AGENCY & UTILITY CONTACTS:

LOCAL GOVERNMENT:

POWER:

ESCAMBIA COUNTY

3363 WEST PARK PLACE
PENSACOLA, FLORIDA 32505
PHONE: 850-595-3475

ESCAMBIA RIVER ELECTRIC COOP
P.O. BOX 428
JAY, FLORIDA 32565
PHONE: 800-235-3848

WATER SERVICES:

GAS:

ESCAMBIA RIVER ELECTRIC COOP P.O. BOX 428 JAY, FLORIDA 32565 PHONE: 800-235-3848 ENERGY SERVICES OF PENSACOLA 1625 ATWOOD DRIVE PENSACOLA, FLORIDA 32504 PHONE: 850-474-5322

TELEPHONE:

CABLE:

BELLSOUTH 605 W. GARDEN STREET PENSACOLA, FLORIDA 32501 PHONE: 850-436-1662 COX COMMUNICATIONS 2205 LAVISTA AVE. PENSACOLA, FLORIDA 32504 PHONE: 850-477-2695

SAFETY NOTICE TO CONTRACTOR:

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.

WARRANTY/DISCLAIMER:

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

LEGAL DESCRIPTION:

AS PROVIDED BY EMC SURVEYOR ON 01/18/2022: ALL OF THAT TRACT OR PARCEL OF LAND LYING AND BEING IN SECTION 5, TOWNSHIP 4 NORTH, RANGE 32 WEST IN ESCAMBIA COUNTY FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A 5/8" REBAR FOUND CAPPED AT THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 5 AND GO SOUTH 86 DEGREES 57 MINUTES 58 SECONDS EAST ALONG THE NORTH LINE OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 5 FOR A DISTANCE OF 261.00 FEET TO A 5/8" REBAR SET CAPPED LB#8367, SAID POINT BEING THE POINT OF BEGINNING.

FROM SAID POINT OF BEGINNING GO SOUTH 10 DEGREES 36 MINUTES 46 SECONDS WEST ALONG A COMMON PROPERTY LINE WITH WILLIAM H. STRICKLAND, GEORGE E. STRICKLAND AND DONNA S. DEES PROPERTY FOR A DISTANCE OF 390.16 FEET TO A 5/8" REBAR SET CAPPED LB#8367; THENCE GO SOUTH 41 DEGREES 30 MINUTES 38 SECONDS WEST FOR A DISTANCE OF 60.57 FEET TO A 5/8" REBAR SET CAPPED LB#8367 ON THE NORTHERLY RIGHT-OF-WAY LINE OF STATE ROAD #97 (100' R/W); THENCE GO ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF STATE ROAD #97 AROUND A CURVE CONCAVE TO THE RIGHT HAVING A RADIUS OF 3,769.83 FEET, AN ARC LENGTH OF 710.00 FEET SUBTENDED BY A CHORD BEARING OF NORTH 54 DEGREES 13 MINUTES 31 SECONDS WEST HAVING A CHORD DISTANCE OF 708.95 FEET TO A 5/8" REBAR SET CAPPED LB#8367; THENCE CONTINUE ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF STATE ROAD #97 NORTH 48 DEGREES 44 MINUTES 31 SECONDS WEST FOR A DISTANCE OF 82.01 FEET TO A 5/8" REBAR SET CAPPED; THENCE LEAVING THE NORTHERLY RIGHT-OF-WAY LINE OF STATE ROAD #97 GO SOUTH 86 DEGREES 57 MINUTES 58 SECONDS EAST ALONG A COMMON PROPERTY LINE WITH DARREN TRACY BLUM, SR. PROPERTY AND WILLIAM H. STRICKLAND, GEORGE E. STRICKLAND AND DONNA S. DEES PROPERTY FOR A DISTANCE OF 749.89 FEET TO A 5/8" REBAR SET CAPPED LB#8367 AND THE POINT OF BEGINNING.

SAID TRACT CONTAINS 4.122 ACRES ~ 179,533 SQ.FT.

LAND DISTURBANCE NOTE:

ALL LAND DISTURBING ACTIVITIES, INCLUDING TREE REMOVAL, SHALL ONLY COMMENCE AFTER PROPER PERMITS ARE OBTAINED FROM ESCAMBIA COUNTY FOR THIS ACTIVITY.

FLOOD ZONE NOTE:

THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND .2-PERCENT ANNUAL CHANCE FLOODPLAINS. NO BFES OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0040G, MAP REVISION DATED SEPTEMBER 29, 2006.

SIGNAGE NOTE:

ROADWAY: HIGHWAY 97 CLASSIFICATION: MAJOR COLLECTOR

FOOT OF BUILDING FRONTAGE AT GRADE (140.2LFx2SF/LF=280SF).

CONSTRUCTING, ALTERING, OR RELOCATING ANY SITE SIGNAGE.

PER 5-8.8(c)(2)a. EITHER ONE FREESTANDING SIGN A MAXIMUM OF 32 SF IN AREA AND SIX FEET IN HEIGHT, OR A MAXIMUM OF 2 SF OF WALL SIGN AREA PER LINEAL

A VALID ESCAMBIA COUNTY SIGN PERMIT MUST BE OBTAINED PRIOR TO ERECTING,

PROPERTY FRONTAGE: 411 LF (PROJECT LIMITS)

BLDG SETBACK FROM HIGHWAY 97 R/W: ~94 LF

BUILDING FRONTAGE AT GRADE: 140.2 LF

SEE EXEMPTIONS IN SECTION 5-8.6.

FEM	A FLOOD INS	URANCE	RATE MAP IN	NFORMAT	TON
	OWN FOR DEVELOP				FLOOD ZONE(S) AS
FLOOD ZONE(S)	COMMUNITY NO	MAP NO	PANEL NO	SUFFIX	MAP REVISION DATE
×	120080	12033C	0040	G	SEPT. 29, 2006

SITE CONSTRUCTION PLANS

FOR

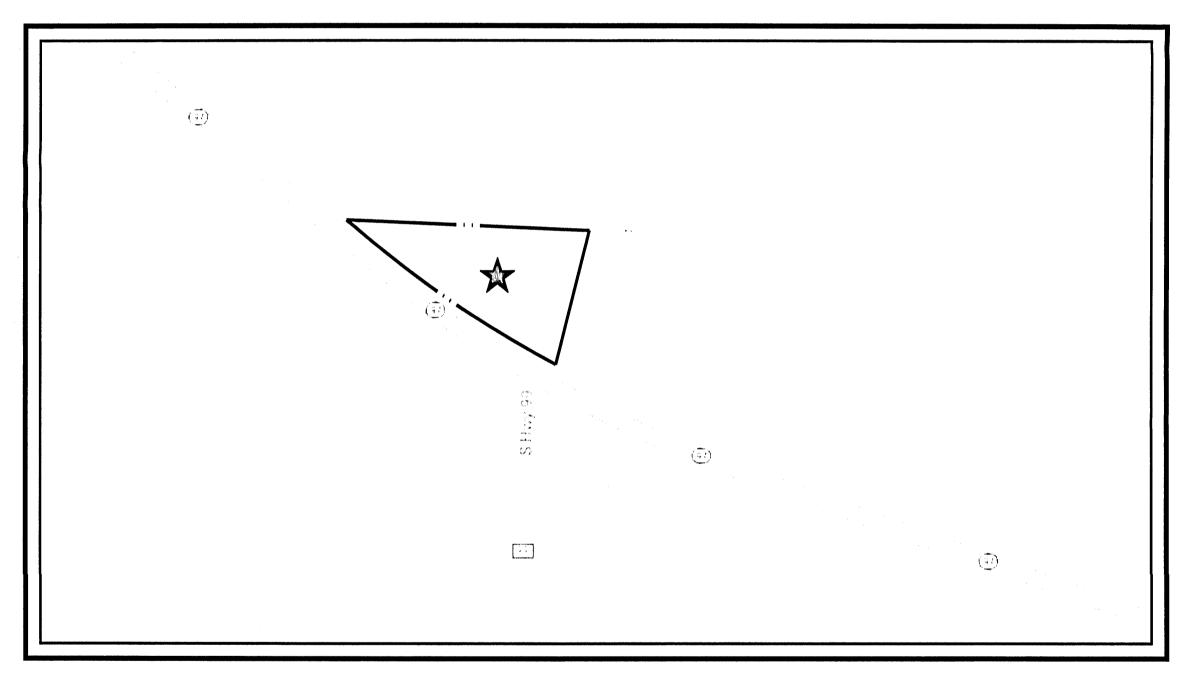
DOLLAR GENERAL

STORE # 24009

7100 HIGHWAY 97 (SR 97)

ESCAMBIA COUNTY, FLORIDA

MARCH 11, 2022



VICINITY MAP

APPROXIMATE SCALE: 1" ~ 500'

OWNER/DEVELOPER:



Teramore Development, LLC P.O. Box 6460 Thomasville, GA 31758 (229) 516-4289 ENGINEER OF RECORD:



Bell Engineering Services, LLC Jennifer D. Bell, P.E. (FL #64666) Pensacola, Florida 32503 (850) 723-7185 EB 00029198 Printed Name: Jennier Designee

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does

Approved
ESCAMBIA COUNTY DRC PLAN REVIEW

of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

DRAWING INDEX

C1.0 EXISTING SITE, DEMOLITION & EROSION CONTROL PLAN GENERAL NOTES, TREE TABLE & EROSION CONTROL DETAILS C1.1 C1.2 NPDES - STORMWATER POLLUTION PREVENTION PLAN C2.0 SITE LAYOUT & DIMENSION PLAN C2.1 MISCELLANEOUS SITE DETAILS C3.0 GRADING & DRAINAGE PLAN C3.1 **GRADING & DRAINAGE DETAILS** C4.0 UTILITY PLAN C5.0 LANDSCAPE PLAN C6.0 EDOT 1320' SURVEY & SIGHT DISTANCE FY 2021-22 SŤAŇDĂRĎ PĽAŇS (FĎOŤ)

SITE INFORMATION: -

PROPERTY REFERENCE NO: 05-4N-32-4303-000-000

PROPERTY ADDRESS:

7100 HIGHWAY 97

PROPERTY AREA:

4.12 ACRES (179,533 SF)

2.08 ACRES (90,712 SF)

PROJECT AREA:

FLOOD ZONE "X", MAP #12033C0040-G,

FLOOD MAP:

DATED 09-29-2006

PROPERTY ZONING:

RMU (RURAL MIXED-USE)

FUTURE LAND USE:

RC (RURAL COMMUNITY)

PROPOSED ACTIVITY:

RETAIL - THIS PROJECT RECEIVED CONDITIONALUSE TO ALLOW

REQUIRED BUILDING SETBACKS RMU

(PER LDC SECTION 3-2.4):

SIDE YARD - 5' (OR 10% OF LOT WIDTH @ ROW, NTE 15')
REAR YARD - 40'

