

AGENCY & UTILITY CONTACTS:

LOCAL GOVERNMENT:

ESCAMBIA COUNTY
3363 WEST PARK PLACE
PENSACOLA, FLORIDA 32505
PHONE: 850-595-3475

WATER SERVICES:

ESCAMBIA RIVER ELECTRIC COOP
P.O. BOX 428
JAY, FLORIDA 32565
PHONE: 800-235-3848

TELEPHONE:

BELLSOUTH
605 W. GARDEN STREET
PENSACOLA, FLORIDA 32501
PHONE: 850-436-1662

POWER:

ESCAMBIA RIVER ELECTRIC COOP
P.O. BOX 428
JAY, FLORIDA 32565
PHONE: 800-235-3848

GAS:

ENERGY SERVICES OF PENSACOLA
1625 ATWOOD DRIVE
PENSACOLA, FLORIDA 32504
PHONE: 850-474-5322

CABLE:

COX COMMUNICATIONS
2205 LAVISTA AVE.
PENSACOLA, FLORIDA 32504
PHONE: 850-477-2695

SITE CONSTRUCTION PLANS

FOR

DOLLAR GENERAL®

STORE # 24009

7100 HIGHWAY 97 (SR 97)

ESCAMBIA COUNTY, FLORIDA

MARCH 11, 2022

SAFETY NOTICE TO CONTRACTOR:

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.

WARRANTY/DISCLAIMER:

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

LEGAL DESCRIPTION:

AS PROVIDED BY EMC SURVEYOR ON 01/18/2022:
ALL OF THAT TRACT OR PARCEL OF LAND LYING AND BEING IN SECTION 5, TOWNSHIP 4 NORTH, RANGE 32 WEST IN ESCAMBIA COUNTY FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A 5/8" REBAR FOUND CAPPED AT THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 5 AND GO SOUTH 86 DEGREES 57 MINUTES 58 SECONDS EAST ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 5 FOR A DISTANCE OF 261.00 FEET TO A 5/8" REBAR SET CAPPED LB#8367, SAID POINT BEING THE POINT OF BEGINNING.

FROM SAID POINT OF BEGINNING GO SOUTH 10 DEGREES 36 MINUTES 46 SECONDS WEST ALONG A COMMON PROPERTY LINE WITH WILLIAM H. STRICKLAND, GEORGE E. STRICKLAND AND DONNA S. DEES PROPERTY FOR A DISTANCE OF 390.16 FEET TO A 5/8" REBAR SET CAPPED LB#8367; THENCE GO SOUTH 41 DEGREES 30 MINUTES 38 SECONDS WEST FOR A DISTANCE OF 60.57 FEET TO A 5/8" REBAR SET CAPPED LB#8367 ON THE NORTHERLY RIGHT-OF-WAY LINE OF STATE ROAD #97 (100' R/W); THENCE GO ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF STATE ROAD #97 AROUND A CURVE CONCAVE TO THE RIGHT HAVING A RADIUS OF 3,769.83 FEET, AN ARC LENGTH OF 710.00 FEET SUBTENDED BY A CHORD BEARING OF NORTH 54 DEGREES 13 MINUTES 31 SECONDS WEST HAVING A CHORD DISTANCE OF 708.95 FEET TO A 5/8" REBAR SET CAPPED LB#8367; THENCE CONTINUE ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF STATE ROAD #97 NORTH 48 DEGREES 44 MINUTES 31 SECONDS WEST FOR A DISTANCE OF 82.01 FEET TO A 5/8" REBAR SET CAPPED; THENCE LEAVING THE NORTHERLY RIGHT-OF-WAY LINE OF STATE ROAD #97 GO SOUTH 86 DEGREES 57 MINUTES 58 SECONDS EAST ALONG A COMMON PROPERTY LINE WITH DARREN TRACY BLUM, SR. PROPERTY AND WILLIAM H. STRICKLAND, GEORGE E. STRICKLAND AND DONNA S. DEES PROPERTY FOR A DISTANCE OF 749.89 FEET TO A 5/8" REBAR SET CAPPED LB#8367 AND THE POINT OF BEGINNING.

SAID TRACT CONTAINS 4.122 ACRES ~ 179,533 SQ.FT.

LAND DISTURBANCE NOTE:

ALL LAND DISTURBING ACTIVITIES, INCLUDING TREE REMOVAL, SHALL ONLY COMMENCE AFTER PROPER PERMITS ARE OBTAINED FROM ESCAMBIA COUNTY FOR THIS ACTIVITY.

FLOOD ZONE NOTE:

THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND .2-PERCENT ANNUAL CHANCE FLOODPLAINS. NO BFEs OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0040G, MAP REVISION DATED SEPTEMBER 29, 2006.

FEMA FLOOD INSURANCE RATE MAP INFORMATION					
THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:					
FLOOD ZONE(S)	COMMUNITY NO	MAP NO	PANEL NO	SUFFIX	MAP REVISION DATE
X	120080	12033C	0040	G	SEPT. 29, 2006

SIGNAGE NOTE:

ROADWAY: HIGHWAY 97 CLASSIFICATION: MAJOR COLLECTOR
PROPERTY FRONTAGE: 411 LF (PROJECT LIMITS)
BUILDING FRONTAGE AT GRADE: 140.2 LF
BLDG SETBACK FROM HIGHWAY 97 R/W: ~94 LF

PER 5-8.8(c)(2)a. EITHER ONE FREESTANDING SIGN A MAXIMUM OF 32 SF IN AREA AND SIX FEET IN HEIGHT, OR A MAXIMUM OF 2 SF OF WALL SIGN AREA PER LINEAL FOOT OF BUILDING FRONTAGE AT GRADE (140.2LFx2SF/LF=280SF).
SEE EXEMPTIONS IN SECTION 5-8.6.

A VALID ESCAMBIA COUNTY SIGN PERMIT MUST BE OBTAINED PRIOR TO ERECTING, CONSTRUCTING, ALTERING, OR RELOCATING ANY SITE SIGNAGE.

OWNER/DEVELOPER:



Teramore Development, LLC
P.O. Box 6460
Thomasville, GA 31758
(229) 516-4289

ENGINEER OF RECORD:



Bell Engineering Services, LLC
Jennifer D. Bell, P.E. (FL #64666)
Pensacola, Florida 32503
(850) 723-7185
EB 00029198

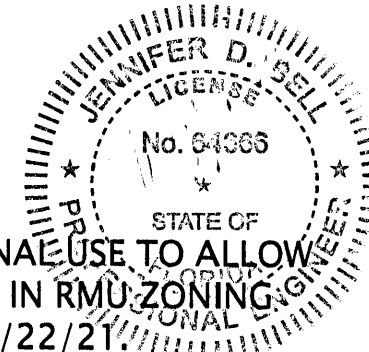
Approved	
ESCAMBIA COUNTY DRC PLAN REVIEW	
DRC Chairman Signature: <i>Jennifer D. Bell</i>	Date: <i>3-23-22</i>
Printed Name: <i>Jennifer D. Bell</i>	
Development Services Director or Designee	
This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.	

DRAWING INDEX

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C3.1	GRADING & DRAINAGE DETAILS
C4.0	UTILITY PLAN
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C6.1	FY 2021-22 STANDARD PLANS (FDOT)

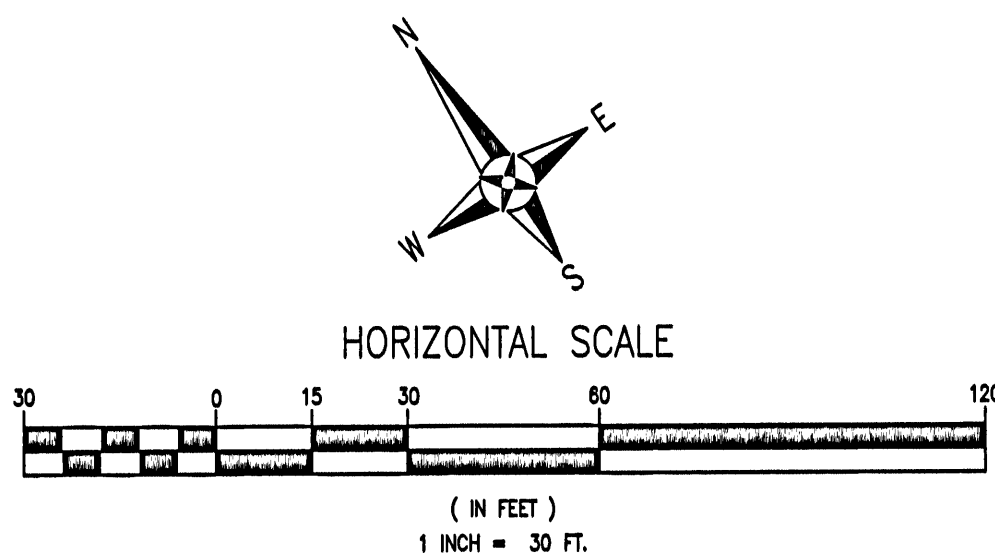
SITE INFORMATION:

PROPERTY REFERENCE NO:	05-4N-32-4303-000-000
PROPERTY ADDRESS:	7100 HIGHWAY 97
PROPERTY AREA:	4.12 ACRES (179,533 SF)
PROJECT AREA:	2.08 ACRES (90,712 SF)
FLOOD MAP:	FLOOD ZONE "X", MAP #12033C0040-G, DATED 09-29-2006
PROPERTY ZONING:	RMU (RURAL MIXED-USE)
FUTURE LAND USE:	RC (RURAL COMMUNITY)
PROPOSED ACTIVITY:	RETAIL - THIS PROJECT RECEIVED CONDITIONAL USE TO ALLOW A RETAIL BUILDING GREATER THAN 6,000 SF IN RMU ZONING. FROM ESCO BOARD OF ADJUSTMENTS ON 10/22/21. SEE CONDITIONAL USE CASE # CU-2021-15.
REQUIRED BUILDING SETBACKS RMU (PER LDC SECTION 3-2.4):	FRONT YARD - 40' SIDE YARD - 5' (OR 10% OF LOT WIDTH @ ROW, NTE 15') REAR YARD - 40'



DATE	#	REVISION DESCRIPTION
02/17/22	1	FDOT ACCESS REVIEW
02/17/22	2	FDOT DRAINAGE REVIEW
03/09/22	3	ESCO REVIEW

BELL ENGINEERING SERVICES PROJECT#: 2022003



BENCHMARK TABLE:

ELEV 244.64 (NAVD 88 126) TBM NO. 1: BMS/NSNPP NORTH-SIDE
N:699017.81, E:1038103.87
ELEV 241.46 (NAVD 88 126) TBM NO. 2: BMS/CHIPPEDSQUAREINHW
N:699383.85, E:1038674.10

SPEED LIMIT TABLE

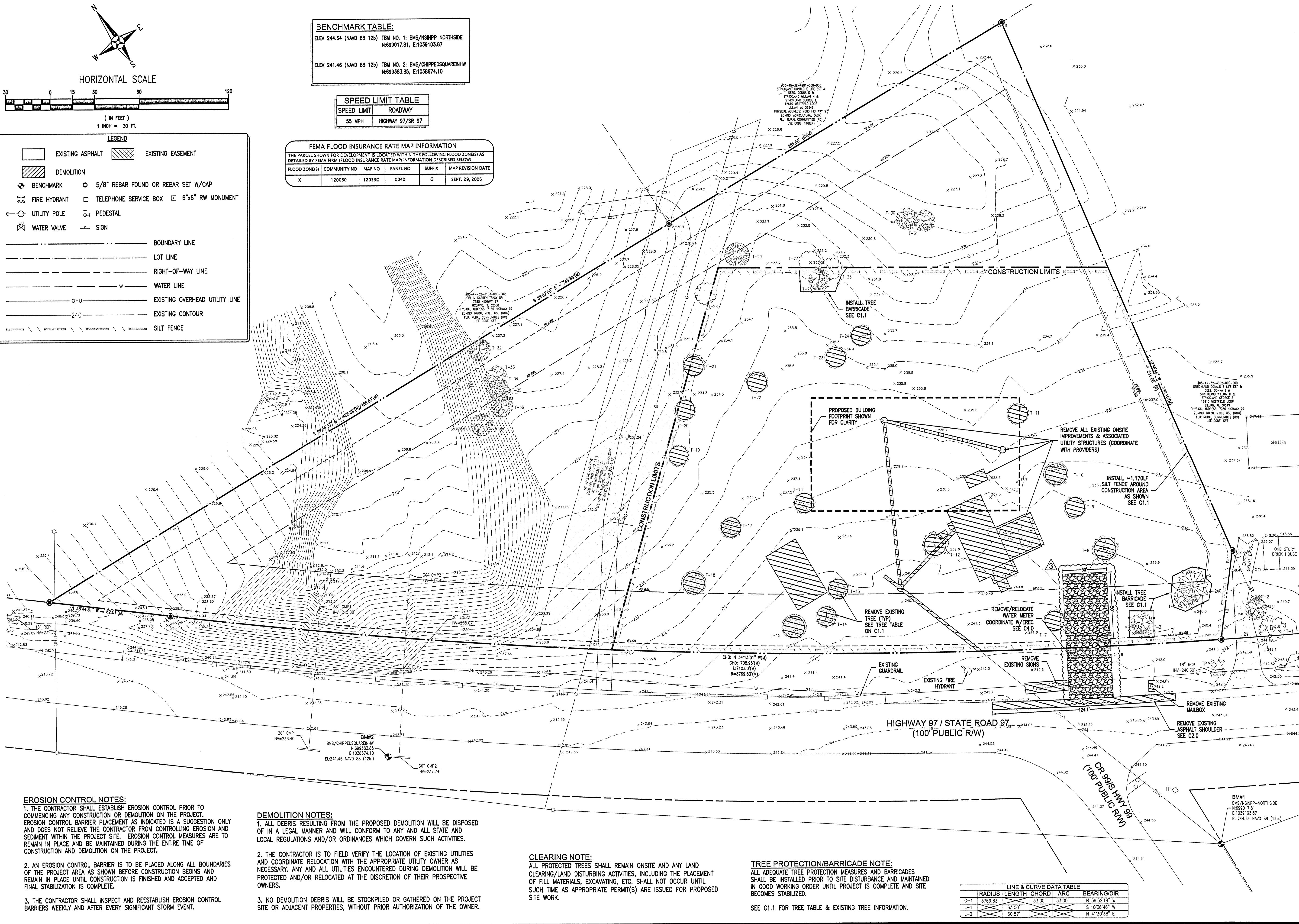
SPEED LIMIT	ROADWAY
55 MPH	HIGHWAY 97/SR 97

FEMA FLOOD INSURANCE RATE MAP INFORMATION

THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONES AS				
DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:				
FLOOD ZONE(S)	COMMUNITY NO	MAP NO	PANEL NO	SUFFIX
X	120080	12033C	0040	G
MAP REVISION DATE: SEPT. 29, 2008				

LEGEND

- EXISTING ASPHALT
- EXISTING EASEMENT
- DEMOLITION
- BENCHMARK
- 5/8" REBAR FOUND OR REBAR SET W/CAP
- FIRE HYDRANT
- TELEPHONE SERVICE BOX
- 6"x6" RW MONUMENT
- UTILITY POLE
- PEDESTAL
- WATER VALVE
- SIGN
- BOUNDARY LINE
- LOT LINE
- RIGHT-OF-WAY LINE
- WATER LINE
- OHU
- EXISTING OVERHEAD UTILITY LINE
- 240
- EXISTING CONTOUR
- SILT FENCE



EROSION CONTROL NOTES:

1. THE CONTRACTOR SHALL ESTABLISH EROSION CONTROL PRIOR TO COMMENCING ANY CONSTRUCTION OR DEMOLITION ON THE PROJECT. EROSION CONTROL BARRIER PLACEMENT AS INDICATED IS A SUGGESTION ONLY AND DOES NOT RELIEVE THE CONTRACTOR FROM CONTROLLING EROSION AND SEDIMENT WITHIN THE PROJECT SITE. EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE AND BE MAINTAINED DURING THE ENTIRE TIME OF CONSTRUCTION AND DEMOLITION ON THE PROJECT.
2. AN EROSION CONTROL BARRIER IS TO BE PLACED ALONG ALL BOUNDARIES OF THE PROJECT AREA AS SHOWN BEFORE CONSTRUCTION BEGINS AND REMAIN IN PLACE UNTIL CONSTRUCTION IS FINISHED AND ACCEPTED AND FINAL STABILIZATION IS COMPLETE.
3. THE CONTRACTOR SHALL INSPECT AND REESTABLISH EROSION CONTROL BARRIERS WEEKLY AND AFTER EVERY SIGNIFICANT STORM EVENT.

