

AGENCY & UTILITY CONTACTS:

LOCAL GOVERNMENT:

ESCAMBIA COUNTY
3363 WEST PARK PLACE
PENSACOLA, FLORIDA 32505
PHONE: 850-595-3475

WATER SERVICES:

MOLINO UTILITIES
1640 MOLINO ROAD
MOLINO, FLORIDA 32577
PHONE: 850-587-5538

TELEPHONE:

BELLSOUTH
605 W. GARDEN STREET
PENSACOLA, FLORIDA 32501
PHONE: 850-436-1662

POWER:

ESCAMBIA RIVER ELECTRIC COOP
P.O. BOX 428
JAY, FLORIDA 32565
PHONE: 800-235-3848

GAS:

ENERGY SERVICES OF PENSACOLA
1625 ATWOOD DRIVE
PENSACOLA, FLORIDA 32504
PHONE: 850-474-5322

CABLE:

COX COMMUNICATIONS
2205 LAVISTA AVE.
PENSACOLA, FLORIDA 32504
PHONE: 850-477-2695

SITE CONSTRUCTION PLANS

FOR

DOLLAR GENERAL®

STORE # 24239

4430 N HIGHWAY 29

ESCAMBIA COUNTY, FLORIDA

APRIL 29, 2022

REVISED MAY 25, 2022

SAFETY NOTICE TO CONTRACTOR:

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.

WARRANTY/DISCLAIMER:

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

LEGAL DESCRIPTION:

AS PROVIDED BY EMC SURVEYOR ON 01/27/2022:
ALL OF THAT TRACT OR PARCEL OF LAND LYING AND BEING IN SECTION 16, TOWNSHIP 2 NORTH, RANGE 31 WEST IN ESCAMBIA COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A RAIL ROAD SPIKE FOUND AT THE SOUTHEAST CORNER OF SECTION 16, TOWNSHIP 2 NORTH, RANGE 31 WEST IN ESCAMBIA COUNTY, FLORIDA AND GO NORTH 02 DEGREES 50 MINUTES 31 SECONDS WEST FOR A DISTANCE OF 50.00 FEET TO THE INTERSECTION OF THE EAST LINE OF SECTION 16 AND THE NORTHERN RIGHT-OF-WAY LINE OF BARRINEAU PARK ROAD (100' R/W); THENCE LEAVING THE EASTERN LINE OF SECTION 16 GO NORTH 87 DEGREES 06 MINUTES 18 SECONDS WEST ALONG THE NORTHERN RIGHT-OF-WAY LINE OF BARRINEAU PARK ROAD FOR A DISTANCE OF 32.68 FEET TO A 1/2" REBAR FOUND CAPPED; THENCE GO NORTH 87 DEGREES 06 MINUTES 18 SECONDS WEST ALONG THE NORTHERN RIGHT-OF-WAY LINE OF BARRINEAU PARK ROAD FOR A DISTANCE OF 2,228.16 FEET TO A 5/8" REBAR SET CAPPED LB8367 SAID POINT BEING THE POINT OF BEGINNING.

FROM SAID POINT OF BEGINNING CONTINUE ALONG THE NORTHERN RIGHT-OF-WAY LINE OF BARRINEAU PARK ROAD NORTH 87 DEGREES 06 MINUTES 18 SECONDS WEST FOR A DISTANCE OF 255.00 FEET TO A 1/2" REBAR FOUND CAPPED AT THE INTERSECTION OF THE NORTHERN RIGHT-OF-WAY LINE OF BARRINEAU PARK ROAD AND THE EASTERN RIGHT-OF-WAY LINE OF U.S. HIGHWAY 29/STATE ROAD 95 (200' R/W); THENCE GO NORTH 02 DEGREES 41 MINUTES 17 SECONDS EAST ALONG THE EASTERN RIGHT-OF-WAY LINE OF U.S. HIGHWAY 29/STATE ROAD 95 FOR A DISTANCE OF 255.00 FEET TO A 1/2" REBAR FOUND STAMPED PITTMAN; THENCE LEAVING THE EASTERN RIGHT-OF-WAY LINE OF U.S. HIGHWAY 29/STATE ROAD 95 GO SOUTH 87 DEGREES 06 MINUTES 18 SECONDS EAST ALONG A COMMON PROPERTY LINE WITH CHARLES B. LURIE PROPERTY FOR A DISTANCE OF 255.00 FEET TO A 1/2" REBAR FOUND STAMPED PITTMAN; THENCE GO SOUTH 02 DEGREES 41 MINUTES 17 SECONDS WEST ALONG A COMMON PROPERTY LINE WITH CHARLES B. LURIE PROPERTY FOR A DISTANCE OF 255.00 FEET TO A 5/8" REBAR SET CAPPED LB8367 ON THE NORTHERN RIGHT-OF-WAY LINE OF BARRINEAU PARK ROAD AND THE POINT OF BEGINNING.

SAID TRACT CONTAINS 1.493 ACRES ~ 65,024 SQ.FT.

THE ABOVE-DESCRIBED TRACT OF LAND IS THE SAME PROPERTY AS DESCRIBED IN OFFICIAL RECORD BOOK 5859, PAGES 459-460 AND IS CONTIGUOUS WITH NO GAPS OR GORES.

LAND DISTURBANCE NOTE:

ALL LAND DISTURBING ACTIVITIES, INCLUDING TREE REMOVAL, SHALL ONLY COMMENCE AFTER PROPER PERMITS ARE OBTAINED FROM ESCAMBIA COUNTY FOR THIS ACTIVITY.

FLOOD ZONE NOTE:

THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND .2-PERCENT ANNUAL CHANCE FLOODPLAINS. NO BFEs OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0240G, MAP REVISION DATED SEPTEMBER 29, 2006. PRELIM MAPS JANUARY 27, 2017, MAP PANEL NUMBER 12033C0290J.

FEMA FLOOD INSURANCE RATE MAP INFORMATION					
THE TRACT SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONES AS DETAILED BY FEMA FIRM FLOOD INSURANCE RATE MAP INFORMATION DESCRIBED BELOW:					
FLOOD ZONES	COMMUNITY NO	MAP NO	PANEL NO	SUFFIX	MAP REVISION DATE
X	120080	12033C	0240	G	SEPT 29, 2006
X	120080	12033C	0290	J	JAN 27, 2017

SIGNAGE NOTE:

ROADWAY: HIGHWAY 29
CLASSIFICATION: ARTERIAL
PROPERTY FRONTAGE: 255 LF
BUILDING FRONTAGE AT GRADE: 140.8 LF
BLDG SETBACK FROM HIGHWAY 29 R/W: ~57 LF

PER 5-8.8(c)(2)a. EITHER ONE FREESTANDING SIGN A MAXIMUM OF 32 SF IN AREA AND SIX FEET IN HEIGHT, OR A MAXIMUM OF 2 SF OF WALL SIGN AREA PER LINEAL FOOT OF BUILDING FRONTAGE AT GRADE (140.8LFx2SF/LF=281SF).

SEE EXEMPTIONS IN SECTION 5-8.6.


A VALID ESCAMBIA COUNTY SIGN PERMIT MUST BE OBTAINED PRIOR TO ERECTING, CONSTRUCTING, ALTERING, OR RELOCATING ANY SITE SIGNAGE.

OWNER/DEVELOPER:


Teramore Development, LLC
P.O. Box 6460
Thomasville, GA 31758
(229) 516-4289

ENGINEER OF RECORD:



Bell Engineering Services, LLC
Jennifer D. Bell, P.E. (FL #64666)
Pensacola, Florida 32503
(850) 723-7185
EB 00029198



Approved ESCAMBIA COUNTY DRC PLAN REVIEW	
DRC Chairman Signature: 	Date: 6/1/2022
Printed Name: Eric Johnson Development Services Director or Designee	
This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.	

DRAWING INDEX

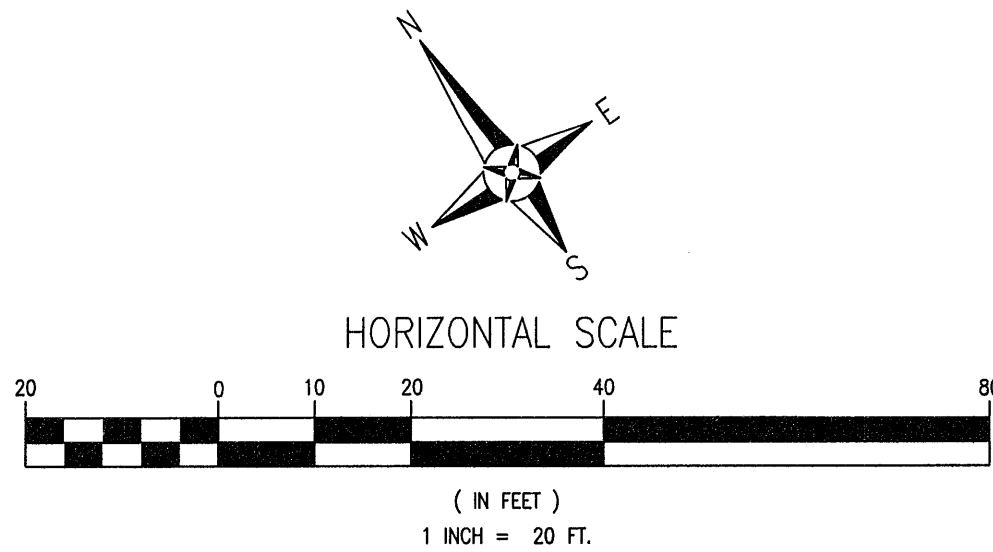
C1.0	EXISTING SITE, DEMOLITION & EROSION CONTROL PLAN
C1.1	GENERAL NOTES, TREE TABLE & EROSION CONTROL DETAILS
C1.2	NPDES - STORMWATER POLLUTION PREVENTION PLAN
C2.0	SITE LAYOUT & DIMENSION PLAN
C2.1	MISCELLANEOUS SITE DETAILS
C3.0	GRADING & DRAINAGE PLAN
C3.1	GRADING & DRAINAGE DETAILS
C4.0	UTILITY PLAN
C5.0	LANDSCAPE PLAN

SITE INFORMATION:


















PROPERTY REFERENCE NO:	16-2N-31-4000-000-007
PROPERTY ADDRESS:	4430 N HIGHWAY 29
PROPERTY AREA:	1.493 ACRES (65,024 SF)
PROJECT AREA:	1.493 ACRES (65,024 SF)
FLOOD MAP:	 FLOOD ZONE "X", MAP #12033C0240-G, DATED 09-29-2006 FLOOD ZONE "X", MAP #12033C0290-J, DATED 01-27-2017
PROPERTY ZONING:	RMU (RURAL MIXED-USE)
FUTURE LAND USE:	RC (RURAL COMMUNITY)
PROPOSED ACTIVITY:	RETAIL - THIS PROJECT RECEIVED CONDITIONAL USE TO ALLOW A RETAIL BUILDING GREATER THAN 6,000 SF IN RMU ZONING FROM ESCO BOARD OF ADJUSTMENTS ON 04/20/22. SEE CONDITIONAL USE CASE # CU-2022-05.
REQUIRED BUILDING SETBACKS RMU (PER LDC SECTION 3-2.4):	FRONT YARD - 40' SIDE YARD - 5' (OR 10% OF LOT WIDTH @ ROW, NTE 15' REAR YARD - 40'

DATE	#	REVISION DESCRIPTION
05/25/22		FDOT DRAINAGE REVIEW
05/25/22		ESCO DEVELOPMENT REVIEW

BELL ENGINEERING SERVICES PROJECT#: 2022007



BENCHMARK TABLE:				
ELEV 165.15 (NAVD 88 12b) TBM NO. 1: BMS/COTTONSPINDLESET N:622328.08, E:1072675.68				
FEMA FLOOD INSURANCE RATE MAP INFORMATION				
THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONES AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:				
FLOOD ZONES	COMMUNITY NO.	MAP NO.	PANEL NO.	SUFFIX
X	120080	12033C	0240	G
X	120080	12033C	0290	J
SPEED LIMIT TABLE				
SPEED LIMIT	ROADWAY			
45 MPH	BARRINEAU PARK ROAD			
45 MPH	US HIGHWAY 29/SR 95			

LEGEND	
	EXISTING ASPHALT
	EXISTING EASEMENT
	DEMOLITION
	BENCHMARK
	FIRE HYDRANT
	TELEPHONE SERVICE BOX
	6"x6" RW MONUMENT
	UTILITY POLE
	PEDESTAL
	WATER VALVE
	SIGN
<hr/>	
	BOUNDARY LINE
<hr/>	
	LOT LINE
<hr/>	
	RIGHT-OF-WAY LINE
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	WATER LINE
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	EXISTING OVERHEAD UTILITY LINE
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	EXISTING CONTOUR
<hr/>	
	SILT FENCE

- GENERAL NOTES:**
- ALL WORK IN THE RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE FOLLOWING: STANDARD PLANS FOR ROAD & BRIDGE CONSTRUCTION, THE PLANS PREPARATION MANUAL (PPM), AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AGENCIES.
 - THE LOCATION OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS IS BASED ON INFORMATION PROVIDED BY THE UTILITIES AND SHALL BE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
 - THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENTS OF THE WATER, SANITARY SEWER, GAS, TELEPHONE, CABLE TELEVISION, AND POWER COMPANIES 10 DAYS IN ADVANCE THAT HE INTENDS TO START WORK IN A SPECIFIED AREA. THE OWNER DISCLAIMS ANY RESPONSIBILITY FOR THE SUPPORT AND PROTECTION OF SEWERS, DRAINS, WATER PIPES, GAS PIPES, CONDUITS OF ANY KIND, UTILITIES OR OTHER STRUCTURES OWNED BY THE CITY, COUNTY, STATE OR BY PRIVATE OR PUBLIC UTILITIES LEGALLY OCCUPYING ANY STREET, ALLEY, PUBLIC PLACE OR RIGHT-OF-WAY.
 - ALL SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND STRUCTURES, WHICH ARE NOT IN SERVICE AS NECESSARY FOR THE INSTALLATION OF PROPOSED IMPROVEMENTS. THESE INCLUDE PIPES, VALVES, DRAINAGE STRUCTURES, ETC., AS INDICATED ON THE CONTRACT PLANS. CONTRACTOR SHALL NOTIFY THE PROJECT OWNER AND ENGINEER OF ALL DISCOVERED UNDERGROUND STRUCTURES WHICH ARE IN CONFLICT WITH THE INSTALLATION OF THE PROPOSED IMPROVEMENTS AND ARE NOT INDICATED ON THE CONTRACT PLANS OR LOCATED IN THE FIELD BY UTILITIES IN ACCORDANCE WITH GENERAL NOTES.
 - THE RELOCATION OF OBSTRUCTIONS OWNED BY PRIVATE PROPERTY OWNERS, SUCH AS MAIL BOXES, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WHO MUST COORDINATE WITH THE PROPERTY OWNER.
 - THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS AND GUARDS DURING ALL PHASES OF CONSTRUCTION, IN ACCORDANCE WITH APPLICABLE FDOT INDEX.
 - ALL AREAS NOT PAVED OR DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED BY SEEDING AND MULCHING OR SODDING. SEED AND MULCH OR SOD SHALL BE PLACED, WATERED, FERTILIZED WITH APPROPRIATE SOIL AMENDMENTS IN ACCORDANCE WITH THE FDOT STANDARD SPECIFICATIONS AND THESE CONSTRUCTION DOCUMENTS.
 - ALL EXCESS MATERIAL SHALL BE HAULED AWAY AND DISPOSED OF APPROPRIATELY AT THE CONTRACTOR'S EXPENSE.
 - ALL CONSTRUCTION AROUND TREES SHALL BE DONE IN A MANNER TO MINIMIZE DAMAGE TO THE TREE AND ITS ROOT SYSTEM.
 - THE CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND THE EXTENT OF CLEARING AND GRUBBING REQUIRED.
 - ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
 - THE CONTRACTOR IS TO COORDINATE WITH THE RESPONSIBLE UTILITY PROVIDER FOR PROTECTION/HOLDING OF UTILITY POLES, GUY WIRES, AND GUY ANCHORS IN AREAS OF CONSTRUCTION. THE CONTRACTOR SHALL INCLUDE THE COST OF PROTECTING UTILITY POLES IN THEIR OVERALL PRICE TO THE OWNER.
 - DAMAGE TO EXISTING ROADS DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR PRIOR TO FINAL "AS-BUILT" SIGN-OFF FROM THE COUNTY.

- SURVEYOR NOTES (MODIFIED):**
- SEE ASSOCIATED BOUNDARY/TOPO SURVEY PROVIDED BY EMC ENGINEERING
- TOTAL AREA IN TRACT 1 = 1.493 AC
 - THIS SURVEY WAS MADE USING A GEOMAX ZOOM 90 ROBOTIC TOTAL STATION TO OBTAIN LINEAR AND ANGULAR MEASUREMENTS.
 - THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 21,724 FEET AND AN ANGULAR ERROR OF 0 DEGREES 00 MINUTES AND 01 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE.
 - THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 1,020,000,000 FEET.
 - THERE IS NO KNOWN NATIONAL GEODETIC SURVEY MONUMENT WITHIN 500 FEET OF ANY POINT ON THE PROPERTY PLATTED, OR ANY POINT OF REFERENCE THEREON.
 - CERTAIN DATA SHOWN ON THIS PLAT WAS OBTAINED UTILIZING GPS (GLOBAL POSITIONING SYSTEMS). IT INCLUDES: BASIS OF BEARINGS, HORIZONTAL CONTROL, AND VERTICAL CONTROL. THE EQUIPMENT USED TO OBTAIN THIS DATA WAS A CHAMPION PRO GPS RECEIVER WITH A CARLSON RT3 DATA COLLECTOR.
 - THE HORIZONTAL DATUM AS REFERENCED HEREIN IS BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD83). THE VERTICAL DATUM (ELEVATIONS) SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BOTH DATUMS REFERENCED ABOVE WERE ESTABLISHED ON SITE USING SAID THE FLORIDA PREEMINENT REAL TIME GPS NETWORK USING GEIOD12B.
 - THIS PROPERTY IS IN FLOOD ZONE "X" AS PER FLOOD INSURANCE RATE MAP FOR ESCAMBIA COUNTY, FLORIDA, AND INCORPORATED AREAS, PANEL 240 OF 606, AS SHOWN ON MAP NUMBER 12033C0240G, WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 2006.
 - ZONE "X" DENOTES AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
 - THERE IS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS.
 - THERE ARE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
 - UTILITY LOCATE TICKET NO. 00000 010200734-000 AND 00000 010200674-000, DATED: JANUARY 10, 2022.
 - THERE WERE NO WETLANDS DELINEATED AT THE TIME OF SURVEY.
 - THE PROPERTY HAS DIRECT ACCESS TO US HIGHWAY 29 AND BARRINEAU PARK ROAD.

- EROSION CONTROL NOTES:**
- THE CONTRACTOR SHALL ESTABLISH EROSION CONTROL PRIOR TO COMMENCING ANY CONSTRUCTION OR DEMOLITION ON THE PROJECT. EROSION CONTROL BARRIER PLACEMENT AS INDICATED IS A SUGGESTION ONLY AND DOES NOT RELIEVE THE CONTRACTOR FROM CONTROLLING EROSION AND SEDIMENT WITHIN THE PROJECT SITE. EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE AND BE MAINTAINED DURING THE ENTIRE TIME OF CONSTRUCTION AND DEMOLITION ON THE PROJECT.
 - AN EROSION CONTROL BARRIER IS TO BE PLACED ALONG ALL BOUNDARIES OF THE PROJECT AREA AS SHOWN BEFORE CONSTRUCTION BEGINS AND REMAIN IN PLACE UNTIL CONSTRUCTION IS FINISHED AND ACCEPTED AND FINAL STABILIZATION IS COMPLETE.
 - THE CONTRACTOR SHALL INSPECT AND REESTABLISH EROSION CONTROL BARRIERS WEEKLY AND AFTER EVERY SIGNIFICANT STORM EVENT.

US HIGHWAY 29
STATE ROAD 95
200' R/W (PUBLIC)

BARRINEAU PARK ROAD
100' R/W (PUBLIC)

TREE CHART			
T-1	19.2"	WATER OAK	REMOVE
T-2	18"	WATER OAK	REMOVE
T-3	13.6"	LIVE OAK	REMOVE

TREE TABLE NOTES:

REMOVE: INDICATES TREE TO BE REMOVED WHICH CONFLICTS WITH PROPOSED SITE LAYOUT. MITIGATION IS REQUIRED FOR REMOVAL OF THIS TREE.

MITIGATION REQUIREMENTS:

TOTAL CALIPER OF PROTECTED TREE REMOVAL IS 50.8"
REPLACEMENT RATIO 50% OF INCHES = 50.8" x 0.5 = 25.4"

PLANTING OPTIONS:

2.5" TREES = 25.4"/2.5" = 10.2" (11 MITIGATION TREES)
MITIGATION TREES REQUIRED W/ MIN 2.5" CALIPER
*LARGER CALIPER TREES MAY BE PLANTED TO REDUCE TOTAL MITIGATION PLANTING QUANTITY.
(SEE C5.0 FOR PROPOSED MITIGATION PLANTING LOCATIONS)

FDOT R/W CLEARING NOTE:
EXISTING VEGETATION ALONG FRONTAGE MAY OCCUR TO IMPROVE SITE VISIBILITY. HOWEVER, NO TREE REMOVAL WITHIN THE STATE R/W SHALL OCCUR WITHOUT PRIOR APPROVAL FROM THE EOR/BDOT (APPROVAL MUST BE PROVIDED IN WRITING)

GOPHER TORTOISE NOTE:
A COMPLETE 100% GOPHER TORTOISE SURVEY SHALL BE COMPLETED (WITHIN THE STATE FWC'S REQUIRED OR SUGGESTED TIMEFRAME) BEFORE SITE WORK COMMENCES. A COPY OF THE REPORT MUST BE PROVIDED TO THE EOR PRIOR TO ANY SITE DISTURBANCE ONSITE.

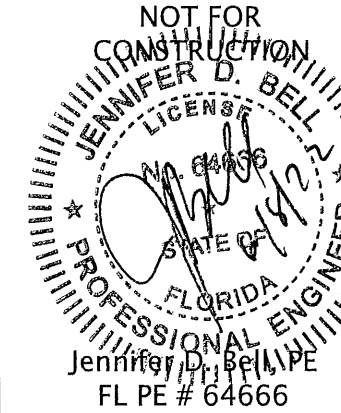
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DOLLAR GENERAL

EXISTING SITE,
DEMOLITION & EROSION
CONTROL PLAN

STORE #24239
4430 N. HIGHWAY 29
ESCAMBIA COUNTY, FLORIDA

DATE	#	REVISION DESCRIPTION
05/25/22	1	FDOT DRAINAGE REVIEW
05/25/22	2	ESCO DEVELOPMENT REVIEW



Job No.: 2022007
Date: 05/25/22

C1.0

BELL
ENGINEERING SERVICES

Jennifer D. Bell, P.E. (FL #64666)
Pensacola, Florida 32503
EB 00029198

GENERAL NOTES FOR SOIL EROSION AND SEDIMENT CONTROL:

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
3. PERMANENT VEGETATION TO BE SEEDDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER GRADING. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED. NEWLY PLACED SOD/SEED IN RIGHT OF WAY SHALL BE WATERED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
4. ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.
- *5. A BITUMINOUS CONCRETE BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE BITUMINOUS CONCRETE BASE SHALL BE INSTALLED WITHIN 15 DAYS OF THE PRELIMINARY GRADING.
- *6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL, ACCORDING TO STATE STANDARDS.
- *7. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).
- *8. A CRUSHED LIMEROCK, VEHICLE WHEEL-CLEANING BLANKET SHALL BE INSTALLED AT THE CONTRACTOR'S STAGING YARD AND/OR STOCKPILE AREAS TO PREVENT OFF-SITE TRACKING OF SEDIMENT BY CONSTRUCTION VEHICLES ONTO PUBLIC ROADS. BLANKET SHALL BE 15FT. X 50FT. X 6IN. (MINIMUM), CRUSHED LIMEROCK 2 1/2 INCHES IN DIAMETER. SAID BLANKET SHALL BE UNDERLAIN WITH A FDOT CLASS 3 SYNTHETIC FILTER FABRIC AND MAINTAINED IN GOOD ORDER.
9. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- *10. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.

11. UNFILTERED DEWATERING IS NOT PERMITTED. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER.
12. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
13. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.
14. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
15. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE NUMBER 2 (ABOVE).
16. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
17. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
18. ALL CATCH BASIN INLETS SHALL BE PROTECTED WITH HAY BALES AS SHOWN ON DETAIL.
19. THE CONTRACTOR SHALL PREPARE A PLAN FOR THE PROPER DEWATERING AND DOWNSTREAM SILTATION PROTECTION OF EACH STREAM CROSSING PRIOR TO EXCAVATING THE STREAM BED. PLAN SHALL BE FORWARDED TO THE ENGINEER FOR APPROVAL. THE ENGINEER SHALL BE NOTIFIED FOR INSPECTION PRIOR TO EACH STREAM CROSSING CONSTRUCTION.
20. ANY AREAS USED FOR THE CONTRACTOR'S STAGING, INCLUDING BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (E.G. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.), SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.

* WHERE APPLICABLE

TEMPORARY SEEDING DETAILS:

SEED BED PREPARATION:
SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS/ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS./ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE:
CONSISTING OF ANNUAL RYE (LOLIUM MULTIFLORUM) AT A RATE OF 174 LBS/ACRE.

