA RATIO: 1.0 (C)

EXISTING SITE AREA 35,625 SF = 0.82 ACRES					
IMPERVIOUS AND PERVIOUS AREA					
	EXISTING	REMOVE	NEW	POST-CONSTRUCTION	NET CHANGE
BUILDINGS	0 SF	0 SF	5,000 SF	5,000 SF	+5,000 SF
ASPHALT/CONCRETE	0 SF	11,943 SF	11,943 SF	11,943 SF	+11,943 SF
TOTAL IMPERVIOUS AREA	0 SF	0 SF	16,943 SF	16,943 SF	+16,943 SF
ROCK AREA	0 SF	0 SF	0 SF	0 SF	NO CHANGE
WATERMETER POND AREA	0 SF	6,064 SF	6,064 SF	6,064 SF	+6,064 SF
LANDSCAPE AREA	35,625 SF	23,007 SF	0 SF	12,618 SF	(-23,007 SF)
PERCENTAGE OF LANDSCAPE	100%			36%	(-64%)
PARKING DATA					
	EXISTING	REMOVE	NEW	POST-CONSTRUCTION	NET
NON-HANDICAPPED SPACES	0	0	13	13	+13
HANDICAPPED SPACES	0	0	1	1	+1

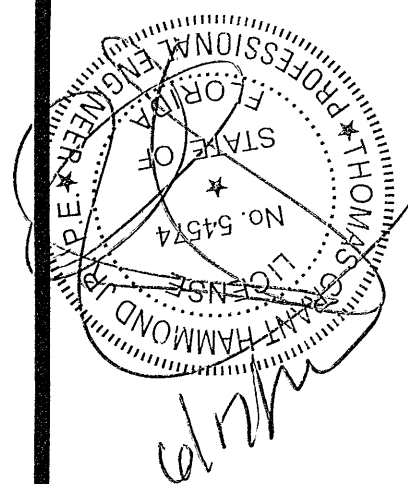
### FIRE SAFETY NOTES

- FIRE DEPT. ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 20'
- FIRE DEPT. ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED VERTICAL CLEARANCE OF 13'-6"
- THE MINIMUM WIDTH OF A FIRE DEPT. ACCESS ROAD SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING BY THE PARKING OF VEHICLES.
- FIRE DEPARTMENT ACCESS ROADS SHALL BE PROTECTED BY A FIRE SPRINKLER SYSTEM OF AT LEAST ONE EXTERIOR DROPPED HEAD THAT PROVIDES ACCESS TO THE INTERIOR OF THE BUILDING.
- FIRE DEPARTMENT ACCESS ROADS SHALL BE PROVIDED SUCH THAT ANY PORTION OF THE FACILITY OR ANY PORTION OF AN EXTERIOR WALL OF THE FACILITY OF THE EXTERIOR OF THE FACILITY SHALL NOT BE LESS THAN 450 FT IF THE BUILDING IS PROTECTED BY A FIRE SPRINKLER SYSTEM) FROM FIRE DEPARTMENT ACCESS ROADS AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- FIRE DEPARTMENT ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE EQUIPPED WITH AN ALL-WEATHER DROPPED HEAD SIGN, MINIMUM 4' X 10' IN SIZE.

38-1S-30-2303-000-002  
SEFL/PENSACOLA LLC  
420 DEVAGA RD  
LEXINGTON, SC 29073  
ZONED: HC/LI  
FLU: COM  
USE: OPEN STORAGE

38-1S-30-2304-000-002  
SEFL/PENSACOLA LLC  
420 DEVAGA RD  
LEXINGTON, SC 29073  
ZONED: HC/LI  
FLU: COM  
USE: UTILITY, GAS, ELECT.

**HAMMOND ENGINEERING, INC.**  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH "S" STREET  
PENSACOLA, FLORIDA 32505  
850.434-2603  
FAX 850.434-2650  
TOM@SELANDDESIGN.COM



**SITE DEVELOPMENT  
PLANS FOR  
H&H  
ACCESSORY SHOP  
SITE PLAN**

DRAWN BY: CJG
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 05/20/2022
SCALE: AS SHOWN
NOT RELEASED FOR CONSTRUCTION
BY:      DATE:

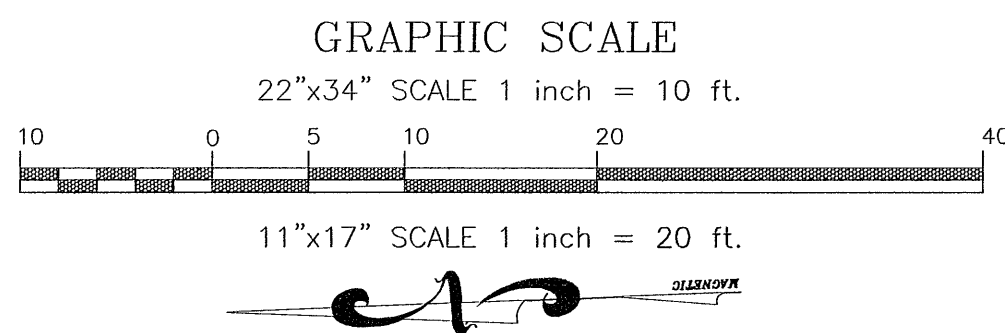
PROJECT NO: 21-104

SHEET: C4

THIS DRAWING IS THE PROPERTY OF HAMMOND ENGINEERING, INC. AND IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

FAX 850-434-2650  
TOM@SELANDDESIGN.COM





LEGEND:

DENOTES EXISTING ASPHALT	DENOTES EXISTING STORM PIPE	DENOTES EXISTING SPOT ELEVATION	DENOTES EXISTING BENCHMARK LOCATION	DENOTES PROPOSED SPOT ELEVATION
DENOTES EXISTING CONCRETE	DENOTES EXISTING LIGHT POLE	DENOTES EXISTING GRADE	DENOTES PROPOSED STORM PIPE	DENOTES PROPOSED DUAL SPOT ELEVATION
DENOTES PROPOSED CONCRETE	DENOTES EXISTING UTILITY POLE	DENOTES EXISTING CONTOUR	DENOTES PROPOSED 6' CHAIN LINK FENCE	DENOTES EXISTING CHAIN LINK FENCE
	DENOTES EXISTING TREE	DENOTES EXISTING CONTOUR	DENOTES PROPOSED 4' CHAIN LINK FENCE	DENOTES EXISTING OVERHEAD ELECTRIC

LAND DISTURBANCE ACTIVITIES NOTE:  
THE LAND SHALL REMAIN IN ITS VEGETATED STATE (PROTECTED TREES INCLUDED, NO FILL MATERIALS PLACED ONSITE, GRADING, EXCAVATING, ETC.) SHALL BE PERMITTED PRIOR TO INITIATION OF SITE WORK.

ROOF DRAINS NOTE:  
ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.

RIGHT OF WAY GRADING NOTE:  
WORK PROPOSED NEXT TO THE R/W WITH EXISTING SWALE SYSTEMS MAY REQUIRE ADDITIONAL PROVISIONS TO REPAIR/RESTORE EXISTING DRAINAGE SWALES AS NEEDED TO ENSURE ADEQUATE DRAINAGE. R/W SHOULDER STABILIZATION SHOULD BE IN ACCORDANCE WITH FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION.

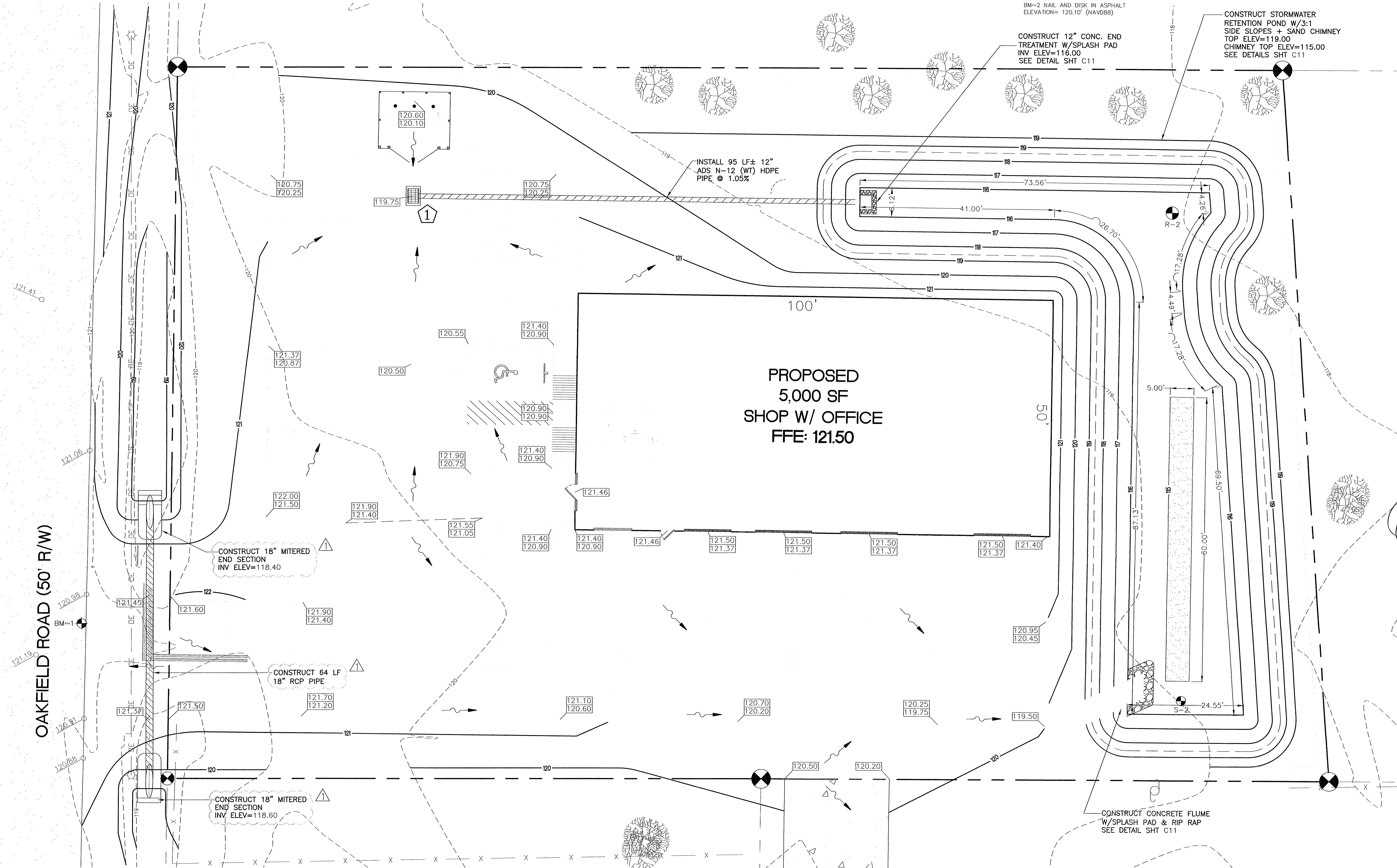
BENCHMARK DATA:  
BM~1 NAIL AND DISK IN ASPHALT ELEVATION= 121.00' (NAVD88)  
BM~2 NAIL AND DISK IN ASPHALT ELEVATION= 120.10' (NAVD88)

STORM STRUCTURE DATA TABLE

PROPOSED INLETS TO CONSIST OF:

- TYPE 'C' DITCH BOTTOM INLET W/USF NO. 6209 CAST IRON TRAFFIC RATED GRATE

1 TYPE 'C' INLET  
TOP ELEV=119.75  
INV ELEV OUT (S)=117.00



REVISIONS

NO.	DATE	REVISIONS
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850 434-2603  
FAX 850-434-2650  
TOM@SELANDEDDESIGN.COM

PROFESSIONAL SEAL  
STATE OF FLORIDA  
P.E. HAMMOND  
NO. 64574  
LICENSE

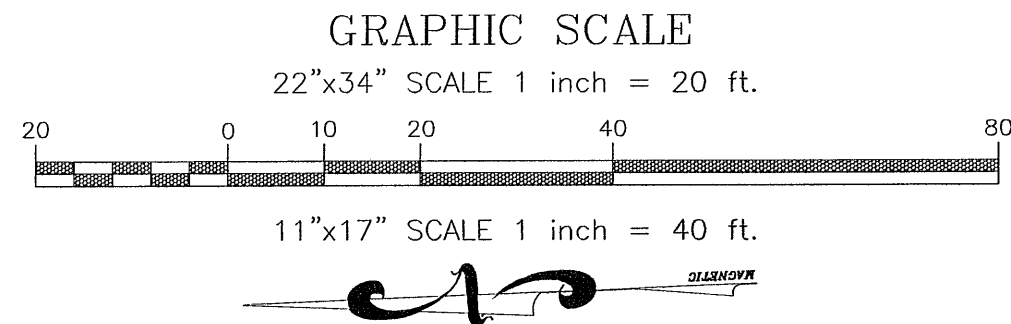
SITE DEVELOPMENT  
PLANS FOR  
H&H  
ACCESSORY SHOP  
GRADING & DRAINAGE  
PLAN

ESCAMBIA COUNTY FLORIDA

DRAWN BY: CJB  
DESIGNED BY: RLS  
CHECKED BY: TGH  
DATE: 05/20/2022  
SCALE: AS SHOWN  
NOT RELEASED FOR  
CONSTRUCTION

PROJECT NO: 21-104  
SHEET: C5

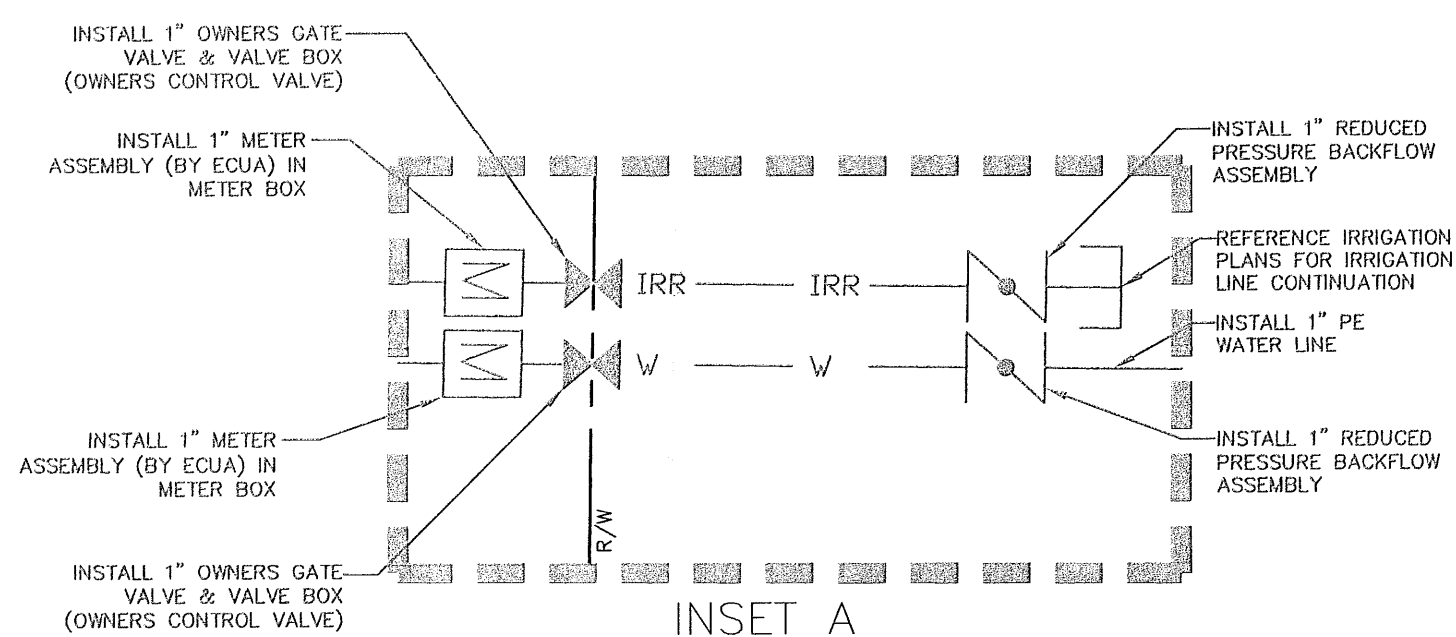




LEGEND:	
	DENOTES EXISTING OVERHEAD ELECTRIC
	DENOTES EXISTING ASPHALT
	DENOTES EXISTING CONCRETE
	DENOTES EXISTING ASPHALT MILLINGS
	DENOTES PROPOSED CONCRETE
	DENOTES PROPOSED 6' CHAIN LINK FENCE
	DENOTES PROPOSED 4' CHAIN LINK FENCE
	DENOTES EXISTING WATER LINE
	DENOTES PROPOSED WATER LINE
	DENOTES PROPOSED IRRIGATION LINE
	DENOTES EXISTING CHAIN LINK FENCE
	DENOTES EXISTING SANITARY SEWER FORCE MAIN
	DENOTES PROPOSED SANITARY SEWER LINE
	DENOTES EXISTING STORM PIPE
	DENOTES PROPOSED STORM PIPE
	DENOTES EXISTING UTILITY POLE
	DENOTES EXISTING LIGHT POLE
	DENOTES EXISTING FIRE HYDRANT
	DENOTES EXISTING TREE

#### GENERAL UTILITY NOTES

- All potable water and sanitary sewer work shall be done in accordance with ECUA's engineering manual.
- Contractor shall notify ECUA and the County Engineer 48 hours prior to the commencement of this project.
- Contractor shall make sewer service connections and potable water connections with an ECUA inspector present.
- All work shall comply with applicable standards and codes established by ECUA and the Florida Department of Environmental Protection and written specifications.
- Contractor shall notify Sunshine One Utilities two business days in advance prior to digging within R/W; 1-800-432-4770.
- The Contractor shall notify the superintendents of the water, gas, sewer, telephone and power companies 10 days in advance, that he intends to start work in a specific area. The Owner disclaims any responsibility for the support and protection of sewers, drains, water pipes, gas pipes, conduits of any kind, utilities or other structures owned by the City, County, State or by private or public utilities legally occupying any street, alley, public place or right-of-way.
- Florida State Statute 553.851 requires that all excavators notify gas companies of their intention to perform any excavation at least two business days (excluding Sat., Sun. & holidays) prior to beginning work.
- Locations of existing utilities shown on plans are approximate only and it shall be the responsibility of the Contractor to verify the location and sizes before construction. Failure of the plans to show the existence of any underground utilities, structures, etc., shall not relieve the Contractor from the responsibility of locating, preserving and protecting said utility or structures.
- Property obstructions which are to remain in place, such as buildings, sewer, storm drains, water or gas pipes, electrical conduits, poles, walls, posts, etc., are to be carefully protected and are not to be displaced, unless noted.
- Relocation of the obstructions owned by private property Owner, such as mailboxes, shall be the responsibility of the Contractor who must coordinate with the property Owner.
- Control of sedimentation and erosion shall be the Contractor's responsibility.
- Contractor shall dispose of by hauling away all excess material.
- The Utility Contractor shall make connections to the sanitary sewer as shown and shall verify locations and elevations of all utility lines prior to beginning work. The Utility Contractor shall include the cost of protection and/or relocation of other utilities in his bid and shall coordinate his work with other utility sub-contractors to prevent conflicts with other utility lines.
- Contractor shall be responsible for and comply with any testing required by the local governing agency in addition to the testing requirements outlined in the specifications.
- Proposed water line shall have a minimum cover of 30" and a maximum cover of 36" below finished grade unless otherwise noted.
- "As-built" drawings showing all service lines, laterals, mains and valve locations measured from permanent reference points shall be furnished to the Engineer prior to acceptance.
- Grading around trees which are to remain shall be away from the tree in a manner to cause no damage to the tree.
- Contractor shall be responsible for the seeding and mulching and/or sodding of street and road shoulder areas in accordance with FDOT and applicable county requirements and standards.
- Water supply facilities, including mains, shall be installed, cleaned, disinfected and bacteriologically cleared for service in accordance with the latest applicable AWWA Standards and coordinated with the designated ECUA Inspector and Quality Control Supervisor.
- All onsite water and sewer facilities shall be privately owned, operated and maintained.
- Contractor is responsible for adjustment of existing utilities if proposed improvements impact existing utilities.
- All work to take place within the right of way or to be owned and maintained by ECUA post-construction shall be performed by a certified underground utility contractor.
- Contractor must locate existing water main, sanitary sewer line and gas line to be tied into and verify configuration to establish the best location for connection.
- Contractor shall obtain an Escambia County right of way permit prior to working within the county R/W.
- Contractor to video/document all right of way areas to be impacted prior to construction.
- Reference utility details provided on sheet C11.
- Contractor to coordinate power supply to building with Gulf Power...850-429-2861
- Contractor to coordinate proposed natural gas service with Energy Services of Pensacola...850-983-5434.



EXISTING ECUA HYDRANT #6660 LOCATED WITHIN 500 LF OF FURTHEST BUILDING CORNER AS HOSE LIES

HORIZONTAL DIRECTIONAL DRILL 35 LF± 2" BLUE HDPE CASING

INSTALL 6"x1" CC THREADED SADDLE TAP W/CORP STOP ECUA INSPECTOR TO BE PRESENT FOR WET TAP

SEE INSET A  
INSTALL 1"x1"x1" TEE

INSTALL 10 LF± 4" PVC (SDR 26) @ 1.04% MIN. W/CLEANOUT @ BUILDING-INV. ELEV=118.67

INSTALL 150 LF± 4" PVC (SDR 26) @ 1.04% MIN.