DEMOLITION NOTES:

1. ALL DEBRIS RESULTING FROM THE PROPOSED DEMOLITION WILL BE DISPOSED OF IN A LEGAL MANNER AND WILL CONFORM TO ANY AND ALL STATE AND LOCAL REGULATIONS AND/OR ORDINANCES WHICH GOVERN SUCH ACTIVITIES.
2. THE CONTRACTOR IS TO FIELD VERIFY THE LOCATION OF EXISTING UTILITIES AND COORDINATE RELOCATION WITH THE APPROPRIATE UTILITY OWNER AS NECESSARY. ANY AND ALL UTILITIES ENCOUNTERED DURING DEMOLITION WILL BE PROTECTED AND/OR RELOCATED AT THE DISCRETION OF THEIR PROSPECTIVE OWNERS.
3. NO DEMOLITION DEBRIS WILL BE STOCKPILED OR GATHERED ON THE PROJECT SITE OR ADJACENT PROPERTIES, WITHOUT PRIOR AUTHORIZATION OF THE OWNER.

CLEARING NOTE:

ALL PROTECTED TREES SHALL REMAIN ONSITE AND ANY LAND CLEARING/LAND DISTURBING ACTIVITIES, INCLUDING THE PLACEMENT OF FILL MATERIALS, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PERMIT(S) ARE ISSUED FOR PROPOSED SITE WORK.

TREE PROTECTION/BARRICADE NOTE:

ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.

SEE C1.1 FOR TREE TABLE & EXISTING TREE INFORMATION.

LINE & CURVE DATA TABLE

	RADIUS	LENGTH	CHORD	ARC	BEARING/DIR
C-1	3789.83	1	33.00	33.00	N 59°52'18" W
L-1	63.00	63.00	63.00	63.00	S 10°36'46" W
L-2	60.57	60.57	60.57	60.57	N 41°30'38" E

BELL
ENGINEERING SERVICES
Jennifer D. Bell, P.E. (FL #64666)
Pensacola, Florida 32503
EB 00029198

**EXISTING SITE,
DEMOLITION & EROSION
CONTROL PLAN**

DOLLAR GENERAL
STORE #24009
7100 HIGHWAY 97
ESCAMBIA COUNTY, FLORIDA

REVISION DESCRIPTION	#	DATE
1. FDOT ACCESS REVIEW	1	02/17/22
2. FDOT DRAINAGE REVIEW	2	02/17/22
3. ESCO REVIEW	3	03/09/22

Professional Engineer Seal for Jennifer D. Bell, P.E., State of Florida, License No. 64666.

Job No.: 2022003
Date: 03/11/22

C1.0

GENERAL NOTES FOR SOIL EROSION AND SEDIMENT CONTROL:

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
3. PERMANENT VEGETATION TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER GRADING. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED. NEWLY PLACED SOD/SEED IN RIGHT OF WAY SHALL BE WATERED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
4. ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.
- *5. A BITUMINOUS CONCRETE BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE BITUMINOUS CONCRETE BASE SHALL BE INSTALLED WITHIN 15 DAYS OF THE PRELIMINARY GRADING.
- *6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL, ACCORDING TO STATE STANDARDS.
- *7. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).
- *8. A CRUSHED LIMEROCK, VEHICLE WHEEL-CLEANING BLANKET SHALL BE INSTALLED AT THE CONTRACTOR'S STAGING YARD AND/OR STOCKPILE AREAS TO PREVENT OFF-SITE TRACKING OF SEDIMENT BY CONSTRUCTION VEHICLES ONTO PUBLIC ROADS. BLANKET SHALL BE 15FT. X 50FT. X 6IN. (MINIMUM), CRUSHED LIMEROCK 2 1/2 INCHES IN DIAMETER. SAID BLANKET SHALL BE UNDERLAIN WITH A FOOT CLASS 3 SYNTHETIC FILTER FABRIC AND MAINTAINED IN GOOD ORDER.
9. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- *10. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.

11. UNFILTERED DEWATERING IS NOT PERMITTED. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER.
12. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
13. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.
14. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
15. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE NUMBER 2 (ABOVE).
16. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
17. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
18. ALL CATCH BASIN INLETS SHALL BE PROTECTED WITH HAY BALES AS SHOWN ON DETAIL.
19. THE CONTRACTOR SHALL PREPARE A PLAN FOR THE PROPER DEWATERING AND DOWNSTREAM SILTATION PROTECTION OF EACH STREAM CROSSING PRIOR TO EXCAVATING THE STREAM BED. PLAN SHALL BE FORWARDED TO THE ENGINEER FOR APPROVAL. THE ENGINEER SHALL BE NOTIFIED FOR INSPECTION PRIOR TO EACH STREAM CROSSING CONSTRUCTION.
20. ANY AREAS USED FOR THE CONTRACTOR'S STAGING, INCLUDING BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (E.G. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.), SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.
- * WHERE APPLICABLE

TEMPORARY SEEDING DETAILS:

SEED BED PREPARATION:
SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS/ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS./ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE:
CONSISTING OF ANNUAL RYE (LOLIUM MULTIFLORUM) AT A RATE OF 174 LBS/ACRE.

PERMANENT SEEDING DETAILS:

SEED BED PREPARATION:
SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS/ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS./ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE CONSISTING OF	RATE	PURITY	GERMINATION
ARGENTINE BAHIA	260 LBS/AC.	95%	80%
PENSACOLA BAHIA	260 LBS/AC.	95%	40%(MIN.)-80%(TOTAL)

SODDING:
SOD SHALL BE WELL ROOT MATTED CENTIPEDE OR BAHIA GRASS COMMERCIALY CUT TO A MINIMUM DIMENSION OF 12" x 24" A MAXIMUM OF 72 HOURS PRIOR TO PLACEMENT. SOD SHALL BE LIVE, FRESH AND UNINJURED, REASONABLY FREE OF WEEDS AND OTHER GRASSES, WITH A HEAVY SOIL MAT ADHERING TO THE ROOT SYSTEM. SOD SHALL BE GROWN, CUT, AND SUPPLIED BY A STATE CERTIFIED GROWER. NEWLY PLACED SOD/SEED IN RIGHT OF WAY SHALL BE WATERED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.

TRAFFIC CONTROL STANDARDS:

1. CONSTRUCTION TRAFFIC SHALL BE RESTRICTED TO ONSITE ACCESS BY MEANS SO DESIGNATED BY THE ENGINEER, POLICE/SHERIFF DEPARTMENT, LOCAL GOVERNMENT ROADS DEPARTMENT, AND/OR THE FLORIDA DEPARTMENT OF TRANSPORTATION.
2. TRAFFIC DURING WET WEATHER SHALL BE MINIMIZED AND APPROPRIATE ROADWAY AND SITE CLEAN-UP SHALL BE PROVIDED BY THE CONTRACTOR AS SOON AS WEATHER CONDITIONS PERMIT.

TREE PROTECTION:

1. DAMAGED TRUNKS OR EXPOSED ROOTS WILL BE PAINTED IMMEDIATELY WITH A GOOD GRADE OF "TREE PAINT".
2. TREE LIMB REMOVAL, WHERE NECESSARY, WILL BE DONE FLUSH TO TRUNK OR MAIN BRANCH AND THAT AREA PAINTED IMMEDIATELY WITH A GOOD GRADE OF TREE PAINT.

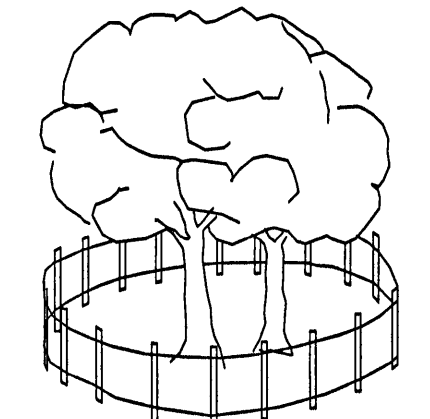
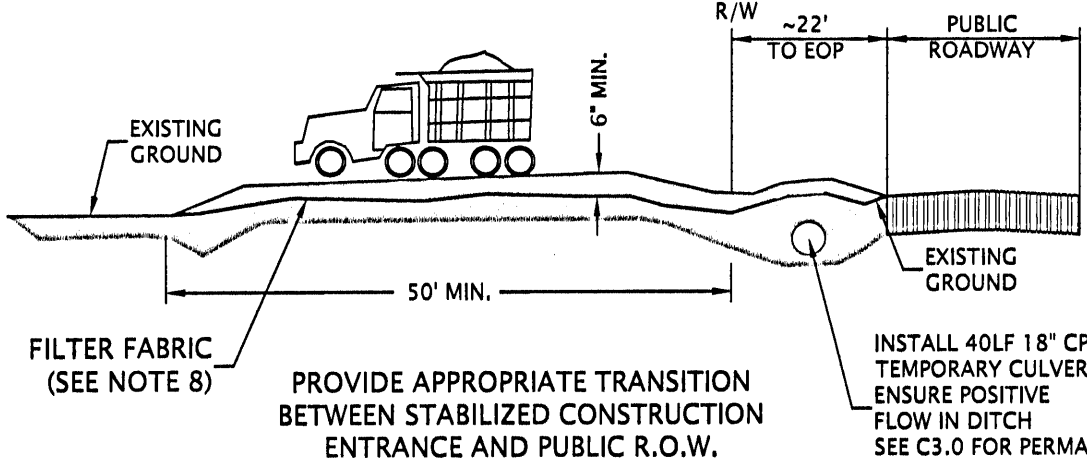
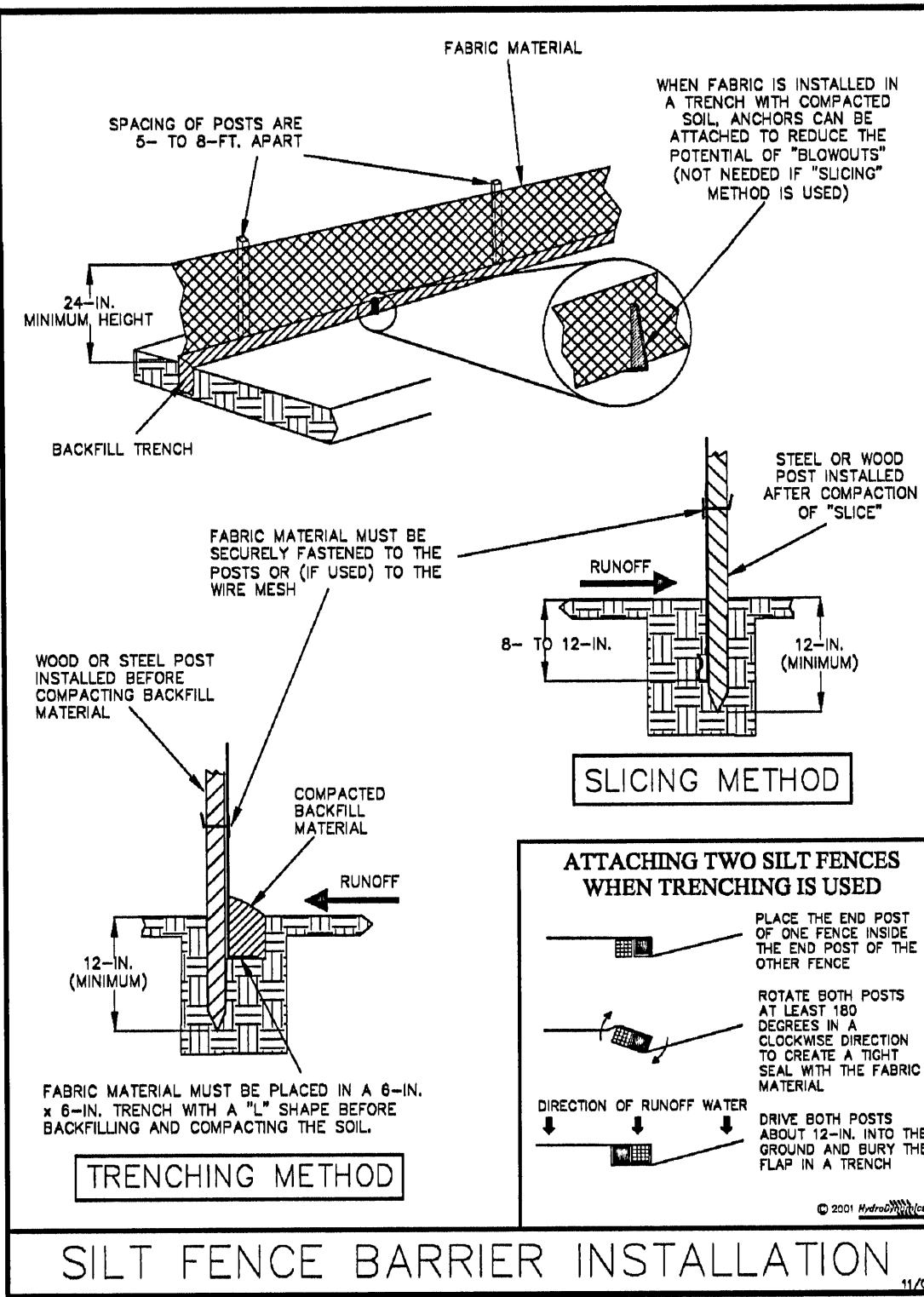
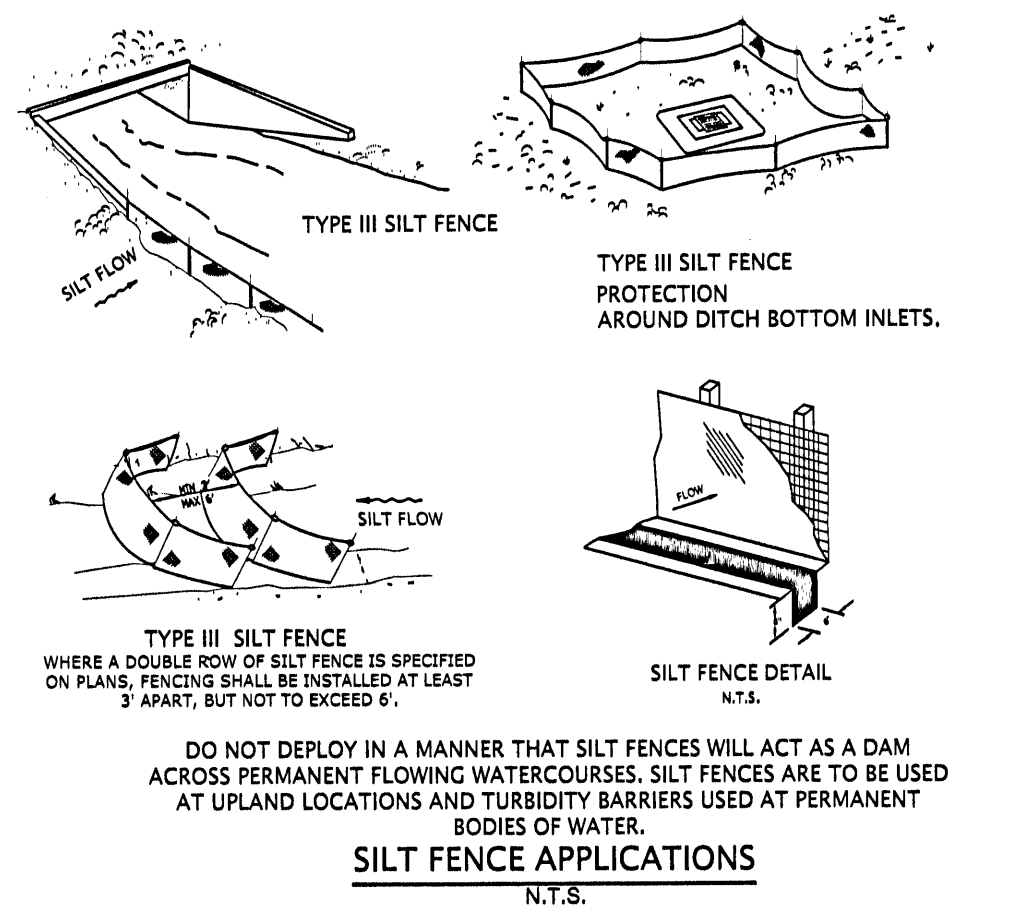
DUST CONTROL:

1. ALL AREAS OF CLEARING AND EMBANKMENT AS WELL AS CONSTRUCTION HAUL ROADS SHALL BE TREATED AND MAINTAINED IN SUCH A MANNER AS TO MINIMIZE ANY DUST GENERATION.
2. DISTURBED AREAS SHALL BE MAINTAINED IN A ROUGH GRADED CONDITION AND TEMPORARILY SEEDED AND/OR MULCHED UNTIL PROPER WEATHER CONDITIONS EXIST FOR THE ESTABLISHMENT OF PERMANENT VEGETATION COVER.
3. IN EVENT OF EMERGENCY CONDITIONS, TILLAGE WILL BE SATISFACTORY FREE BEFORE SOIL BLOWING STARTS.
4. CALCIUM CHLORIDE MAY BE APPLIED TO UNPAVED ROADWAY AREAS, ONLY, SUBJECT TO THE ENGINEER'S APPROVAL AND CONFORMANCE WITH FDOT STANDARD SPECIFICATIONS, LATEST EDITION.

PROPOSED SEQUENCE OF CONSTRUCTION:

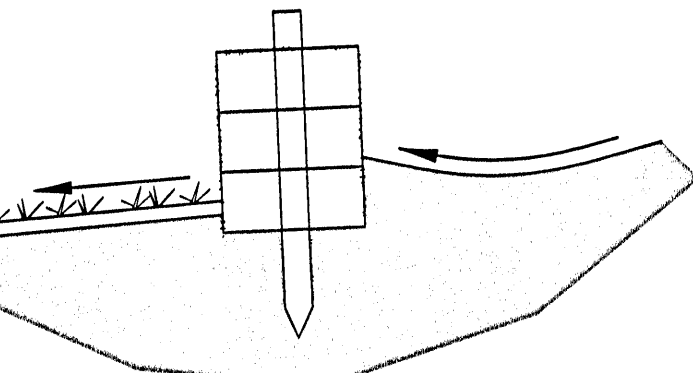
THIS PROJECT SHALL CONSIST OF THE CONSTRUCTION OF SANITARY SEWERS OR WATER MAINS BY THE ESCAMBIA RIVER ELECTRIC CO-OP OR ITS CONTRACTOR WITHIN PUBLIC RIGHTS OF WAY. THE CONSTRUCTION SHOULD PROCEED IN THE FOLLOWING MANNER:

1. INSTALLATION OF ALL SEDIMENT AND EROSION CONTROL DEVICES THAT CAN BE PLACED PRIOR TO ANY MAJOR SOIL DISTURBANCES.
2. CLEAR AND REMOVE ALL EXISTING VEGETATION IN THOSE AREAS WHERE NECESSARY, ALL REMAINING VEGETATION TO BE PROPERLY PROTECTED AND TO REMAIN IN ITS NATURAL STATE. TOPSOIL IN AREAS TO BE DISTURBED TO BE STRIPPED TO A MINIMUM DEPTH OF SIX (6) INCHES AND STOCKPILED SEPARATELY FROM FROM OTHER EXCAVATED SOILS)
3. IMMEDIATE INSTALLATION OF ALL REMAINING SEDIMENT AND EROSION CONTROL DEVICES.
4. INITIATE CONSTRUCTION OF SANITARY SEWER AND/OR WATER MAIN.
5. UPON COMPLETION OF CONSTRUCTION ACTIVITIES, PROVIDE RESTORATION, FINE GRADE REMAINDER OF SITE, RESPREAD STOCKPILED TOPSOIL AND STABILIZE WITH PERMANENT VEGETATIVE COVER AND LANDSCAPING.
6. REMOVAL OF APPROPRIATE TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.



NOTE:
ALL PROTECTED TREES AS SHOWN ON THE PLANS TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING AT THE DRIP LINE OF EACH PROTECTED TREE BEFORE WORKING IN THE VICINITY OF THE TREE. BARRICADES SHALL ALSO BE PROPERLY INSTALLED AND MAINTAINED IN GOOD WORKING ORDER UNTIL SITE BECOMES STABILIZED.

TREE BARRICADE DETAIL
N.T.S.



STRAW BALE DETAIL
N.T.S.

SURVEYOR NOTES:

1. TOTAL AREA IN TRACT 1 = 4.122 ACRES
TOTAL AREA IN TRACT 2 = 0.023 ACRES
2. THIS PROPERTY IS ZONED: RMU (RURAL MIXED USE)
FUTURE LAND USE 2030: RC
PROPERTY ADDRESS: 7100 HIGHWAY 97
McDAVID, FL 32568

3. SETBACKS ARE AS FOLLOWS:
FRONT = 40'
SIDE = 5'
REAR = 40'

- * FIVE FEET OR TEN PERCENT OF THE LOT WIDTH AT THE STREET RIGHT-OF-WAY, WHICHEVER IS GREATER, BUT NOT REQUIRED TO EXCEED 15 FEET.
4. THIS SURVEY WAS MADE USING A GEOMAX ZOOM 90 ROBOTIC TOTAL STATION TO OBTAIN LINEAR AND ANGULAR MEASUREMENTS.
5. THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 28,179 FEET AND AN ANGULAR ERROR OF 0 DEGREES 00 MINUTES AND 05 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE.
6. THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 260,538 FEET.
7. THERE IS NO KNOWN NATIONAL GEODETIC SURVEY MONUMENT WITHIN 500 FEET OF ANY POINT ON THE PROPERTY PLATTED, OR ANY POINT OF REFERENCE THEREON.
8. CERTAIN DATA SHOWN ON THIS PLAT WAS OBTAINED UTILIZING GPS (GLOBAL POSITIONING SYSTEMS). IT INCLUDES: BASIS OF BEARINGS AND HORIZONTAL CONTROL. THE EQUIPMENT USED TO OBTAIN THIS DATA WAS A CHAMPION PRO GPS RECEIVER WITH A CARLSON RT3 DATA COLLECTOR.
9. THE HORIZONTAL DATUM AS REFERENCED HEREIN IS BASED ON THE NORTH AMERICAN DATUM OF 1983(NAD83), THE VERTICAL DATUM (ELEVATIONS) SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988(NAV88)(12b). BOTH DATUMS REFERENCED ABOVE WERE ESTABLISHED ON SITE USING SAID THE FLORIDA PREEMINENT REAL TIME GPS NETWORK USING GEOD12b.
10. THIS PROPERTY IS IN FLOOD ZONE "X" AS PER FLOOD INSURANCE RATE MAP FOR ESCAMBIA COUNTY, FLORIDA, AND INCORPORATED AREAS, PANEL 40 OF 60, AS SHOWN ON MAP NUMBER 12033C0040G, WITH AN EFFECTIVE DATE OF SEPTEMBER 29 2006.

ZONE "X" DENOTES AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

DESCRIPTION:
FILTER BAGS WILL BE USED AS AN EFFECTIVE FILTER MEDIUM TO CONTAIN SAND, SILT AND FINES WHEN TRENCH DEWATERING. THE WETLAND FILTER BAG CONTAINS THESE MATERIALS WHILE ALLOWING THE WATER TO FLOW THROUGH THE FABRIC.

INSTALLATION:
WETLAND FILTER BAGS MAY REPLACE HAY BALE CORRALS DURING TRENCH DEWATERING, AT THE DISCRETION OF THE ENGINEER INSPECTOR. TO INSURE PROPER INSTALLATION, FILTER BAGS WILL BE PLACED ON RELATIVELY FLAT TERRAIN FREE OF BRUSH AND STUMPS TO AVOID RUPTURES AND PUNCTURES. PROPER INSTALLATION REQUIRES CUTTING A SMALL HOLE IN THE CORNER OF THE BAG, INSERTING THE PUMP DISCHARGE HOSE, AND THEN SECURING THE DISCHARGE HOSE TO THE BAG WITH A HOSE CLAMP. FILTER BAGS WILL BE PLACED AS FAR AWAY FROM FLOWING STREAMS AND WETLANDS AS POSSIBLE.

MAINTENANCE:
PRIOR TO REMOVING A BAG FROM THE HOSE, THE BAG WILL BE TIED OFF BELOW THE END OF THE HOSE ALLOWING THE BAG TO DRAIN. DRAINAGE WILL NOT BE ALLOWED THROUGH THE INLET HOLE, TO AVOID RUPTURE. THE BAGS WILL BE ATTENDED AND PUMPING RATES MONITORED. ONCE THE BAG IS INFLATED TO A HEIGHT OF 4 FEET, PUMPING WILL STOP TO AVOID RUPTURE. FILTER BAGS USED DURING CONSTRUCTION WILL BE BUNDLED AND REMOVED FOR PROPER DISPOSAL.

SPECIFICATION:
FILTER BAGS ARE CONSTRUCTED OF NON-WOVEN GEOTEXTILE FABRIC. A MAXIMUM OF ONE SIX INCH DISCHARGE HOSE WILL BE ALLOWED PER FILTER BAG. BAG CAPACITY WILL BE EXCEEDED BEYOND 2,000 GALLONS PER MINUTE. TYPICAL BAG DIMENSIONS ARE 15 FEET BY 13.25 FEET. TO HELP PREVENT PUNCTURES, GEOTEXTILE FABRIC WILL BE PLACED BENEATH THE FILTER BAG WHEN USED IN WOODED LOCATIONS. UNATTENDED FILTER BAGS WILL BE ENCIRCLED WITH A HAY BALE OR SILT FENCE CORRAL. HOSE CLAMPS WILL BE USED TO SECURE THE DISCHARGE HOSE, WIRE OR STRING WILL NOT BE USED.

GENERAL NOTES:

1. ALL WORK IN THE RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE FOLLOWING: STANDARD PLANS FOR ROAD & BRIDGE CONSTRUCTION, THE PLANS PREPARATION MANUAL (PPM), AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AGENCIES.

3. THE LOCATION OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS IS BASED ON INFORMATION PROVIDED BY THE UTILITIES AND SHALL BE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.

4. THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENTS OF THE WATER, SANITARY SEWER, GAS, TELEPHONE, CABLE TELEVISION, AND POWER COMPANIES 10 DAYS IN ADVANCE THAT HE INTENDS TO START WORK IN A SPECIFIED AREA. THE OWNER DISCLAIMS ANY RESPONSIBILITY FOR THE SUPPORT AND PROTECTION OF SEWERS, DRAINS, WATER PIPES, GAS PIPES, CONDUITS OF ANY KIND, UTILITIES OR OTHER STRUCTURES OWNED BY THE CITY, COUNTY, STATE OR BY PRIVATE OR PUBLIC UTILITIES LEGALLY OCCUPYING ANY STREET, ALLEY, PUBLIC PLACE OR RIGHT-OF-WAY.

5. ALL SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND STRUCTURES, WHICH ARE NOT IN SERVICE AS NECESSARY FOR THE INSTALLATION OF PROPOSED IMPROVEMENTS. THESE INCLUDE PIPES, VALVES, DRAINAGE STRUCTURES, ETC., AS INDICATED ON THE CONTRACT PLANS. CONTRACTOR SHALL NOTIFY THE PROJECT OWNER AND ENGINEER OF ALL DISCOVERED UNDERGROUND STRUCTURES WHICH ARE IN CONFLICT WITH THE INSTALLATION OF THE PROPOSED IMPROVEMENTS AND ARE NOT INDICATED ON THE CONTRACT PLANS OR LOCATED IN THE FIELD BY UTILITIES IN ACCORDANCE WITH GENERAL NOTES.

6. THE RELOCATION OF OBSTRUCTIONS OWNED BY PRIVATE PROPERTY OWNERS, SUCH AS MAIL BOXES, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WHO MUST COORDINATE WITH THE PROPERTY OWNER.

7. THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS AND GUARDS DURING ALL PHASES OF CONSTRUCTION, IN ACCORDANCE WITH APPLICABLE FDOT INDEX.

8. ALL AREAS NOT PAVED OR DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED BY SEEDING AND MULCHING OR SODDING. SEED AND MULCH OR SOD SHALL BE PLACED, WATERED, FERTILIZED WITH APPROPRIATE SOIL AMENDMENTS IN ACCORDANCE WITH THE FDOT STANDARD SPECIFICATIONS AND THESE CONSTRUCTION DOCUMENTS.