PERMANENT SEEDING DETAILS:

SEED BED PREPARATION:
SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS/ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS./ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE CONSISTING OF	RATE	PURITY	GERMINATION
ARGENTINE BAHIA	260 LBS/AC.	95%	80%
PENSACOLA BAHIA	260 LBS/AC.	95%	40%(MIN.)-80%(TOTAL)

SODDING:
SOD SHALL BE WELL ROOT MATTED CENTIPEDE OR BAHIA GRASS COMMERCIALY CUT TO A MINIMUM DIMENSION OF 12" x 24" A MAXIMUM OF 72 HOURS PRIOR TO PLACEMENT. SOD SHALL BE LIVE, FRESH AND UNINJURED, REASONABLY FREE OF WEEDS AND OTHER GRASSES, WITH A HEAVY SOIL MAT ADHERING TO THE ROOT SYSTEM. SOD SHALL BE GROWN, CUT, AND SUPPLIED BY A STATE CERTIFIED GROWER. NEWLY PLACED SOD/SEED IN RIGHT OF WAY SHALL BE WATERED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.

TRAFFIC CONTROL STANDARDS:

1. CONSTRUCTION TRAFFIC SHALL BE RESTRICTED TO ONSITE ACCESS BY MEANS SO DESIGNATED BY THE ENGINEER, POLICE/SHERIFF DEPARTMENT, LOCAL GOVERNMENT ROADS DEPARTMENT, AND/OR THE FLORIDA DEPARTMENT OF TRANSPORTATION.
2. TRAFFIC DURING WET WEATHER SHALL BE MINIMIZED AND APPROPRIATE ROADWAY AND SITE CLEAN-UP SHALL BE PROVIDED BY THE CONTRACTOR AS SOON AS WEATHER CONDITIONS PERMIT.

TREE PROTECTION:

1. DAMAGED TRUNKS OR EXPOSED ROOTS WILL BE PAINTED IMMEDIATELY WITH A GOOD GRADE OF "TREE PAINT".
2. TREE LIMB REMOVAL, WHERE NECESSARY, WILL BE DONE FLUSH TO TRUNK OR MAIN BRANCH AND THAT AREA PAINTED IMMEDIATELY WITH A GOOD GRADE OF TREE PAINT.

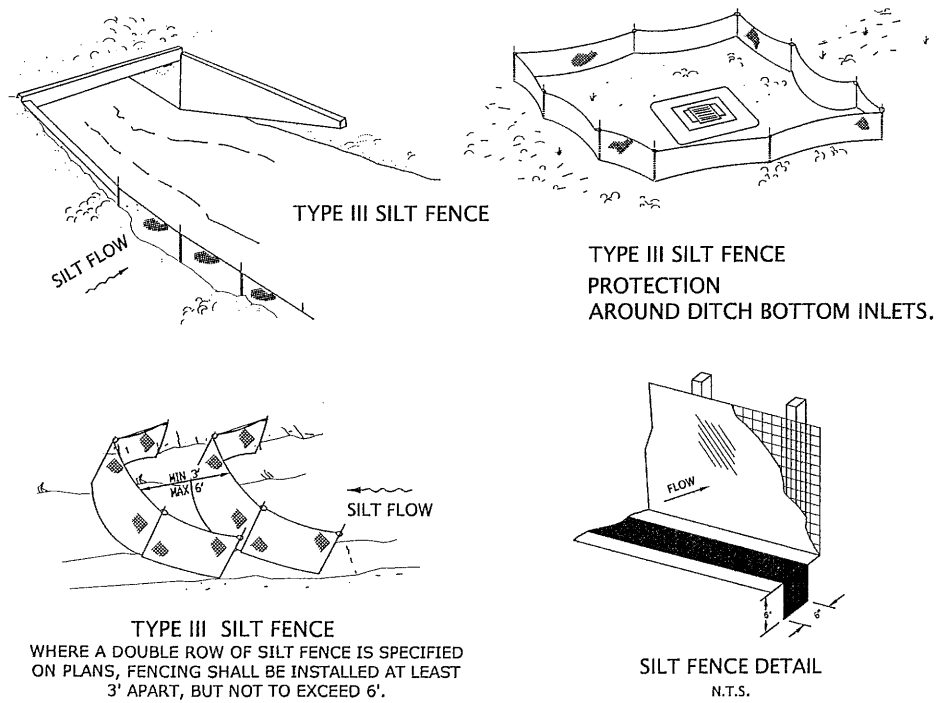
DUST CONTROL:

1. ALL AREAS OF CLEARING AND EMBANKMENT AS WELL AS CONSTRUCTION HAUL ROADS SHALL BE TREATED AND MAINTAINED IN SUCH A MANNER AS TO MINIMIZE ANY DUST GENERATION.
2. DISTURBED AREAS SHALL BE MAINTAINED IN A ROUGH GRADED CONDITION AND TEMPORARILY SEEDDED AND/OR MULCHED UNTIL PROPER WEATHER CONDITIONS EXIST FOR THE ESTABLISHMENT OF PERMANENT VEGETATION COVER.
3. IN EVENT OF EMERGENCY CONDITIONS, TILLAGE WILL BE SATISFACTORY FREE BEFORE SOIL BLOWING STARTS.
4. CALCIUM CHLORIDE MAY BE APPLIED TO UNPAVED ROADWAY AREAS, ONLY, SUBJECT TO THE ENGINEER'S APPROVAL AND CONFORMANCE WITH FDOT STANDARD SPECIFICATIONS, LATEST EDITION.

PROPOSED SEQUENCE OF CONSTRUCTION:

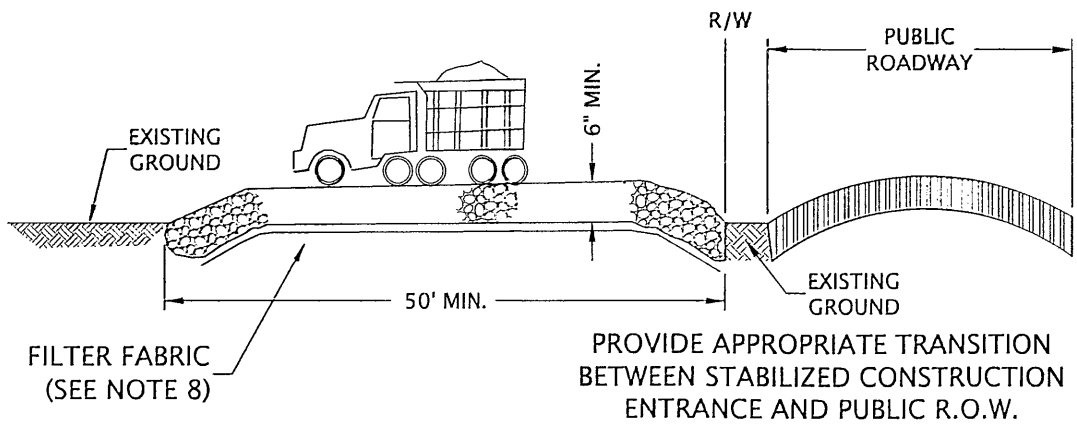
THIS PROJECT SHALL CONSIST OF THE CONSTRUCTION OF SANITARY SEWERS OR WATER MAINS BY THE MOLINO WATER WORKS OR ITS CONTRACTOR WITHIN PUBLIC RIGHTS OF WAY. THE CONSTRUCTION SHOULD PROCEED IN THE FOLLOWING MANNER:

1. INSTALLATION OF ALL SEDIMENT AND EROSION CONTROL DEVICES THAT CAN BE PLACED PRIOR TO ANY MAJOR SOIL DISTURBANCES.
2. CLEAR AND REMOVE ALL EXISTING VEGETATION IN THOSE AREAS WHERE NECESSARY. ALL REMAINING VEGETATION TO BE PROPERLY PROTECTED AND TO REMAIN IN ITS NATURAL STATE. TOPSOIL IN AREAS TO BE DISTURBED TO BE STRIPPED TO A MINIMUM DEPTH OF SIX (6) INCHES AND STOCKPILED SEPARATELY FROM OTHER EXCAVATED SOILS)
3. IMMEDIATE INSTALLATION OF ALL REMAINING SEDIMENT AND EROSION CONTROL DEVICES.
4. INITIATE CONSTRUCTION OF SANITARY SEWER AND/OR WATER MAIN.
5. UPON COMPLETION OF CONSTRUCTION ACTIVITIES, PROVIDE RESTORATION, FINE GRADE REMAINDER OF SITE, RESPREAD STOCKPILED TOPSOIL, AND STABILIZE WITH PERMANENT VEGETATIVE COVER AND LANDSCAPING.
6. REMOVAL OF APPROPRIATE TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.

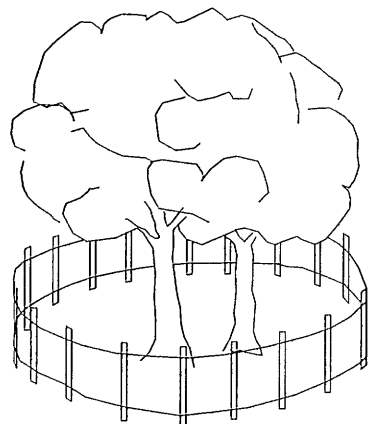


DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.

SILT FENCE APPLICATIONS
N.T.S.

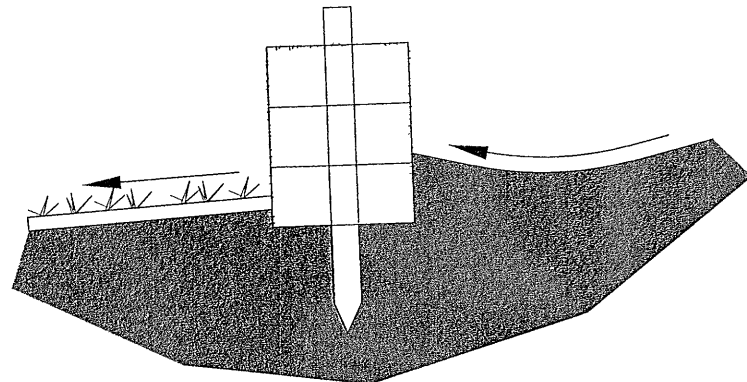


STABILIZED CONSTRUCTION ENTRANCE DETAIL
N.T.S.

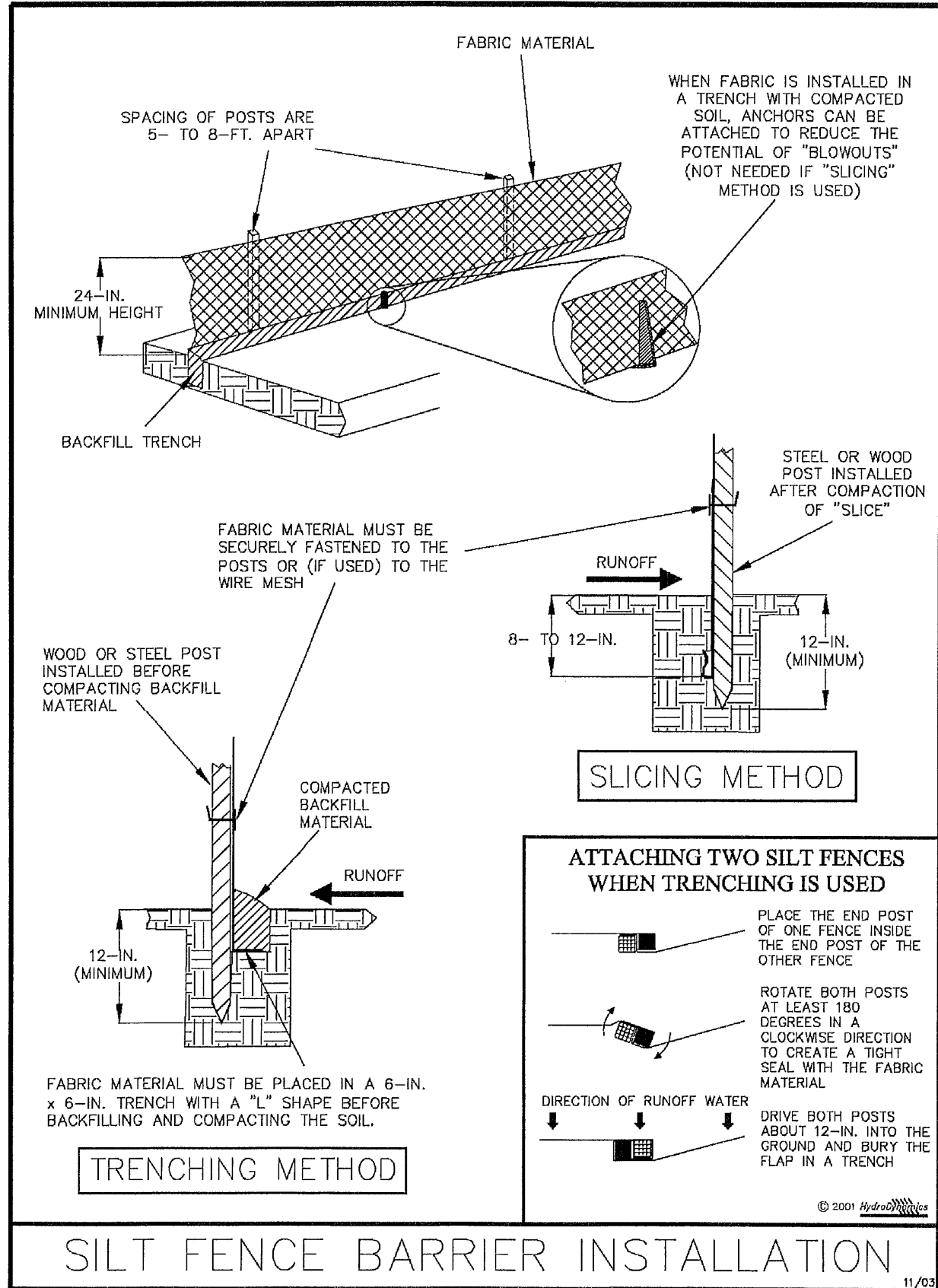


NOTE:
ALL PROTECTED TREES AS SHOWN ON THE PLANS TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING AT THE DRIP LINE OF EACH PROTECTED TREE BEFORE WORKING IN THE VICINITY OF THE TREE. BARRICADES SHALL ALSO BE PROPERLY INSTALLED AND MAINTAINED IN GOOD WORKING ORDER UNTIL SITE BECOMES STABILIZED.

TREE BARRICADE DETAIL
N.T.S.



STRAW BALE DETAIL
N.T.S.



SILT FENCE BARRIER INSTALLATION
11/03

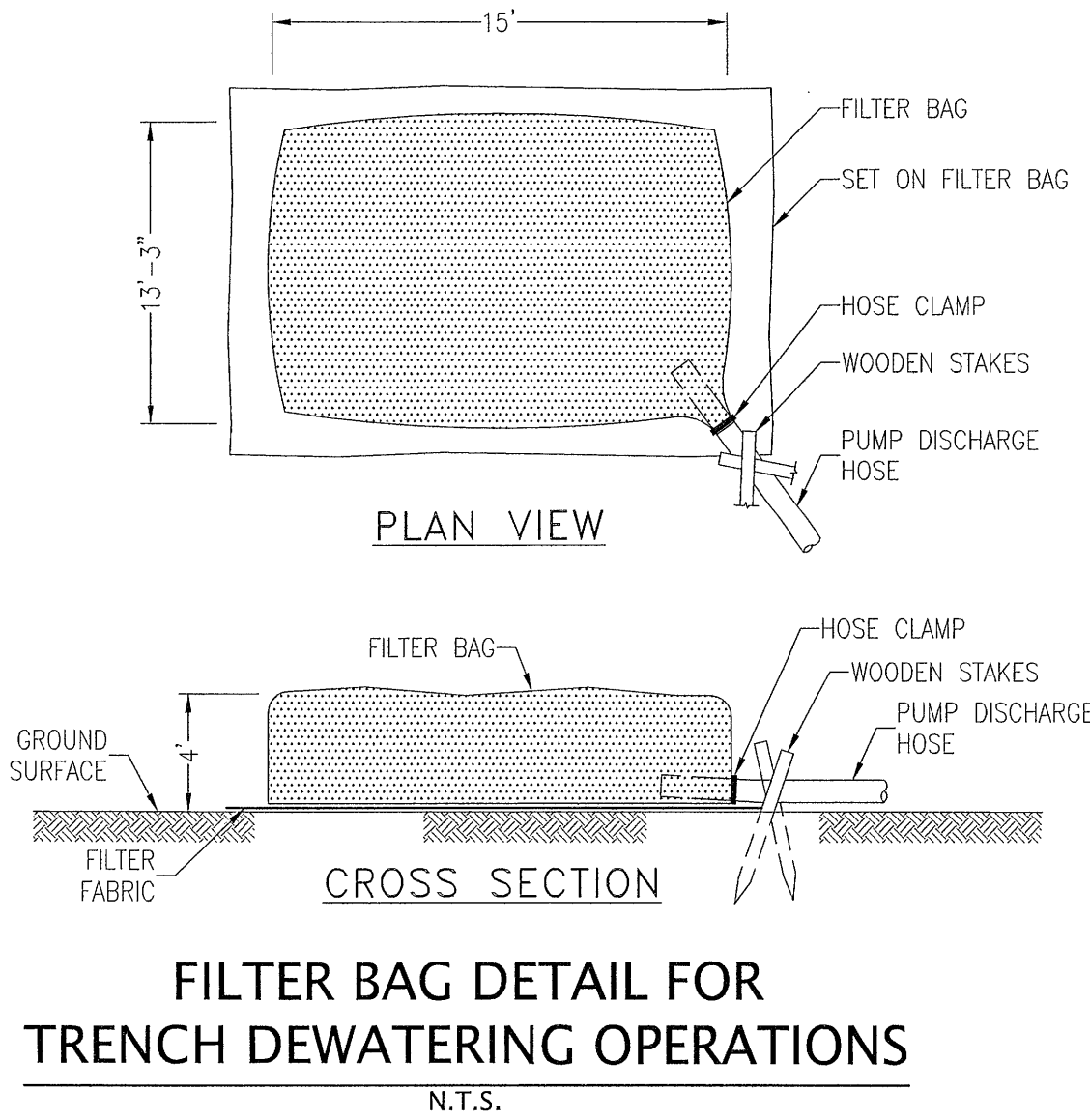
DESCRIPTION:
FILTER BAGS WILL BE USED AS AN EFFECTIVE FILTER MEDIUM TO CONTAIN SAND, SILT AND FINES WHEN TRENCH DEWATERING. THE WETLAND FILTER BAG CONTAINS THESE MATERIALS WHILE ALLOWING THE WATER TO FLOW THROUGH THE FABRIC.

INSTALLATION:
WETLAND FILTER BAGS MAY REPLACE HAY BALE CORRALS DURING TRENCH DEWATERING, AT THE DISCRETION OF THE ENGINEER INSPECTOR. TO INSURE PROPER INSTALLATION, FILTER BAGS WILL BE PLACED ON RELATIVELY FLAT TERRAIN FREE OF BRUSH AND STUMPS TO AVOID RUPTURES AND PUNCTURES. PROPER INSTALLATION REQUIRES CUTTING A SMALL HOLE IN THE CORNER OF THE BAG, INSERTING THE PUMP DISCHARGE HOSE, AND THEN SECURING THE DISCHARGE HOSE TO THE BAG WITH A HOSE CLAMP. FILTER BAGS WILL BE PLACED AS FAR AWAY FROM FLOWING STREAMS AND WETLANDS AS POSSIBLE.

MAINTENANCE:
PRIOR TO REMOVING A BAG FROM THE HOSE, THE BAG WILL BE TIED OFF BELOW THE END OF THE HOSE ALLOWING THE BAG TO DRAIN. DRAINAGE WILL NOT BE ALLOWED THROUGH THE INLET HOLE. TO AVOID RUPTURE, THE BAGS WILL BE ATTENDED AND PUMPING RATES MONITORED. ONCE THE BAG IS INFLATED TO A HEIGHT OF 4 FEET, PUMPING WILL STOP TO AVOID RUPTURE. FILTER BAGS USED DURING CONSTRUCTION WILL BE BUNDLED AND REMOVED FOR PROPER DISPOSAL.

SPECIFICATION:
FILTER BAGS ARE CONSTRUCTED OF NON-WOVEN GEOTEXTILE FABRIC. A MAXIMUM OF ONE SIX INCH DISCHARGE HOSE WILL BE ALLOWED PER FILTER BAG. BAG CAPACITY WILL BE EXCEEDED BEYOND 2,000 GALLONS PER MINUTE. TYPICAL BAG DIMENSIONS ARE 15 FEET BY 13.25 FEET. TO HELP PREVENT PUNCTURES, GEOTEXTILE FABRIC WILL BE PLACED BENEATH THE FILTER BAG WHEN USED IN WOODED LOCATIONS. UNATTENDED FILTER BAGS WILL BE ENCIRCLED WITH A HAY BALE OR SILT FENCE CORRAL. HOSE CLAMPS WILL BE USED TO SECURE THE DISCHARGE HOSE, WIRE OR STRING WILL NOT BE USED.

NOTE:
CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITTING ASSOCIATED WITH DEWATERING ACTIVITIES. DEWATERING ACTIVITIES MAY REQUIRE ADDITIONAL PERMITS FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (INDUSTRIAL WASTEWATER) AND THE NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT (CONSUMPTIVE USE).



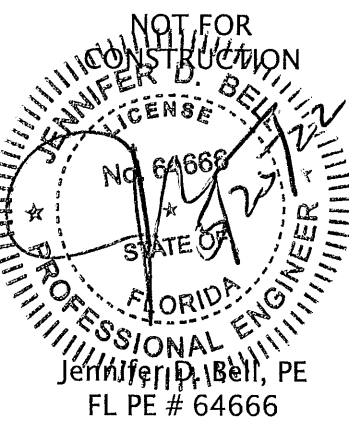
FILTER BAG DETAIL FOR TRENCH DEWATERING OPERATIONS
N.T.S.

BELL
ENGINEERING SERVICES
Jennifer D. Bell, P.E. (FL #64666)
Pensacola, Florida 32503
EB 00029198

GENERAL NOTES, TREE TABLE, & EROSION CONTROL DETAILS

DOLLAR GENERAL
STORE #24239
4430 N. HIGHWAY 29
ESCAMBIA COUNTY, FLORIDA

DATE	#	REVISION DESCRIPTION
05/25/22	1	FDOT DRAINAGE REVIEW
05/25/22	2	ESCO DEVELOPMENT REVIEW



Job No.: 2022007
Date: 05/25/22

C1.1

STORM WATER POLLUTION PREVENTION PLAN

1.0 BACKGROUND & REQUIREMENTS:

1.1 Introduction:

The referenced support documentation for this Storm Water Pollution Prevention Plan (SWPPP) is the United States Environmental Protection Agency's (EPA) Storm Water Management for Construction Activities, Developing Pollution Prevention Plans and Best Management Practices Summary Guidance (EPA 833-R-92-001) and Storm Water Management for Construction Activities, Developing Pollution Prevention Plans and Best Management Practices (EPA 832-R-92-005). This SWPPP is designed to protect onsite and adjacent natural resources, including but not limited to, wetlands, marshes, bayous and bays, while preserving wildlife and archeological resources.

An ERP application (10/2) was made in April 2022.

1.2 Notice of Intent (NOI):

Rule 62-621.300(4), FAC requires the construction operator of a site that disturbs one or more acres to obtain coverage from the Generic Permit for Stormwater Discharge from Large and Small Construction Activities. The contractor is required to submit a Notice of Intent to Use Generic Permit for Stormwater Discharge from Large and Small Construction Activities (FDEP Form 62-621.300(4)(b)) along with the appropriate application fee to the following address 48 hours prior to commencing construction:

NPDES Stormwater Notices Center, MS # 2510
Florida Department of Environmental Protection
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

This form can be obtained from FDEP's website (www.dep.state.fl.us) or by contacting FDEP. Please note that the current application fee is \$250; however, this fee is subject to change without notice. Always refer to the most current version of Rule 62-4.050(4)(d), FAC to confirm the amount before submitting payment. If construction activity exceeds five years, the contractor must re-apply for coverage.

1.3 Stormwater Pollution Prevention Plan (SWPPP):

The contractor is required to certify this Stormwater Pollution Prevention Plan (SWPPP) below prior to submitting the NOI. This SWPPP is not required to be submitted with the NOI, but is required to be kept on site during all phases of construction. Because erosion and sediment controls and construction methods vary significantly from contractor to contractor, the contractor can propose alternative methods to this SWPPP that are equal or better at controlling erosion and sedimentation. At a minimum, the contractor must follow the erosion control plan specified in the construction plans and documents. Any modifications to this SWPPP must be documented and kept with the plan as part of the records keeping process to be in full compliance with the CGP.

1.4 Contractor's Certification:

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Print & Sign Name	Company & Address
<div></div>	<div></div>
Name & Title (Print)	
<div></div>	<div></div>
Signature	Date
Responsibilities (General Contractor, Site Contractor, Subcontractor, Other):	
<div></div>	

1.5 Notice of Termination (NOT):

The contractor is required to submit a Notice of Termination of Generic Permit Coverage (FDEP Form 62-621.300(6)) upon construction completion to discontinue permit coverage. The NOT is to be submitted to the following address:

NPDES Stormwater Notices Center, MS # 2510
Florida Department of Environmental Protection
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

This form can be obtained from FDEP's website (www.dep.state.fl.us) or by contacting FDEP. The NOT can not be submitted until all disturbed soils at the construction site have been finally stabilized and temporary erosion and sediment control measures have been REMOVED or will be REMOVED at an appropriate time. Final stabilization means that all soil disturbing activities at the site have been completed and that a uniform perennial vegetative cover with a density of 70 percent of the cover for unpaved areas and areas not covered by permanent structures has been established, or equivalent stabilization measures have been employed. If construction activity exceeds five years, the contractor must re-apply for coverage.

1.6 Application Information:

Project Address:	4430 N. HIGHWAY 29 MOLINO, FLORIDA 32577 Escambia County, Florida
Latitude:	30° 40' 51.38" N
Longitude:	87° 21' 2.15" W
Water Management District:	Northwest Florida (NWFWMD)
MS4 Operator Name:	FDOT
Receiving Water Name:	Eventual outflow to a tributary of Cowdevil Creek

2.0 SITE DESCRIPTION:

2.1 Nature of Construction Activities:

This project involves the construction of a 10,670 sf Dollar General Store. Construction includes paved parking, utilities and stormwater management system.