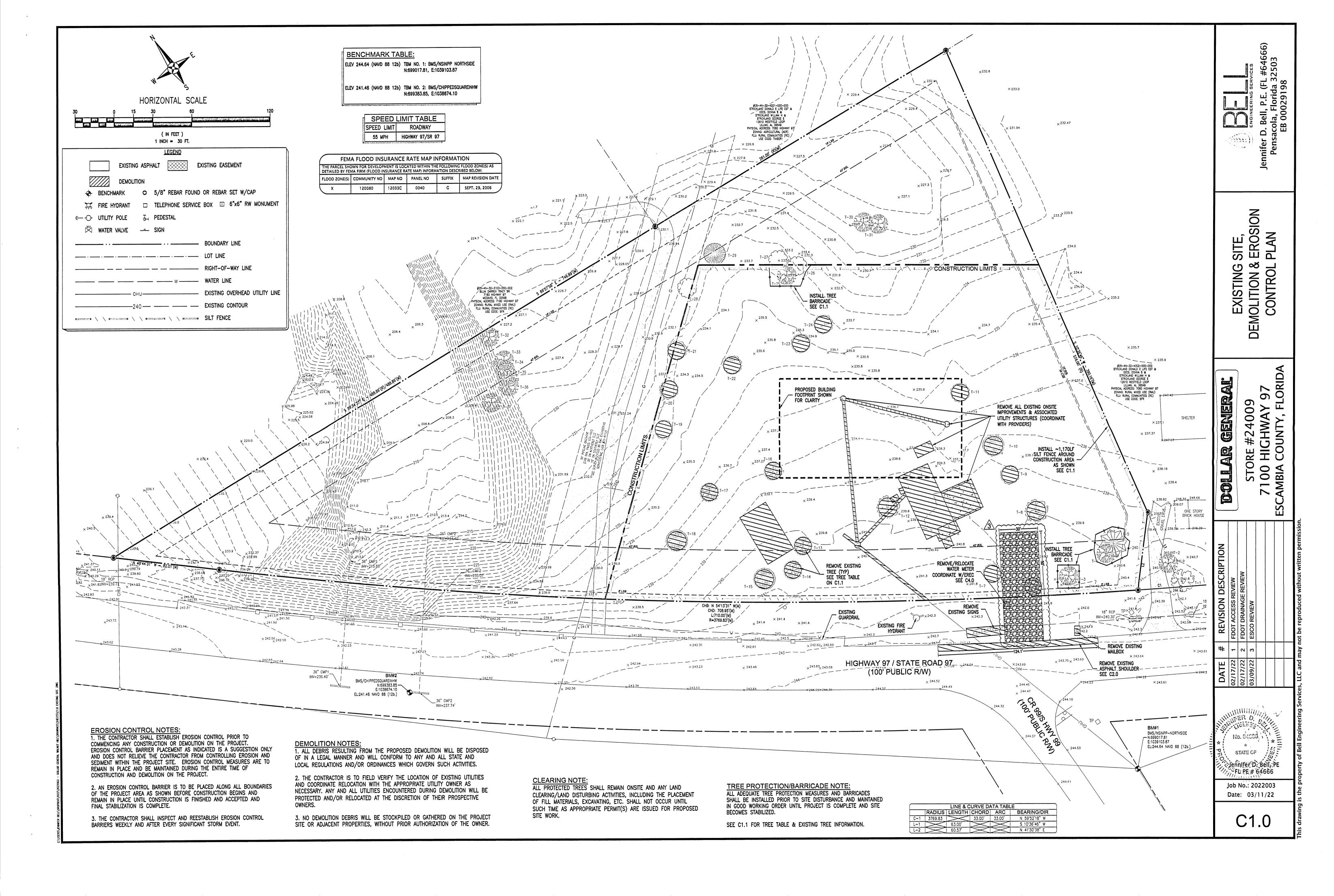
REAR YARD - 40'

FRONT YARD - 40'

DATE	#	REVISION DESCRIPTION
02/17/22	$ \Lambda $	FDOT ACCESS REVIEW
02/17/22	2	FDOT DRAINAGE REVIEW
03/09/22	3	ESCO REVIEW

No. 64966

BELL ENGINEERING SERVICES PROJECT#: 2022003



2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.

3. PERMANENT VEGETATION TO BE SEEDED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER GRADING. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED, NEWLY PLACED SOD/SEED IN RIGHT OF WAY SHALL BE WATERED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.

4. ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.

*5. A BITUMINOUS CONCRETE BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE BITUMINOUS CONCRETE BASE SHALL BE INSTALLED WITHIN 15 DAYS OF THE PRELIMINARY GRADING.

*6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL, ACCORDING TO STATE STANDARDS.

*7. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).

*8. A CRUSHED LIMEROCK, VEHICLE WHEEL-CLEANING BLANKET SHALL BE INSTALLED AT THE CONTRACTOR'S STAGING YARD AND/OR STOCKPILE AREAS TO PREVENT OFF-SITE TRACKING OF SEDIMENT BY CONSTRUCTION VEHICLES ONTO PUBLIC ROADS. BLANKET SHALL BE 15FT. X 50FT. X 6IN. (MINIMUM), CRUSHED LIMEROCK 2 1/2 INCHES IN DIAMETER. SAID BLANKET SHALL BE UNDERLAIN WITH A FOOT CLASS 3 SYNTHETIC FILTER FABRIC AND MAINTAINED IN GOOD ORDER.

9. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.

*10. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.

11. UNFILTERED DEWATERING IS NOT PERMITTED. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER.

12. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.

13. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.

14. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF

15. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE NUMBER 2 (ABOVE).

RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.

16. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER

17. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.

18. ALL CATCH BASIN INLETS SHALL BE PROTECTED WITH HAY BALES AS SHOWN ON DETAIL.

19. THE CONTRACTOR SHALL PREPARE A PLAN FOR THE PROPER DEWATERING AND DOWNSTREAM SILTATION PROTECTION OF EACH STREAM CROSSING PRIOR TO EXCAVATING THE STREAM BED. PLAN SHALL BE FORWARDED TO THE ENGINEER FOR APPROVAL. THE ENGINEER SHALL BE NOTIFIED FOR INSPECTION PRIOR TO EACH STREAM CROSSING CONSTRUCTION.

20. ANY AREAS USED FOR THE CONTRACTOR'S STAGING, INCLUDING BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (E.G. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.), SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.

* WHERE APPLICABLE

TEMPORARY SEEDING DETAILS:

SEED BED PREPARATION: SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS/ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS./ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE:

CONSISTING OF ANNUAL RYE (LOLIUM MULTIFLORUM) AT A RATE OF 174 LBS/ACRE.

PERMANENT SEEDING DETAILS:

SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS/ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS./ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE CONSISTING OF RATE PURITY GERMINATION 260 LBS/AC. 95% 80% ARGENTINE BAHIA 260 LBS/AC. 95% 40%(MIN.)-80%(TOTAL) PENSACOLA BAHIA

SOD SHALL BE WELL ROOT MATTED CENTIPEDE OR BAHIA GRASS COMMERCIALLY CUT TO A MINIMUM DIMENSION OF 12" x 24" A MAXIMUM OF 72 HOURS PRIOR TO PLACEMENT. SOD SHALL BE LIVE, FRESH AND UNINJURED, REASONABLY FREE OF WEEDS AND OTHER GRASSES, WITH A HEAVY SOIL MAT ADHERING TO THE ROOT SYSTEM. SOD SHALL BE GROWN, CUT, AND SUPPLIED BY A STATE CERTIFIED GROWER. NEWLY PLACED SOD/SEED IN RIGHT OF WAY SHALL BE WATERED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.

TRAFFIC CONTROL STANDARDS:

1. CONSTRUCTION TRAFFIC SHALL BE RESTRICTED TO ONSITE ACCESS BY MEANS SO DESIGNATED BY THE ENGINEER, POLICE/SHERIFF DEPARTMENT, LOCAL GOVERNMENT ROADS DEPARTMENT, AND/OR THE FLORIDA DEPARTMENT OF TRANSPORTATION.

2. TRAFFIC DURING WET WEATHER SHALL BE MINIMIZED AND APPROPRIATE ROADWAY AND SITE CLEAN-UP SHALL BE PROVIDED BY THE CONTRACTOR AS SOON AS WEATHER CONDITIONS PERMIT.

TREE PROTECTION:

1. DAMAGED TRUNKS OR EXPOSED ROOTS WILL BE PAINTED IMMEDIATELY WITH A GOOD GRADE OF "TREE PAINT".

2. TREE LIMB REMOVAL, WHERE NECESSARY, WILL BE DONE FLUSH TO TRUNK OR MAIN BRANCH AND THAT AREA PAINTED IMMEDIATELY WITH A GOOD GRADE OF TREE PAINT.

DUST CONTROL 1. ALL AREAS OF CLEARING AND EMBANKMENT AS WELL AS CONSTRUCTION HAUL ROADS SHALL BE TREATED AND MAINTAINED IN SUCH A MANNER AS TO MINIMIZE ANY DUST GENERATION.

2. DISTURBED AREAS SHALL BE MAINTAINED IN A ROUGH GRADED CONDITION AND TEMPORARILY SEEDED AND/OR MULCHED UNTIL PROPER WEATHER CONDITIONS EXIST FOR THE ESTABLISHMENT OF PERMANENT VEGETATION

3. IN EVENT OF EMERGENCY CONDITIONS, TILLAGE WILL BE SATISFACTORY FREE BEFORE SOIL BLOWING STARTS.

4. CALCIUM CHLORIDE MAY BE APPLIED TO UNPAVED ROADWAY AREAS, ONLY, SUBJECT TO THE ENGINEER'S APPROVAL AND CONFORMANCE WITH FDOT STANDARD SPECIFICATIONS, LATEST EDITION.

PROPOSED SEQUENCE OF CONSTRUCTION:

THIS PROJECT SHALL CONSIST OF THE CONSTRUCTION OF SANITARY SEWERS OR WATER MAINS BY THE ESCAMBIA RIVER ELECTRIC CO-OP OR ITS CONTRACTOR WITHIN PUBLIC RIGHTS OF WAY. THE CONSTRUCTION SHOULD PROCEED IN THE FOLLOWING MANNER:

1. INSTALLATION OF ALL SEDIMENT AND EROSION CONTROL DEVICES THAT CAN BE PLACED PRIOR TO ANY MAJOR SOIL DISTURBANCES.

2. CLEAR AND REMOVE ALL EXISTING VEGETATION IN THOSE AREAS WHERE NECESSARY. ALL REMAINING VEGETATION TO BE PROPERLY PROTECTED AND TO REMAIN IN ITS NATURAL STATE. TOPSOIL IN AREAS TO BE DISTURBED TO BE STRIPPED TO A MINIMUM DEPTH OF SIX (6) INCHES AND STOCKPILED SEPARATELY FROM FROM OTHER EXCAVATED SOIL(S)

3. IMMEDIATE INSTALLATION OF ALL REMAINING SEDIMENT AND EROSION CONTROL DEVICES.

4. INITIATE CONSTRUCTION OF SANITARY SEWER AND/OR WATER MAIN.

5. UPON COMPLETION OF CONSTRUCTION ACTIVITIES, PROVIDE RESTORATION, FINE GRADE REMAINDER OF SITE, RESPREAD STOCKPILED TOPSOIL AND STABILIZE WITH PERMANENT VEGETATIVE COVER AND LANDSCAPING.

6. REMOVAL OF APPROPRIATE TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.

TYPE III SILT FENCE

AROUND DITCH BOTTOM INLETS.

SILT FENCE DETAIL

FABRIC MATERIAL

TO 12-IN.

DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM

AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT

BODIES OF WATER.

SILT FENCE APPLICATIONS

FABRIC MATERIAL MUST BE SECURELY FASTENED TO THE

PROTECTION

TYPE III SILT FENCE

TYPE III SILT FENCE

WHERE A DOUBLE ROW OF SILT FENCE IS SPECIFIED

24-1N. MINIMUM, HEIGHT

BACKFILL TRENCH

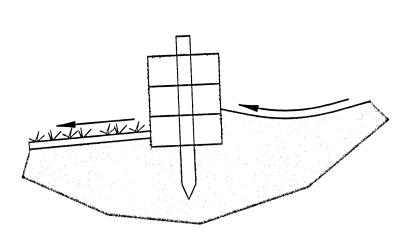
WOOD OR STEEL POST INSTALLED BEFORE COMPACTING BACKFILL MATERIAL

FABRIC MATERIAL MUST BE PLACED IN A 6-IN. x 6-IN. TRENCH WITH A "L" SHAPE BEFORE BACKFILLING AND COMPACTING THE SOIL.

TRENCHING METHOD

SILT FENCE BARRIER INSTALLAT

(MINIMUM)



ALL PROTECTED TREES AS SHOWN ON THE PLANS TO

REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION.

FENCING AT THE DRIP LINE OF EACH PROTECTED TREE

THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION

BEFORE WORKING IN THE VICINITY OF THE TREE. BARRICADES

SHALL ALSO BE PROPERLY INSTALLED AND MAINTAINED IN

GOOD WORKING ORDER UNTIL SITE BECOMES STABILIZED.

TREE BARRICADE DETAIL

GROUND

PROVIDE APPROPRIATE TRANSITION

BETWEEN STABILIZED CONSTRUCTION

ENTRANCE AND PUBLIC R.O.W.