9. ALL EXCESS MATERIAL SHALL BE HAULED AWAY AND DISPOSED OF APPROPRIATELY AT THE CONTRACTOR'S EXPENSE.

10. ALL CONSTRUCTION AROUND TREES SHALL BE DONE IN A MANNER TO MINIMIZE DAMAGE TO THE TREE AND ITS ROOT SYSTEM.

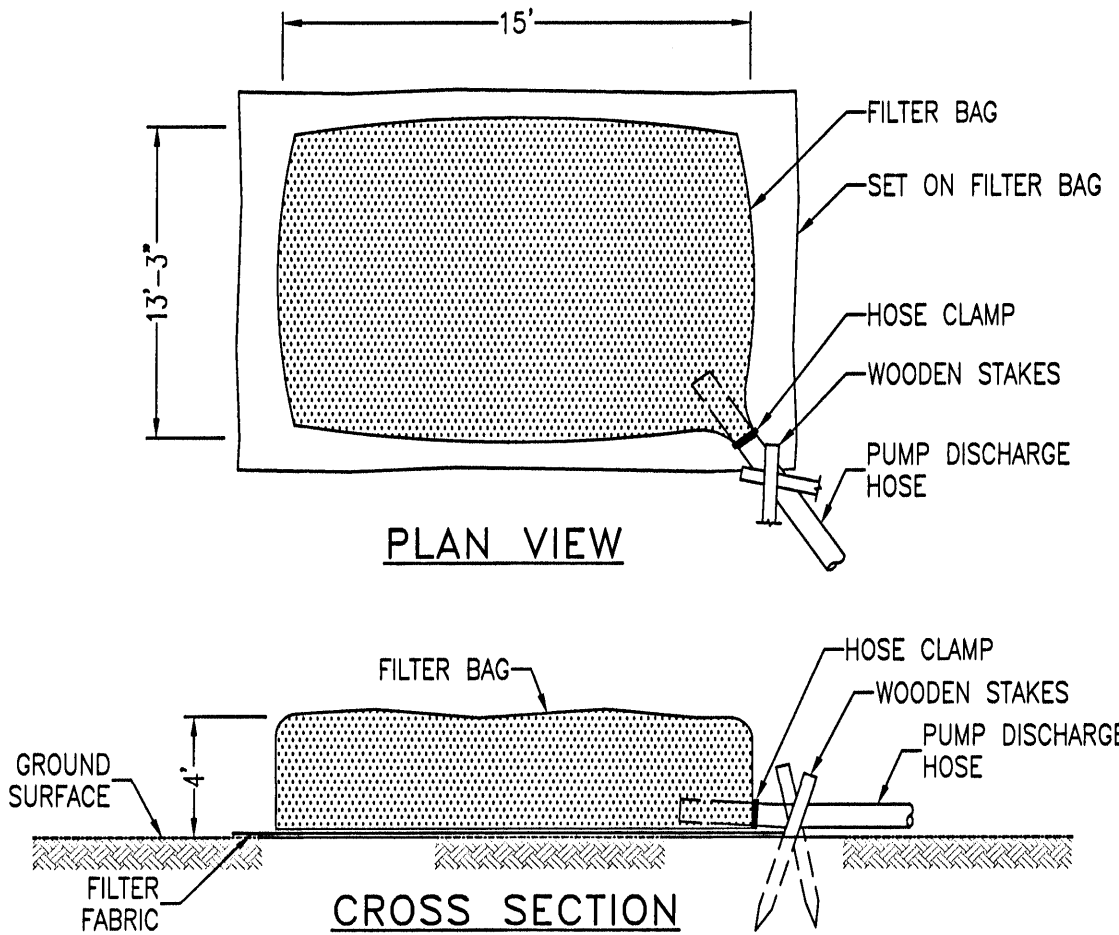
11. THE CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND THE EXTENT OF CLEARING AND GRUBBING REQUIRED.

12. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

13. THE CONTRACTOR IS TO COORDINATE WITH THE RESPONSIBLE UTILITY PROVIDER FOR PROTECTION/HOLDING OF UTILITY POLES, GUY WIRES, AND GUY ANCHORS IN AREAS OF CONSTRUCTION. THE CONTRACTOR SHALL INCLUDE THE COST OF PROTECTING UTILITY POLES IN THEIR OVERALL PRICE TO THE OWNER.

14. DAMAGE TO EXISTING ROADS DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR PRIOR TO FINAL "AS-BUILT" SIGN-OFF FROM THE COUNTY.

NOTE:
CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITTING ASSOCIATED WITH DEWATERING ACTIVITIES. DEWATERING ACTIVITIES MAY REQUIRE ADDITIONAL PERMITS FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (INDUSTRIAL WASTEWATER) AND THE NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT (CONSUMPTIVE USE).



FILTER BAG DETAIL FOR
TRENCH DEWATERING OPERATIONS

N.T.S.			
TREE CHART			
Tree #	Size	Type	Remove/Protect
T-1	26"	MAGNOLIA	PROTECT(OPL)
T-2	16"	WATER OAK	PROTECT(OPL)
T-3	18"	WATER OAK	PROTECT
T-4	12"	WATER OAK	PROTECT
T-5	30"	CEDAR	PROTECT
T-6	20"	PECAN	REMOVE
T-7	26"	PECAN	REMOVE
T-8	31"	MAGNOLIA	REMOVE
T-9	19"	PECAN	REMOVE
T-10	26"	CEDAR	REMOVE
T-11	19"	PECAN	REMOVE
T-12	34"	MAGNOLIA	REMOVE
T-13	20"	WATER OAK	REMOVE
T-14	39"	WATER OAK	REMOVE
T-15	14"	CEDAR	REMOVE
T-16	22"	WATER OAK	REMOVE
T-17	12"	WATER OAK	REMOVE
T-18	12"	CEDAR	REMOVE
T-19	12"	PECAN	REMOVE
T-20	12"	PECAN	REMOVE
T-21	18"	PECAN	REMOVE
T-22	18"	PECAN	REMOVE
T-23	17"	PECAN	REMOVE
T-24	12"	PECAN	REMOVE
T-25	24"	WATER OAK	PROTECT
T-26	13"	PECAN	PROTECT(OPL)
T-27	13"	PECAN	PROTECT(OPL)
T-28	14"	PECAN	PROTECT(OPL)
T-29	19"	CEDAR	PROTECT(OPL)
T-30	26"	WATER OAK	PROTECT(OPL)
T-31	18"	WATER OAK	PROTECT(OPL)
T-32	25"	WATER OAK	PROTECT(OPL)
T-33	12"	WATER OAK	PROTECT(OPL)
T-34	17"	WATER OAK	PROTECT(OPL)
T-35	17"	WATER OAK	PROTECT(OPL)
T-36	24"	WATER OAK	PROTECT(OPL)
T-37	30"	WATER OAK	PROTECT(OPL)

TREE TABLE NOTES:
REMOVE: INDICATES TREE TO BE REMOVED WHICH CONFLICTS WITH PROPOSED SITE LAYOUT. MITIGATION IS REQUIRED FOR REMOVAL OF THIS TREE.

PROTECT: INDICATES TREE CONSIDERED PROTECTED BY THE LDC AND IS PROPOSED TO REMAIN ONSITE UPON DEVELOPMENT. CONTRACTOR SHALL INSTALL TREE BARRICADES PER TREE BARRICADE DETAIL IN THIS PLAN SET.

PROTECT (OPL): INDICATES TREE LOCATED OUTSIDE OF THE PROPERTY/PROJECT LIMITS AND SHALL BE PROTECTED/REMAIN.

MITIGATION REQUIREMENTS:
TOTAL CALIPER OF PROTECTED TREE REMOVAL IS 383"
REPLACEMENT RATIO 50% OF INCHES = 383" x 0.5 = 191.50"

PER ESCAMBIA COUNTY LDC SECTION 2.5.2(c) MITIGATION PLANTINGS LIMITED TO 25" PER DEVELOPED ACRE (PROJECT AREA SEE C1.0)
TOTAL DEVELOPMENT (PROJECT) AREA 2.08 AC:
2.08 x 25" = 52" OF NATIVE CANOPY MITIGATION REQ'D

PLANTING OPTIONS:
2.5" TREES = 52"/2.5" = 20.82" (21 MITIGATION TREES)
MITIGATION TREES REQUIRED W/ MIN 2.5" CALIPER
*LARGER CALIPER TREES MAY BE PLANTED TO REDUCE TOTAL MITIGATION PLANTING QUANTITY.
(SEE C5.0 FOR PROPOSED MITIGATION PLANTING LOCATIONS)

BELL
ENGINEERING SERVICES
Jennifer D. Bell, P.E. (FL #64666)
Pensacola, Florida 32503
EB 00029198

GENERAL NOTES,
TREE TABLE, & EROSION
CONTROL DETAILS

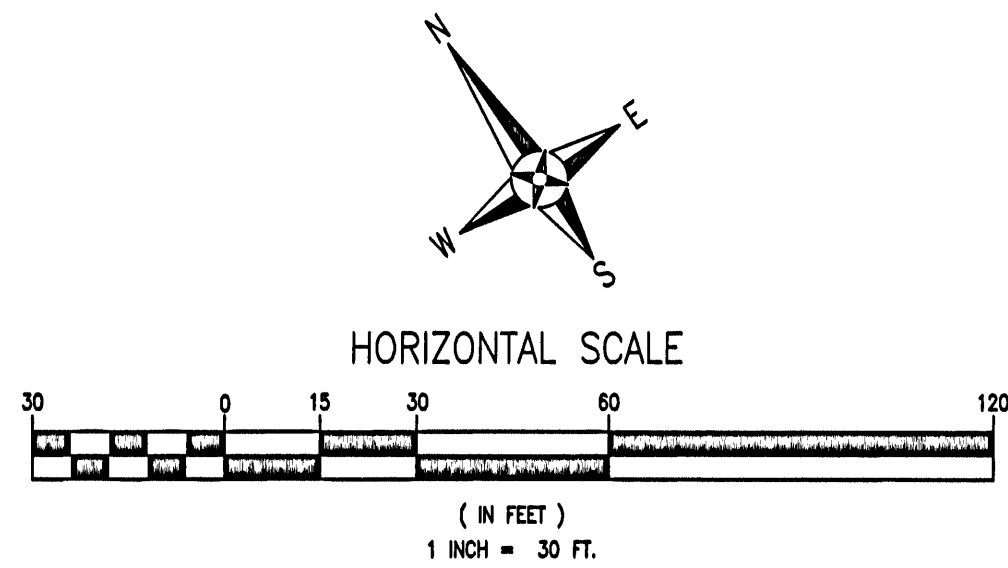
DOLLAR GENERAL
STORE #24009
7100 HIGHWAY 97
ESCAMBIA COUNTY, FLORIDA

REVISION DESCRIPTION			
DATE	#	REVISION	
02/17/22	1	FDOT ACCESS REVIEW	
02/17/22	2	FDOT DRAINAGE REVIEW	
03/09/22	3	ESCO REVIEW	

JENNIFER D. BELL
LICENSED PROFESSIONAL ENGINEER
No. 64666
STATE OF FLORIDA
Jennifer D. Bell, PE
FL PE # 64666

Job No.: 2022003
Date: 03/11/22

C1.1



LEGEND

[Symbol]	EXISTING ASPHALT	[Symbol]	PROPOSED CONCRETE
[Symbol]	PROPOSED HEAVY DUTY ASPHALT	[Symbol]	PROPOSED 3" H CHAINLINK FENCE
[Symbol]	PROPOSED LIGHT DUTY ASPHALT	[Symbol]	PROPOSED WOOD FENCE

GENERAL NOTES:

1. ALL PAVEMENT MARKINGS AND STRIPING SHALL BE THERMOPLASTIC AND INSTALLED ACCORDING TO FDOT STANDARD PLAN 711-001.

2. ALL WORK IN THE R/W SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ROADWAY & TRAFFIC DESIGN STANDARDS, THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, THE PLANS PREPARATION MANUAL (PPM), THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ESCAMBIA COUNTY DESIGN STANDARDS.

3. ALL DISTURBED AREAS IN THE R/W SHALL BE REGRADED AND SODDED AND/OR SEED AND MULCHED. OTHER DISTURBED AREAS MAY BE REPAIRED BY SEEDING OR HYDROSEEDING. ALL SOD IN THE FDOT R/W SHALL BE BAHIA.

4. ALL NEEDED STRIPING DESTROYED DURING CONSTRUCTION SHALL BE RESTRIPTED (THERMOPLASTIC ONLY IN COUNTY & STATE R/W).

5. ALL LANES MUST BE OPEN FOR TRAFFIC DURING AN EVACUATION NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT AS DIRECTED BY THE LOCAL MAINTENANCE ENGINEER OR HIS DESIGNEE.

6. AT COMPLETION OF CONSTRUCTION, ALL EXPOSED DIRT SHALL BE STABILIZED WITH SOD, A HAY/SEED MIX OR HYDROSEED (BAHIA SOD ONLY IN COUNTY R/W).

7. ALL NEWLY PLACED SOD (ONSITE & IN R/W) SHALL BE WATERED REGULARLY UNTIL GRASS IS ESTABLISHED.

8. A SEPARATE SIGN PERMIT IS REQUIRED FOR ALL SIGNAGE.

9. ALL SITE FENCING SHALL BE INSTALLED FINISHED SIDE OUT.

10. NO WORK SHALL BE PERFORMED IN THE R/W UNTIL THE PROPER MAINTENANCE OF TRAFFIC IS IN PLACE ACCORDING TO THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.

11. ALL MECHANICAL AND UTILITY EQUIPMENT MUST BE EFFECTIVELY SCREENED FROM ANY PUBLIC WAY.

12. ALL SIGNS SHALL BE INSTALLED PER FDOT STANDARD PLAN 700-010.

13. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "ASBUILT" SIGN OFF FROM THE COUNTY.

14. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE R/W.

15. FDOT WILL REVIEW ALL LANE/SIDEWALK CLOSURE, DETOUR AND LANE SHIFT REQUESTS SEPARATELY FROM THE PERMIT PROCESS. FDOT APPROVAL IS REQUIRED BEFORE COMMENCEMENT OF WORK INVOLVING THE CLOSURE, DETOUR OR LANE SHIFT FOR WORK ALONG THE STATE ROADWAY SYSTEM.

1. ALL DISTURBED AREAS IN THE R/W SHALL BE REGRADED AND SODDED AND/OR SEED AND MULCHED. OTHER DISTURBED AREAS MAY BE REPAIRED BY SEEDING OR HYDROSEEDING. ALL SOD IN THE FDOT R/W SHALL BE BAHIA.

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AREA CALCULATIONS:

TOTAL PROPERTY AREA = 179,533 SF (4.12± AC)

TOTAL PROJECT/DEVELOPMENT AREA = 90,712 SF (2.08 AC)
EXISTING IMPERVIOUS AREA = 3,228 SF
EXISTING PERVIOUS AREA = 87,484 SF

PROPOSED IMPERVIOUS AREA = 33,151 SF (36.5%)
PROPOSED ASPHALT/CONCRETE AREA = 22,382 SF
PROPOSED BUILDING FOOTPRINT AREA = 10,769 SF (11.9%)
PROPOSED PERVIOUS AREA = 57,561 SF (63.5%)
PROPOSED RETENTION AREA = 8,778 SF
PROPOSED OPEN AREA = 48,783 SF

PARKING REQUIREMENTS:

TOTAL REQUIRED PARKING SPACES (GENERAL RETAIL COMMERCIAL)
(3 SPACES PER 1,000 SF : 10,769 SF/1,000 * 3 = 32.3 (33 SPACES)
TOTAL PARKING SPACES REQUIRED = 33 SPACES
TOTAL PARKING SPACES PROVIDED = 43 SPACES
STANDARD PARKING SPACES = 41 SPACES
H.C. PARKING SPACES = 2
(2 H.C. FOR 26-50 PARKING SPACES PROVIDED)

PROJECT NOTES:

TRASH PICK-UP WILL BE PROVIDED BY AN ON SITE DUMPSTER.