2.2 Sequence of Major Soil Disturbing Activities:

The following sequence of major activities shall be followed unless the contractor can propose an alternative that is equal to or better at controlling erosion and sedimentation. The detailed sequence for the entire project can vary significantly from contractor to contractor. The contractor is responsible for documenting any changes.

1. Clear, grub and perform all demolition work.
2. Complete rough grading of the pond and direct all stormwater runoff to the pond(s).
3. Construct all underground utilities and storm drain system.
4. Construct roads (subgrade, curb & gutter, base, pavement, sidewalks, and landscaping).
7. Complete stormwater ponds.

2.3 Area Estimates:

Onsite Area:	1.49 acres
Offsite Area:	0.00 acres
Total Area:	1.49 acres
Area to be Disturbed:	1.49 acres

2.4 Runoff Data:

Runoff Coefficients (c):

Before: Total Composite c = 0.20

During: Varies between 0.20 and 0.95

After: Varies between 0.20 and 0.95

Total Composite c = 0.55

Soils Data:

For detailed soils information, refer to the Geotechnical Services Report prepared by Universal Engineering.

Drainage Areas for Each Outfall:		
Outfall Location	Total Area flowing to Pond	'c' coefficient
Pine Barren Creek	2.08 ac	0.55

2.5 Site Map:

The construction plans are to be used as the site maps. The location of the required information is described below. The sheet numbers for all the items discussed below are identified on the Cover Sheet of the construction plans.

- **Drainage Patterns:** All drainage patterns are shown on the Grading & Drainage Plans.
- **Approximate Slopes:** Approximate slopes are shown on the Grading & Drainage Plan. Pond side slopes are shown on the pond cross-sections, located on the Grading & Drainage Plan.
- **Areas of Soil Disturbance:** All demolition is shown on the Existing Site Conditions and Demolition and Erosion Control Plan Sheet. All proposed construction is shown on the remaining plans. Any areas where demolition work or permanent features are shown above or below ground will be disturbed.
- **Areas not to be Disturbed:** Any areas not showing demolition work or permanent features are assumed not to be disturbed. It will be the contractor's responsibility to indicate on the plans any of these areas that do get disturbed as well as any areas used for staging and materials storage.
- **Locations of Controls:** All proposed temporary controls and existing permanent controls are shown on the Existing Site, Demolition and Erosion Control Plan. All proposed permanent controls are shown on the remaining plans. It will be the contractor's responsibility to indicate the location of any other controls on the plans that are used during construction.
- **Areas to be Stabilized:** Permanent stabilization is shown on the plans. It will be the contractor's responsibility to indicate the location on the plans of all temporary stabilization practices used during construction.
- **Surface Waters:** N/A
- **Discharge Points:** NW corner of property to allow discharge to flow to historical discharge location (eventual outfall to Cowdevil Creek).

2.6 Receiving Waters:

FDOT MS4 drainage system - eventual outfall to Cowdevii Creek.

3.0 CONTROLS:

3.1 Erosion and Sediment Controls:

All erosion and sediment controls specified on the Demolition and Erosion Control Plan Sheets, and the Erosion Control Details shall be installed prior to any construction or demolition. Silt fencing and staked hay bales shall be installed along down-gradient limits.

Temporary seeding and mulching shall be applied after 14-day intervals of ceased disturbance activities that will exceed 20-day periods. Graded areas shall be stabilized with permanent seeding, mulching, and fertilizing, or sodding within five days of final grading. Landscaping, including sodding, shall be installed by an experienced Landscape Contractor. Proposed disturbed areas will not exceed 8 acres in any drainage area.

3.2 Stormwater Management:

Proposed stormwater management facilities for this site includes a shallow dry retention pond with a bottom filter system - discharge to FDOT R/W drainage system. The system has been designed to accommodate the entire developed site. The proposed stormwater management facilities meet all stormwater treatment requirements and all rate control requirements set forth by the local and state regulatory agencies.

3.3 Other Controls:

Waste Disposal: The contractor is responsible for all waste disposal from the site. The contractor shall employ waste disposal practices that meet all local, state, and federal guidelines and prevent discharge of solid materials to waters of the United States. The Contractor is responsible for documenting this portion of the SWPPP.

Offsite Vehicle Tracking: If off site tracking of sediments by construction vehicles occurs, the contractor is required to install a Soil Tracking Prevention Device (STPD) as per FDOT Standard Index 106 at all exits to the site where sediment tracking is occurring. The Contractor is also responsible for documenting this portion of the SWPPP.

4.0 MAINTENANCE:

Controls shall be kept in full operating condition throughout all phases of construction until all disturbed areas are completely stabilized. Maintenance, repair records and repair requests shall be documented. Repairs and deficiencies shall be completed as soon as possible and within seven days after inspection. Any required changes that are not covered in the SWPPP shall also be made as soon as possible within seven days and documented.

5.0 INSPECTIONS:

Qualified personnel shall inspect the following items, but not limited to, at least once every seven calendar days and within 24 hours of the end of a storm that is 0.25 inches or greater. Where sites have been finally stabilized, inspections shall be conducted at least once every month.

- Points of discharge to waters of the United States.
- Points of discharge to municipal separate storm sewer systems.
- Disturbed areas of the site that have not been finally stabilized.
- Areas used for storage of materials that are exposed to precipitation.
- Structural controls.
- Stormwater management systems.
- Locations where vehicles enter or exit the site.

6.0 NON-STORMWATER DISCHARGES:

The Contractor shall be responsible for reporting any hazardous substance spills that may equal or exceed a Reportable Quantity (RQ). Refer to EPA's List of Hazardous Substances and Reportable Quantities (EPA 40 CFR 302.4 & 117). This list can be obtained from EPA's website (www.epa.gov) or by contacting EPA. If an RQ release does occur the Contractor shall perform the following procedures:

- Notify the National Response Center immediately at 800-424-8802.
- Provide written description of the release within 14 days providing dates, cause and prevention methods to the regional EPA office.
- Modify the SWPPP as necessary to address added prevention methods.

7.0 IMPLEMENTATION CHECKLIST:

7.1 Records:

The Contractor shall maintain records of construction activities including, but not limited to:

- Dates when major grading activities occur.
- Dates when construction activities temporarily cease on a portion of the site.
- Dates when construction activities permanently cease on a portion of the site.
- Dates when stabilization measures are initiated on the site.

7.2 Inspection Reports:

The Contractor shall prepare inspection reports summarizing the following, but not limited to:

- Name of inspector.
- Qualifications of inspector.
- Measures/areas inspected.
- Observed conditions.
- Changes necessary to the SWPPP.

7.3 Releases of Reportable Quantities of Oil or Hazardous Materials:

The Contractor shall report any releases of reportable quantities of oil or hazardous materials if they occur as per the measures outlined in Section 6.0 of the SWPPP.

7.4 SWPPP Modification:

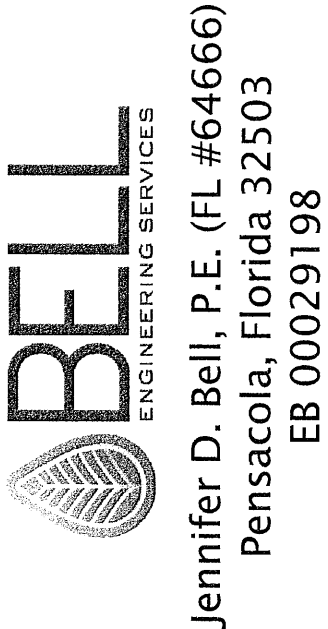
The Contractor shall modify the SWPPP as necessary to:

- Comply with minimum permit requirements when notified by FDEP that the plan does not comply.
- Address any changes in design, construction operations or maintenance, which has an effect on the potential for discharge of pollutants.
- Prevent reoccurrence of reportable quantity releases of hazardous material or oil.

8.0 TERMINATION CHECKLIST:

The following items shall be complete before submitting the NOT:

- All soil disturbing activities are complete.
- Temporary erosion and sediment control measures have been REMOVED or will be REMOVED at an appropriate time.
- All areas of the construction site not otherwise covered by permanent pavement or structure have been stabilized with uniform perennial vegetative cover with a density of 70% or equivalent measures have been employed.

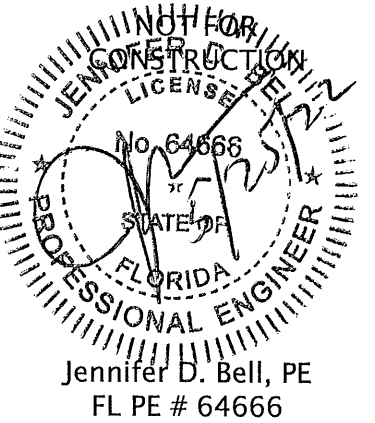


NPDES - STORMWATER
POLLUTION
PREVENTION PLAN

DOLLAR GENERAL

STORE #24239
4430 N. HIGHWAY 29
ESCAMBIA COUNTY, FLORIDA

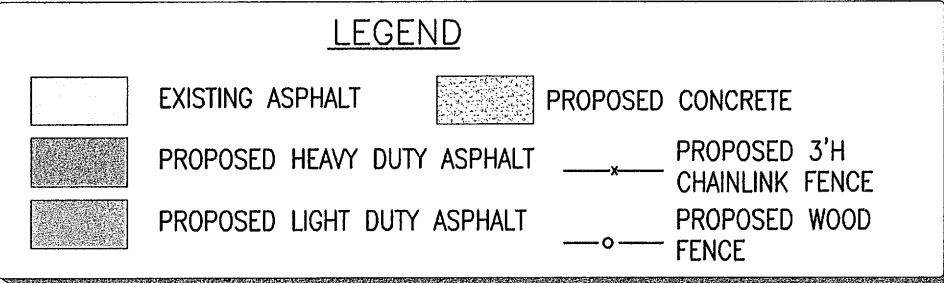
DATE	#	REVISION DESCRIPTION
05/25/22	1	FDOT DRAINAGE REVIEW
05/25/22	2	ESCO DEVELOPMENT REVIEW



Jennifer D. Bell, PE
FL PE # 64666

Job No.: 2022007
Date: 05/25/22

C1.2



1. ALL PAVEMENT MARKINGS AND STRIPING SHALL BE THERMOPLASTIC AND INSTALLED ACCORDING TO FDOT STANDARD PLAN 711-001.

2. ALL WORK IN THE R/W SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ROADWAY & TRAFFIC DESIGN STANDARDS, THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, THE PLANS PREPARATION MANUAL (PPM), THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ESCAMBIA COUNTY DESIGN STANDARDS.

3. ALL DISTURBED AREAS IN THE R/W SHALL BE REGRADED AND SODDED AND/OR SEED AND MULCHED. OTHER DISTURBED AREAS MAY BE REPAIRED BY SEEDING OR HYDROSEEDING. ALL SOD IN THE FOOT R/W SHALL BE BAHIA.

4. ALL NEEDED STRIPING DESTROYED DURING CONSTRUCTION SHALL BE RESTRIPE (THERMOPLASTIC ONLY IN COUNTY & STATE R/W).

5. ALL LANES MUST BE OPEN FOR TRAFFIC DURING AN EVACUATION NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT AS DIRECTED BY THE LOCAL MAINTENANCE ENGINEER OR HIS DESIGNEE.

6. AT COMPLETION OF CONSTRUCTION, ALL EXPOSED DIRT SHALL BE STABILIZED WITH SOD, A HAY/SEED MIX OR HYDROSEED (BAHIA SOD ONLY IN COUNTY R/W).

7. ALL NEWLY PLACED SOD (ONSITE & IN R/W) SHALL BE WATERED REGULARLY UNTIL GRASS IS ESTABLISHED.

8. A SEPARATE SIGN PERMIT IS REQUIRED FOR ALL SIGNAGE.

9. ALL SITE FENCING SHALL BE INSTALLED FINISHED SIDE OUT.

10. NO WORK SHALL BE PERFORMED IN THE R/W UNTIL THE PROPER MAINTENANCE OF TRAFFIC IS IN PLACE ACCORDING TO THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.

11. ALL MECHANICAL AND UTILITY EQUIPMENT MUST BE EFFECTIVELY SCREENED FROM ANY PUBLIC WAY.

12. ALL SIGNS SHALL BE INSTALLED PER FDOT STANDARD PLAN 700-010.

13. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "ASBUILT" SIGN OFF FROM THE COUNTY.

14. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE R/W.

15. FDOT WILL REVIEW ALL LANE/SIDEWALK CLOSURE, DETOUR AND LANE SHIFT REQUESTS SEPARATELY FROM THE PERMIT PROCESS. FDOT APPROVAL IS REQUIRED BEFORE COMMENCEMENT OF WORK INVOLVING THE CLOSURE, DETOUR OR LANE SHIFT FOR WORK ALONG THE STATE ROADWAY SYSTEM.

TOTAL PROPERTY AREA = 65,024 SF (1.49± AC)

TOTAL PROJECT/DEVELOPMENT AREA = 65,024 SF (1.49 AC)
EXISTING IMPERVIOUS AREA = 0 SF
EXISTING PERVIOUS AREA = 65,024 SF

PROPOSED IMPERVIOUS AREA = 32,015 SF (49%)
 PROPOSED ASPHALT/CONCRETE AREA = 21,345 SF
 PROPOSED BUILDING FOOTPRINT AREA = 10,670 SF (11.9%)
 PROPOSED PERVIOUS AREA = 33,009 SF (51%)
 PROPOSED RETENTION AREA = 6,252 SF
 PROPOSED OPEN AREA = 26,757 SF

TOTAL REQUIRED PARKING SPACES (GENERAL RETAIL COMMERCIAL)
(3 SPACES PER 1,000 SF : 10,670 SF/1,000 * 3 = 32 SPACES)
TOTAL PARKING SPACES REQUIRED = 32 SPACES
TOTAL PARKING SPACES PROVIDED = 33 SPACES
STANDARD PARKING SPACES = 31 SPACES
H.C. PARKING SPACES = 2
(2 H.C. FOR 26-50 PARKING SPACES PROVIDED)

TRASH PICK-UP WILL BE PROVIDED BY AN ON SITE DUMPSTER.

ELEV 165.15 (NAVD 88 12b) TBM NO. 1: BMS/COTTONSPINDLESET
N:622328.08, E:1072675.68

FEMA FLOOD INSURANCE RATE MAP INFORMATION					
THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONES) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:					
FLOOD ZONE(S)	COMMUNITY NO	MAP NO	PANEL NO	SUFFIX	MAP REVISION DATE
X	120080	12033C	0240	G	SEPT 29, 2006
X	120080	12033C	0290	J	JAN 27, 2017

SPEED LIMIT TABLE	
SPEED LIMIT	ROADWAY
45 MPH	BARRINEAU PARK ROAD
45 MPH	US HIGHWAY 29/SR 95

FOR SIGN MOUNTING DETAILS SEE FDOT INDEX #700-101 & #700-010.

2" TYPE SP 12.5
ASPHALTIC CONCRETE

6" GRADED AGGREGATE BASE COURSE
MIN. LIMESTONE BEARING RATIO (LBR)
100 AND SHALL BE COMPACTED TO
MINIMUM SOIL DENSITY 98% OF THE
MODIFIED PROCTOR TEST

12" STABILIZED SUBGRADE SHALL MEET
LBR 40 AND COMPACTED TO 98% OF THE
MODIFIED PROCTOR TEST

LIGHT DUTY ASPHALT
PAVEMENT DETAIL (ON-SITE)
N.T.S.

2" TYPE SP 12.5 ASPHALT CONCRETE

8" GRADED AGGREGATE BASE COURSE MIN LINELOCK BEARING RATIO (LBR) 100 AND SHALL BE COMPACTED TO MINIMUM SOIL DENSITY 98% OF THE MOD PROCTOR TEST

12" STABILIZED SUBGRADE SHALL MEET LBR 40 AND COMPACTED TO 98% OF THE MODIFIED PROCTOR TEST

HEAVY DUTY ASPHALT PAVEMENT DETAIL (ON-SITE)

Diagram illustrating the cross-section of a bridge deck structure, showing the following components and materials:

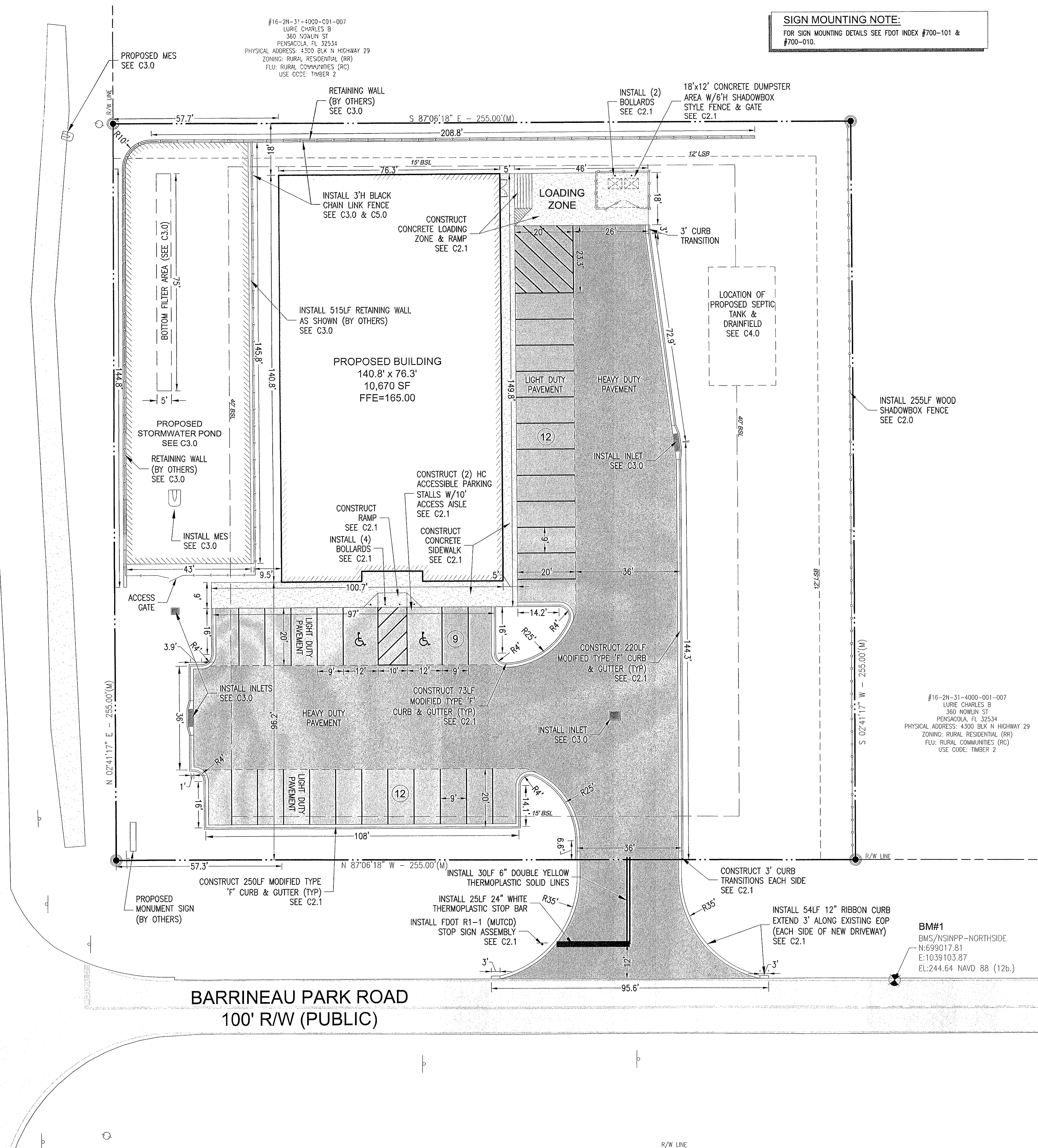
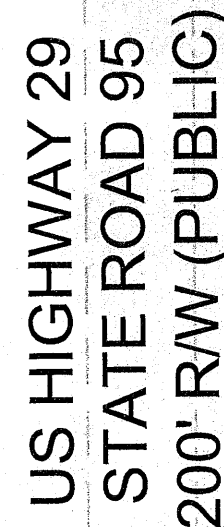
- 2x8" GREEN SAW CONSTRUCTION JOINT**: Located at the top of the deck.
- 12"x12" SPACING O.C.**: Spacing for the reinforcement.
- 90K AS PER PLANS**: Reinforcement bars.
- 7" 4,000 PSI CONCRETE**: The main deck slab.
- 6x6 W2.9 W2.9 W2.9**: Reinforcement bars.
- 6" SAND CLAY BASE COMPACTED TO MINIMUM SOIL DENSITY SIX OF THE MODIFIED PROCTOR TEST.**: The base layer below the concrete.
- 12" SUBGRADE SHALL MEET LBR 40 AND COMPACTED TO 90% OF THE MODIFIED PROCTOR TEST.**: The subgrade below the base layer.
- STRUCK, FLOAT & ROUGH BROOM FINISH**: The top surface of the concrete.

HEAVY DUTY CONCRETE PAVEMENT DETAIL
N.T.S.
HEAVY DUTY CONCRETE
PAVEMENT DETAIL
N.T.S.

ROADWAY: HIGHWAY 29
CLASSIFICATION: ARTERIAL
PROPERTY FRONTAGE: 255 LF
BUILDING FRONTAGE AT GRADE: 140.8 LF
BLDG SETBACK FROM HIGHWAY 29 R/W: ~57 LF

PER 5-8.8(c)(2)a. EITHER ONE FREESTANDING SIGN A MAXIMUM OF 32 SF IN AREA AND SIX FEET IN HEIGHT, OR A MAXIMUM OF 2 SF OF WALL SIGN AREA PER LINEAL FOOT OF BUILDING FRONTAGE AT GRADE (140.8LFx2SF/LF=281SF).
SEE EXEMPTIONS IN SECTION 5-8.6.