STABILIZED CONSTRUCTION

ENTRANCE DETAIL

STRAW BALE DETAIL N.T.S.

METHOD IS USED)

STEEL OR WOOD
POST INSTALLED
AFTER COMPACTION
OF "SLICE"

SLICING METHOD

DIRECTION OF RUNOFF WATER

ATTACHING TWO SILT FENCES

WHEN TRENCHING IS USED

(MINIMUM)

ROTATE BOTH POSTS

DEGREES IN A CLOCKWISE DIRECTION O CREATE A TIGHT

DRIVE BOTH POSTS
ABOUT 12-IN. INTO T
GROUND AND BURY T
FLAP IN A TRENCH

STREET RIGHT-OF-WAY, WHICHEVER IS GREATER, BUT NOT REQUIRED TO EXCEED 15 FEET.

4. THIS SURVEY WAS MADE USING A GEOMAX ZOOM 90 ROBOTIC TOTAL STATION TO OBTAIN LINEAR AND ANGULAR MEASUREMENTS.

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 28,179 FEET AND AN ANGULAR ERROR OF O DEGREES OO MINUTES AND 05 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE.

IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 260,538

WITHIN 500 FEET OF ANY POINT ON THE PROPERTY PLATTED, OR ANY POINT OF REFERENCE THEREON.

GPS (GLOBAL POSITIONING SYSTEMS). IT INCLUDES: BASIS OF BEARINGS AND HORIZONTAL CONTROL. THE EQUIPMENT USED TO OBTAIN THIS DATA WAS A CHAMPION PRO GPS RECEIVER WITH A CARLSON RT3 DATA COLLECTOR.

THE NORTH AMERICAN DATUM OF 1983(NAD83). THE VERTICAL DATUM (ELEVATIONS) SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988(NAVD88)(12b). BOTH DATUMS REFERENCED ABOVE WERE ESTABLISHED ON SITE USING SAID THE FLORIDA PREEMINENT REAL TIME GPS NETWORK USING GEIOD12b.

INSURANCE RATE MAP FOR ESCAMBIA COUNTY, FLORIDA, AND INCORPORATED AREAS, PANEL 40 OF 60, AS SHOWN ON MAP NUMBER 12033C0040G, WITH AN EFFECTIVE DATE OF SEPTEMBER 29 2006.

0.2% ANNUAL CHANCE FLOODPLAIN.

FILTER BAGS WILL BE USED AS AN EFFECTIVE FILTER MEDIUM TO CONTAIN SAND, SILT AND FINES WHEN TRENCH DEWATERING. THE WETLAND FILTER BAG CONTAINS THESE MATERIALS WHILE ALLOWING THE WATER TO FLOW THROUGH THE FABRIC.

INSTALLATION: WETLAND FILTER BAGS MAY REPLACE HAY BALE CORRALS DURING TRENCH DEWATERING, AT THE DISCRETION OF THE ENGINEER INSPECTOR. TO INSURE PROPER INSTALLATION, FILTER BAGS WILL BE PLACED ON RELATIVELY FLAT TERRAIN FREE OF BRUSH AND STUMPS TO AVOID RUPTURES AND PUNCTURES. PROPER INSTALLATION REQUIRES CUTTING A SMALL HOLE IN THE CORNER OF THE BAG, INSERTING THE PUMP DISCHARGE HOSE, AND THEN SECURING THE DISCHARGE HOSE TO THE BAG

WITH A HOSE CLAMP. FILTER BAGS WILL BE PLACED AS FAR

AWAY FROM FLOWING STREAMS AND WETLANDS AS POSSIBLE.

7W ~22' PUBLIC
TO EOP ROADWAY

EXISTING

GROUND

INSTALL 40LF 18" CPP

TEMPORARY CULVERT

SEE C3.0 FOR PERMANENT

ENSURE POSITIVE

FLOW IN DITCH

CULVERT DETAILS

PRIOR TO REMOVING A BAG FROM THE HOSE, THE BAG WILL BE TIED OFF BELOW THE END OF THE HOSE ALLOWING THE BAG TO DRAIN. DRAINAGE WILL NOT BE ALLOWED THROUGH THE INLET HOLE. TO AVOID RUPTURE, THE BAGS WILL BE ATTENDED AND PUMPING RATES MONITORED. ONCE THE BAG IS INFLATED TO A HEIGHT OF 4 FEET. PUMPING WILL STOP TO AVOID RUPTURE. FILTER BAGS USED DURING CONSTRUCTION WILL BE BUNDLED AND REMOVED FOR PROPER DISPOSAL.

FILTER BAGS ARE CONSTRUCTED OF NON-WOVEN GEOTEXTILE FABRIC. A MAXIMUM OF ONE SIX INCH DISCHARGE HOSE WILL BE ALLOWED PER FILTER BAG. BAG CAPACITY WILL BE EXCEEDED BEYOND 2,000 GALLONS PER MINUTE. TYPICAL BAG DIMENSIONS ARE 15 FEET BY 13.25 FEET. TO HELP PREVENT PUNCTURES, GEOTEXTILE FABRIC WILL BE PLACED BENEATH THE FILTER BAG WHEN USED IN WOODED LOCATIONS. UNATTENDED FILTER BAGS WILL BE ENCIRCLED WITH A HAY BALE OR SILT FENCE CORRAL. HOSE CLAMPS WILL BE USED TO SECURE THE DISCHARGE HOSE, WIRE OR STRING WILL NOT BE USED.

FILTER_ **CROSS SECTION**

. ALL WORK IN THE RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE FOLLOWING: STANDARD PLANS FOR ROAD & BRIDGE CONSTRUCTION, THE PLANS PREPARATION MANUAL (PPM), AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED, NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AGENCIES.

3. THE LOCATION OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS IS BASED ON INFORMATION PROVIDED BY THE UTILITIES AND SHALL BE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.

SUCH AS MAIL BOXES, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WHO MUST COORDINATE WITH THE PROPERTY OWNER.

7. THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS AND GUARDS DURING AL PHASES OF CONSTRUCTION, IN ACCORDANCE WITH APPLICABLE FDOT

8. ALL AREAS NOT PAVED OR DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED BY SEEDING AND MULCHING OR SODDING. SEED AND MULCH OR SOD SHALL BE PLACED, WATERED, FERTILIZED WITH APPROPRIATE SOIL AMENDMENTS IN ACCORDANCE WITH THE FDOT STANDARD SPECIFICATIONS AND THESE CONSTRUCTION

9. ALL EXCESS MATERIAL SHALL BE HAULED AWAY AND DISPOSED OF APPROPRIATELY AT THE CONTRACTOR'S EXPENSE.

10. ALL CONSTRUCTION AROUND TREES SHALL BE DONE IN A MANNER TO MINIMIZE DAMAGE TO THE TREE AND ITS ROOT SYSTEM.

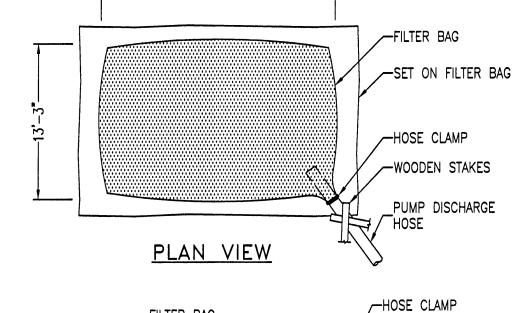
11. THE CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND THE EXTENT OF CLEARING AND GRUBBING REQUIRED.

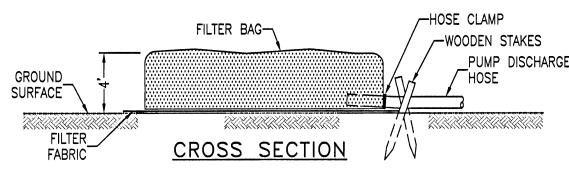
12. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

13. THE CONTRACTOR IS TO COORDINATE WITH THE RESPONSIBLE UTILITY PROVIDER FOR PROTECTION/HOLDING OF UTILITY POLES, GUY WIRES, AND GUY ANCHORS IN AREAS OF CONSTRUCTION. THE CONTRACTOR SHALL INCLUDE THE COST OF PROTECTING UTILITY POLES IN THEIR OVERALL PRICE TO THE OWNER.

14. DAMAGE TO EXISTING ROADS DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR PRIOR TO FINAL "AS-BUILT" SIGN-OFF FROM THE COUNTY.

CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITTING ASSOCIATED WITH DEWATERING ACTIVITIES. DEWATERING ACTIVITIES MAY REQUIRE ADDITIONAL PERMITS FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (INDUSTRIAL WASTEWATER) AND THE NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT (CONSUMPTIVE USE).





FILTER BAG DETAIL FOR TRENCH DEWATERING OPERATIONS N.T.S.

		TREE CHART	
Tree #	Size	Type	Remove/Prot
T-1	26'	MAGNOLIA	PROTECT(OF
T-2	16"	WATER OAK	PROTECT(OF
T-3	18"	WATER OAK	PROTECT
T-4	12"	WATER OAK	PROTECT
T-5	30"	CEDAR	PROTECT
T-6	20"	PECAN	REMOVE
T-7	26"	PECAN	REMOVE
T-8	31"	MAGNOLIA	REMOVE
T-9	19"	PECAN	REMOVE
T-10	26"	CEDAR	REMOVE
T-11	19"	PECAN	REMOVE
T-12	34"	MAGNOLIA	REMOVE
T-13	20"	WATER OAK	REMOVE
T-14	39"	WATER OAK	REMOVE
T-15	14"	CEDAR	REMOVE
T-16	22"	WATER OAK	REMOVE
T-17	12"	WATER OAK	REMOVE
T-18	12"	CEDAR	REMOVE
T-19	12"	PECAN	REMOVE
T-20	12"	PECAN	REMOVE
T-21	18"	PECAN	REMOVE
T-22	18"	PECAN	REMOVE
T-23	17"	PECAN	REMOVE
T-24	12"	PECAN	REMOVE
T-25	24"	WATER OAK	PROTECT
T-26	13"	PECAN	PROTECT (OI
T-27	13"	PECAN	PROTECT (OI
T-28	14"	PECAN	PROTECT (OI
T-29	19"	CEDAR	PROTECT (O
T-30	26"	WATER OAK	PROTECT (O
T-31	18"	WATER OAK	PROTECT (O
T-32	25"	WATER OAK	PROTECT (O
T-33	12"	WATER OAK	PROTECT (O
T-34	17"	WATER OAK	PROTECT (O
T-35	17"	WATER OAK	PROTECT (O

REMOVE: INDICATES TREE TO BE REMOVED WHICH CONFLICTS WITH PROPOSED SITE LAYOUT. MITIGATION IS REQUIRED FOR REMOVAL OF THIS

T-36 | 24" | WATER OAK | PROTECT (OPL)

WATER OAK | PROTECT (OPL)

PROTECT: INDICATES TREE CONSIDERED PROTECTED BY THE LDC AND IS PROPOSED TO REMAIN ONSITE UPON DEVELOPMENT. CONTRACTOR SHALL INSTALL TREE BARRICADES PER TREE BARRICADE DETAIL IN THIS PLAN SET.

PROTECT (OPL): INDICATES TREE LOCATED OUTSIDE OF THE PROPERTY/PROJECT LIMITS AND SHALL BE PROTECTED/REMAIN.

MITIGATION REQUIREMENTS TOTAL CALIPER OF PROTECTED TREE REMOVAL IS 383" REPLACEMENT RATIO 50% OF INCHES = 383" x 0.5 = 191.50"

PER ESCAMBIA COUNTY LDC SECTION 2.5.2(c) MITIGATION PLANTINGS LIMITED TO 25" PER DEVELOPED ACRE (PROJECT AREA SEE C1.0) TOTAL DEVELOPMENT (PROJECT) AREA 2.08 AC: 2.08 x 25" = 52" OF NATIVE CANOPY MITIGATION REQ'D

PLANTING OPTIONS:

T-37 30"

2.5" TREES = 52"/2.5" = 20.82" (21 MITIGATION TREES) MITIGATION TREES REQUIRED W/ MIN 2.5" CALIPER *LARGER CALIPER TREES MAY BE PLANTED TO REDUCE TOTAL MITIGATION PLANTING QUANTITY.