SIGNAGE NOTE:

ROADWAY: HIGHWAY 97 CLASSIFICATION: MAJOR COLLECTOR
PROPERTY FRONTAGE: 411' LF (PROJECT LIMITS)
BUILDING FRONTAGE AT GRADE: 140.2' LF
BLDG SETBACK FROM HIGHWAY 97 R/W: ~94' LF

PER 5-8.8(c)(2), EITHER ONE FREESTANDING SIGN A MAXIMUM OF 32 SF IN AREA AND SIX FEET IN HEIGHT, OR A MAXIMUM OF 2 SF OF WALL SIGN AREA PER LINEAL FOOT OF BUILDING FRONTAGE AT GRADE (140.2LFx2SF/LF=280SF).
SEE EXEMPTIONS IN SECTION 5-8.6.

A VALID ESCAMBIA COUNTY SIGN PERMIT MUST BE OBTAINED PRIOR TO ERECTING, CONSTRUCTING, ALTERING, OR RELOCATING ANY SITE SIGNAGE.

BENCHMARK TABLE:

ELEV 244.64 (NAVD 88 12b) TBM NO. 1: BMS/NSINPP NORTHSIDE
N:699017.81, E:1039103.87
ELEV 241.46 (NAVD 88 12b) TBM NO. 2: BMS/CHIPPEDSQUAREINHW
(SEE SHEET C1.0) N:699383.85, E:1038674.10

SIGN MOUNTING NOTE:

FOR SIGN MOUNTING DETAILS SEE FDOT INDEX #700-101 & #700-010.

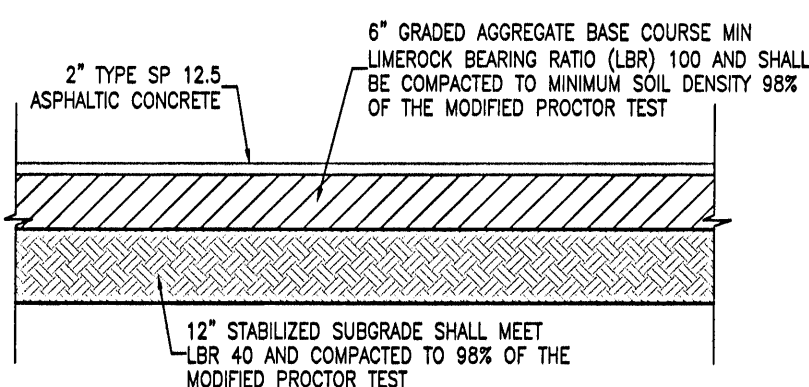
SPEED LIMIT TABLE

SPEED LIMIT	ROADWAY
55 MPH	HIGHWAY 97/SR 97

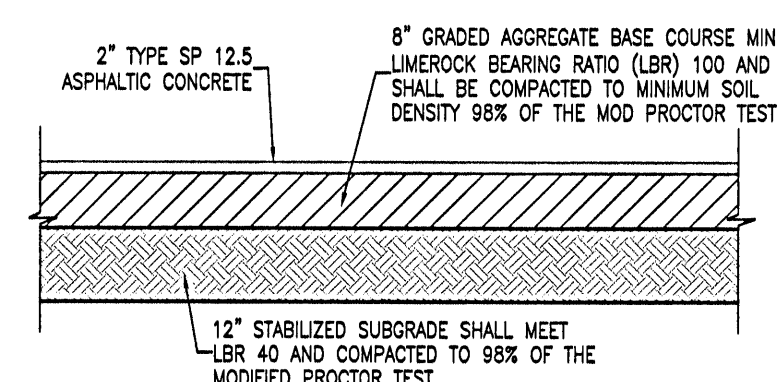
FEMA FLOOD INSURANCE RATE MAP INFORMATION

THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:

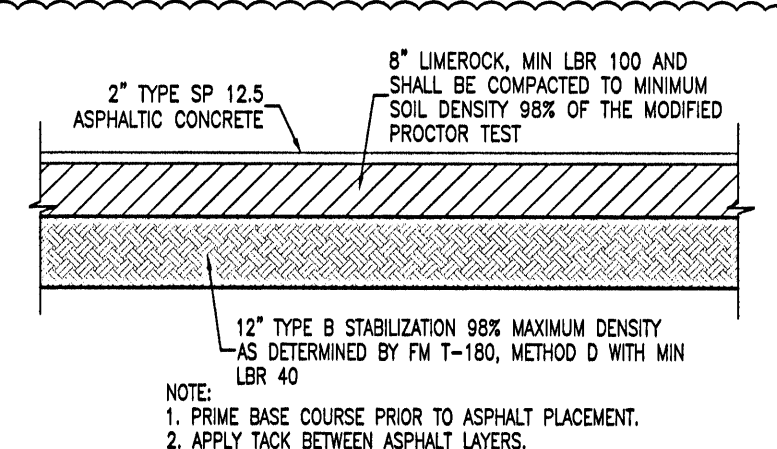
FLOOD ZONE(S)	COMMUNITY NO	MAP NO	PANEL NO	SUFFIX	MAP REVISION DATE
X	120080	12033C	0040	C	SEPT. 29, 2006



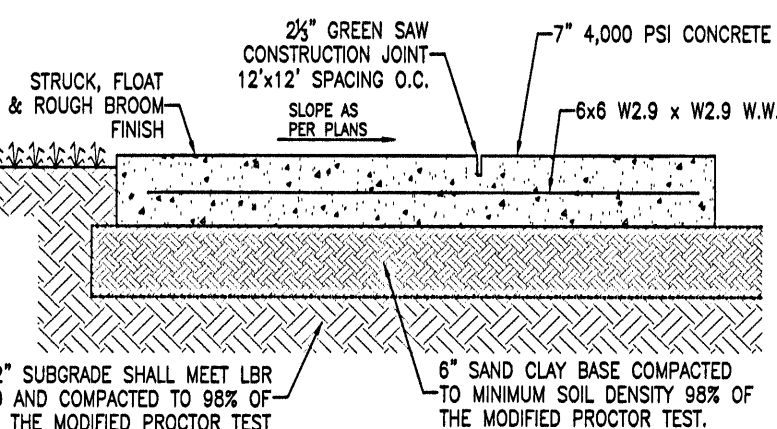
LIGHT DUTY ASPHALT PAVEMENT DETAIL (ON-SITE)
N.T.S.



HEAVY DUTY ASPHALT PAVEMENT DETAIL (ON-SITE)
N.T.S.

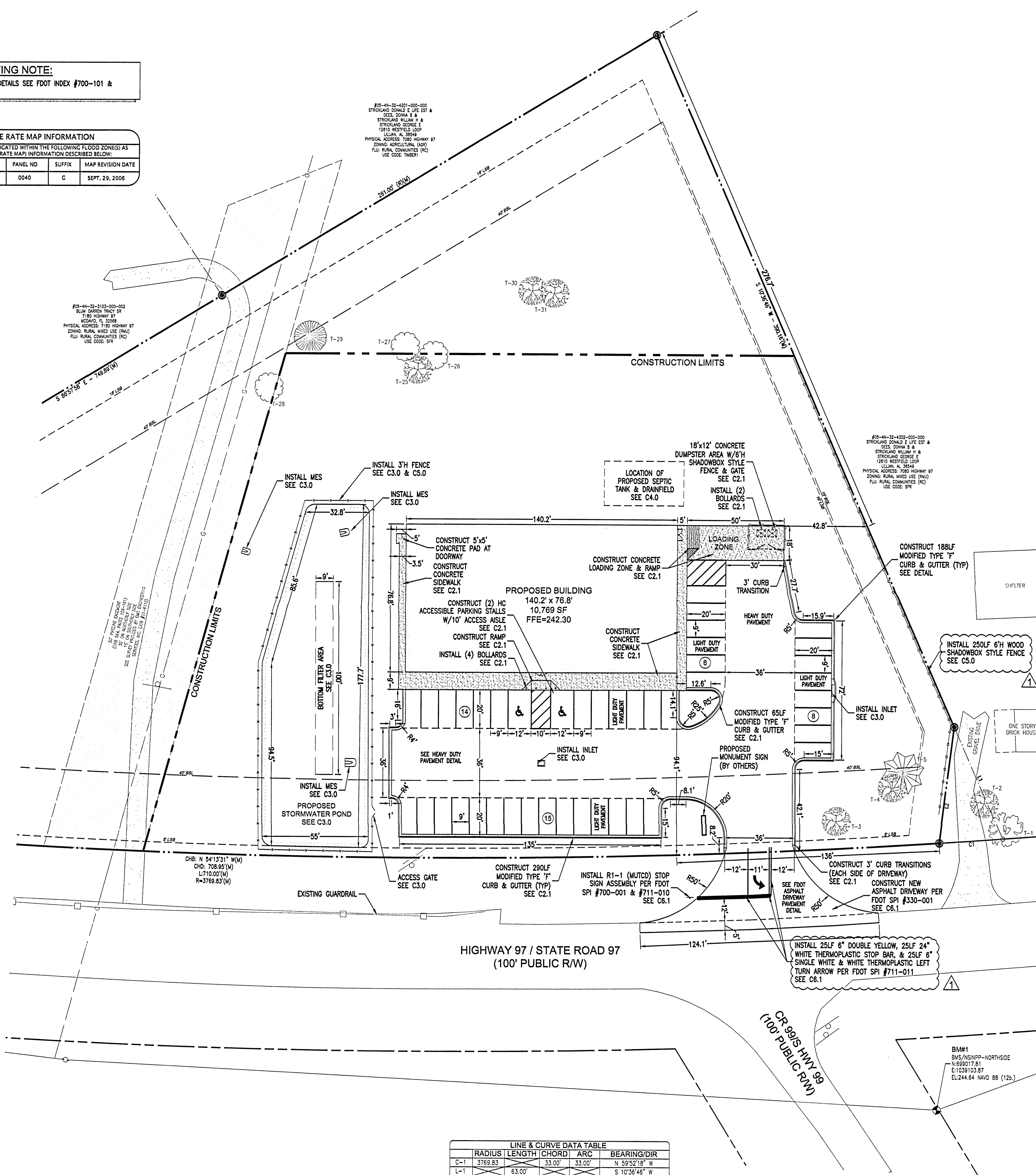


FDOT ASPHALT DRIVEWAY PAVEMENT DETAIL
N.T.S.



HEAVY DUTY CONCRETE PAVEMENT DETAIL
N.T.S.

HEAVY DUTY CONCRETE PAVEMENT DETAIL
N.T.S.



LINE & CURVE DATA TABLE

RADIUS	LENGTH	CHORD	ARC	BEARING/DIR
C-1	3769.83	33.00'	33.00'	N 59°52'18" W
L-1	63.00'			S 10°36'46" W
L-2	60.57'			N 41°30'38" E

BELL
ENGINEERING SERVICES
Jennifer D. Bell, P.E. (FL #64666)
Pensacola, Florida 32503
EB 00029198

SITE LAYOUT & DIMENSION PLAN

DOLLAR GENERAL

STORE #24009

7100 HIGHWAY 97

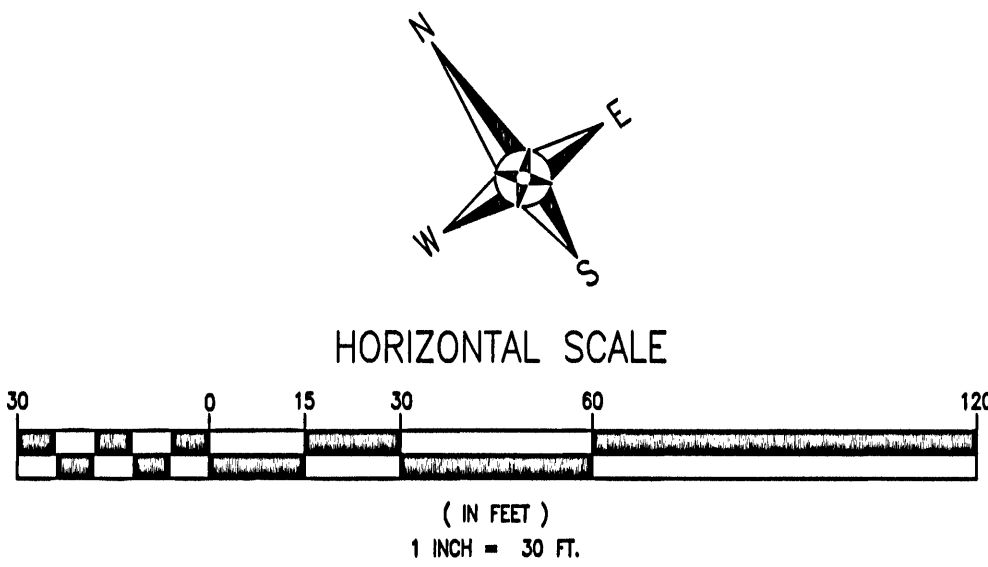
ESCAMBIA COUNTY, FLORIDA

REVISION DESCRIPTION

DATE	#	REVISION DESCRIPTION
02/17/22	1	FDOT ACCESS REVIEW
02/17/22	2	FDOT DRAINAGE REVIEW
03/09/22	3	ESCO REVIEW

Job No.: 2022003
Date: 03/11/22

C2.0



BENCHMARK TABLE:

ELEV 244.64 (NAVD 88 12b) TBM NO. 1: BMS/NSINPP NORTHIDE N:699017.81, E:1039103.87
ELEV 241.46 (NAVD 88 12b) TBM NO. 2: BMS/CHIPPEDSQUAREINHW N:699383.85, E:1038674.10

SPEED LIMIT TABLE

SPEED LIMIT	ROADWAY
55 MPH	HIGHWAY 97/SR 97

NOTE: ALL ROOF DRAINS SHALL BE ROUTED TO PROPOSED POND BOTTOM AND RIPRAP SHALL BE INSTALLED AT EACH DOWNSPOUT. SEE NOTE #10.