INSTALL CLEANOUT INV. ELEV=118.56

EXISTING CONCRETE TO BE REMOVED/REPLACED AS NECESSARY TO FACILITATE SEWER LINE INSTALLATION

EXISTING ASPHALT MILLINGS TO BE REMOVED/REPLACED AS NECESSARY TO FACILITATE SEWER LINE INSTALLATION

INSTALL CLEANOUT INV. ELEV=117.00

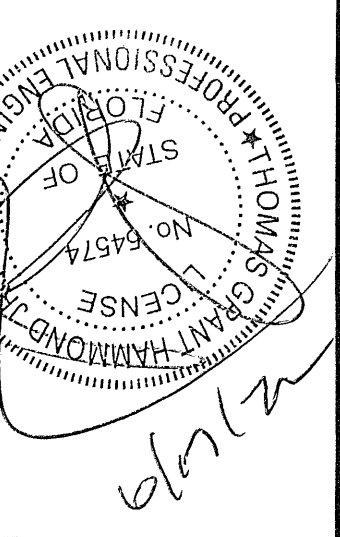
INSTALL 95 LF± 4" PVC (SDR 26) @ 1.04% MIN.

EXISTING CONCRETE TO BE REMOVED/REPLACED AS NECESSARY TO THE NEAREST JOINT TO FACILITATE SEWER LINE INSTALLATION

U.S. HIGHWAY 29  
STATE ROAD NO. 95 (200' R/W))

EXISTING SANITARY SEWER MANHOLE  
TOP ELEV=119.42'  
N. INV. ELEV=114.72'  
S. INV. ELEV=114.74'  
W. INVERT ELEV=114.89'  
NEW E INV. ELEV=116.01

HAMMOND ENGINEERING, INC.  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH "S" STREET  
PENSACOLA, FLORIDA 32505  
850 434-2603  
FAX 850-434-2650  
TOM@SELANDDESIGN.COM



SITE DEVELOPMENT  
PLANS FOR  
H&H  
ACCESSORY SHOP  
UTILITY PLAN  
FLORIDA  
ESCAMBIA COUNTY

DRAWN BY: CUG  
DESIGNED BY: RLS  
CHECKED BY: TGH  
DATE: 05/20/2022  
SCALE: AS SHOWN  
NOT RELEASED FOR  
CONSTRUCTION  
BY: DATE:

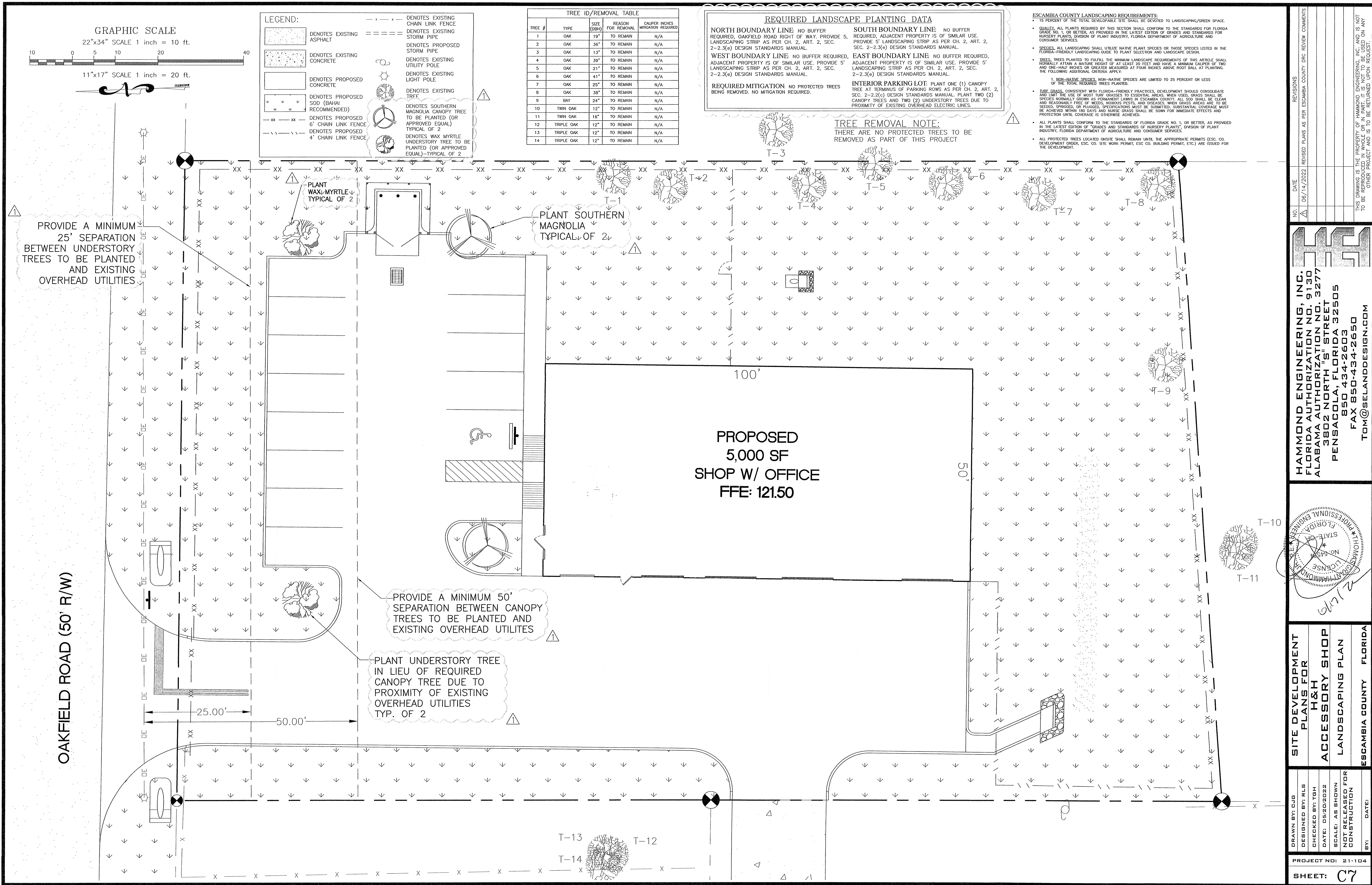
PROJECT NO: 21-104

SHEET: C6

REVISIONS	
NO.	DATE
1	06/14/2022
REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS	

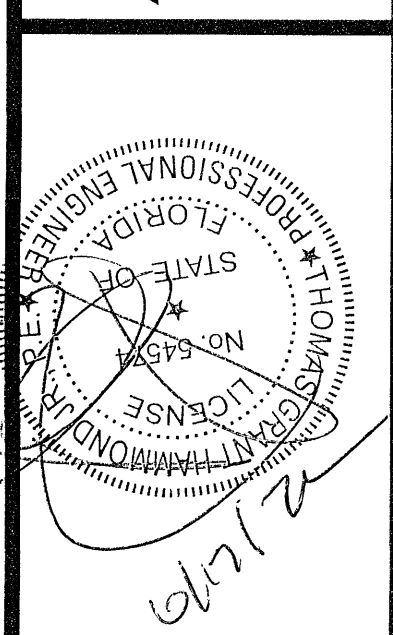
THIS DRAWING IS THE PROPERTY OF HAMMOND ENGINEERING, INC. AND IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.