A VALID ESCAMBIA COUNTY SIGN PERMIT MUST BE OBTAINED PRIOR TO
ERECTING, CONSTRUCTING, ALTERING, OR RELOCATING ANY SITE SIGNAGE

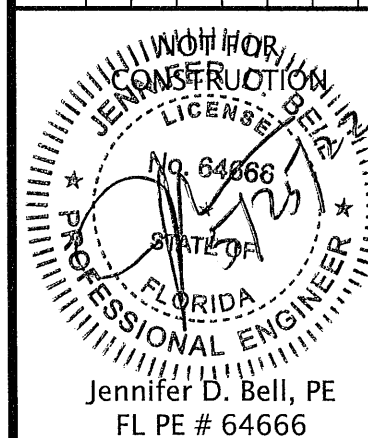


DOLLAR GENERAL®

SITE LAYOUT & DIMENSION PLAN

STORE #24239
4430 N. HIGHWAY 29
ESCAMBIA COUNTY, FLORIDA

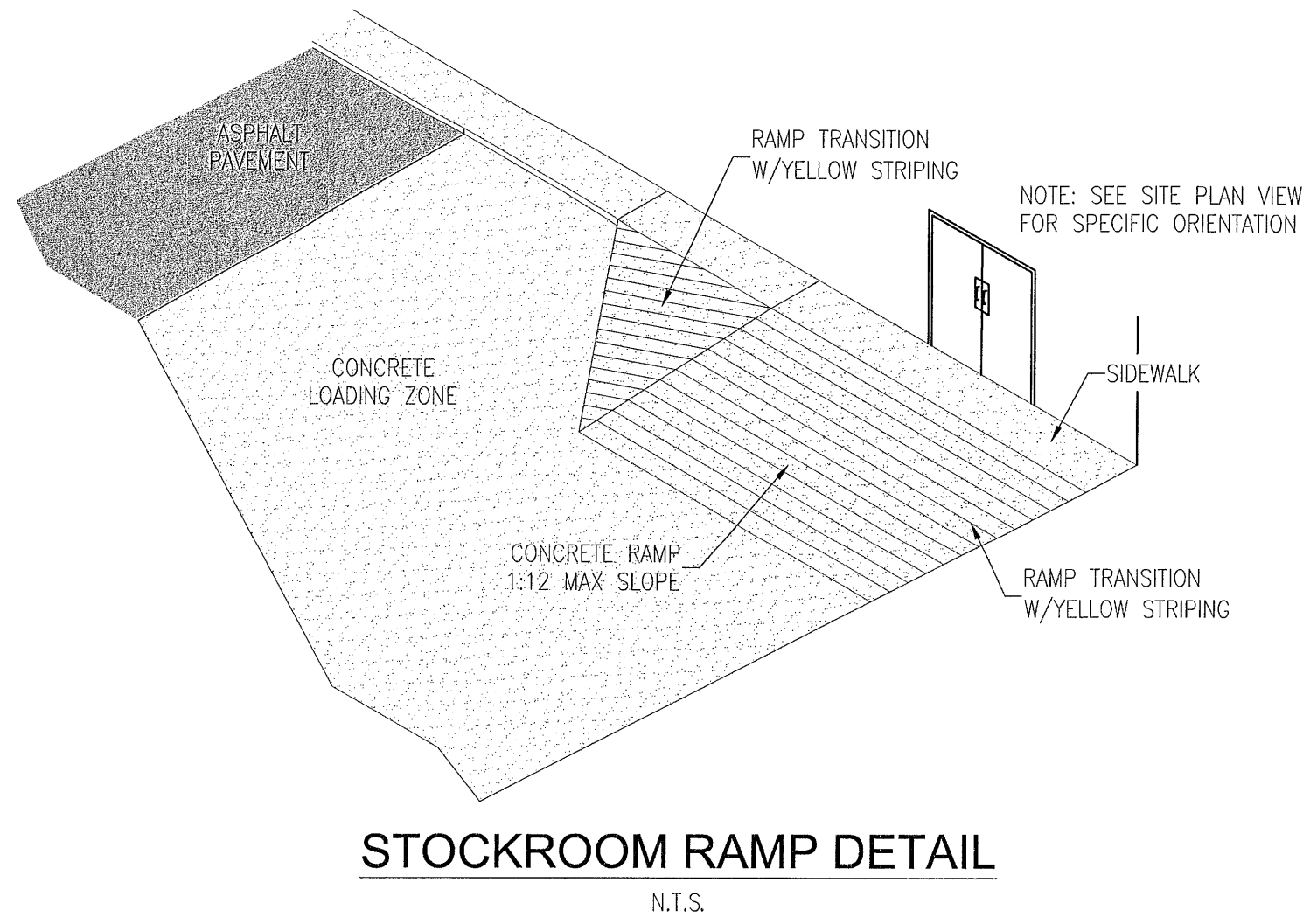
DATE	#	REVISION DESCRIPTION
05/25/22	1	FOOT DRAINAGE REVIEW
05/25/22	2	ESCO DEVELOPMENT REVIEW



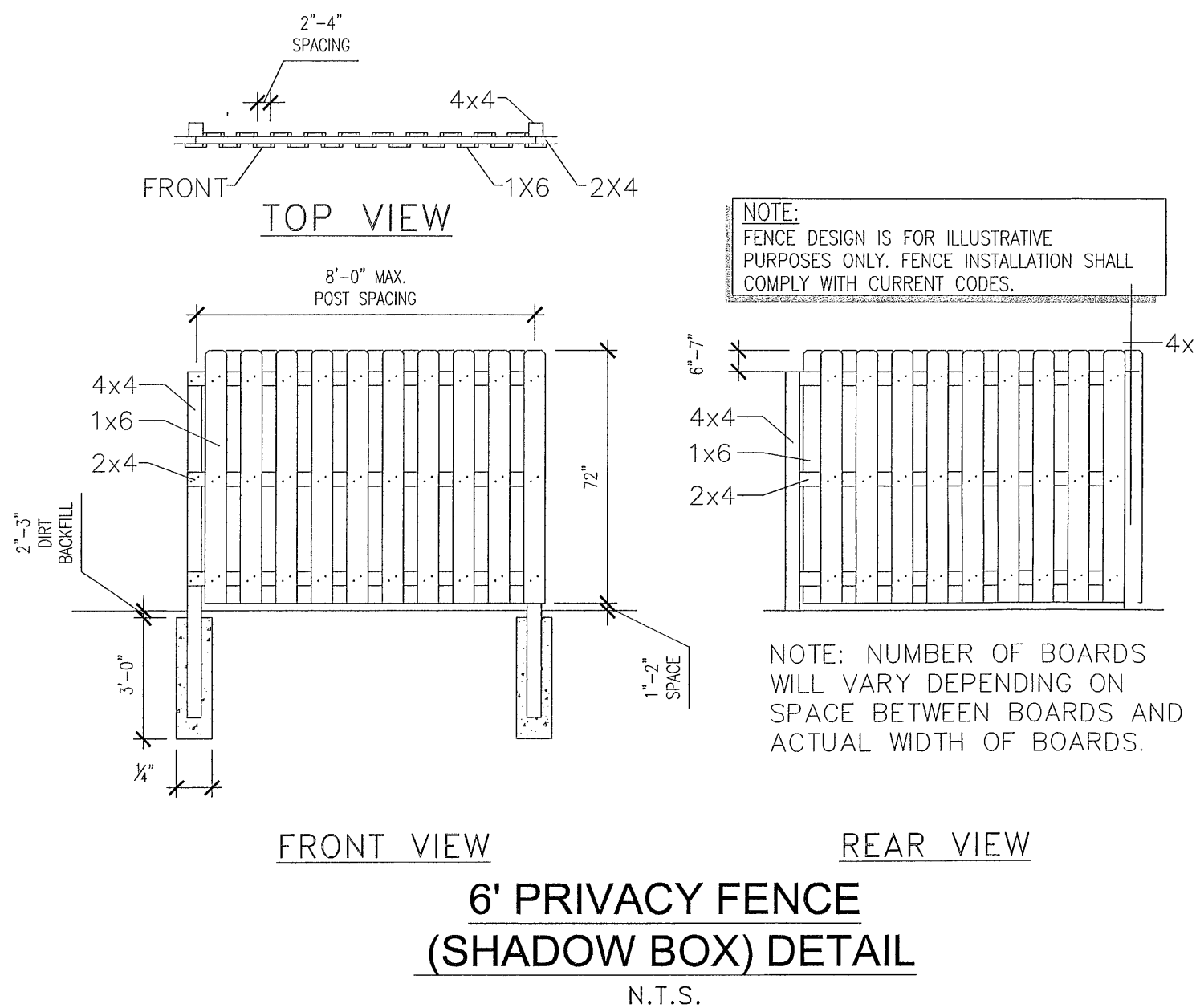
Job No.: 2022007

Date: 05/25/22

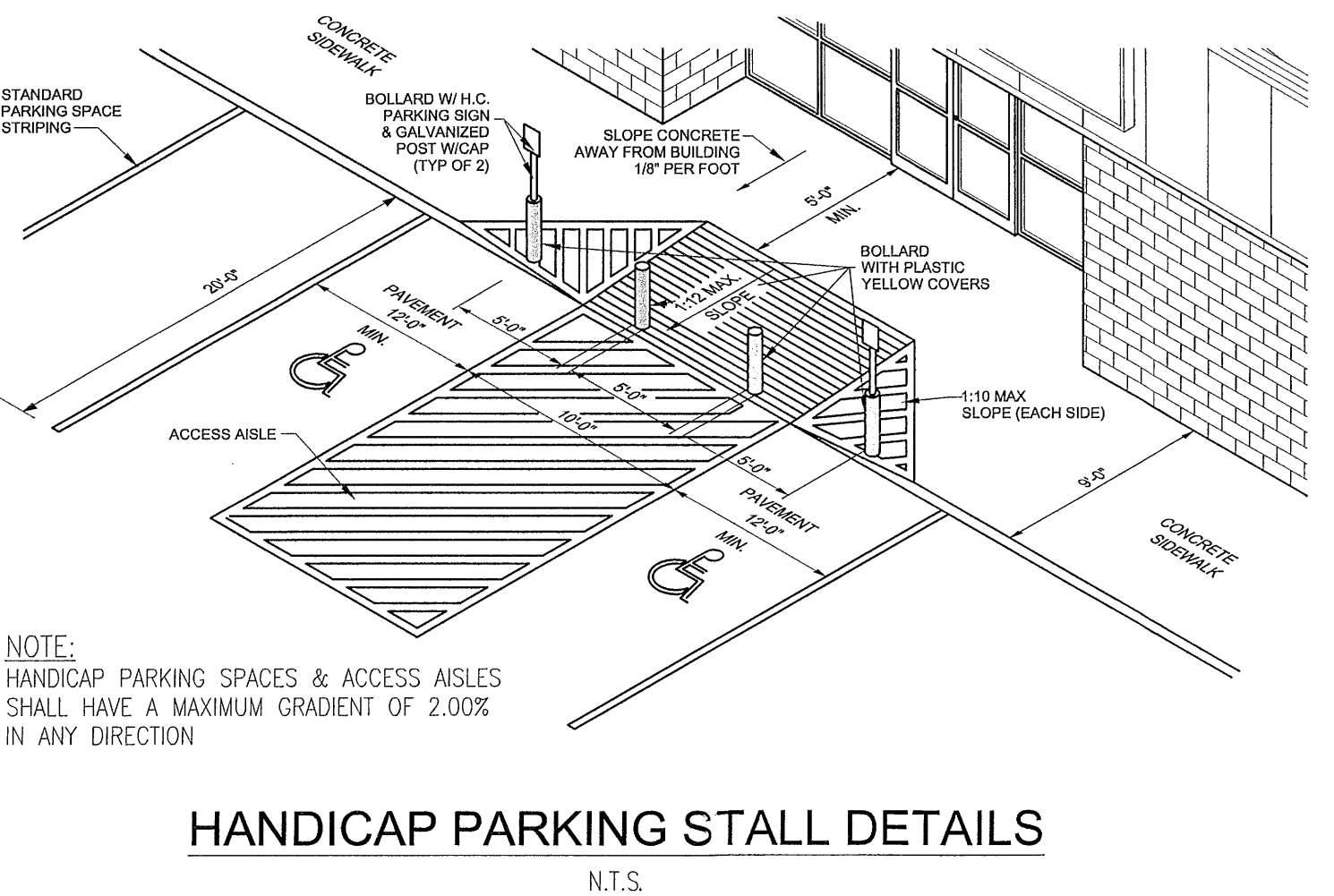
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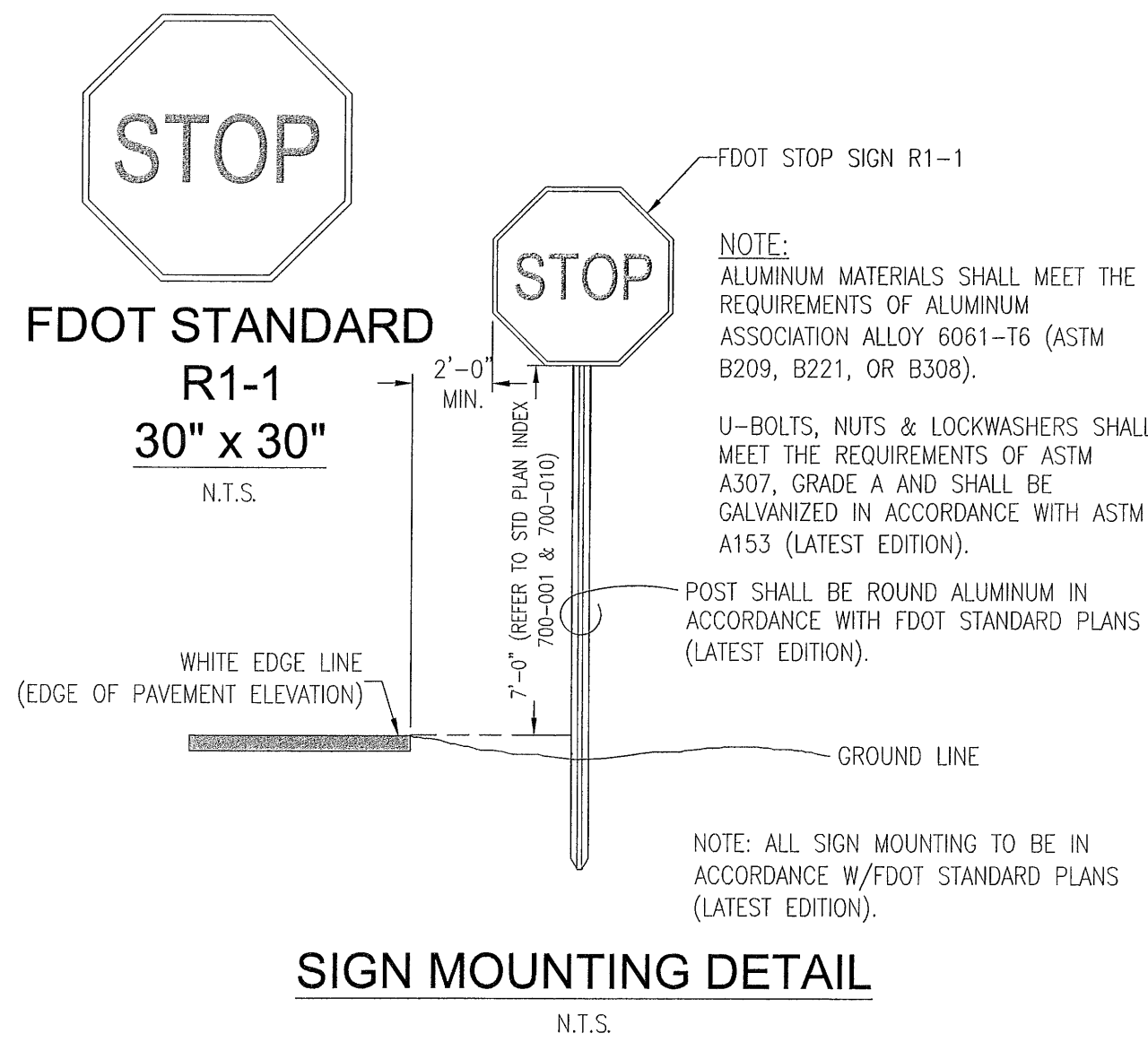
STOCKROOM RAMP DETAIL
N.T.S.



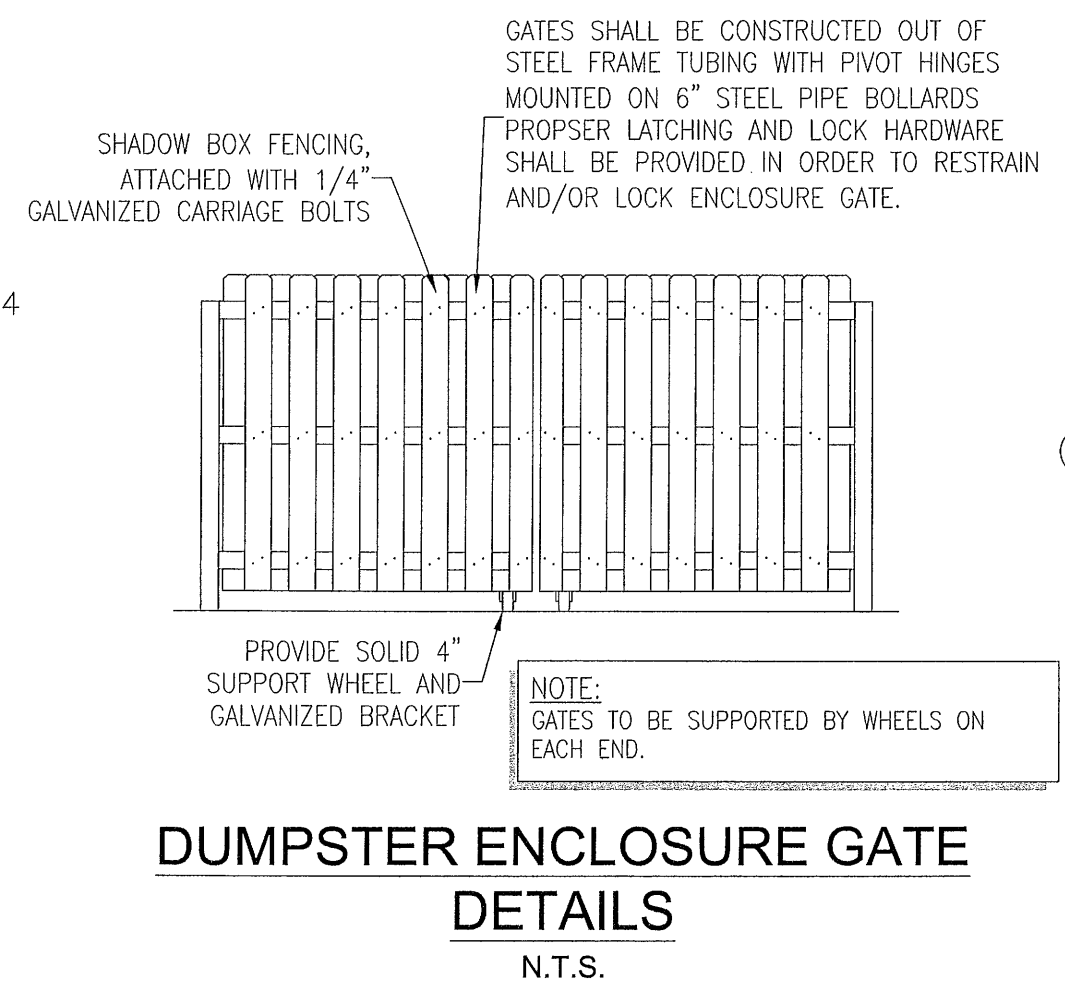
6' PRIVACY FENCE
(SHADOW BOX) DETAIL
N.T.S.



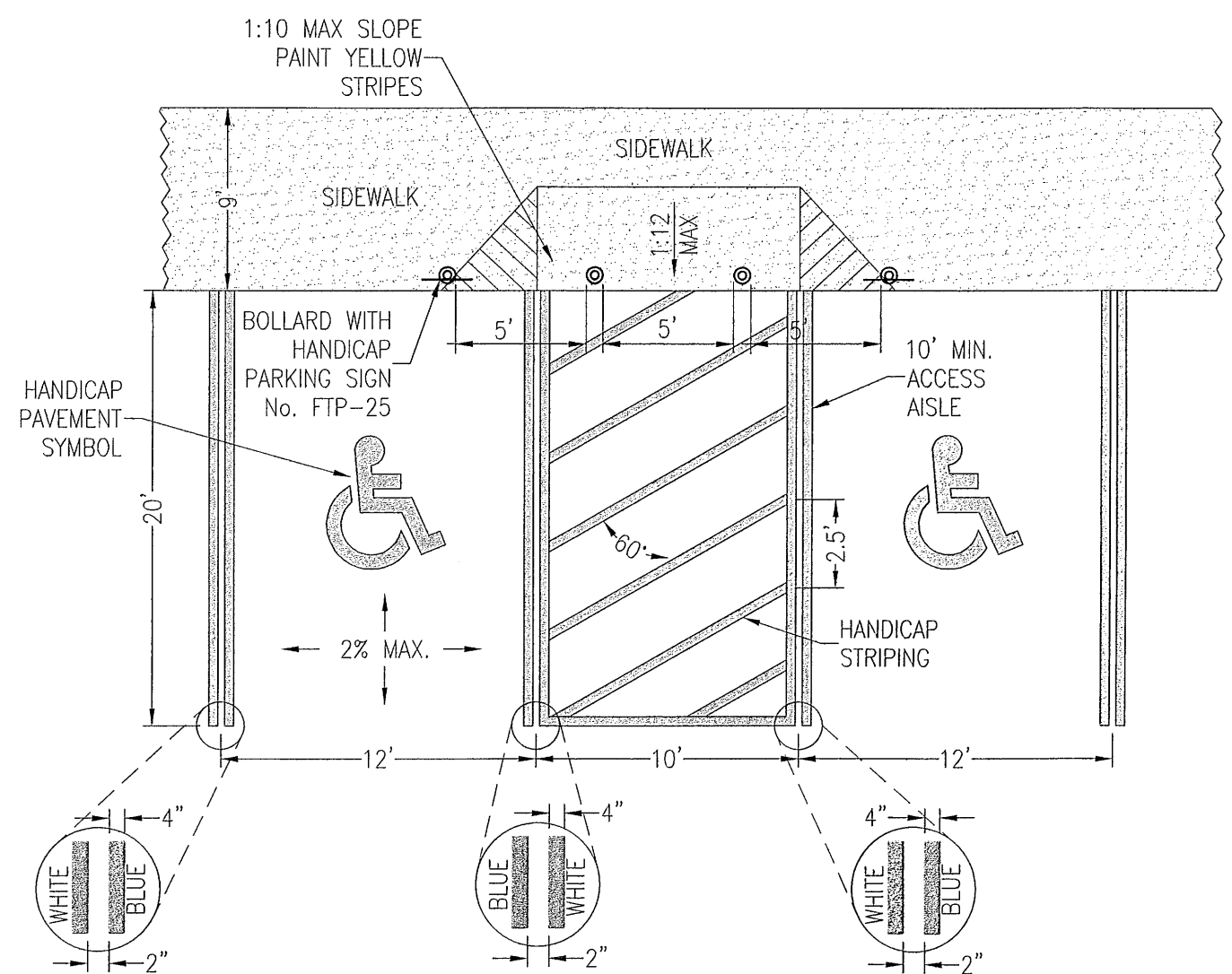
HANDICAP PARKING STALL DETAILS
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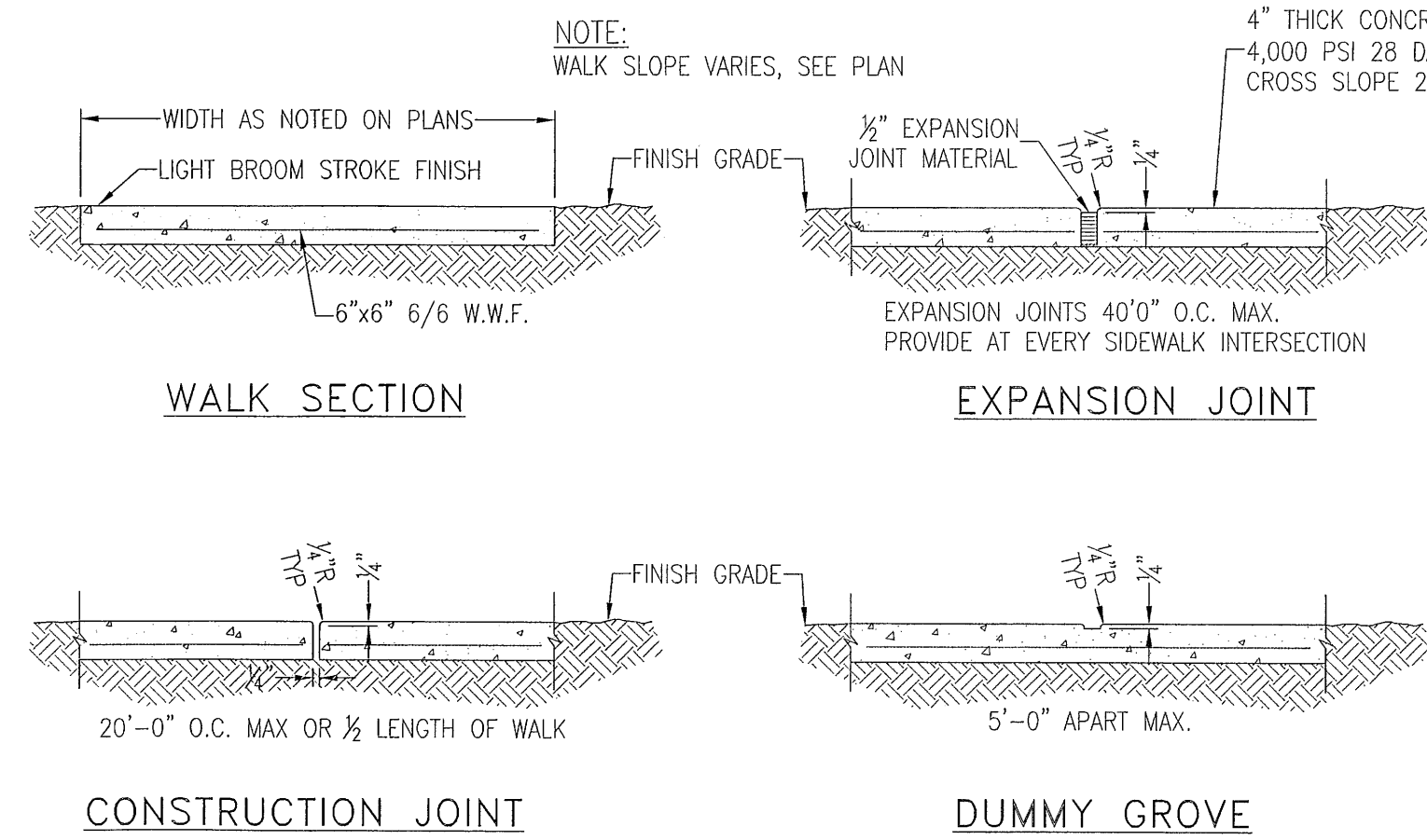
SIGN MOUNTING DETAIL
N.T.S.



DUMPSTER ENCLOSURE GATE
DETAILS
N.T.S.

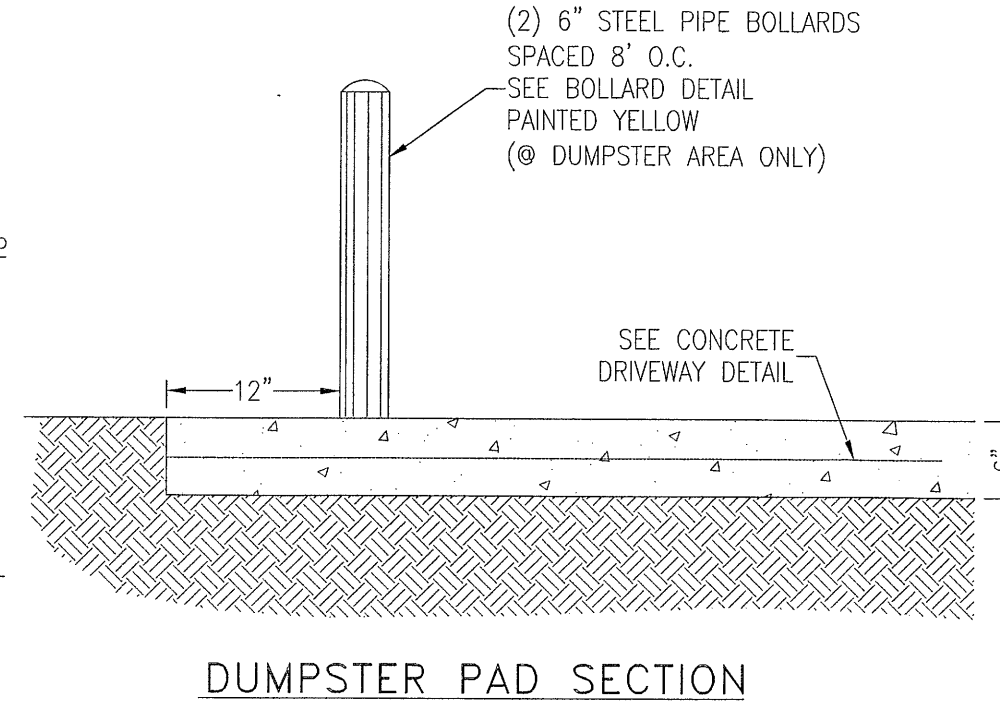


HANDICAP PARKING STALL STRIPING
N.T.S.