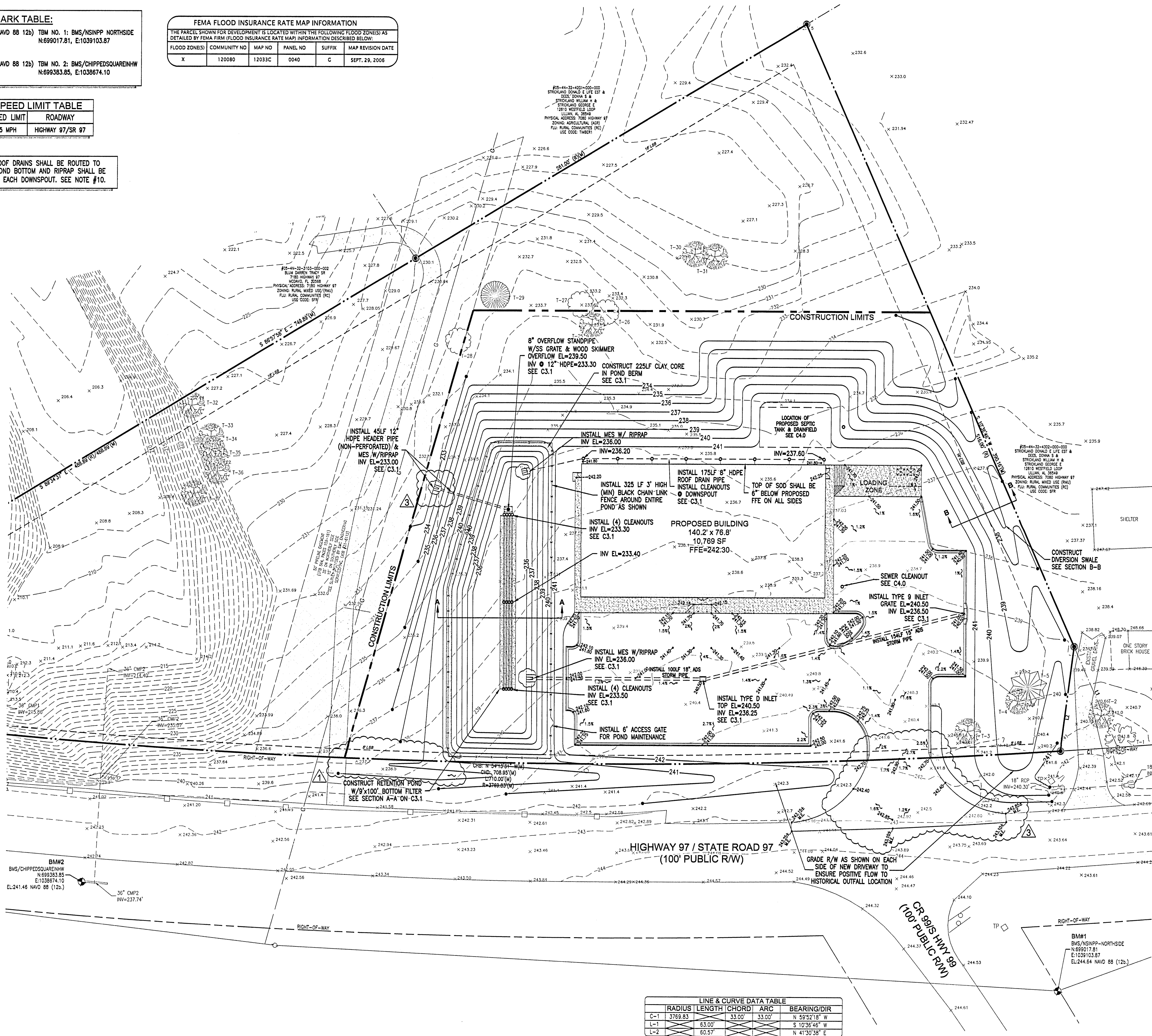
FEMA FLOOD INSURANCE RATE MAP INFORMATION

FLOOD ZONE(S)	COMMUNITY NO	MAP NO	PANEL NO	SUFFIX	MAP REVISION DATE
X	120080	12033C	0040	C	SEPT. 29, 2006

LEGEND

[Symbol]	EXISTING ASPHALT
[Symbol]	PROPOSED ASPHALT
[Symbol]	PROPOSED CONCRETE
[Symbol]	EXISTING CONTOUR
[Symbol]	PROPOSED CONTOUR
[Symbol]	BENCHMARK
[Symbol]	FLOW ARROW
[Symbol]	PROPOSED SPOT ELEVATION

- GENERAL NOTES:**
1. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION(S). THE CONTRACTOR SHALL CONTROL STORM WATER DURING ALL PHASES OF CONSTRUCTION.
 2. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
 3. ALL ASPECTS OF THE STORM WATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
 4. THE ENGINEER OF RECORD SHALL PROVIDE TO ESCAMBA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
 5. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE COUNTY. ANY DEVIATIONS MAY RESULT IN OBTAINING A CERTIFICATE OF OCCUPANCY.
 6. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORM WATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORM WATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
 7. THE DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN-OUT ACCUMULATED SILT, AND STABILIZE RETENTION PONDS AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
 8. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH ESCAMBA COUNTY, A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
 9. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD.
 10. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORM WATER TO RETENTION/DETENTION AREAS.
 11. ALL RIP-RAP FLUMES SHALL BE INSTALLED WITH A FILTER FABRIC INSTALLED UNDERNEATH FOR THE ENTIRE AREA OF THE RIP-RAP.
 12. THE CONTRACTOR SHALL NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RIGHT-OF-WAY. (1-800-432-4770).
 13. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHT OF WAY.
- NWFWM D ENVIRONMENTAL RESOURCE PERMITTING (ERP) NOTES:**
1. AT LEAST 48 HOURS PRIOR TO BEGINNING THE AUTHORIZED ACTIVITIES, THE PERMITEE (VIA CONTRACTOR) SHALL SUBMIT TO THE AGENCY A FULLY EXECUTED FORM 62-330.350(1), "CONSTRUCTION COMMENCEMENT NOTICE" INDICATING THE EXPECTED START AND COMPLETION DATES. THE NPDES NOI TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES, DEP FORM 62-621.300(4)(b), SHALL ALSO SERVE AS NOTICE OF COMMENCEMENT OF CONSTRUCTION UNDER FAC 62-330. COPIES OF THE NOTICES SHALL BE FORWARDED TO THE EOR.
 2. WITHIN 30 DAYS AFTER COMPLETING CONSTRUCTION OF THE ENTIRE PROJECT, OR ANY INDEPENDENT PORTION OF THE PROJECT, THE PERMITEE (VIA EOR) SHALL PROVIDE THE ASBUILT CERTIFICATION AND REQUEST FOR CONVERSION TO OPERATION PHASE FORM 62.330.310(1). THE OWNER IS RESPONSIBLE FOR OBTAINING AN ASBUILT SURVEY IN ORDER TO VERIFY THAT THE FINISHED ELEVATIONS ARE IN COMPLIANCE WITH THE APPROVED PLANS. THIS SURVEY SHALL BE PROVIDED TO THE EOR IN ORDER TO COMPLETE THE ASBUILT CERTIFICATIONS.
 3. THE OPERATION AND MAINTENANCE OF THE FACILITY WILL BE THE RESPONSIBILITY OF THE OWNER, AS IN ACCORDANCE WITH THE APPROVED PERMIT.
 4. A COPY OF THE PERMIT SHALL BE KEPT ON SITE.
 5. THE CONTRACTOR IS REQUIRED TO REVIEW THE COMPLETE PERMIT PRIOR TO CONSTRUCTION COMMENCEMENT.
 6. AN 8 1/2"x11" WEATHER RESISTANT SIGN, INCLUDING THE PERMIT NUMBER, SHALL BE PLACED ON THE PROPERTY FACING THE ROAD.



LINE & CURVE DATA TABLE

RADIUS	LENGTH	CHORD	ARC	BEARING/DIR
C-1	3769.83	33.00'	33.00'	N 55°21'18\"/>
L-1	63.00'	63.00'	63.00'	S 10°35'46\"/>
L-2	60.57'	60.57'	60.57'	N 41°30'38\"/>