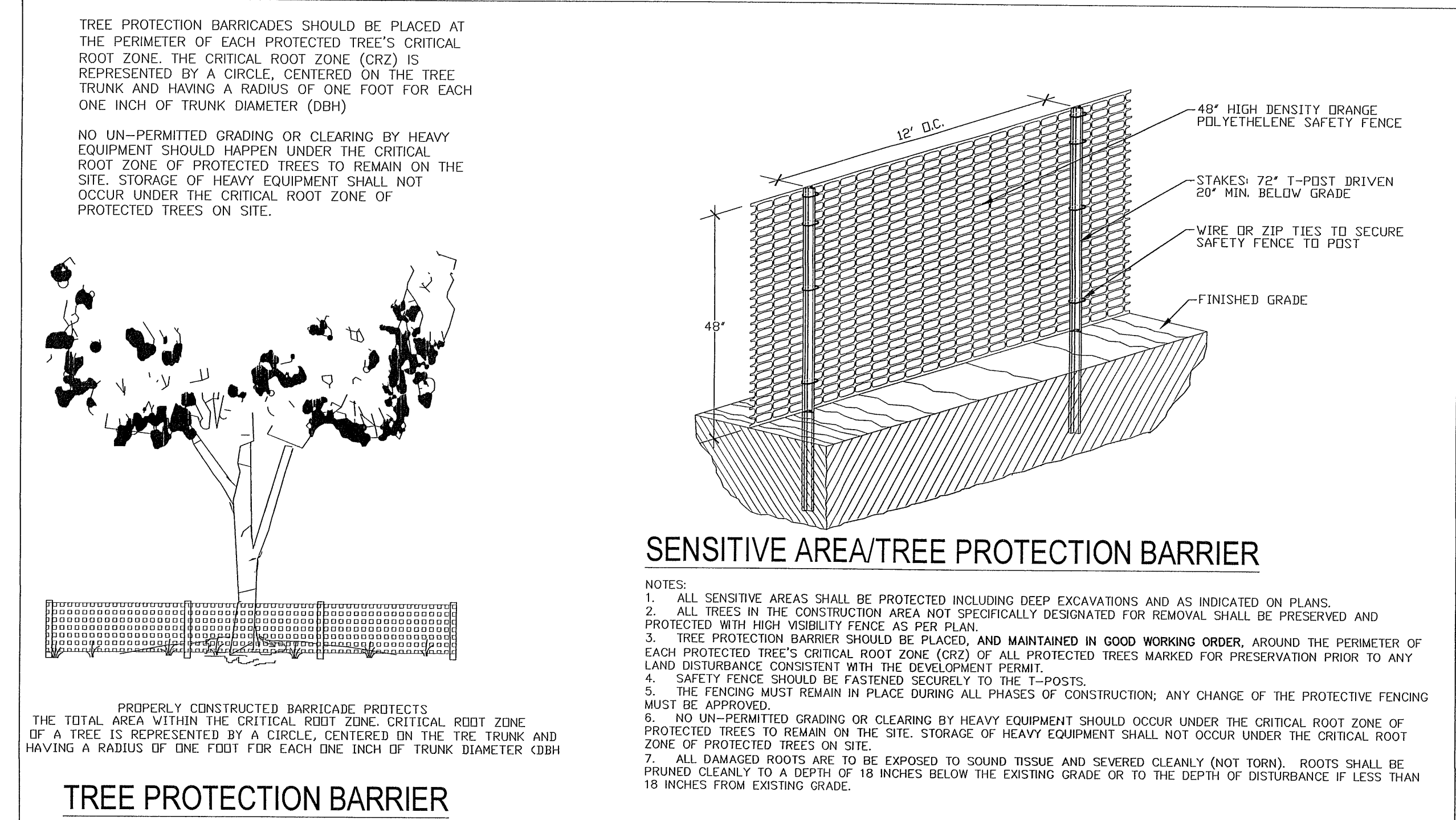
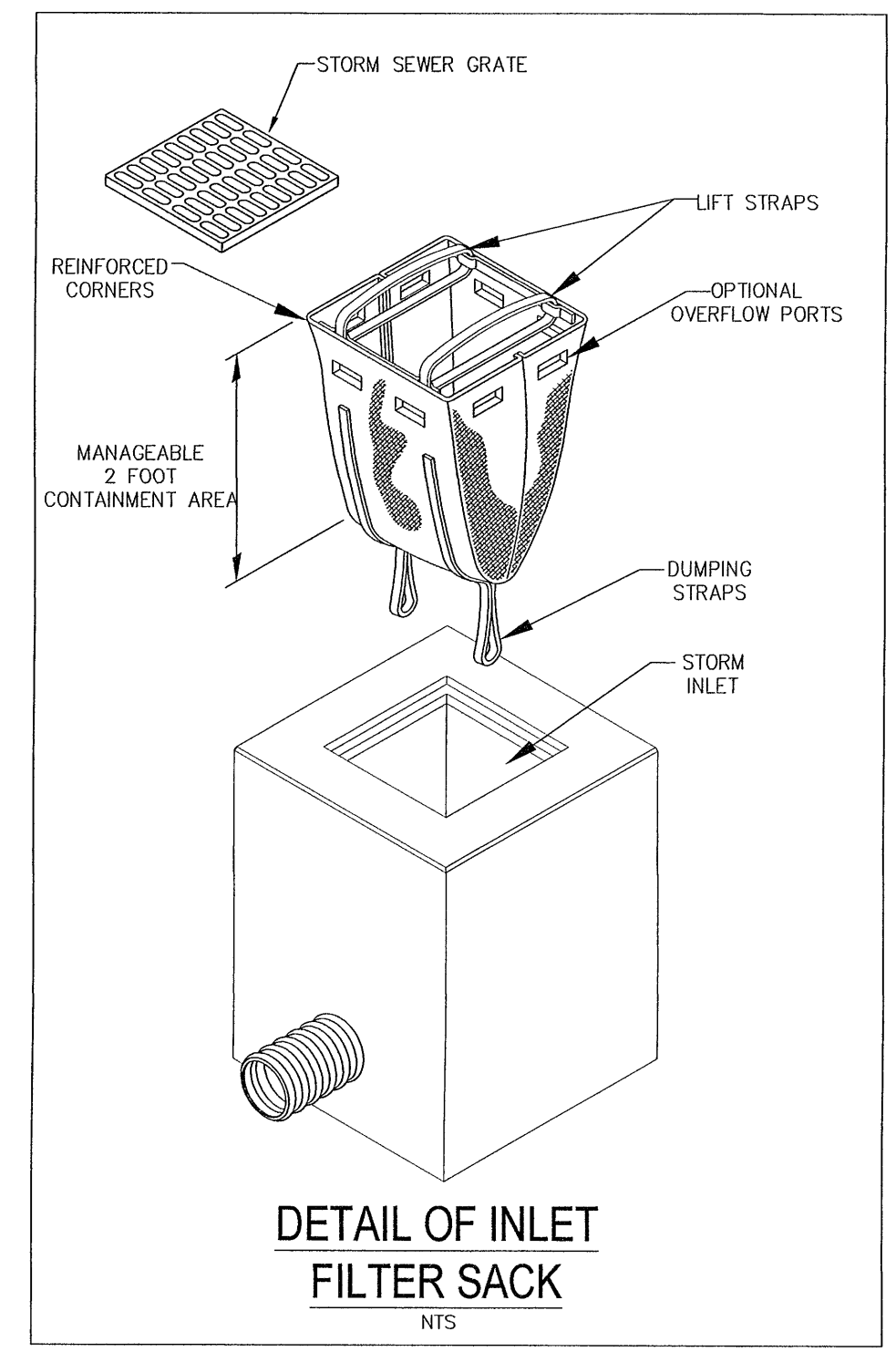
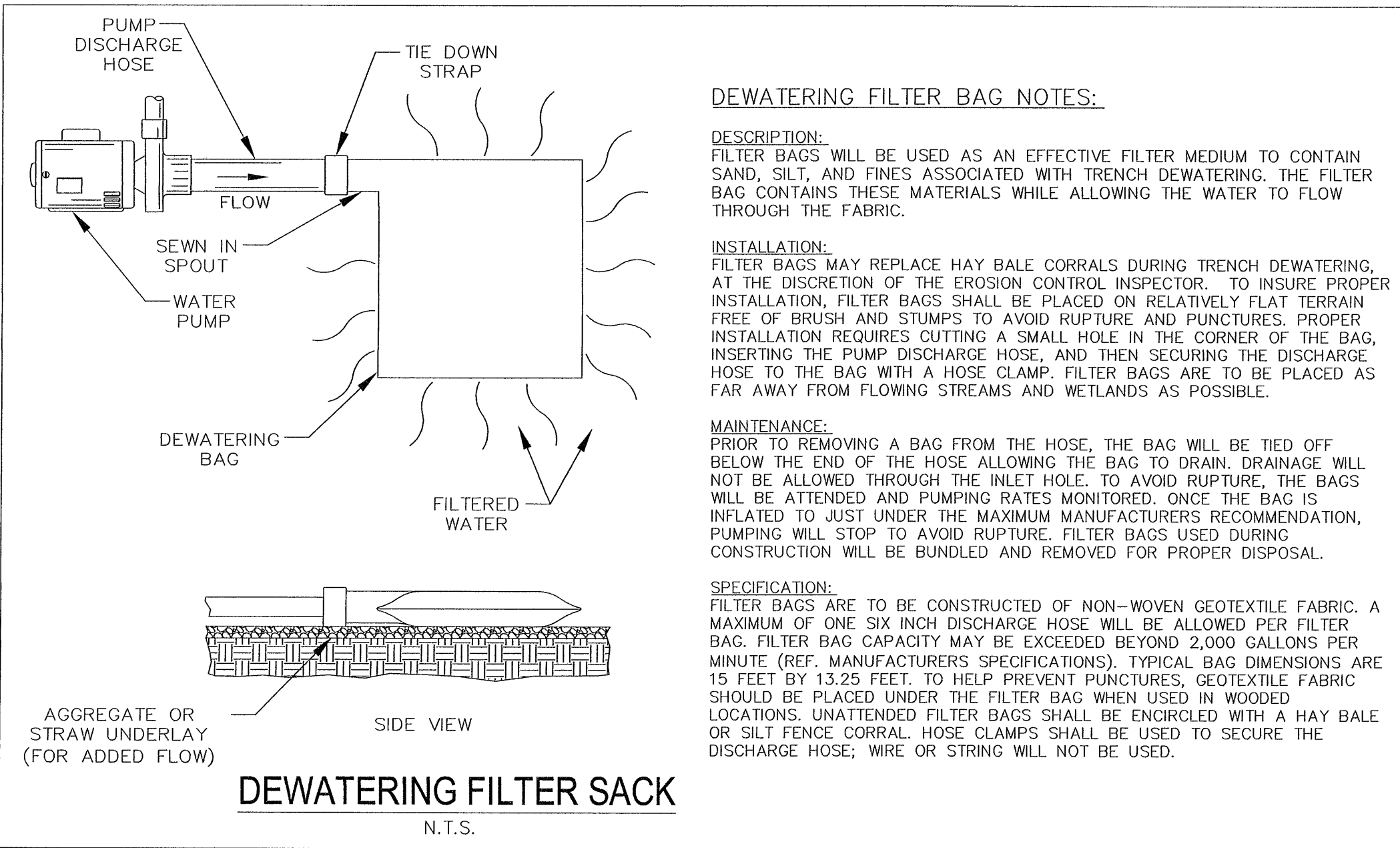
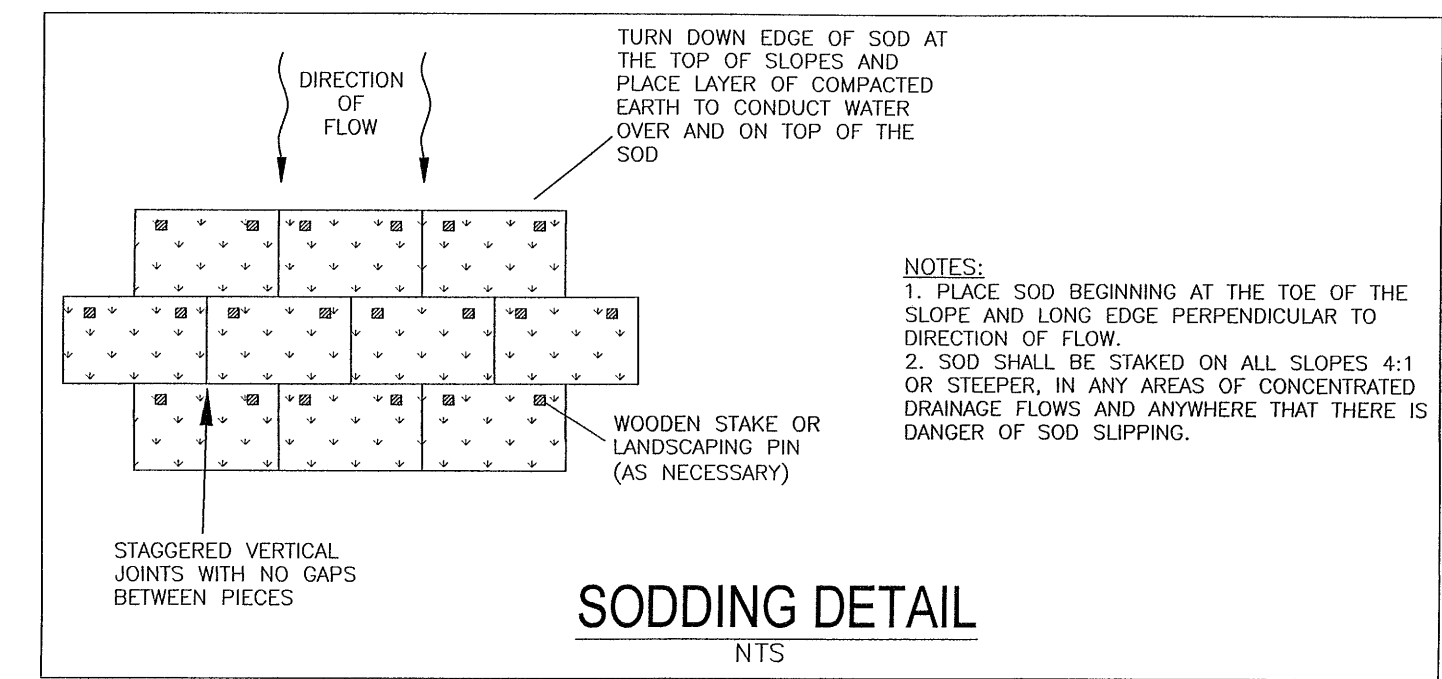
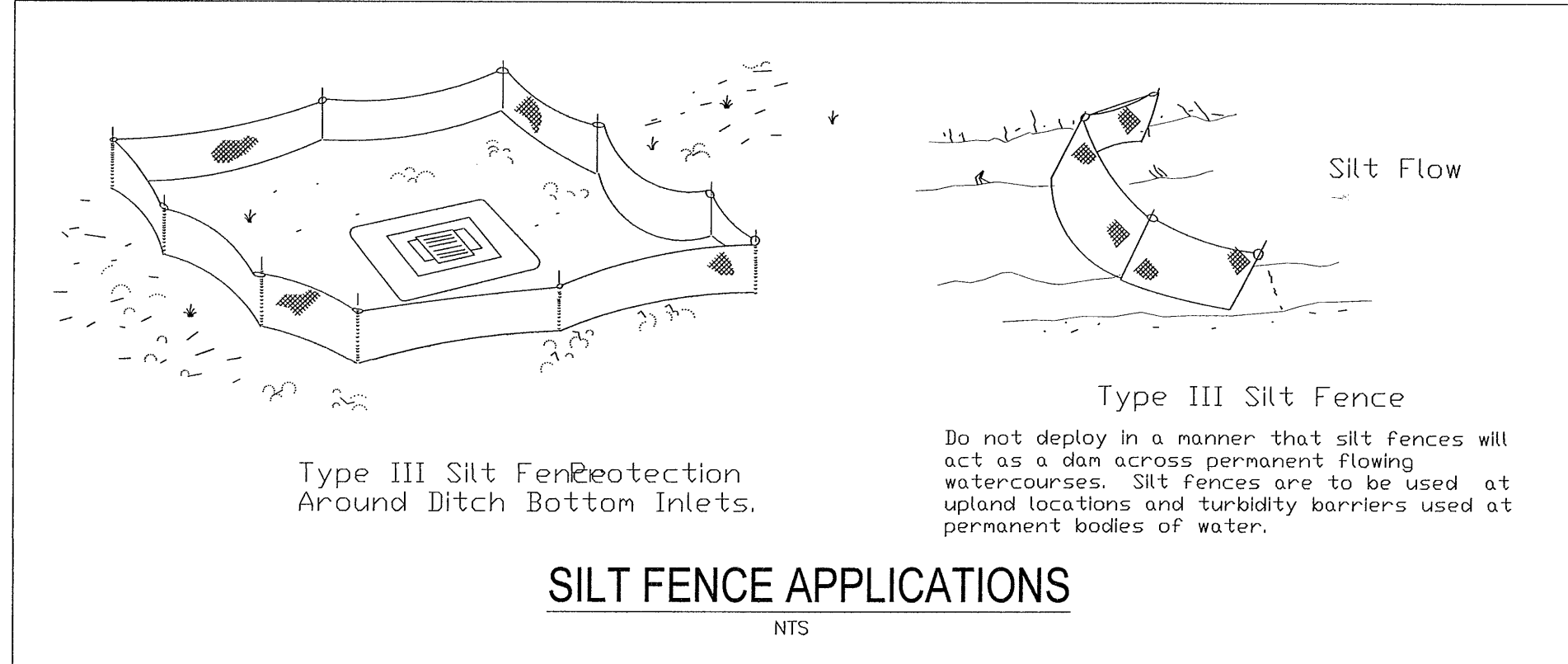
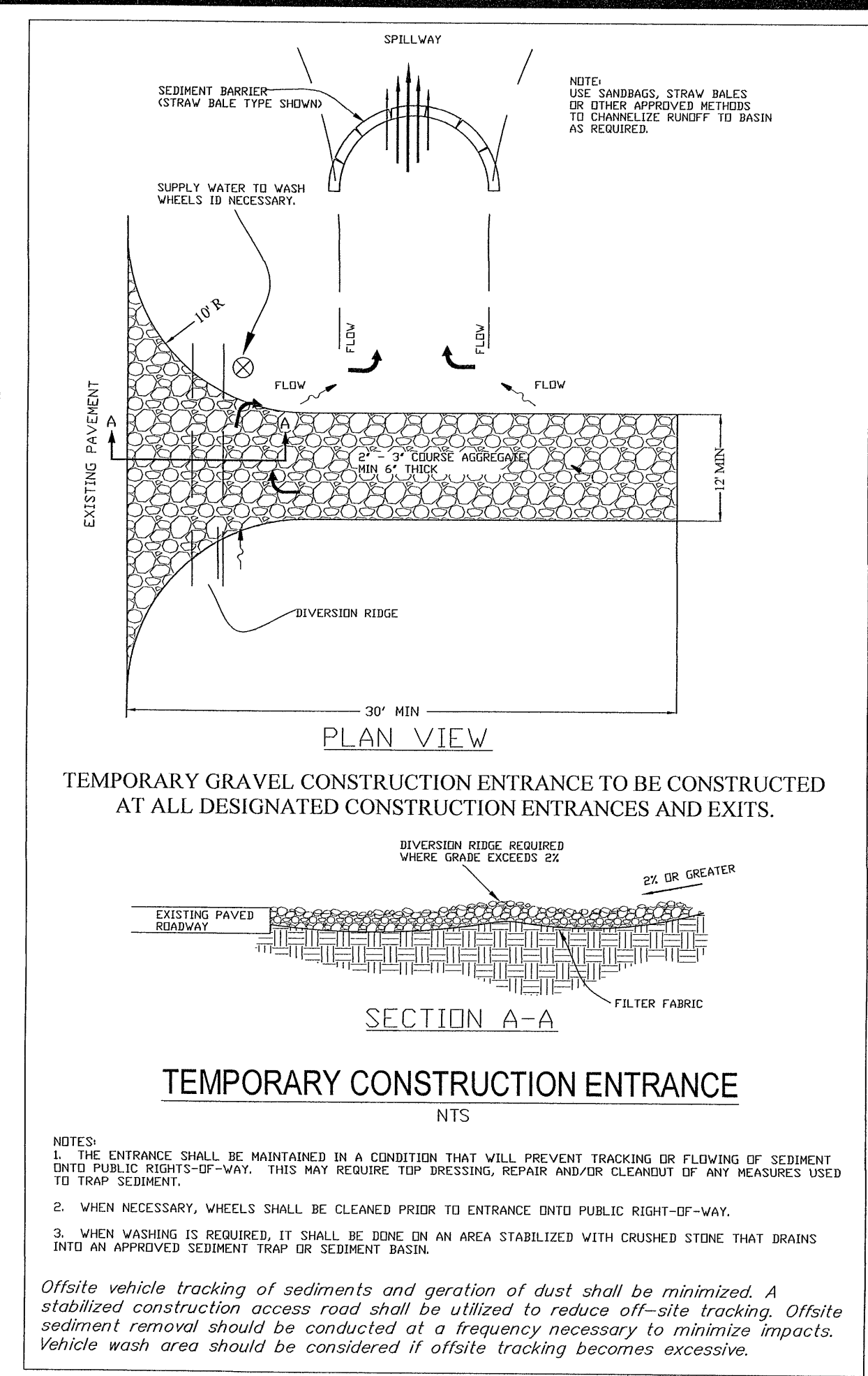
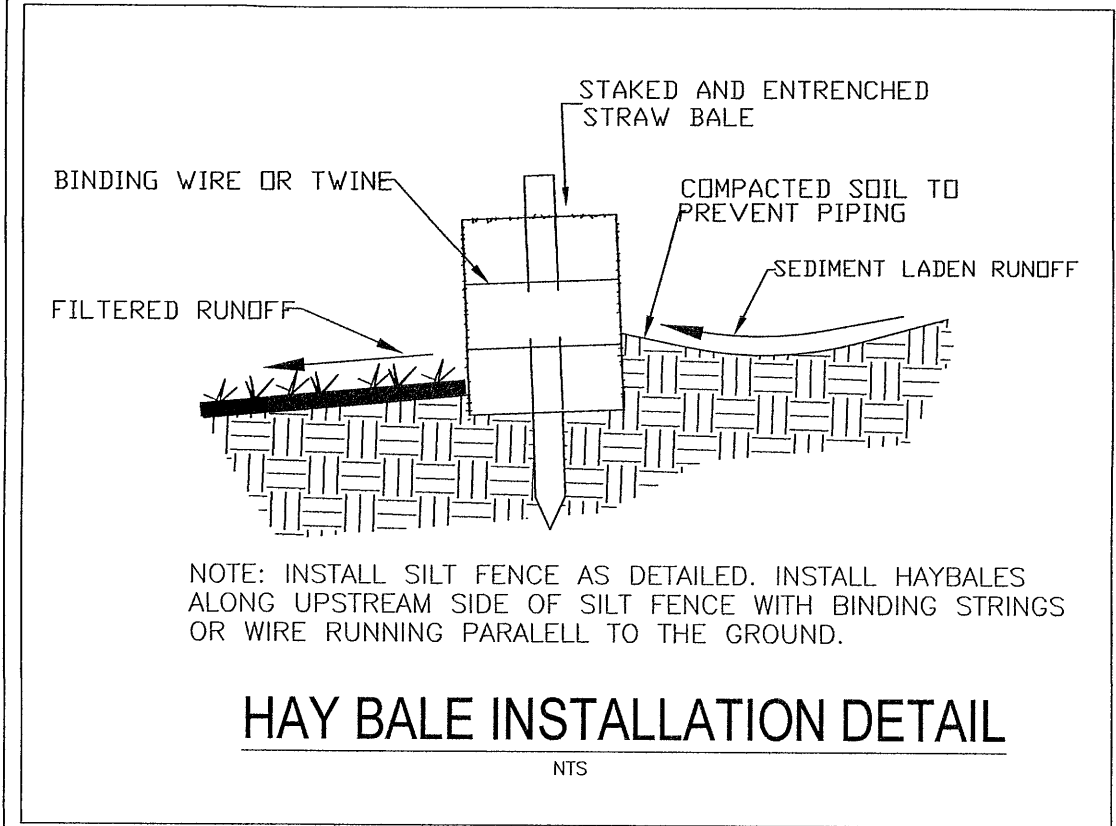
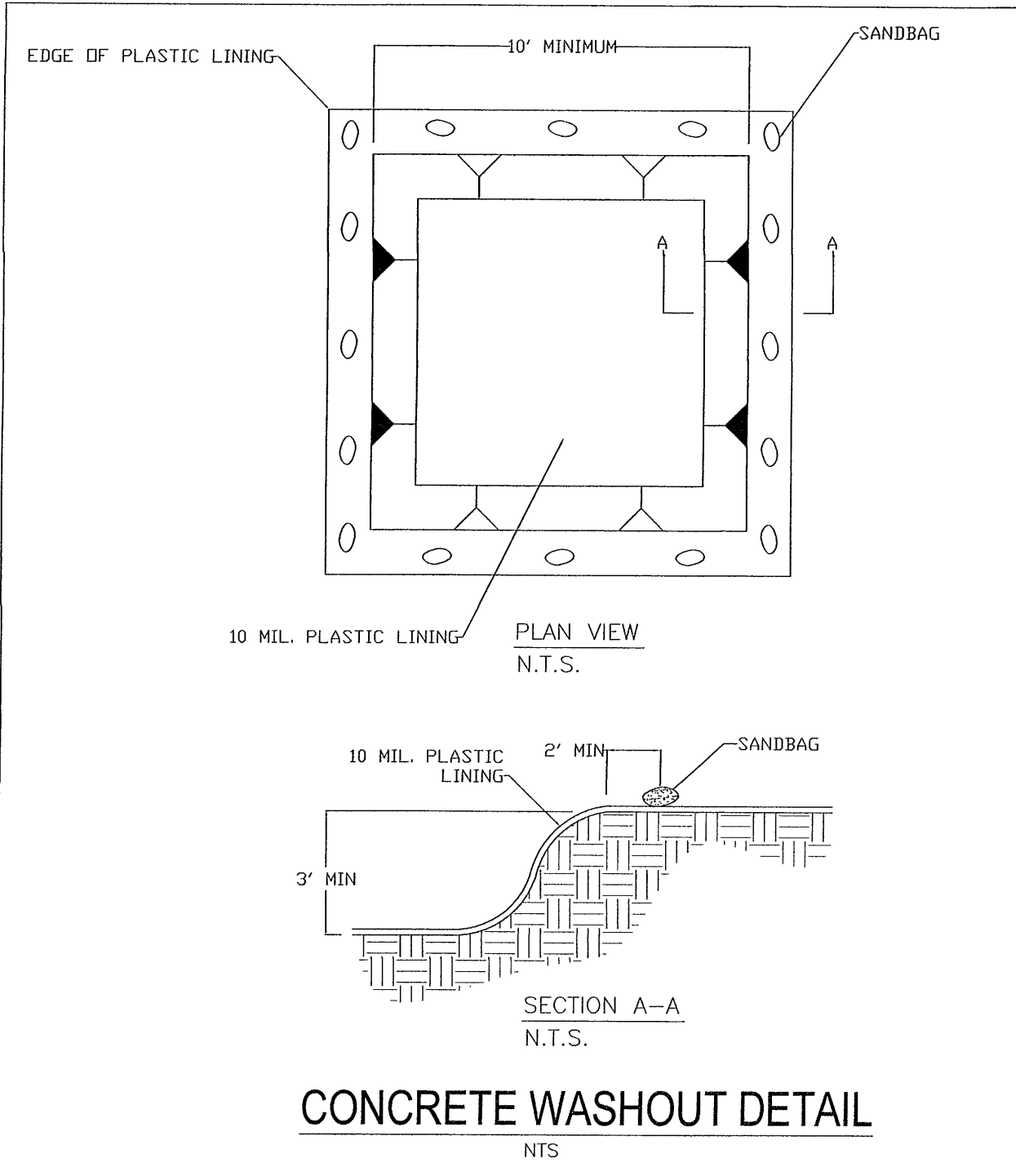
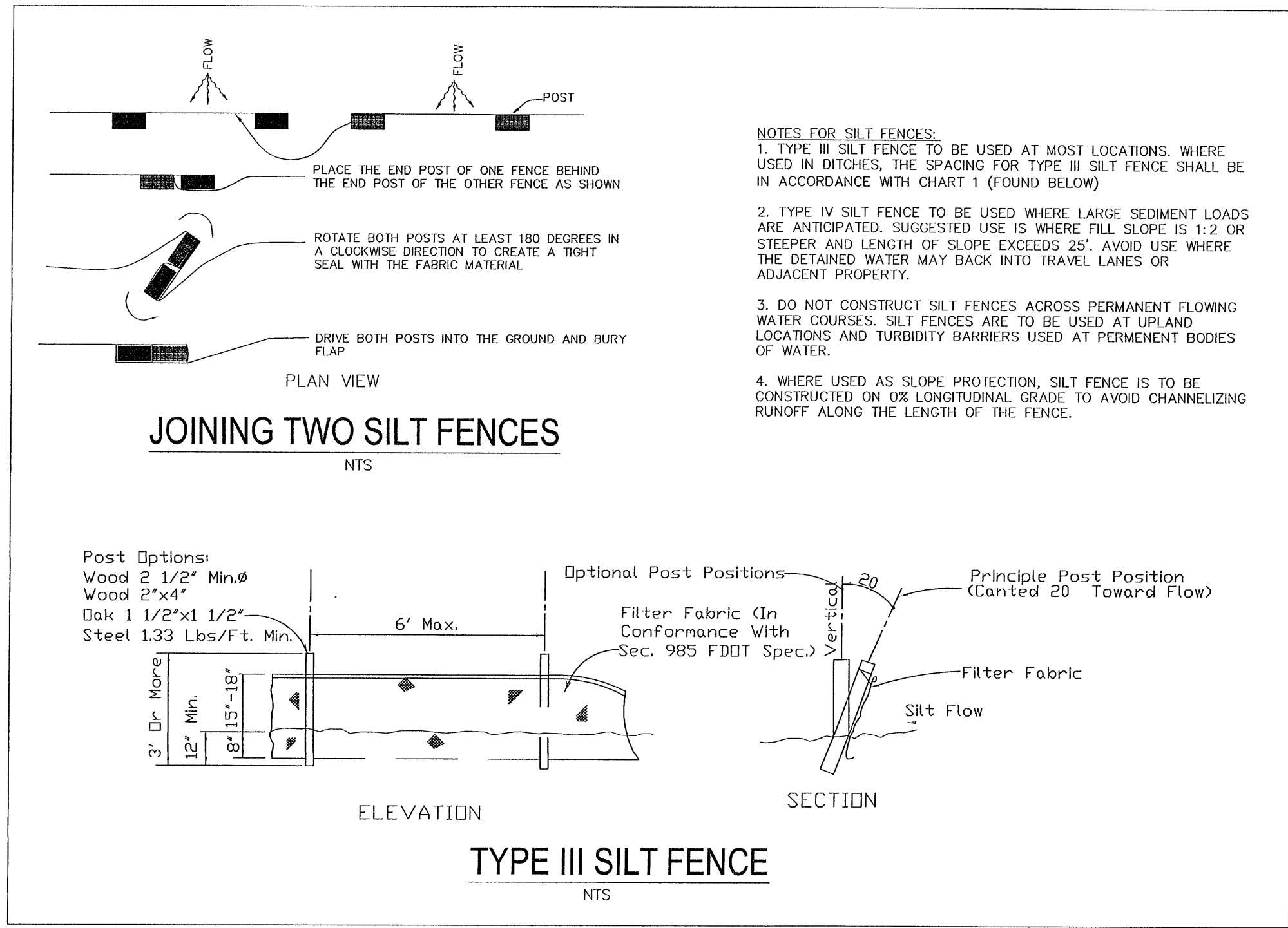
NO.	DATE	REVISIONS
1	06/14/2022	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

**HAMMOND ENGINEERING, INC.**  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH "S" STREET  
PENSACOLA, FLORIDA 32505  
850.434.2603  
FAX 850.434.2650  
TOM@SELANDDESIGN.COM



<b>SITE DEVELOPMENT PLANS FOR</b>	<b>H&amp;H ACCESSORY SHOP LANDSCAPING PLAN</b>	<b>FLORIDA</b>
<b>DRAWN BY:</b> CUG	<b>DESIGNED BY:</b> RLS	<b>CHECKED BY:</b> TSH
<b>DATE:</b> 06/20/2022	<b>SCALE:</b> AS SHOWN	<b>NOT RELEASED FOR CONSTRUCTION</b>
<b>BY:</b>	<b>DATE:</b>	<b>PROJECT NO:</b> 21-104
<b>SHEET: C7</b>		





REVISIONS		DATE		NO.	
REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS		06/14/2022		A	

**HAMMOND ENGINEERING, INC.**  
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3802 NORTH "S" STREET  
PENSACOLA, FLORIDA 32505  
850 434-2603  
FAX 850-434-2650  
TOM@SELANDDESIGN.COM

**PROFESSIONAL ENGINEER**  
STATE OF FLORIDA  
LICENSE NO. 12565  
EXPIRATION DATE 12/31/2024  
TOM HAMMOND

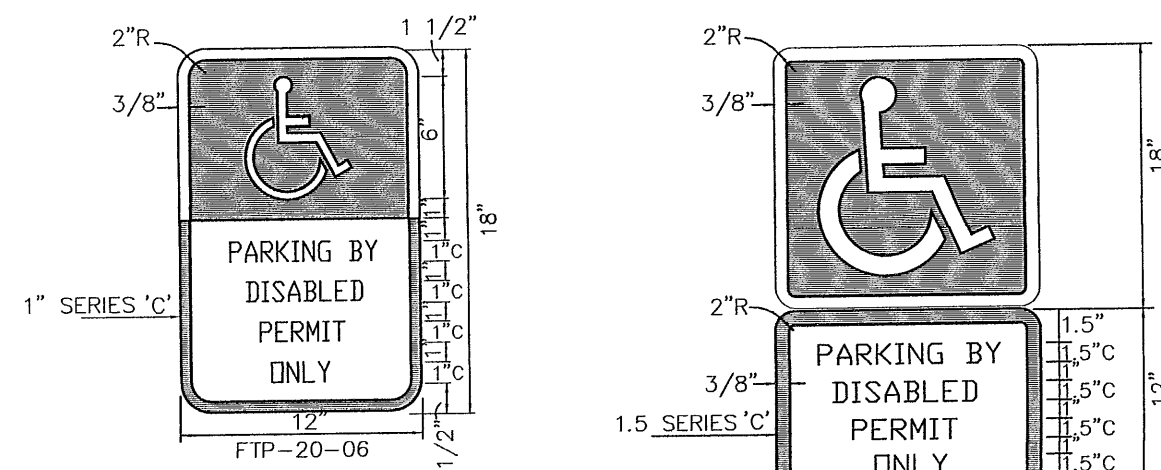
**SITE DEVELOPMENT PLANS FOR H&H ACCESSORY SHOP EROSION CONTROL DETAILS**

DESIGNED BY: CJB  
CHECKED BY: TGH  
DATE: 05/20/2022  
SCALE: AS SHOWN  
NOT RELEASED FOR CONSTRUCTION  
BY: DATE:

PROJECT NO: 21-104  
SHEET: C8

ESCAMBIA COUNTY FLORIDA





SIGNS USED AS PER FLORIDA STATUTES  
FTP 20-06, FTP 21-06 Per FS 316.1955, FS 316.1956

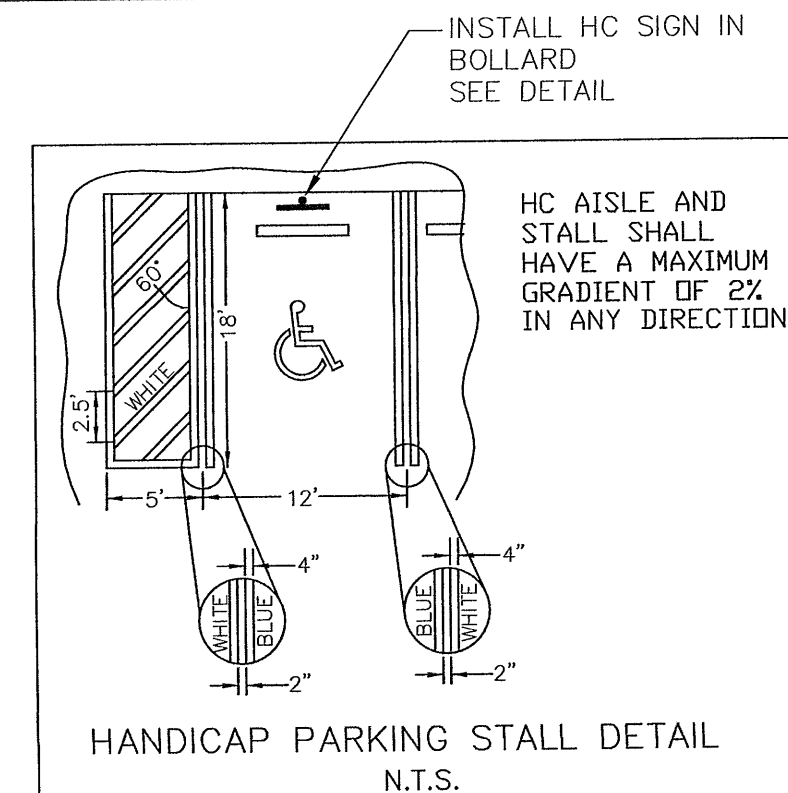
VIOLATORS  
\$250 FINE

INSTALL BELOW HANDICAP SIGN  
(FTP-22-06)

- NOTES:
1. Top portion of FTP 20-06 & 21-06 shall have a reflective blue background with white reflective symbol and border.
  2. Bottom portion shall have a reflective white background with black opaque legend and border.
  3. FTP 20-06 & 21-06 may be fabricated on one panel or two.
  4. FTP 20-06 may be substituted for the FTP 21-06 in areas where space is limited.
  5. Signs are to be mounted at standard height. (7' from pavement to bottom of sign).

