

PROPOSED CONSTRUCTION PLANS

for

Beulah Self-Storage

8660 Beulah Road
Pensacola, FL 32526
08-1S-31-2201-000-003

Developer:

Stoic Equity Partners LLC
19940 State Hwy 181
Fairhope, AL 36532
(251) 518-6972

CONTACTS

STORMWATER
N.W. FLORIDA WATER MANAGEMENT DISTRICT
180 EAST REDSTONE AVENUE
CRESTVIEW, FLORIDA 32539
(850)683-5044

PLANNING & ENGINEERING
ESCAMBIA COUNTY
MRS. CHRISTINA SMITH
3363 WEST PARK PLACE
PENSACOLA, FLORIDA 32505
(850)595-3475

WATER & SEWER
EMERALD COAST UTILITIES AUTHORITY
MR. ANDRE CALAMINUS
9300 STURDEVANT STREET
PENSACOLA, FLORIDA 32514-0311
(850)969-3370

POWER
GULF POWER
MR. DERYL HARGETT
9220 PINE FOREST ROAD
PENSACOLA, FLORIDA 32534
(850)969-3111

ENVIRONMENTAL PROTECTION
FLORIDA DEPT. ENVIRONMENTAL PROTECTION
NORTHWEST DISTRICT
160 GOVERNMENTAL CENTER
PENSACOLA, FLORIDA 32502-5794
(850)595-8417

TELECOMMUNICATIONS
AT&T
MR. KEITH TESTON
8110 WHITMIRE DRIVE
PENSACOLA, FLORIDA 32514
(850)433-1436



VICINITY MAP
N.T.S.

Approved ESCAMBIA COUNTY DRC PLAN REVIEW	
DRC Chairman Signature	Date
Printed Name: Eric Johnson	6/1/2022
Development Services Director or Designee	
This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.	



ECUA Engineering Manual Reference Note*

*note shall be inserted in the upper right corner of title sheet

* applicable only to ECUA infrastructure to be constructed in public ROW or in utility easement; not to be applied to private water/sewer facilities on private property (see Building Code)

A. ECUA Engineering Manual Incorporated by Reference

The ECUA Engineering Manual, dated December 18, 2014, along with Update # 1 dated September 1, 2016 (hereinafter "Manual"), located at www.ecua.fl.gov, is hereby incorporated by reference into this Project's official contract documents as if fully set forth therein. It is the Contractor's responsibility to be knowledgeable of the Manual's contents and to construct the Project in accordance with the Manual. The Contractor shall provide its employees access to the Manual at all times, via Project site or office, via digital or paper format. In the event of a conflict between the Manual and Plans, Contractor shall consult Engineer of Record for proper resolution.

B. Additional Documents (to be completed by the Engineer of Record)

Does this Project have additional technical specifications or construction details that supplement and/or supersede the Manual listed above? ☐ YES ☒ NO. If yes, Contractor shall construct Project in accordance with said documents as listed and located below:

Document Name	Document Type		Location	
	Specifi- cation	Detail	Plans	Project Manual*
LOW PRESSURE DETAIL	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

*Project Manuals used only with ECUA CIP Projects

C. Engineer of Record Responsibilities

The Engineers of Record (EORs) that have affixed their seals and signatures on these plans warrant their portions of the plans have been designed in accordance with the Manual (unless otherwise directed by the ECUA Project Engineer). The EORs shall be knowledgeable of the Manual's contents and shall assume responsibility for its use on this Project.

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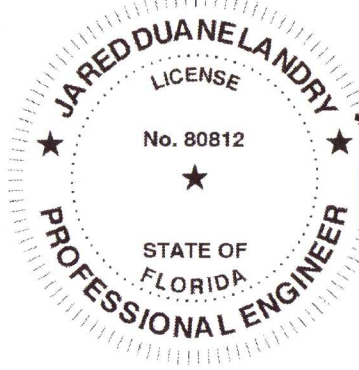
1	COVER
C0	SURVEY
C1	DEMOLITION PLAN
C2	SITE PLAN
C3	GRADING & DRAINAGE PLAN
C4	EROSION & SEDIMENT CONTROL PLAN
C5	UTILITY PLAN
X1	POND PLAN & OUTFALL DETAILS
X2	POND CROSS SECTIONS
D1 - D2	DITCH CROSS SECTIONS
D3 - D4	CONSTRUCTION DETAILS (SITE & PAVEMENT DETAILS)
D5	CONSTRUCTION DETAILS (WATER & SEWER DETAILS)
	CONSTRUCTION DETAILS (EROSION CONTROL DETAILS)

REFERENCE: LANDSCAPING PLANS (PROVIDED BY W.A.S.)

REVISIONS

REVISIONS:

NO.	DATE	APPR.	REVISION
0	09/27/21	JDL	INITIAL ESCAMBIA COUNTY/NWFWMD/FDOT/ECUA SUBMITTAL
1	02/01/22	JDL	RESUBMITTAL ESCAMBIA COUNTY/NWFWMD/FDOT/ECUA
2	03/11/22	JDL	RESUBMITTAL NWFWMD
3	03/31/22	JDL	RESUBMITTAL FDOT
4	04/22/22	JDL	RESUBMITTAL ECUA
5	05/17/22	JDL	RESUBMITTAL ESCAMBIA COUNTY
6	05/25/22	JDL	FINAL COMPARISON - ESCAMBIA COUNTY



THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY
Jared D. Landry

ON THE DATE AND IN THE CITY OF
Date: 2022.05.25
City: Pensacola, FL

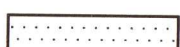
ARE NOT CONSIDERED VALID UNLESS
SEALED AND THE SIGNATURE MUST BE
VERIFIED ON ANY ELECTRONIC COPIES.

S.E. CIVIL ENGINEERING & SURVEYING
9969 WINDMILL RD.
FAIRHOPE, AL 36532
JARED D. LANDRY, P.E. NO. 80812



DEMOLITION LEGEND

REMOVAL - ASPHALT/CONCRETE/GRAVEL/STRUCTURE



TREE REMOVAL LEGEND

REMOVAL



BENCHMARK TABLE

LABEL	DESCRIPTION	ELEV.	NORTHING	EASTING
T.B.M.	MAG NAIL	118.37	5006.8637	4624.3599

TREE REMOVAL NOTES

- OBTAIN ALL PERMITS FROM STATE AND LOCAL AUTHORITIES PRIOR TO THE DEMOLITION AND REMOVAL OF ANY STRUCTURES, TREES, PAVING, OR INFRASTRUCTURE.
- ALL DEBRIS, STRUCTURES, INFRASTRUCTURE, PIPES, POLES, CABLE, PAVING, AND ANY OTHER MATERIAL SHALL BE DISPOSED OF OFF-SITE AT A PERMITTED FACILITY.
- CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED FOR DRIVE ENTRANCES AND SITE WORK. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN THE CONTRACTOR'S CONTRACT WITH THE OWNER.
- ON-SITE BURIAL/DISPOSAL OF CONSTRUCTION AND DEMOLITION (C&D) WASTE IS PROHIBITED. CONSTRUCTION AND DEMOLITION WASTE MEANS BUILDING MATERIALS FROM CONSTRUCTION AND DEMOLITION OPERATIONS WHICH INCLUDE, BUT ARE NOT LIMITED TO: ASBESTOS-CONTAINING WASTE, WOOD, BRICKS, METAL, CONCRETE, WALL BOARD, PAPER, AND CARDBOARD.
- INSTALL PERIMETER SEDIMENT BARRIERS AND TREE PROTECTION PRIOR TO DEMOLITION. REFER TO EROSION AND SEDIMENT CONTROL PLAN AND LANDSCAPE PLAN FOR DETAILS.
- MAKE SAWCUTS AT AREAS WHERE PAVING IS TO REMAIN. CURBING SHOULD BE REMOVED TO AN EXISTING JOINT.
- REFERENCE LANDSCAPING PLAN FOR ADDITIONAL TREE REMOVAL, TREE PROTECTION DETAILS & TREE MITIGATION PLANTINGS.
- NO TREE REMOVAL WITHIN STATE RIGHT-OF-WAY WITHOUT PRIOR APPROVAL.

TREES TO BE REMAIN

Number	Botanical Name	Common Name	Quantity	DBH	Total
1	<i>Quercus virginiana</i>	Live Oak	1	52	52
6	<i>Quercus laurifolia</i>	Laurel Oak	1	35	35
7	<i>Quercus virginiana</i>	Live Oak	1	44.5	44.5
11	<i>Quercus virginiana</i>	Live Oak	1	68	68
15	<i>Quercus virginiana</i>	Live Oak	1	39	39
17	<i>Quercus virginiana</i>	Live Oak	1	46.5	46.5
25	<i>Quercus nigra</i>	Water Oak	1	20	20
26	<i>Quercus nigra</i>	Water Oak	1	23	23
39	<i>Quercus laurifolia</i>	Laurel Oak	1	12.5	12.5
46	<i>Quercus laurifolia</i>	Laurel Oak	1	24	24
47	<i>Quercus nigra</i>	Water Oak	1	16.5	16.5
48	<i>Quercus virginiana</i>	Live Oak	1	14	14
49	<i>Quercus virginiana</i>	Live Oak	1	39	39
50	<i>Quercus virginiana</i>	Live Oak	1	19	19
51	<i>Quercus virginiana</i>	Live Oak	1	35	35
52	<i>Quercus virginiana</i>	Live Oak	1	12	12
53	<i>Quercus virginiana</i>	Live Oak	1	41.5	41.5
Total DBH To Remain					541.5

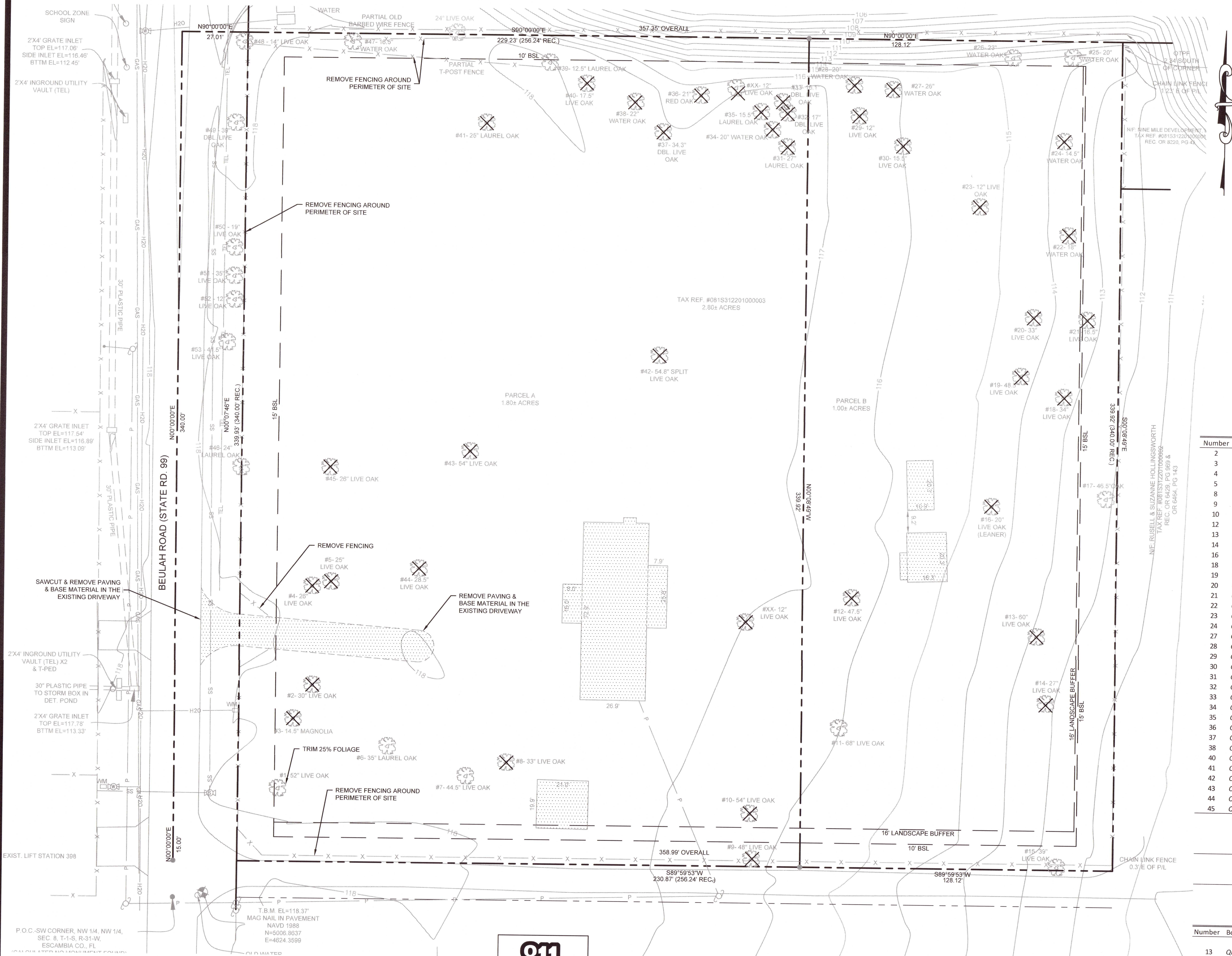
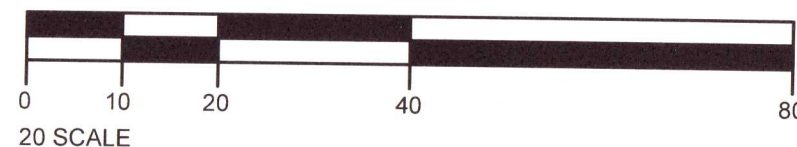
NON-HERITAGE TREES TO BE REMOVED

Number	Botanical Name	Common Name	Health Status	Quantity	DBH	Total
2	<i>Quercus virginiana</i>	Live Oak		1	30	30
3	<i>Magnolia grandifolia</i>	Magnolia		1	14.5	14.5
4	<i>Quercus virginiana</i>	Live Oak		1	26	26
5	<i>Quercus virginiana</i>	Live Oak		1	25	25
8	<i>Quercus virginiana</i>	Live Oak		1	33	33
9	<i>Quercus virginiana</i>	Live Oak		1	48	48
10	<i>Quercus virginiana</i>	Live Oak		1	54	54
12	<i>Quercus virginiana</i>	Live Oak		1	47.5	47.5
13	<i>Quercus virginiana</i>	Live Oak		1	60	60
14	<i>Quercus virginiana</i>	Live Oak		1	27	27
16	<i>Quercus virginiana</i>	Live Oak	Leaning	1	20	n/a
18	<i>Quercus virginiana</i>	Live Oak		1	34	34
19	<i>Quercus virginiana</i>	Live Oak		1	48.5	48.5
20	<i>Quercus virginiana</i>	Live Oak		1	33	33
21	<i>Quercus virginiana</i>	Live Oak		1	16.5	16.5
22	<i>Quercus nigra</i>	Water Oak		1	18	18
23	<i>Quercus virginiana</i>	Live Oak		1	12	12
24	<i>Quercus nigra</i>	Water Oak		1	14.5	14.5
27	<i>Quercus nigra</i>	Water Oak		1	26	26
28	<i>Quercus nigra</i>	Water Oak		1	20	20
29	<i>Quercus virginiana</i>	Live Oak		1	12	12
30	<i>Quercus virginiana</i>	Live Oak		1	15.5	15.5
31	<i>Quercus laurifolia</i>	Laurel Oak		1	27	27
32	<i>Quercus virginiana</i>	Live Oak		1	17	17
33	<i>Quercus virginiana</i>	Live Oak		1	16.1	16.1
34	<i>Quercus nigra</i>	Water Oak		1	20	20
35	<i>Quercus laurifolia</i>	Laurel Oak		1	15.5	15.5
36	<i>Quercus falcata</i>	Red Oak		1	21	21
37	<i>Quercus virginiana</i>	Live Oak		1	34.3	34.3
38	<i>Quercus nigra</i>	Water Oak		1	22	22
40	<i>Quercus virginiana</i>	Live Oak		1	17.5	17.5
41	<i>Quercus laurifolia</i>	Laurel Oak		1	25	25
42	<i>Quercus virginiana</i>	Live Oak	Split	1	54.8	n/a
43	<i>Quercus virginiana</i>	Live Oak		1	54	54
44	<i>Quercus virginiana</i>	Live Oak		1	28.5	28.5
45	<i>Quercus virginiana</i>	Live Oak		1	26	26

Total DBH to be Removed	938.9
Required inches to be replaced (50% of Removal inches)	469.45
Site Acreage	2.8
Replacement Limit (25" per Acre)	70
Required inches to be replaced	70
Required # of 2.5" Trees for replacement	28
Provided # of 2.5" Trees	3
Remainder mitigation trees	25
Cost of each replacement tree per Escambia County's fee schedule	\$ 350.00
Total cost of unplanted mitigation trees	\$ 8,750.00

HERITAGE TREES TO BE REMOVED

Number	Botanical Name	Common Name	Health Status	Quantity	DBH	Total
13	<i>Quercus virginiana</i>	Live Oak	50% Canopy Loss & Co-dominant stem failure	1	60	60
Total DBH to be Removed						60
Required inches to be replaced (50% of Removal inches)						30
Since Tree is in poor health condition, 50% reduction from standard mitigation has been approved						15
Required inches to be replaced						15
Total inches replaced						15
Required # of 2.5" Trees for replacement						6
Provided # of 2.5" Trees						6

Know what's below.
Call before you dig.

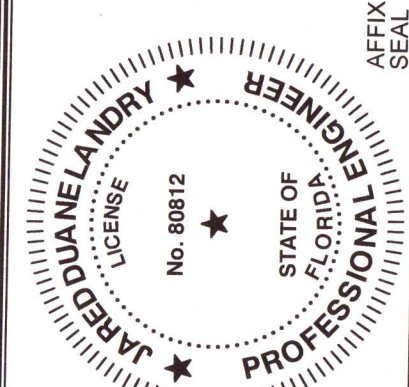
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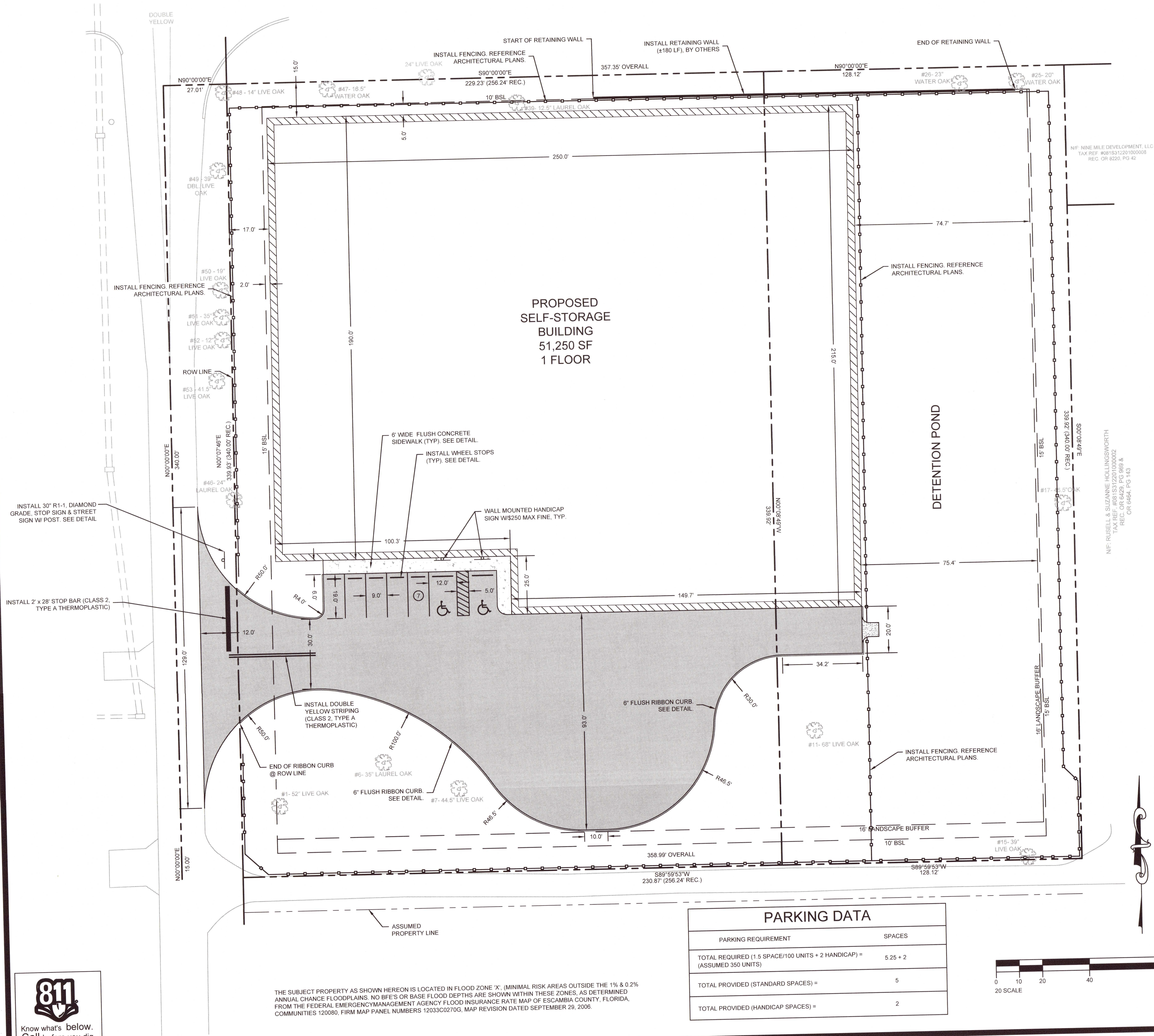
DEMOLITION PLAN

Beulah Self Storage

8660 Beulah Road
Pensacola, Florida 32526JOB No.
20200859DATE
06/24/21DRAWN
JDLSCALE
1"=20'

SHEET

C0



SITE PLAN LEGEND

EXISTING

PROPOSED

(X)

(X)

(W)

(W)

STANDARD PARKING QUANTITY

ACCESSIBLE PARKING SPACE

CONCRETE PAVING

PROPOSED MEDIUM DUTY ASPHALT PAVING

LAND USAGE

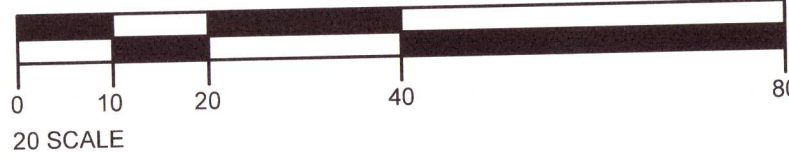
DESCRIPTION	AREA	% OF PROPERTY AREA
PROPERTY AREA	2.79 ACRES	--
BUILDING AREA (UNDER ROOF)	1.17 ACRES	41.94%
IMPERVIOUS PAVING/SIDEWALK	0.40 ACRES	14.33%
PERVIOUS PAVING	0.00 ACRES	0.00%
GRASSED/LANDSCAPED/POND AREA	1.22 ACRES	43.73%
FLOOR AREA RATIO (FAR) - PROPOSED	0.42	--
FLOOR AREA RATIO (FAR) - ALLOWED	1.0	--
FUTURE LAND USE: MIXED USE SUBURBAN (MU-S)		
ZONING: COMMERCIAL (COMM)		

SITE PLAN NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ESCAMBIA COUNTY & FDOT REGULATIONS AND CODES AS WELL AS O.S.H.A.
- ALL ISLANDS WITH CURB & GUTTER SHALL BE LANDSCAPED.
- ALL CURBED OR STRIPED RADII ARE TO BE 4' UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN THE BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED FOR SITE WORK. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- THE SURVEY OF EXISTING CONDITIONS IS SHOWN WITHIN THESE PLANS. ALL EXISTING CONDITIONS SHALL BE VERIFIED TO BE TRUE AND ACCURATE PRIOR TO BEGINNING WORK.
- REFER TO THE LANDSCAPING PLANS FOR PLANTING LOCATIONS AND ISLAND DETAILS.
- PAINTED STRIPING SHALL BE BRIGHT AND CLEAR. STRIPES SHALL BE PER PLAN AND PAINTED ON CLEAN ASPHALT OR CONCRETE.
- CURBING SHALL BE FORMED AND POURED CONCRETE UNLESS OTHERWISE DETAILED WITHIN THE DRAWINGS. CONCRETE FOR CURBING SHALL BE 3000 PSI.
- HANDICAP RAMPS AND PARKING STALLS SHALL BE PER ADA REQUIREMENTS AND LOCAL REGULATIONS.
- THIS SITE IS ZONED COMMERCIAL (COMM).
- TOTAL SITE ACREAGE = 2.79 ACRES.
- NOTIFY ESCAMBIA COUNTY & S.E. CIVIL INSPECTORS 24 HOURS BEFORE THE BEGINNING OF EVERY PHASE OF CONSTRUCTION.
- ALL STRIPING IN R.O.W. TO BE CLASS A TYPE 2 THERMOPLASTIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED GOVERNMENTAL INSPECTIONS.
- A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON SITE WHENEVER LAND DISTURBANCE ACTIVITY IS IN PROGRESS.
- CONSTRUCTION EQUIPMENT SHALL NOT BE PARKED IN REQUIRED R.O.W. AND MUST BE STORED WITHIN THE SITE.
- DURING CONSTRUCTION, ACCESS ROADWAYS CONSTRUCTED OF AN ALL WEATHER SURFACE CAPABLE OF SUPPORTING 75,000 POUNDS GROSS WEIGHT SHALL BE PROVIDED. THE WIDTH OF THE ACCESS ROADWAY, DURING CONSTRUCTION, SHALL BE 20 FT PER STANDARD FIRE PREVENTION CODE, LATEST EDITION.
- ALL NON-HANDICAP PARKING SPACE LINES WILL BE WHITE.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS USED ON THE SITE WILL CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), FHWA, LATEST EDITION. REFERENCE THE SIGN CODES CONTAINED IN THE MUTCD FOR ALL TRAFFIC CONTROL SIGNS. NOTE THE COLOR AND SIZE OF ALL PAVEMENT MARKINGS, REFERRING DETAILS IN FDOT'S ROADWAY AND TRAFFIC DESIGN STANDARDS WHERE APPLICABLE.
- NO "PROTECTED TREES" WILL BE REMOVED, DESTRUCTIVELY DAMAGED, MUTILATED, RELOCATED, DISFIGURED, DESTROYED, CUT DOWN, OR EXCESSIVELY PRUNED DURING CONSTRUCTION ACTIVITIES.
- FIRE LANES AND SIGNAGE TO MEET REQUIREMENTS OF NFPA 1 CHAPTER 18.
- THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH ALL OF THE EXISTING CONDITIONS AT THE SITE, INCLUDING UTILITIES, SURFACES, ETC. AND SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGES THEY CAUSE TO NEW AND EXISTING CONSTRUCTION, PROPERTY AND ANY UNAUTHORIZED DISRUPTION TO UTILITIES ON SITE AND TO ADJACENT PROPERTIES.
- PRIOR TO CONSTRUCTION, EXISTING UTILITIES AT PROPOSED CONNECTIONS AND CROSSINGS SHALL BE FIELD EXCAVATED TO VERIFY LOCATIONS, ELEVATION AND SIZE. NOTIFY THE ENGINEER IMMEDIATELY WITH ANY DEVIATIONS OR CONFLICTS.
- CONTRACTOR SHALL REFER TO THE ARCH. PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- THE DIMENSIONS SHOWN ARE TO THE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO STRUCTURAL PLANS FOR THE COLUMN GRID LAYOUT AND INFORMATION REQUIRED TO LAYOUT THE BUILDING WITHIN THE FOUNDATIONS.
- NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED.
- ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, & ANY OTHER "LAND DISTURBING ACTIVITIES" SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.

PARKING DATA

PARKING REQUIREMENT	SPACES
TOTAL REQUIRED (1.5 SPACE/100 UNITS + 2 HANDICAP) = (ASSUMED 350 UNITS)	5.25 + 2
TOTAL PROVIDED (STANDARD SPACES) =	5
TOTAL PROVIDED (HANDICAP SPACES) =	2



THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE 'X', (MINIMAL RISK AREAS OUTSIDE THE 1% & 0.2% ANNUAL CHANCE FLOODPLAINS. NO BFE'S OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES, AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITIES 120080, FIRM MAP PANEL NUMBERS 12033C027G, MAP REVISION DATED SEPTEMBER 29, 2006.