(SEE C5.0 FOR PROPOSED MITIGATION PLANTING LOCATIONS)

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REVISION DESCRIPTION	FDOT ACCESS REVIEW	FDOT DRAINAGE REVIEW	ESCO REVIEW		
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WEER D. COEMBE TO No. 64966 STATE OF /Jennifer D. Bell, PE 'FL' PE # 64666

Job No.: 2022003 Date: 03/11/22

4. THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENTS OF THE WATER, SANITARY SURVEYOR NOTES: SEWER, GAS, TELEPHONE, CABLE TELEVISION, AND POWER COMPANIES 10 DAYS IN ADVANCE THAT HE INTENDS TO START WORK IN A SPECIFIED AREA. THE OWNER TOTAL AREA IN TRACT 1 = 4.122 ACRES DISCLAIMS ANY RESPONSIBILITY FOR THE SUPPORT AND PROTECTION OF SEWERS, TOTAL AREA IN TRACT 2 = 0.023 ACRES DRAINS, WATER PIPES, GAS PIPES, CONDUITS OF ANY KIND, UTILITIES OR OTHER STRUCTURES OWNED BY THE CITY, COUNTY, STATE OR BY PRIVATE OR PUBLIC THIS PROPERTY IS ZONED: RMU (RURAL MIXED USE) UTILITIES LEGALLY OCCUPYING ANY STREET, ALLEY, PUBLIC PLACE OR FUTURE LAND USE 2030: RC RIGHT-OF-WAY. PROPERTY ADDRESS: 7100 HIGHWAY 97 McDAVID, FL. 32568 5. ALL SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND STRUCTURES, WHICH ARE NOT IN SERVICE AS NECESSARY FOR THE 3. SETBACKS ARE AS FOLLOWS: INSTALLATION OF PROPOSED IMPROVEMENTS. THESE INCLUDE PIPES, VALVES, DRAINAGE STRUCTURES, ETC., AS INDICATED ON THE CONTRACT PLANS. CONTRACTOR FRONT = 40'SHALL NOTIFY THE PROJECT OWNER AND ENGINEER OF ALL DISCOVERED SIDE = 5'*UNDERGROUND STRUCTURES WHICH ARE IN CONFLICT WITH THE INSTALLATION OF REAR = 40'THE PROPOSED IMPROVEMENTS AND ARE NOT INDICATED ON THE CONTRACT PLANS WHEN FABRIC IS INSTALLED I OR LOCATED IN THE FIELD BY UTILITIES IN ACCORDANCE WITH GENERAL NOTES. TRENCH WITH COMPACTED * FIVE FEET OR TEN PERCENT OF THE LOT WIDTH AT THE SOIL, ANCHORS CAN BE ATTACHED TO REDUCE THE 6. THE RELOCATION OF OBSTRUCTIONS OWNED BY PRIVATE PROPERTY OWNERS, POTENTIAL OF "BLOWOUTS" (NOT NEEDED IF "SLICING"

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND

THERE IS NO KNOWN NATIONAL GEODETIC SURVEY MONUMENT

8. CERTAIN DATA SHOWN ON THIS PLAT WAS OBTAINED UTILIZING

THE HORIZONTAL DATUM AS REFERENCED HEREIN IS BASED ON

10. THIS PROPERTY IS IN FLOOD ZONE "X" AS PER FLOOD

ZONE "X" DENOTES AREAS DETERMINED TO BE OUTSIDE THE

STORM WATER POLLUTION PREVENTION PLAN

1.0 BACKGROUND & REQUIREMENTS:

1.1 Introduction:

The referenced support documentation for this Storm Water Pollution Prevention Plan (SWPPP) is the United States Environmental Protection Agency's (EPA) Storm Water Management for Construction Activities, Developing Pollution Prevention Plans and Best Management Practices Summary Guidance (EPA 833-R-92-001) and Storm Water Management for Construction Activities. Developing Pollution Prevention Plans and Best Management Practices (EPA 832-R-92-005). This SWPPP is designed to protect onsite and adjacent natural resources, including but not limited to, wetlands, marshes, bayous and bays, while preserving wildlife and archeological resources.

An ERP application (10/2) was made in January 2022.

1.2 Notice of Intent (NOI):

Rule 62-621.300(4), FAC requires the construction operator of a site that disturbs one or more acres to obtain coverage from the Generic Permit for Stormwater Discharge from Large and Small Construction Activities. The contractor is required to submit a Notice of Intent to Use Generic Permit for Stormwater Discharge from Large and Small Construction Activities (FDEP Form 62-621.300(4)(b)) along with the appropriate application fee to the following address 48 hours prior to commencing construction:

> NPDES Stormwater Notices Center, MS # 2510 Florida Department of Environmental Protection 2600 Blair Stone Road Tallahassee, Florida 32399-2400

This form can be obtained from FDEP's website (www.dep.state.fl.us) or by contacting FDEP. Please note that the current application fee is \$250; however, this fee is subject to change without notice. Always refer to the most current version of Rule 62-4.050(4)(d), FAC to confirm the amount before submitting payment. If construction activity exceeds five years, the contractor must re-apply for coverage.

1.3 Stormwater Pollution Prevention Plan (SWPPP):

The contractor is required to certify this Stormwater Pollution Prevention Plan (SWPPP) below prior to submitting the NOI. This SWPPP is not required to be submitted with the NOI, but is required to be kept on site during all phases of construction. Because erosion and sediment controls and construction methods vary significantly from contractor to contractor, the contractor can propose alternative methods to this SWPPP that are equal or better at controlling erosion and sedimentation. At a minimum, the contractor must follow the erosion control plan specified in the construction plans and documents. Any modifications to this SWPPP must be documented and kept with the plan as part of the records keeping process to be in full compliance with the CGP.

1.4 Contractor's Certification:

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gathered and evaluated the Information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the Information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Print & Sign Nar	<u>ne</u>	Company & Address
Name & Title (P	rint\	
Name & Tile (F	Till ty	
Signature	Date	
Responsibilities	(General Contractor, S	ite Contractor, Subcontractor, Other):

1.5 Notice of Termination (NOT):

The contractor is required to submit a Notice of Termination of Generic Permit Coverage (FDEP Form 62-621.300(6)) upon construction completion to discontinue permit coverage. The NOT is to be submitted to the following

> NPDES Stormwater Notices Center, MS # 2510 Florida Department of Environmental Protection 2600 Blair Stone Road Tallahassee, Florida 32399-2400

This form can be obtained from FDEP's website (www.dep.state.fl.us) or by contacting FDEP. The NOT can not be submitted until all disturbed soils at the construction site have been finally stabilized and temporary erosion and sediment control measures have been REMOVED or will be REMOVED at an appropriate time. Final stabilization means that all soil disturbing activities at the site have been completed and that a uniform perennial vegetative cover with a density of 70 percent of the cover for unpaved areas and areas not covered by permanent structures has been established, or equivalent stabilization measures have been employed. If construction activity exceeds five years, the contractor must re-apply for coverage.

1.6 Application Information:

Project Address:

Latitude:

7100 HIGHWAY 97

WALNUT HILL, FLORIDA 32568 Escambia County, Florida

30°53'22.65" N 87°27'48,15" W

Longitude: Water Management District: Northwest Florida (NWFWMD)

MS4 Operator Name: **ESCO**

Receiving Water Name: Eventual outflow to a tributary of Little Pine Barren Creek

2.0 SITE DESCRIPTION:

2.1 Nature of Construction Activities:

This project involves the construction of a 10,769 sf Dollar General Store. Construction includes paved parking, utilities and stormwater management

2.2 Sequence of Major Soil Disturbing Activities:

The following sequence of major activities shall be followed unless the contractor can propose an alternative that is equal to or better at controlling erosion and sedimentation. The detailed sequence for the entire project can vary significantly from contractor to contractor. The contractor is responsible for documenting any changes.

- 1. Clear, grub and perform all demolition work.
- 2. Complete rough grading of the pond and direct all stormwater runoff to the pond(s).
- 3. Construct all underground utilities and storm drain system.
- 4. Construct roads (subgrade, curb & gutter, base, pavement, sidewalks, and landscaping).
- 7. Complete stormwater ponds.

2.3 Area Estimates:

Onsite Area: 2.08 acres Offsite Area: 0.00 acres Total Area: 2.08 acres Area to be Disturbed: 2.08 acres

2.4 Runoff Data:

Runoff Coefficients (c):

Before: Total Composite c = 0.20

During: Varies between 0.20 and 0.95

After: Varies between 0.20 and 0.95

Total Composite c = 0.55

Soils Data:

For detailed soils information, refer to the Geotechnical Services Report prepared by Universal Engineering.

Drainage Areas for Each Outfall:

Total Area flowing to Pond Outfall Location

2.08 ac

2.5 Site Map:

Pine Barren Creek

The construction plans are to be used as the site maps. The location of the required information is described below. The sheet numbers for all the items

- discussed below are identified on the Cover Sheet of the construction plans. • Drainage Patterns: All drainage patterns are shown on the Grading & Drainage
- Approximate Slopes: Approximate slopes are shown on the Grading & Drainage Plan. Pond side slopes are shown on the pond cross-sections, located on the Grading & Drainage Plan.
- Areas of Soil Disturbance: All demolition is shown on the Existing Site Conditions and Demolition and Erosion Control Plan Sheet. All proposed construction is shown on the remaining plans. Any areas where demolition work or permanent features are shown above or below ground will be disturbed.
- Areas not to be Disturbed: Any areas not showing demolition work or permanent features are assumed not to be disturbed. It will be the contractor's responsibility to indicate on the plans any of these areas that do get disturbed as well as any areas used for staging and materials storage.
- · Locations of Controls: All proposed temporary controls and existing permanent controls are shown on the Existing Site, Demolition and Erosion Control Plan. All proposed permanent controls are shown on the remaining plans. It will be the contractor's responsibility to indicate the location of any other controls on the plans that are used during construction.
- Areas to be Stabilized: Permanent stabilization is shown on the plans. It will be the contractor's responsibility to indicate the location on the plans of all temporary stabilization practices used during construction.
- Surface Waters: N/A
- Discharge Points: NW corner of property to allow discharge to flow to historical discharge location (eventual outfall to Little Pine Barren Creek).

2.6 Receiving Waters: Outfall to Little Pine Barren Creek.

3.0 CONTROLS:

3.1 Erosion and Sediment Controls:

All erosion and sediment controls specified on the Demolition and Erosion Control Plan Sheets, and the Erosion Control Details shall be installed prior to any construction or demolition. Silt fencing and staked hay bales shall be installed along down-gradient limits.

Temporary seeding and mulching shall be applied after 14-day intervals of ceased disturbance activities that will exceed 20-day periods. Graded areas shall be stabilized with permanent seeding, mulching, and fertilizing, or sodding within five days of final grading. Landscaping, including sodding, shall be Installed by an experienced Landscape Contractor. Proposed disturbed areas will not exceed 8 acres in any drainage area.

3.2 Stormwater Management:

Proposed stormwater management facilities for this site includes a shallow dry retention pond with a bottom filter system - discharge onsite with eventual outfall to Little Pine Barren Creek. The system has been designed to accommodate the entire developed site. The proposed stormwater management facilities meet all stormwater treatment requirements and all rate control requirements set forth by the local and state regulatory agencies.

3.3 Other Controls:

Waste Disposal: The contractor is responsible for all waste disposal from the site. The contractor shall employ waste disposal practices that meet all local, state, and federal guidelines and prevent discharge of solid materials to waters of the United States. The Contractor is responsible for documenting this portion of the SWPPP.

Offsite Vehicle Tracking: If off site tracking of sediments by construction vehicles occurs, the contractor is required to install a Soil Tracking Prevention Device (STPD) as per FDOT Standard Index 106 at all exits to the site where sediment tracking is occurring. The Contractor is also responsible for documenting this portion of the SWPPP.