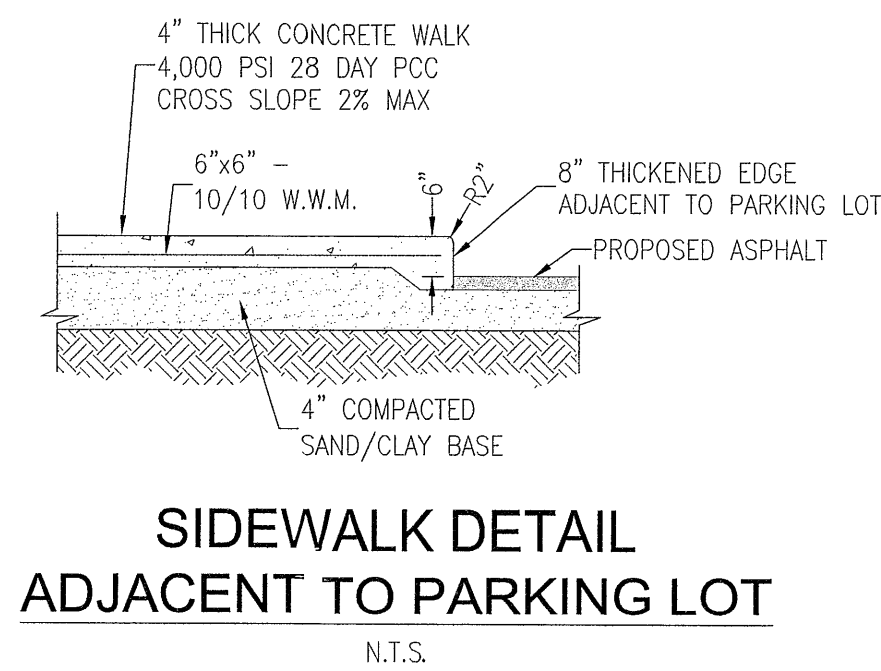


SIDEWALK DETAILS
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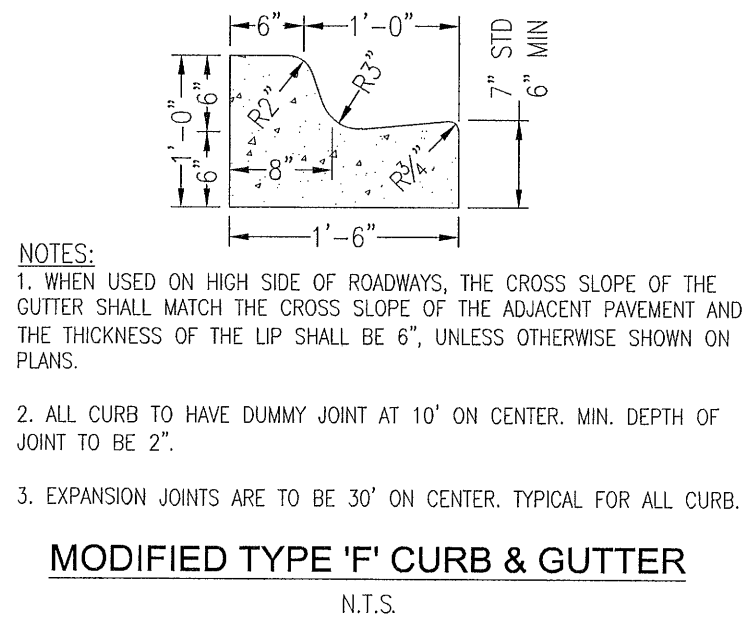
CONCRETE RIBBON CURB
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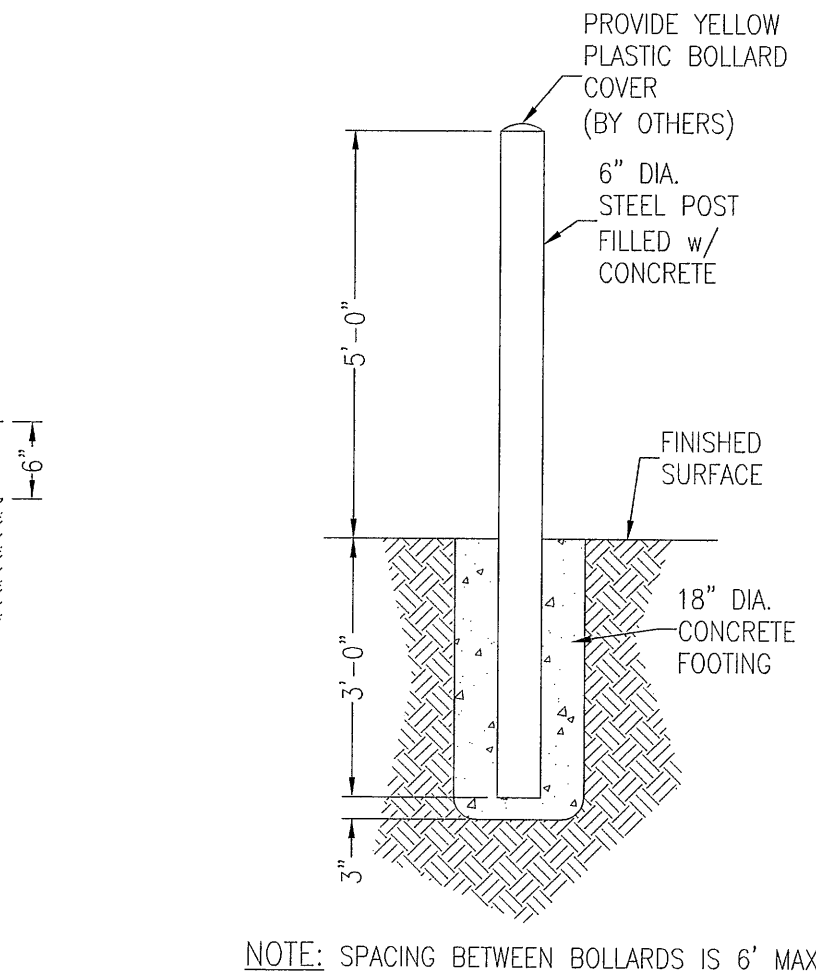
DUMPSTER PAD DETAIL
N.T.S.



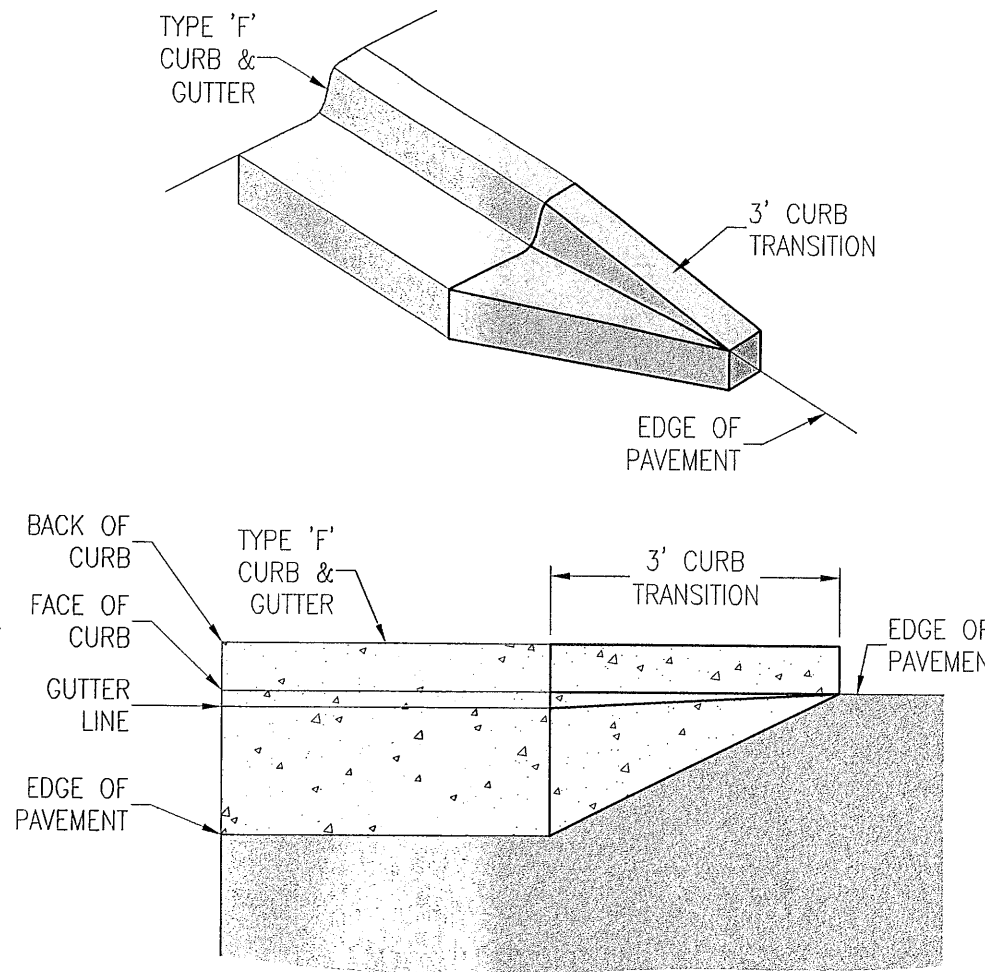
SIDEWALK DETAIL
ADJACENT TO PARKING LOT
N.T.S.



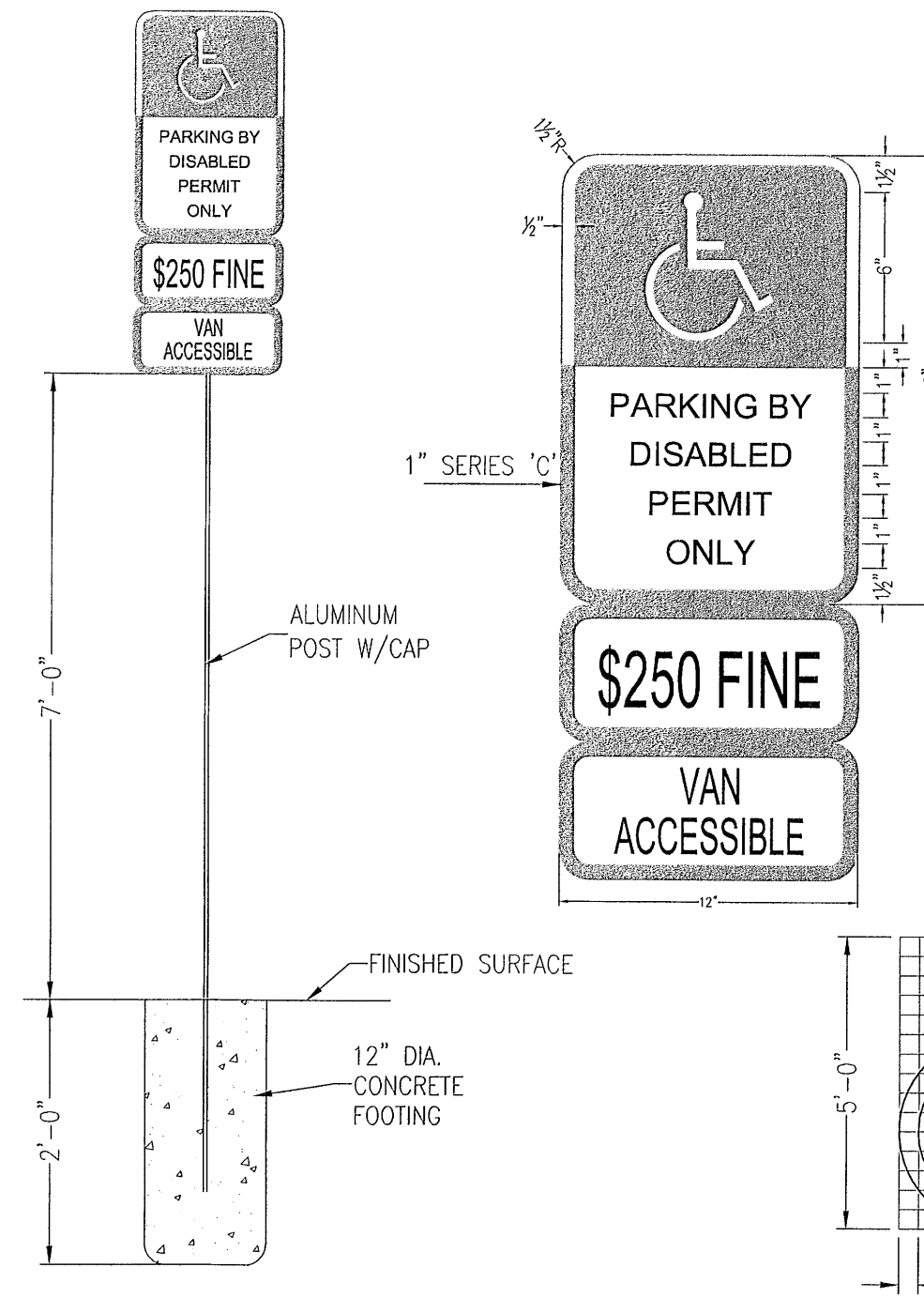
MODIFIED TYPE 'F' CURB & GUTTER
N.T.S.



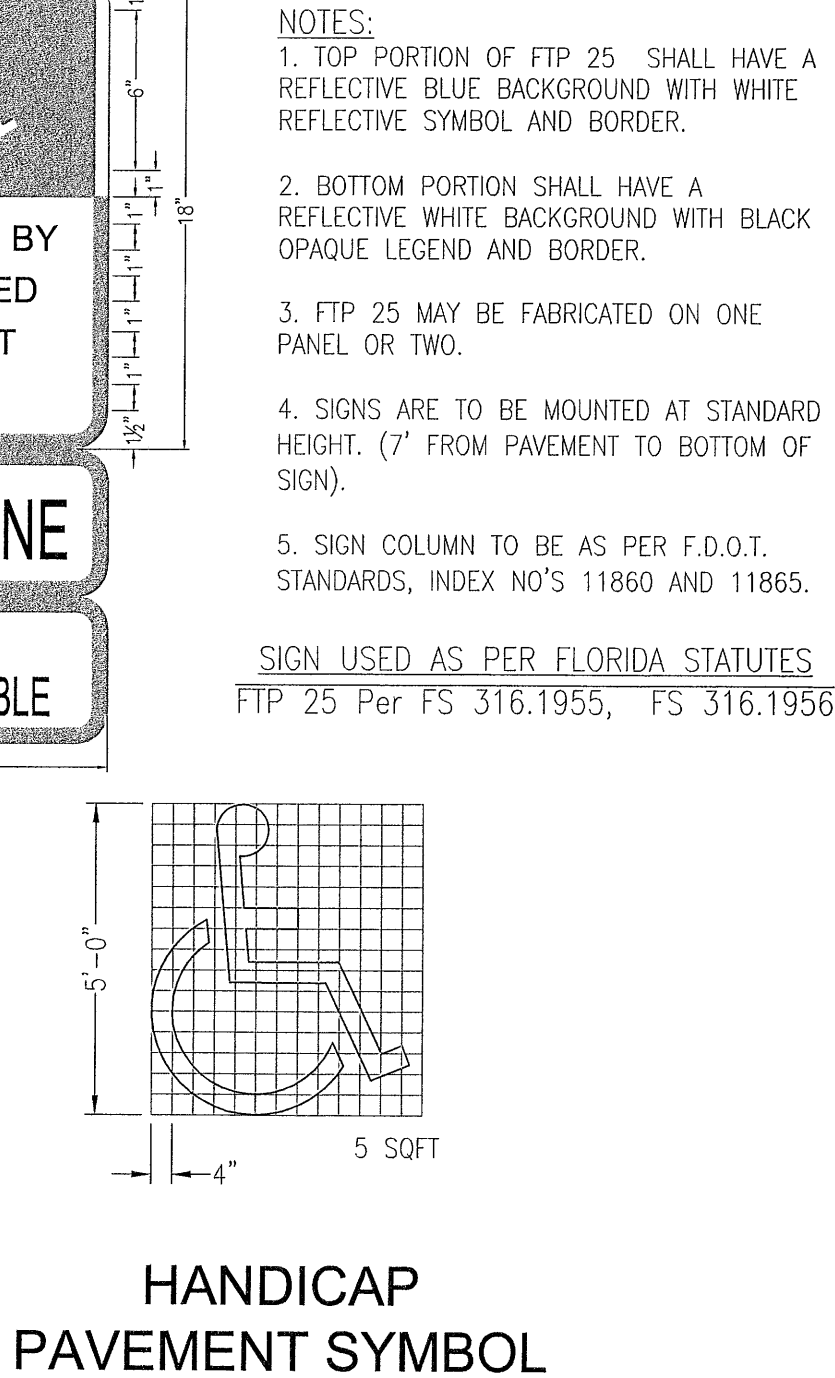
BOLLARD DETAIL
N.T.S.



CURB TRANSITION
TYPE 'F' TO ASPHALT
N.T.S.

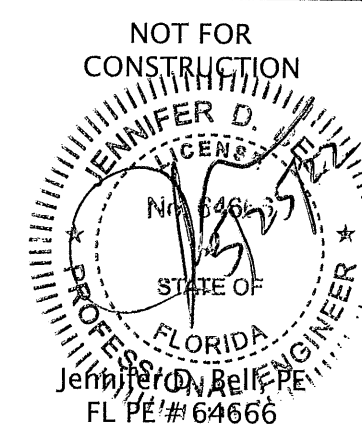


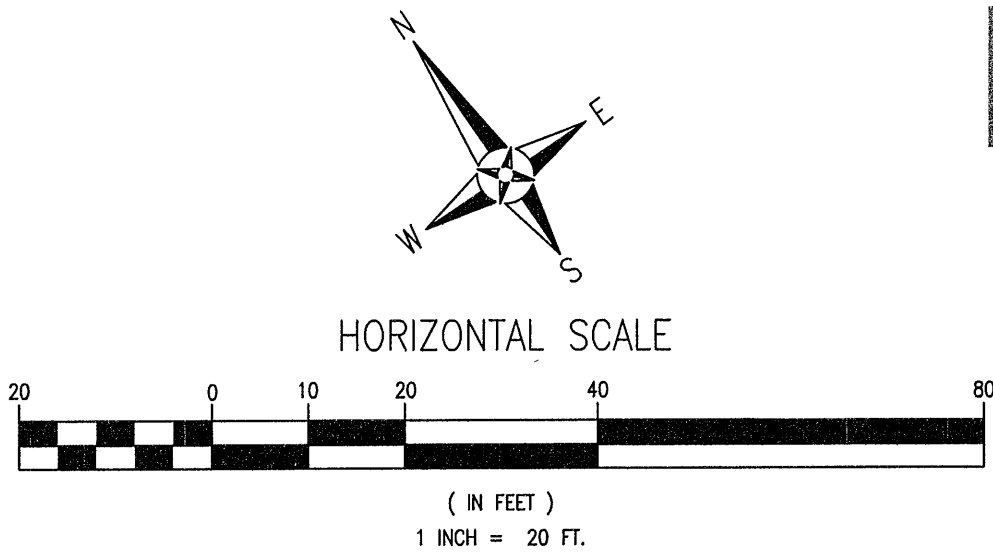
SIGN POST DETAIL
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HANDICAP
PAVEMENT SYMBOL
N.T.S.

DATE	#	REVISION DESCRIPTION
05/25/22	1	FDOT DRAINAGE REVIEW
05/25/22	2	ESCO DEVELOPMENT REVIEW





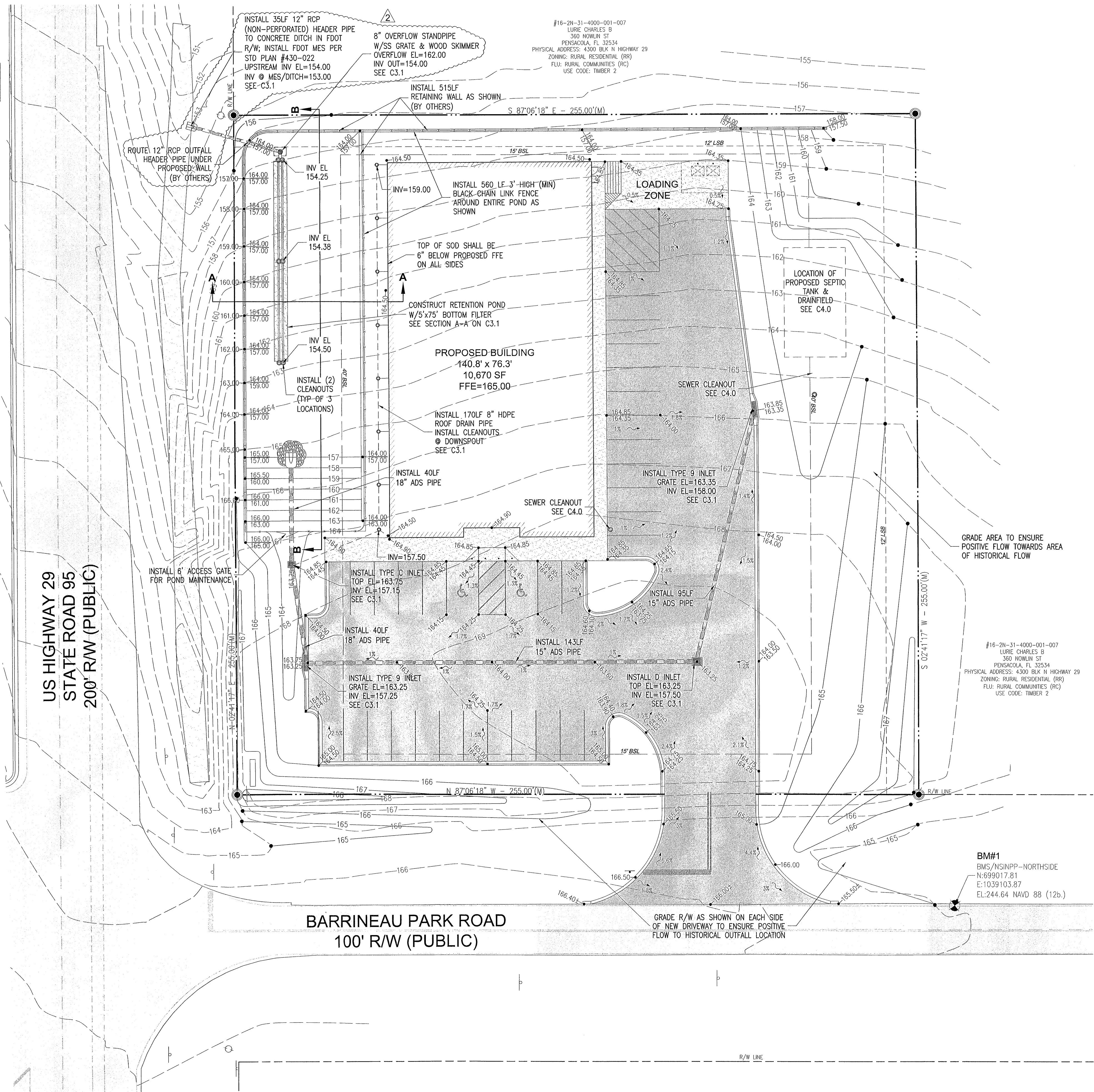
BENCHMARK TABLE:					
ELEV 165.15 (NAVD 88 12b) TBM NO. 1: BMS/COTTONSPINDLEST N:622328.08, E:1072675.68					
FEMA FLOOD INSURANCE RATE MAP INFORMATION					
THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONES AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:					
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X	120080	12033C	0240	G	SEPT 29, 2006
X	120080	12033C	0290	J	JAN 27, 2017

SPEED LIMIT TABLE	
SPEED LIMIT	ROADWAY
45 MPH	BARRINEAU PARK ROAD
45 MPH	US HIGHWAY 29/SR 95

LEGEND	
	EXISTING ASPHALT
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	BENCHMARK
	FLOW ARROW
	PROPOSED SPOT ELEVATION

- GENERAL NOTES:**
- THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION(S). THE CONTRACTOR SHALL CONTROL STORM WATER DURING ALL PHASES OF CONSTRUCTION.
 - THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
 - ALL ASPECTS OF THE STORM WATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
 - THE ENGINEER OF RECORD SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
 - NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE COUNTY. ANY DEVIATIONS MAY RESULT IN OBTAINING A CERTIFICATE OF OCCUPANCY.
 - RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORM WATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORM WATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
 - THE DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN-OUT ACCUMULATED SILT, AND STABILIZE RETENTION PONDS AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
 - THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH ESCAMBIA COUNTY, A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
 - ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD.
 - ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORM WATER TO RETENTION/DETENTION AREAS.
 - ALL RIP-RAP FLUMES SHALL BE INSTALLED WITH A FILTER FABRIC INSTALLED UNDERNEATH FOR THE ENTIRE AREA OF THE RIP-RAP.
 - THE CONTRACTOR SHALL NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RIGHT-OF-WAY. (1-800-432-4770).
 - THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHT OF WAY.
 - PRIOR TO INSTALLATION, THE CONTRACTOR SHALL OBTAIN BUILDING INSPECTION DEPARTMENT PERMIT(S) FOR ANY RETAINING WALL HIGHER THAN 2 FEET.