BELL
ENGINEERING SERVICES

Jennifer D. Bell, P.E. (FL #64666)
Pensacola, Florida 32503
EB 00029198

**GRADING &
DRAINAGE PLAN**

DOLLAR GENERAL

**STORE #24009
7100 HIGHWAY 97
ESCAMBA COUNTY, FLORIDA**

REVISION DESCRIPTION

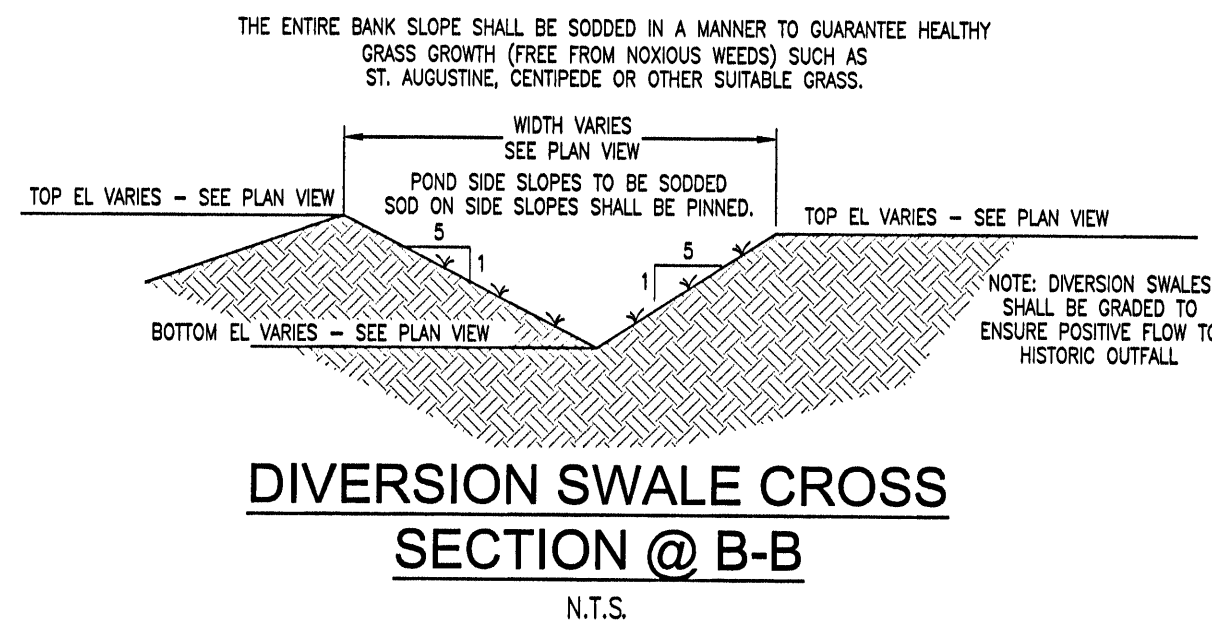
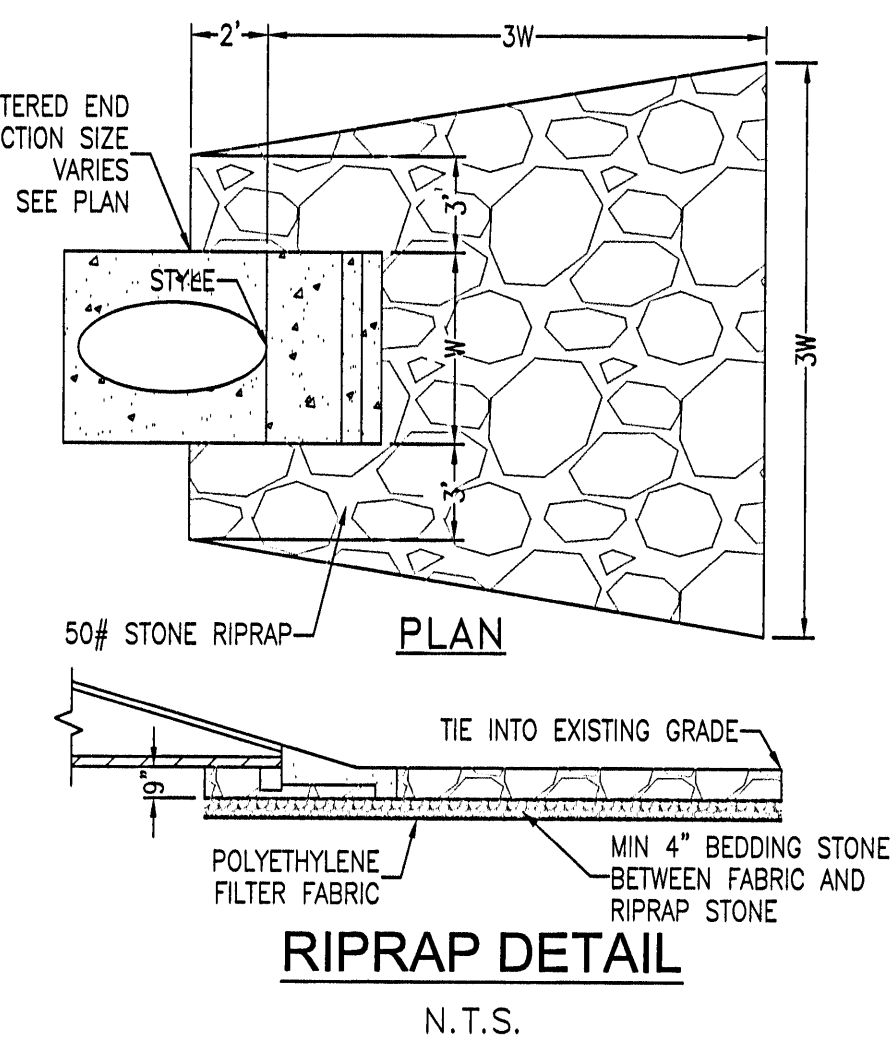
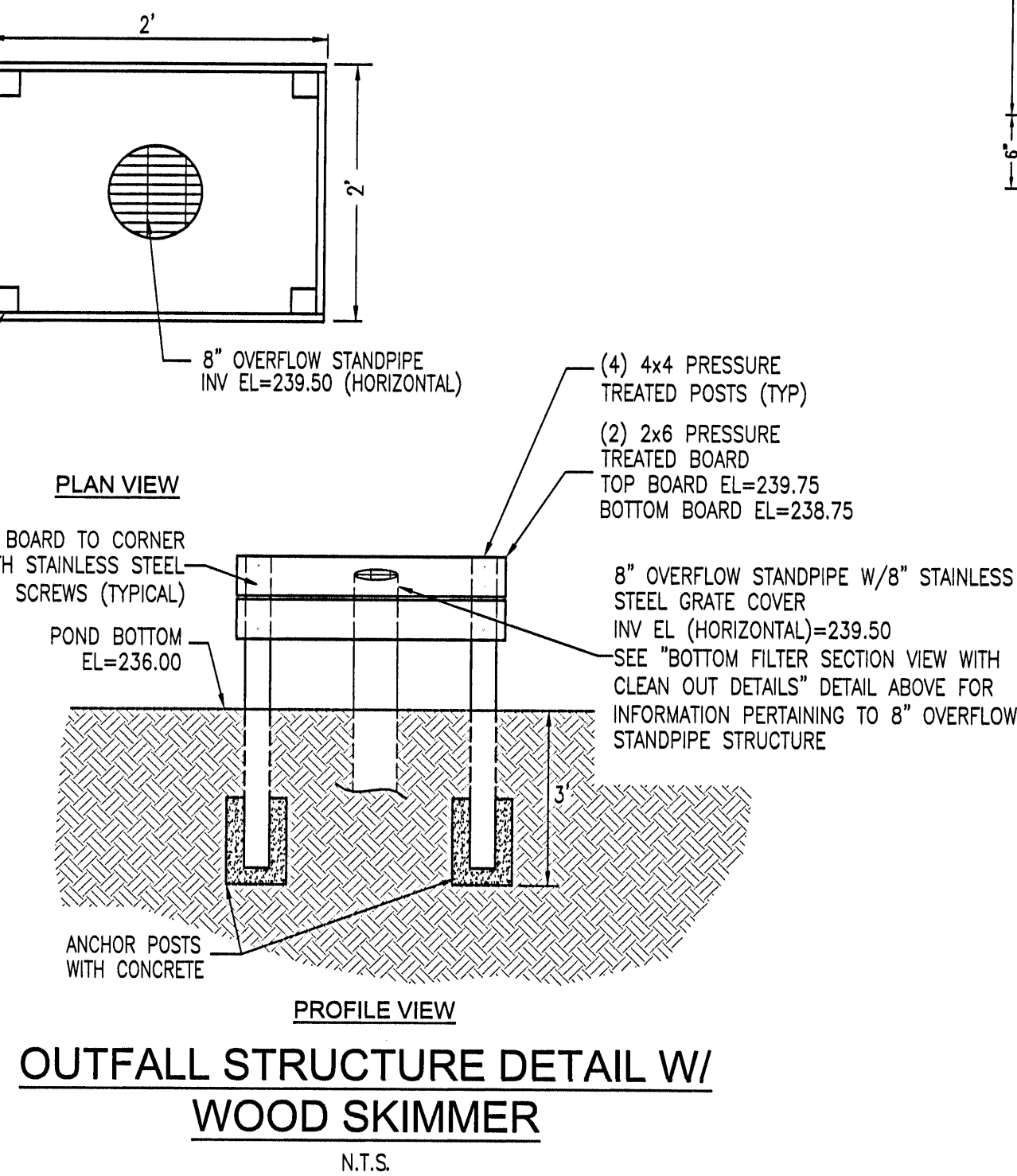
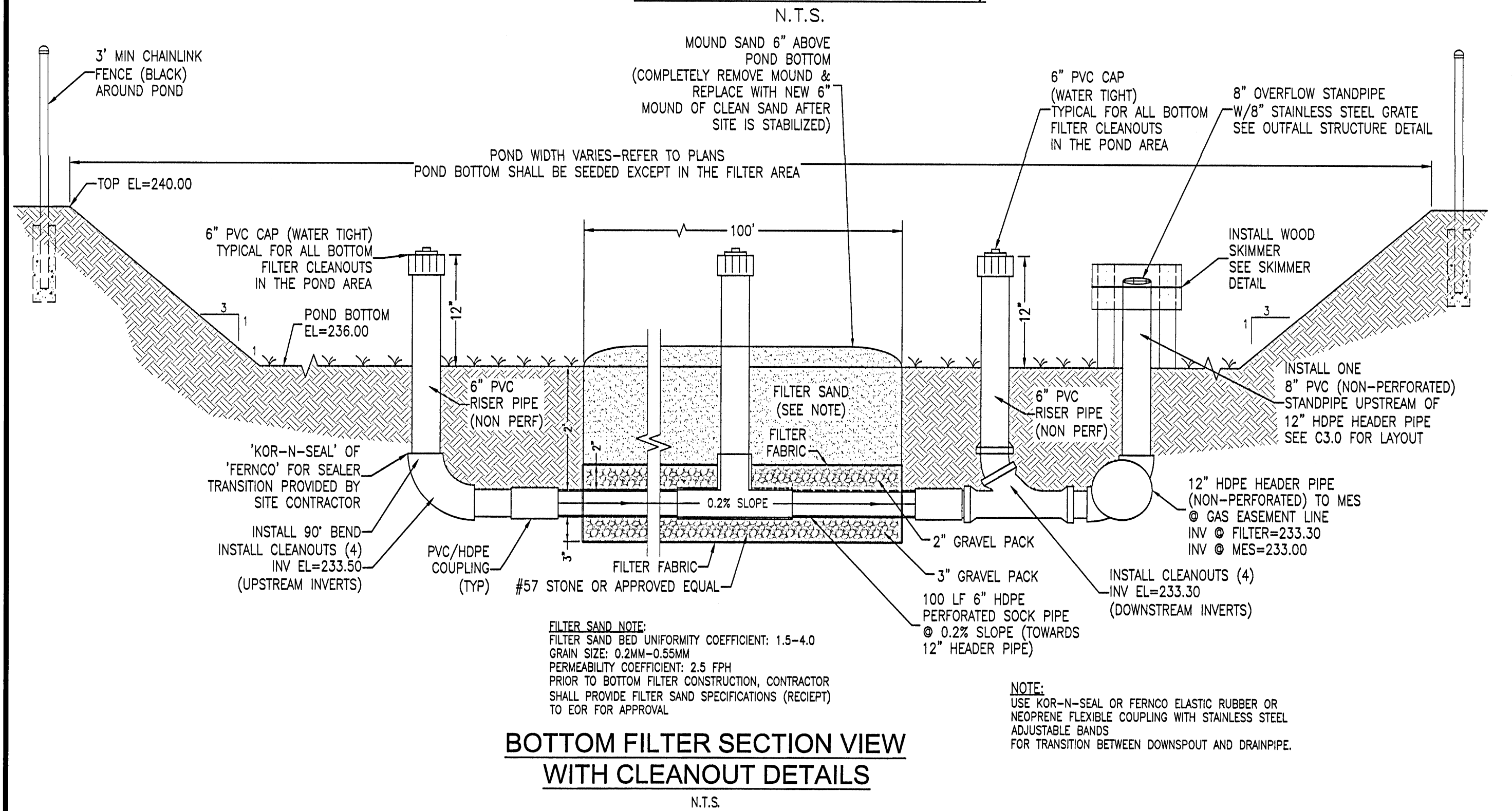
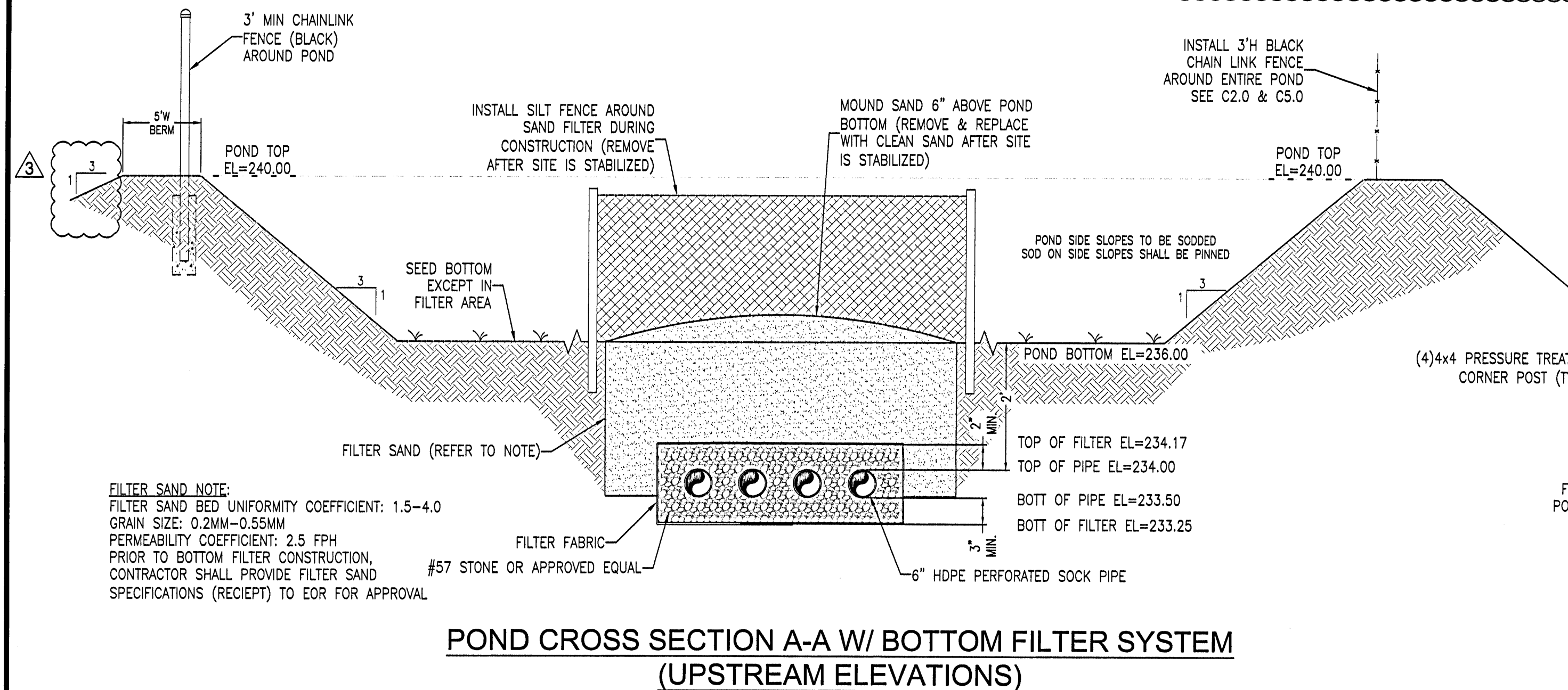
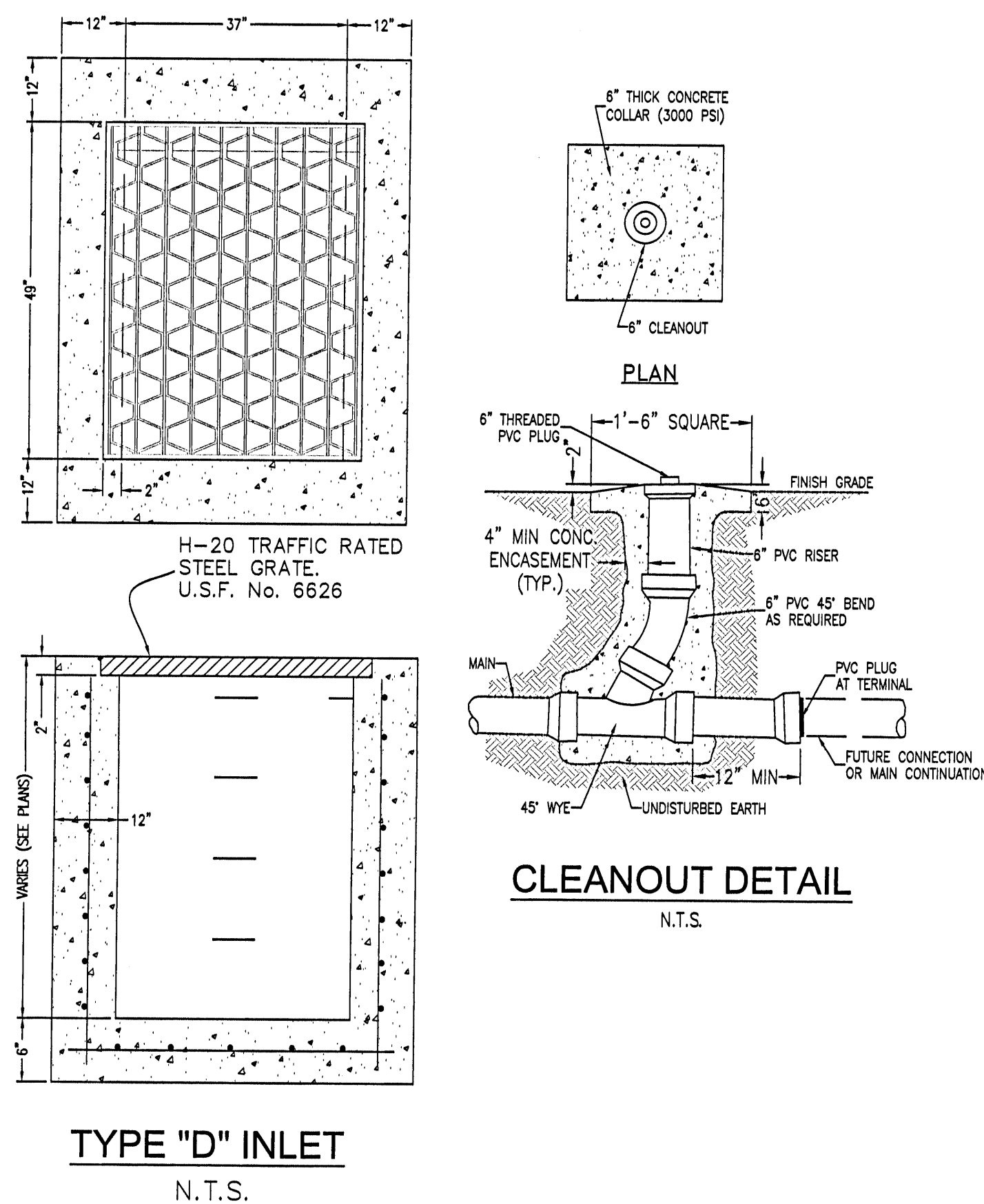
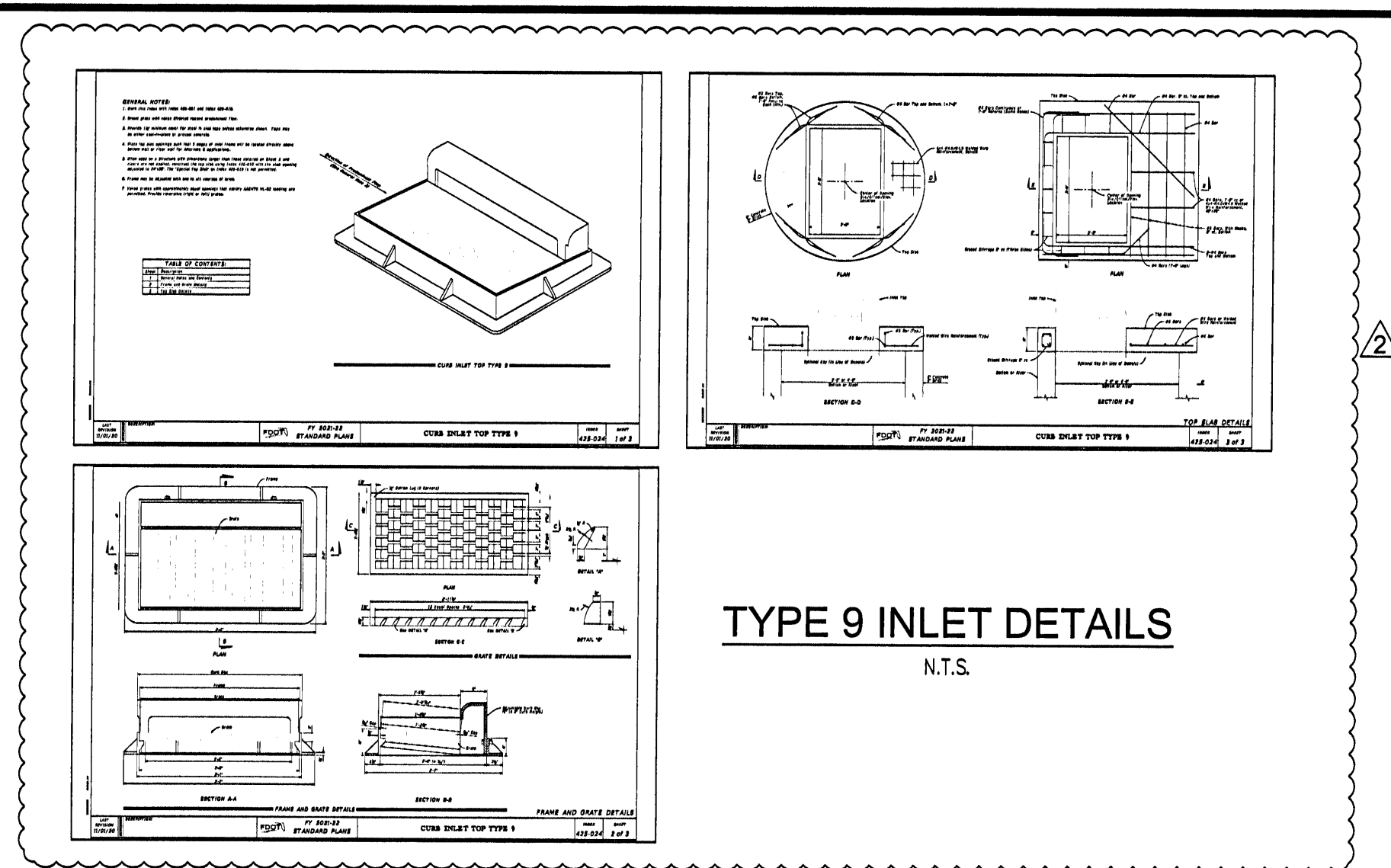
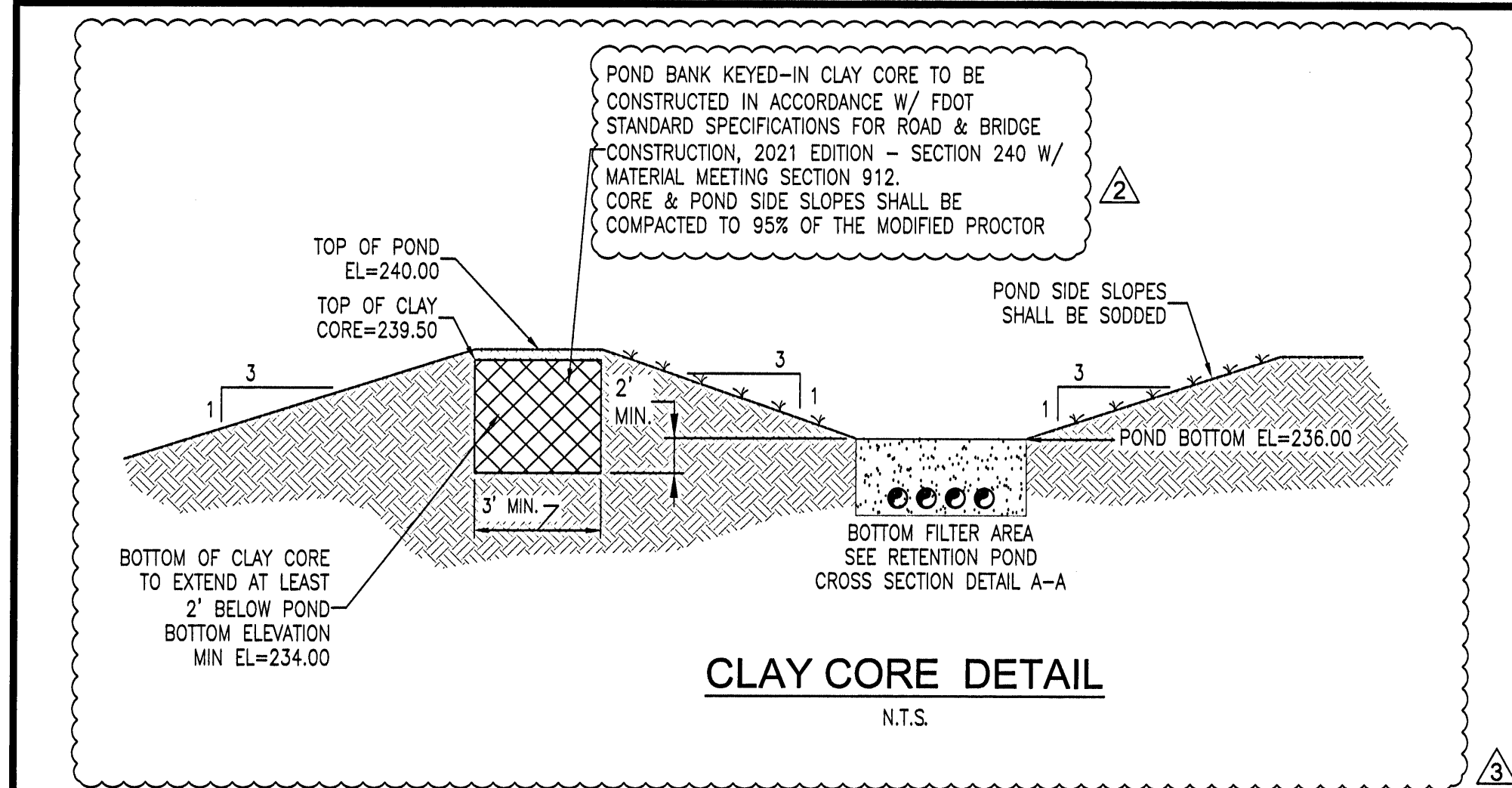
DATE	#	REVISION DESCRIPTION
02/17/22	1	FDOT ACCESS REVIEW
02/17/22	2	FDOT DRAINAGE REVIEW
03/09/22	3	ESGO REVIEW