4.0 MAINTENANCE:

Controls shall be kept in full operating condition throughout all phases of construction until all disturbed areas are completely stabilized. Maintenance. repair records and repair requests shall be documented. Repairs and deficiencies shall be completed as soon as possible and within seven days after Inspection. Any required changes that are not covered in the SWPPP shall also be made as soon as possible within seven days and documented.

5.0 INSPECTIONS:

Qualified personnel shall inspect the following items, but not limited to, at least once every seven calendar days and within 24 hours of the end of a storm that is 0.25 inches or greater. Where sites have been finally stabilized, inspections shall be conducted at least once every month.

- · Points of discharge to waters of the United States.
- Points of discharge to municipal separate storm sewer systems.
- · Disturbed areas of the site that have not been finally stabilized.
- Areas used for storage of materials that are exposed to precipitation.
- Structural controls.
- Stormwater management systems.
- Locations where vehicles enter or exit the site.

6.0 NON-STORMWATER DISCHARGES:

The Contractor shall be responsible for reporting any hazardous substance spills that may equal or exceed a Reportable Quantity (RQ). Refer to EPA's List of Hazardous Substances and Reportable Quantities (EPA 40 CFR 302.4 & 117). This list can be obtained from EPA's website (www.epa.gov) or by contacting EPA. If an RQ release does occur the Contractor shall perform the following procedures:

- Notify the National Response Center Immediately at 800-424-8802.
- Provide written description of the release within 14 days providing dates, cause and prevention methods to the regional EPA office.
- · Modify the SWPPP as necessary to address added prevention methods.

7.0 IMPLEMENTATION CHECKLIST:

7.1 Records:

The Contractor shall maintain records of construction activities including, but not

- Dates when major grading activities occur.
- Dates when construction activities temporarily cease on a portion of the site.
- · Dates when construction activities permanently cease on a portion of the site.
- · Dates when stabilization measures are initiated on the site.

7.2 Inspection Reports:

The Contractor shall prepare inspection reports summarizing the following, but not limited to:

- Name of inspector.
- Qualifications of inspector.
- Measures/areas inspected
- Observed conditions.
- · Changes necessary to the SWPPP.

7.3 Releases of Reportable Quantities of Oil or Hazardous Materials:

The Contractor shall report any releases of reportable quantities of oil or hazardous materials if they occur as per the measures outlined in Section 6.0 of the SWPPP.

7.4 SWPPP Modification:

The Contractor shall modify the SWPPP as necessary to:

- · Comply with minimum permit requirements when notified by FDEP that the plan does not comply.
- · Address any changes in design, construction operations or maintenance, which has an effect on the potential for discharge of pollutants.
- Prevent reoccurrence of reportable quantity releases of hazardous material or oil.

8.0 TERMINATION CHECKLIST:

The following items shall be complete before submitting the NOT:

- All soil disturbing activities are complete.
- Temporary erosion and sediment control measures have been REMOVED or will be REMOVED at an appropriate time.
- · All areas of the construction site not otherwise covered by permanent pavement or structure have been stabilized with uniform perennial vegetative cover with a density of 70% or equivalent measures have been employed.

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PDES - STORMWATER POLLUTION PREVENTION PLAN **NPDES**

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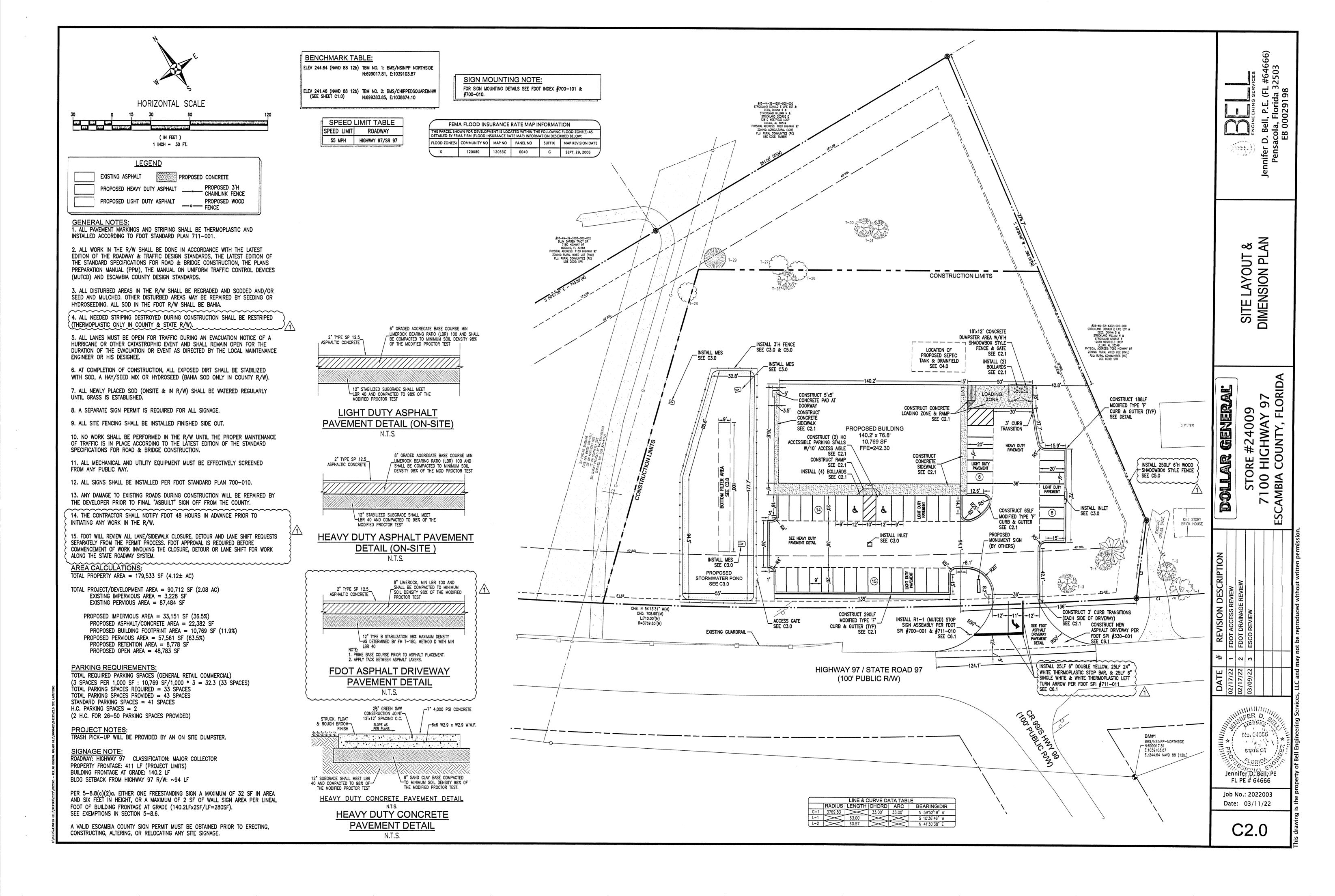
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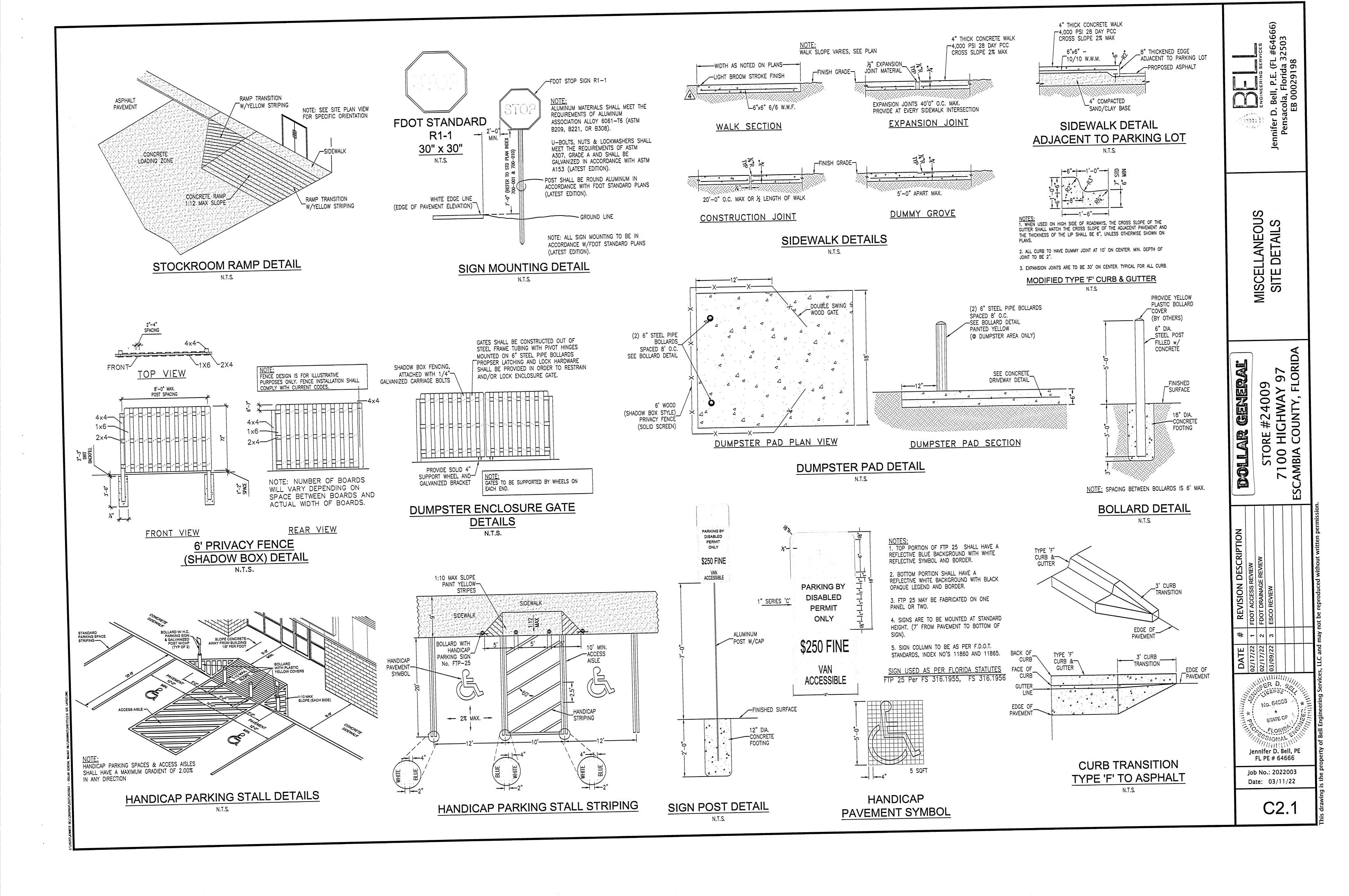
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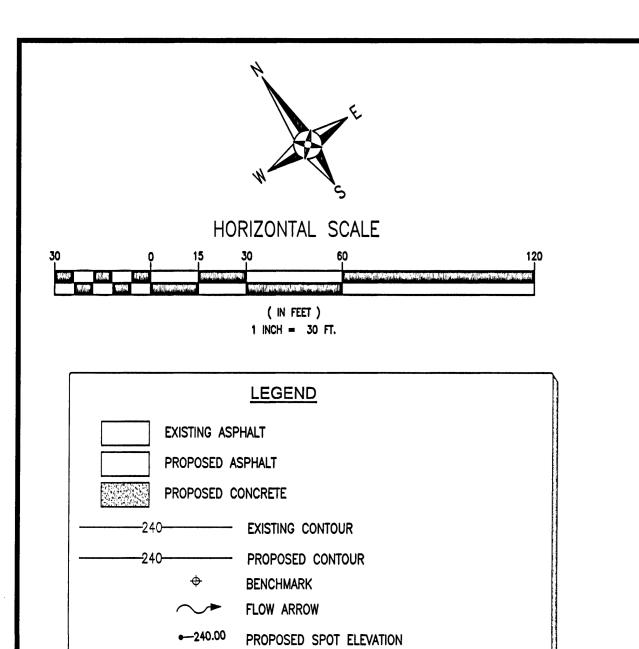
STATE OF Jennifer Dr. Bell, PE /FL PE # 64666