- NWFWMD ENVIRONMENTAL RESOURCE PERMITTING (ERP) NOTES:**
- AT LEAST 48 HOURS PRIOR TO BEGINNING THE AUTHORIZED ACTIVITIES, THE PERMITTEE (VIA CONTRACTOR) SHALL SUBMIT TO THE AGENCY A FULLY EXECUTED FORM 62-330.350(1), "CONSTRUCTION COMMENCEMENT NOTICE" INDICATING THE EXPECTED START AND COMPLETION DATES. THE NPDES NOI TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES, DEP FORM 62-621.300(4)(b), SHALL ALSO SERVE AS NOTICE OF COMMENCEMENT OF CONSTRUCTION UNDER FAC 62-330. COPIES OF THE NOTICES SHALL BE FORWARDED TO THE EOR.
 - WITHIN 30 DAYS AFTER COMPLETING CONSTRUCTION OF THE ENTIRE PROJECT, OR ANY INDEPENDENT PORTION OF THE PROJECT, THE PERMITTEE (VIA EOR) SHALL PROVIDE THE ASBUILT CERTIFICATION AND REQUEST FOR CONVERSION TO OPERATION PHASE FORM 62.330.310(1). THE OWNER IS RESPONSIBLE FOR OBTAINING AN ASBUILT SURVEY IN ORDER TO VERIFY THAT THE FINISHED ELEVATIONS ARE IN COMPLIANCE WITH THE APPROVED PLANS. THIS SURVEY SHALL BE PROVIDED TO THE EOR IN ORDER TO COMPLETE THE ASBUILT CERTIFICATIONS.
 - THE OPERATION AND MAINTENANCE OF THE FACILITY WILL BE THE RESPONSIBILITY OF THE OWNER, AS IN ACCORDANCE WITH THE APPROVED PERMIT.
 - A COPY OF THE PERMIT SHALL BE KEPT ONSITE.
 - THE CONTRACTOR IS REQUIRED TO REVIEW THE COMPLETE PERMIT PRIOR TO CONSTRUCTION COMMENCEMENT.
 - AN 8 1/2"x11 WEATHER RESISTANT SIGN, INCLUDING THE PERMIT NUMBER, SHALL BE PLACED ON THE PROPERTY FACING THE ROAD.



BELL
ENGINEERING SERVICES

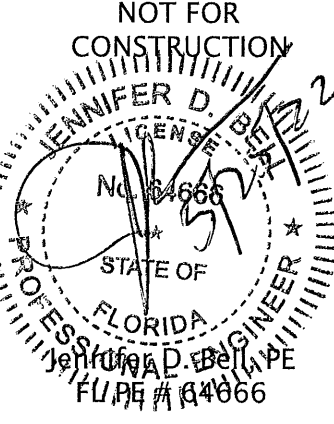
Jennifer D. Bell, P.E. (FL #64666)
Pensacola, Florida 32503
EB 00029198

GRADING &
DRAINAGE PLAN

DOLLAR GENERAL

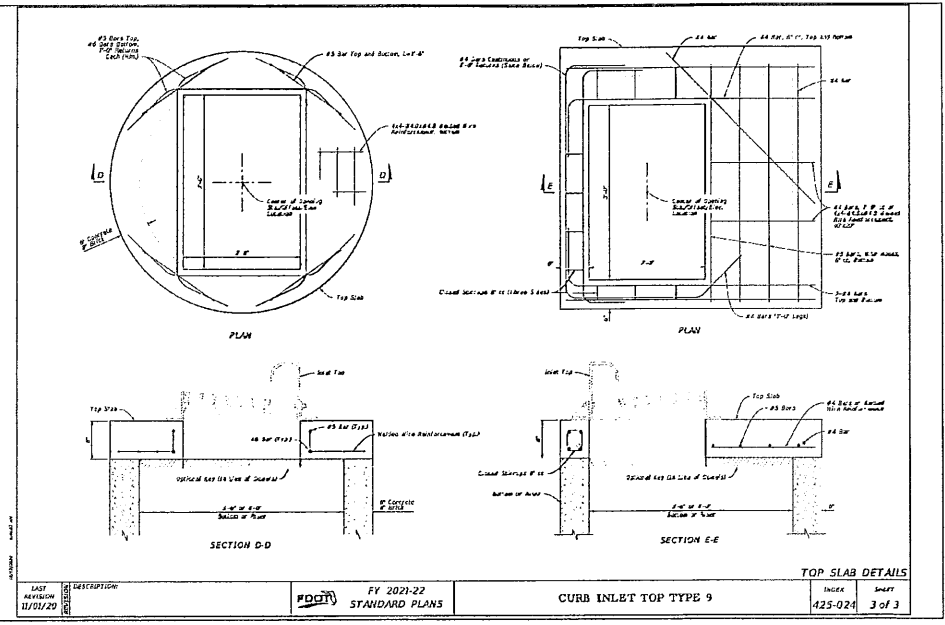
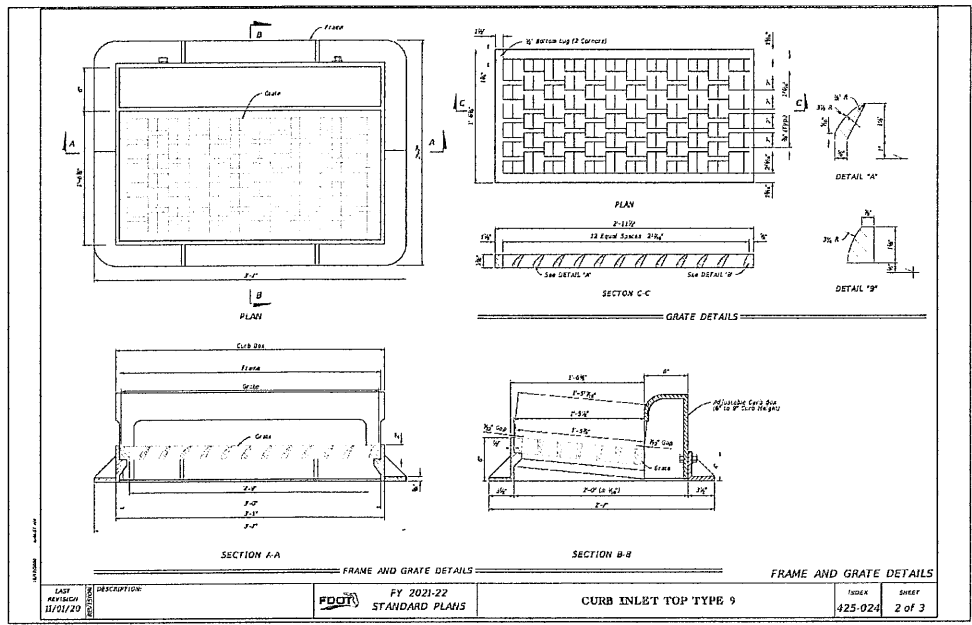
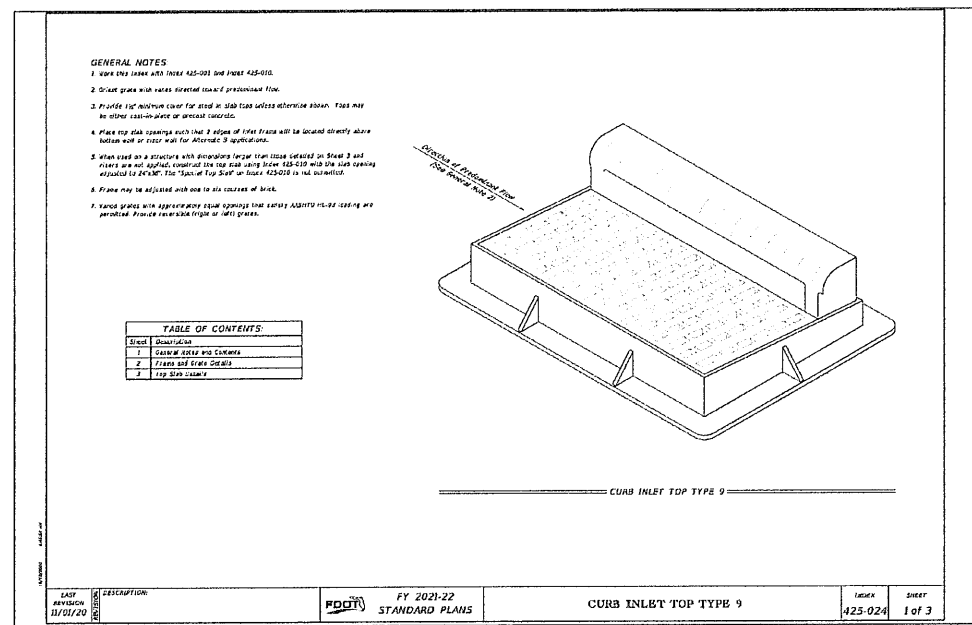
STORE #24239
4430 N. HIGHWAY 29
ESCAMBIA COUNTY, FLORIDA

DATE	#	REVISION DESCRIPTION
05/25/22	1	FDOT DRAINAGE REVIEW
05/25/22	2	ESCO DEVELOPMENT REVIEW

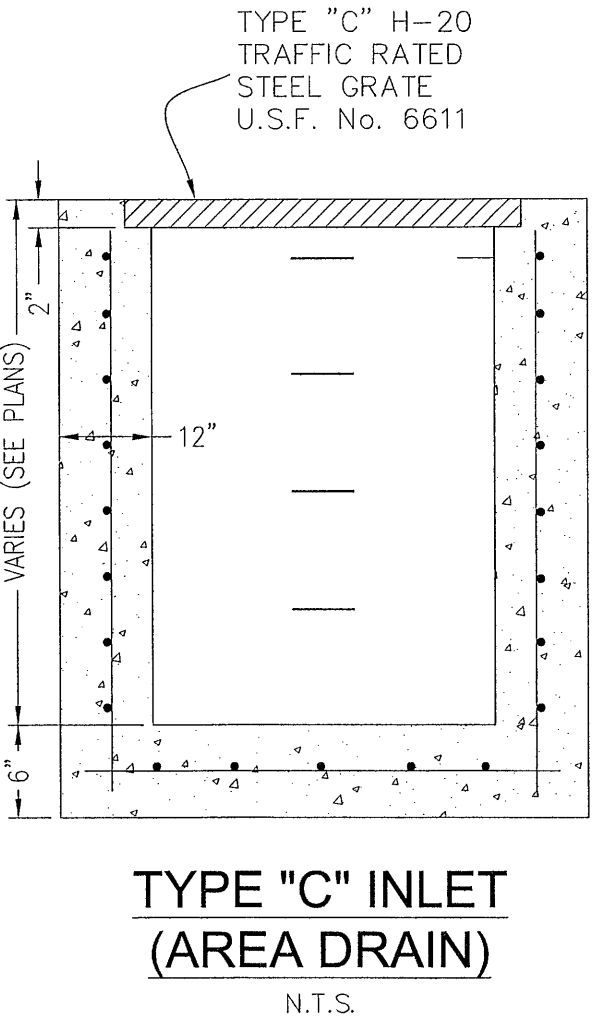
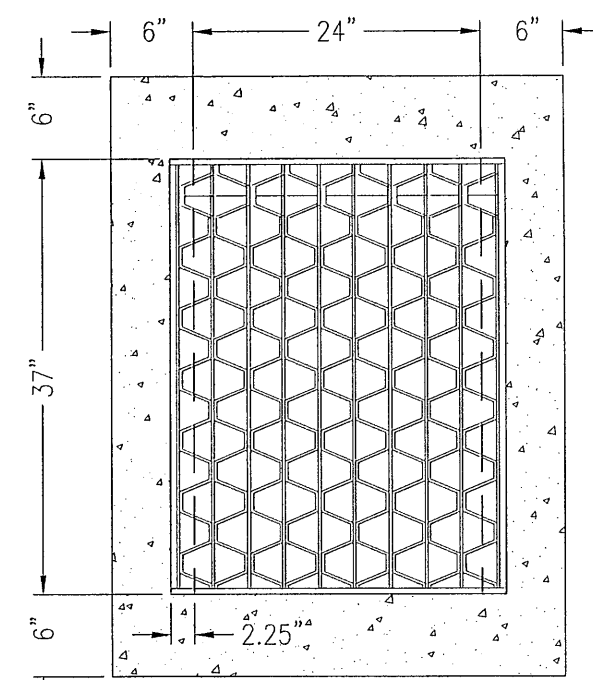


Job No.: 2022007
Date: 05/25/22

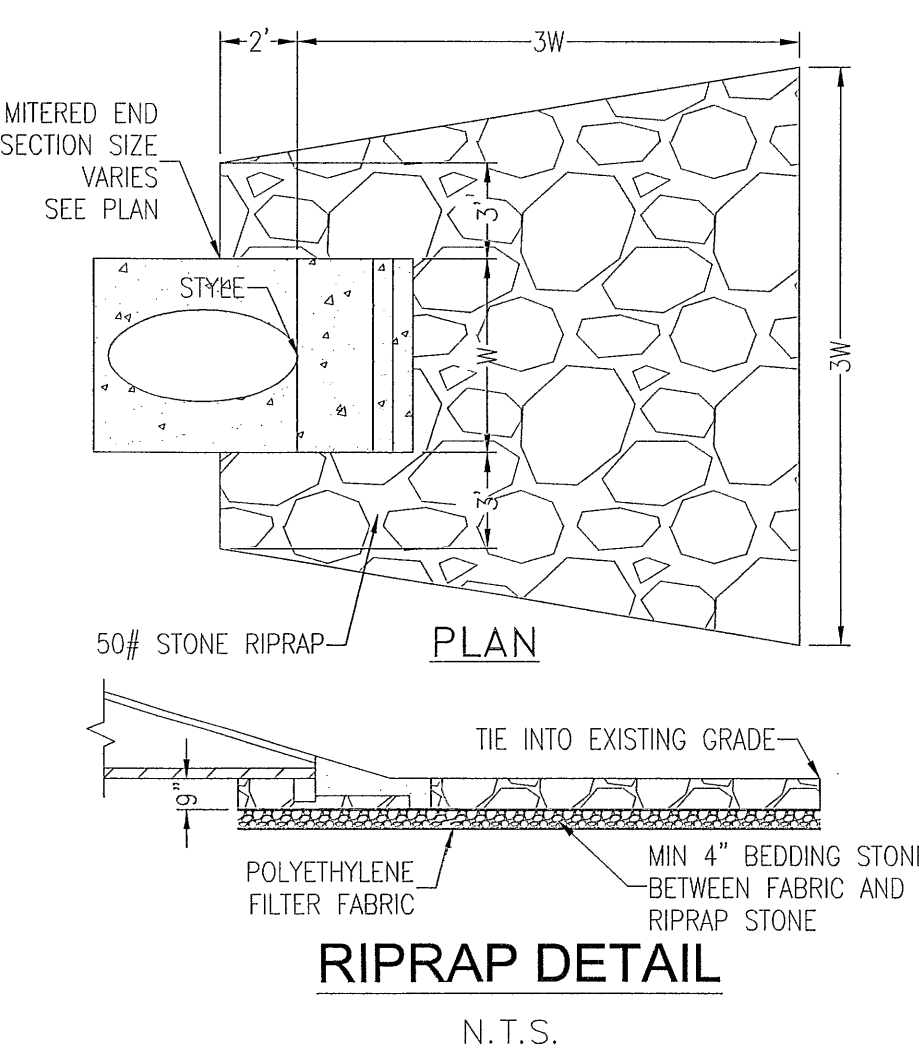
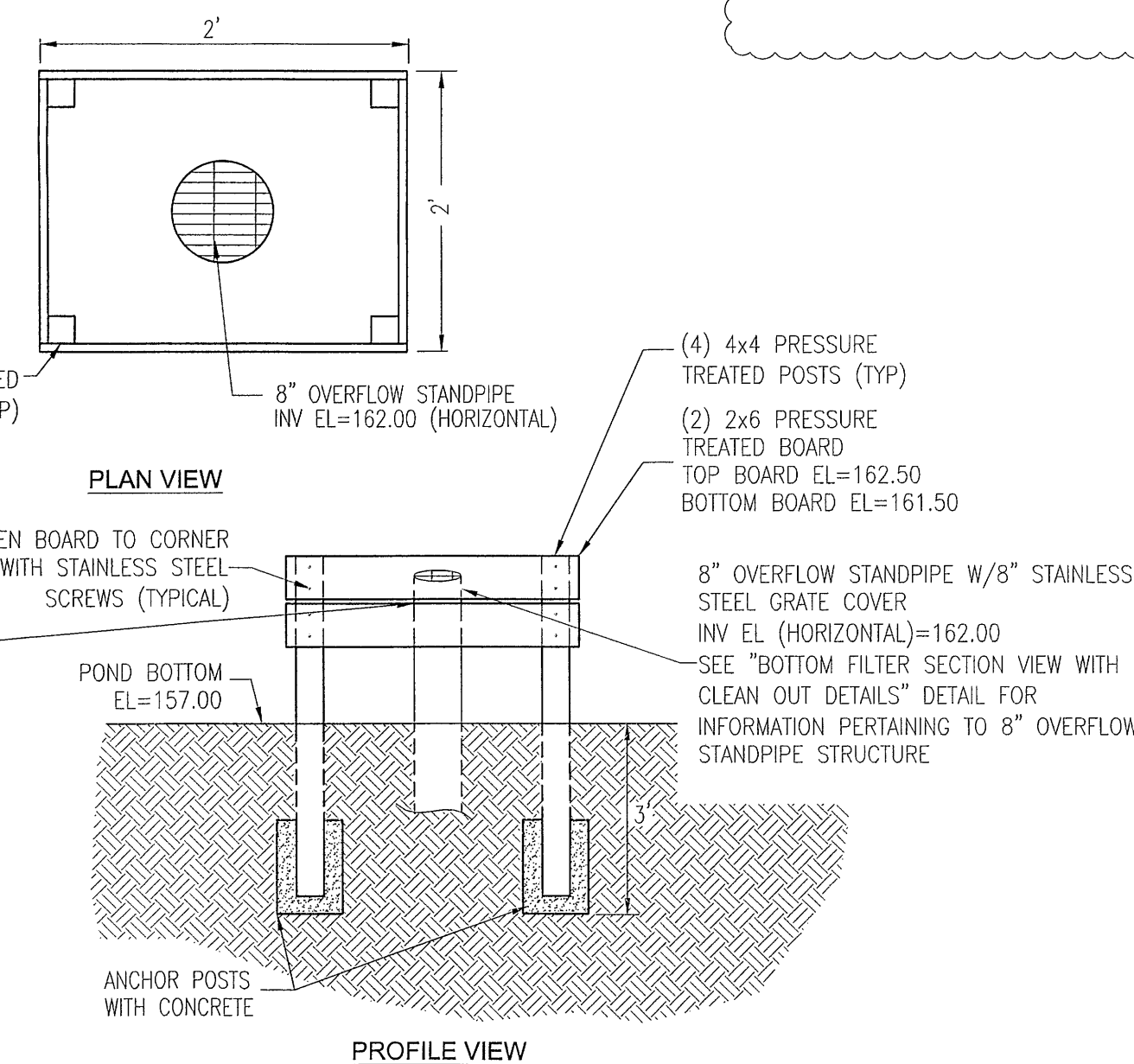
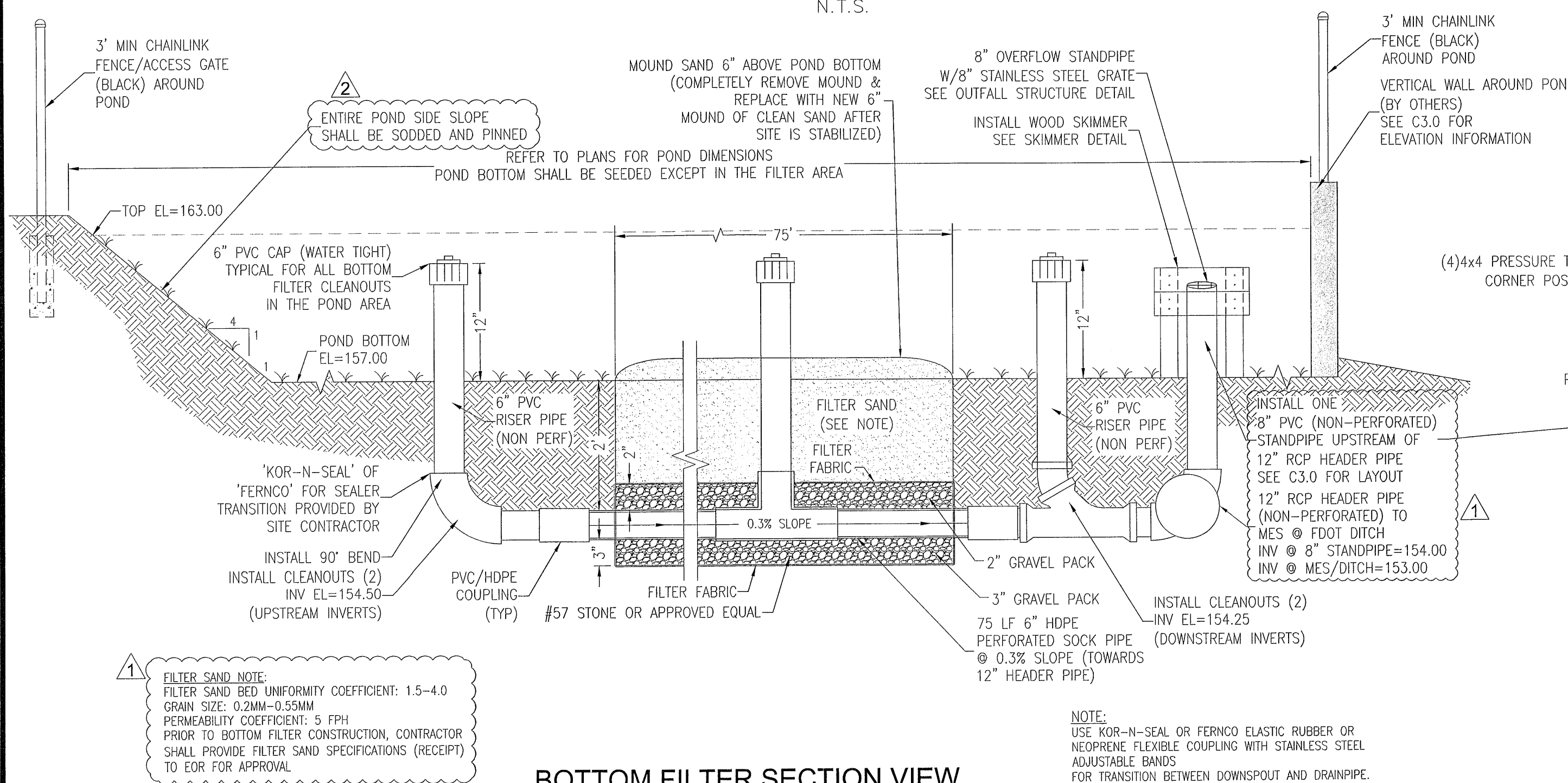
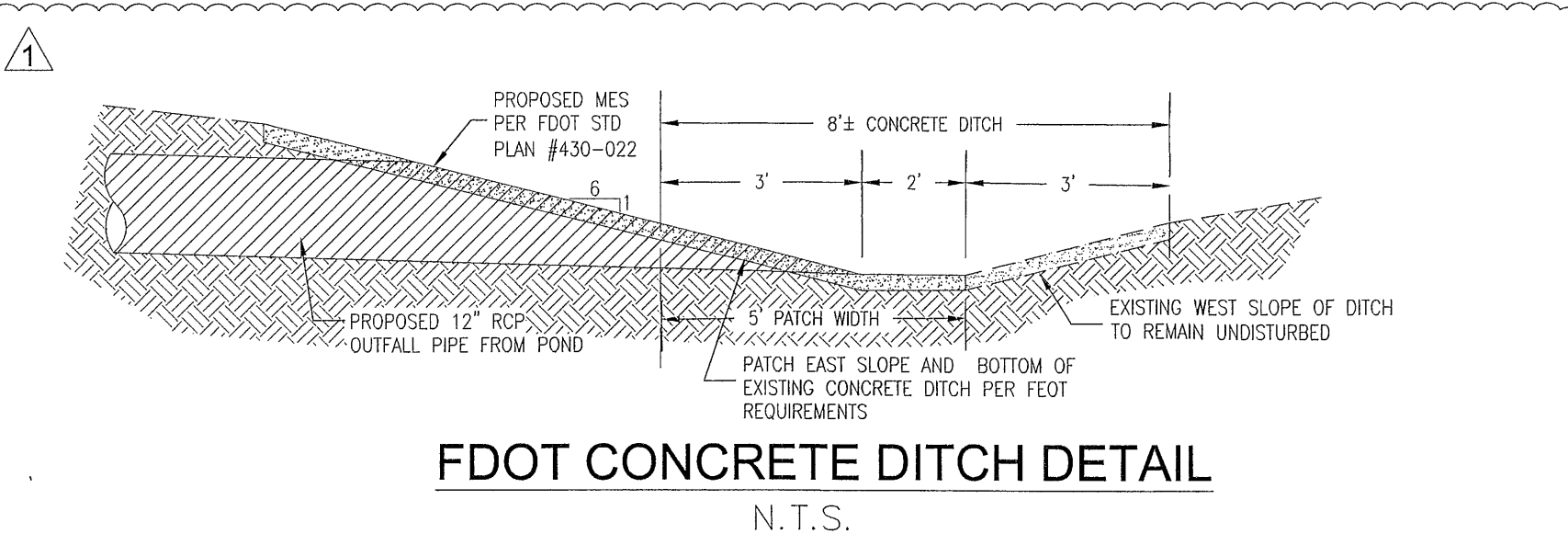
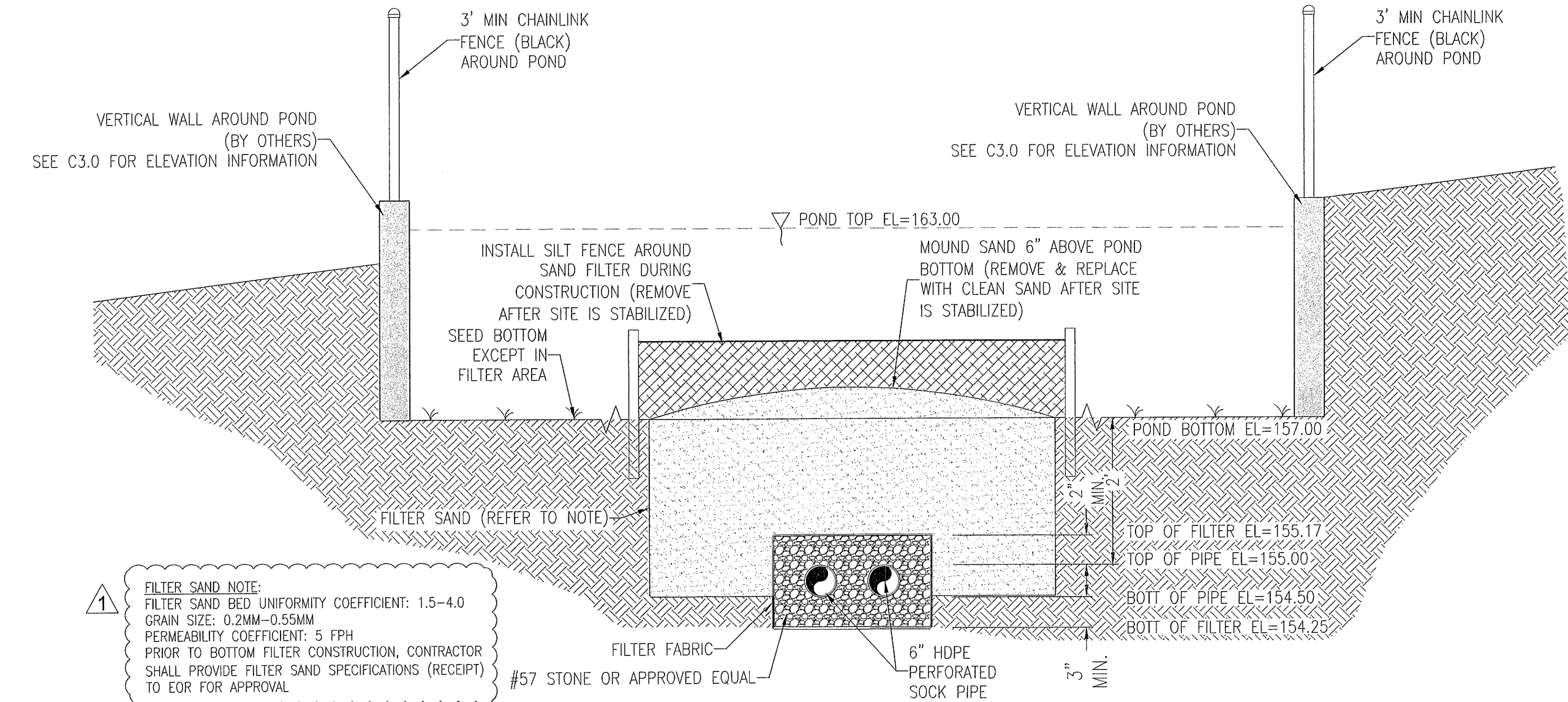
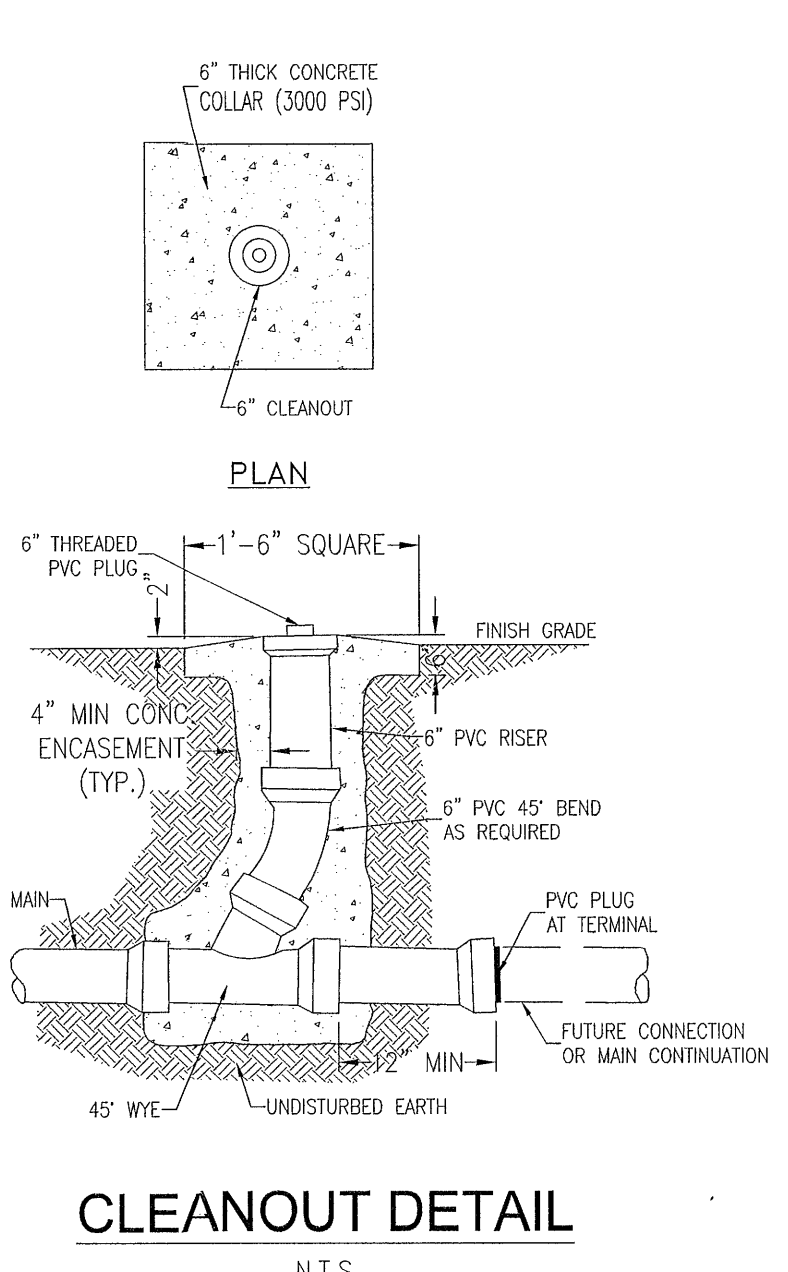
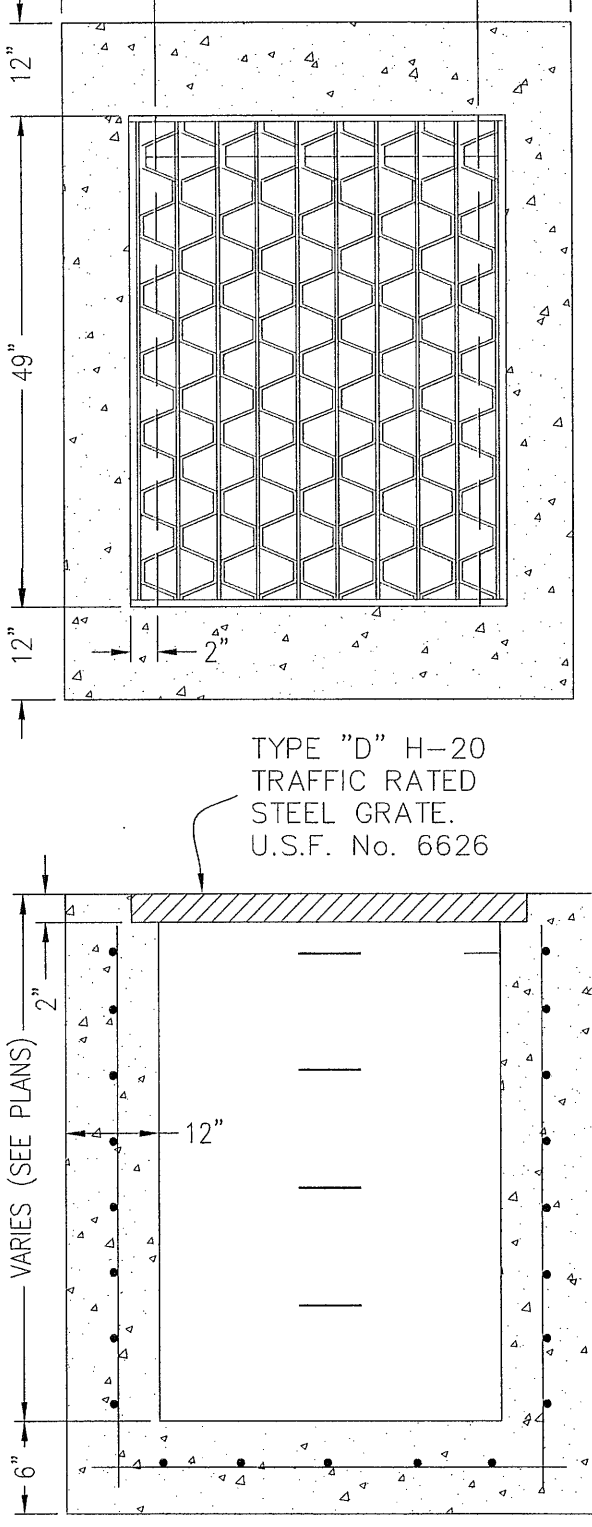
C3.0