REVISION

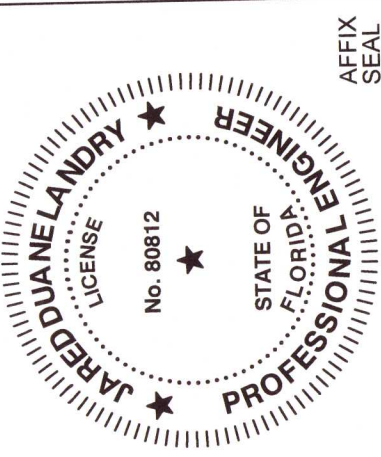
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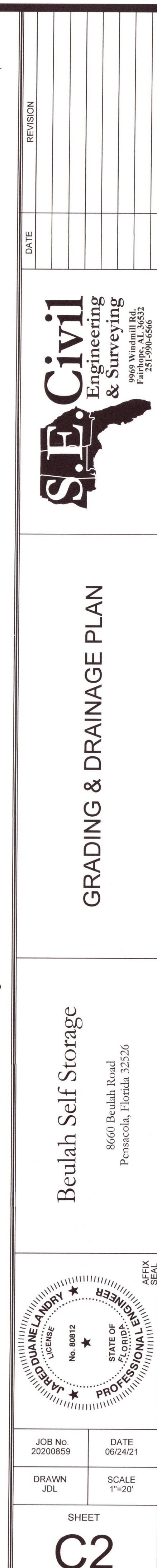
SITE PLAN

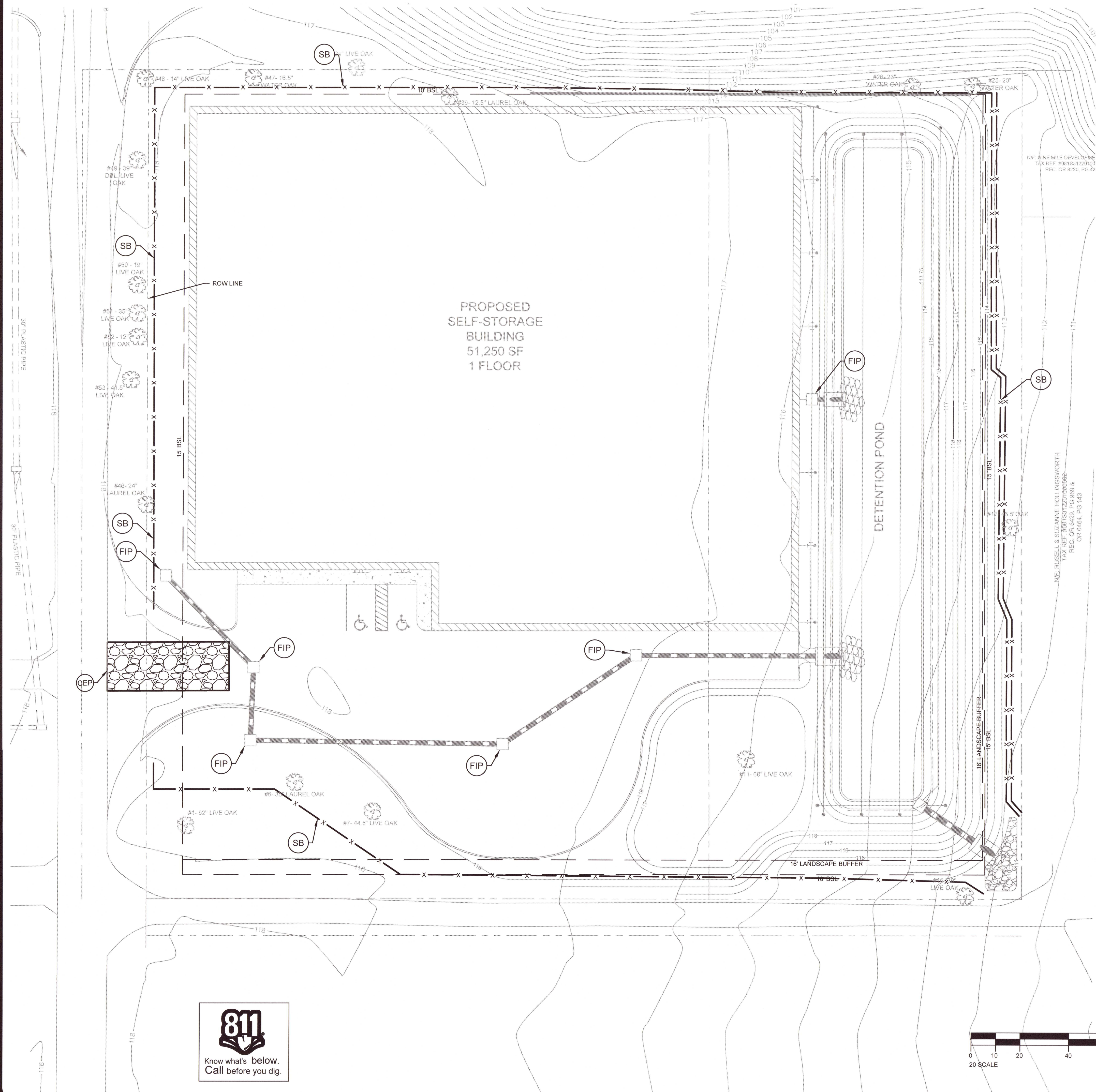
Beulah Self Storage

8660 Beulah Road
Pensacola, Florida 32526



JOB No. 20220859	DATE 06/24/21
DRAWN JDL	SCALE 1"=20'
SHEET C1	





LEGEND:

CEP	CONSTRUCTION EXIT PAD
SB	SEDIMENT BARRIER
FIP	FABRIC DROP INLET PROTECTION
MU	MULCHING
TS	TEMPORARY SEEDING
PS	PERMANENT SEEDING
ECB	EROSION CONTROL BLANKET
OP	OUTLET PROTECTION
DV	DIVERSION
CIP	CURB INLET PROTECTION
W	STRAW MATS
FIP CIP	FABRIC & CURB INLET PROTECTION

EROSION CONTROL NOTES

1. THE EXISTING SITE IS A VACANT RESIDENTIAL LOT.
2. CONTACT DAVID KING 251-990-6566.
3. AREA TO BE DISTURBED = 2.79 ACRES
4. ALL VEGETATION SHALL BE PLANTED AND MAINTAINED PER THE FLORIDA EROSION SEDIMENT CONTROL MANUAL (FLORIDA HANDBOOK).
5. ALL EROSION CONTROL MEASURES SHALL BE PER THE DIRECTION OF THE ENGINEER, AND THE FEDERAL E.P.A. GUIDELINES FOR THE NPDES PROGRAM
6. ABSOLUTELY NO SEDIMENT SHALL BE PERMITTED TO LEAVE THE SITE DURING CONSTRUCTION. IF HEAVY RAINS OR UNUSUAL SITE CONDITIONS RESULT IN THE POLLUTION OF ROADWAYS OR ADJACENT PARCELS THEN THE GRADING CONTRACTOR SHALL CLEAN THE DISTURBED AREAS IMMEDIATELY AND RESTORE THE AREAS TO THE ORIGINAL CONDITION WITHIN 24 HOURS.
7. ALL DISTURBED AREAS SHALL BE TEMPORARILY AND PERMANENTLY SEEDED WITH "SOUTH" TYPE SEEDINGS PER THE FLORIDA HANDBOOK.
8. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE GOVERNING OFFICIALS. IT IS THE RESPONSIBILITY OF THE GRADING CONTRACTOR TO BE INTIMATE WITH THE LOCAL EROSION CONTROL LAWS AND TO REFLECT THIS KNOWLEDGE IN HIS/HER ACTIONS AND QUOTATIONS.
9. REFERENCE THE CONSTRUCTION SEQUENCE FOR THE RELATIONSHIP BETWEEN THE INSTALLATION OF EROSION CONTROL FEATURES AND GENERAL CONSTRUCTION.
10. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH LAND DISTURBING ACTIVITIES.
11. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED DAILY AND ANY DEFICIENCIES NOTED WILL BE CORRECTED BY THE END OF EACH DAY. ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY AFTER ON-SITE INSPECTION BY THE GOVERNING OFFICIAL OR ENGINEER OF RECORD.
12. ALL SILT BARRIERS SHALL BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL THE SEDIMENT BARRIERS HAVE BEEN CONSTRUCTED.
13. CONTRACTOR SHALL REMOVE EROSION CONTROL DEVICES AFTER PERMANENT GRASSING IS IN PLACE AND ESTABLISHED.
14. THE CONSTRUCTION EXIT PAD SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLE OR SITE ONTO PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.
15. DISTURBED AREAS LEFT IDLE FOR TEN DAYS OR LONGER ARE TO BE SEEDED AND MULCHED.
16. SEDIMENT / EROSION CONTROL DEVICES MUST BE CHECKED AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED 1/2 OF THE CAPACITY OF THE DEVICE.
17. MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE OWNER'S CONTRACTOR.
18. THE CONTRACTOR SHALL PREVENT THE LOSS OF SEDIMENT DUE TO WIND VIA WATERING DRY SOILS. CAUTION SHOULD BE TAKEN TO ENSURE THAT THE SITE IS NOT OVER WATERED.
19. THE SITE IS TO BE CLEARED AND GRADED AS TO MINIMIZE THE AMOUNT OF SOIL EXPOSED AT ONE TIME.
20. EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
21. CONTRACTOR IS RESPONSIBLE FOR MONITORING DOWNSTREAM CONDITIONS THROUGHOUT THE CONSTRUCTION PERIOD AND CLEARING ANY DEBRIS AND SEDIMENT CAUSED BY CONSTRUCTION.
22. REFER TO THE LANDSCAPE PLANS FOR FINAL STABILIZATION MEASURES.
23. ALL CUT AND FILL SLOPES MUST BE SURFACE ROUGHENED AND VEGETATED WITHIN 7 DAYS OF THEIR CONSTRUCTION.
24. ALL FILL SLOPES HAVE SILT FENCE AT THE TOE OF SLOPES.
25. EXISTING TREES, TO BE SAVED, SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. CARE SHALL BE TAKEN IN ALL GRADING ACTIVITIES TO REMAIN OUTSIDE THE DRIP LINES OF EXISTING TREES. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPLACED OR REPAIRED AS NEEDED.
26. TREE PROTECTION DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY CLEARING, GRUBBING, OR GRADING.
27. CONTRACTOR TO CLEAN OUT ACCUMULATED SEDIMENT IN THE DETENTION POND AT THE END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED.
28. SEDIMENT STORAGE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING THE 1/3 FULL VOLUME.
29. ALL SLOPES STEEPER THAN 3H:1V MUST BE MATTED AND STAKED WITH AMERICAN EXCELSIOR JUTE MAT, OR APPROVED EQUAL.

CONSTRUCTION SEQUENCE - PHASE 1

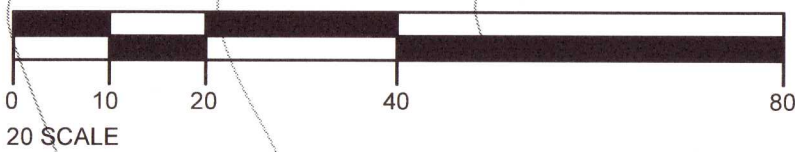
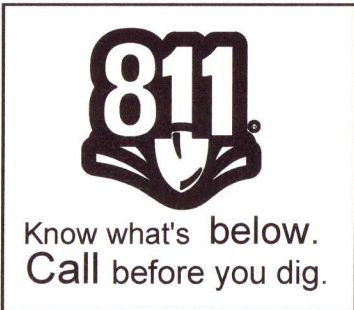
1. INSTALL TREE PROTECTION FENCING.
2. REMOVE VEGETATION ONLY IN AREAS OF THE PERIMETER SEDIMENT BARRIERS, SEDIMENT POND, AND CONSTRUCTION EXIT.
3. INSTALL THE CONSTRUCTION EXIT PER DETAILS.
4. INSTALL PERIMETER SEDIMENT BARRIERS PER DETAILS.
5. INSTALL SEDIMENT BASIN AND ASSOCIATED STORM PIPE.
6. REQUEST BMP & TREE PROTECTION INSPECTION PRIOR TO CLEARING.
7. ONCE INSPECTION IS COMPLETE AND APPROVED, CLEARING & SITE WORK CAN BEGIN (PHASE 2).

CONSTRUCTION SEQUENCE - PHASE 2

1. PERFORM CLEARING & ROUGH GRADING ON THE LOT AND ESTABLISH COVER ON AREAS WHEN BROUGHT TO GRADE.
2. INSTALL STORM SYSTEM AND UTILITIES.
3. INSTALL CURBING AND STONE BASE.
4. ESTABLISH VEGETATION ON AREAS NOT IMPACTED BY PAVING OPERATIONS.

CONSTRUCTION SEQUENCE - PHASE 3

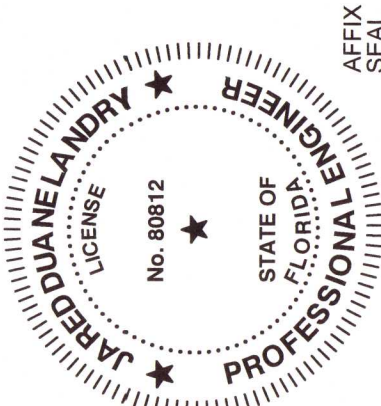
1. INSTALL PAVING AND FINAL LANDSCAPING.
2. CALL FOR AN INSPECTION FROM THE QCP.
3. ONCE THE QCP HAS CERTIFIED THAT ALL AREAS ARE STABILIZED, REMOVE BMPs AND TREE PROTECTION.
4. STABILIZE ANY AREAS DISTURBED BY BMP AND TREE PROTECTION REMOVAL.



EROSION & SEDIMENT CONTROL PLAN

Beulah Self Storage

8660 Beulah Road
Pensacola, Florida 32526

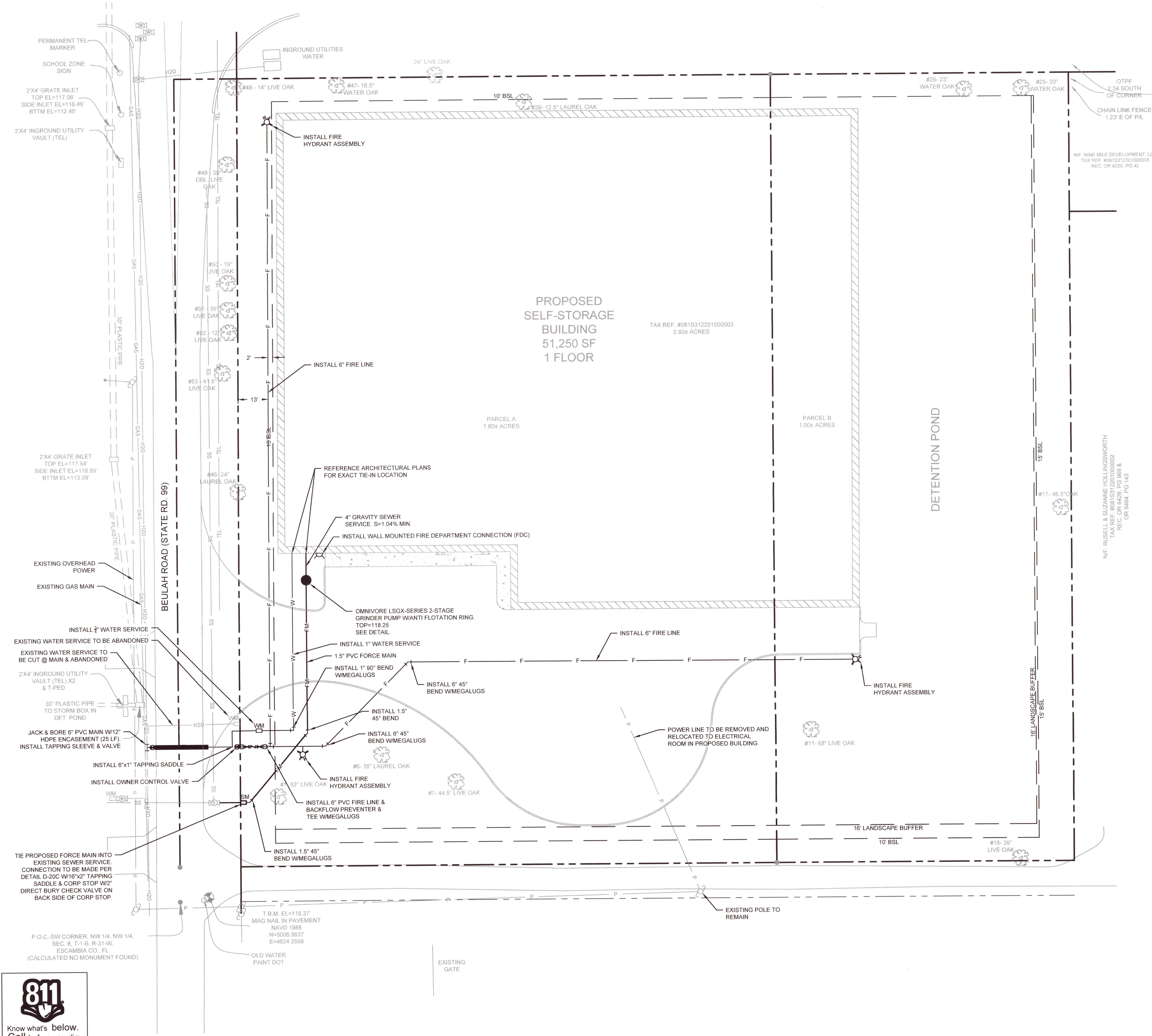


JOB No. 20200859 DATE 08/24/21

DRAWN JDL SCALE 1"=20'

SHEET

C3



UTILITY NOTES

- THE PROPOSED WATER SERVICE SHALL BE INSTALLED BY A LICENSED PLUMBING CONTRACTOR AND CERTIFIED TO BE IN ACCORDANCE WITH PLANS AND SPECIFICATIONS OF ECUA PRIOR TO COMPLETION OF THE PROJECT. ALL PIPING, VALVES, FITTINGS AND DEVICES SHALL BE IN ACCORDANCE WITH ECUA SPECIFICATIONS.
- ALL NEW UTILITY SERVICES SHALL BE INSTALLED PER THE SPECIFICATIONS, DETAILS, AND REQUIREMENTS OF ECUA AND OTHER UTILITY PROVIDERS. THE CONTRACTOR SHALL BE INTIMATE WITH THE LOCAL CODES AND REQUIREMENTS AND SHALL BE RESPONSIBLE FOR THE COMPLIANCE OF ALL SYSTEMS WITH THESE CODES.
- THE SANITARY SEWER LINE SHALL BE TESTED FOR INFILTRATION/EXFILTRATION IN ACCORDANCE WITH ECUA STANDARDS & SPECIFICATIONS.
- CONTRACTOR TO PROVIDE SURVEYED AS-BUILT OF WATER AND SEWER SYSTEMS AS INSTALLED PRIOR TO REQUESTING A PUNCH LIST.
- ALL PVC PIPE SHALL BE MARKED USING DETECTABLE UNDERGROUND UTILITY MARKER TAPE. TAPE SHALL BE A MINIMUM OF 5 MILS THICK AND 3 INCHES IN WIDTH. MINIMUM TENSILE STRENGTH SHALL BE 35 POUNDS AND TAPE SHALL ELONGATE NOT LESS THAN 80 PERCENT BEFORE BREAKING. TAPE SHALL BE PERMANENTLY IMPRINTED WITH AN APPROPRIATE LEGEND TO IDENTIFY THE CONTENTS OF THE PIPE.
- ALL PVC PIPE INSTALLATIONS REQUIRE THAT METALIZED MARKER TAPE BE BURIED IN THE BACKFILL APPROXIMATELY 12 INCHES ABOVE THE PIPE. THE TAPE SHALL BE ATTACHED TO FITTINGS, VALVES, HYDRANTS, ETC. TO PROVIDE A LOCATION ABOVE GROUND TO TRANSMIT THE SIGNAL TO THE TAPE WITHOUT HAVING TO DIG DOWN TO THE PIPE.
- THRUST BLOCKING AND PIPE RESTRAINTS SHALL BE INSTALLED AND SIZED IN ACCORDANCE WITH NFPA-24. THESE RESTRAINTS SHALL BE APPROVED BY THE ENGINEER AND ECUA PRIOR TO BACKFILLING AND TESTING.
- WATER MAINS UNDER 4" SHALL CONFORM TO THE REQUIREMENTS OF ASTM D2241. PIPE SHALL HAVE A MINIMUM PRESSURE RATING OF 200 PSI, SDR 21 OR HEAVIER. WATER MAINS 4"-12" SHALL CONFORM TO THE REQUIREMENTS OF AWWA C900, SDR 18 OR HEAVIER.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL O.S.H.A. CONSTRUCTION REQUIREMENTS SHALL BE STRICTLY ADHERED TO.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PROPER TRAFFIC CONTROL FOR PUBLIC SAFETY ADJACENT TO THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL FURNISH, ERECT AND MAINTAIN BARRICADES, WARNING SIGNS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES IN CONFORMITY WITH THE FEDERAL HIGHWAY ADMINISTRATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, LATEST EDITION.
- THE GAS SERVICE SHALL BE INSTALLED TO THE METER BY THE LOCAL GAS UTILITY. REFER TO THE MECHANICAL/PLUMBING PLANS FOR THE METER LOCATION.
- THE PROPOSED WATER MAIN SHALL BE PRESSURE TESTED, CLEANED, AND DISINFECTED WITH THE NEW PIPING SYSTEM TO THE MAIN SYSTEM. WATER MAINS TO BE INSTALLED AND TESTED PER AWWA STANDARDS. LEAKAGE TEST PERFORMED AT 200PSI FOR MINIMUM OF 2 HOURS.
- THE UTILITY OWNER SHALL PROVIDE AT LEAST FORTY-EIGHT(48) INCHES VERTICAL CLEARANCE BELOW THE PAVEMENT SURFACE TO THE TOP OF THE FACILITY. THE UTILITY OWNER SHALL NOT OPEN CUT PAVEMENT. THE UTILITY OWNER SHALL NOT PLACE HIGH-PRESSURE GAS OR VOLATILE FUEL LINES NEAR OR UNDER FOOT BRIDGES OR MSE WALLS. THE UTILITY OWNER SHALL WHERE PRACTICAL PERFORM ALL CONSTRUCTION AND MAINTENANCE OUTSIDE THE R/W FENCE LINE. THE UTILITY OWNER SHALL PLACE TEMPORARY FENCING TO ENCLOSE WORK AREAS WITH THE R/W. THE UTILITY OWNER SHALL NOT EXTEND THIS FENCING CLOSER TO THE ROADWAY THAN TO THE TOE OF THE BACK SLOPE. THE UTILITY OWNER SHALL NOT PLACE UTILITIES AT INTERCHANGES THAT CANNOT BE SERVICED OR PATROLLED IN ACCORDANCE WITH UAM SECTION 4.3.7. (FDOT 2010 UAM)

REVISION	
DATE	

S.F. Civil Engineering & Surveying
9909 Windmill Rd.
Fairhope, AL 36532
251-596-6566

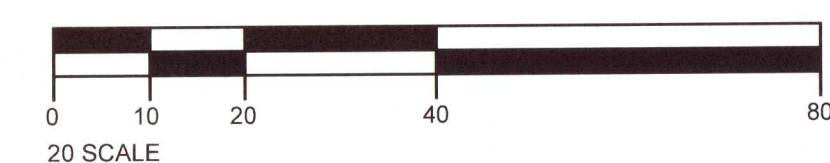
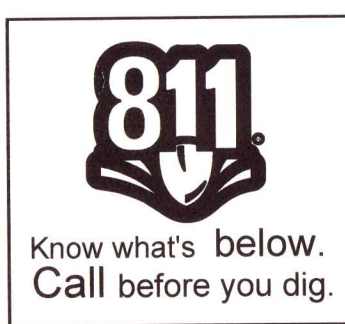
UTILITY PLAN

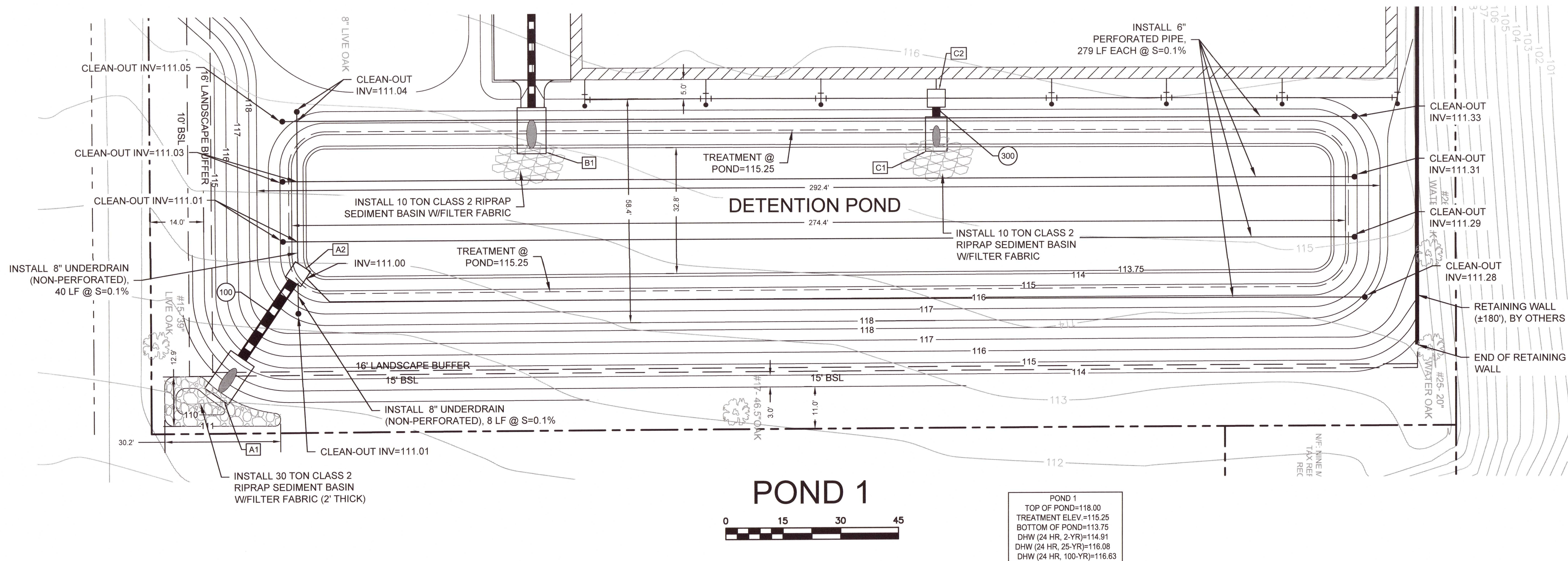
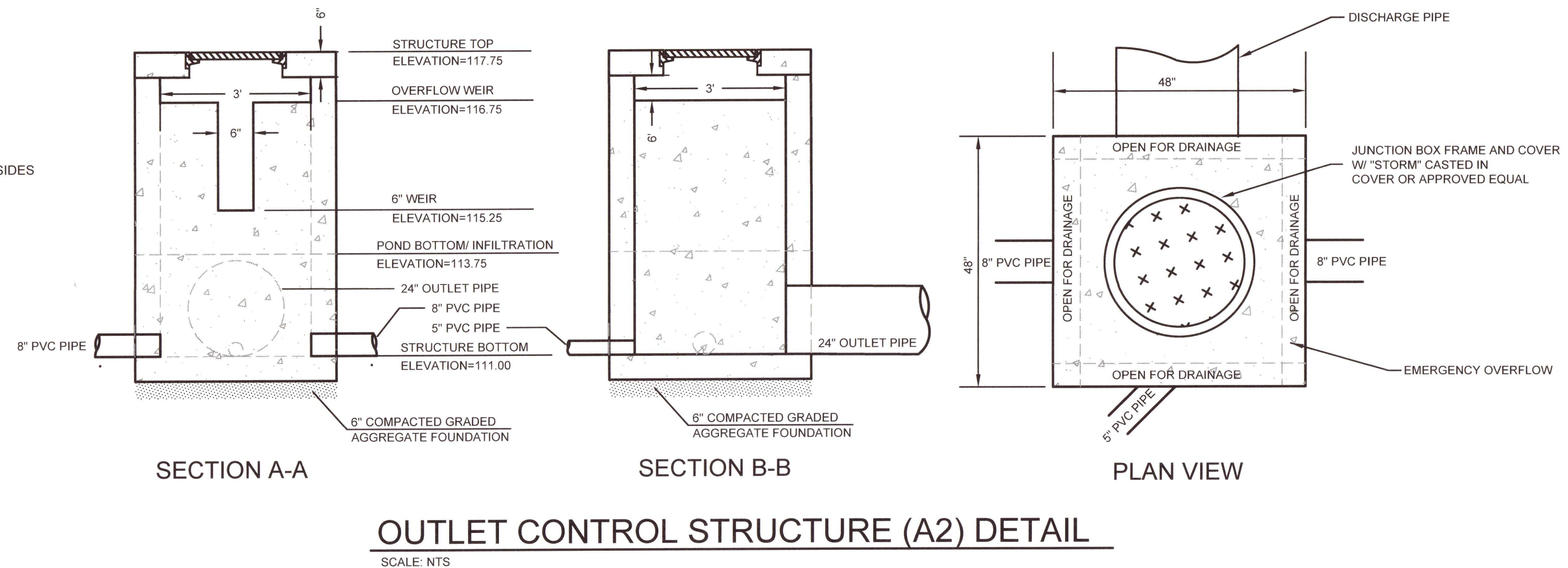
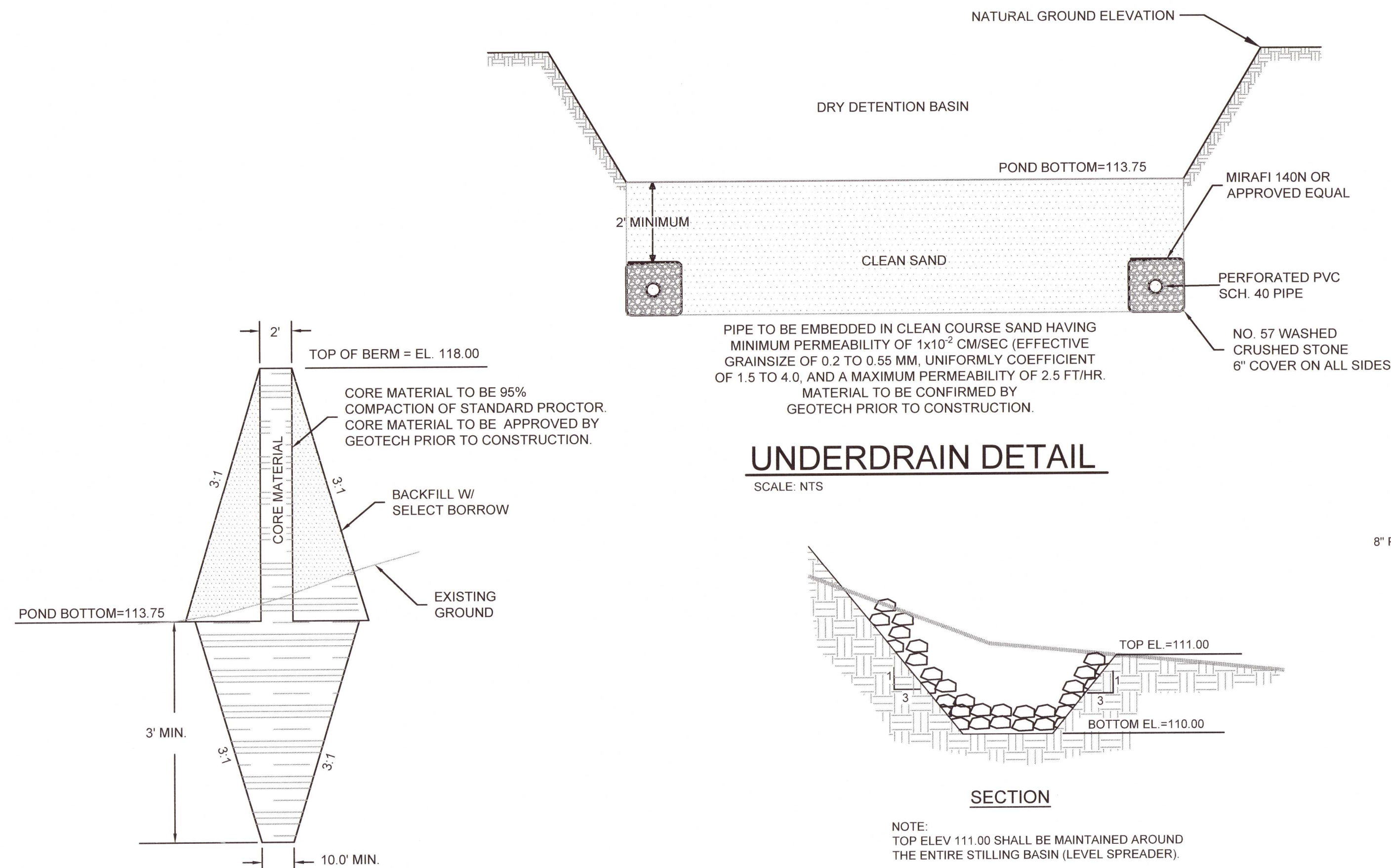
Beulah Self Storage
8660 Beulah Road
Pensacola, Florida 32526

STATE OF FLORIDA
PROFESSIONAL ENGINEER
J. D. L.
No. 00812

JOB No. 20200859	DATE 08/24/21
DRAWN JDL	SCALE 1"=20'

SHEET
C4

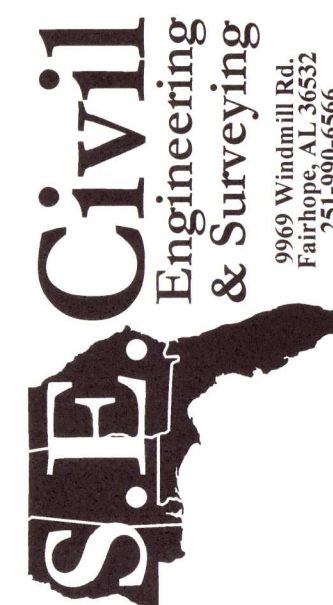




NOTES:
 POND SIDE SLOPES TO BE SOLID SOD.
 POND BOTTOM TO BE VIRGIN CLEAN SAND.
 POND TO BE OVER-EXCAVATED TO ELEV 111.00 AND BACKFILLED, AS SPECIFIED BY GEOTECH, TO FINISH POND ELEV 113.75 WITH CLEAN SAND.