> Job No.: 2022003 Date: 03/11/22

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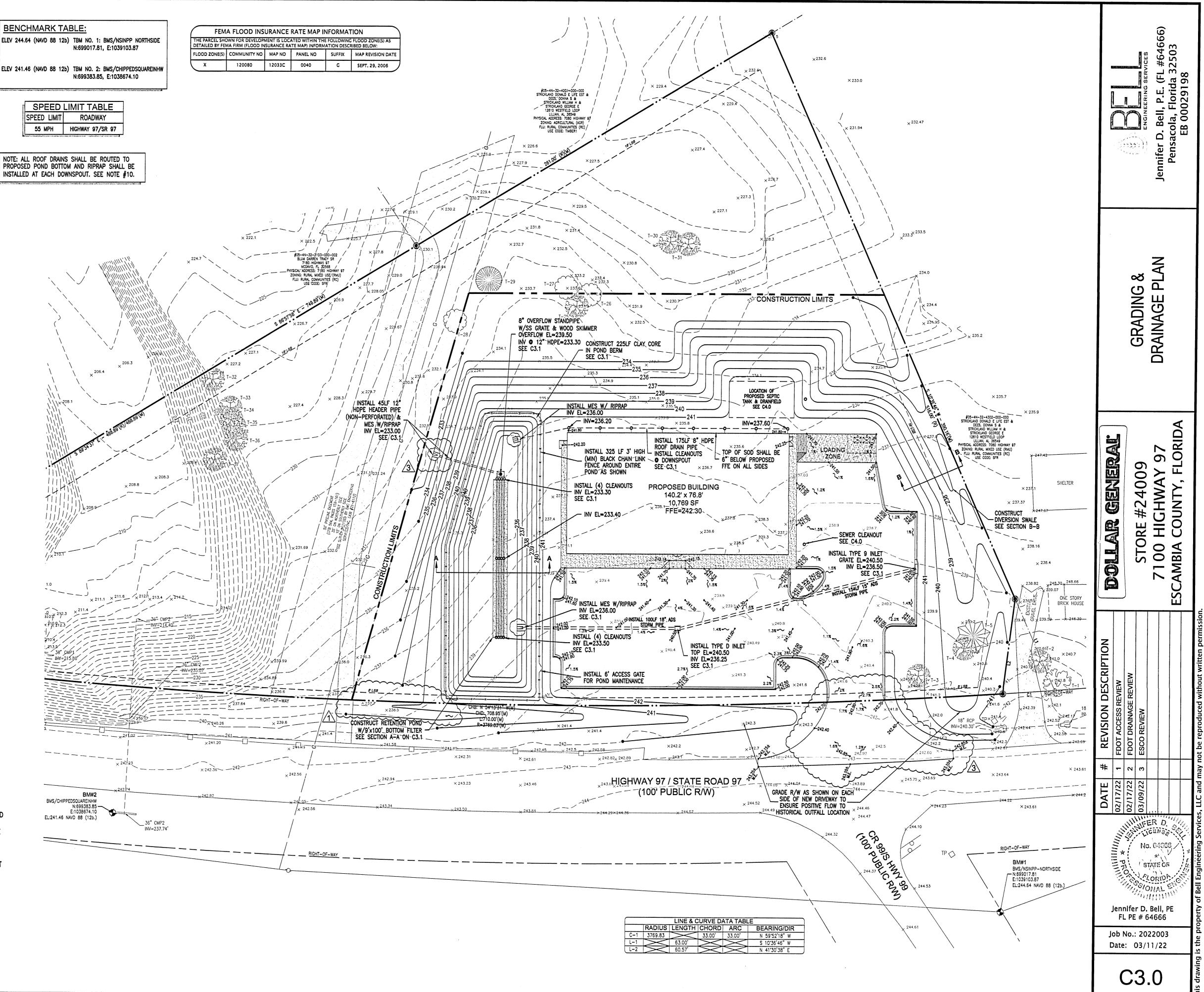


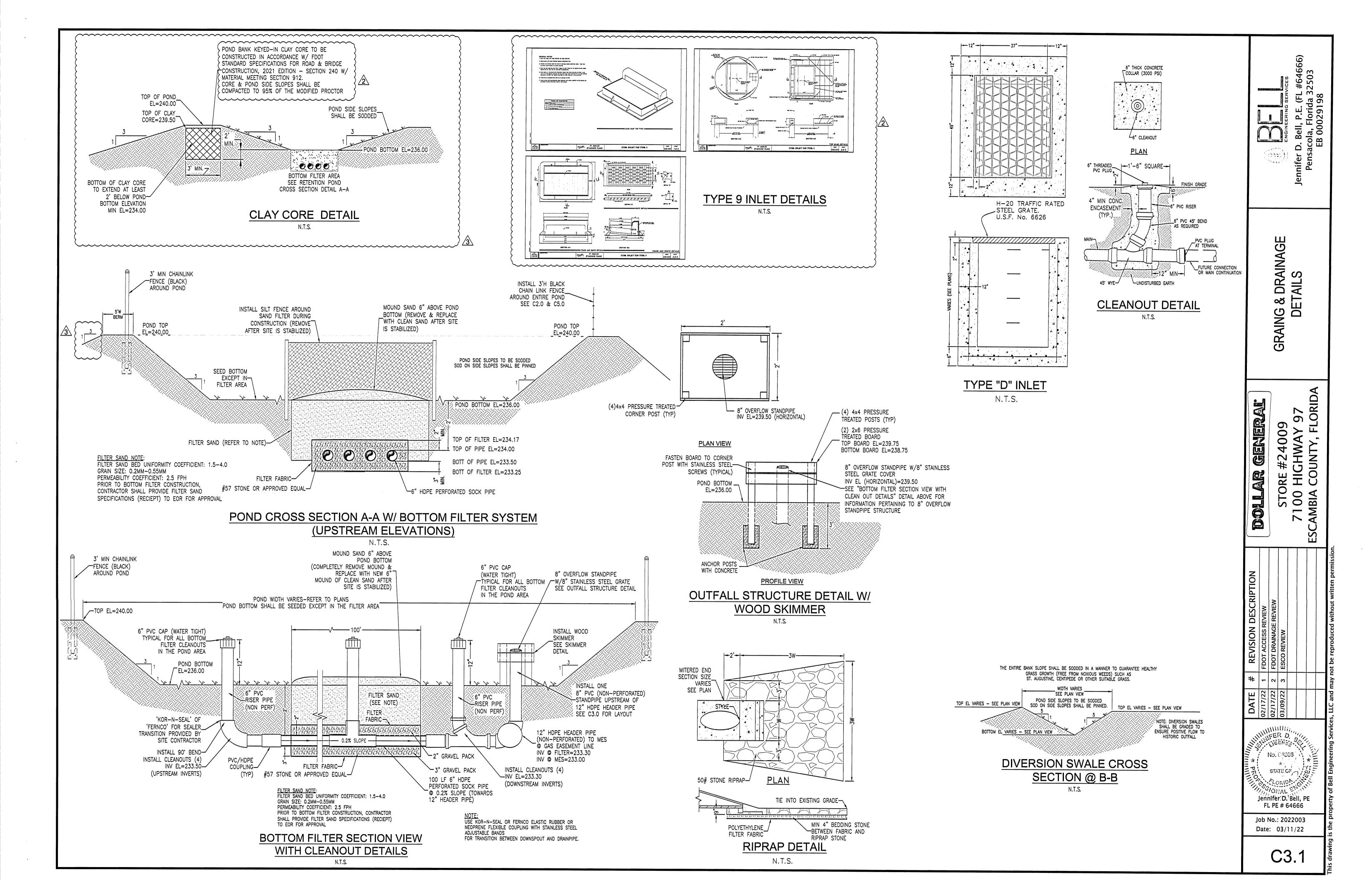
GENERAL NOTES:

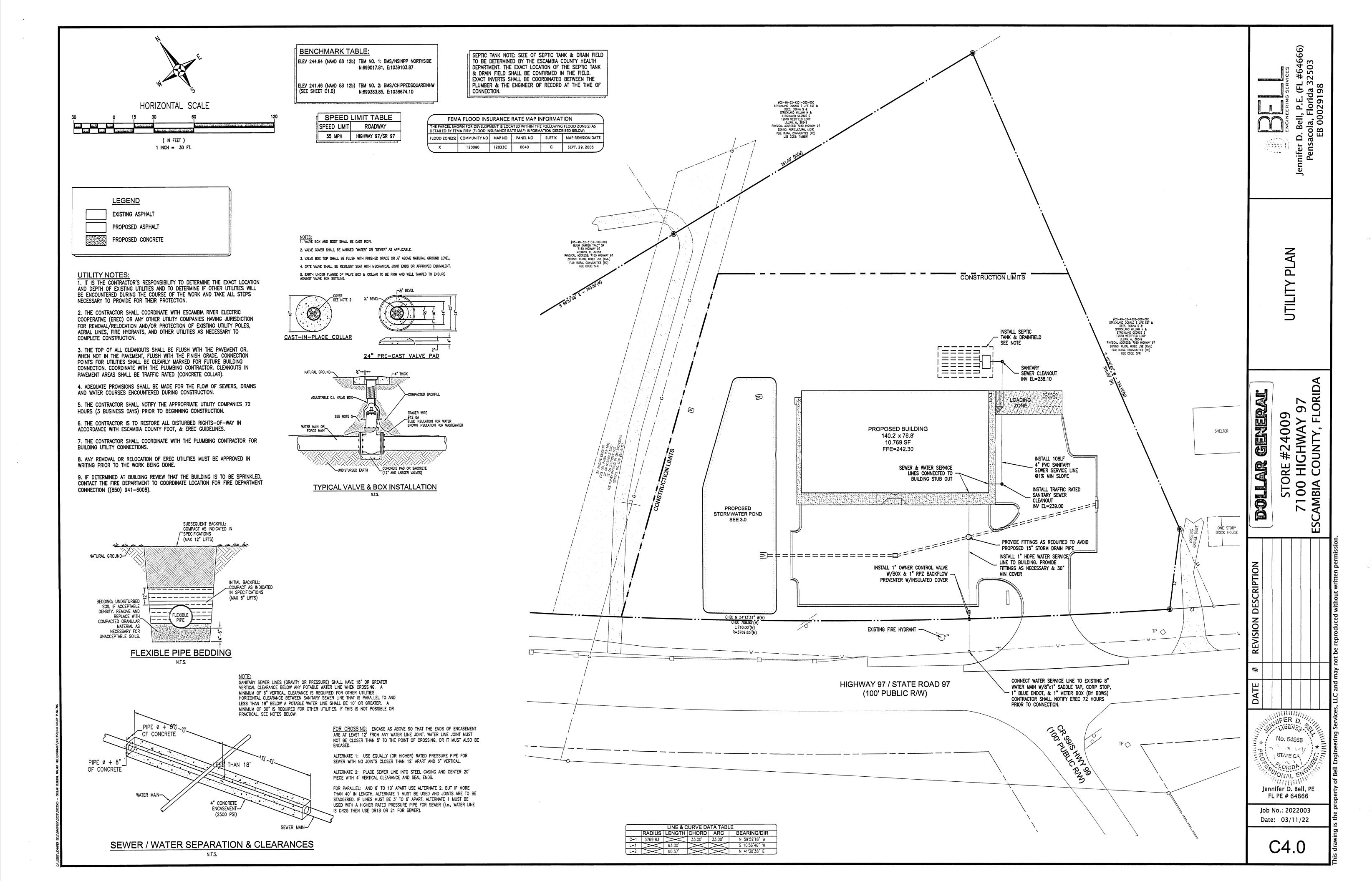
1. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION(S). THE CONTRACTOR SHALL CONTROL STORM WATER DURING ALL PHASES OF CONSTRUCTION.