TYPE 9 INLET DETAILS
N.T.S.



TYPE "D" INLET
N.T.S.



BELL
ENGINEERING SERVICES
Jennifer D. Bell, P.E. (FL #64666)
Pensacola, Florida 32503
EB 00029198

MISCELLANEOUS SITE DETAILS

DOLLAR GENERAL
STORE #24239
4430 N. HIGHWAY 29
ESCAMBIA COUNTY, FLORIDA

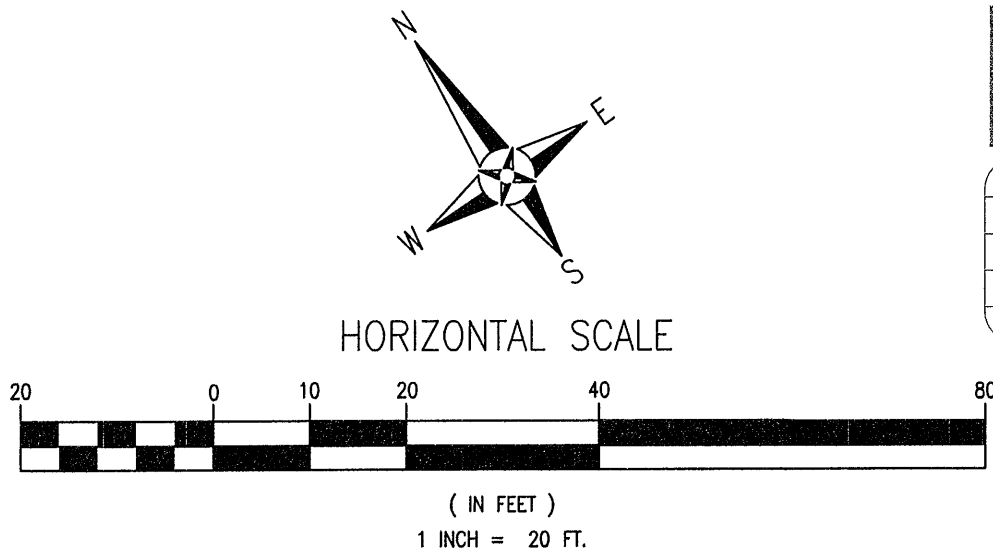
DATE	#	REVISION DESCRIPTION
05/25/22	1	FOOT DRAINAGE REVIEW
05/25/22	2	ESCO DEVELOPMENT REVIEW

NOTARIAL PUBLIC
JENNIFER D. BELL
No. 64666
FLORIDA
JENNIFER D. BELL, PE
FL PE # 64666

Job No.: 2022007
Date: 05/25/22

C3.1

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BENCHMARK TABLE:

ELEV 185.15 (NAVD 88 12b)	TBM NO. 1: BMS/COTTONSPINDLESET
N:822328.08, E:1072675.68	

FEMA FLOOD INSURANCE RATE MAP INFORMATION

THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONES AS DETERMINED BY FEMA FIRM FLOOD INSURANCE RATE MAP INFORMATION DESCRIBED BELOW:

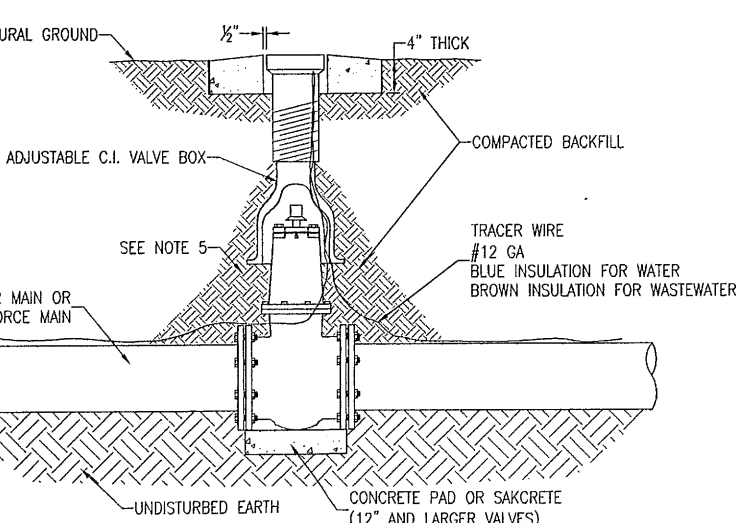
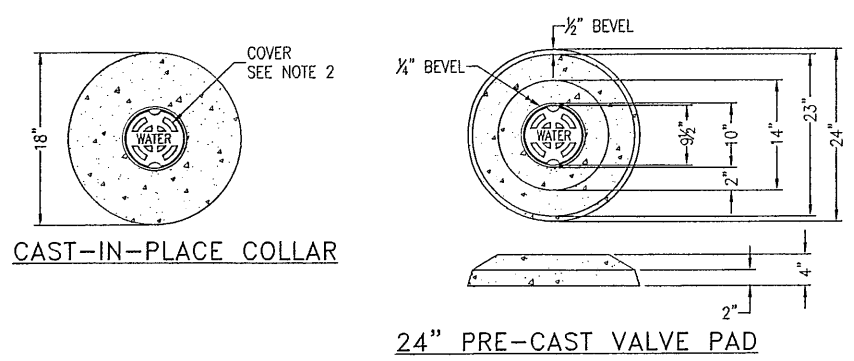
FLOOD ZONES	COMMUNITY NO	MAP NO	PANEL NO	SUFFIX	MAP REVISION DATE
X	120080	12033C	0240	G	SEPT 29, 2006
X	120080	12033C	0290	J	JAN 27, 2017

SPEED LIMIT TABLE

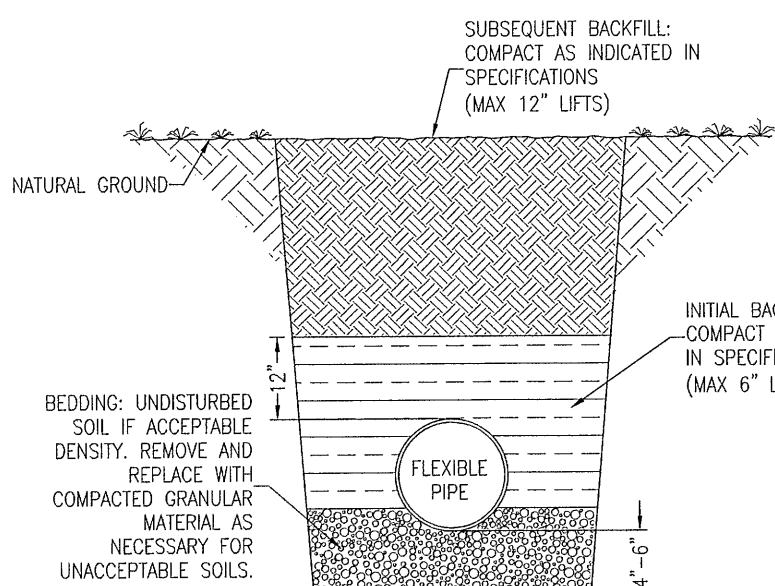
SPEED LIMIT	ROADWAY
45 MPH	BARRINEAU PARK ROAD
45 MPH	US HIGHWAY 29/SR 95

SEPTIC TANK NOTE: SIZE OF SEPTIC TANK & DRAIN FIELD TO BE DETERMINED BY THE ESCAMBIA COUNTY HEALTH DEPARTMENT. THE EXACT LOCATION OF THE SEPTIC TANK & DRAIN FIELD SHALL BE CONFIRMED IN THE FIELD. EXACT INVERTS SHALL BE COORDINATED BETWEEN THE PLUMBER & THE ENGINEER OF RECORD AT THE TIME OF CONNECTION.

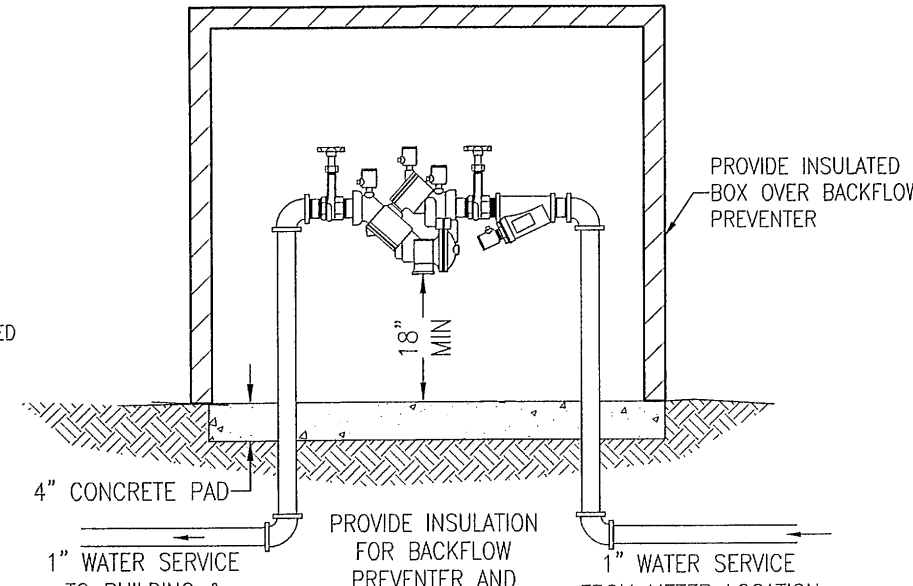
- NOTES:**
1. VALVE BOX AND BOOT SHALL BE CAST IRON.
 2. VALVE COVER SHALL BE MARKED "WATER" OR "SEWER" AS APPLICABLE.
 3. VALVE BOX TOP SHALL BE FLUSH WITH FINISHED GRADE OR $\frac{1}{2}"$ ABOVE NATURAL GROUND LEVEL.
 4. GATE VALVE SHALL BE RESILIENT SEAT WITH MECHANICAL JOINT ENDS OR APPROVED EQUIVALENT.
 5. EARTH UNDER FLANGE OF VALVE BOX & COLLAR TO BE FIRM AND WELL TAMPED TO ENSURE AGAINST VALVE BOX SETTLING.



TYPICAL VALVE & BOX INSTALLATION
N.T.S.



FLEXIBLE PIPE BEDDING
N.T.S.



BACKFLOW PREVENTION ASSEMBLY
N.T.S.

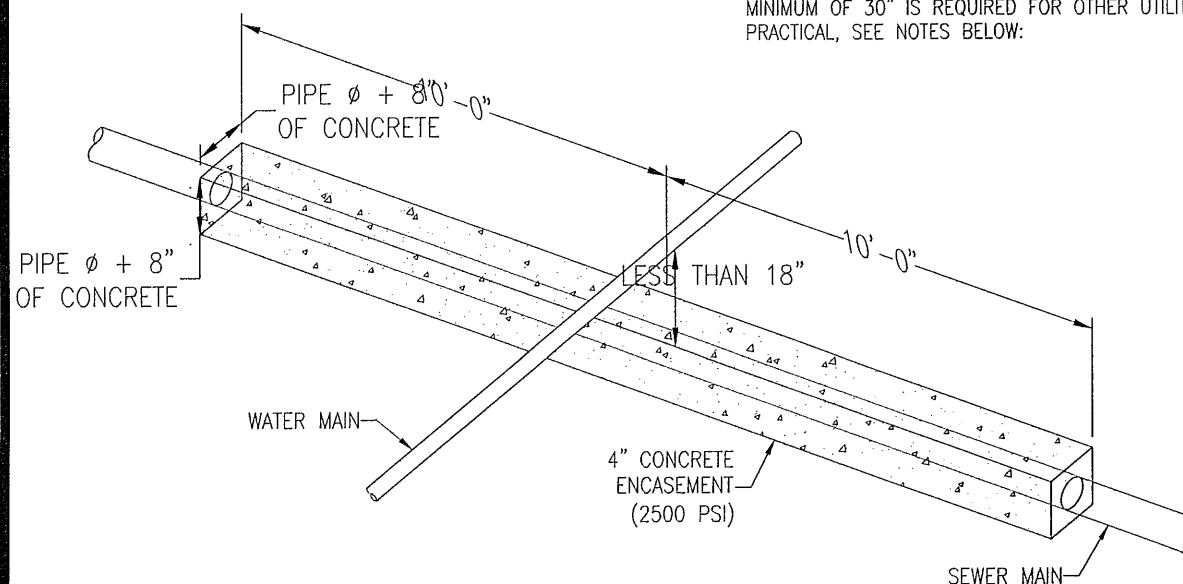
NOTE:
SANITARY SEWER LINES (GRAVITY OR PRESSURE) SHALL HAVE 18" OR GREATER VERTICAL CLEARANCE BELOW ANY POTABLE WATER LINE WHEN CROSSING. A MINIMUM OF 6" VERTICAL CLEARANCE IS REQUIRED FOR OTHER UTILITIES. HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER LINE THAT IS PARALLEL TO AND LESS THAN 18" BELOW A POTABLE WATER LINE SHALL BE 10" OR GREATER. A MINIMUM OF 30" IS REQUIRED FOR OTHER UTILITIES. IF THIS IS NOT POSSIBLE OR PRACTICAL, SEE NOTES BELOW.

FOR CROSSING: ENCASE AS ABOVE SO THAT THE ENDS OF ENCASEMENT ARE AT LEAST 12" FROM ANY WATER LINE JOINT. WATER LINE JOINT MUST NOT BE CLOSER THAN 5' TO THE POINT OF CROSSING, OR IT MUST ALSO BE ENCASED.

ALTERNATE 1: USE EQUALLY (OR HIGHER) RATED PRESSURE PIPE FOR SEWER WITH NO JOINTS CLOSER THAN 12' APART AND 6" VERTICAL.

ALTERNATE 2: PLACE SEWER LINE INTO STEEL CASING AND CENTER 20" PIECE WITH 4" VERTICAL CLEARANCE AND SEAL ENDS.

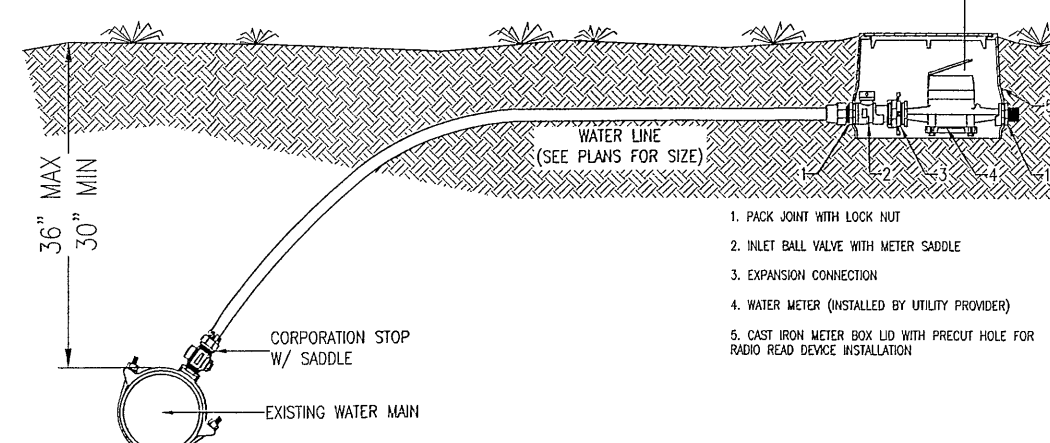
FOR PARALLEL: AND 6" TO 10' APART USE ALTERNATE 2, BUT IF MORE THAN 40' IN LENGTH, ALTERNATE 1 MUST BE USED AND JOINTS ARE TO BE STAGGERED. IF LINES MUST BE 3' TO 6' APART, ALTERNATE 1 MUST BE USED WITH A HIGHER RATED PRESSURE PIPE FOR SEWER (i.e., WATER LINE IS DR25 THEN USE DR18 OR 21 FOR SEWER).