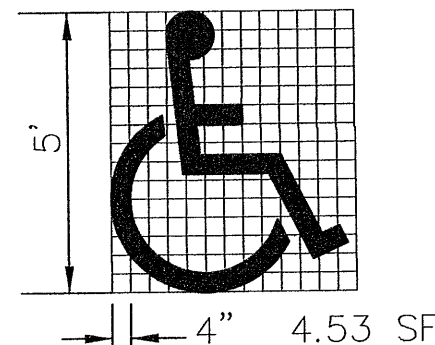
### HANDICAPPED PARKING SIGN DETAIL

NTS



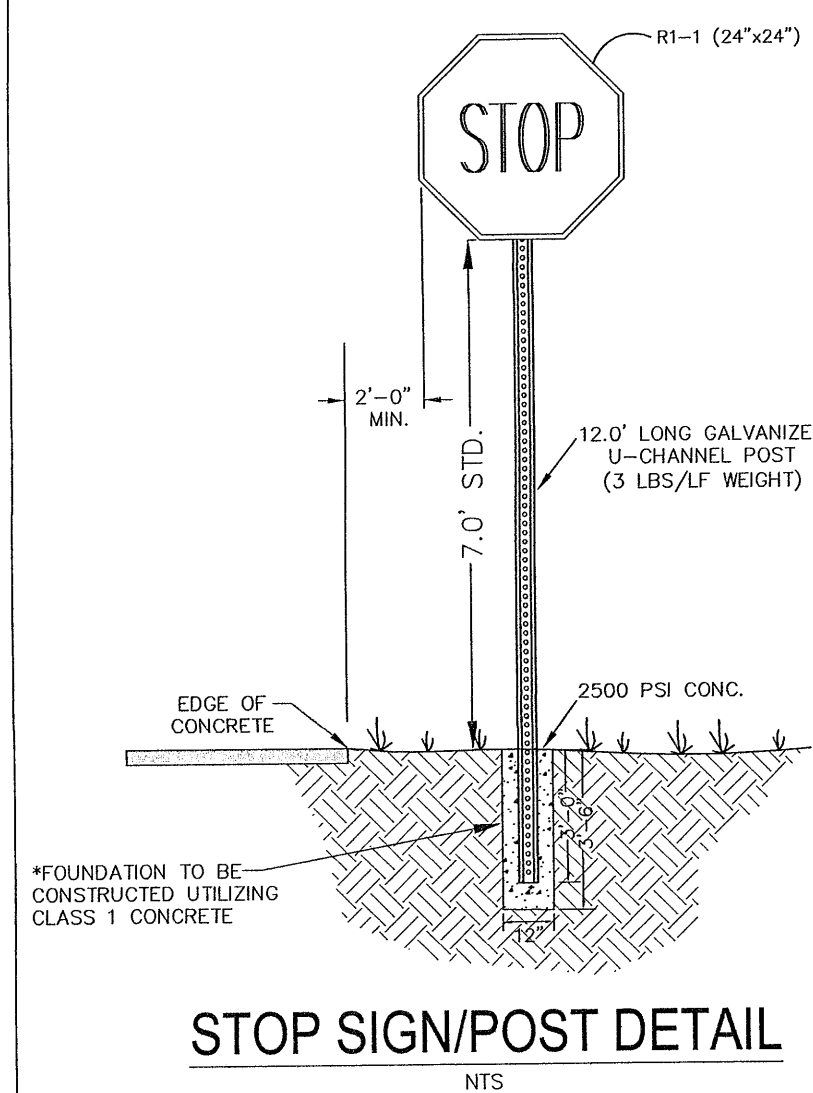
HANDICAP PARKING SPACE TO CONSTRUCTED IN ACCORDANCE TO FDOT ROADWAY AND TRAFFIC DESIGN STANDARD INDEX 17346

SYMBOL SHALL BE WHITE IN COLOR.  
REFERENCE FDOT DESIGN STANDARDS  
INDEX 17346 FOR ADDITIONAL DETAILS



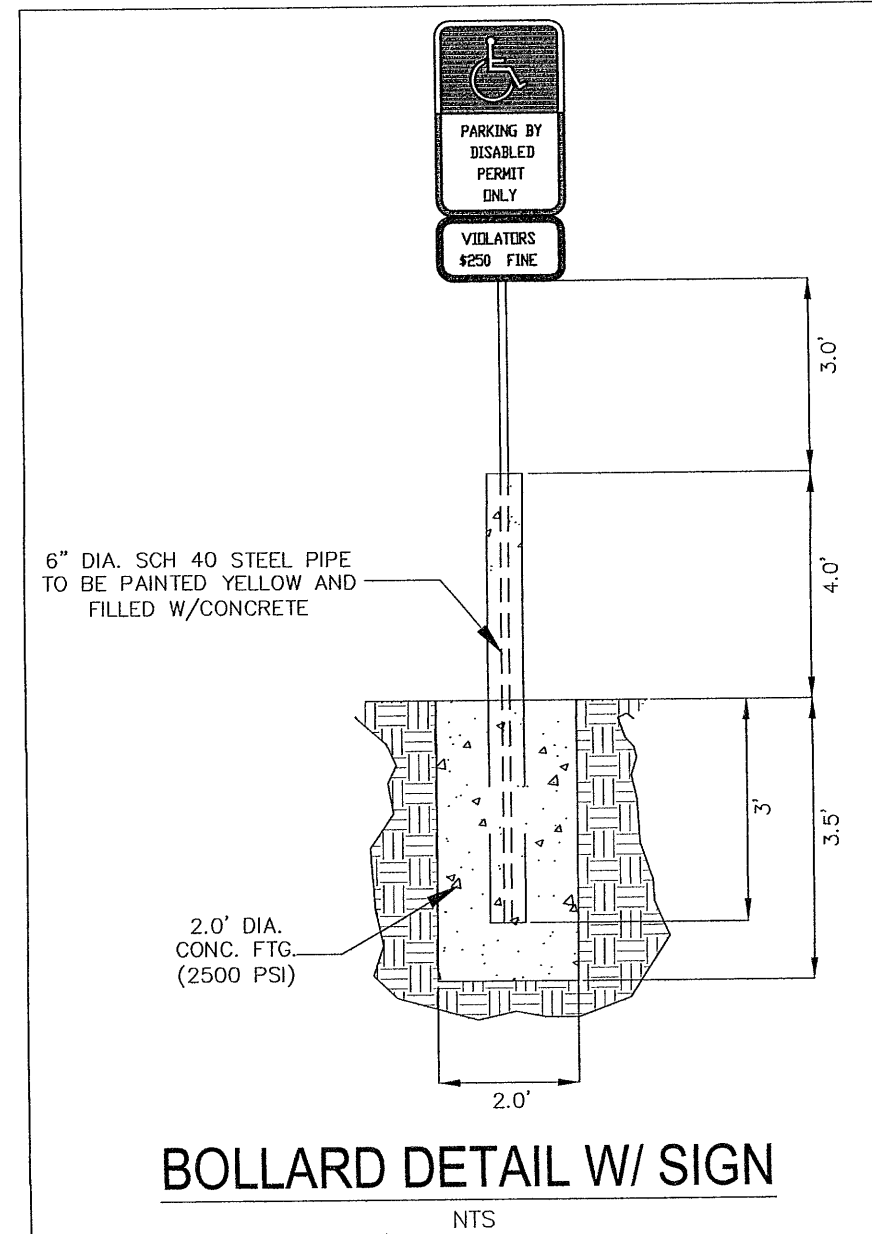
### HANDICAP PAVEMENT SYMBOL/LINING

NTS



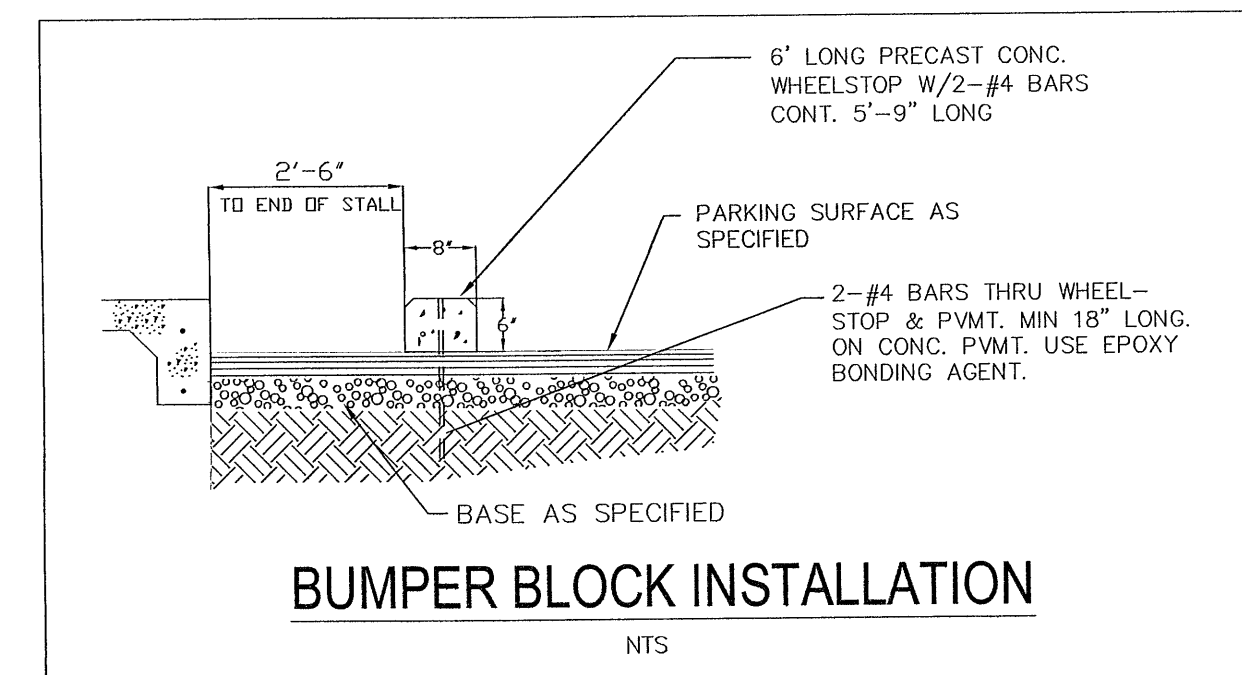
### STOP SIGN/POST DETAIL

NTS



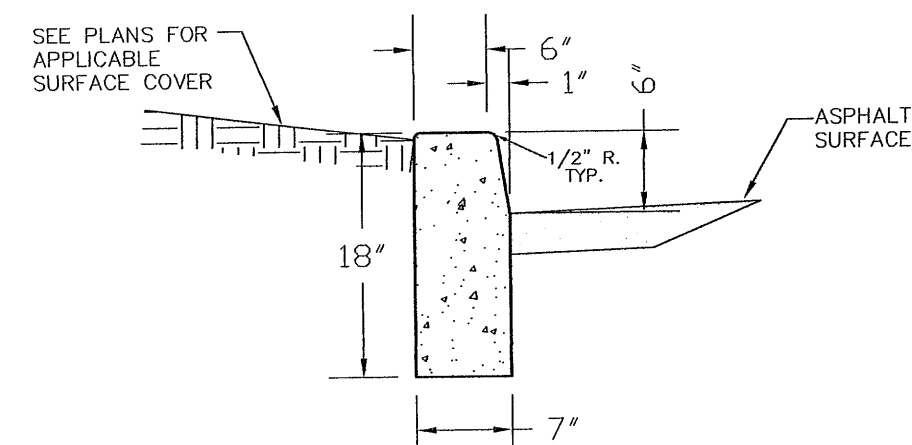
### BOLLARD DETAIL W/ SIGN

NTS



### BUMPER BLOCK INSTALLATION

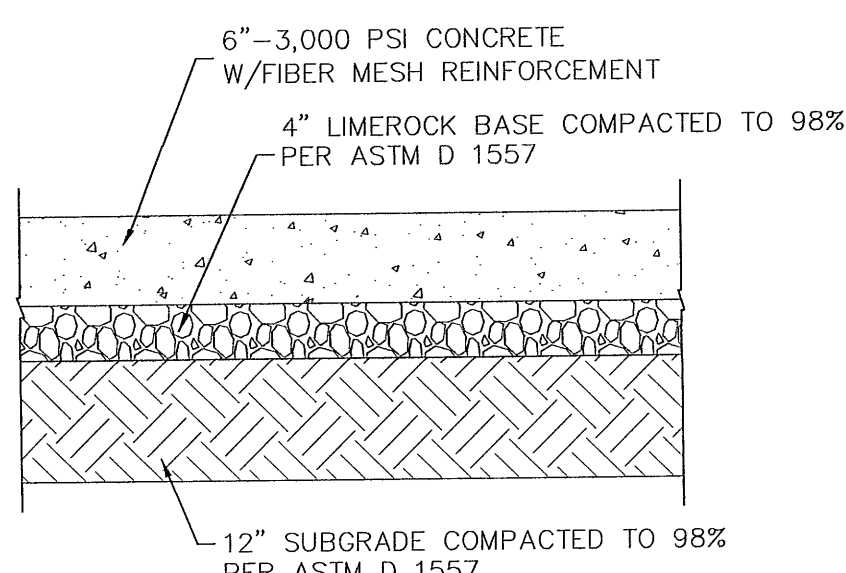
NTS



### 6" HEADER CURB

NTS.

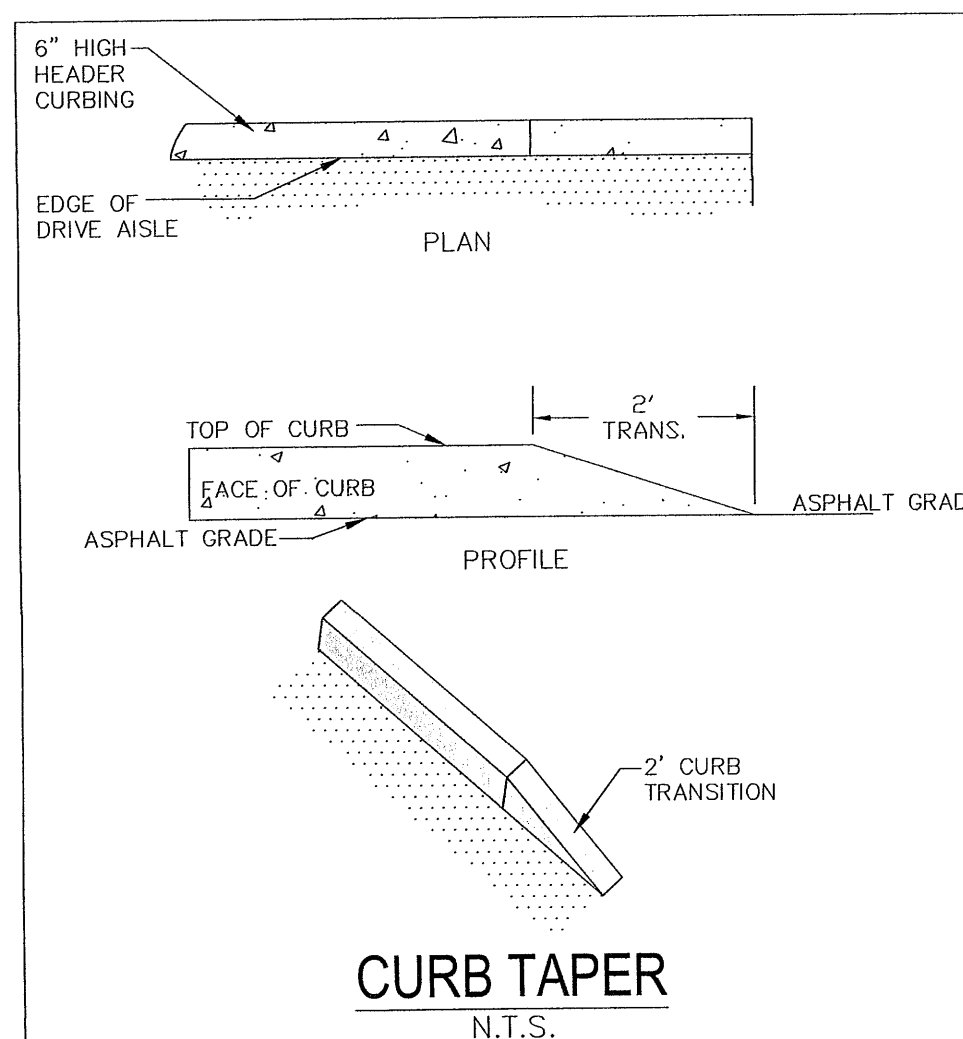
- NOTE:
1. ALL CURB TO HAVE DUMMY JOINT AT 10' ON CENTER & AT ALL PC'S & PT'S. MIN. DEPTH OF JOINT TO BE 2".
  2. EXPANSION JOINTS ARE TO BE 60' ON CENTER. TYPICAL FOR ALL CURB.
  3. CONCRETE TO BE 3000 PSI.