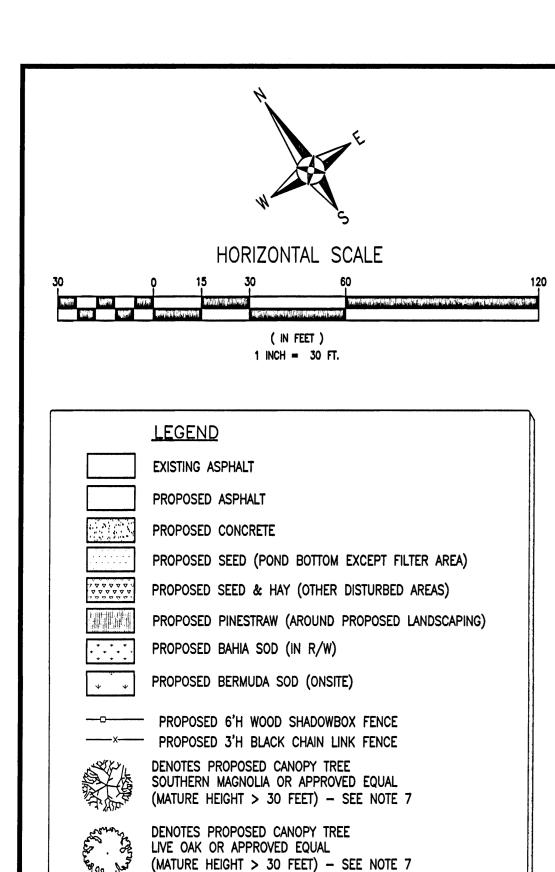
- 2. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
- 3. ALL ASPECTS OF THE STORM WATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF
- 4. THE ENGINEER OF RECORD SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
- 5. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE COUNTY. ANY DEVIATIONS MAY RESULT IN OBTAINING A CERTIFICATE OF OCCUPANCY.
- 6. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORM WATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORM WATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
- 7. THE DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN—OUT ACCUMULATED SILT, AND STABILIZE RETENTION PONDS AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
- 8. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH ESCAMBIA COUNTY, A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
- 9. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD.
- 10. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORM WATER TO RETENTION/DETENTION AREAS.
- 11. ALL RIP-RAP FLUMES SHALL BE INSTALLED WITH A FILTER FABRIC INSTALLED UNDERNEATH FOR THE ENTIRE AREA OF THE RIP-RAP.
- 12. THE CONTRACTOR SHALL NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RIGHT-OF-WAY. (1-800-432-4770).
- 13. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHT OF WAY.
- NWFWMD ENVIRONMENTAL RESOURCE PERMITTING (ERP) NOTES:

 1. AT LEAST 48 HOURS PRIOR TO BEGINNING THE AUTHORIZED ACTIVITIES, THE PERMITTEE (VIA CONTRACTOR) SHALL SUBMIT TO THE AGENCY A FULLY EXECUTED FORM 62-330.350(1), "CONSTRUCTION COMMENCEMENT NOTICE" INDICATING THE EXPECTED START AND COMPLETION DATES. THE NPDES NOI TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES, DEP FORM 62-621.300(4)(b), SHALL ALSO SERVE AS NOTICE OF COMMENCEMENT OF CONSTRUCTION UNDER FAC 62-330. COPIES OF THE NOTICES SHALL BE FORWARDED TO THE EOR.
- 2. WITHIN 30 DAYS AFTER COMPLETING CONSTRUCTION OF THE ENTIRE PROJECT, OR ANY INDEPENDENT PORTION OF THE PROJECT, THE PERMITTEE (VIA EOR) SHALL PROVIDE THE ASBUILT CERTIFICATION AND REQUEST FOR CONVERSION TO OPERATION PHASE FORM 62.330.310(1). THE OWNER IS RESPONSIBLE FOR OBTAINING AN ASBUILT SURVEY IN ORDER TO VERIFY THAT THE FINISHED ELEVATIONS ARE IN COMPLIANCE WITH THE APPROVED PLANS. THIS SURVEY SHALL BE PROVIDED TO THE EOR IN ORDER TO COMPLETE THE ASBUILT CERTIFICATIONS.
- 3. THE OPERATION AND MAINTENANCE OF THE FACILITY WILL BE THE RESPONSIBILITY OF THE OWNER, AS IN ACCORDANCE WITH THE APPROVED PERMIT.
- 4. A COPY OF THE PERMIT SHALL BE KEPT ONSITE.
- 5. THE CONTRACTOR IS REQUIRED TO REVIEW THE COMPLETE PERMIT PRIOR TO CONSTRUCTION COMMENCEMENT.
- 6. AN 8½"x11 WEATHER RESISTANT SIGN, INCLUDING THE PERMIT NUMBER, SHALL BE PLACED ON THE PROPERTY FACING THE ROAD.









APPROVED EQUAL (MIN. 12" HEIGHT AT TIME OF PLANTING) 1. NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD HAPPEN UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.

DENOTES PROPOSED CANOPY TREE BALD CYPRESS OR APPROVED EQUAL

(MATURE HEIGHT > 30 FEET) - SEE NOTE 7

DENOTES REQUIRED MITIGATION TREE (CANOPY)

(FRINGE TREE & RED BUD) OR APPROVED EQUAL

DENOTES PROPOSED SHRUB (GARDENIA & HAWTHORN) OR

(REFER TO SYMBOLS ABOVE FOR SPECIES)

DENOTES REQUIRED UNDERSTORY TREE

(MATURE HEIGHT < 30 FEET)

2. STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.

3. NO PROTECTED TREES INDICATED FOR PRESERVATION SHALL BE REMOVED, DESTRUCTIVELY DAMAGED, MUTILATED, RELOCATED, DISFIGURED, DESTROYED, CUT DOWN OR EXCESSIVELY PRUNED.

4. ROOT PRUNING SHALL OCCUR WHERE THE GRADE IS LOWERED OR INSTALLING BASE MATERIAL WITHIN DRIP LINE OF A PROTECTED TREE. THE CONTRACTOR SHALL SEVER THE ROOTS CLEANLY WITH A SHARP INSTRUMENT TO A DEPTH OF 18". ROOTS SHALL NOT BE TORN AS WITH THE USE OF A BACK HOE.

5. AT COMPLETION OF CONSTRUCTION, ALL EXPOSED DIRT SHALL BE STABILIZED WITH SOD, A HAY/SEED MIX OR HYDROSEED.

6. SOD SHALL BE WATERED UNTIL PERMANENT VEGETATIVE COVER IS

7. PLANTING DIVERSITY (PER DSM, CHAPTER 2, ARTICLE 2, SECTION 2-6.1(C)2.

THE DIVERSITY OF ANY TREES REQUIRED TO BE PLANTED ON A SITE SHALL COMPLY WITH THE FOLLOWING LIMITS TO AVOID UNIFORM SITE TREE DECLINE FROM PESTS OR DISEASE:

DIVERSITY	TABLE	
# OF NEW TREES PLANTED ONSITE	MAX % OF ANY ONE SPECIES	
5-19	67%	
20-49	40%	
50+	30%	

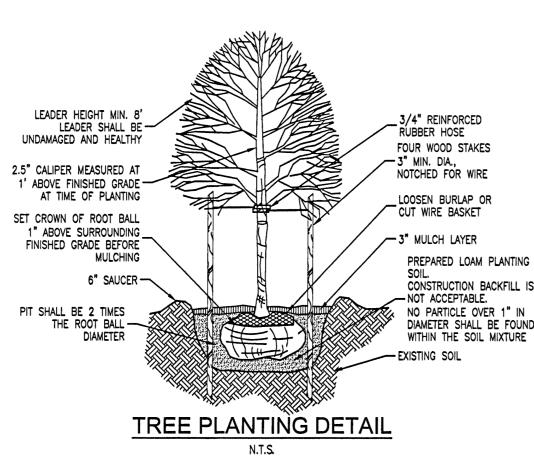
8. ALL DISTURBED AREAS IN THE R/W SHALL BE REGRADED AND SODDED AND/OR SEED AND MULCHED. OTHER DISTURBED AREAS MAY BE REPAIRED BY SEEDING OR HYDROSEEDING. ALL SOD IN THE COUNTY R/W SHALL BE

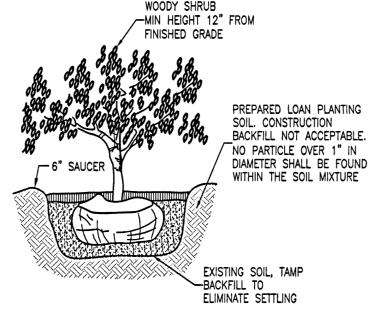
9. ALL SITE FENCING SHALL BE INSTALLED FINISHED SIDE OUT TO CONFORM TO COUNTY FENCE INSTALLATION REQUIREMENTS.

10. ALL LANDSCAPING SHALL UTILIZE NATIVE PLANT SPECIES OR THOSE SPECIES LISTED IN THE FLORIDA-FRIENDLY LANDSCAPINGTM GUIDE TO PLANT SELECTION AND LANDSCAPE DESIGN.

11. REQUIRED (NATIVE) CANOPY TREES SHALL BE A MINIMUM 2.5" CALIPER AT TIME OF PLANTING.

12. ALL MITIGATION TREES SHALL BE NATIVE, CANOPY SPECIES.





SHRUB PLANTING DETAIL

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PLANTINGS		130
PLANTING TYPE	QUANTITY	{}
SOUTHERN MAGNOLIA (CANOPY)	6	13>
LIVE OAK (CANOPY)	15	1) (
BALD CYPRESS (CANOPY)	13	135
FRINGE TREE (UNDERSTORY)	3	3}
RED BUD TREE (UNDERSTORY)	3	1 \}
SHRUB (GARDENIA)	28	135
SHRUR (INDIAN HAWTHORN)	27	1 (\

LANDSCAPING NOTE: PLANTING QUANTITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO INSTALLATION. THE EOR SHALL BE NOTIFIED OF ANY DISCREPANCIES. GROUND COVER QUANTITIES ARE PROVIDED FOR ESTIMATION PURPOSES ONLY. FINAL QUANTITIES MAY VARY FROM QUANTITIES LISTED ON THIS PLAN SHEET.

<u>~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~</u>	~~~~
GROUND CO	VER
COVER TYPE	AREA (SF)
SOD (ONSITE) BERMUDA	40,000
SOD (OFFSITE) BAHIA	11,000
PINESTRAW	9,200
SEED & HAY	4,200
SEED ONLY (POND BOTTOM)	3,200