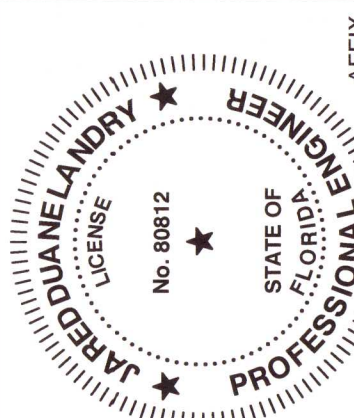
REVISION	DATE



POND PLAN & OUTFALL DETAILS

Beulah Self Storage

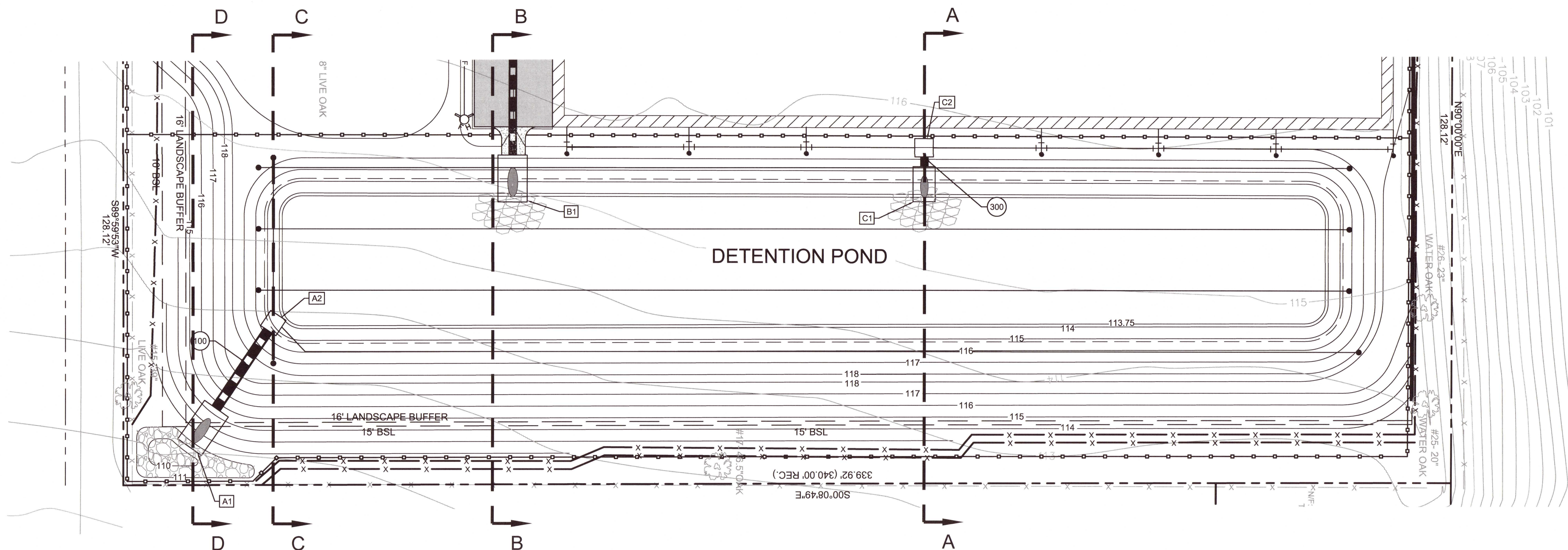
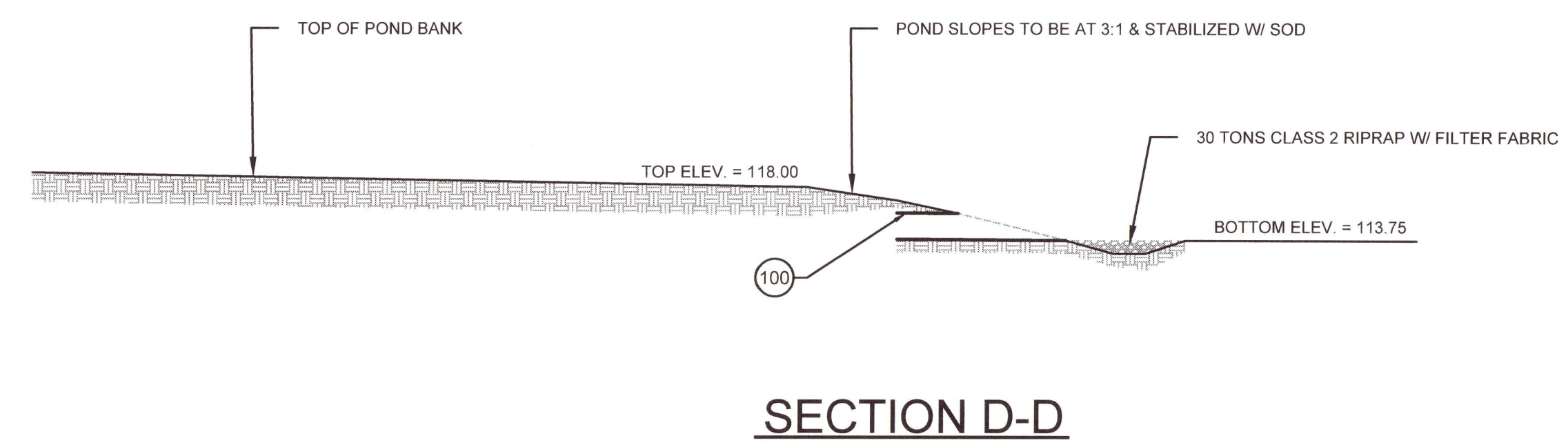
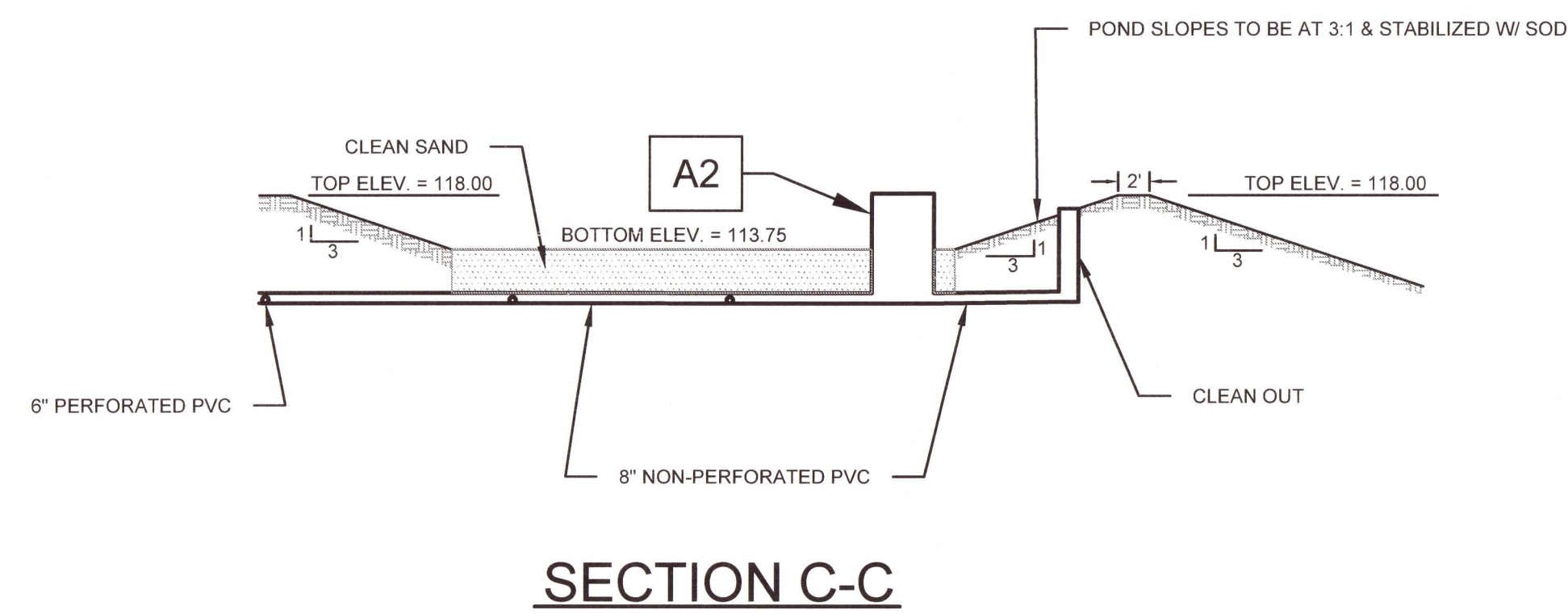
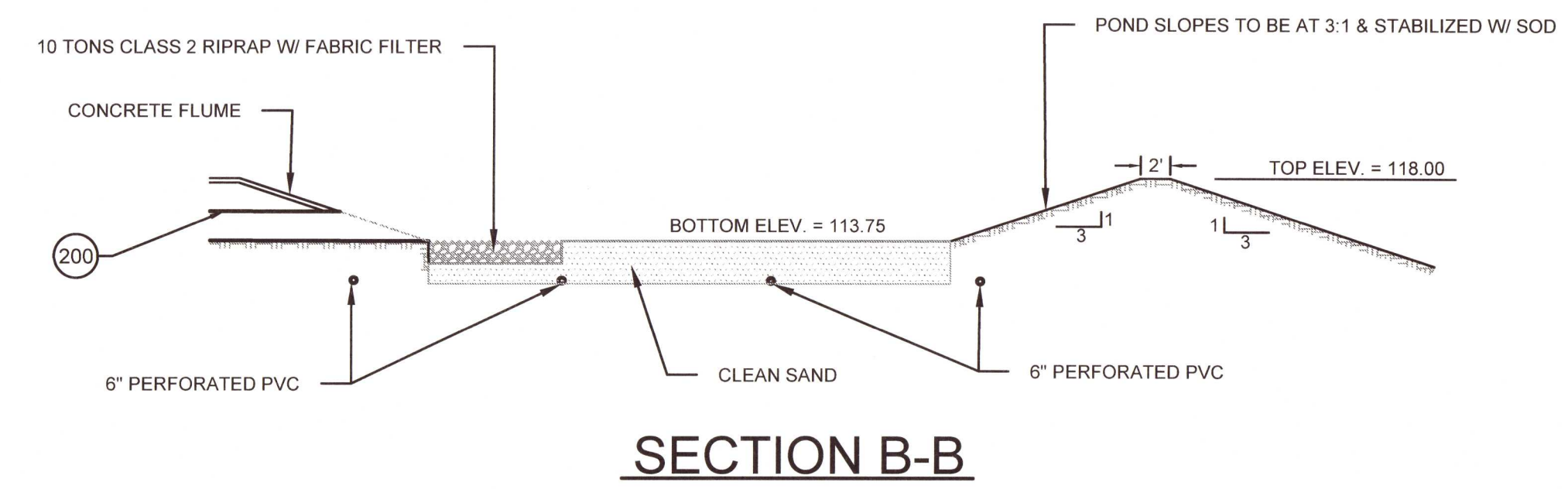
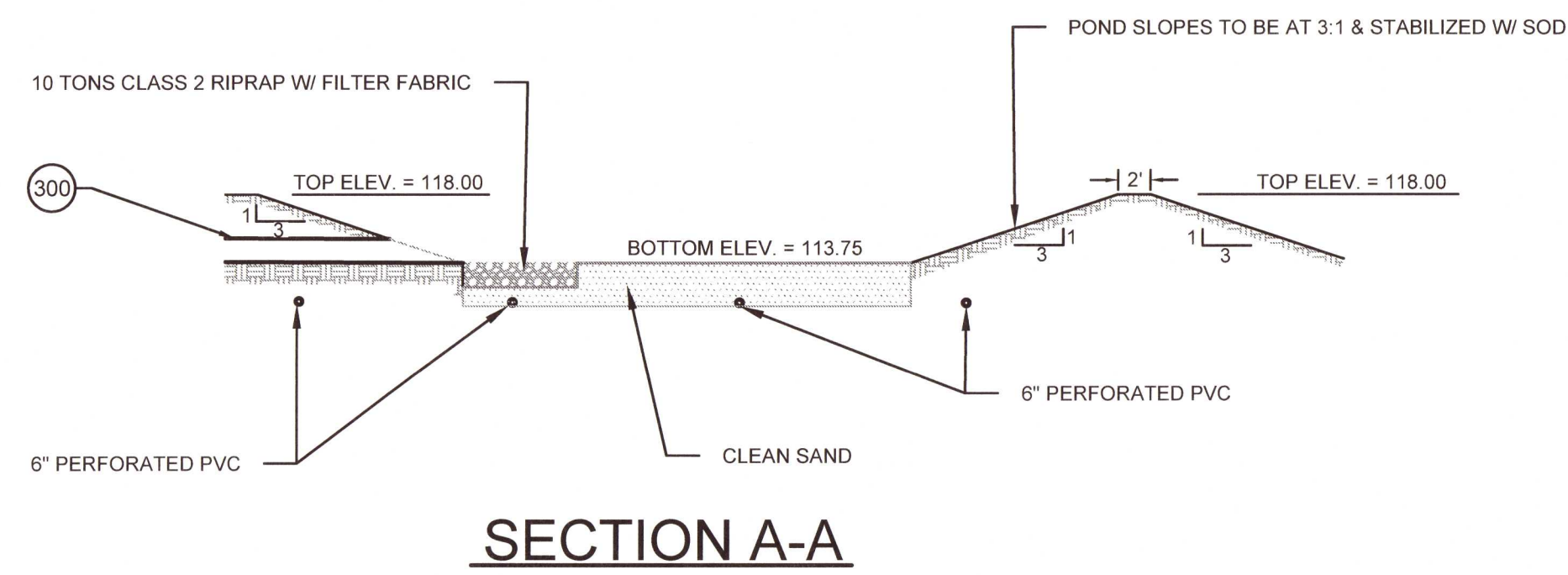
8660 Beulah Road
Pensacola, Florida 32526



JOB No. 20200859	DATE 06/24/21
DRAWN JDL	SCALE 1"=20'

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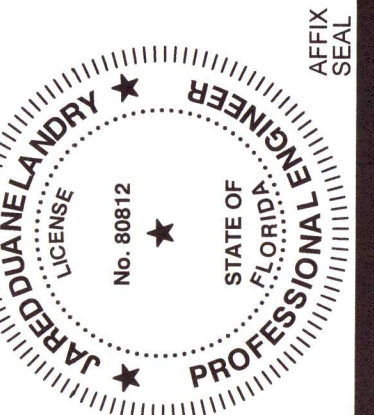
Know what's below.
Call before you dig.

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POND CROSS SECTIONS

Beulah Self Storage

Pensacola, Florida 32526



OB No.
200859

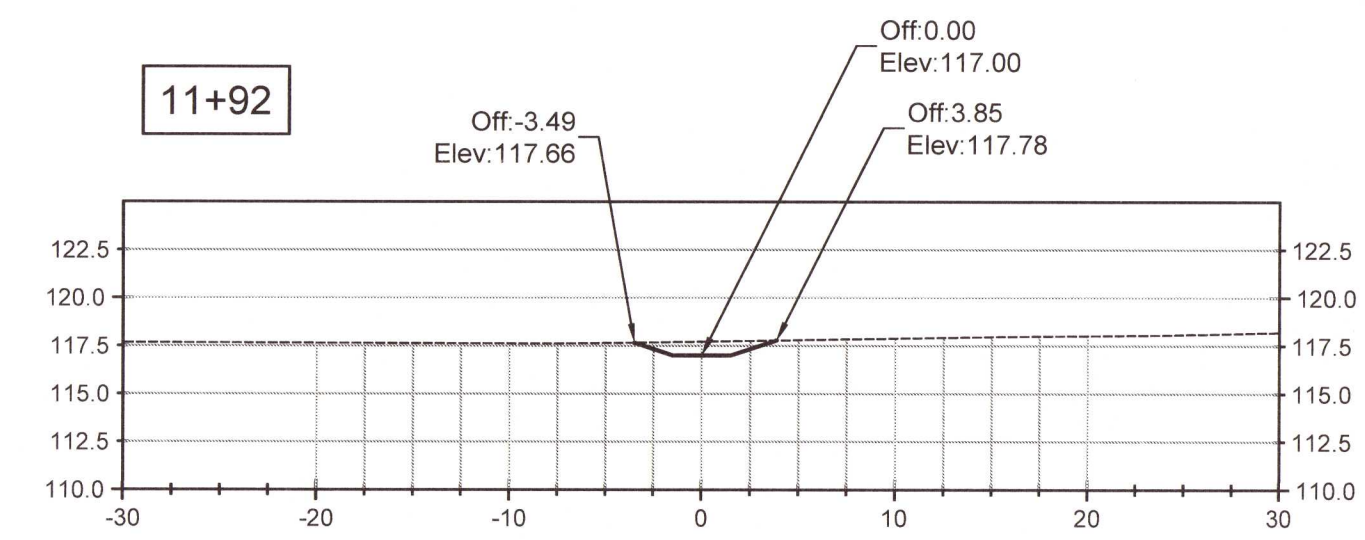
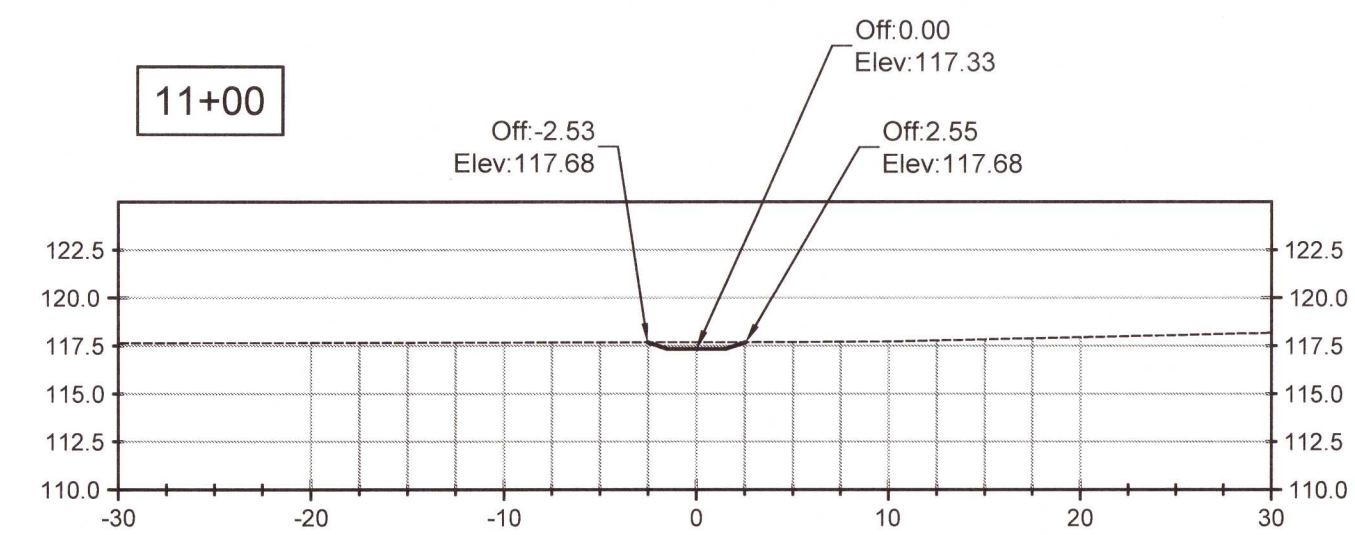
DATE
/24/21

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SCALE
"=20'

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X1

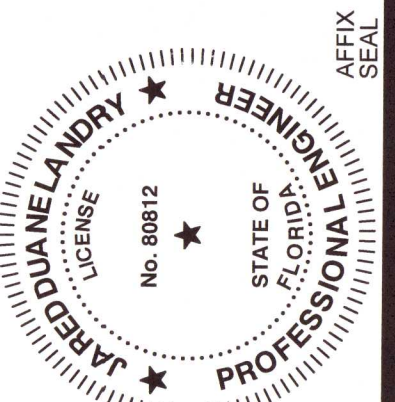


S.E. Civil
Engineering
& Surveying

9969 Windmill Rd.
Fairhope, AL 36532
251-990-6566

DITCH CROSS SECTIONS

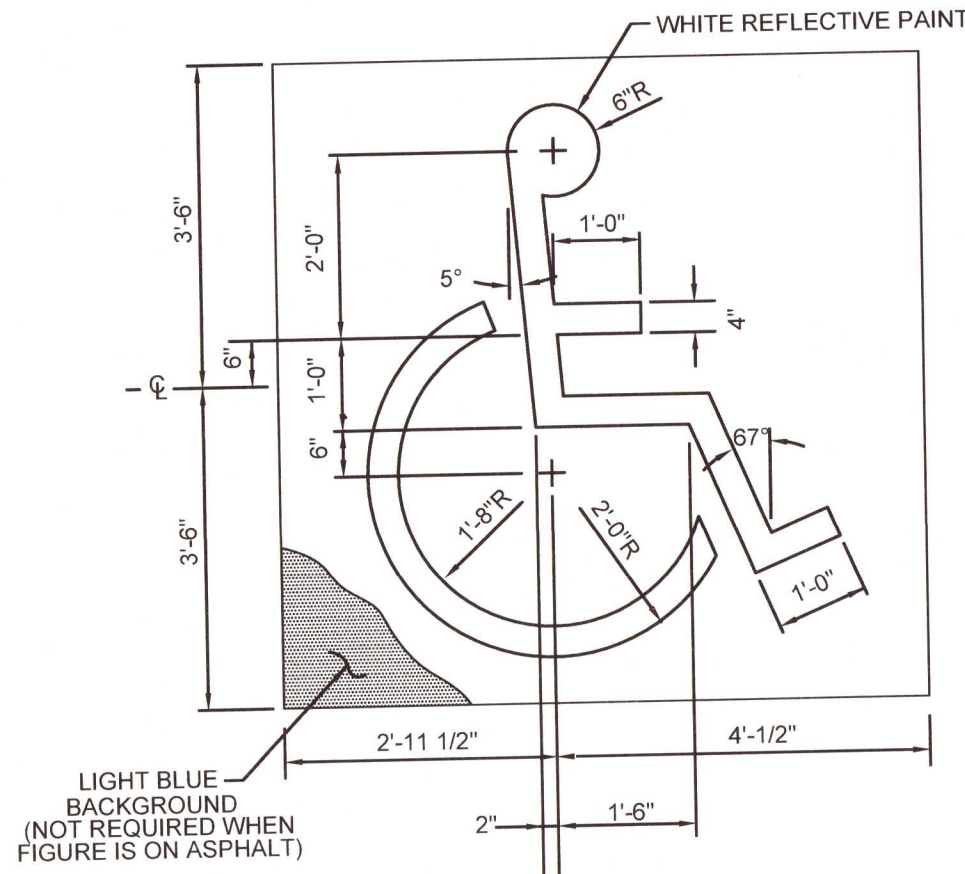
Beulah Self Storage
8660 Beulah Road
Pensacola, Florida 32526



JOB No. 20200859	DATE 06/24/21
DRAWN JDL	SCALE 1"=20'

SHEET

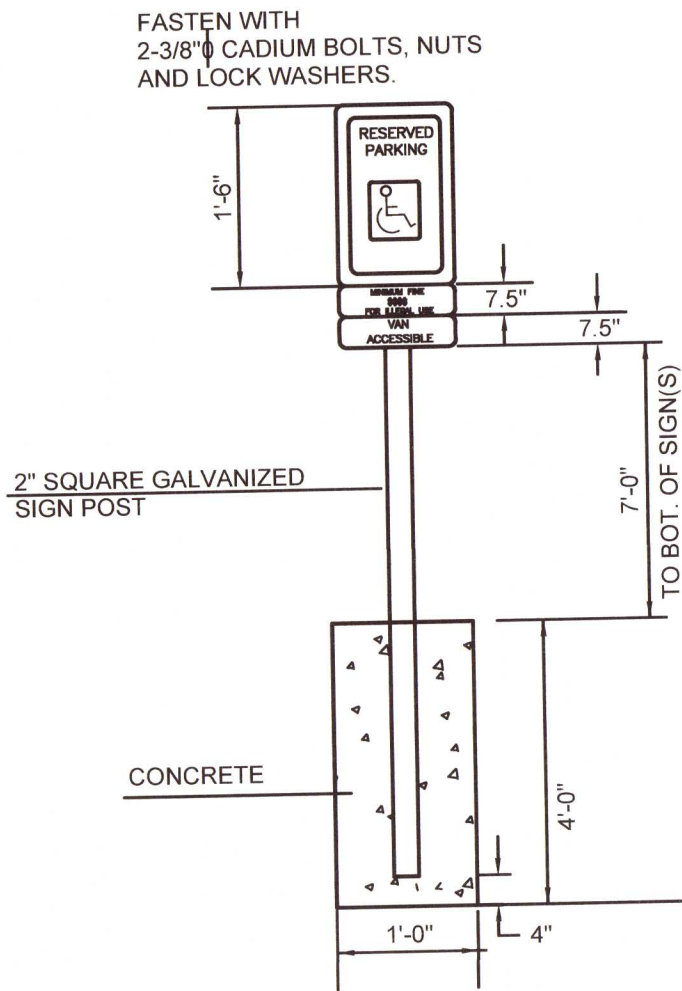
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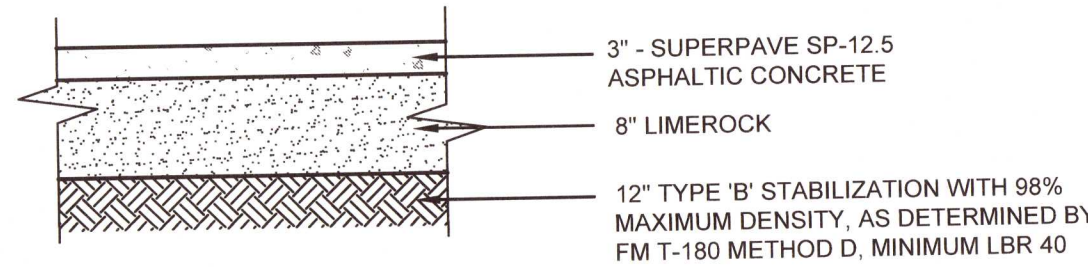
NOTE:
ACCESSIBLE PARKING SIGN SHALL CONFORM
WITH CURRENT STATE AND LOCAL CODES
AND REGULATIONS.