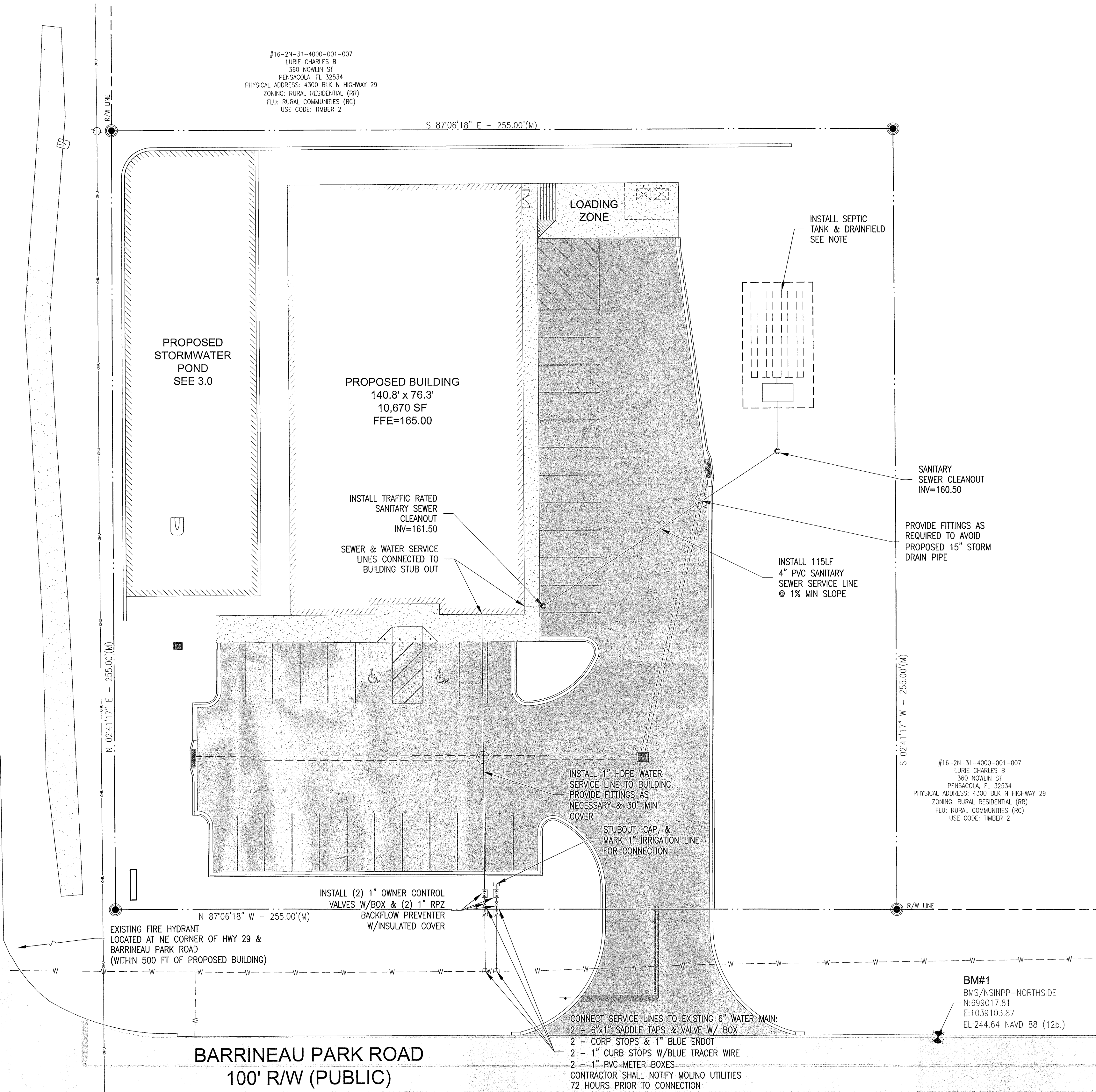
SEWER / WATER SEPARATION & CLEARANCES
N.T.S.

US HIGHWAY 29
STATE ROAD 95
200' RW (PUBLIC)

BARRINEAU PARK ROAD
100' R/W (PUBLIC)



TYPICAL WATER SERVICE
N.T.S.



BELL
ENGINEERING SERVICES

Jennifer D. Bell, P.E. (FL #64666)
Pensacola, Florida 32503
EB 00029198

UTILITY PLAN

DOLLAR GENERAL

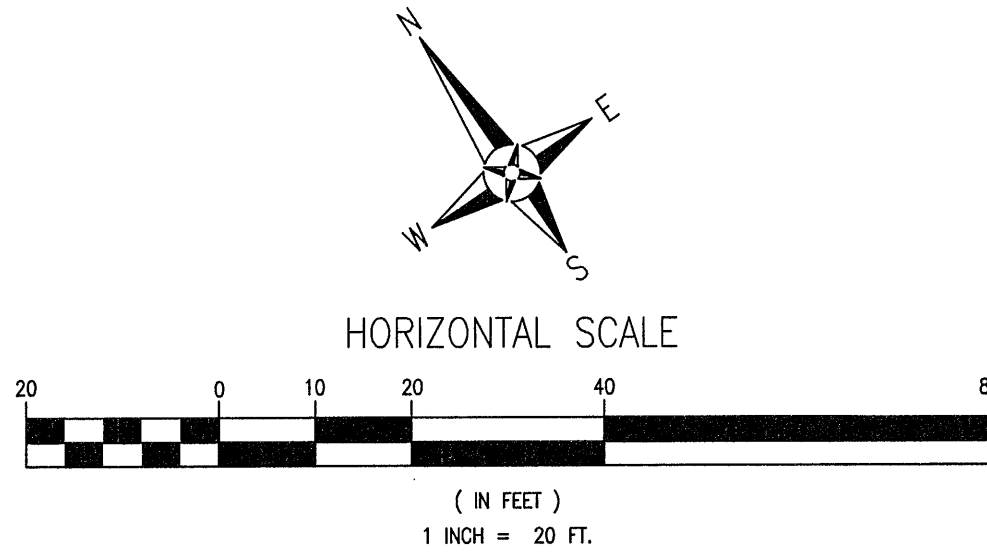
STORE #24239
4430 N. HIGHWAY 29
ESCAMBIA COUNTY, FLORIDA

DATE	#	REVISION DESCRIPTION
05/25/22	1	FOOT DRAINAGE REVIEW
05/25/22	2	ESCO DEVELOPMENT REVIEW

NOT FOR CONSTRUCTION
JENNIFER D. BELL
P.E.
FLORIDA PROFESSIONAL ENGINEER
FL PE # 64666

Job No.: 2022007
Date: 05/25/22

C4.0

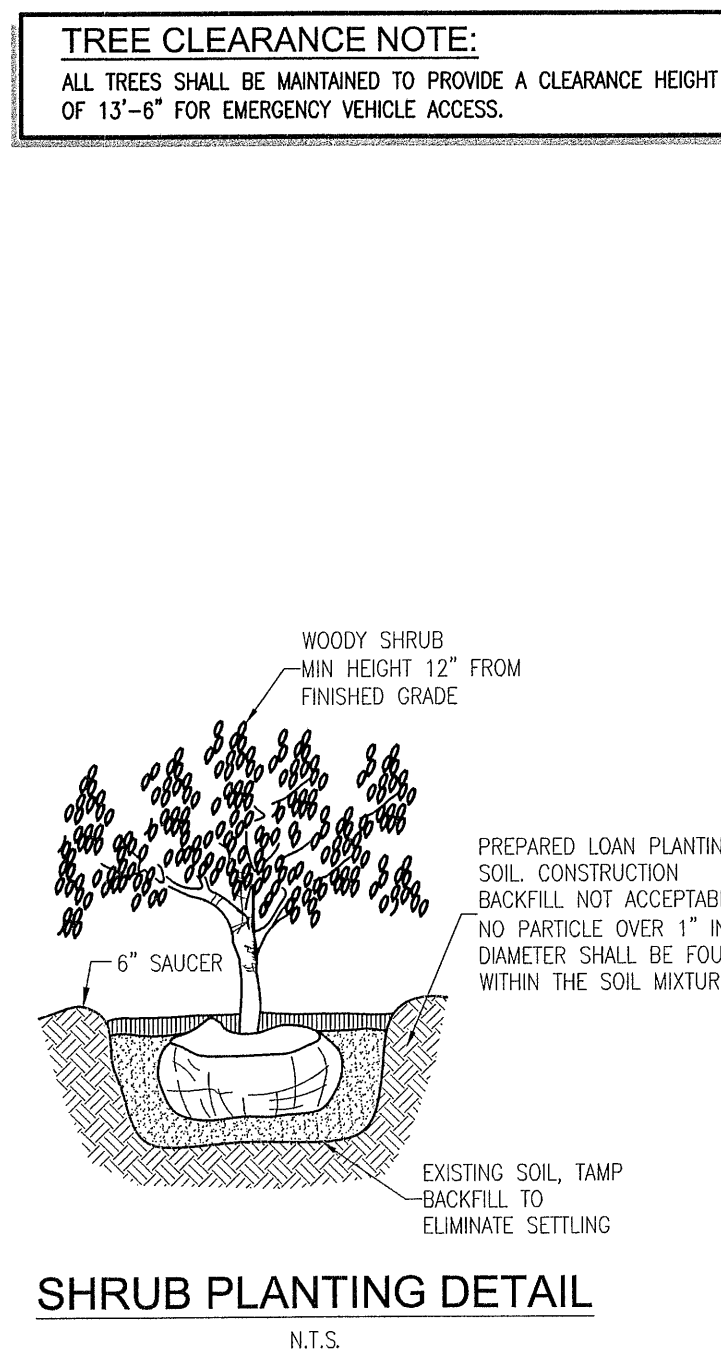


BENCHMARK TABLE:					
ELEV 165.15 (NAVD 88 12b) TBM NO. 1: BMS/COTTONSPINDLESET N:622328.08, E:1072675.68					
FEMA FLOOD INSURANCE RATE MAP INFORMATION					
THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONES AS DETERMINED BY FEMA FIRM FLOOD INSURANCE RATE MAP INFORMATION DESCRIBED BELOW:					
FLOOD ZONES	COMMUNITY NO	MAP NO	PARCEL NO	SUFFIX	MAP REVISION DATE
X	120080	12033C	0240	G	SEPT 29, 2005
X	120080	12033C	0290	J	JAN 27, 2017

SPEED LIMIT TABLE	
SPEED LIMIT	ROADWAY
45 MPH	BARRINEAU PARK ROAD
45 MPH	US HIGHWAY 29/SR 95

LEGEND

- EXISTING ASPHALT
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED SEED (POND BOTTOM EXCEPT FILTER AREA)
- PROPOSED PINESTRAW (AROUND PROPOSED LANDSCAPING)
- PROPOSED BAHIA SOD (IN R/W)
- PROPOSED BERMUDA SOD (ONSITE)
- PROPOSED 6"H WOOD SHADOWBOX FENCE
- PROPOSED 3"H BLACK CHAIN LINK FENCE
- DENOTES PROPOSED CANOPY TREE (SOUTHERN MAGNOLIA OR APPROVED EQUAL (MATURE HEIGHT > 20 FEET) - SEE NOTE 7
- DENOTES PROPOSED CANOPY TREE (LIVE OAK OR APPROVED EQUAL (MATURE HEIGHT > 20 FEET) - SEE NOTE 7
- DENOTES PROPOSED CANOPY TREE (BALD CYPRESS OR APPROVED EQUAL (MATURE HEIGHT > 20 FEET) - SEE NOTE 7
- DENOTES REQUIRED MITIGATION TREE (CANOPY) (REFER TO SYMBOLS ABOVE FOR SPECIES)
- DENOTES REQUIRED UNDERSTORY TREE (FRINGE TREE & RED BUD) OR APPROVED EQUAL (MATURE HEIGHT < 20 FEET)
- DENOTES PROPOSED SHRUB (GARDENIA & HAWTHORN) OR APPROVED EQUAL (MIN. 12" HEIGHT AT TIME OF PLANTING)



- LANDSCAPE NOTES:**
- NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD HAPPEN UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
 - STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
 - NO PROTECTED TREES INDICATED FOR PRESERVATION SHALL BE REMOVED, DESTRUCTIVELY DAMAGED, MUTILATED, RELOCATED, DISFIGURED, DESTROYED, CUT DOWN OR EXCESSIVELY PRUNED.
 - ROOT PRUNING SHALL OCCUR WHERE THE GRADE IS LOWERED OR INSTALLING BASE MATERIAL WITHIN DRIP LINE OF A PROTECTED TREE. THE CONTRACTOR SHALL SEVER THE ROOTS CLEANLY WITH A SHARP INSTRUMENT TO A DEPTH OF 18". ROOTS SHALL NOT BE TORN AS WITH THE USE OF A BACK HOE.
 - AT COMPLETION OF CONSTRUCTION, ALL EXPOSED DIRT SHALL BE STABILIZED WITH SOD, A HAY/SEED MIX OR HYDROSEED.
 - SOD SHALL BE WATERED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
 - PLANTING DIVERSITY (PER DSM, CHAPTER 2, ARTICLE 2, SECTION 2-6.1(C)).

Native Trees Appropriate for Escambia County Site Development

Greatest Wind Resistance	Scientific Name	Drought Tolerant	Salt Tolerant	Mature Height
Live Oak	<i>Quercus virginiana</i>	High	High	15 to 30 feet
American Holly	<i>Ilex opaca</i>	High	Moderate	15 to 30 feet
Bald Cypress	<i>Taxodium distichum</i>	High	High	40 to 60 feet
Black Tupelo	<i>Nyssa sylvatica</i>	High	Moderate	30 to 40 feet
Redwood	<i>Liquidambar styraciflua</i>	Moderate	High	20 to 30 feet
Fringe Tree	<i>Chionochloa virginiana</i>	High	High	12 to 20 feet
Bell Tree	<i>Fraxinus americana</i>	High	High	20 to 30 feet
Swamp White Birch	<i>Betula pumila</i>	High	High	10 to 20 feet
Southern Magnolia	<i>Magnolia grandiflora</i>	Moderate	High	40 to 60 feet
Shrimp Plant	<i>Smilax glabra</i>	High	High	10 to 20 feet
Chinese Elm	<i>Ulmus parviflorus</i>	High	High	10 to 20 feet
Redbud	<i>Kalmia latifolia</i>	High	High	10 to 20 feet

Intermediate Wind Resistance	Scientific Name	Drought Tolerant	Salt Tolerant	Mature Height
White Shrub	<i>Amelanchier canadensis</i>	High	High	10 to 20 feet
Silver Shrub	<i>Amelanchier canadensis</i>	High	High	10 to 20 feet
Blackberry	<i>Rubus coccineus</i>	High	High	10 to 20 feet
White Cedar	<i>Chamaecyparis stricta</i>	Moderate	High	10 to 20 feet
Blueberry	<i>Vaccinium corymbosum</i>	High	High	10 to 20 feet
Blackberry	<i>Rubus coccineus</i>	High	High	10 to 20 feet
Blackberry	<i>Rubus coccineus</i>	High	High	10 to 20 feet
Blackberry	<i>Rubus coccineus</i>	High	High	10 to 20 feet

For Escambia County Land Use Department Code: All plant material shall conform to the current Florida Department of Transportation (FDOT) "Tree Selection and Planting Manual" - 2010 edition. Plant material shall be supplied by a grower who has been approved by the Florida Department of Transportation (FDOT) for the purpose of supplying plants for the state of Florida.

DIVERSITY TABLE

# OF NEW TREES PLANTED ONSITE	MAX. % OF ANY ONE SPECIES
5-19	67%
20-49	40%
50+	30%

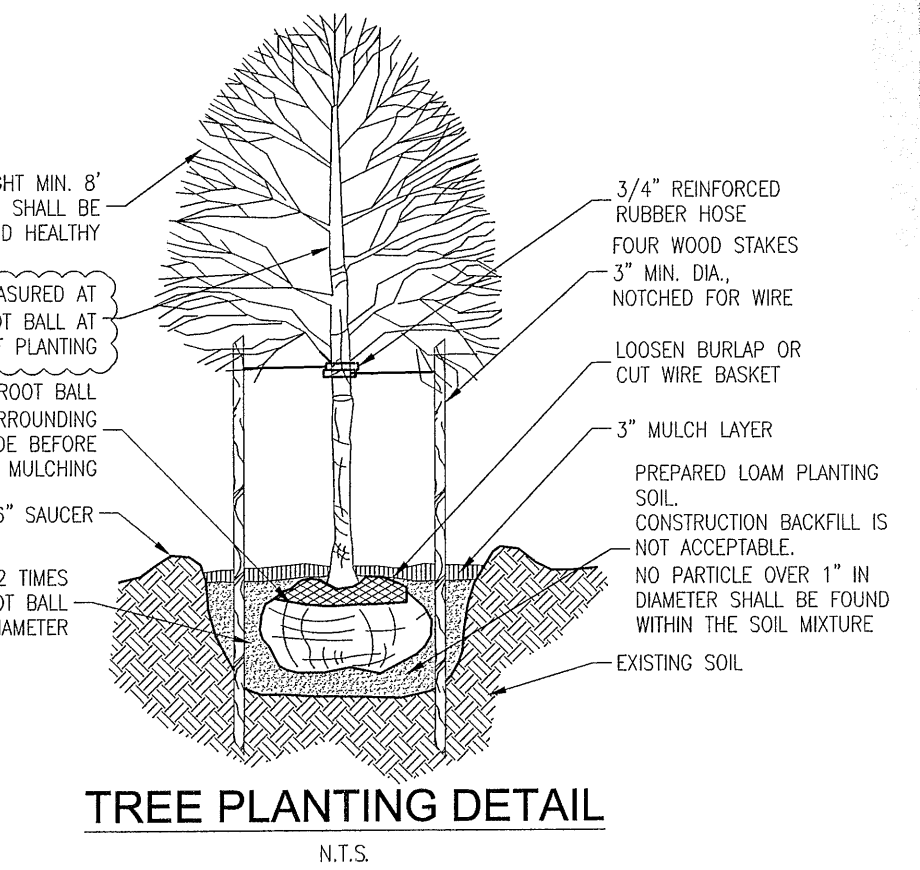
8. ALL DISTURBED AREAS IN THE R/W SHALL BE REGRADED AND SODDED AND/OR SEED AND MULCHED. OTHER DISTURBED AREAS MAY BE REPAIRED BY SEEDING OR HYDROSEEDING. ALL SOD IN THE COUNTY R/W SHALL BE BAHIA.

9. ALL SITE FENCING SHALL BE INSTALLED FINISHED SIDE OUT TO CONFORM TO COUNTY FENCE INSTALLATION REQUIREMENTS.

10. ALL LANDSCAPING SHALL UTILIZE NATIVE PLANT SPECIES OR THOSE SPECIES LISTED IN THE FLORIDA-FRIENDLY LANDSCAPING™ GUIDE TO PLANT SELECTION AND LANDSCAPE DESIGN.

11. REQUIRED (NATIVE) CANOPY TREES SHALL BE A MINIMUM 2.5" CALIPER AT TIME OF PLANTING.

12. ALL MITIGATION TREES SHALL BE NATIVE, CANOPY SPECIES.



LANDSCAPING NOTE:
PLANTING QUANTITIES SHALL BE VERIFIED BY LANDSCAPING CONTRACTOR PRIOR TO INSTALLATION. THE EOR SHALL BE NOTIFIED OF ANY DISCREPANCIES. GROUND COVER QUANTITIES ARE PROVIDED FOR ESTIMATION PURPOSES ONLY. FINAL QUANTITIES MAY VARY FROM QUANTITIES LISTED ON THIS PLAN SHEET.

PLANTINGS	
PLANTING TYPE	QUANTITY
SOUTHERN MAGNOLIA (CANOPY)	4
LIVE OAK (CANOPY)	12
BALD CYPRESS (CANOPY)	13
FRINGE TREE (UNDERSTORY)	5
RED BUD TREE (UNDERSTORY)	5
SHRUB (GARDENIA)	51
SHRUB (INDIAN HAWTHORN)	51

GROUND COVER	
COVER TYPE	AREA (SF)
SOD (ONSITE) BERMUDA	21,700
SOD (OFFSITE) BAHIA	5,400
PINESTRAW	4,600
SEED & HAY	0
SEED ONLY (POND BOTTOM)	5,220

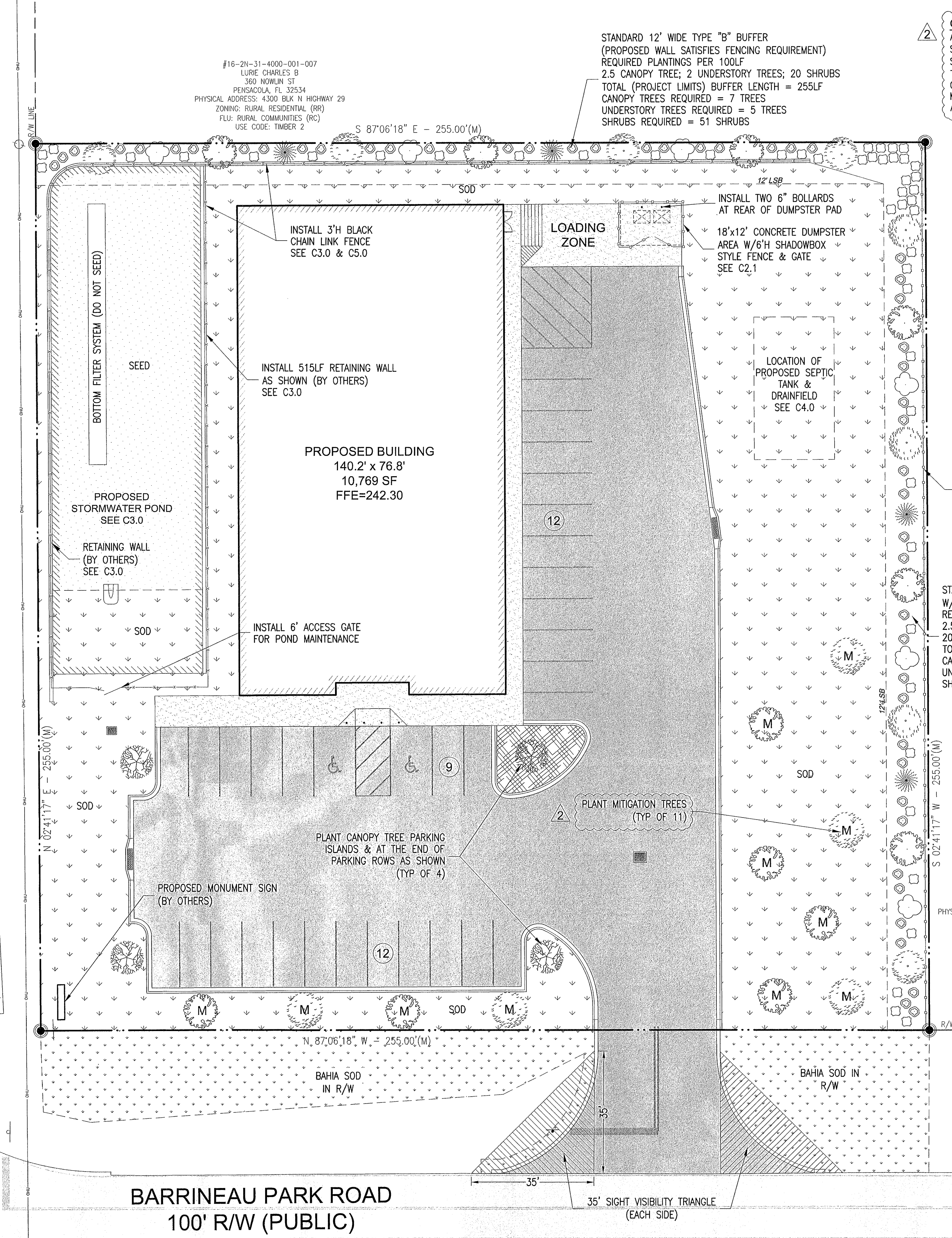
- NOTE:**
- ALL SOD IN THE R/W SHALL BE BAHIA.
 - ALL SOD ONSITE SHALL BE BERMUDA.
 - WEED SCREEN IS REQUIRED IN ALL AREAS SHOWN WITH STRAW GROUND COVER.

TREE CHART		
T-1	19.2"	WATER OAK REMOVE
T-2	18"	WATER OAK REMOVE
T-3	13.6"	LIVE OAK REMOVE

TREE TABLE NOTES:
REMOVE: INDICATES TREE TO BE REMOVED WHICH CONFLICTS WITH PROPOSED SITE LAYOUT. MITIGATION IS REQUIRED FOR REMOVAL OF THIS TREE.

MITIGATION REQUIREMENTS:
TOTAL CALIPER OF PROTECTED TREE REMOVAL IS 50.8"
REPLACEMENT RATIO 50% OF INCHES = 50.8" x 0.5 = 25.4"

PLANTING OPTIONS:
2.5" TREES = 25.4"/2.5" = 10.2" (11 MITIGATION TREES)
MITIGATION TREES REQUIRED W/ MIN 2.5" CALIPER
*LARGER CALIPER TREES MAY BE PLANTED TO REDUCE TOTAL MITIGATION PLANTING QUANTITY.
(SEE C5.0 FOR PROPOSED MITIGATION PLANTING LOCATIONS)



GOPHER TORTOISE NOTE:
A COMPLETE 100% GOPHER TORTOISE SURVEY SHALL BE COMPLETED (WITHIN THE STATE FWC'S REQUIRED OR SUGGESTED TIMEFRAME) BEFORE SITE WORK COMMENCES. A COPY OF THE REPORT MUST BE PROVIDED TO THE EOR PRIOR TO ANY SITE DISTURBANCE ONSITE.

STANDARD 12' WIDE TYPE "B" BUFFER W/255LF 6" WOOD SHADOWBOX FENCE REQUIRED PLANTINGS PER 100LF 2.5 CANOPY TREE; 2 UNDERSTORY TREES; 20 SHRUBS
TOTAL BUFFER LENGTH = 255LF
CANOPY TREES REQUIRED = 7 TREES
UNDERSTORY TREES REQUIRED = 5 TREES
SHRUBS REQUIRED = 51 SHRUBS

#16-2N-31-4000-001-007
LURIE CHARLES B
360 NOWLIN ST
PENSACOLA, FL 32534
PHYSICAL ADDRESS: 4300 BLK N HIGHWAY 29
ZONING: RURAL RESIDENTIAL (RR)
FLU: RURAL COMMUNITIES (RC)
USE CODE: TIMBER 2

BM#1
BMS/COTTONSPINDLESET
N:622328.08
E:1072675.68
EL:165.15 NAVD 88 (12b.)

BELL
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Pensacola, Florida 32503
EB 00029198

DOLLAR GENERAL
LANDSCAPE PLAN
STORE #24239
4430 N. HIGHWAY 29
ESCAMBIA COUNTY, FLORIDA

DATE	#	REVISION DESCRIPTION
05/25/22	1	DOT DRAINAGE REVIEW
05/25/22	2	ESD DEVELOPMENT REVIEW

Professional Engineer
Jennifer D. Bell, PE
FL PE # 64666

Job No.: 2022007
Date: 05/25/22

C5.0

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