### STANDARD CONCRETE SECTION

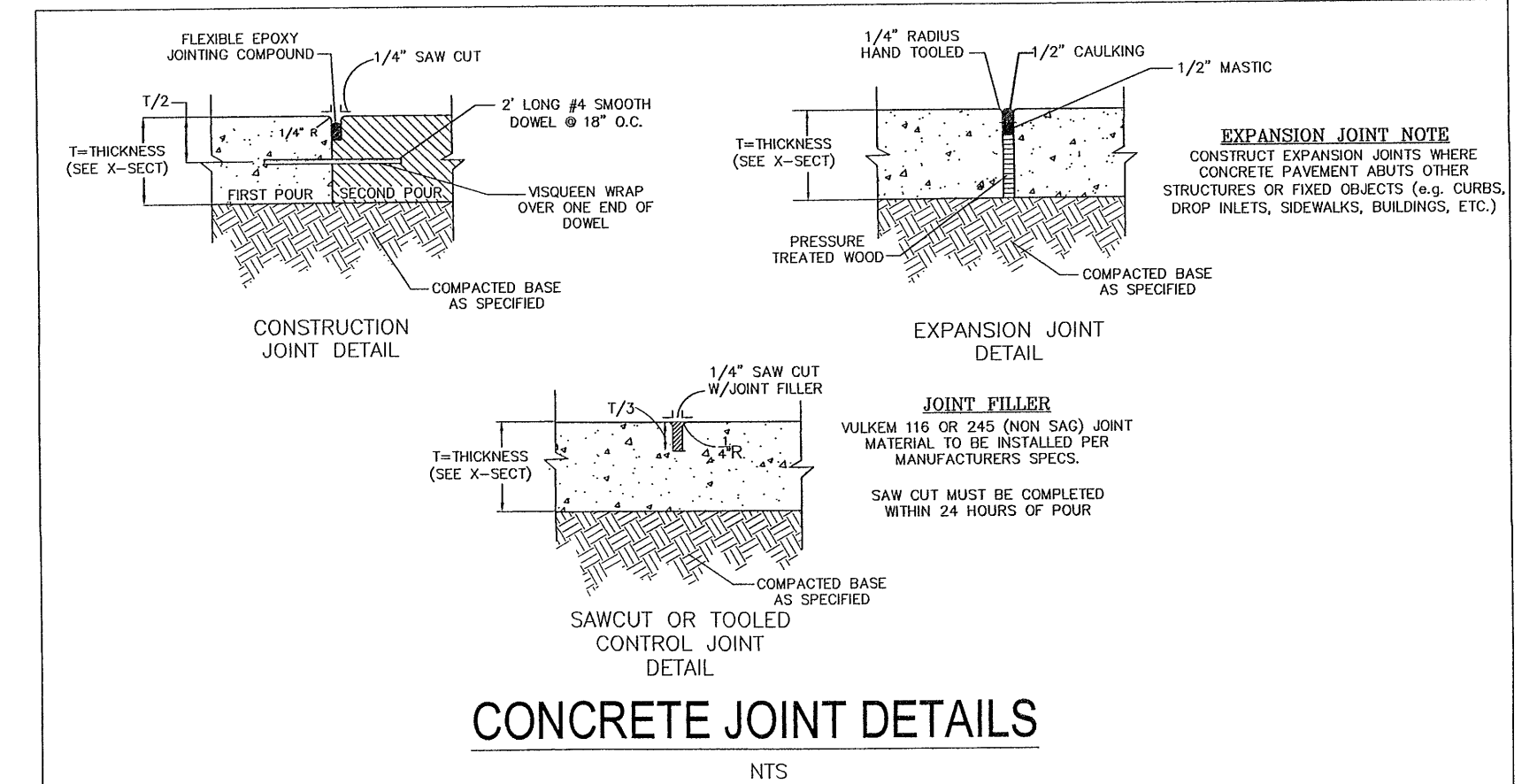
NTS

- NOTES:
1. SAWED OR SCORED CONTROL JOINTS SHALL BE SPACED AT 5 FT MAXIMUM FOR SIDEWALKS AND 12 FT FOR DRIVES.
  2. CONSTRUCT EXPANSION JOINTS WHERE NEW CONCRETE ABUTS NEW OR EXISTING CONCRETE CURBS, ASPHALT, OR OTHER STRUCTURES AND/OR ON 40 FT CENTERS ON SIDEWALKS AND 30' CENTERS ON DRIVES.
  3. THOROUGHLY CLEAN JOINT OF ALL SAND, SOIL AND MISC. DEBRIS. APPLY MASKING TAPE ALONG SIDES OF JOINT FOR TEMPORARY PROTECTION DURING SEALANT APPLICATIONS. APPLY FULL BEAD OF VULKEM 116 OR 245 (NON SAG), OR APPROVED EQUAL, POURABLE SEALANT AND TOOL LIGHTLY. REMOVE TAPE IMMEDIATELY.
  4. ALL CONCRETE SHALL BE TYPE 1 AND MEET THE REQUIREMENTS OF THE APPROPRIATE SECTIONS OF THE FDOT STANDARD SPECIFICATIONS, LATEST EDITION, UNLESS OTHERWISE NOTED ON DETAILS OR PLANS.
  5. MATERIAL, DESIGN AND TEST SUBMITTALS SHALL BE PER THE FDOT STANDARD SPECIFICATIONS, LATEST EDITION.



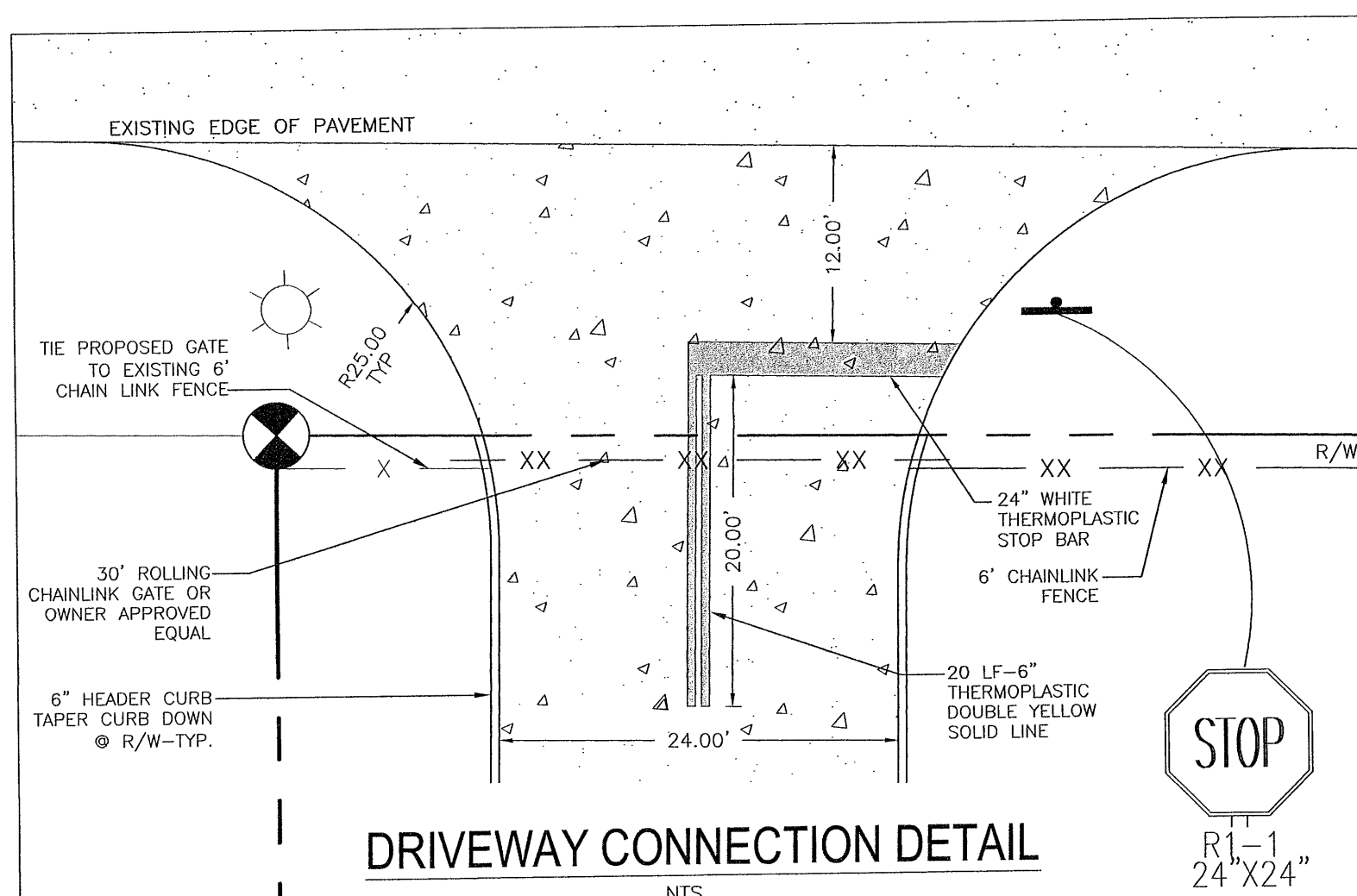
### CURB TAPER

NTS.



### CONCRETE JOINT DETAILS

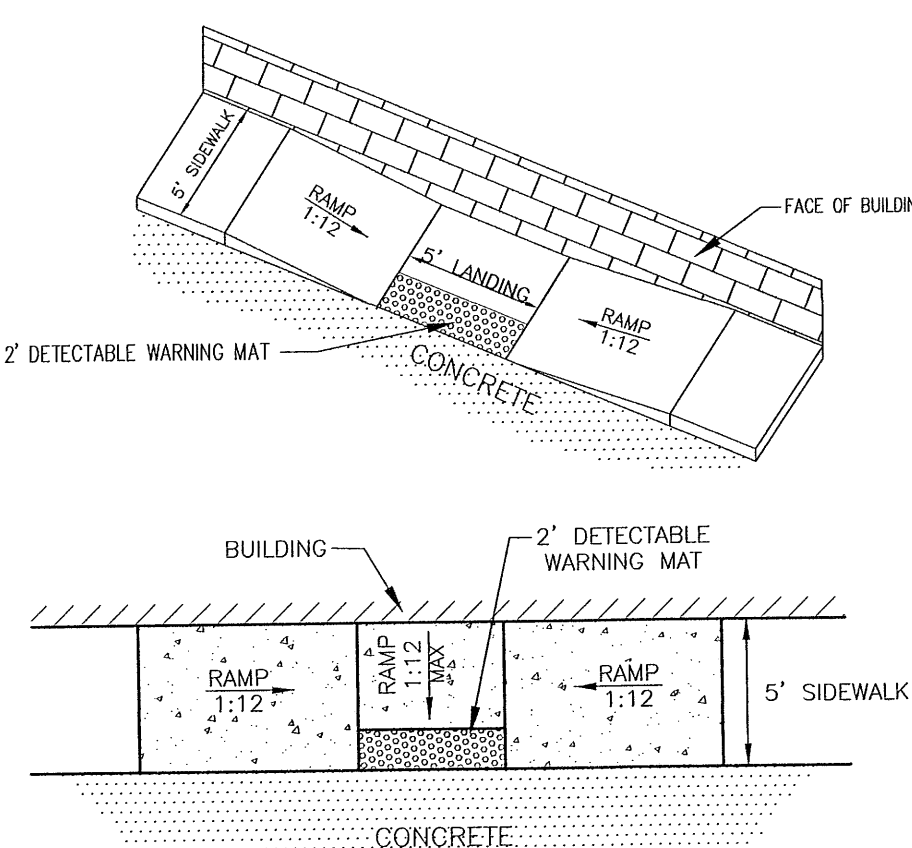
NTS



### DRIVEWAY CONNECTION DETAIL

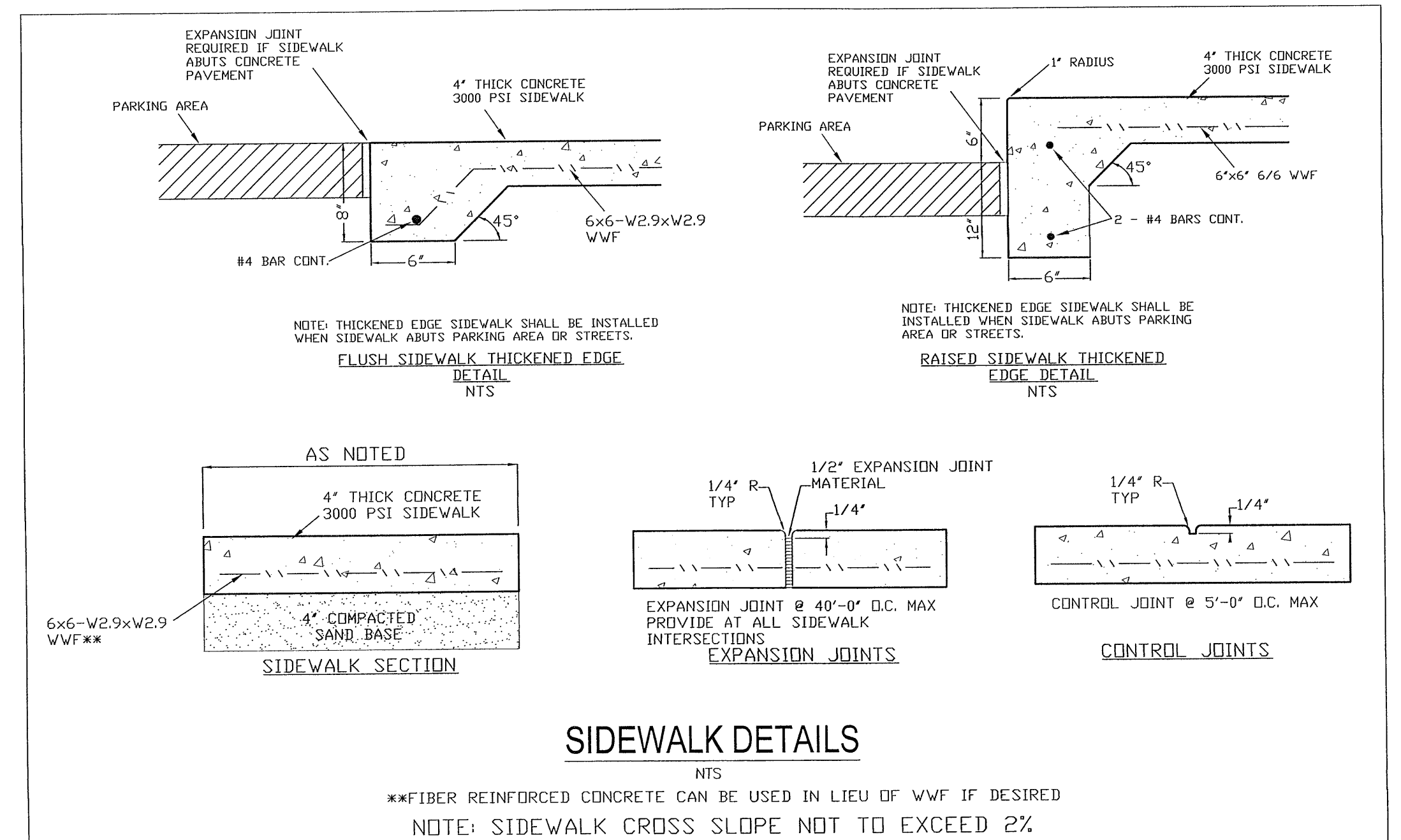
NTS

- NOTES:
1. STOP LINE SHOULD BE WHITE AND 600 MM (24 IN) WIDE
  2. SIGN POSTS AND ALL HARDWARE TO BE GALVANIZED
  3. STOP LINE TO BE 12\"/>



### HANDICAP RAMP TYPE CR-C

NTS



### SIDEWALK DETAILS

NTS

NOTE: FIBER REINFORCED CONCRETE CAN BE USED IN LIEU OF WWF IF DESIRED  
NOTE: SIDEWALK CROSS SLOPE NOT TO EXCEED 2%

REVISIONS

NO.	DATE	REVISIONS
1	06/14/2022	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

HAMMOND ENGINEERING, INC.  
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ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH "S" STREET  
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TOM@SELANDDESIGN.COM

PROFESSIONAL ENGINEER  
FLORIDA  
No. 12484  
JAMES W. HAMMOND  
P.E.

SITE DEVELOPMENT  
PLANS FOR  
H&H  
ACCESSORY SHOP  
CONSTRUCTION  
DETAILS  
FLORIDA  
ESCAMBIA COUNTY

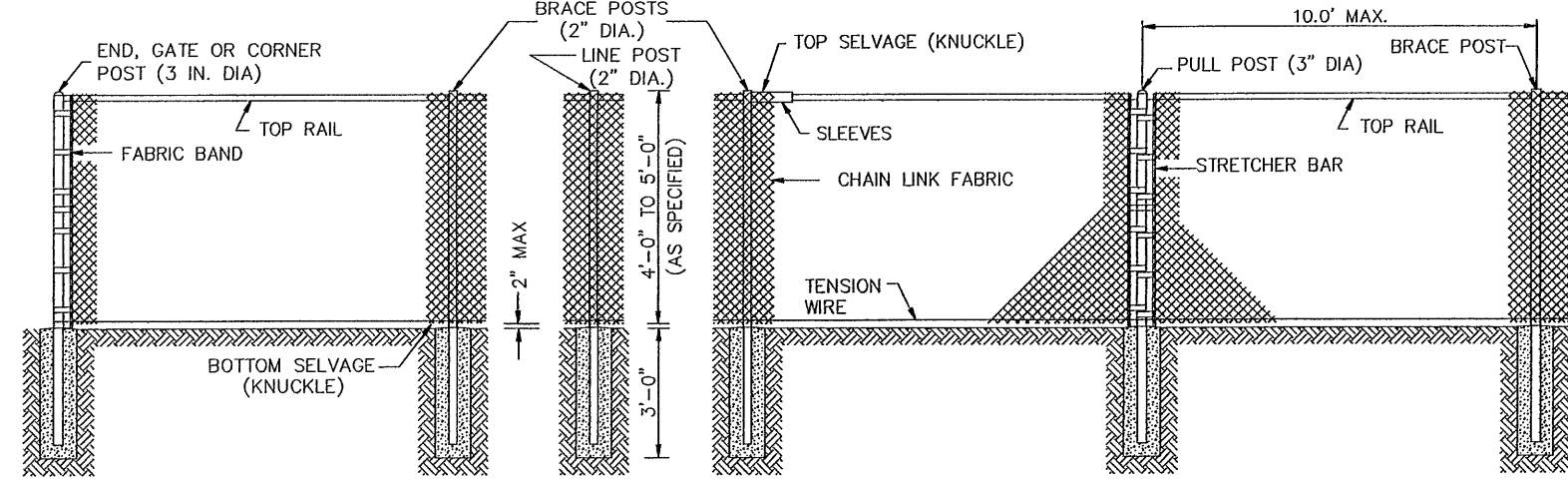
DRAWN BY: CUG  
DESIGNED BY: RLS  
CHECKED BY: TGH  
DATE: 05/20/2022  
SCALE: AS SHOWN  
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CONSTRUCTION  
BY: DATE:

PROJECT NO: 21-104  
SHEET: C9



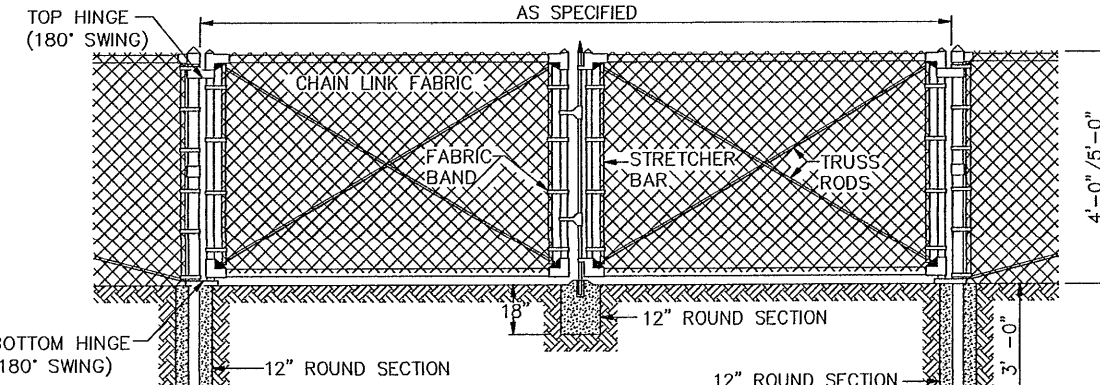
FABRIC SPECIFICATIONS:	
GAUGE	9 GAUGE
CORE SIZE	0.095
MESH SIZE	2.0"
COATING	22-25 MIL PVC COATING
SELVAGE	KNUCKLE & KNUCKLE
STANDARD ROLL	50 FT. PER ROLL
COLORS	BLACK, BROWN, GREEN
FRAMEWORK SPECIFICATIONS:	
DIAMETER AND THICKNESS	2" - (0.065" WALL THICKNESS)
COATING	GALVANIZED- 0.90 OUNCES OF ZINC PER SQ. FT.
COLORS	BLACK, BROWN, GREEN
STANDARD ROLL	50 FT. PER ROLL

MEMBER	NOMINAL DIA (N)	MATERIAL
BRACE RAIL	1.660	GALV TUBULAR STL
GATE FRAME	2.00	GALV TUBULAR STL
LINE POSTS	2.375	GALV TUBULAR STL
END & CORNER POST	2.875	GALV TUBULAR STL
CHAIN LINK FABRIC		9 GA. W/GREEN OR BLACK PVC COATING
	NOMINAL DIA (N)	MATERIAL
GATE POST	12" OR 15"	4 GALV TUBULAR STL



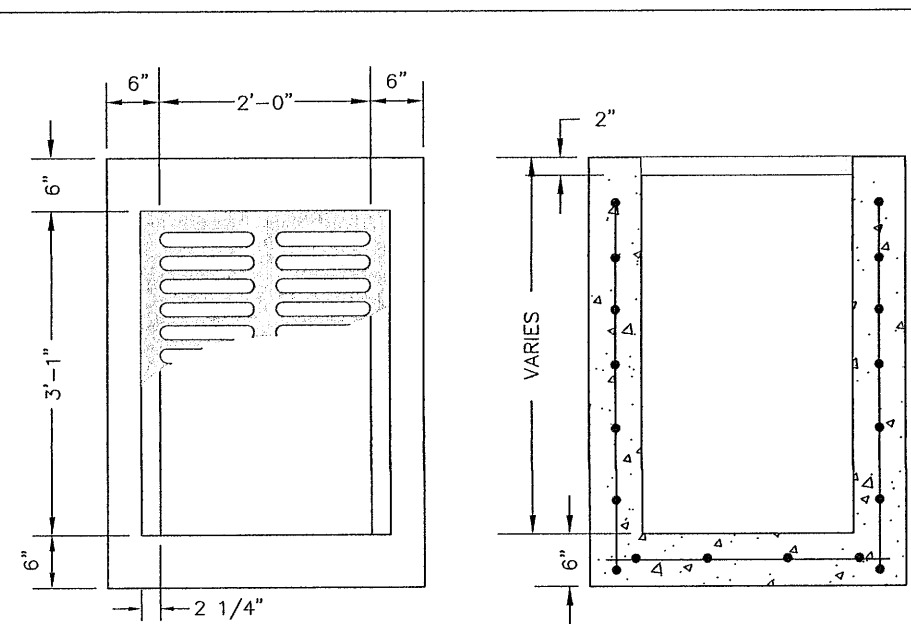
#### NOTES:

1. ALL FITTINGS, FASTENERS, & AND FABRIC TIES SHALL BE HOT DIP GALV.
2. CONC SHALL BE MIN 2500 PSI @ 28 DAYS.
3. PROVIDE BRACE RAIL BETWEEN END POSTS AND LINE POSTS. LENGTHS AS REQ'D.
4. PROVIDE GATE STOPS AND DROP RECEIVERS SET IN CONCRETE, EACH GATE.
5. PROVIDE EXTENSION ARMS ON LINE AND CORNER POSTS & GATE POSTS AS REQ'D.
6. ALL POSTS AND RAILS TO MATCH FENCE COLOR.
7. FOOTING WIDTH TO BE 4X POST WIDTH. MINIMUM 36" DEPTH.