HANDICAP SIGNAGE DETAIL

SCALE: NTS



PARKING SIGN

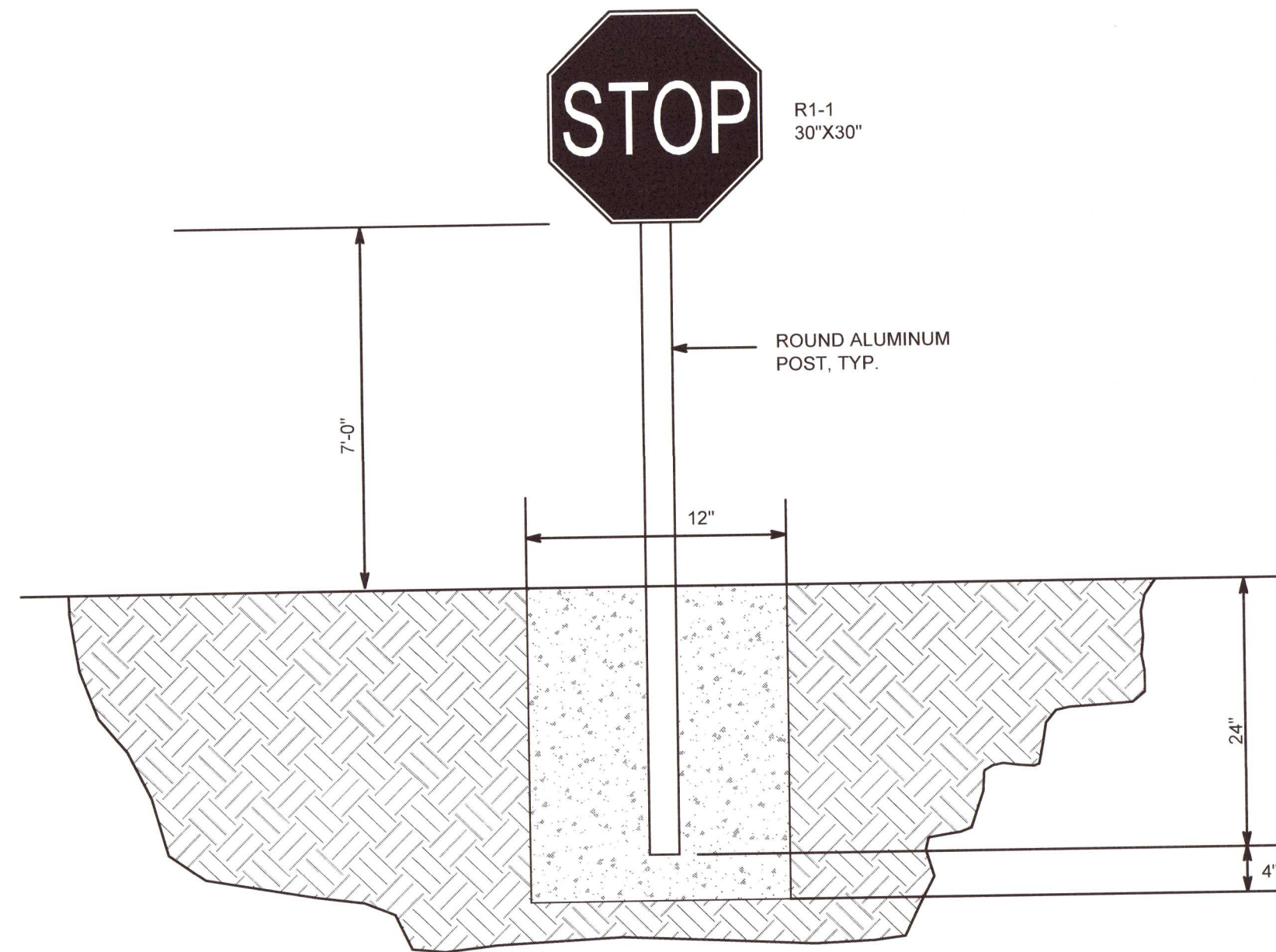


* REFER TO THE GEOTECHNICAL REPORT FOR ADDITIONAL COMPACTION/BUILDUP DETAILS

* CONTRACTOR TO PRIME BASE MATERIAL AND TACK BETWEEN LIFTS

FDOT ASPHALT PAVEMENT DETAIL

SCALE: NTS



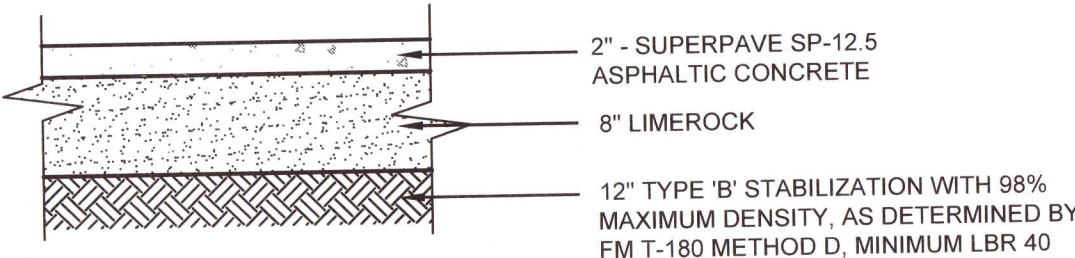
SIGNAGE DETAIL

SCALE: NTS

ESCAMBIA COUNTY NOTES

1. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
2. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
3. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
4. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
5. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
6. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD.
7. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO DRAINAGE SYSTEM.

8. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTIONS.
9. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK SUCH AS PIPING, DRAINAGE STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
10. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT 850-595-3472. CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/ APPROVAL.
11. CONTRACTOR SHALL OBTAIN BUILDING INSPECTION DEPARTMENT PERMIT(S) FOR ANY RETAINING WALL HIGHER THAN 2 FEET.
12. NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RIGHT-OF-WAY; 1-800-432-4770.
13. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.
14. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHTS-OF-WAY.

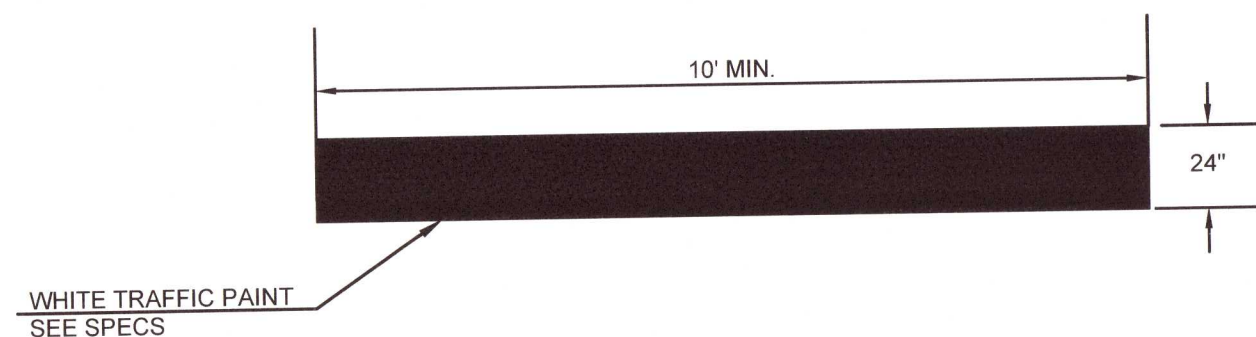


* REFER TO THE GEOTECHNICAL REPORT FOR ADDITIONAL COMPACTION/BUILDUP DETAILS

* CONTRACTOR TO PRIME BASE MATERIAL AND TACK BETWEEN LIFTS

MEDIUM DUTY ASPHALT PAVEMENT DETAIL

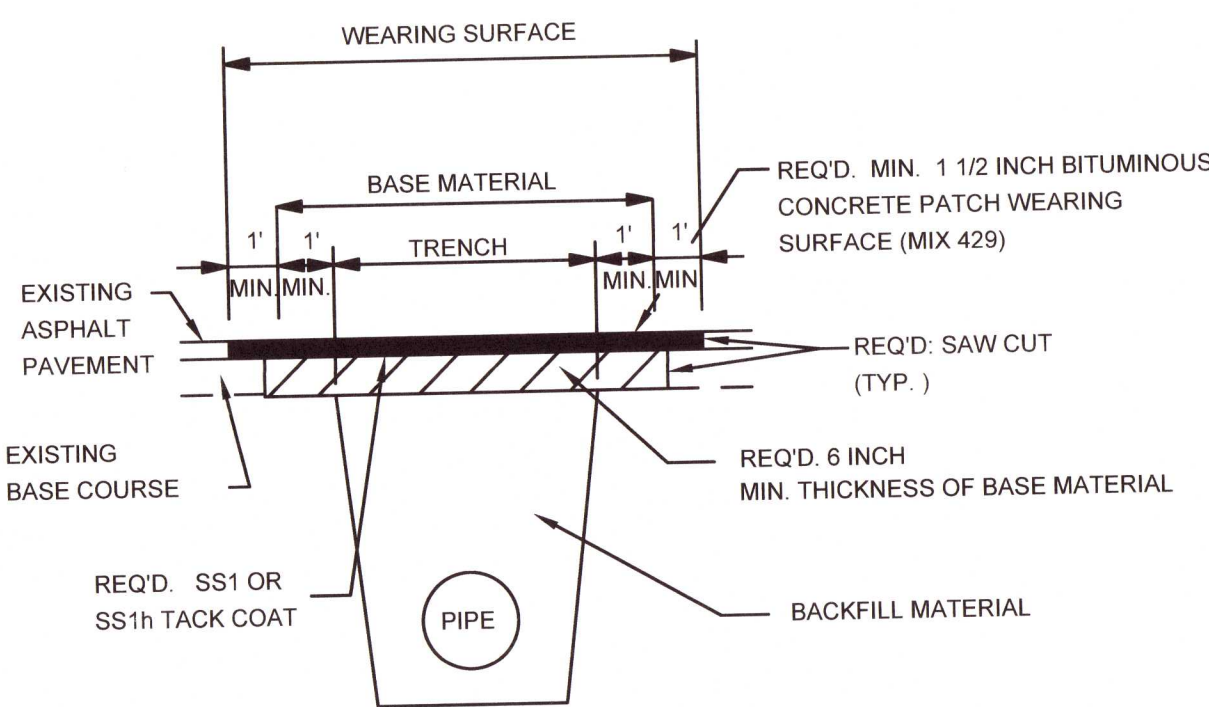
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REFER TO FDOT STANDARD DRAWING INDEX 711-001 FOR FURTHER INFORMATION.

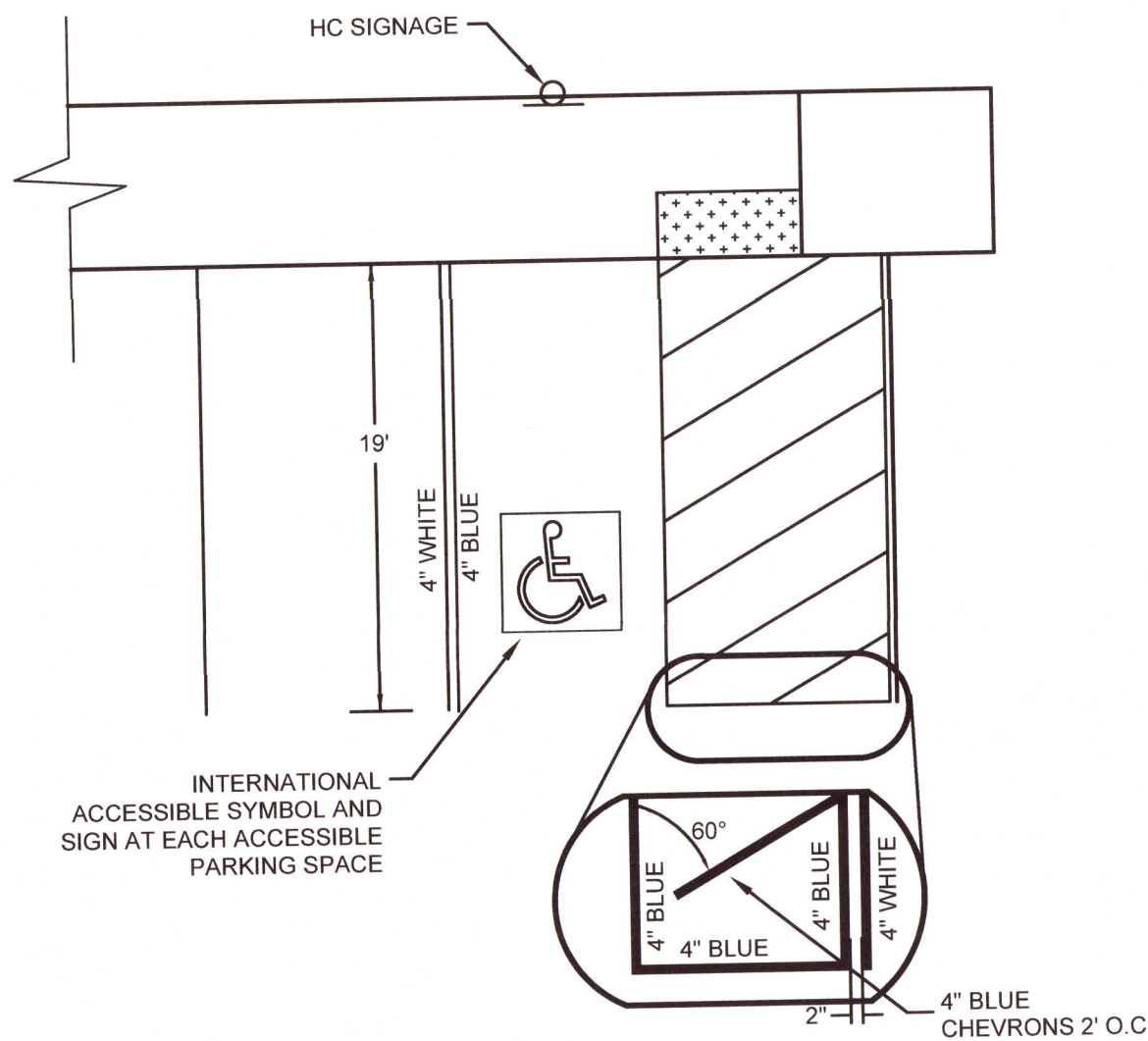
STOP BAR DETAIL

SCALE: NTS



PAVEMENT PATCH

SCALE: NTS

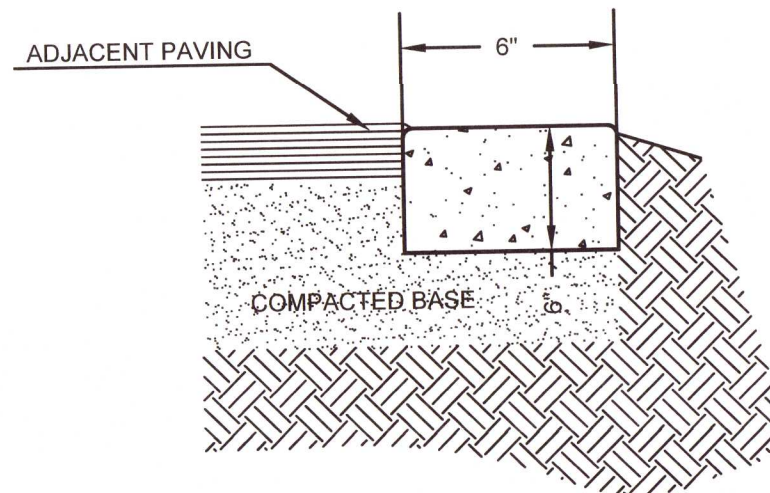


NOTES:

1. DIMENSIONS ARE TO THE CENTERLINE OF MARKINGS.
2. CRITERIA FOR PAVEMENT MARKINGS ONLY, NOT PUBLIC SIDEWALK CURB RAMP LOCATIONS. FOR RAMP LOCATIONS REFER TO PLANS.
3. BLUE PAVEMENT MARKINGS SHALL BE TINTED TO MATCH SHADE 15180 OF FEDERAL STANDARDS 595A.
4. DIAGONAL OR PERPENDICULAR PARKING SPACES SHALL BE A MINIMUM OF NINE (9) FEET WIDE MEASURED FROM CENTER TO CENTER OF THE BLUE DEMARCATION LINES.

HANDICAP PARKING DETAIL

SCALE: NTS

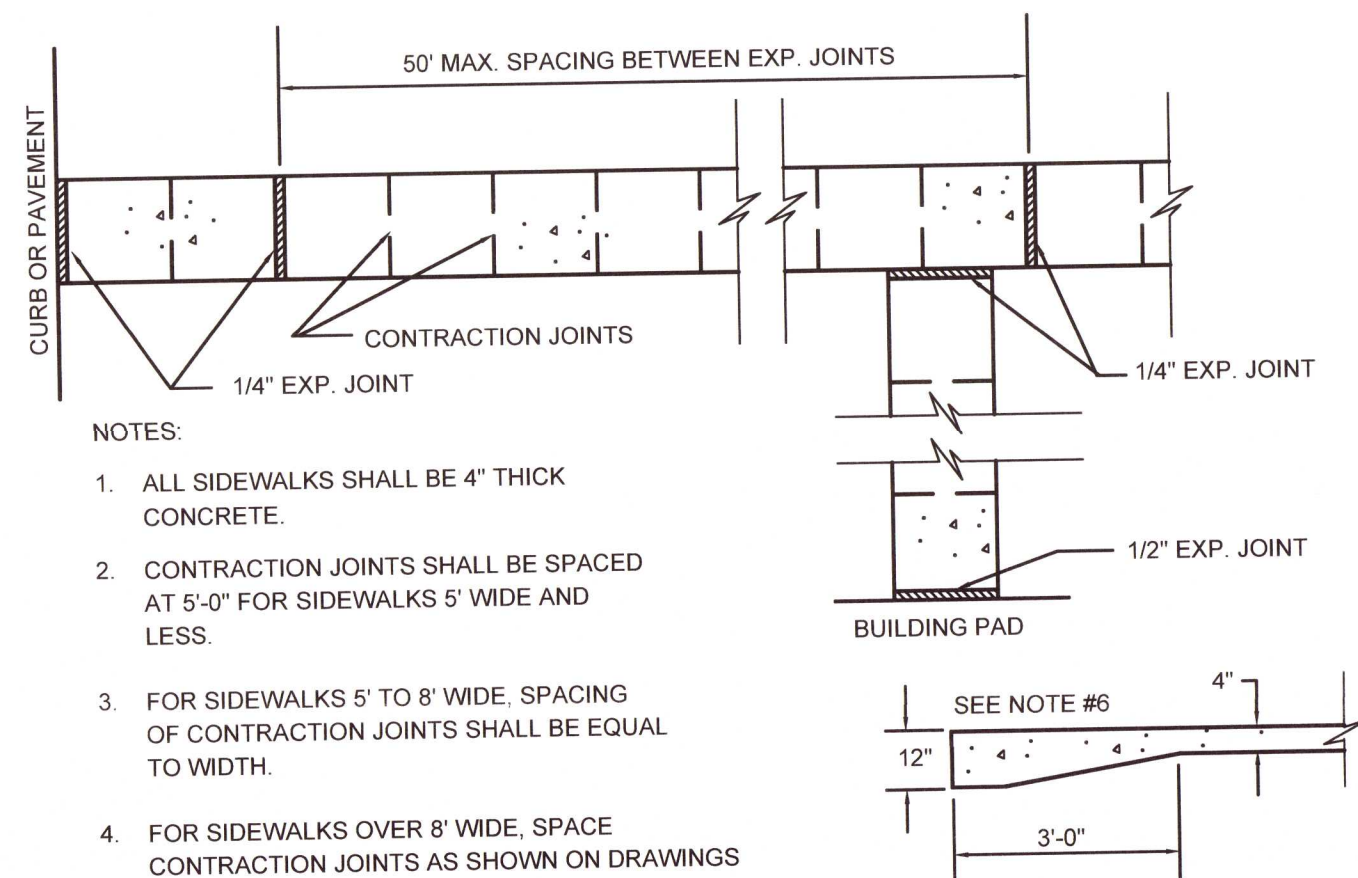


6" RIBBON CURB

SCALE: NTS

NOTE:

1. PROVIDE #6 X 18" LONG, SMOOTH DOWELS AT ALL EXPANSION JOINTS.
2. 3/4" EXPANSION JOINTS WITH BITUMINOUS SEALANT AT 30 FEET INTERVALS AND AT ALL RADII AND AT DRAINAGE STRUCTURES.
3. CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
4. LIGHT BROOM FINISH ON ALL SURFACES, ALL RADII TO BE TRUE ARCS.
5. PROVIDE (2) #4 BARS, 10' LONG, CENTERED OVER ALL TRENCH CROSSINGS.
6. PROVIDE (2) #6 X 2.5' LONG BARS TO CONNECT EXISTING AND NEW CURBS.



NOTES:

1. ALL SIDEWALKS SHALL BE 4" THICK CONCRETE.
2. CONTRACTION JOINTS SHALL BE SPACED AT 5'-0" FOR SIDEWALKS 5' WIDE AND LESS.
3. FOR SIDEWALKS 5' TO 8' WIDE, SPACING OF CONTRACTION JOINTS SHALL BE EQUAL TO WIDTH.
4. FOR SIDEWALKS OVER 8' WIDE, SPACE CONTRACTION JOINTS AS SHOWN ON DRAWINGS.
5. CONTRACTION JOINTS SHALL BE 1" DEEP AND EDGED WITH 1/8" RADIUS.
6. FOR SIDEWALKS 10' OR GREATER OR WHEN SIDEWALK ABUTS CONCRETE WHERE THERE IS NOT A CURB, THICKEN WALK TO 12" IN 3'.
7. PROVIDE 1/4" EXPANSION MATERIAL WHERE SIDEWALK ABUTS CONCRETE STRUCTURE, EVERY 50 FEET AND ALL PC & PT.
8. A LAYER OF #15 FELT IS REQUIRED BETWEEN WALK AND ADJACENT PARALLELING CONCRETE CURB.
9. ALL SIDEWALKS SHALL BE INSTALLED BY THE DEVELOPER DURING SUBDIVISION CONSTRUCTION.
10. SEE PLAN FOR LOCATION OF SIDEWALK & HANDICAP RAMPS.
11. ALL HANDICAP ACCESS AREAS SHALL COMPLY WITH ADA REGULATIONS.
12. TRUNCATED DOMES ON RAMPS ARE REQUIRED.
13. SIDEWALK TO HAVE MAX. CROSS SLOPE=2%, RUNNING SLOPE=5%.
14. CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI.

TYPICAL SIDEWALK DETAIL

SCALE: NTS

REVISION

DATE



CONSTRUCTION DETAILS
(SITE & PAVEMENT DETAILS)

Beulah Self Storage

8660 Beulah Road
Pensacola, Florida 32526



JOB No.

20200859

DATE

06/24/21

DRAWN

JDL

SCALE:

N.T.S.

SHEET

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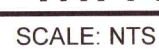
Know what's below.
Call before you dig.



EMBANKMENT INSTALLATION

INSTALLATION TYPE	BEDDING THICKNESS	HAUNCH AND OUTER BEDDING	EMBANKMENT INSTALLATION LOWER SIDE	TRENCH INSTALLATION LOWER SIDE
TYPE 1	Do/24 MINIMUM; NOT LESS THAN 3" IF ROCK FOUNDATION. USE Do/12 MINIMUM; NOT LESS THAN 6"	95% CATEGORY I	90% CATEGORY I, 95% CATEGORY II, OR 95% CATEGORY III	UNDISTURBED NATURAL SOIL WITH FIRMNESS EQUIVALENT TO THE FOLLOWING PLACED SOILS: 90% CATEGORY I, 95% CATEGORY II, 100% CATEGORY III, OR EMBANKMENT TO THE SAME REQUIREMENTS.
TYPE 2	Do/24 MINIMUM; NOT LESS THAN 3" IF ROCK FOUNDATION. USE Do/12 MINIMUM; NOT LESS THAN 6"	80% CATEGORY I, OR 95% CATEGORY II	85% CATEGORY I, 90% CATEGORY II, OR 95% CATEGORY III	UNDISTURBED NATURAL SOIL WITH FIRMNESS EQUIVALENT TO THE FOLLOWING PLACED SOILS: 85% CATEGORY I, 90% CATEGORY II, 95% CATEGORY III, OR EMBANKMENT TO THE SAME REQUIREMENTS.
TYPE 3	Do/24 MINIMUM; NOT LESS THAN 3" IF ROCK FOUNDATION. USE Do/12 MINIMUM; NOT LESS THAN 6"	85% CATEGORY I, 90% CATEGORY II, OR 95% CATEGORY III	85% CATEGORY I, 90% CATEGORY II, OR 95% CATEGORY III	UNDISTURBED NATURAL SOIL WITH FIRMNESS EQUIVALENT TO THE FOLLOWING PLACED SOILS: 85% CATEGORY I, 90% CATEGORY II, 95% CATEGORY III, OR EMBANKMENT TO THE SAME REQUIREMENTS.
TYPE 4	NO BEDDING REQUIRED, EXCEPT IF ROCK FOUNDATION. USE Do/12 MINIMUM, NOT LESS THAN 6"	NO COMPACTION REQUIRED EXCEPT IF CATEGORY III, USE 85% CATEGORY III	NO COMPACTION REQUIRED EXCEPT IF CATEGORY III, USE 85% CATEGORY III	NO COMPACTION REQUIRED EXCEPT IF CATEGORY III, USE 85% CATEGORY III