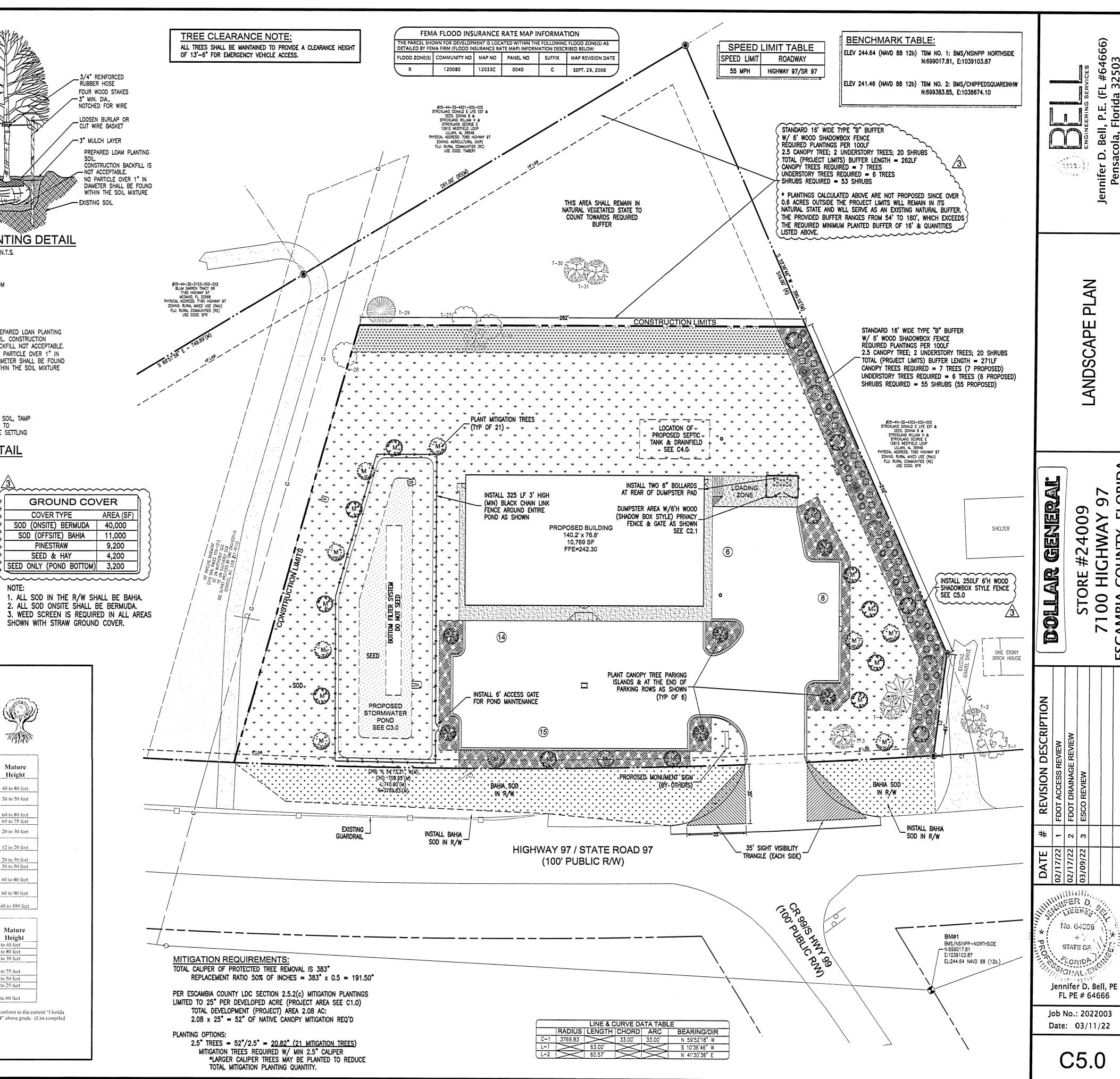
1. ALL SOD IN THE R/W SHALL BE BAHIA. 2. ALL SOD ONSITE SHALL BE BERMUDA. 3. WEED SCREEN IS REQUIRED IN ALL AREAS SHOWN WITH STRAW GROUND COVER.

Native Trees Appropriate for Escambia County Site Development

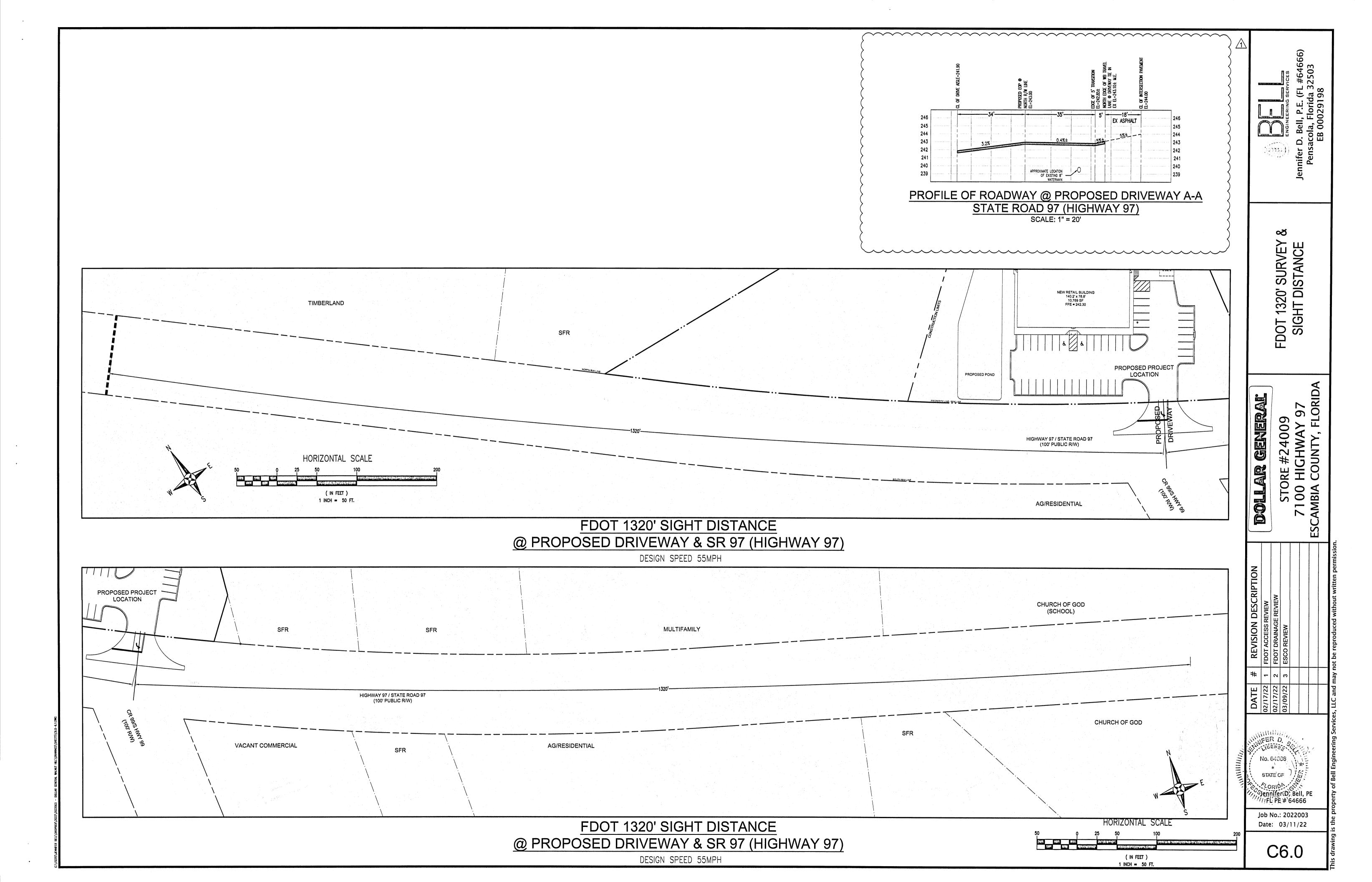
Greatest Wind Resistance	Scientific Names	Drought Tolerant	Salt Tolerant	Mature Height
Live Oak	Quercus virginiana	High	High	40 to 80 feet
American Holly	Ilex opaca	High	Moderate	30 to 50 feet
Bald Cypress	Taxodium distichum	High	Poor	60 to 80 feet
Black Tupelo	Nyssa sylvatica	High	Moderate	65 to 75 feet
Dogwood	Cornus florida	Moderate	Poor	20 to 30 feet
Fringe Tree	Chionanthus virginicus	Moderate	Poor	12 to 20 feet
Red Bud	Cercis canadensis	High	Poor	20 to 30 feet
Sand Oak	Quercus geminata		High	30 to 50 feet
Southern Magnolia	Magnolia grandiflora	Moderate	High	60 to 80 feet
Swamp	Ou many mink mani			

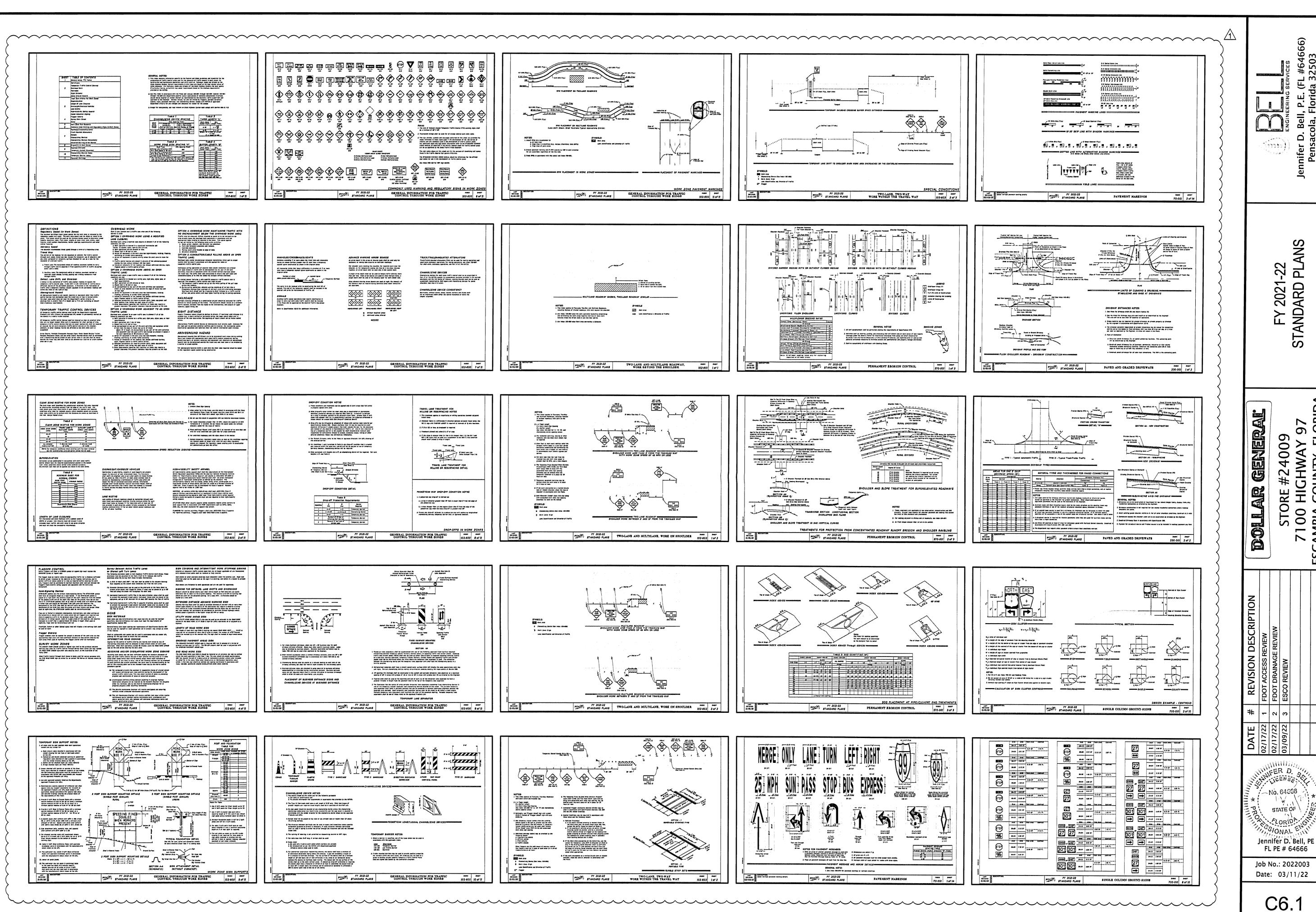
Sweetgum	Liquidambar styraciflua	High	Moderate	40 to 100 feet
			Processing the state of the sta	
Wind Resistance	Scientific Names	Drought Tolerant	Salt Tolerant	Mature Height
Wax Myrtle	Myrica cerifera	Moderate	High	15 to 40 feet
Silver Maple	Acer saccharinum	High	Moderate	60 to 80 feet
Dahoon Holly	Hex cassine	Moderate	Moderate	20 to 30 feet
White Cedar	Chamaecyparis thyoides	Moderate	Poor	50 to 75 feet
River Birch	Betula nigra	Low	Poor	40 to 50 feet
Crabapple	Malus spp.	Moderate	Moderate	10 to 25 feet
Florida Sugar Maple	Acer barbatum	High	Poor	20 to 60 feet

Per Escambia County Land Development Code. All plant material used shall conform to the current "Florida" #1 Grades and Standards for Nursery Plants". Trees should be 2.5 inch caliper measured 4" above grade. (List compiled by J Jarratt from UF/IFAS Florida Yards and Neighborhoods, Florida-friendly plant list) List is not all-inclusive.



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