### CHAIN LINK FENCE DETAIL

NTS



#### MATERIALS:

CONCRETE: 4000 PSI, TYPE II CEMENT  
WALL REINFORCING: 3/4" W3.1/W4.1 WWF 65 K.S.I. (AS PER FDOT-INDEX 201)  
BOTTOM SLAB REINFORCING: #4 @ 12" C.C.E.W. \*

#### NOTE:

ALL EXPOSED EDGES TO HAVE 3/4" CHAMFER.  
\* GRADE 40, OR EQUIVALENT WELDED WIRE MESH.

#### GRATE INFORMATION:

U.S.F. NO.	TYPE	RATING	FLOW AREA (SQ. IN.)
6212	CAST IRON	TRAFFIC	455

GRATE NOT SHOWN FOR CLARITY.

### FOOT TYPE 'C' DITCH BOTTOM INLET

NTS

#### List of Recommended Native and Non-Invasive Plants

Shrubs (mature height 36" min.)	Understory Trees (mature height 15-29 feet)	Canopy Trees (mature height over 30 feet)
<i>Abelia grandiflora</i>	Flowering Dogwood <i>Cornus florida</i>	Red Maple <i>Acer rubrum</i>
<i>Aucuba japonica</i>	Loblolly Bay <i>Gordonia lasianthus</i>	Silver Maple <i>Acer saccharum</i>
<i>Barberry</i> <i>Berberis</i> sp.	American Holly <i>Nex opaca</i>	American Hornbeam <i>Carpinus caroliniana</i>
Japanese Boxwood <i>Buxus microphylla</i>	Dalroon Holly <i>Nex castanea</i>	Southern Red Cedar <i>Juniperus silicicola</i>
Beauty Berry <i>Callicarpa Americana</i>	Crape Myrtle <i>Lagerstroemia indica</i>	Leyland Cypress <i>Cupressocyparis leylandii</i>
Japanese Plum-Yew <i>Cephalotaxus harringtonia</i>	Glossy Privet <i>Ligustrum lucidum</i>	River Birch <i>Betula nigra</i>
Silverthorn Eleagnus <i>Elaeagnus pungens</i>	Saucer Magnolia <i>Magnolia x soulangeana</i>	Pignut Hickory <i>Carya glabra</i>
Fatsia <i>Fatsia japonica</i>	Sweetbay Magnolia <i>Magnolia virginiana</i>	Green Ash <i>Fraxinus pennsylvanica</i>
Gardenia <i>Gardenia jasminoides</i>	Southern Crab Apple <i>Malus angustifolia</i>	Maidenhair Tree <i>Ginkgo biloba (male)</i>
Burford Holly <i>Nex cornuta</i>	Wax Myrtle <i>Myrica cerifera</i>	Sweetgum <i>Liquidambar styraciflua</i>
Japanese Privet <i>Ligustrum japonicum</i>	Bradford Pear <i>Pyrus edleriana</i>	Tulip Poplar <i>Liriodendron tulipifera</i>
Southern Wax Myrtle <i>Myrica cerifera</i>	Yaupon Holly <i>Nex vomitoria</i>	Southern Magnolia <i>Magnolia grandiflora</i>
Firethorn <i>Pyracantha coccinea</i>	Loquat <i>Eriobotrya japonica</i>	Tupelo/Sour Gum <i>Nyssa sylvatica</i>
Dwarf Japanese Holly <i>Nex crenata</i>	Eastern Redbud <i>Cercis canadensis</i>	Slash Pine <i>Pinus elliotii</i>
Chinese Holly <i>Nex cornuta</i>	Fringe Tree <i>Ostrya virginiana</i>	Longleaf Pine <i>Pinus palustris</i>
Dwarf Yaupon Holly <i>Nex vomitoria 'Nana'</i>	Hawthorn <i>Crataegus spp.</i>	Sycamore <i>Platanus occidentalis</i>
Chinese Juniper <i>Juniperus chinensis</i>	Silverbell <i>Halesia caroliniana</i>	White Oak <i>Quercus alba</i>
Indian Hawthorn <i>Rhododendron</i> sp.	Red-Tip Photinia <i>Photinia</i>	Live Oak <i>Quercus virginiana</i>
Rhododendron/Azalea <i>Rhododendron</i> sp.		Shumard Oak <i>Quercus shumardii</i>
		Southern Red Oak <i>Quercus falcata</i>

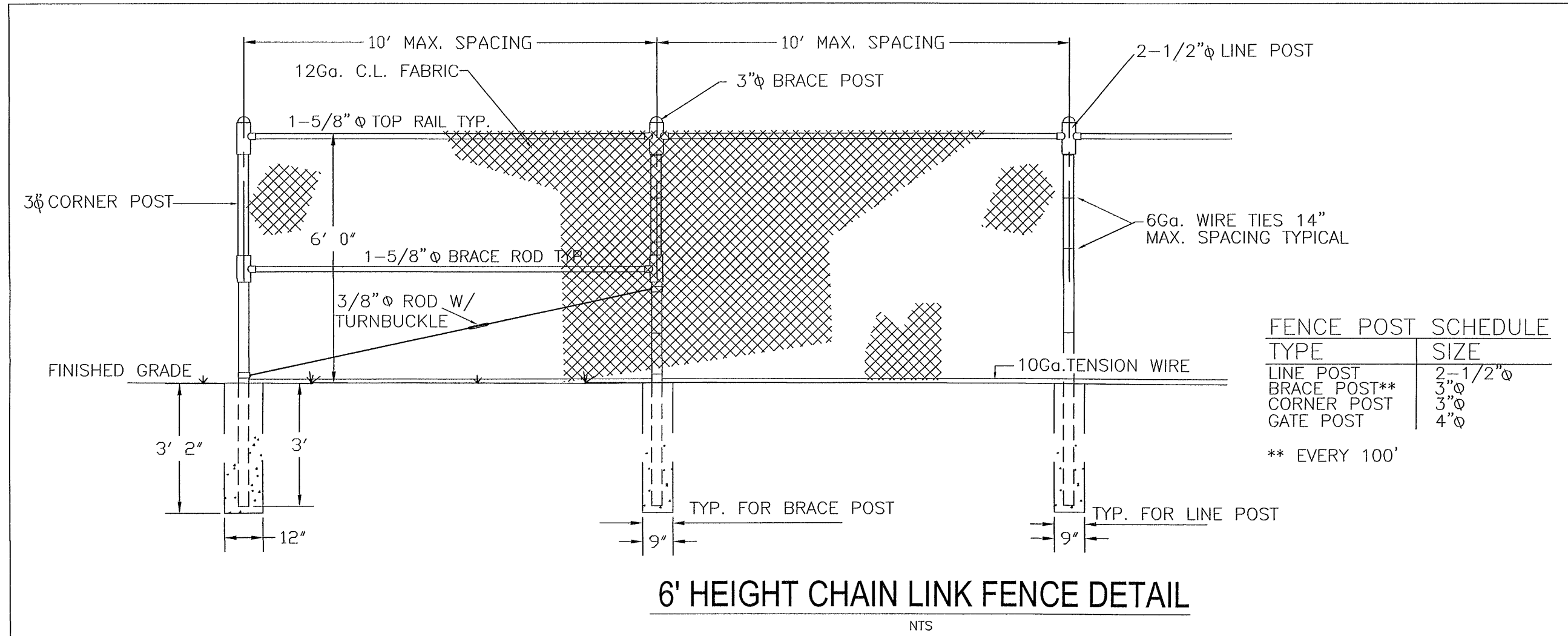
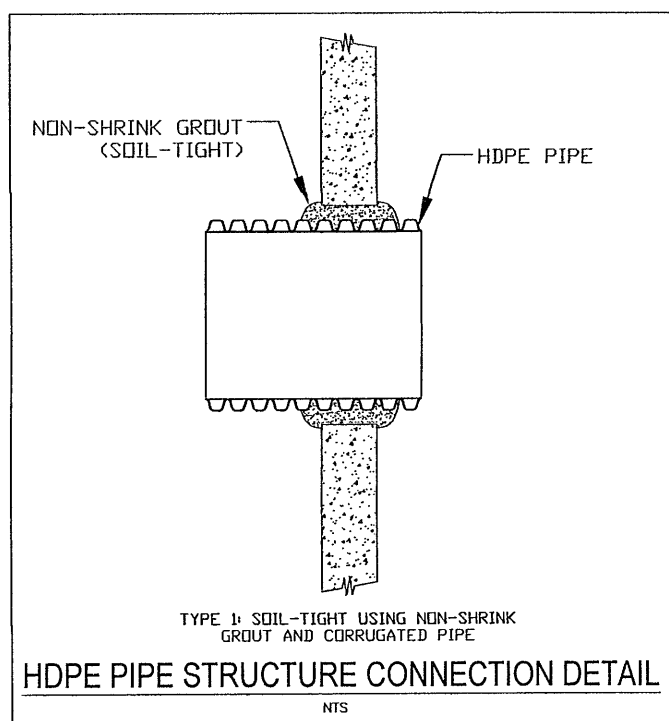
### TYPICAL TRENCH CROSS-SECTION (N.T.S.)

#### NOTES:

1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-60" (750mm-900mm).
5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

### HDPE PIPE-TYPICAL TRENCH INSTALLATION DETAIL

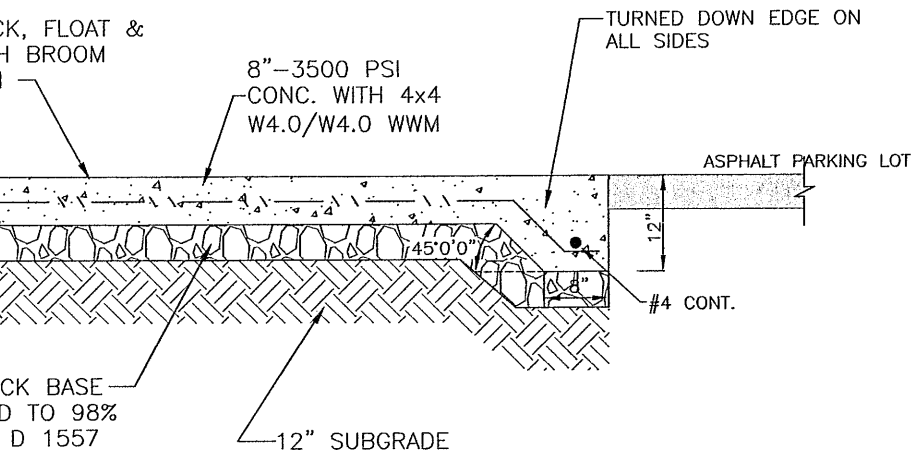
NTS



#### FENCE POST SCHEDULE

TYPE	SIZE
LINE POST	2-1/2"
BRACE POST**	3"
CORNER POST	3"
GATE POST	4"

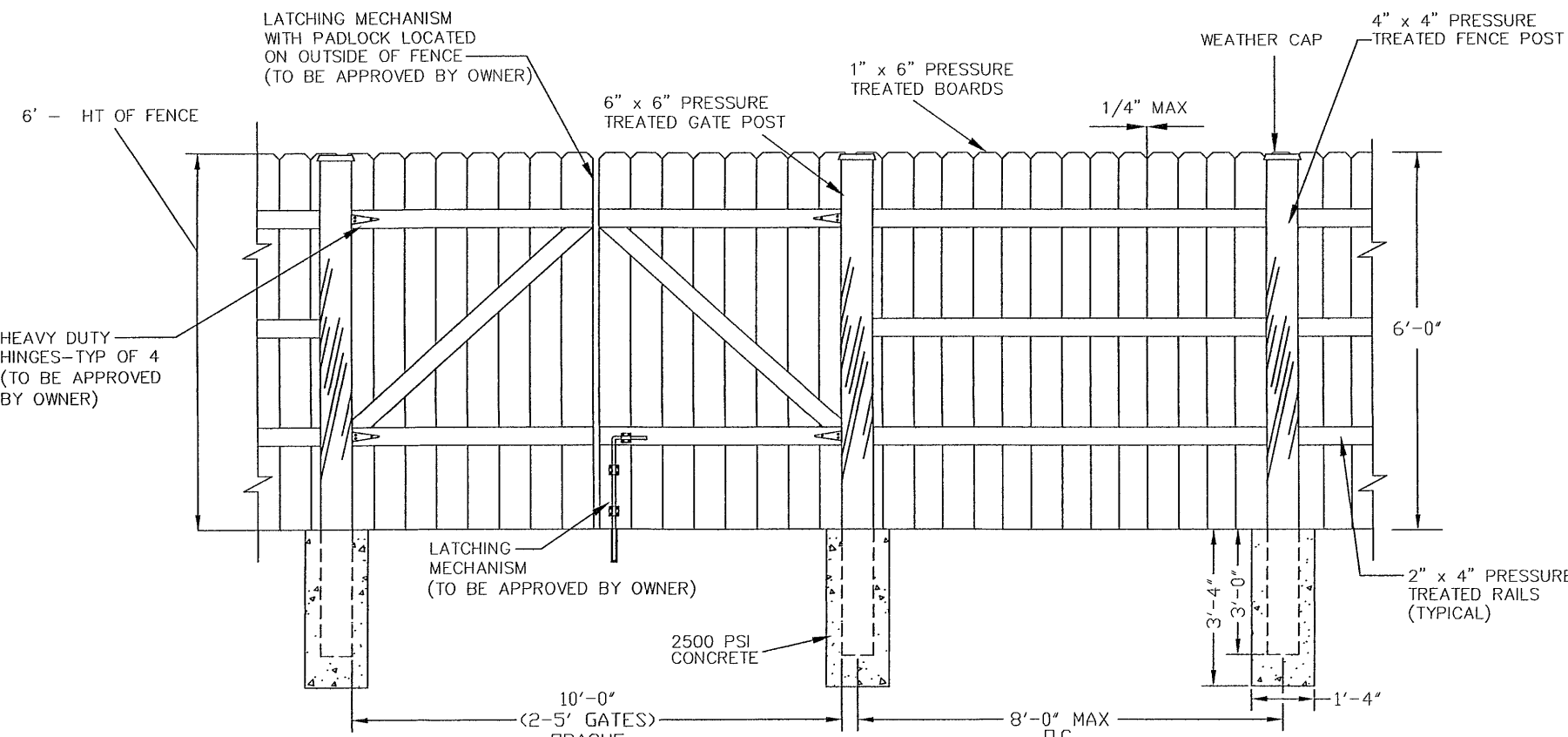
\*\* EVERY 100'



### DUMPSTER PAD X-SECT

N.T.S.

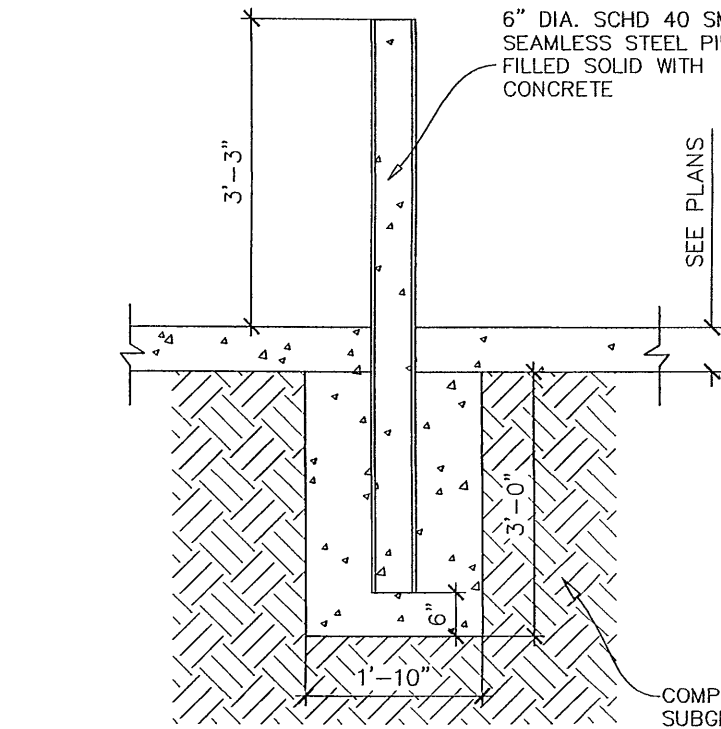
1. SPACING FOR EXPANSION JOINTS SHALL NOT EXCEED 30 LF
2. SPACING FOR CONTROL JOINTS SHALL NOT EXCEED 12 LF



### DUMPSTER FENCE DETAIL

NTS

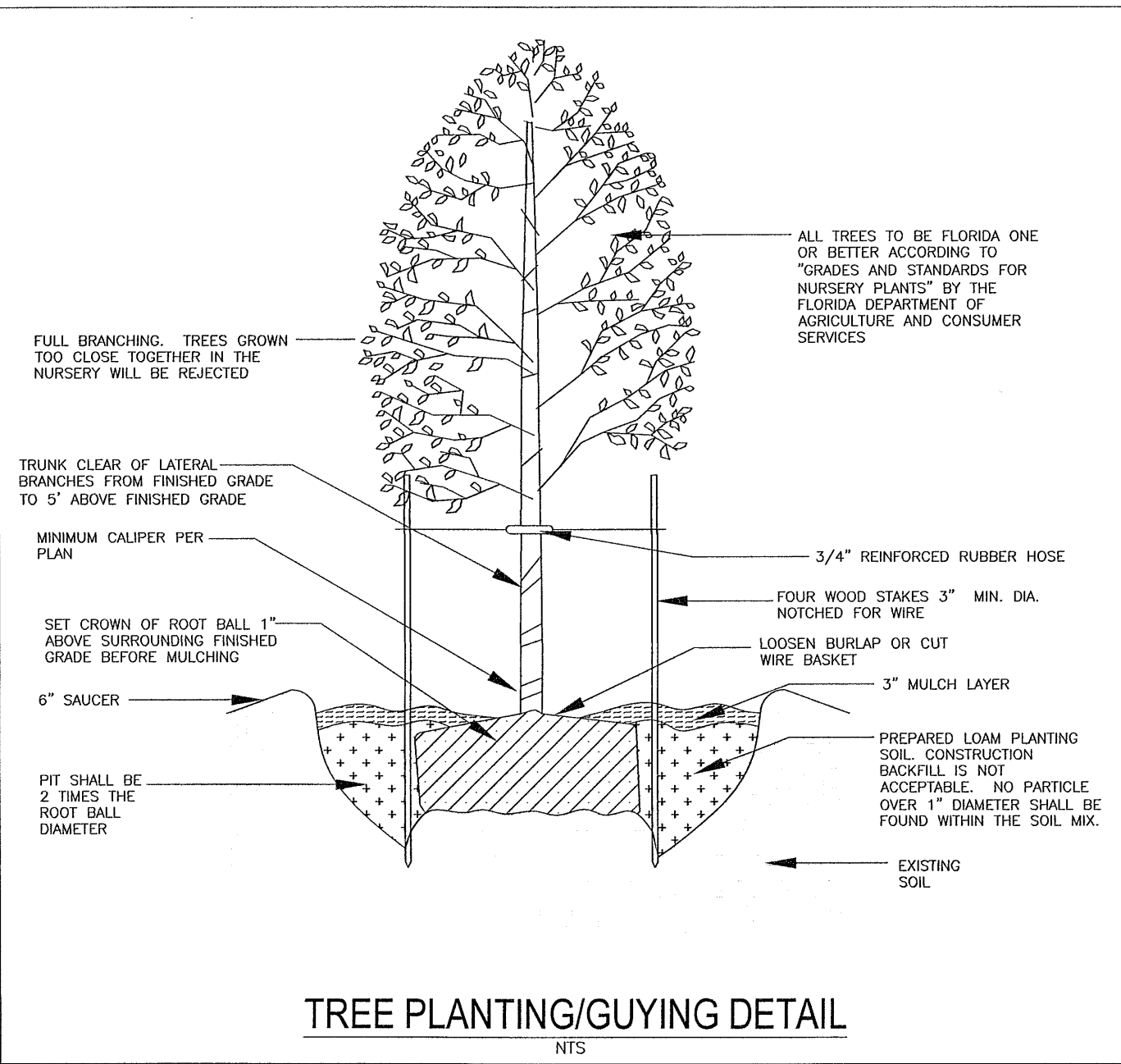
NOTE: ALL FENCES INSTALLED SHALL HAVE FINISHED SIDE FACING OUT.