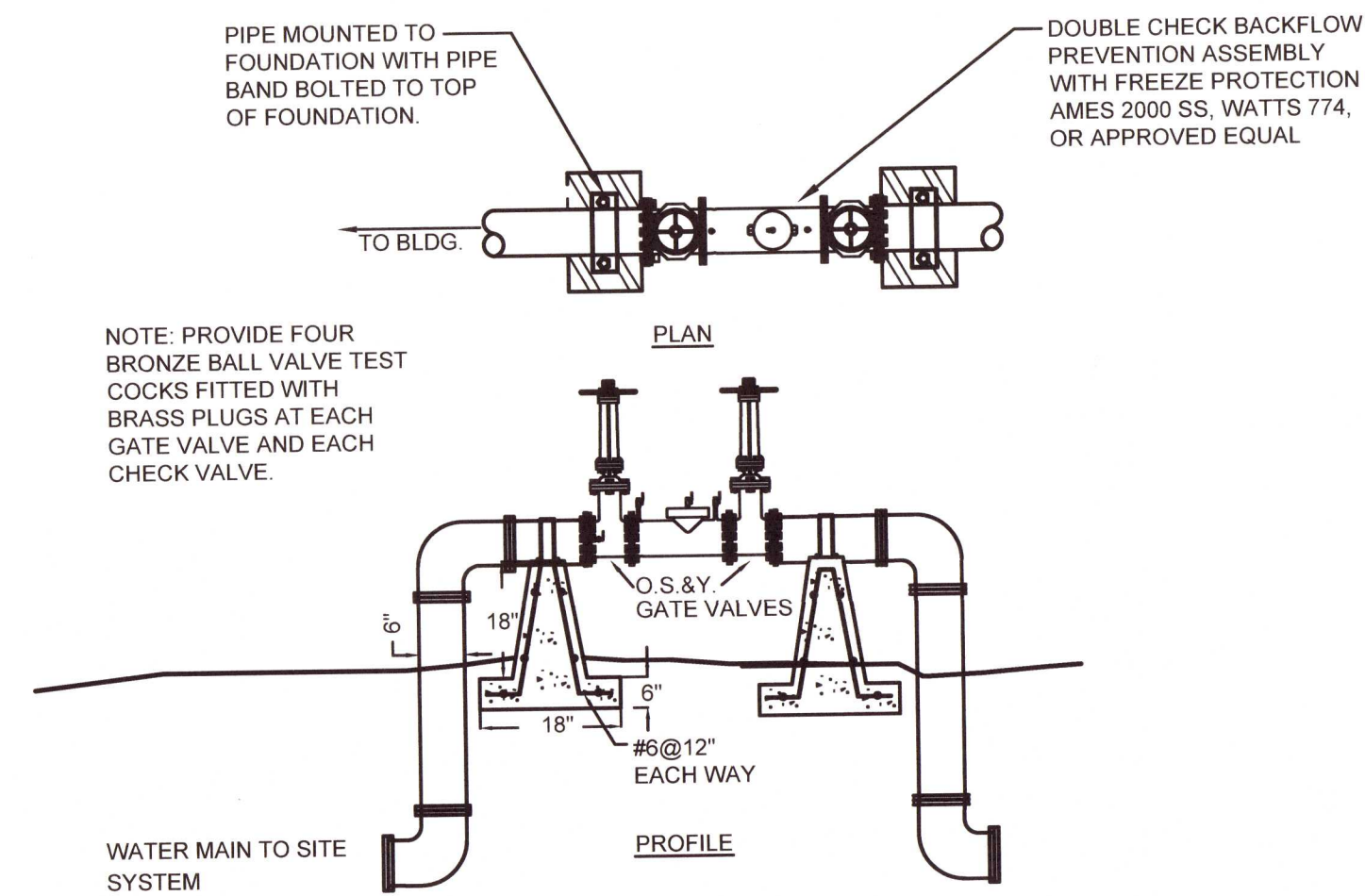
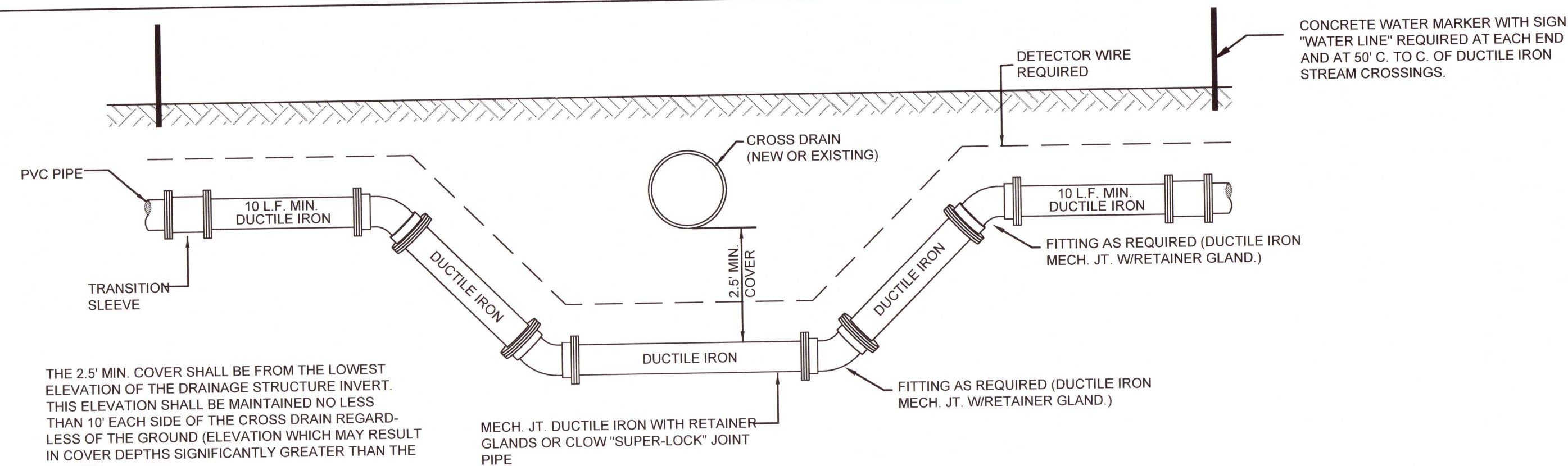
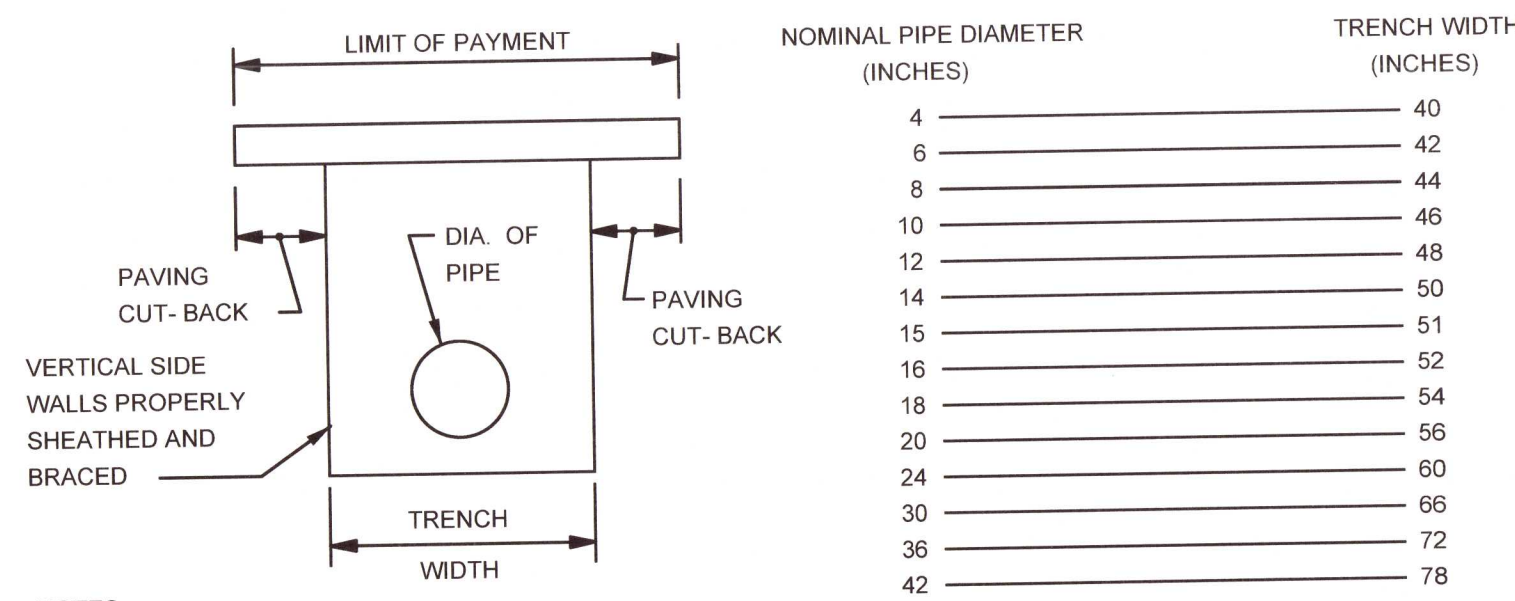
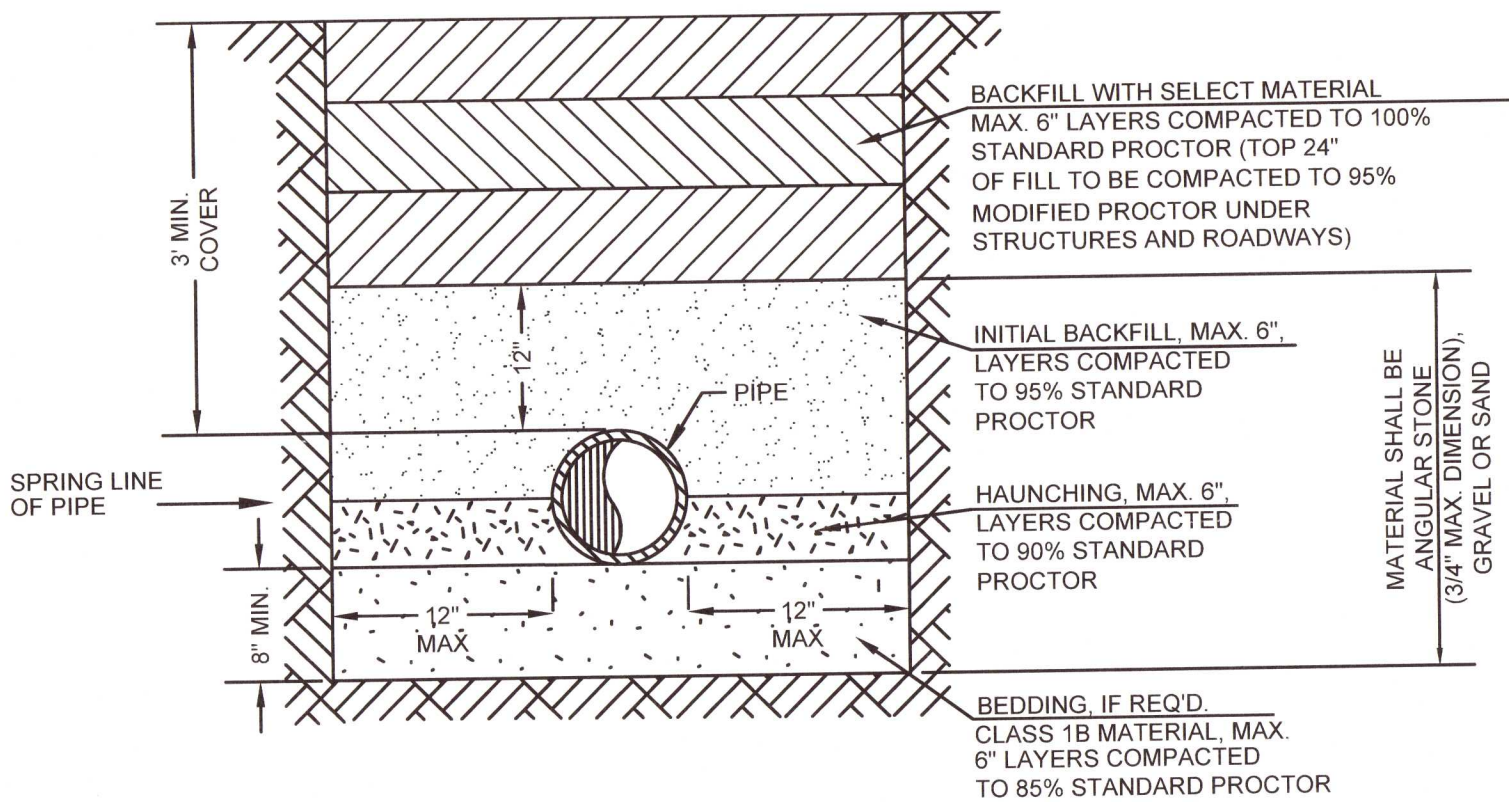
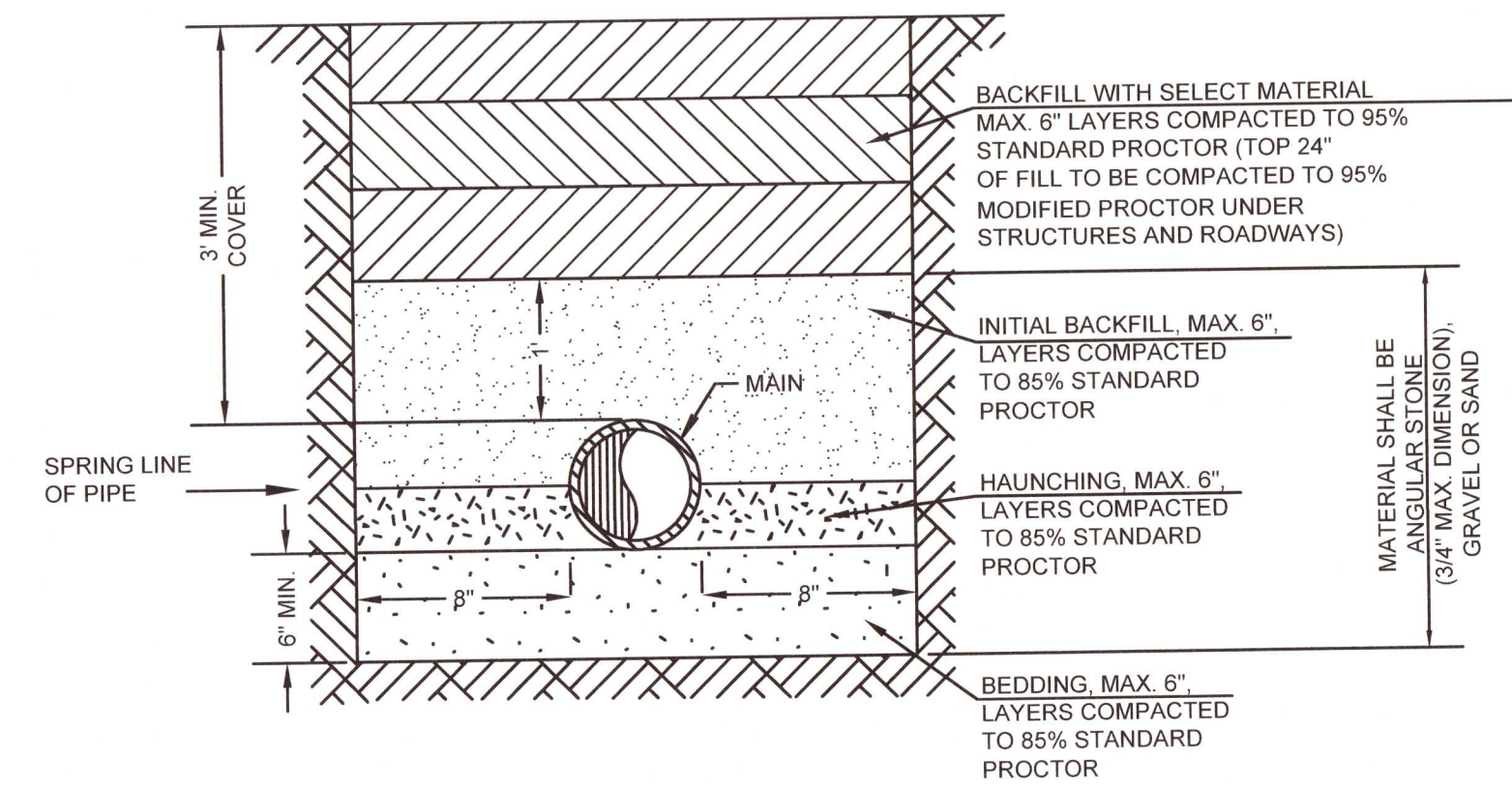
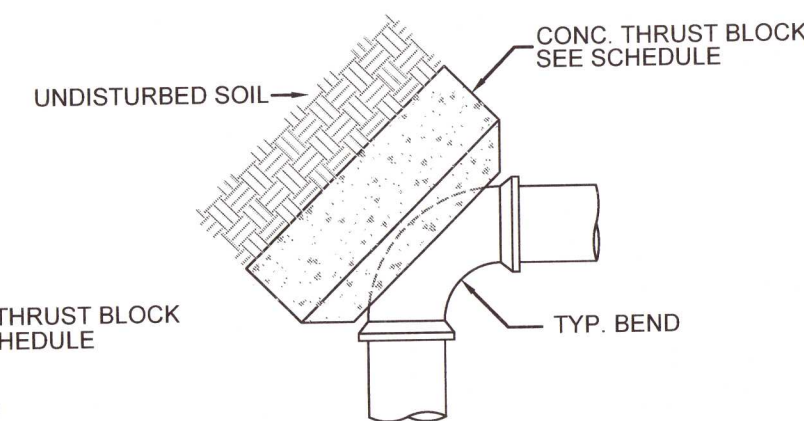
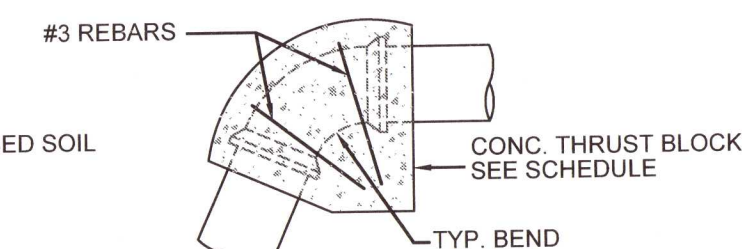
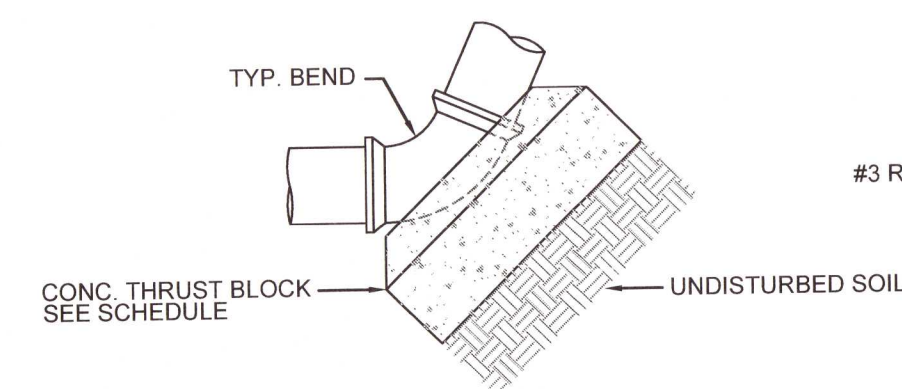
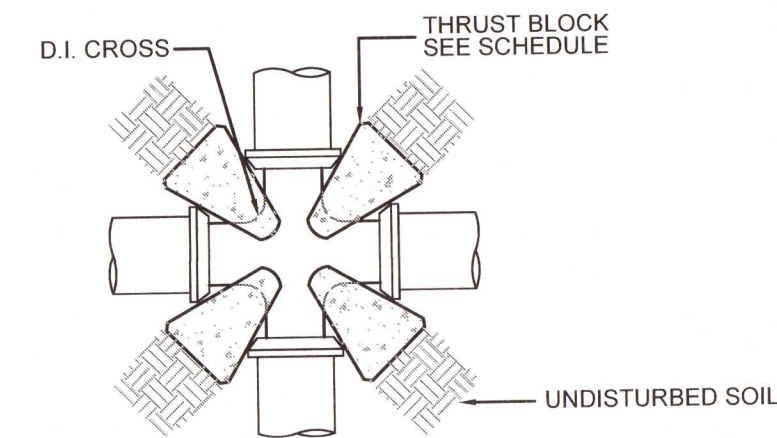
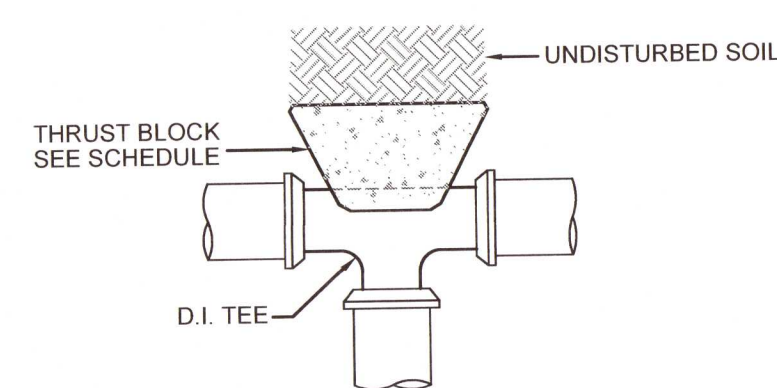
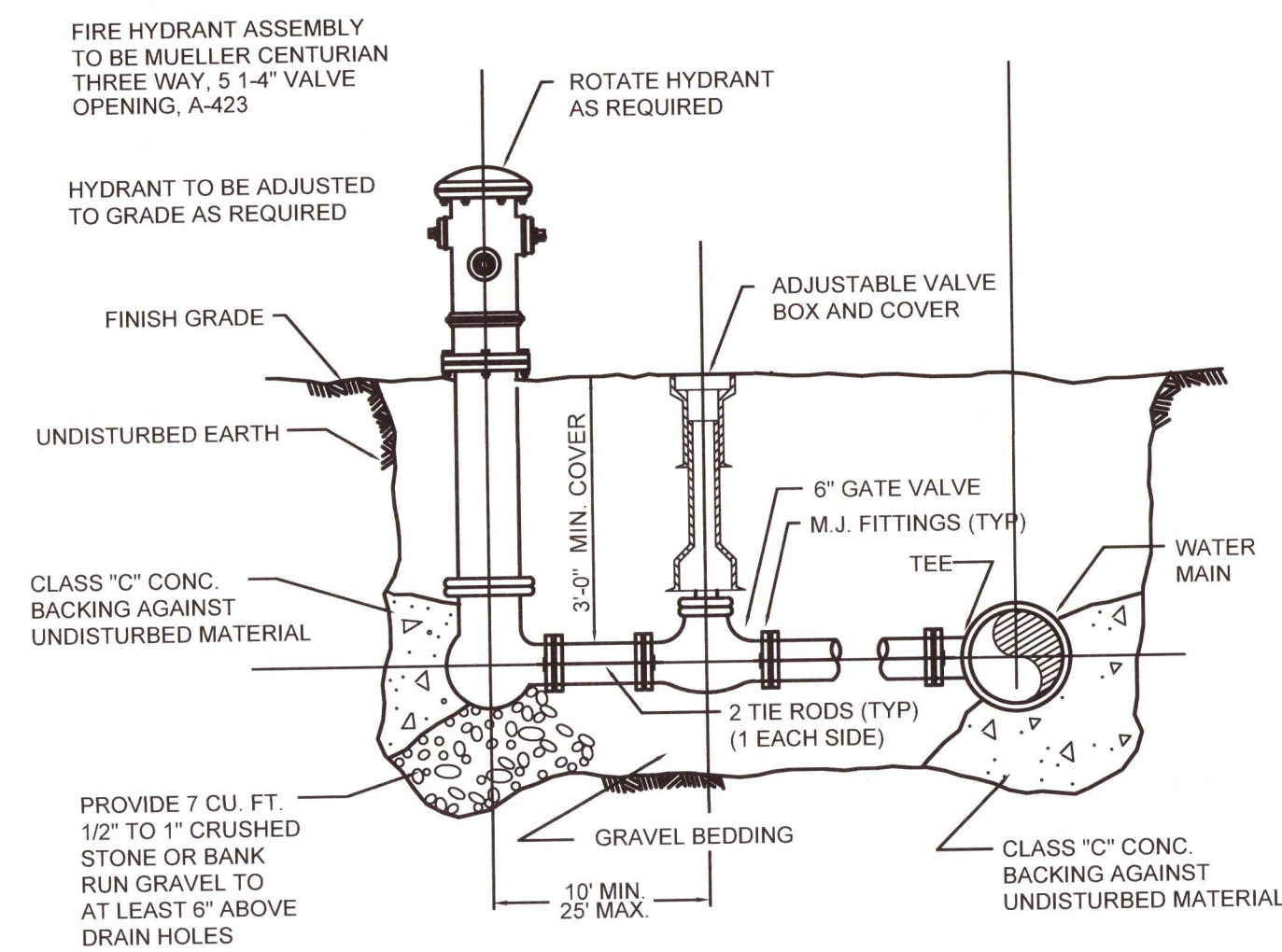
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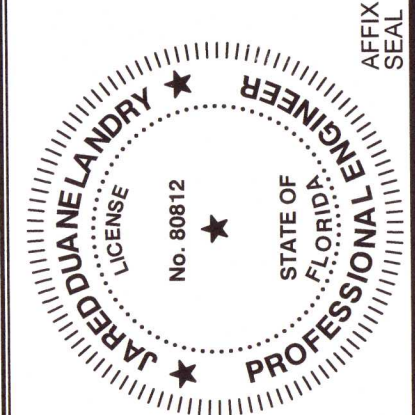
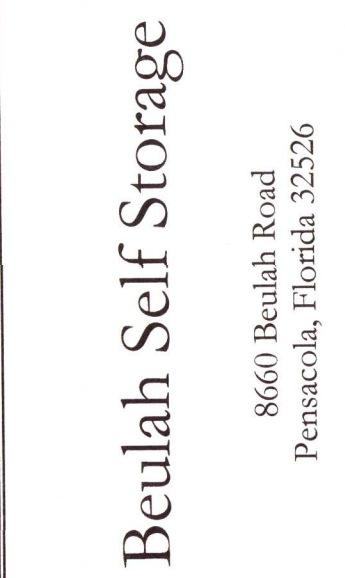
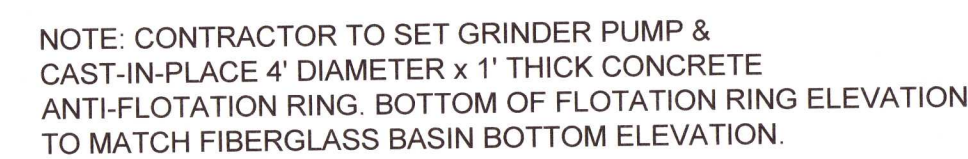


1. CONCRETE TO BE FINISHED WITH TAMPS, WOOD FLOATS AND STIFF BRISTLE BROOMS.
2. 1/2" EXPANSION JOINTS SHALL BE PLACED WHERE SIDEWALKS TIE IN TO A STRUCTURE OR TERMINATE AT CURB, RAMPS OR DRIVEWAYS.
3. DETECTABLE WARNING MATS TO BE PLACED PER ADA REQUIREMENTS.

SCALE: NTS







JOB No. 20200859	DATE 06/24/21
DRAWN JDL	SCALE: N.T.S.

SHEET

D4

LIME RATE:
2 TON PER ACRE ON HIGHLY ACID SOILS (pH 5.5 AND LOWER)

FERTILIZER RATE:
APPLY 450 LBS./ACRE OF 10-20-20 FERTILIZER OR PER MANUFACTURER'S RECOMMENDATIONS

MULCH RATE:
PER MULCHING DETAIL

SCALE: NTS

LIME RATE:
2 TONS PER ACRE FINELY GROUND AGRICULTURAL OR DOLOMITIC LIMESTONE

FERTILIZER RATE:
GRASSES ALONE: 1000 LB/ACRE OF 5-20-10 AND 300 LBS/ACRE OF 38-0-0 IN SPRING
GRASS-LEGUME MIXTURES: 1000 LB/ACRE OF 5-20-10
LEGUMES ALONE: 1000 LB/ACRE OF 5-20-10

SCALE: NTS

SCALE: NTS



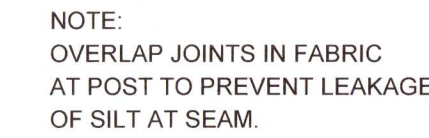
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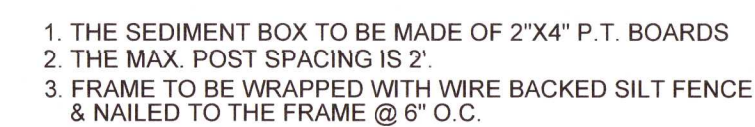
SCALE: NTS



SCALE: NTS



SCALE: NTS



SCALE: NTS



BASE BEARING USED
NORTH LINE, SUBJECT PROPERTY
BEING S90°00'00"E



THIS ITEM HAS BEEN
DIGITALLY SIGNED AND
SEALED BY

Jason W. Braswell
Digitally signed by
Jason W. Braswell
Date: 2022.04.04
12:43:04 -05'00'

ON THE DATE ADJACENT TO THE
SEAL AND

PRINTED COPIES OF THIS DOCUMENT
ARE NOT CONSIDERED SIGNED AND
SEALED AND THE SIGNATURE MUST
BE VERIFIED ON ANY ELECTRONIC
COPIES.

SURVEY CONSULTS, INC.
16961 STATE HWY 180
SUITE D
GULF SHORES AL 36542

JASON W. BRASWELL PLS #6881

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE PLAT SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF THE LAND SURVEYED, THAT THE SURVEY WAS MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION, THAT THIS PLAT COMPLIES WITH ALL THE PROVISIONS OF THE FLORIDA PLAT ACT, CHAPTER 177, SECTION 177.011 - 177.151, FLORIDA STATUTES, AS AMENDED FROM TIME TO TIME, THAT THE BOUNDARY INFORMATION ON THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS, PURSUANT TO CHAPTER 5J-17.050, CHAPTER 5J-17.051 AND 5J-17.052, FLORIDA ADMINISTRATIVE CODE AND SECTION 472.027, FLORIDA STATUTES, AS AMENDED FROM TIME TO TIME, THAT PERMANENT REFERENCE MONUMENTS HAVE BEEN PLACED.

TAX REFERENCE #081S312201000003; A PARCEL OF LAND LYING IN SECTION 8, TOWNSHIP 1 SOUTH, RANGE 31 WEST; ALSO BEING THAT SAME PARCEL OF LAND AS RECORDED IN THE PUBLIC RECORD OF ESCAMBIA COUNTY, FLORIDA IN OR BOOK 1034, PAGE 819, OR BOOK 1031, PAGE 831, AND OR BOOK 8176, PAGE 1242; AND BEING MORE PARTICULAR DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 1 SOUTH, RANGE 31 WEST; THENCE N00°00'00"E, 15.00' TO A POINT; THENCE CONTINUE N00°00'00"E, 340.00' TO A POINT; THENCE N90°00'00"E, 27.01' TO AN IRON PIN ON THE EAST RIGHT-OF-WAY OF BEULAH ROAD (R/W VARIES) AND THE POINT OF BEGINNING. THENCE N90°00'00"E, 357.35' TO AN IRON PIN; THENCE S00°08'49"E, 339.92' TO AN IRON PIN; THENCE S89°59'53"W, 358.99' TO AN IRON PIN ON THE EAST RIGHT-OF-WAY OF BEULAH ROAD THENCE CONTINUE ALONG SAID RIGHT-OF-WAY N00°07'46"E, 339.93' TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS 2.80 ACRES, MORE OR LESS.

PARCEL A: A PORTION OF TAX REFERENCE #081S312201000003; A PARCEL OF LAND LYING IN SECTION 8, TOWNSHIP 1 SOUTH, RANGE 31 WEST; ALSO BEING THAT SAME PARCEL OF LAND AS RECORDED IN THE PUBLIC RECORD OF ESCAMBIA COUNTY, FLORIDA IN OR BOOK 1034, PAGE 819, AND BEING MORE PARTICULAR DESCRIBED AS FOLLOWS:

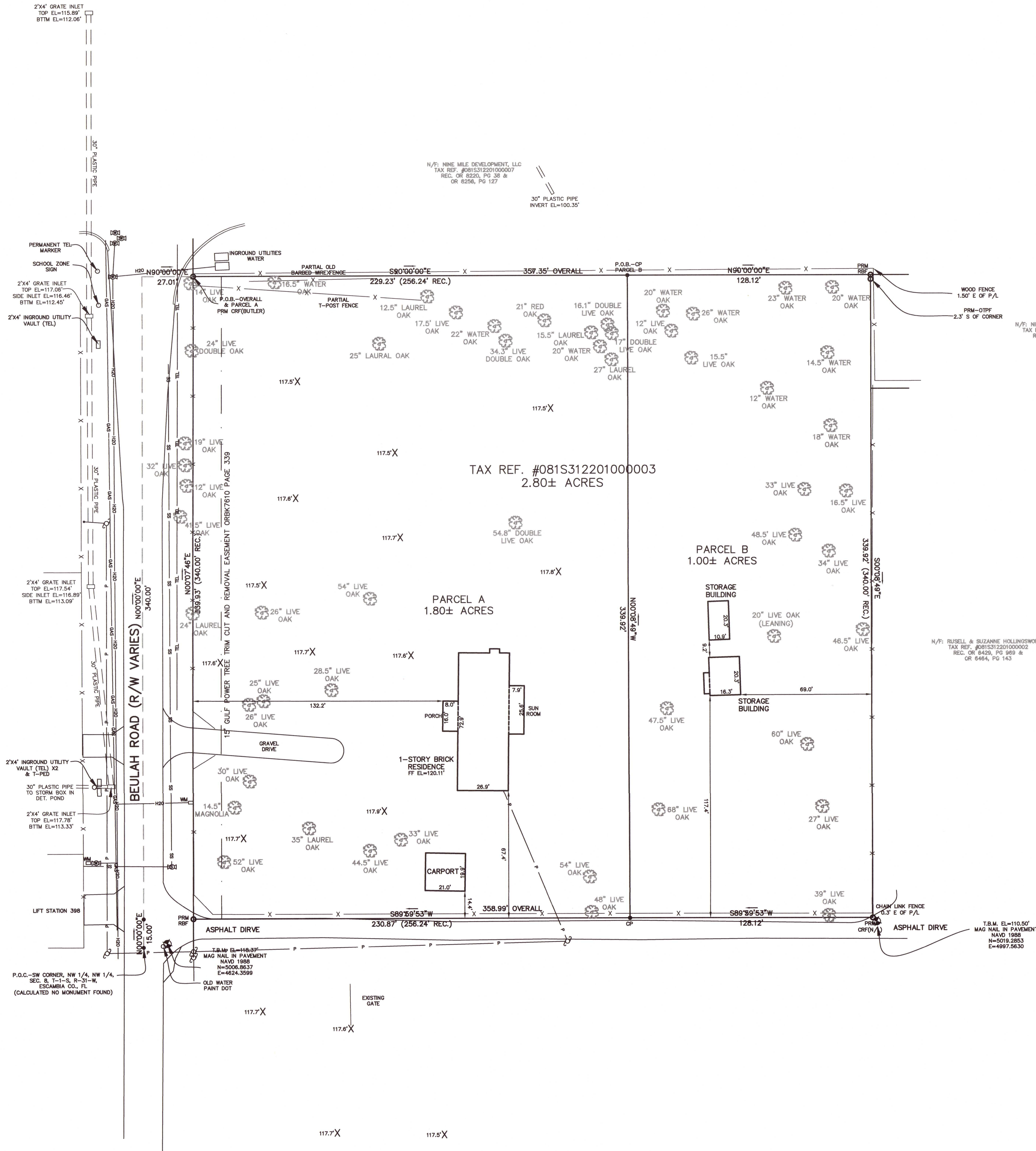
COMMENCING AT A POINT ON THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 1 SOUTH, RANGE 31 WEST; THENCE N00°00'00"E, 15.00' TO A POINT; THENCE CONTINUE N00°00'00"E, 340.00' TO A POINT; THENCE N90°00'00"E, 27.01' TO AN IRON PIN ON THE EAST RIGHT-OF-WAY OF BEULAH ROAD (R/W VARIES) AND THE POINT OF BEGINNING. THENCE N90°00'00"E, 229.23' TO A POINT; THENCE S00°08'49"E, 339.92' TO A POINT; THENCE S89°59'53"W, 230.87' TO AN IRON PIN ON THE EAST RIGHT-OF-WAY OF BEULAH ROAD THENCE CONTINUE ALONG SAID RIGHT-OF-WAY N00°07'46"E, 339.93' TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS 1.80 ACRES, MORE OR LESS.