JENNIFER D. BELL
No. 04008
STATE OF FLORIDA
PROFESSIONAL ENGINEER

Jennifer D. Bell, PE
FL PE # 64666

Job No.: 2022003
Date: 03/11/22

C3.0



BELL
ENGINEERING SERVICES

Jennifer D. Bell, P.E. (FL #64666)
Pensacola, Florida 32503
EB 00029198

GRAING & DRAINAGE DETAILS

DOLLAR GENERAL

STORE #24009
7100 HIGHWAY 97
ESCAMBIA COUNTY, FLORIDA

DATE	REVISION DESCRIPTION
02/17/22	1 FDOT ACCESS REVIEW
02/17/22	2 FDOT DRAINAGE REVIEW
03/09/22	3 ESCO REVIEW

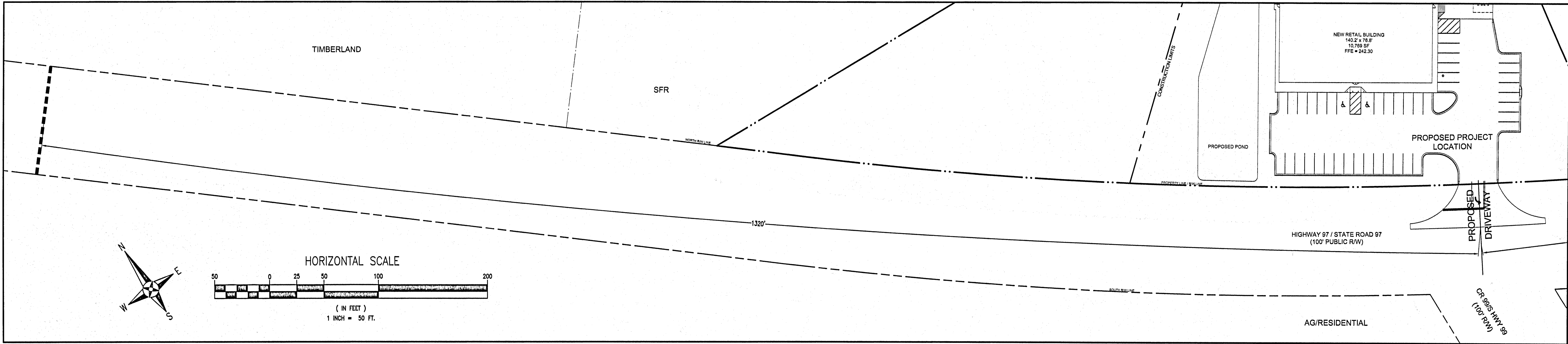
JENNIFER D. BELL
No. C4009
STATE OF FLORIDA
PROFESSIONAL ENGINEER
FL PE # 64666

Job No.: 2022003
Date: 03/11/22

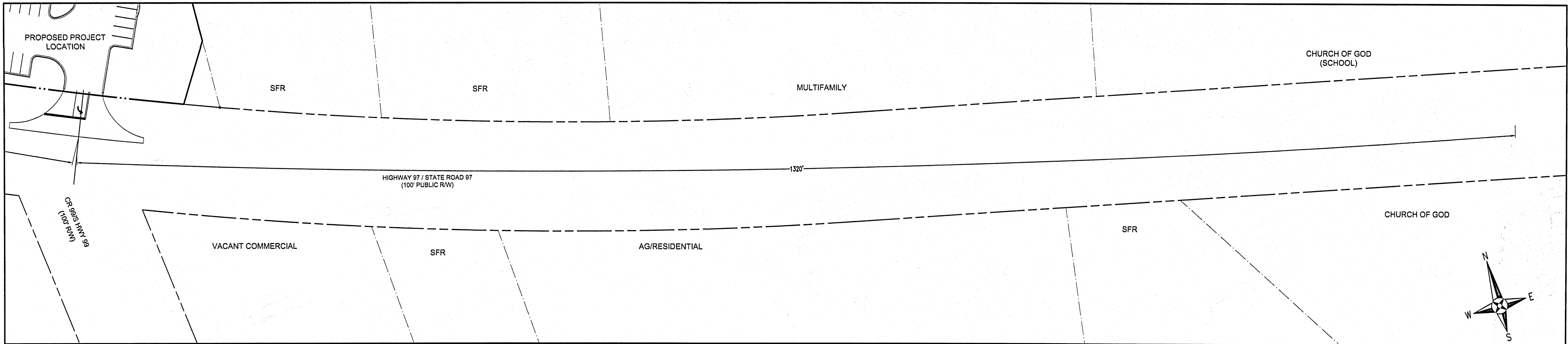
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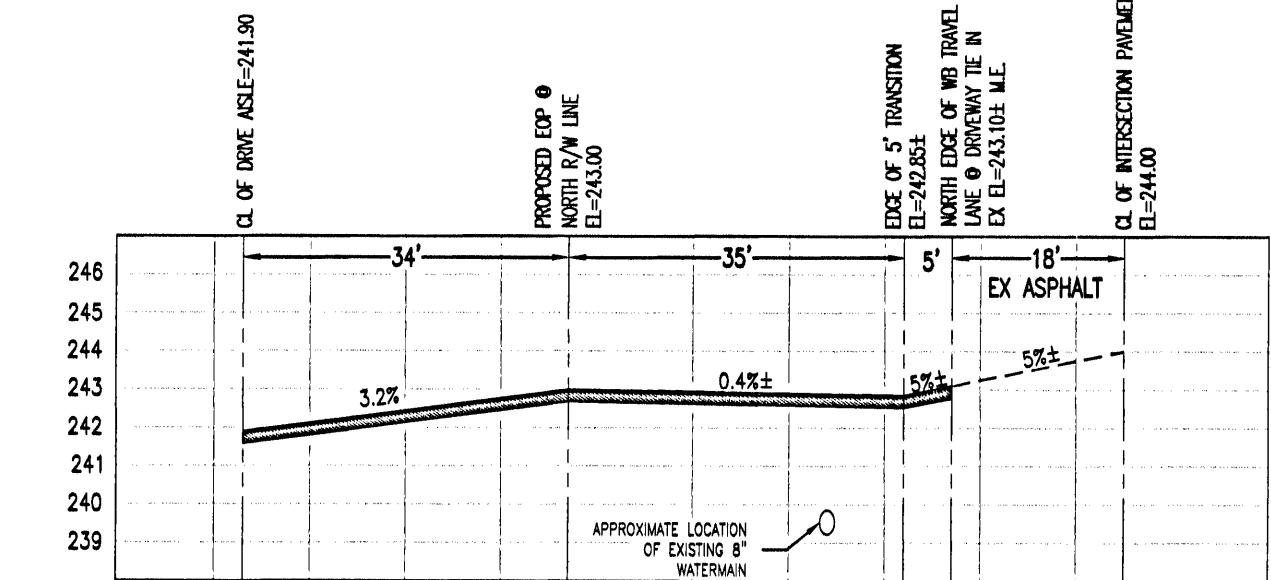
C:\Users\jbell\OneDrive\Documents\2022\03\11\20220311 - DOLLAR GENERAL - WMAI - 100' R/W\DWG\0311220311.DWG



FDOT 1320' SIGHT DISTANCE
@ PROPOSED DRIVEWAY & SR 97 (HIGHWAY 97)
DESIGN SPEED 55MPH



FDOT 1320' SIGHT DISTANCE
@ PROPOSED DRIVEWAY & SR 97 (HIGHWAY 97)
DESIGN SPEED 55MPH

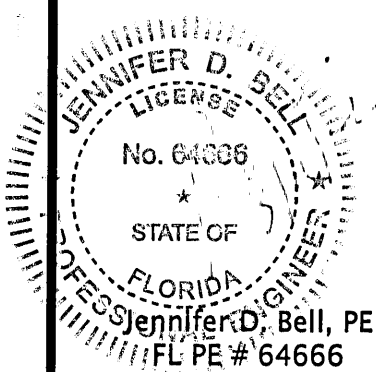


PROFILE OF ROADWAY @ PROPOSED DRIVEWAY A-A
STATE ROAD 97 (HIGHWAY 97)
SCALE: 1" = 20'

DOLLAR GENERAL

STORE #24009
7100 HIGHWAY 97
ESCAMBIA COUNTY, FLORIDA

DATE	#	REVISION DESCRIPTION
02/17/22	1	FDOT ACCESS REVIEW
02/17/22	2	FDOT DRAINAGE REVIEW
03/09/22	3	ESCO REVIEW



Job No.: 2022003
Date: 03/11/22

C6.0

FDOT 1320' SURVEY &
SIGHT DISTANCE

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Jennifer D. Bell, P.E. (FL #64666)
Pensacola, Florida 32503
EB 00029198

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TABLE 1: LIST OF CONTENTS

NO.	DESCRIPTION	NO.	DESCRIPTION
1	GENERAL INFORMATION FOR TRAFFIC CONTROL THROUGH WORK ZONES	10	WORK ZONE PAYMENT MARKINGS
2	GENERAL INFORMATION FOR TRAFFIC CONTROL THROUGH WORK ZONES	11	WORK ZONE PAYMENT MARKINGS
3	GENERAL INFORMATION FOR TRAFFIC CONTROL THROUGH WORK ZONES	12	WORK ZONE PAYMENT MARKINGS
4	GENERAL INFORMATION FOR TRAFFIC CONTROL THROUGH WORK ZONES	13	WORK ZONE PAYMENT MARKINGS
5	GENERAL INFORMATION FOR TRAFFIC CONTROL THROUGH WORK ZONES	14	WORK ZONE PAYMENT MARKINGS
6	GENERAL INFORMATION FOR TRAFFIC CONTROL THROUGH WORK ZONES	15	WORK ZONE PAYMENT MARKINGS
7	GENERAL INFORMATION FOR TRAFFIC CONTROL THROUGH WORK ZONES	16	WORK ZONE PAYMENT MARKINGS
8	GENERAL INFORMATION FOR TRAFFIC CONTROL THROUGH WORK ZONES	17	WORK ZONE PAYMENT MARKINGS
9	GENERAL INFORMATION FOR TRAFFIC CONTROL THROUGH WORK ZONES	18	WORK ZONE PAYMENT MARKINGS

GENERAL INFORMATION FOR TRAFFIC CONTROL THROUGH WORK ZONES

10-11-2022

GENERAL INFORMATION FOR TRAFFIC CONTROL THROUGH WORK ZONES

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JENNIFER D. BELL
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Date: 03/11/22

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FY 2021-22
STANDARD PLANS