### TYP. BOLLARD DETAIL

N.T.S.

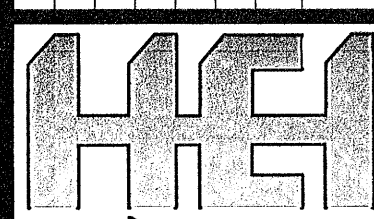
1. 6" DIA. SCHEDULE 40 STEEL PIPE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
2. BOLLARDS TO BE PLUMB AND ALIGNED IN A STRAIGHT LINE AND FILLED WITH CONCRETE.
3. TOPS TO BE GROUND SMOOTH W/SQUARE EDGE, THEN PRIMED WITH "END RUST" BY DURO AND PAINTED WITH INDUSTRIAL OIL BASED ENAMEL.



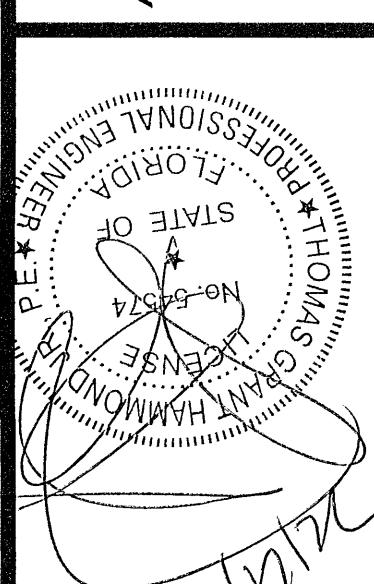
### TREE PLANTING/GUYING DETAIL

NTS

NO.	DATE	REVISIONS
1	06/14/2022	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS



**HAMMOND ENGINEERING, INC.**  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH "S" STREET  
PENSACOLA, FLORIDA 32505  
850 434-2603  
FAX 850-434-2650  
TOM@SELANDDESIGN.COM