PARCEL B: A PORTION OF TAX REFERENCE #081S312201000003; A PARCEL OF LAND LYING IN SECTION 8, TOWNSHIP 1 SOUTH, RANGE 31 WEST; ALSO BEING THAT SAME PARCEL OF LAND AS RECORDED IN THE PUBLIC RECORD OF ESCAMBIA COUNTY, FLORIDA IN OR BOOK 1034, PAGE 819, AND BEING MORE PARTICULAR DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT ON THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 8, TOWNSHIP 1 SOUTH, RANGE 31 WEST; THENCE N00°00'00"E, 15.00' TO A POINT; THENCE CONTINUE N00°00'00"E, 340.00' TO A POINT; THENCE N90°00'00"E, 27.01' TO AN IRON PIN ON THE EAST RIGHT-OF-WAY OF BEULAH ROAD (R/W VARIES) AND THE POINT OF BEGINNING. THENCE N90°00'00"E, 229.23' TO A POINT; THENCE S00°08'49"E, 339.92' TO AN IRON PIN; THENCE S89°59'53"W, 230.87' TO AN IRON PIN ON THE EAST RIGHT-OF-WAY OF BEULAH ROAD THENCE CONTINUE ALONG SAID RIGHT-OF-WAY N00°07'46"E, 339.93' TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS 1.00 ACRES, MORE OR LESS.

THERE ARE NO VISIBLE ENCROACHMENTS OF ANY IMPROVEMENTS OR UTILITIES, EXCEPT AS SHOWN. ACCORDING TO MY SURVEY THIS, THE 2ND DAY OF DECEMBER, 2020.

JASON BRASWELL FL LIC #6881 LB #8005



LEGEND

CRF	CAPPED REBAR FOUND (1/2")
CRS	CAPPED REBAR SET (1/2")
CTF	CRIMP TOP FOUND
DCF	DIGGER CHAIN FOUND
OTF	OPEN TOP FOUND
RBF	REBAR FOUND
B/L	BUILDING LINE
CL	CENTERLINE
DE	DRAINAGE EASEMENT
EP	EDGE OF PAVEMENT
-X-	FENCE
R/W	RIGHT-OF-WAY
UE	UTILITY EASEMENT
C/O	CLEAN OUT
	DOUBLE WING CATCHBASIN
	DROP INLET
	FIRE HYDRANT
	GAS METER
	GAS VALVE
	HEADWALL
	JUNCTION BOX
	LIGHT POLE
	MANHOLE
	POWER POLE
	POWER BOX
	POWER POLE
	SANITARY SEWER MANHOLE
	SINGLE WING CATCHBASIN
	WATER METER
	WATER VALVE
	AIR CONDITIONER
	UNDERGROUND TELECOMMUNICATIONS
	SEWER VALVE
	GUY WIRE
	NOT LEGIBLE
	PROPERTY LINE
	DSI
	SS
	H2O

REVISION NOTE 02 07 22

TREE DATA SHOWN TAKEN FROM REPORT PREPARED BY
WETLAND SCIENCES ON OR ABOUT FEB. 2, 2022 AND PROVIDED
BY CLIENT.

REVISION NOTE 10 11 21

ADDED SECOND TBM NEAR THE SOUTHEAST
CORNER OF SUBJECT PROPERTY.

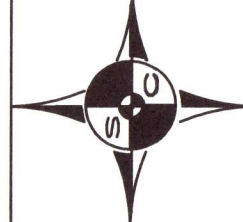
REVISION NOTE 7 12 21

ADDITIONAL TOPOGRAPHIC SHOTS TAKEN 100' SOUTH OF
SOUTH PROPERTY LINE. ADDITIONAL UTILITY LOCATE WITHIN
BEULAH ROAD RIGHT-OF-WAY UNDER SUNSHINE811 TICKET
174102141 ON 6/25/21.

SURVEYOR'S NOTES

1. RECORD DEEDS PROVIDED BY CLIENT.
2. THERE MAY BE EASEMENTS AFFECTING THIS PROPERTY THAT ARE NOT VISIBLE.
3. PREVIOUS DEEDS OF RECORD AND OR SURVEYS USED TO DETERMINE PROPERTY LINES.
4. FIELD WORK PERFORMED OVER SEVERAL DAYS IN NOVEMBER, 2020.
5. CERTIFICATION IS MADE TO PERSON(S) NAMED HEREON AND IS NOT TRANSFERABLE TO OTHERS.
6. RIGHT-OF-WAY IS FOR GRAPHICAL PURPOSES ONLY.
7. OWNERS SHOULD CONSULT WITH LOCAL AUTHORITIES BEFORE MAKING ANY IMPROVEMENTS.
8. CERTIFICATION IS MADE TO PERSON(S) NAMED HEREON AND IS NOT TRANSFERABLE TO OTHERS.
9. UNDERGROUND UTILITIES MARKED UNDER TICKET #314001626.
10. ELEVATIONS DETERMINED USING A LEICA 1200 GPS UNIT, RTK, NAVD 1988, CORS ALEB, AL90, & PGLA, AND THE OPUS WEBSITE.

SURVEY CONSULTS, INC.



PROFESSIONAL LAND SURVEYORS

16961 ST. HWY. #180, SUITE D GULF SHORES, AL 36542

251-968-2124

SURVEYCONSULTS.GS@GMAIL.COM

ASBUILT AND TOPOGRAPHIC
SURVEY FOR:

STOIC EQUITY PARTNERS

FILE: 9717D
DWG. BY: RJP
CHKD BY: JWB
DATE:
DEC. 2, 2020
SCALE:
1"= 30'

TREE PRESERVATION NOTES

TREE SURVEY DISCLAIMER:

1. ALL TREE SURVEY INFORMATION HAS BEEN PROVIDED TO LANDSCAPE ARCHITECT BY S.E. ENGINEERS / WSL.

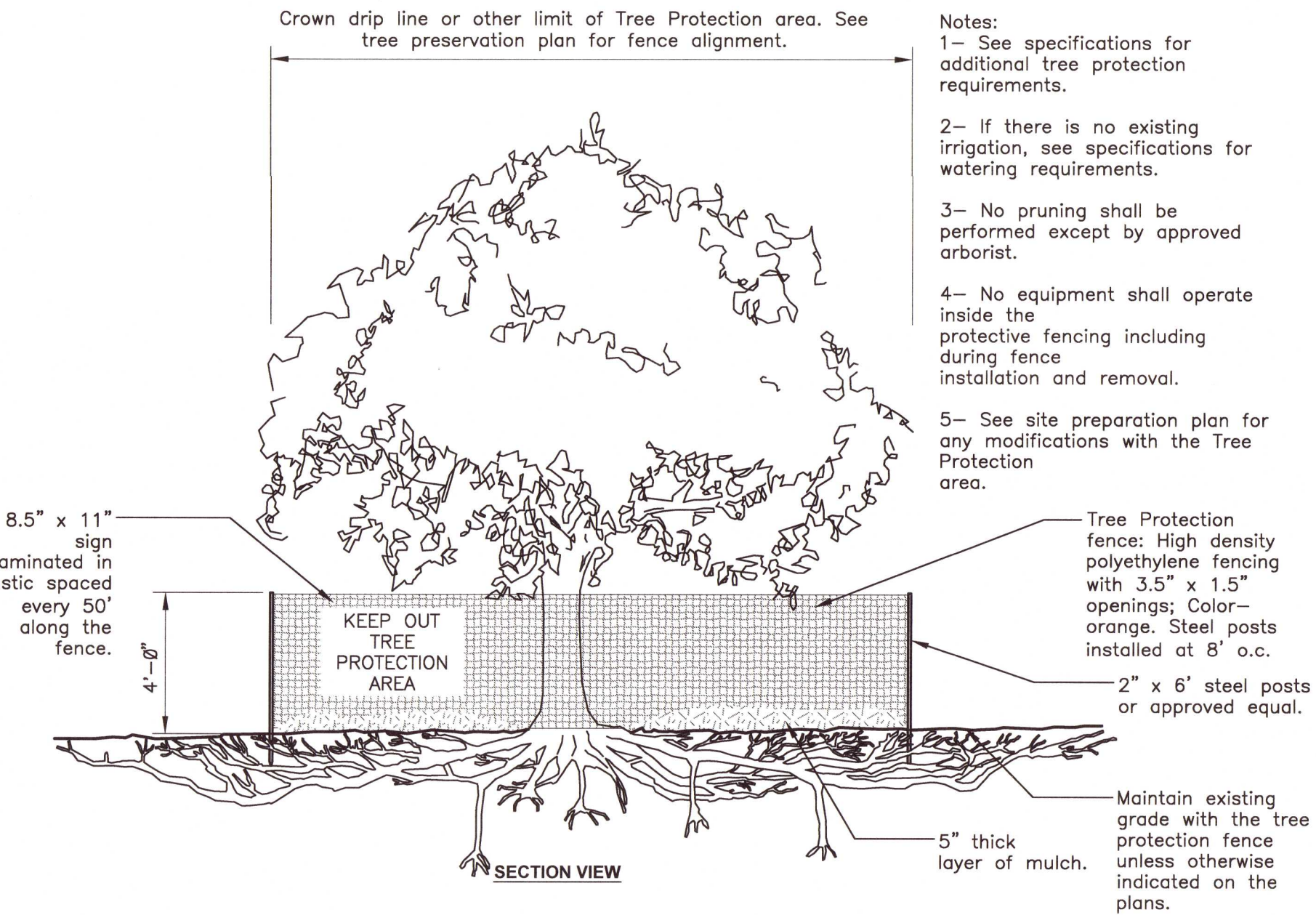
TREE PRESERVATION/REMOVAL NOTES:

1. ALL TREES PROPOSED FOR REMOVAL ARE SHOWN IN ASHADE OF GRAY WITH AN "X" ON TOP, WHILE ALL TREES TO BE PRESERVED ARE SHOWN IN BLACK.

HERITAGE TREES TO BE REMOVED						
Number	Botanical Name	Common Name	Health Status	Quantity	DBH	Total
13	<i>Quercus virginiana</i>	Live Oak	50% Canopy Loss & Co-dominant stem failure	1	60	60
				Total DBH to be Removed		60
				Required inches to be replaced (50% of Removal inches)		30
Since Tree is in poor health condition, 50% reduction from standard mitigation has been approved				Total inches replaced		15
				Required inches to be replaced		15
				Total inches replaced		15
				Required # of 3" Trees for replacement		5
				Provided # of 3" Trees		5

NON-HERITAGE TREES TO BE REMOVED						
Number	Botanical Name	Common Name	Health Status	Quantity	DBH	Total
2	<i>Quercus virginiana</i>	Live Oak		1	30	30
3	<i>Magnolia grandifolia</i>	Magnolia		1	14.5	14.5
4	<i>Quercus virginiana</i>	Live Oak		1	26	26
5	<i>Quercus virginiana</i>	Live Oak		1	25	25
8	<i>Quercus virginiana</i>	Live Oak		1	33	33
9	<i>Quercus virginiana</i>	Live Oak		1	48	48
10	<i>Quercus virginiana</i>	Live Oak		1	54	54
12	<i>Quercus virginiana</i>	Live Oak		1	47.5	47.5
13	<i>Quercus virginiana</i>	Live Oak		1	60	60
14	<i>Quercus virginiana</i>	Live Oak		1	27	27
16	<i>Quercus virginiana</i>	Live Oak	Leaning	1	20	n/a
18	<i>Quercus virginiana</i>	Live Oak		1	34	34
19	<i>Quercus virginiana</i>	Live Oak		1	48.5	48.5
20	<i>Quercus virginiana</i>	Live Oak		1	33	33
21	<i>Quercus virginiana</i>	Live Oak		1	16.5	16.5
22	<i>Quercus nigra</i>	Water Oak		1	18	18
23	<i>Quercus virginiana</i>	Live Oak		1	12	12
24	<i>Quercus nigra</i>	Water Oak		1	14.5	14.5
27	<i>Quercus nigra</i>	Water Oak		1	26	26
28	<i>Quercus nigra</i>	Water Oak		1	20	20
29	<i>Quercus virginiana</i>	Live Oak		1	12	12
30	<i>Quercus virginiana</i>	Live Oak		1	15.5	15.5
31	<i>Quercus laurifolia</i>	Laurel Oak		1	27	27
32	<i>Quercus virginiana</i>	Live Oak		1	17	17
33	<i>Quercus virginiana</i>	Live Oak		1	16.1	16.1
34	<i>Quercus nigra</i>	Water Oak		1	20	20
35	<i>Quercus laurifolia</i>	Laurel Oak		1	15.5	15.5
36	<i>Quercus falcata</i>	Red Oak		1	21	21
37	<i>Quercus virginiana</i>	Live Oak		1	34.3	34.3
38	<i>Quercus nigra</i>	Water Oak		1	22	22
40	<i>Quercus virginiana</i>	Live Oak		1	17.5	17.5
41	<i>Quercus laurifolia</i>	Laurel Oak		1	25	25
42	<i>Quercus virginiana</i>	Live Oak	Split	1	54.8	n/a
43	<i>Quercus virginiana</i>	Live Oak		1	54	54
44	<i>Quercus virginiana</i>	Live Oak		1	28.5	28.5
45	<i>Quercus virginiana</i>	Live Oak		1	26	26
				Total DBH to Be Removed		938.9
				Required inches to be replaced (50% of Removal inches)		469.45
				Site Acreage		2.8
				Replacement Limit (25" per Acre)		70
				Required inches to be replaced		70
				Required # of 2.5" Trees for replacement		28
				Provided # of 2.5" Trees		3
				Remainder mitigation trees		25
				Cost of each replacement tree per Escambia County's fee schedule		\$ 350.00
				Total cost of unplanted mitigation trees		\$ 8,750.00

TREES TO BE REMAIN						
Number	Botanical Name	Common Name	Quantity	DBH	Total	
1	<i>Quercus virginiana</i>	Live Oak	1	52	52	
6	<i>Quercus laurifolia</i>	Laurel Oak	1	35	35	
7	<i>Quercus virginiana</i>	Live Oak	1	44.5	44.5	
11	<i>Quercus virginiana</i>	Live Oak	1	68	68	
15	<i>Quercus virginiana</i>	Live Oak	1	39	39	
17	<i>Quercus virginiana</i>	Live Oak	1	46.5	46.5	
25	<i>Quercus nigra</i>	Water Oak	1	20	20	
26	<i>Quercus nigra</i>	Water Oak	1	23	23	
39	<i>Quercus laurifolia</i>	Laurel Oak	1	12.5	12.5	
46	<i>Quercus laurifolia</i>	Laurel Oak	1	24	24	
47	<i>Quercus nigra</i>	Water Oak	1	16.5	16.5	
48	<i>Quercus virginiana</i>	Live Oak	1	14	14	
49	<i>Quercus virginiana</i>	Live Oak	1	39	39	
50	<i>Quercus virginiana</i>	Live Oak	1	19	19	
51	<i>Quercus virginiana</i>	Live Oak	1	35	35	
52	<i>Quercus virginiana</i>	Live Oak	1	12	12	
53	<i>Quercus virginiana</i>	Live Oak	1	41.5	41.5	
				Total DBH To Remain		541.5



2 TREE PROTECTION
1/4" = 1'-0"

URBAN TREE FOUNDATION © 2014
OPEN SOURCE FREE TO USE
FX-PL-FX-TRMT-02

NOT
FOR CONSTRUCTION
THESE PLANS HAVE NOT BEEN
APPROVED AND ARE SUBJECT
TO CHANGE.

A Landscape Development Plan for
**Beulah Rd. Storage
Facility**
Escambia County, Florida

Revisions		
No.	Date	Revisions / Submissions
	07.09.21	COUNTY SUBMITTAL
	02.21.22	COUNTY SUBMITTAL
	05.16.22	COUNTY SUBMITTAL
	05.19.22	COUNTY SUBMITTAL

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SJW	Drawn	Registration - FL LA6666896
VTW	Project Manager	
LCW	Principal	
213395-002	Project No.	
06.08.21	Date	
Sheet Title		Drawings not valid without seal



TREE PROTECTION
PLAN

Sheet No.

TP200

1 TREE PROTECTION PLAN
Scale: 1" = 20'

NOT
FOR CONSTRUCTION
THESE PLANS HAVE NOT BEEN
APPROVED AND ARE SUBJECT
TO CHANGE.

A Landscape Development Plan for
**Beulah Rd. Storage
Facility**
Escambia County, Florida

LANDSCAPE INSTALLATION NOTES

- ALL PROTECTED TREE REMOVAL, LAND CLEARING, FILLING/PLACEMENT OF ANY FILL MATERIALS, GRADING, EXCAVATIONS, BERMING, OR ANY OTHER "LAND DISTURBING ACTIVITIES" SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.
- PROPOSED LANDSCAPE IS ASSUMED TO BE INSTALLED AFTER THE COMPLETION OF THE SITE WORK. SHOULD TREES BE INSTALLED PRIOR TO THE COMPLETION OF SITE WORK, TREE BARRICADES SHALL BE INSTALLED AROUND PLANTED TREES UNTIL ALL SITE WORK IS COMPLETE AND THE SITE BECOMES STABILIZED.

ESCAMBIA COUNTY DSM COMPLIANCE

- QUALITY. ALL PLANTS ARE TO BE FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES AS NOTED IN THE GENERAL PLANTING NOTES.
- SPECIES. ALL PLANTS ARE NATIVE PLANT SPECIES OR THOSE SPECIES LISTED IN THE FLORIDA-FRIENDLY LANDSCAPING GUIDE TO PLANT SELECTION AND LANDSCAPE DESIGN.
- TREES. ALL PROPOSED TREES WILL NORMALLY ATTAIN A MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES OR GREATER MEASURED AT FOUR INCHES ABOVE ROOT BALL AT PLANTING AS SPECIFIED IN THE PLANTING SCHEDULE. THESE TREES ALSO MEET THE FOLLOWING CRITERIA:
 - NON-NATIVE SPECIES. NON-NATIVE SPECIES ARE LIMITED TO 25 PERCENT OR LESS OF THE TOTAL REQUIRED TREES PLANTED.
 - DIVERSITY. THE PROPOSED TREE DIVERSITY MEETS THE MINIMUM COUNTY REQUIREMENTS.
- INSTALLATION. WHENEVER LANDSCAPING IS REQUIRED OR ANY CONDITION OF COUNTY APPROVAL IT SHALL BE INSTALLED IN A SOUND MANNER ACCORDING TO ESTABLISHED PROFESSIONAL STANDARDS, AND IN COMPLIANCE WITH THIS MANUAL.
- PLANT PLACEMENT. THE INSTALLATION OF PLANTS IN APPROPRIATE LOCATIONS IS ESSENTIAL TO THEIR LONG-TERM SURVIVAL. LOCATIONS SHOULD MATCH MATURE PLANT SIZE TO AVAILABLE SOIL VOLUME AND OTHER CONDITIONS FOR GROWTH. APPROPRIATE SEPARATION FROM PAVEMENT AND STRUCTURES, INCLUDING STREETS, DRIVEWAYS, CURBS, SIDEWALKS, SIGNS, LIGHTS AND UTILITIES MUST BE PROVIDED.
- SIGHT DISTANCES. LANDSCAPING WITHIN THE SIGHT DISTANCE AREAS PRESCRIBED IN ARTICLE 9 FOR STREETS AND SITE ACCESS SHALL BE DESIGNED, INSTALLED AND MAINTAINED TO ALLOW VISIBILITY BETWEEN THREE FEET AND NINE FEET ABOVE GRADE. THE TRUNKS OF MATURE TREES TRIMMED OF FOLIAGE TO NINE FEET, AND NEWLY PLANTED TREES WITH IMMATURE CROWN DEVELOPMENT ALLOWING VISIBILITY ARE GENERALLY ACCEPTABLE WITHIN SUCH AREAS.
- MINIMUM TREE AREA. EACH NEW TREE SHALL BE PLANTED AT THE CENTER OF A MINIMUM PERMANENT PERVIOUS ROOTING AREA CLEAR OF ALL OBSTRUCTIONS TO ALLOW GROWTH TO MATURITY. THE MINIMUM RADIUS OF THE ROOTING AREA SHALL BE FOUR FEET FOR AN UNDERSTORY TREE AND SIX FEET FOR A CANOPY TREE. THIS MINIMUM CIRCULAR AREA SHALL CONTAIN NO SIDEWALKS, CURBS OR PAVEMENT AND NO STRUCTURES, INCLUDING LIGHT OR UTILITY POLES, SIGNS, MANHOLES, STORMWATER INLETS, VAULTS, TRANSFORMERS, FIRE HYDRANTS OR BACKFLOW PREVENTERS.
- MINIMUM TREE SPACING. EACH NEW CANOPY AND UNDERSTORY TREE SHALL BE PLANTED AT LEAST 12 FEET FROM ANY OTHER TREE. ADDITIONALLY, ANY TREES TO BE PLANTED WITHIN THE CRITICAL ROOT ZONES OF PRESERVED CANOPY TREES ARE LIMITED TO UNDERSTORY TREES.
- OVERHEAD UTILITIES. WHERE OVERHEAD UTILITIES EXIST, PLANTS PROPOSED WILL NOT CREATE PERSISTENT UTILITY MAINTENANCE OR INTERFERENCE PROBLEMS. MAY BE INSTALLED. ALL TREES PLANTED DIRECTLY BELOW POWER LINES SHALL BE AN UNDERSTORY TREE. ALL CANOPY TREES PLANTED SHALL BE AT LEAST 25 FEET FROM POWER LINES, AND LARGE MATURING SPECIES SHOULD BE PLANTED AT LEAST 50 FEET AWAY.

COMMERCIAL LANDSCAPE REQUIREMENTS (DSM.2-2.1)

Total Site Area:	121,751 s.f.
Required Landscape Area (15%):	18,263 s.f.
Provided Landscape Area:	42,273 s.f.

BUFFER REQUIREMENTS

Buffer Type B

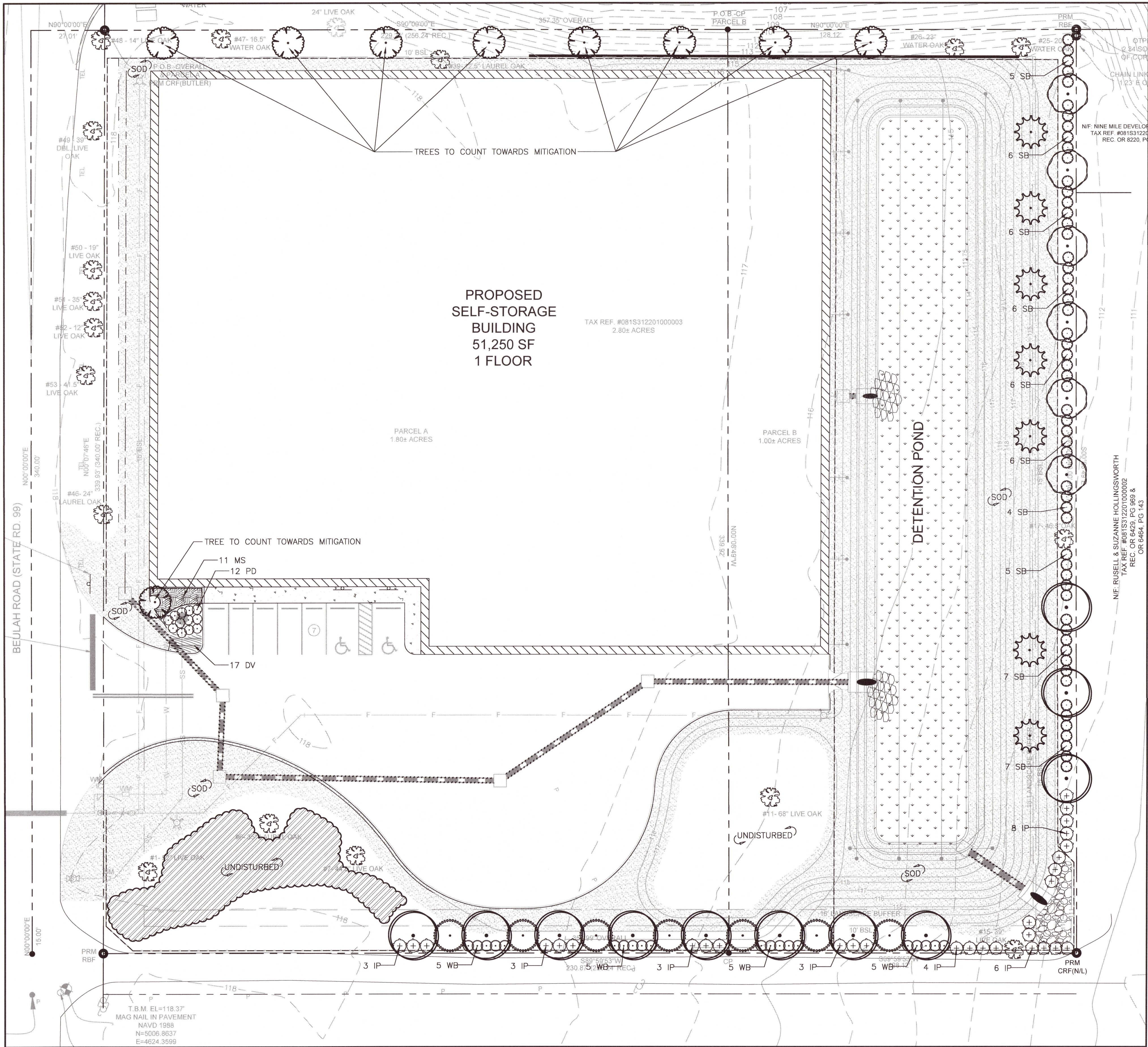
South Perimeter

2.5 canopy trees per	100 LF ROW	@	322.3 LF = 8.06 canopy trees
	Total Canopy Trees Required:		8 trees
	Total Canopy Trees Provided:		8 trees
2 understory tree per	100 LF ROW	@	322.3 LF = 6.45 understory trees
	Total Understory Trees Required:		7 trees
	Total Understory Trees Provided:		7 trees
20 shrubs per	100 LF ROW	@	322.3 LF = 64.46 shrubs
	Total Shrubs Required:		64 shrubs
	Total Shrubs Provided:		40 shrubs

The use of existing vegetation to remain is to count towards remainder required

East Perimeter

2.5 canopy trees per	100 LF ROW	@	339.9 LF = 8.50 canopy trees
	Total Canopy Trees Required:		9 trees
	Total Canopy Trees Provided:		9 trees
2 understory tree per	100 LF ROW	@	339.9 LF = 6.80 understory trees
	Total Understory Trees Required:		7 trees
	Total Understory Trees Provided:		7 trees
20 shrubs per	100 LF ROW	@	339.9 LF = 67.98 shrubs
	Total Shrubs Required:		68 shrubs
	Total Shrubs Provided:		68 shrubs



1 LANDSCAPE PLANTING PLAN
Scale: 1" = 20'

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SJW
Drawn
VTW
Project Manager
LCW
Principal
213395-002
Project No.
06.08.21
Date

Registration - FL LA6666896



Drawings not valid without seal

Sheet Title

**LANDSCAPE
PLANTING PLAN**

Sheet No.

LP200

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HT	REMARKS	
	AR	6	ACER RUBRUM	RED MAPLE	B&B OR CONT	2.5" CAL	10'	FULL HEAD, SPECIMEN QUALITY	
	IC	9	ILEX CASSINE	DAHOO HOLLY	B&B OR CONT	2.5" CAL	10'	TREE-FORM, STANDARD	
	MA	7	MAGNOLIA VIRGINIANA	SWEETBAY MAGNOLIA	B&B OR CONT	1.5" CAL	8'	3 TRUNKS; FULL HEAD	
	MC2	7	MYRICA CERIFERA	WAX MYRTLE	B&B OR CONT	1.5" CAL	8'	MINIMUM 3 TRUNKS; FULL HEAD	
	QV	11	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	B&B OR CONT	2.5" CAL	10'	FULL HEAD, SPECIMEN QUALITY	
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT	W	SPACING	REMARKS
	WB	20	CLETHRA ALNIFOLIA	SWEET PEPPERBUSH	3 GAL			48" o.c.	ROUND AND FULL
	IP	30	ILICIIUM PARVIFLORUM	FLORIDA ANISE	3 GAL			60" o.c.	
	PD	12	LOROPETALUM CHINENSE 'PURPLE DIAMOND'	PURPLE DIAMOND LOROPETALUM	3 GAL			42" o.c.	
	SB	58	VIBURNUM OBOVATUM	WALTER'S VIBURNUM	3 GAL			48" o.c.	
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT	W	SPACING	REMARKS
	MS	11	MISCANTHUS SINENSIS 'ADAGIO'	ADAGIO MAIDEN GRASS	3 GAL			42" o.c.	
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT		SPACING	
	DV	17	DIETES VEGETA	WHITE AFRICAN IRIS	1 GAL			24" o.c.	
SOD/SEED	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT		SPACING	
	SEED	9,137 SF	CYNODON DACTYLON 'HYDROSEED'	BERMUDA HYDROSEED	SEED				
	SOD	27,689 SF	CYNODON DACTYLON 'TIFWAY 419'	TIFWAY 419 BERMUDA GRASS	SOD				

800-432-4770

Always call 811 two full business days before you dig to have underground utilities located & marked.