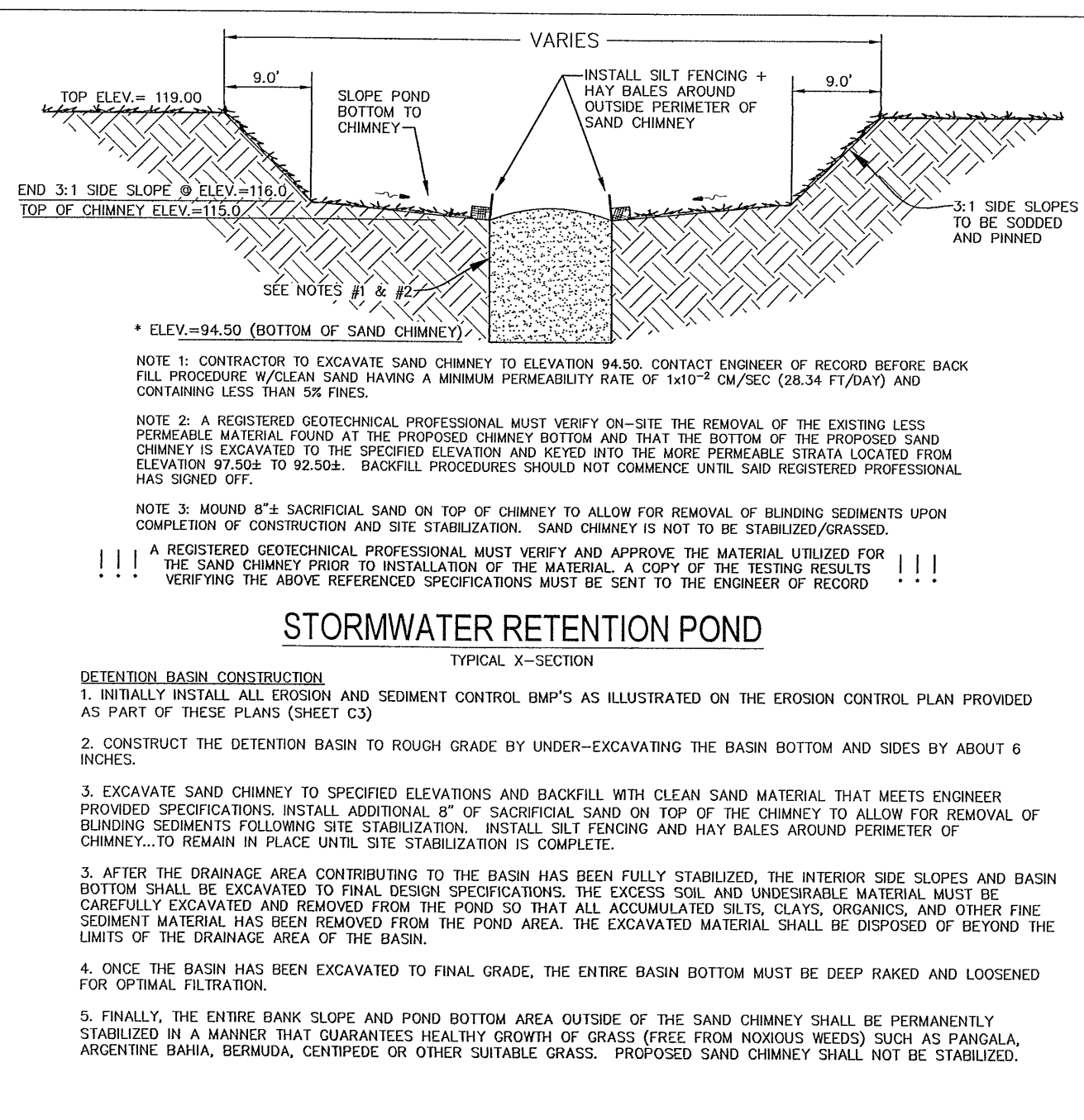
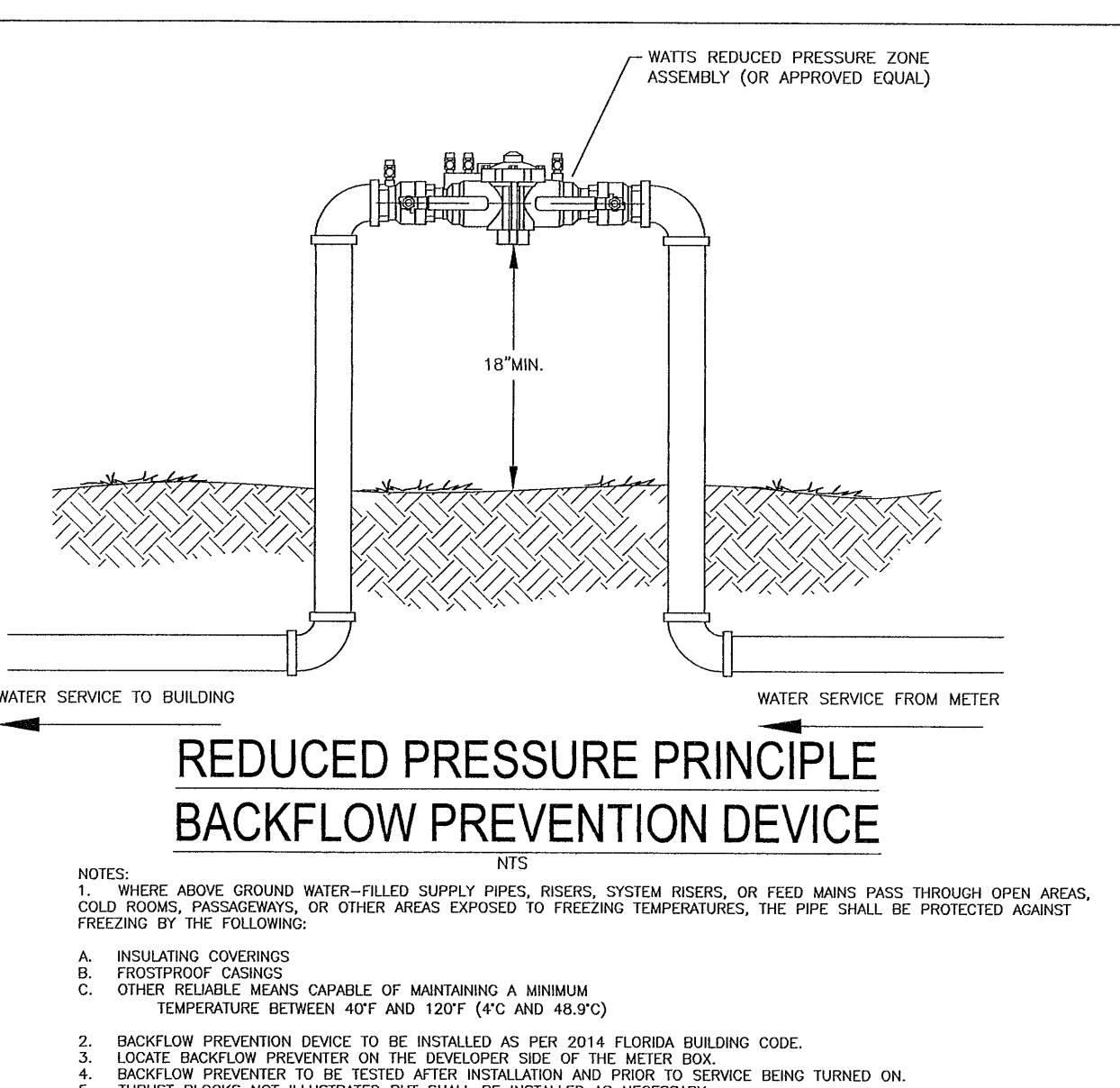
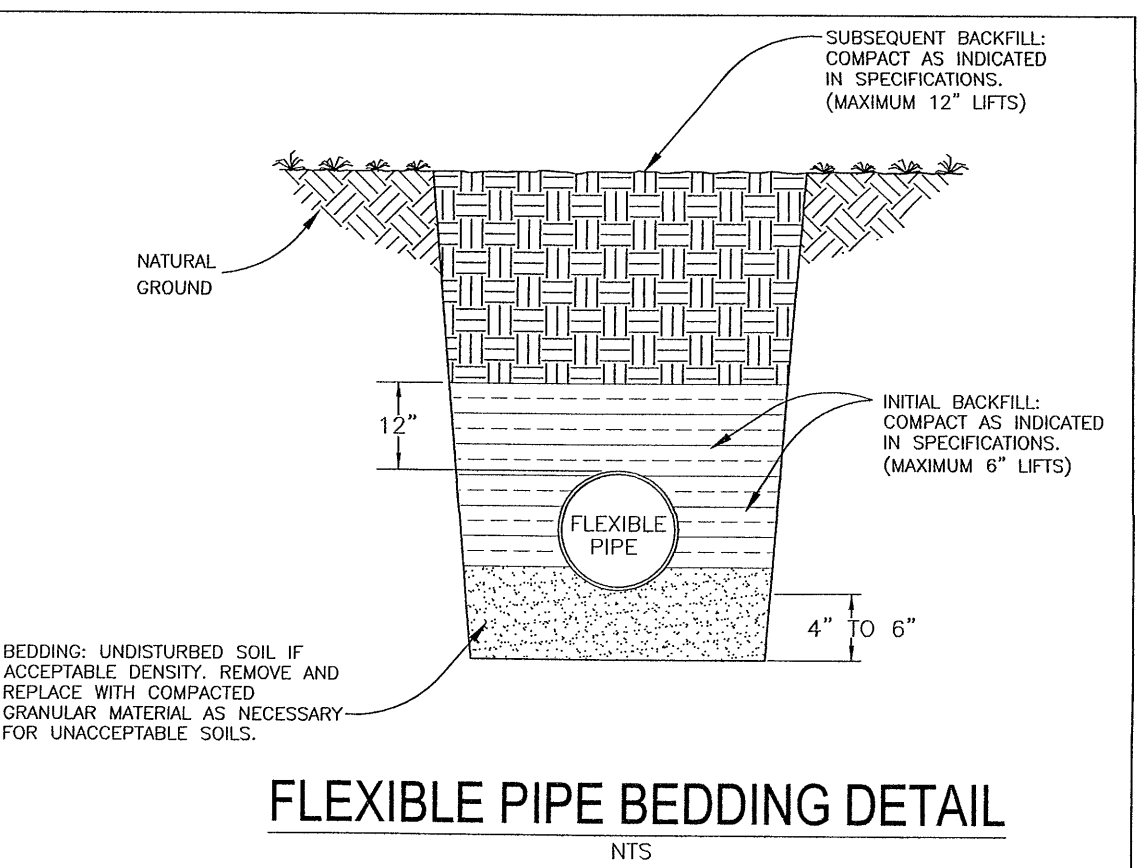
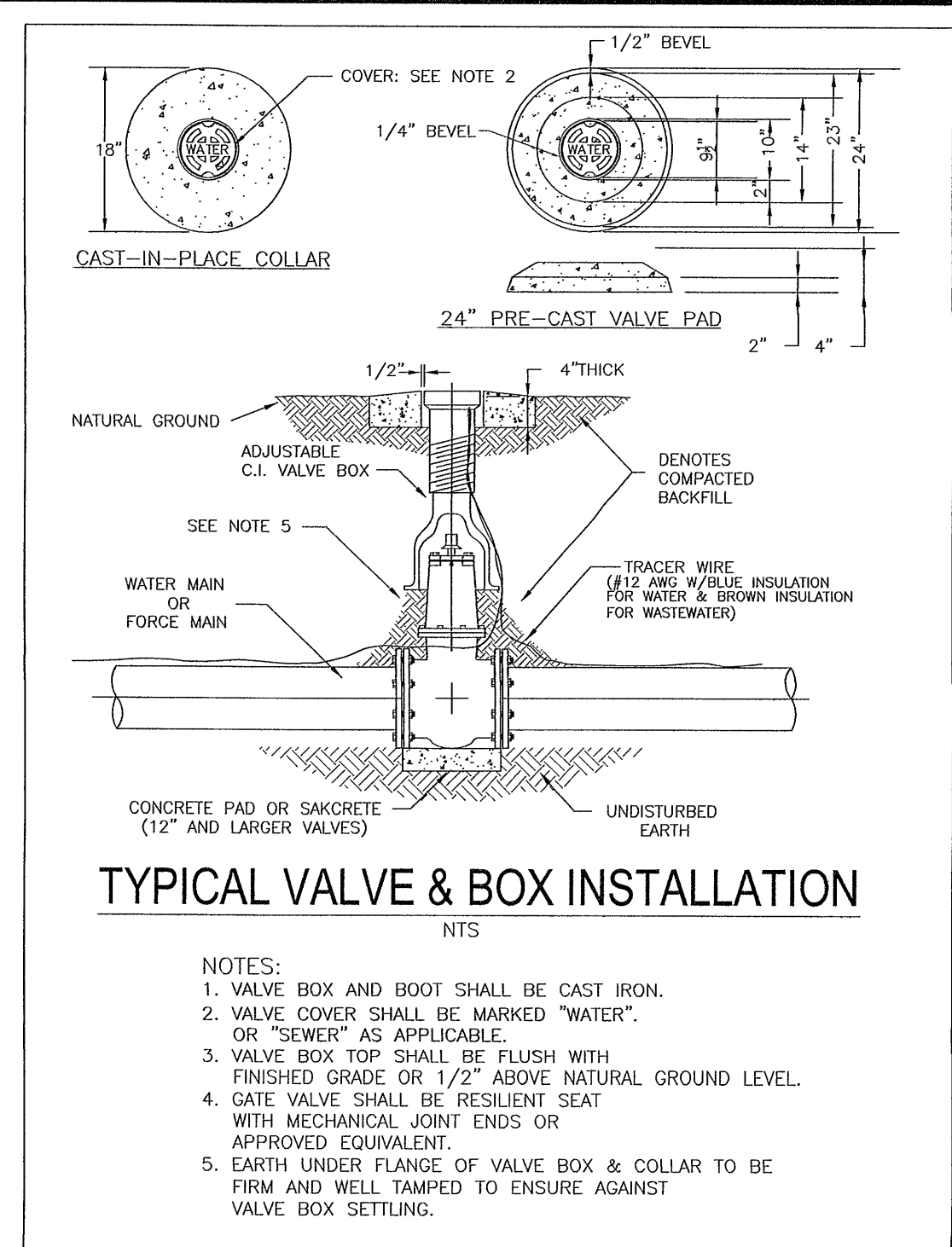
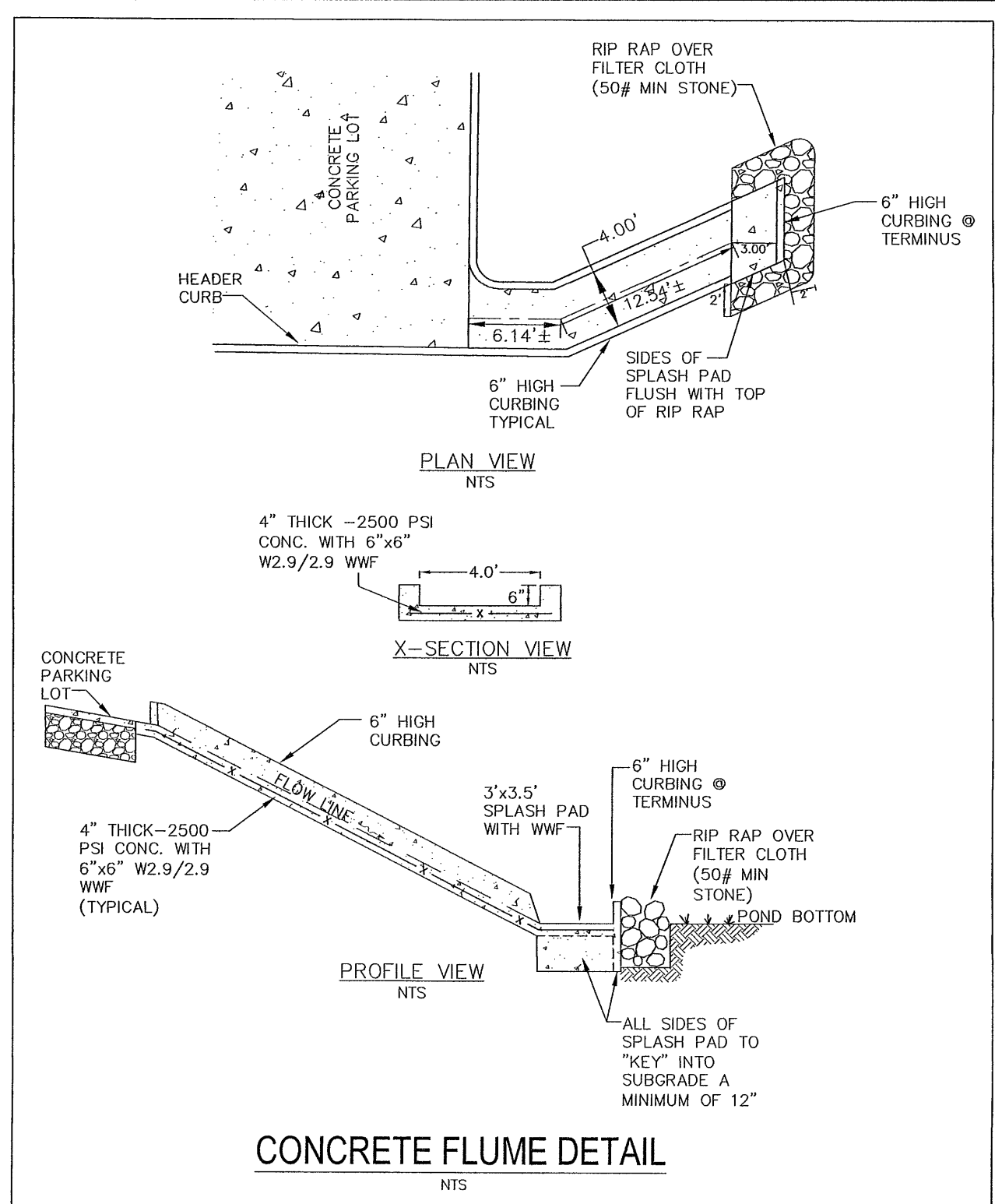
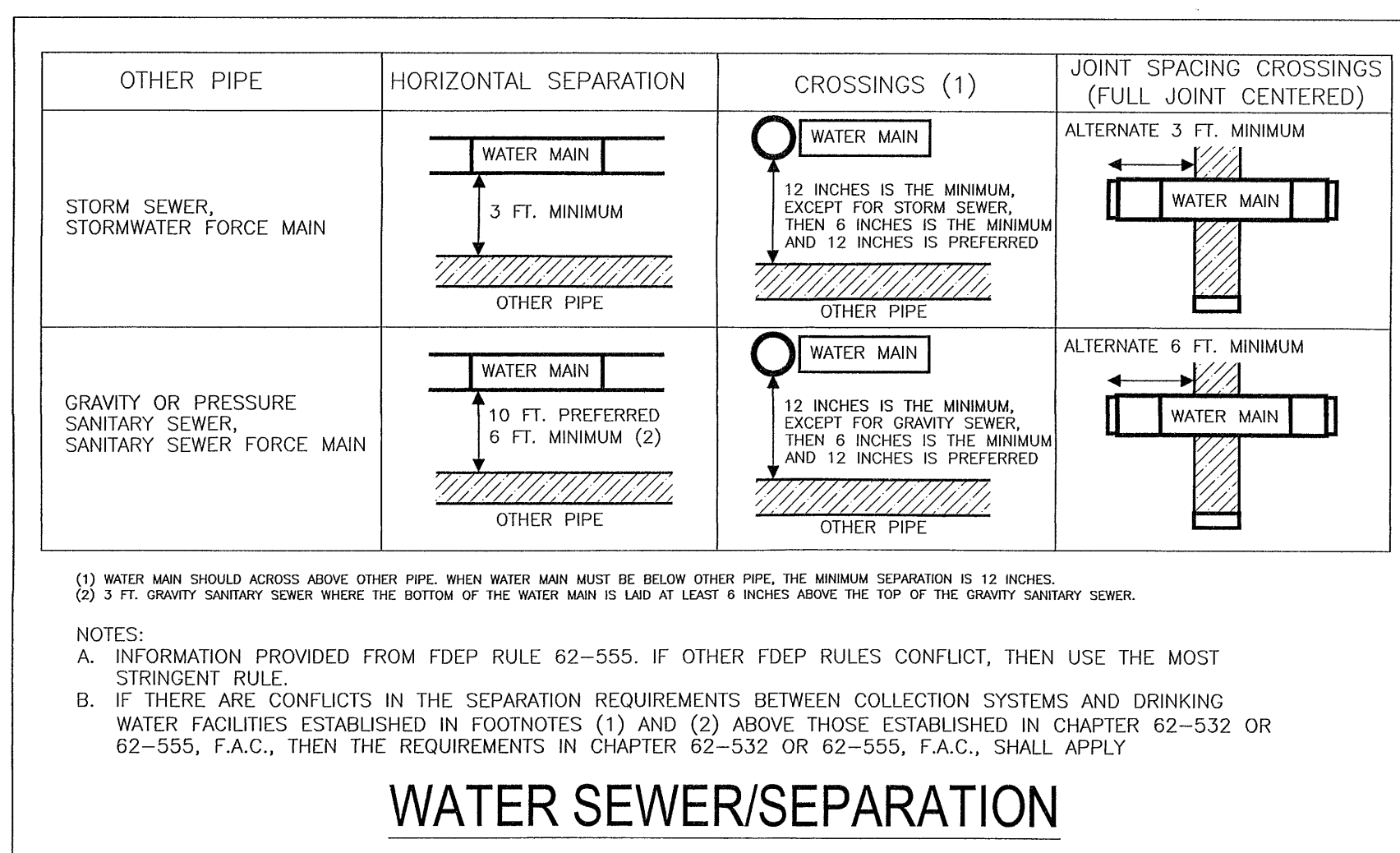
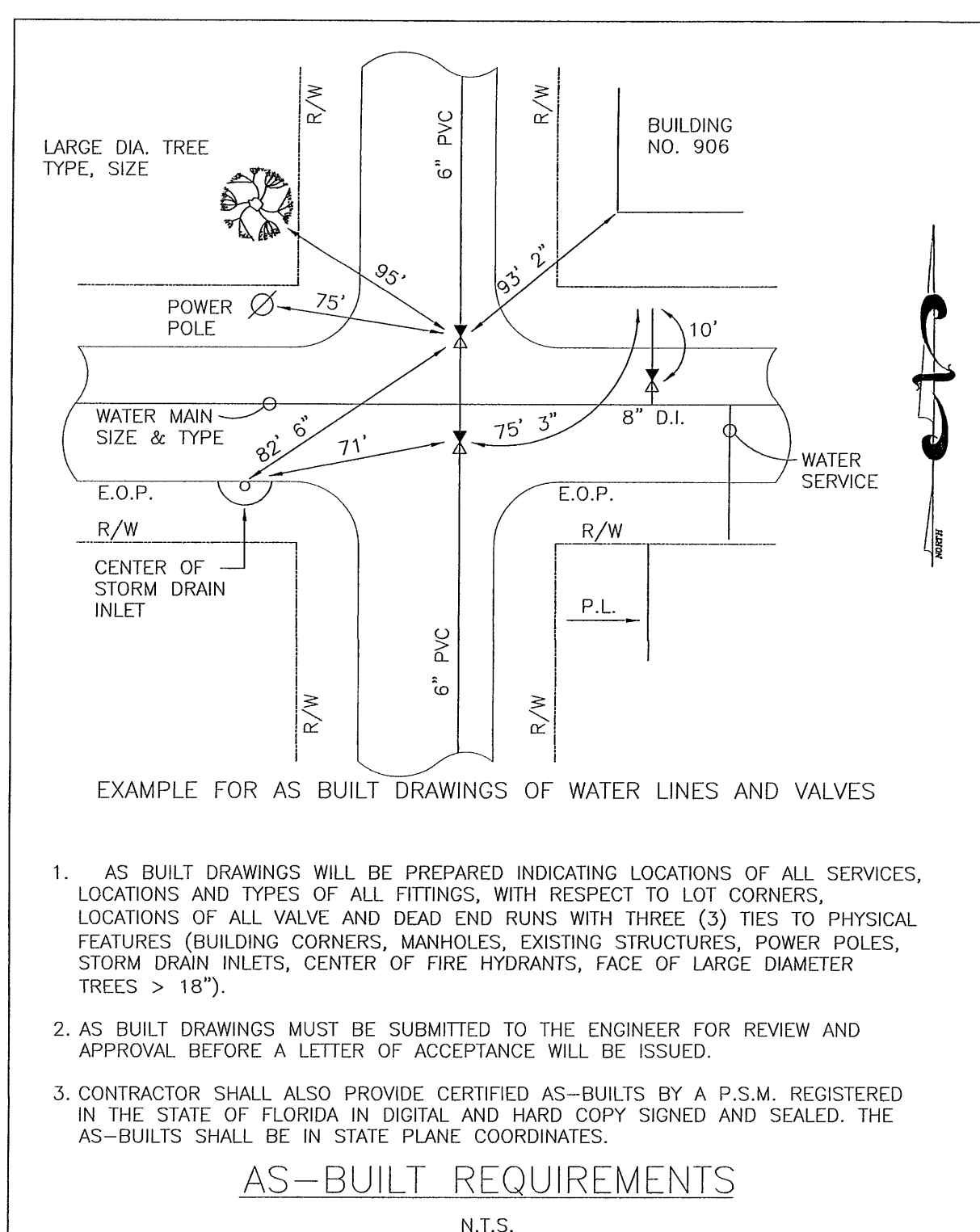
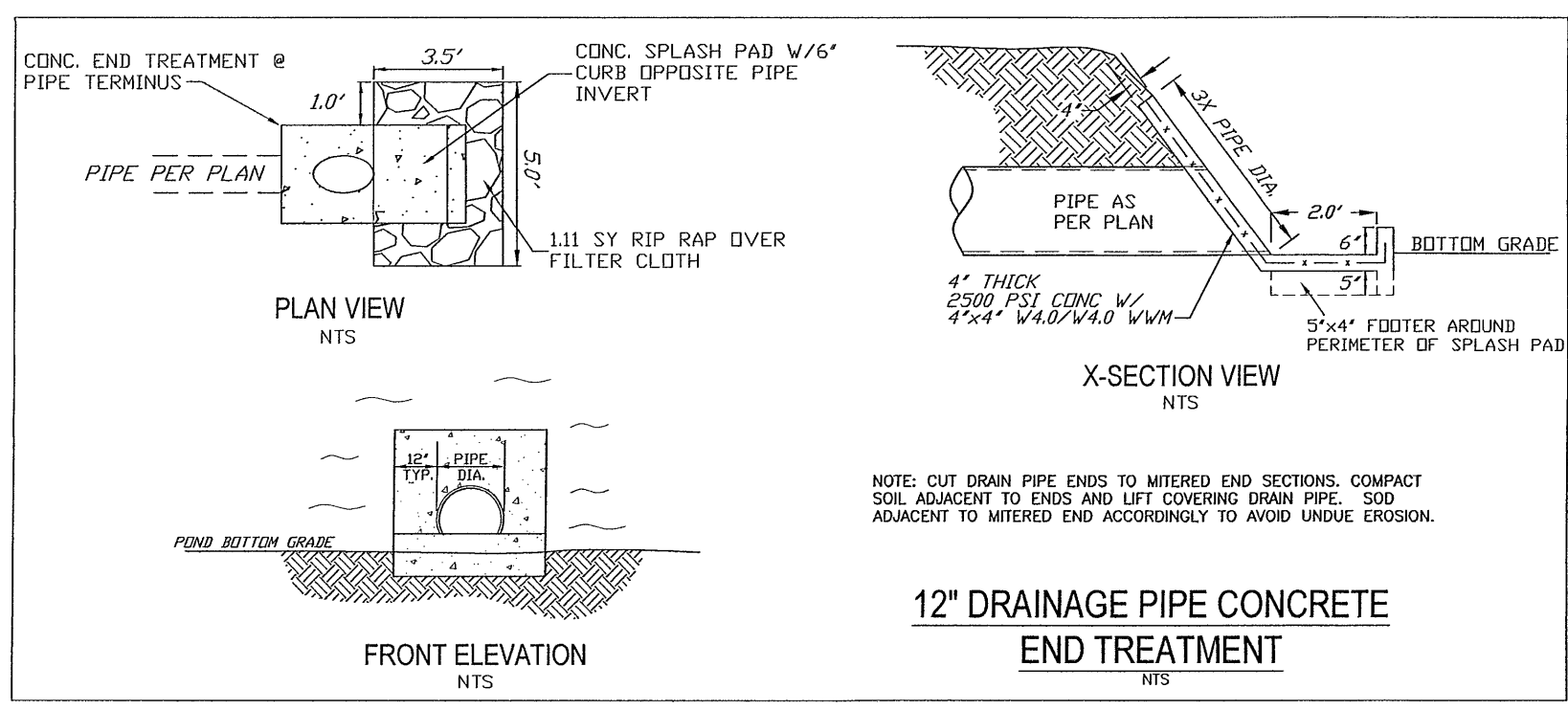
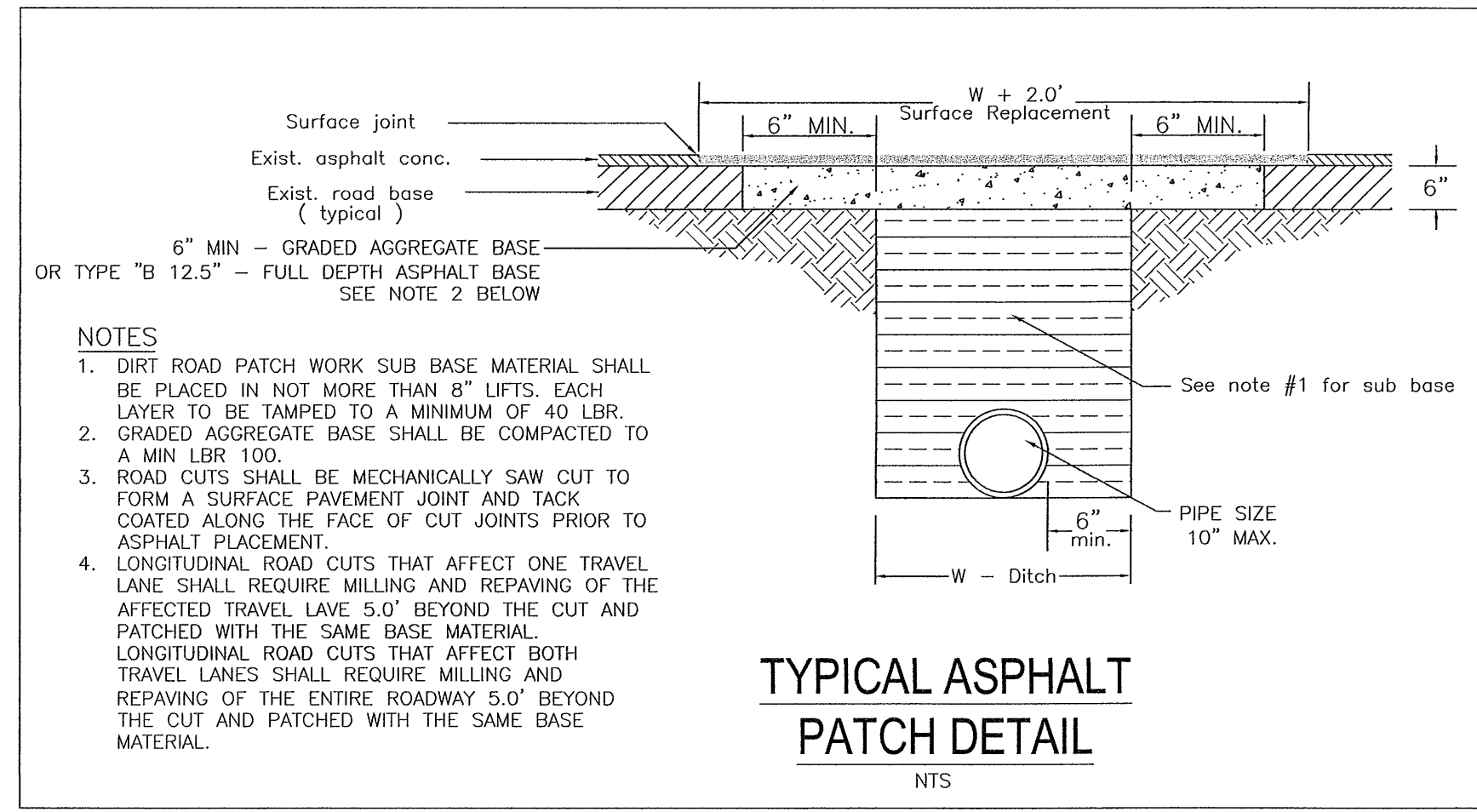
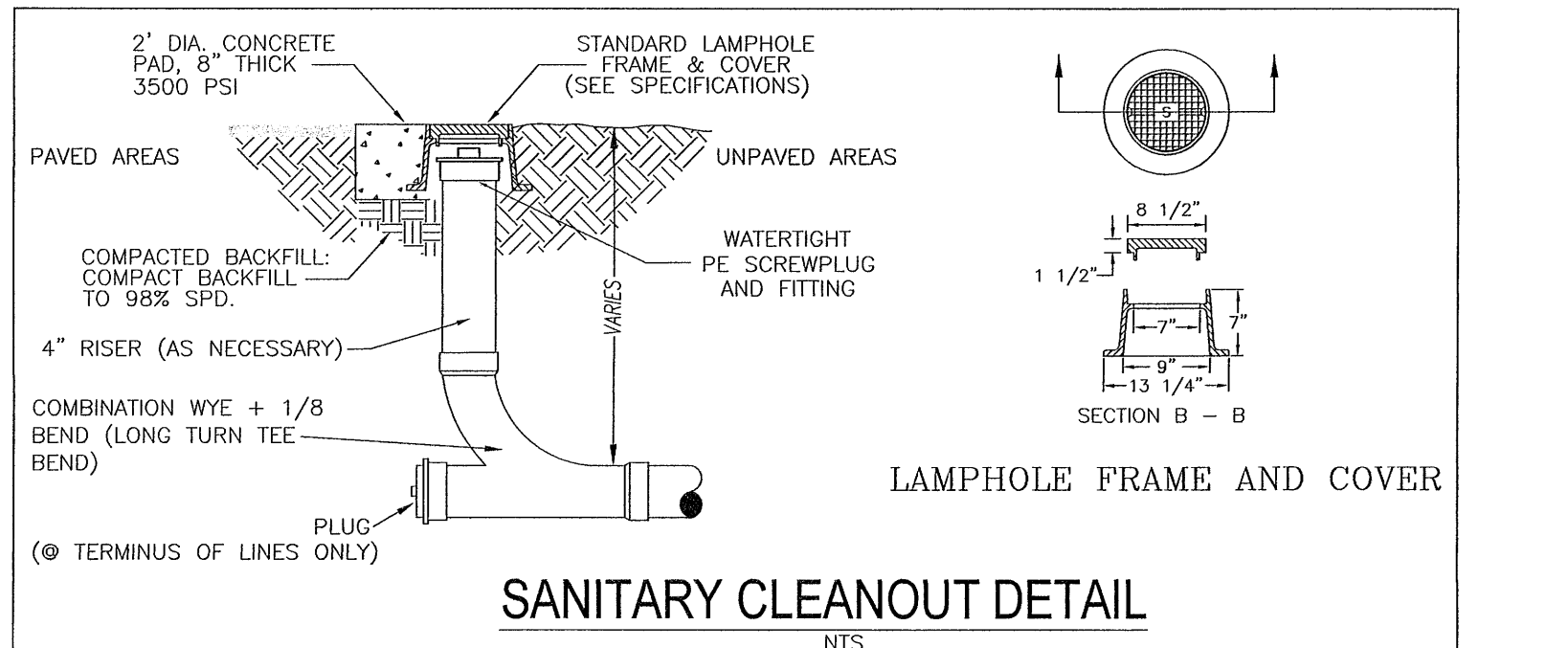
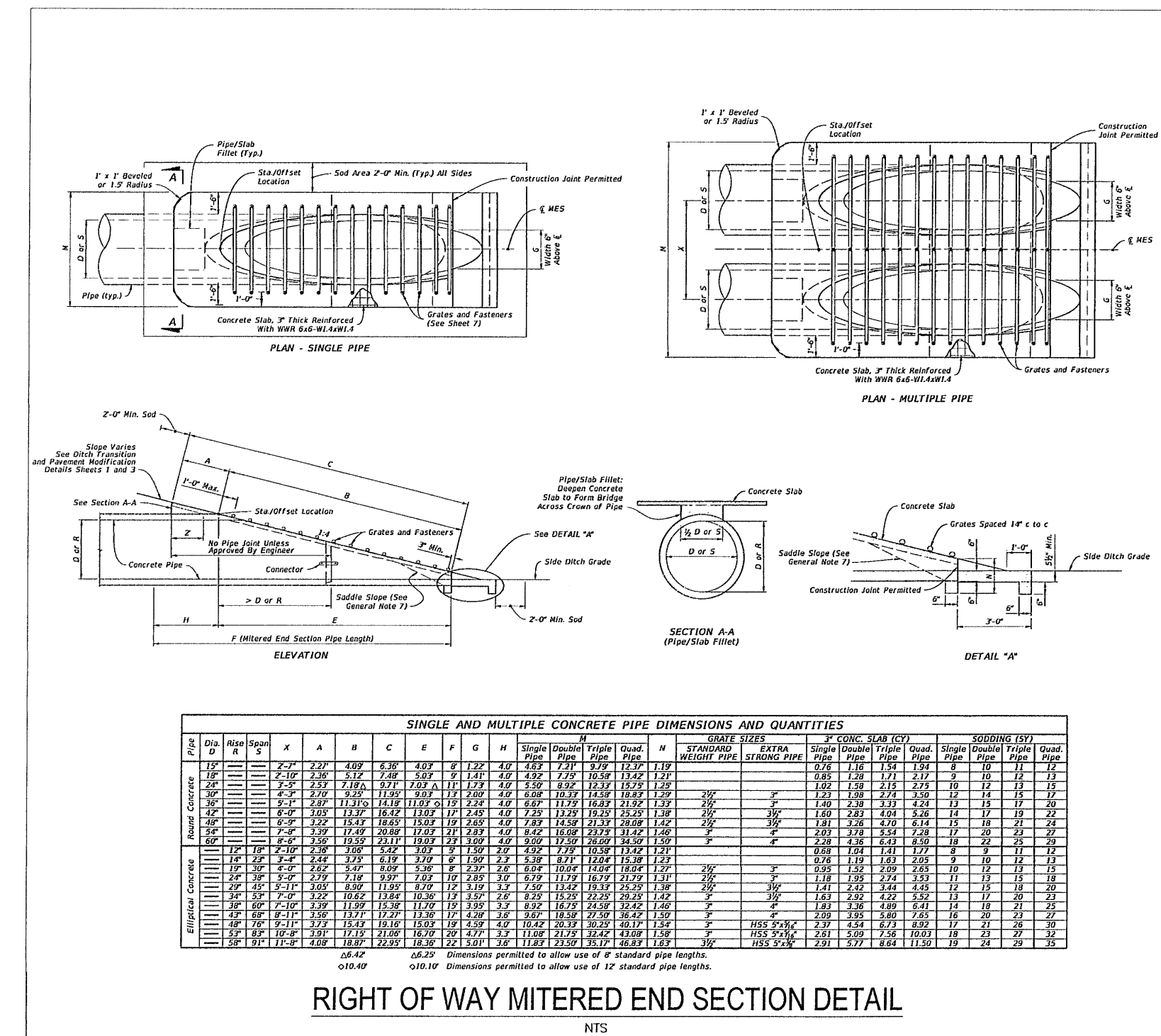


**SITE DEVELOPMENT PLANS FOR H&H ACCESSORY SHOP CONSTRUCTION DETAILS**

DRAWN BY: CUB	DESIGNED BY: RLS
CHECKED BY: TGH	DATE: 05/20/2022
SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION
PROJECT NO: 21-104	SHEET: C10

FLORIDA  
ESCAMBIA COUNTY





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**SITE DEVELOPMENT PLANS FOR H&H ACCESSORY SHOP CONSTRUCTION DETAILS**  
FLORIDA  
ESCAMBIA COUNTY

**PROJECT NO: 21-104**  
**SHEET: C11**