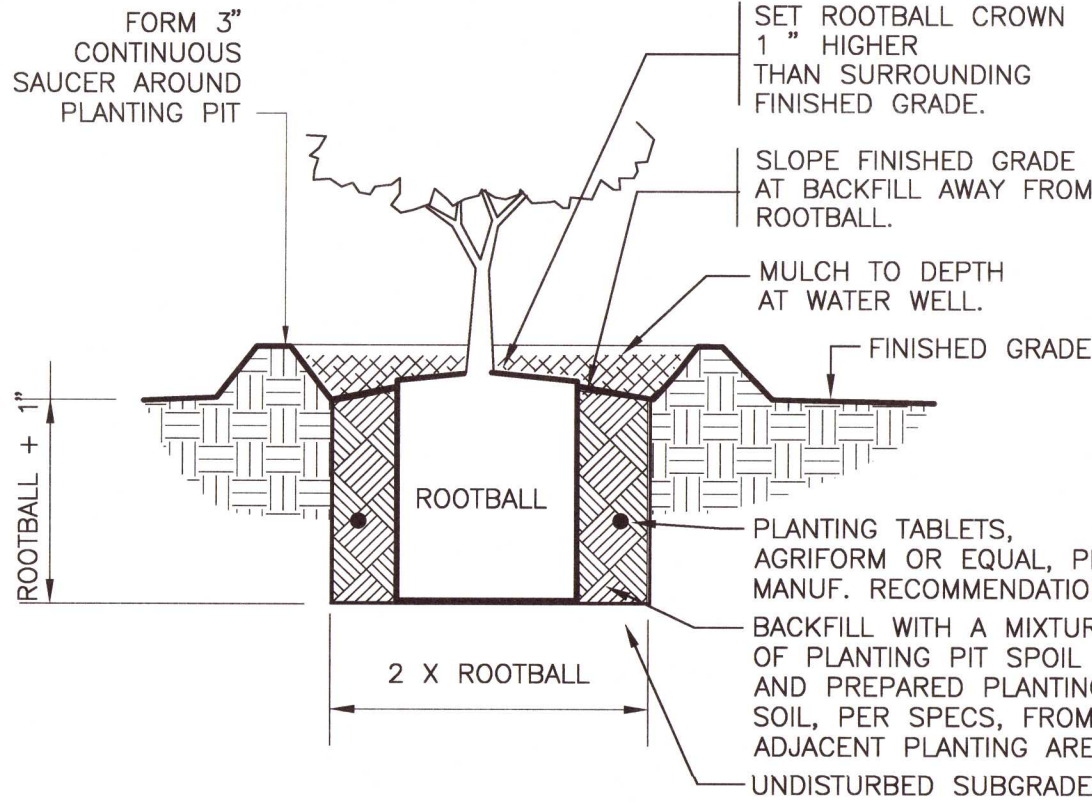
Sunshine811.com

GENERAL CONDITIONS

- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE INSPECTION PRIOR TO LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO ACQUAINT HIMSELF WITH EXISTING CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES BEFORE BEGINNING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF LANDSCAPE MATERIAL AT ALL TIMES. LANDSCAPE CONTRACTOR TO COORDINATE SAFE STAGING AREA WITH GENERAL CONTRACTOR AND/OR OWNER.
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL, INCLUDING GRASS, FOR 365 CONSECUTIVE CALENDAR DAYS FROM SUBSTANTIAL COMPLETION OF THE WORK, AS DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT.
- ALL AREAS IMPACTED NEGATIVELY BY CONSTRUCTION PROCESSES SHALL BE RETURNED TO ORIGINAL CONDITION OR BETTER PRIOR TO SUBSTANTIAL COMPLETION.
- LANDSCAPE AREA SOIL PREPARATION
 - SOIL SHALL BE AMENDED BY THE ADDITION OF COMPOST AND FERTILIZER. COMPOST TYPE SHALL BE MUSHROOM COMPOST OR DECOMPOSED PINE BARK, AND SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE. COMPOST SHALL BE UNIFORMLY APPLIED OVER PLANTING BEDS AT AN AVERAGE DEPTH OF 2 INCHES AND OVER SOD AREAS AT AN AVERAGE DEPTH OF 3/4 INCH.
 - INCORPORATE COMPOST UNIFORMLY IN PLANTING BEDS TO A DEPTH OF 6 INCHES AND IN SOD AREAS TO A DEPTH OF 3 INCHES USING A ROTARY TILLER OR OTHER APPROPRIATE EQUIPMENT. PRE-PLANT FERTILIZER AND PH ADJUSTING AGENTS (E.G., LIME AND SULFUR) MAY BE APPLIED IN CONJUNCTION WITH COMPOST INCORPORATION, AS NECESSARY.
 - RAKE SOIL SURFACE SMOOTH PRIOR TO PLANTING.
 - REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
 - WATER THOROUGHLY AFTER PLANTING.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING 3% POSITIVE DRAINAGE IN ALL PLANTING BEDS. ANY OTHER PROPOSED DRAINAGE METHODS SHALL BE COORDINATED WITH PLANTING EFFORTS TO MINIMIZE CONFLICTS AND MAINTAIN PROPER FUNCTION OF DRAINAGE SYSTEMS.

PLANT MATERIAL AND PLANTING

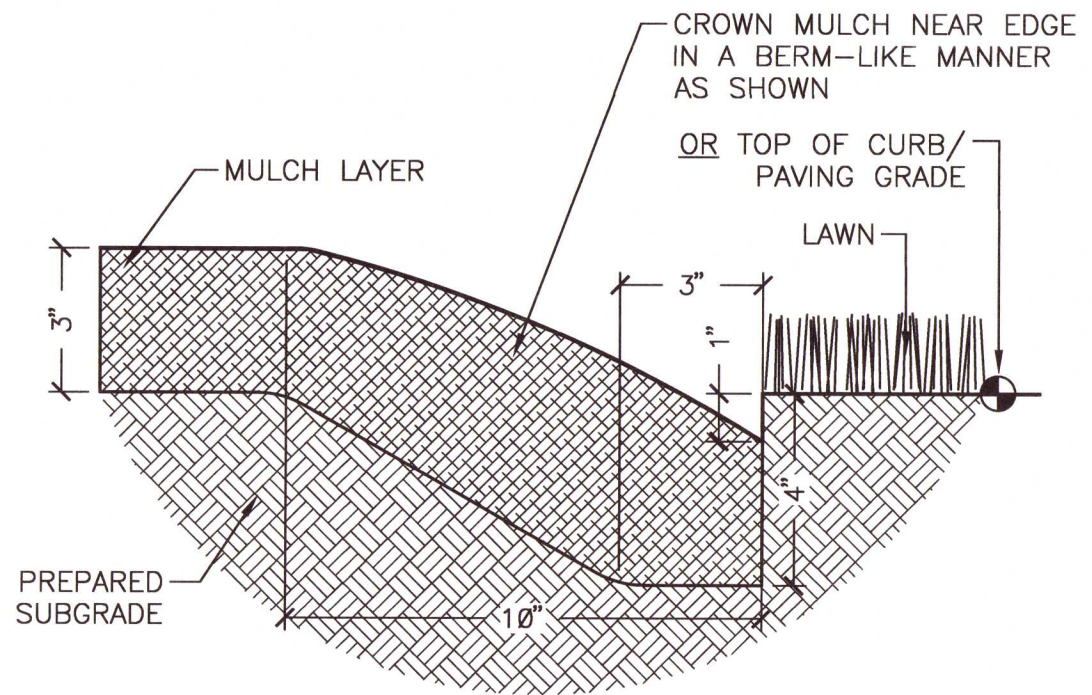
- PLANT QUANTITIES ARE OFFERED AS A CONVENIENCE TO THE CONTRACTOR, AND ARE NOT ABSOLUTE. CONTRACTOR SHALL VERIFY PLANT COUNT FROM PLAN AND REPORT DIFFERENCES.
- ALL PLANT MATERIALS ARE SUBJECT TO APPROVAL OR REFUSAL BY THE OWNER OR LANDSCAPE ARCHITECT AT THE JOB SITE.
- PLANTS SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM INJURY, INSECTS AND DISEASES. PLANTS SHALL EQUAL OR SURPASS QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERYMEN, INC.
- UNLESS NOTED SPECIFICALLY, ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN.
- FRONT ROW OF SHRUBS SHALL BE PLANTED FROM CENTER OF PLANT A MINIMUM OF 24" BEHIND BED LINE @ LAWNS OR WALKS AND A MINIMUM OF 36" BACK OF CURB @ PARKING SPACES.
- NO PRUNING SHOULD BE PERFORMED DURING FIRST GROWING SEASON EXCEPT FOR REMOVING DAMAGED OF DEAD GROWTH. WOUND PAINT IS NOT RECOMMENDED FOR ANY CUTS.
- ALL PLANTING AREAS, TREE PITS, AND OTHER AREAS INDICATED ON PLANS SHALL BE MULCHED WITH A SETTLED LAYER OF THE INDICATED MULCH:
 - ☐ 3" DEPTH PINE BARK
 - ☐ 4" DEPTH SHREDDED HARDWOOD MULCH
 - ☒ 3" DEPTH LONGLEAF PINESTRAW, SETTLED
- TRENCH EDGE TO BE LOCATED BETWEEN ALL PLANTING AREAS AND LAWN, UNLESS NOTED OTHERWISE.
- TREE STAKING SHALL BE PROVIDED TO KEEP TREES PLUMB AND PROTECTED FROM EXCESSIVE WINDS. ALL TREE-STAKING APPARATUS SHALL BE REMOVED AT THE END OF THE ONE-YEAR WARRANTY PERIOD.
- ONE YEAR OF LANDSCAPE MAINTENANCE FROM SUBSTANTIAL COMPLETION SHALL BE INCLUDED AS AN OPTIONAL BID ITEM TO THE OWNER.



5 SHRUB PLANTING

1" = 1'-0"

329433.13-01

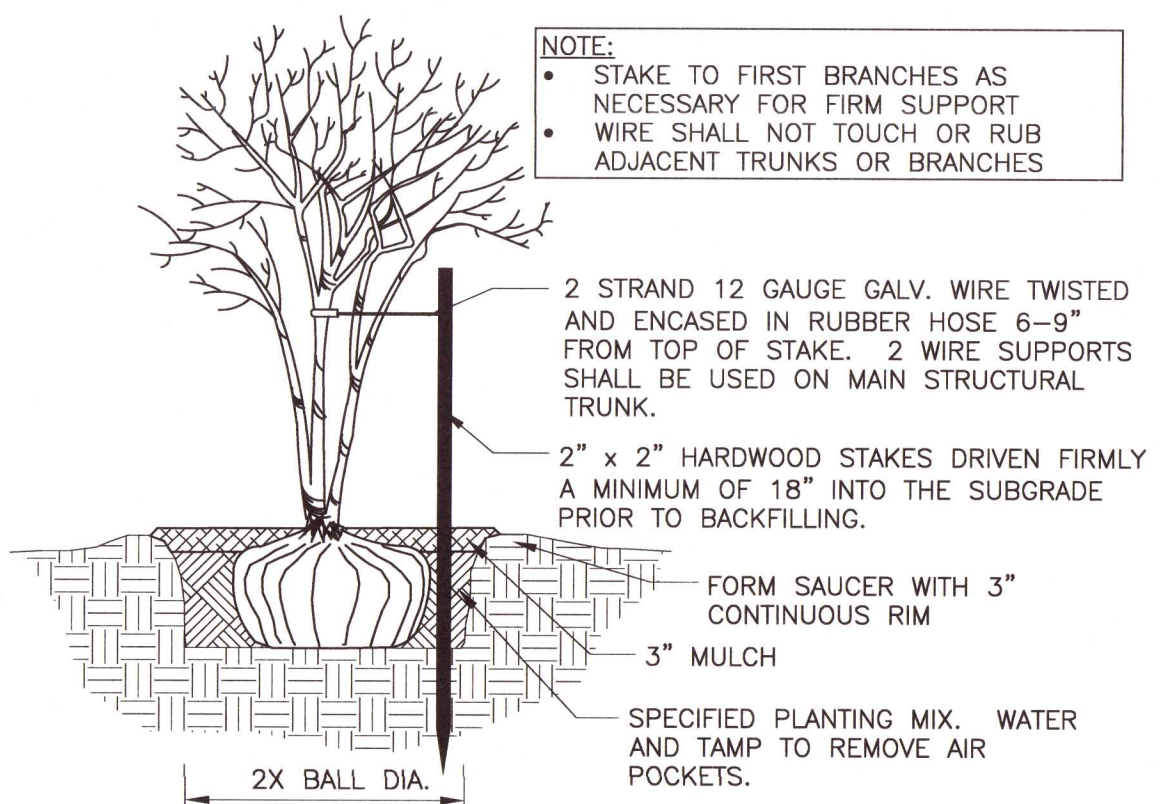


NOTE: TRENCH EDGE TO BE LOCATED BETWEEN ALL PLANTING BED AREAS AND ADJACENT TURF AREAS, UNLESS NOTED OTHERWISE.

2 TRENCH EDGE

3" = 1'-0"

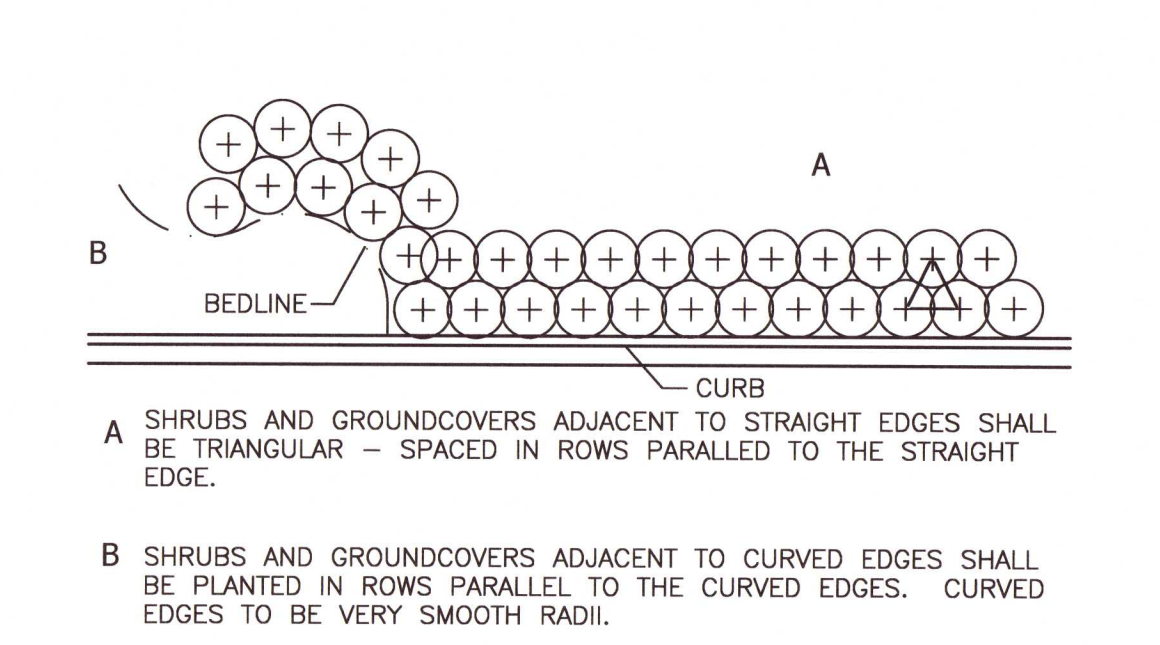
329413.23-02



6 MULTI-TRUNK TREE STAKING

1/2" = 1'-0"

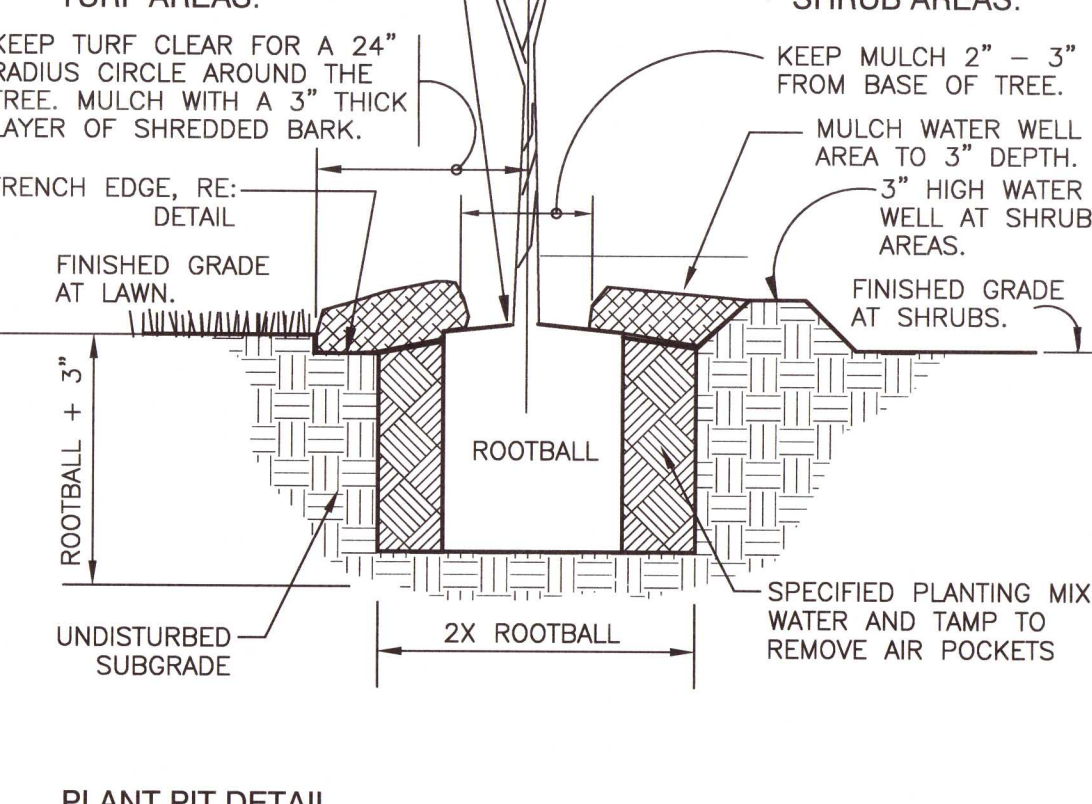
329343-01



3 TYPICAL PLANT SPACING

NOT TO SCALE

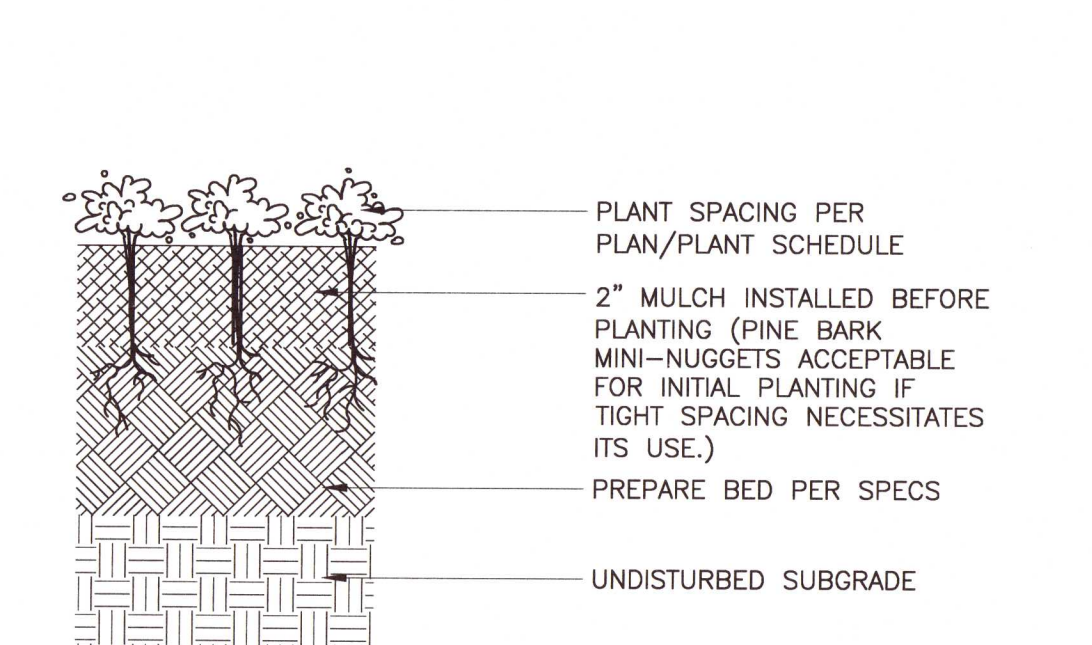
329399-04



7 TREE PLANTING - GUY STRAP

1" = 1'-0"

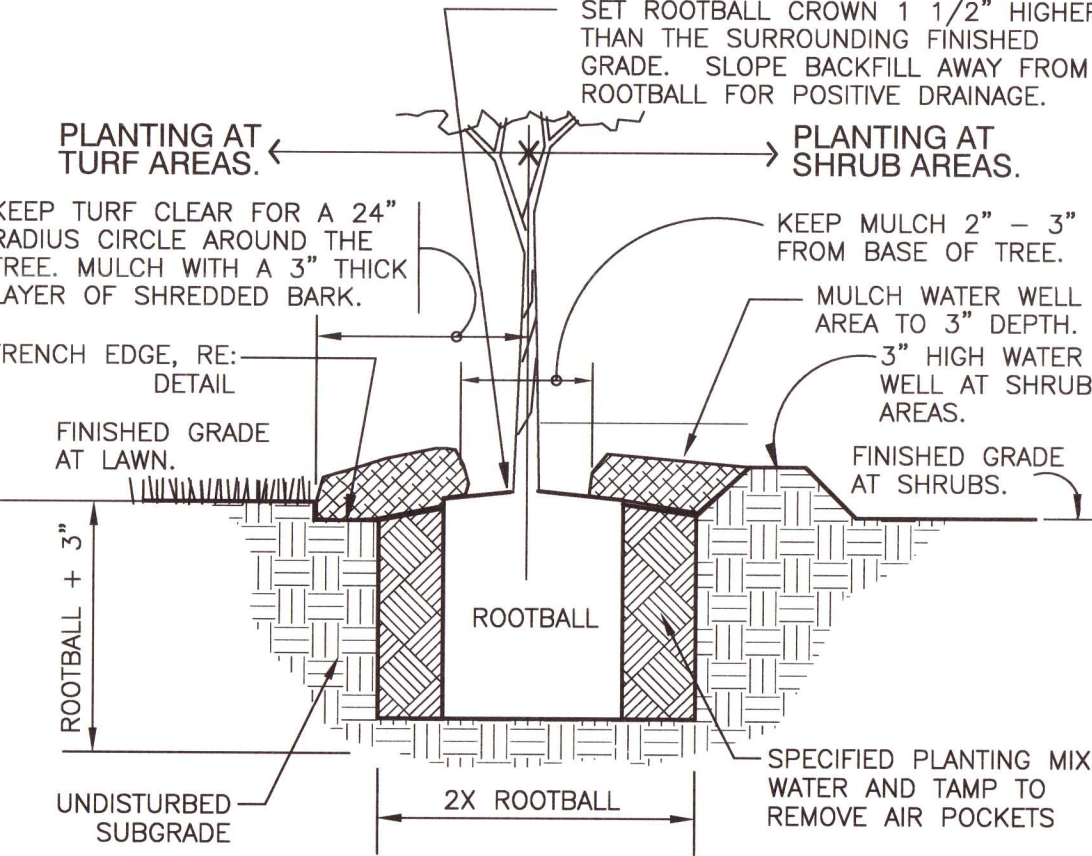
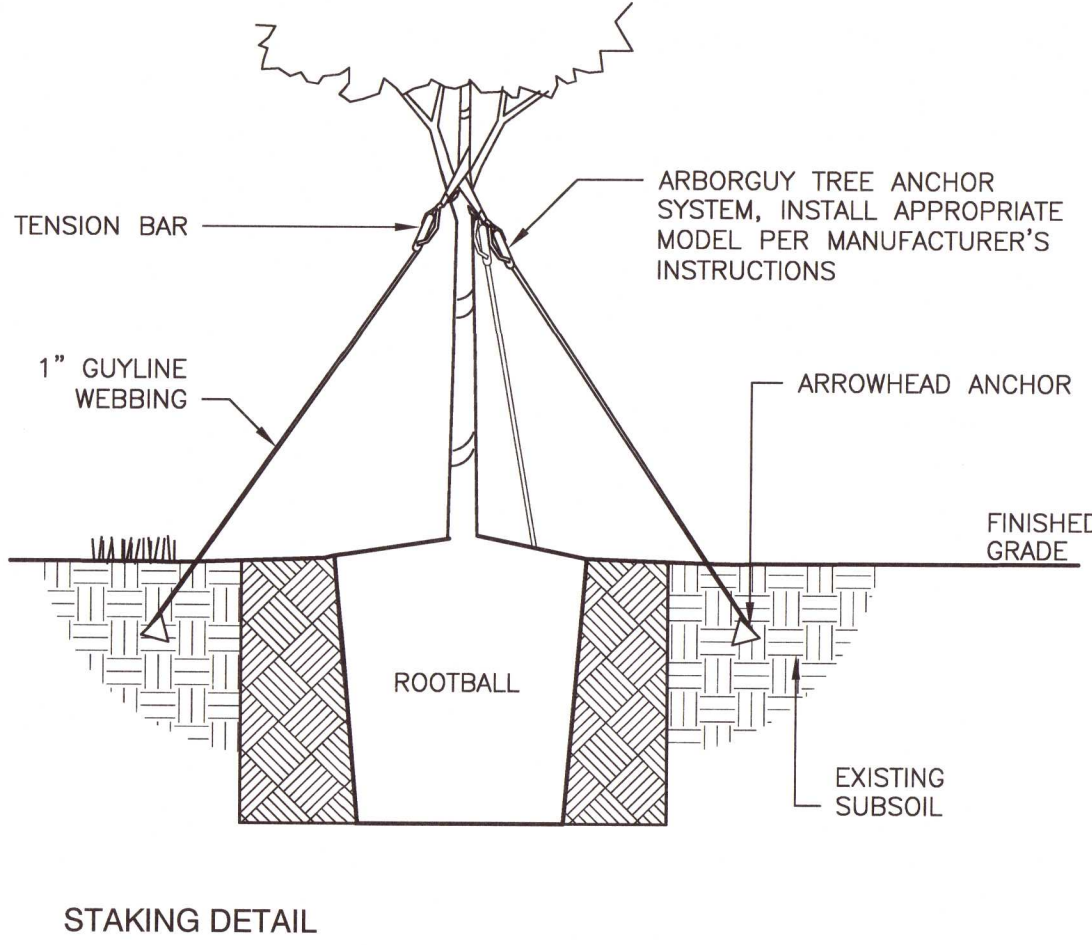
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4 GROUNDCOVER PLANTING

3" = 1'-0"

329313-01



PLANT PIT DETAIL

Revisions			
No.	Date	Revisions / Submissions	
07.09.21		COUNTY SUBMITTAL	
02.21.22		COUNTY SUBMITTAL	
05.16.22		COUNTY SUBMITTAL	
05.19.22		COUNTY SUBMITTAL	

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SJW

Drawn

VTW

Project Manager

LCW

Principal

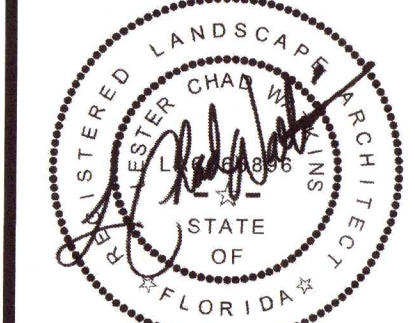
213395-002

Project No.

06.08.21

Date

Registration - FL LA6666896



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Sheet Title

LANDSCAPE PLANTING DETAILS

Sheet No.

LP500

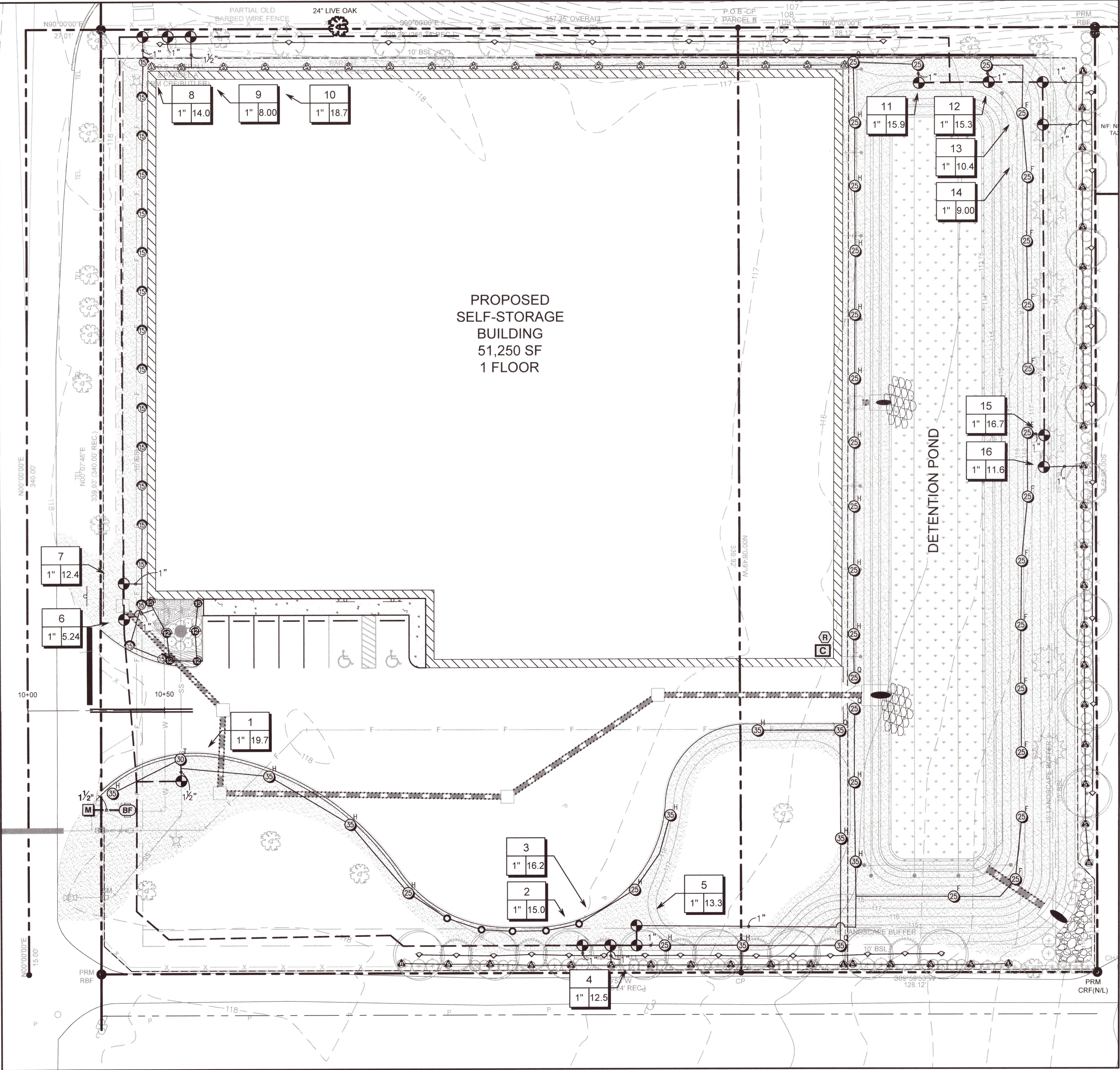


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NOT FOR CONSTRUCTION
THESE PLANS HAVE NOT BEEN APPROVED AND ARE SUBJECT TO CHANGE.

A Landscape Development Plan for
Beulah Rd. Storage Facility
Escambia County, Florida



1 LANDSCAPE IRRIGATION PLAN
Scale: 1"= 20'

NOT
FOR CONSTRUCTION
THESE PLANS HAVE NOT BEEN
APPROVED AND ARE SUBJECT
TO CHANGE.


A Landscape Development Plan for
Beulah Rd. Storage Facility
Escambia County, Florida

Revisions		
No.	Date	Revisions / Submissions
07.09.21		COUNTY SUBMITTAL
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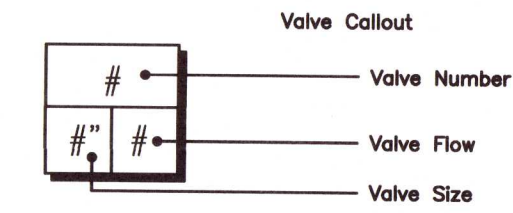
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Sheet Title

LANDSCAPE
IRRIGATION PLAN

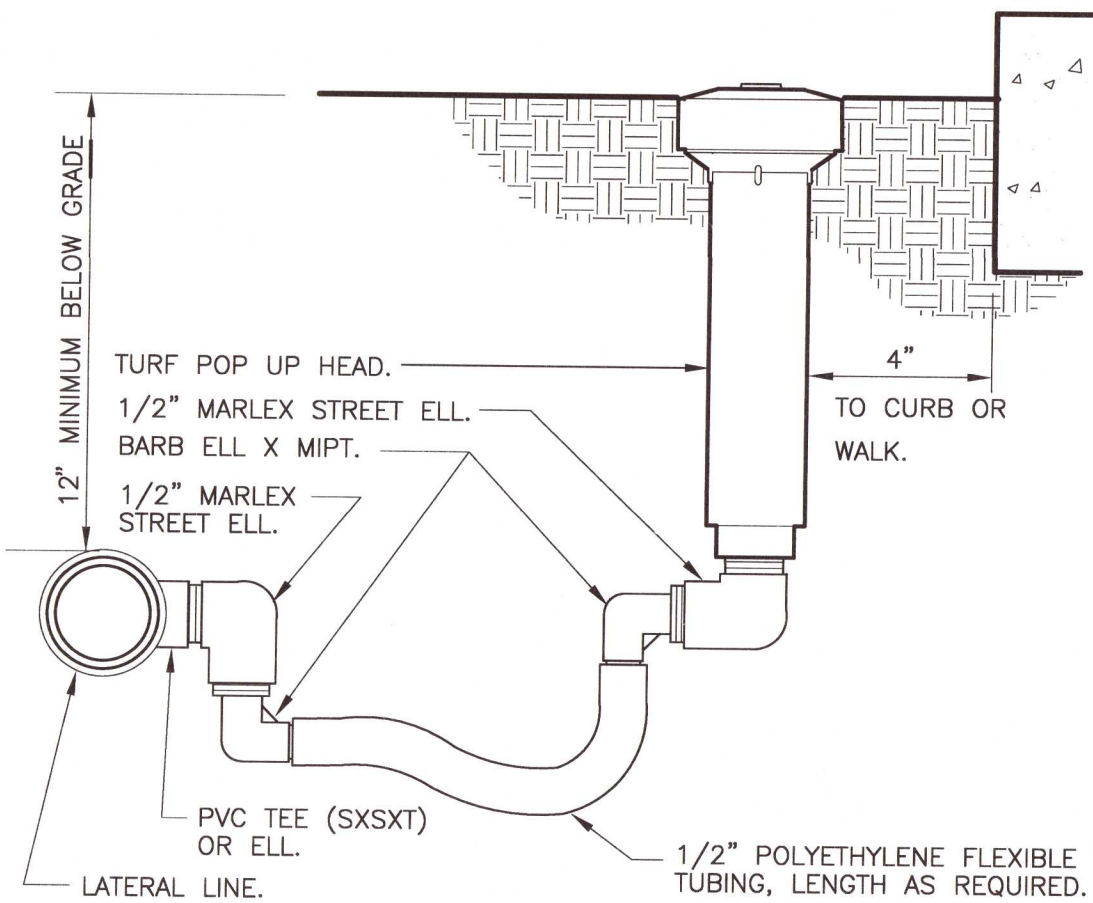
IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI		
	RAIN BIRD 1806-SAM-PRS 15 STRIP SERIES TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING.	18	25		
	RAIN BIRD 1806-SAM-PRS 15 SERIES MPR TURF SPRAY 6.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING.	17	25		
	RAIN BIRD 1812-SAM-PRS 15 STRIP SERIES SHRUB SPRAY 12.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE.	38	25		
	RAIN BIRD 1812-SAM-PRS 12 SERIES MPR SHRUB SPRAY 12.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE.	4	25		
	RAIN BIRD 1812-SAM-PRS 15 SERIES MPR SHRUB SPRAY 12.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. WITH SEAL-A-MATIC CHECK VALVE, AND PRESSURE REGULATING DEVICE.	2	25		
	RAIN BIRD R-VAN-1318 RD-1806-SAM-P45 TURF ROTATOR, 13'-18" HAND ADJUSTABLE ROTARY STREAM, WRD-1800 TURF SPRAY BODY, 6.0" POP-UP. WITH SEAL-A-MATIC CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATION.	5	30		
	RAIN BIRD 1806-SAM-PRS-1300AF FLOOD FLOOD BUBBLER 6.0" POP-UP WITH CHECK VALVE AND PRESSURE REGULATOR, WITH A PA-80 ADAPTER.	8	10		
	RAIN BIRD 5006-SAM-R-PC-FC-MPR TURF ROTOR, 6.0" POP-UP. PLASTIC RISER, MATCHED PRECIPITATION ROTOR (MPR NOZZLE). ARC AND RADIUS AS PER SYMBOL. 25 FT=RED, 30 FT=GREEN, 35FT=BEIGE. WITH SEAL-A-MATIC CHECK VALVE. PRESSURE REGULATING.	19	25	23'	
	RAIN BIRD 5006-SAM-R-PC-FC-MPR TURF ROTOR, 6.0" POP-UP. PLASTIC RISER, MATCHED PRECIPITATION ROTOR (MPR NOZZLE). ARC AND RADIUS AS PER SYMBOL. 25 FT=RED, 30 FT=GREEN, 35FT=BEIGE. WITH SEAL-A-MATIC CHECK VALVE. PRESSURE REGULATING.	1	25	29'	
	RAIN BIRD 5006-SAM-R-PC-FC-MPR TURF ROTOR, 6.0" POP-UP. PLASTIC RISER, MATCHED PRECIPITATION ROTOR (MPR NOZZLE). ARC AND RADIUS AS PER SYMBOL. 25 FT=RED, 30 FT=GREEN, 35FT=BEIGE. WITH SEAL-A-MATIC CHECK VALVE. PRESSURE REGULATING.	22	25	32'	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	GPM	RADIUS
	RAIN BIRD PGA 1" ELECTRIC REMOTE CONTROL VALVE	14			
	FEBCO 765 1" PRESSURE VACUUM BREAKER, BRASS WITH BALL VALVE SOV. INSTALL 12" (305MM) ABOVE HIGHEST DOWNSTREAM OUTLET AND THE HIGHEST POINT IN THE DOWNSTREAM PIPING.	1			
	RAIN BIRD ESP4ME3 WITH (1) ESP-SM3 (2) ESP-SM6 19 STATION. HYBRID MODULAR OUTDOOR CONTROLLER. FOR RESIDENTIAL OR LIGHT COMMERCIAL USE. LNK WIFI MODULE AND FLOW SENSOR READY.	1			
	RAIN BIRD RSD-BEX RAIN SENSOR, WITH METAL LATCHING BRACKET, EXTENSION WIRE.	1			
	WATER METER 3/4" BASIS OF DESIGN: 22.5 GPM @ 55 PSI, CONTRACTOR TO VERIFY AND SIZE ACCORDINGLY	1			
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 1" ONLY LATERAL TRANSITION PIPE SIZES 1 1/4" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 1" IN SIZE.	2,516 L.F.			
	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21 1 1/2" ONLY LATERAL TRANSITION PIPE SIZES 1 1/4" AND ABOVE ARE INDICATED ON THE PLAN, WITH ALL OTHERS BEING 1" IN SIZE.	15.7 L.F.			
	IRRIGATION MAINLINE: PVC CLASS 200 SDR 21 1 1/2"	1,037 L.F.			

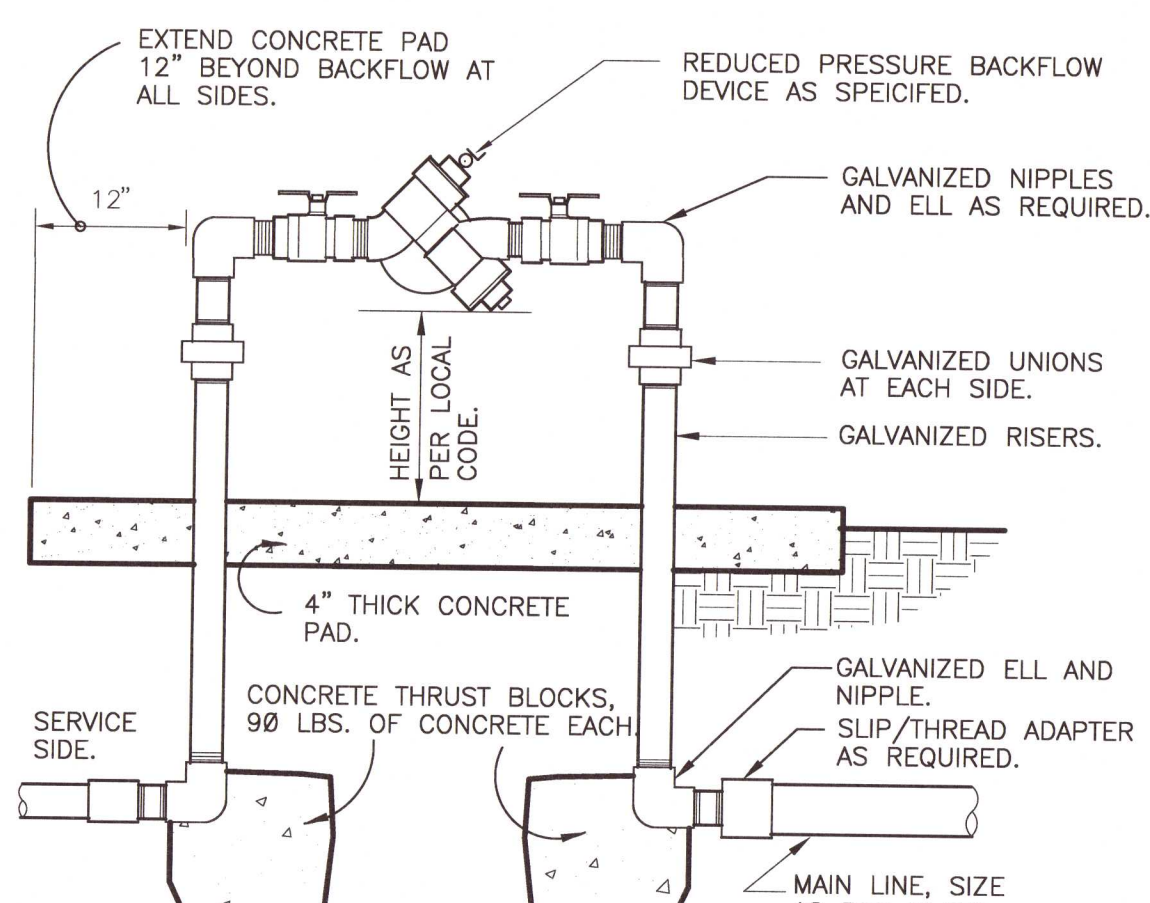


IRRIGATION GRAPHICS NOTES

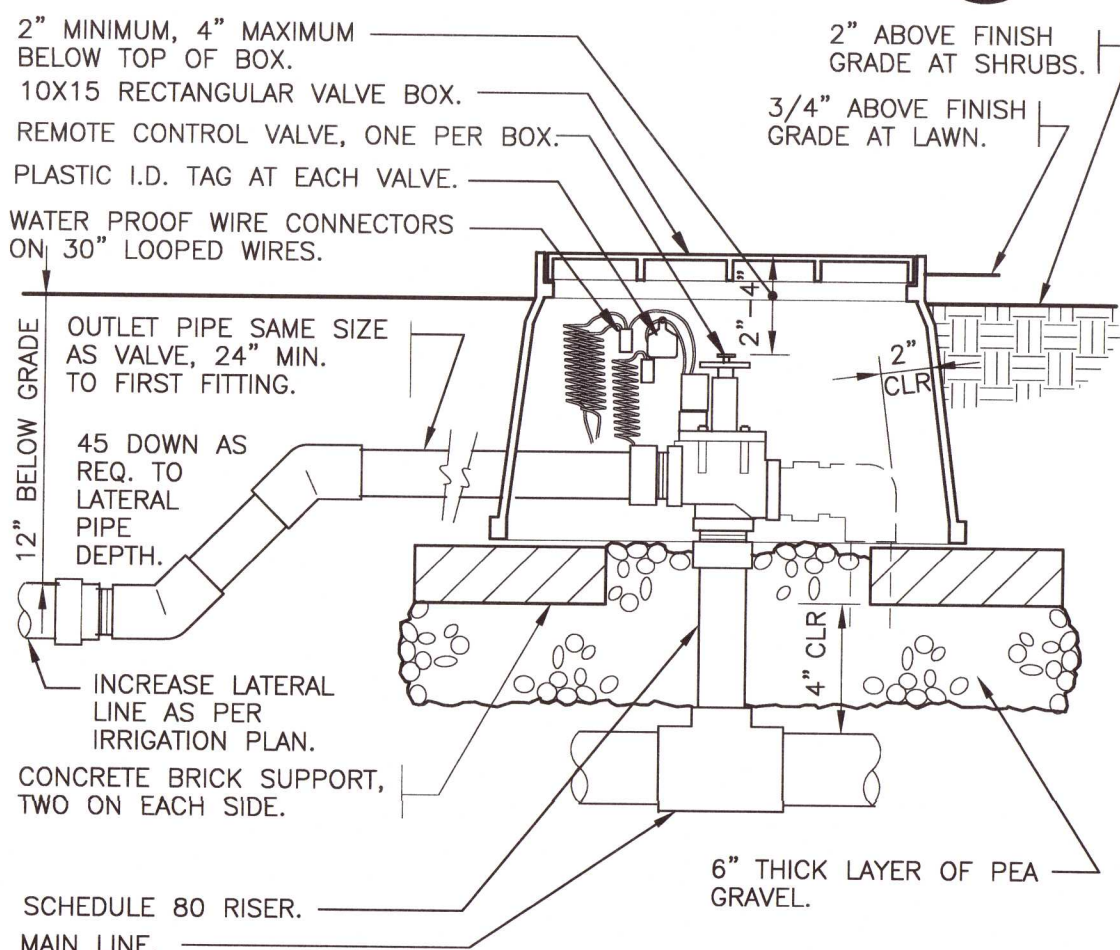
IRRIGATION SYSTEM DESIGN GRAPHICS ARE DIAGRAMMATIC IN NATURE, AND INTENDED TO INDICATE GENERAL LOCATION AND PROXIMITY TO OTHER ELEMENTS OF THE DRAWING. AS SUCH, MAINLINE AND/OR VALVES ARE OFTEN SHOWN OUTSIDE OF TRENCH FOR GRAPHIC CLARITY. ALL EQUIPMENT AND PIPE SHALL BE WITHIN PROPERTY BOUNDARIES UNLESS OTHERWISE NOTED. SLEEVE SIZES TO BE DETERMINED BY CONTRACTOR UNLESS NOTED ON THE DRAWINGS.



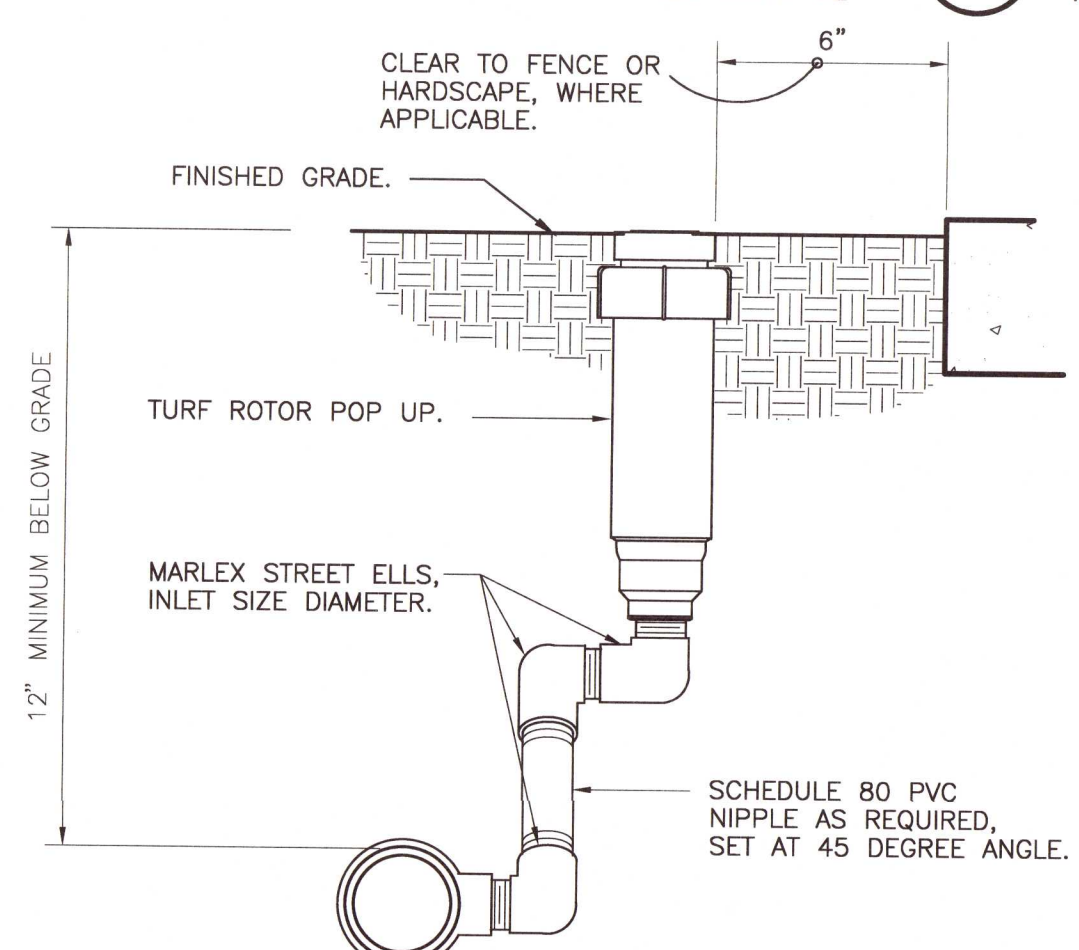
1 TURF SPRAY FLEX ASSEMBLY
3" = 1'-0"



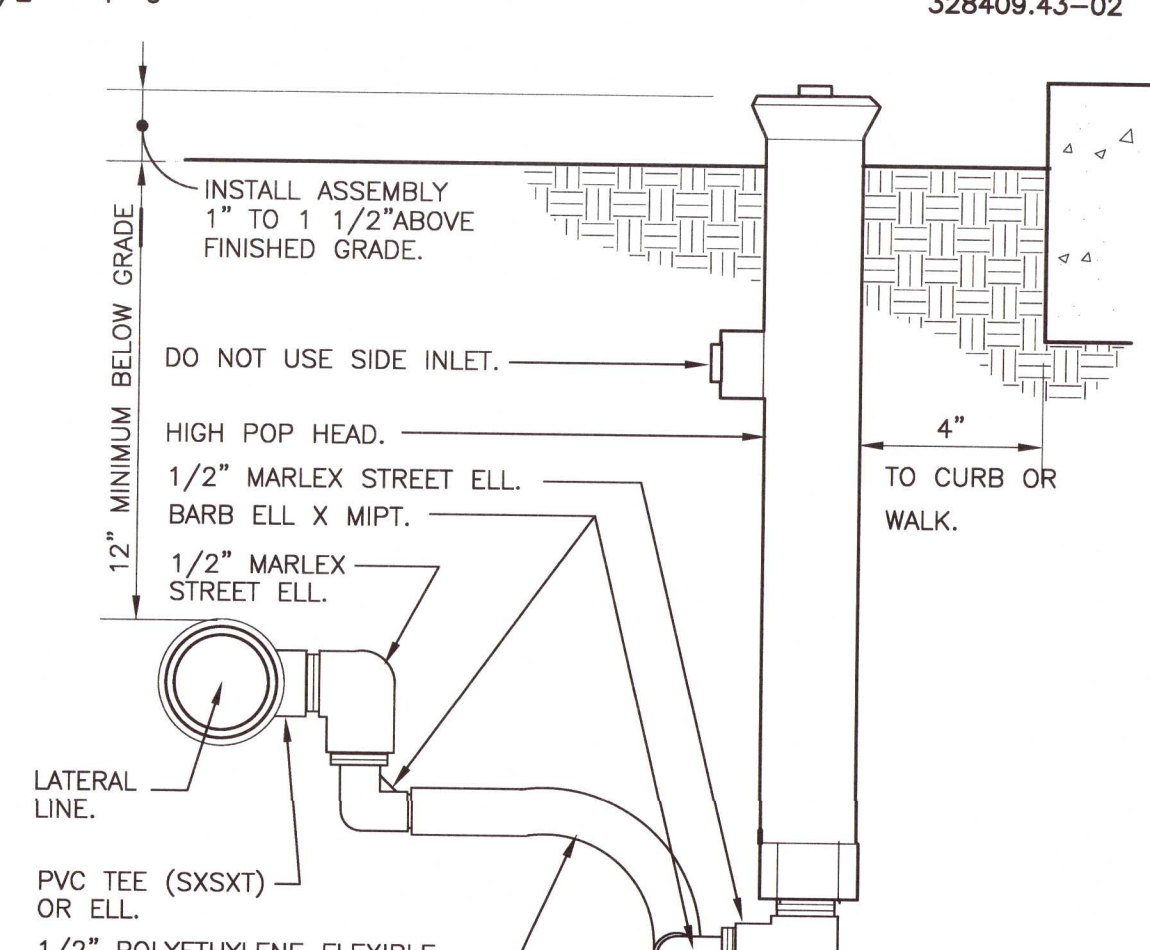
2 REDUCED PRESSURE BACKFLOW
1 1/2" = 1'-0"



3 ELECTRIC REMOTE CONTROL VALVE
1 1/2" = 1'-0"

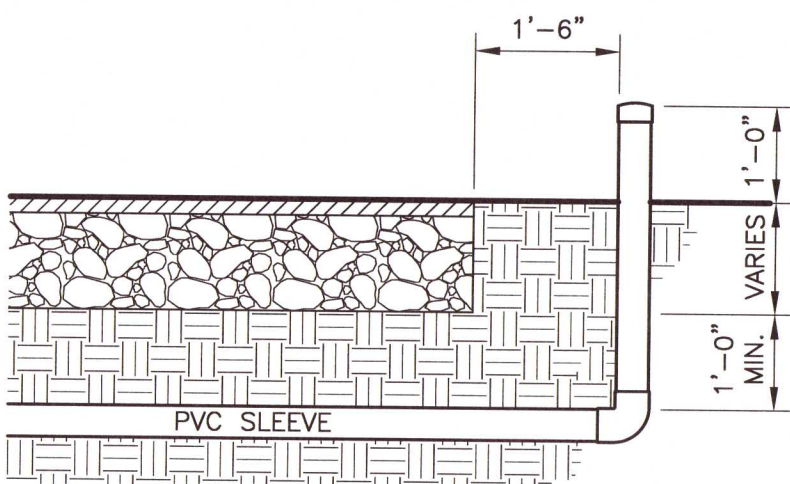


4 TURF ROTOR MARLEX ASSEMBLY
3" = 1'-0"



5 SHRUB SPRAY HIGHPOP W/ FLEX ASSEMBLY
3" = 12"

NOTE:
INSTALLER OF SLEEVES SHALL BE RESPONSIBLE TO LOCATE SLEEVES IF NOT PROPERLY INSTALLED.



6 SLEEVING DETAIL
1/2" = 1'-0"

- ALL MAINLINES TO HAVE A MINIMUM OF 18" OF COVER. (CLASS 200 PVC PIPE).
- ALL LATERAL AND SUB-MAIN PIPE TO HAVE A MINIMUM OF 12" OF COVER. (CLASS 200 PVC PIPE).
- NO ROCKS, BOULDER, OR OTHER EXTRANEOUS MATERIALS TO BE USED IN BACKFILLING OF TRENCH.
- ALL PIPE TO BE INSTALLED AS PER MANUFACTURERS' SPECIFICATIONS.
- ALL THREADED JOINTS TO BE COATED WITH TEFLON TAPE OR LIQUID TEFLON.
- ALL LINES TO BE THOROUGHLY FLUSHED BEFORE INSTALLATION OF SPRINKLER HEADS.
- SPRINKLER AND RELATED EQUIPMENT TO BE INSTALLED AS PER DETAILS.
- ALL ELECTRICAL JOINTS TO BE MADE USING WATERPROOF CONNECTIONS AS SHOWN ON DETAILS.
- ALL EQUIPMENT NOT SPECIFIED IN THE LEGEND SHALL BE DETERMINED AND FURNISHED BY THE CONTRACTOR.
- NO ELECTRICAL CONNECTIONS SHALL BE MADE IN THE FIELD EXCEPT AT A VALVE CONTROL BOX OR ANOTHER VALVE BOX SPECIFICALLY FOR CONNECTIONS.
- ANY DISCREPANCY BETWEEN THIS SHEET AND OTHERS IN THIS SET MUST BE REFERRED TO THE LANDSCAPE ARCHITECT BY THE CONTRACTOR FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- ALL 24 VOLT WIRE SHALL BE #12 UF/UL FOR COMMON WIRE, AND #14 UF/UL FOR CONTROL WIRES, DIRECT BURIAL, SOLID COPPER.
- CONTRACTOR TO BE RESPONSIBLE FOR PROPER COVERAGE OF AREAS TO BE WATERED. I.E. ADJUST HEADS WITH INSUFFICIENT COVERAGE DUE TO BLOCKAGE BY EXISTING OR PROPOSED SITE FEATURES.
- CONTRACTOR TO REFER TO LANDSCAPE PLAN TO KEEP SPRINKLER EQUIPMENT AND ACCESSORY MATERIAL FROM INTERFERING WITH PROPER PLANTING, I.E. VERIFY ROOT BALL SIZE FOR PLANTING.
- CONTRACTOR SHALL PROVIDE EXPANSION COILS AT EACH WIRE CONNECTION IN VALVE BOX (WRAP AROUND 3/4" PIPE 12 TIMES).
- CONTRACTOR TO UTILIZE APPROPRIATE AUTOMATIC DRAIN DEVICE WHERE LOW HEAD DRAINAGE MAY OCCUR.
- CONTRACTOR SHALL UTILIZE VALVE I.D. TAGS ON ALL REMOTE CONTROL VALVES.
- 24 VOLT WIRE SHALL BE COLOR CODED; COMMON-WHITE, CONTROL-RED.
- CONTRACTOR SHALL INSTALL MANUFACTURERS' RECOMMENDED GROUNDING EQUIPMENT FOR POWER SUPPLY AND VALVE OUTPUT WITH (2) 5/8" COPPER CLAD GROUND RODS.
- CONTRACTOR SHALL INSTALL MANUFACTURERS' RECOMMENDATION ON FAULT GROUND AND LIGHTNING PROTECTION.
- ALL MATERIAL TO BE SUPPLIED BY CONTRACTOR TO OWNER:
 - TWO WRENCHES FOR DISASSEMBLING AND ADJUSTING EACH TYPE OF SPRINKLER HEADS AND VALVE SUPPLIED.
 - TWO KEYS FOR EACH OF THE AUTOMATIC CONTROLLERS.
 - TWO QUICK COUPLER KEYS WITH MATCHING HOSE SWIVELS.
- SYSTEM IS DIAGRAMMATIC TO IMPROVE CLARITY. ALL MAINLINE PIPING ELECTRIC VALVES AND WIRING ARE TO BE INSTALLED IN LANDSCAPE AREAS AND WITHIN PROPERTY BOUNDARIES. CONTRACTOR SHALL REFERENCE THE LANDSCAPE PLAN PRIOR TO THE INSTALLATION OF PIPING TO AVOID CONTACT WITH PLANT MATERIALS EXISTING OR NEW.
- CONTRACTOR TO ADD EXTENSION RISER TO POP-UP HEADS WHEN NEEDED FOR PROPER COVERAGE.
- CONTRACTOR SHALL INSTALL SPRINKLER EQUIPMENT 12" FROM FOUNDATIONS. ALSO INSTALL SPRINKLERS 4" FROM CURB OR WALKS.
- PRIOR TO BID, IRRIGATION CONTRACTOR SHALL VERIFY RIGHT-OF-WAY AND BACKFLOW REQUIREMENTS. NO LATER THAN FIVE DAYS BEFORE BID SUBMITTALS. CONTRACTOR SHALL NOTIFY CONSULTANT OF ANY CHANGES FROM PLANS AND SPECIFICATIONS.
- IRRIGATION CONTRACTOR SHALL PROVIDE THE OWNER AND LANDSCAPE ARCHITECT WITH A REPRODUCIBLE CROSS MEASURED AS-BUILT DRAWING OF THE INSTALLED IRRIGATION SYSTEM IN AUTOCAD 2000 FORMAT BEFORE FINAL ACCEPTANCE.
- A 1-YEAR WARRANTY PERIOD SHALL BE PROVIDED FOR SYSTEM AFTER SUBSTANTIAL COMPLETION IS ACCEPTED. START UP AND ADJUSTING OF SYSTEM IN SPRING TIME SHALL BE INCLUDED IN WARRANTY.

7 GENERAL IRRIGATION NOTES
1" = 1"

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NOT
FOR CONSTRUCTION
THESE PLANS HAVE NOT BEEN
APPROVED AND ARE SUBJECT
TO CHANGE.

A Landscape Development Plan for
**Beulah Rd. Storage
Facility**
Escambia County, Florida

Revisions		Revisions / Submissions
No.	Date	
	07.09.21	COUNTY SUBMITTAL
	02.21.22	COUNTY SUBMITTAL
	05.16.22	COUNTY SUBMITTAL
	05.19.22	COUNTY SUBMITTAL

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SJW
Drawn
VTW
Project Manager
LCW
Principal
213395-002
Project No.
06.08.21
Date

Registration - FL LA666896

REGISTERED LANDSCAPE ARCHITECT
WALTER CHARLES HARRIS
STATE OF FLORIDA

Drawings not valid without seal

Sheet Title

**LANDSCAPE
IRRIGATION DETAILS**

Sheet No.

LI500

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