

GENERAL NOTES:

1. CONTRACTOR SHALL NOTIFY THE COUNTY DESIGNEE AND/OR COUNTY INSPECTOR 48 HOURS PRIOR TO INITIATION OF CONSTRUCTION.

2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO WIPE OUT OR ADJUST THE CROWN WHERE SO NOTED BY THE ENGINEER AND/OR REQUIRED FOR POSITIVE DRAINAGE.

3. PROPERTY OBSTRUCTIONS WHICH ARE TO REMAIN IN PLACE, SUCH AS BUILDINGS, SEWERS, DRAINS, WATER, OR GAS PIPES, CONDUITS, RAILROAD TRACK, POLES, WALLS, POSTS, BRIDGES, ETC., ARE TO BE CAREFULLY PROTECTED AND ARE NOT TO BE DISPLACED, UNLESS NOTED.

4. THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENTS OF THE WATER, GAS, SEWER, TELEPHONE, AND POWER COMPANIES 10 DAYS IN ADVANCE, THAT HE INTENDS TO START WORK IN A SPECIFIC AREA. THE OWNER DISCLAIMS ANY RESPONSIBILITY FOR THE SUPPORT AND PROTECTION OF SEWERS, DRAINS, WATER PIPES, GAS PIPES, CONDUITS OF ANY KIND, UTILITIES OR OTHER STRUCTURES OWNED BY THE CITY, COUNTY, STATE OR BY PRIVATE OR PUBLIC UTILITIES LEGALLY OCCUPYING ANY STREET, ALLEY, PUBLIC PLACE, OR RIGHT-OF-WAY.

5. LOCATION OF EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION BEFORE CONSTRUCTION. FAILURE OF THE PLANS TO SHOW THE EXISTENCE OF ANY UNDERGROUND UTILITIES, STRUCTURES, ETC., SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PRESERVING AND PROTECTING SAID UTILITY OR STRUCTURES.

6. CONTRACTOR SHALL DISPOSE OF BY HAULING AWAY ALL EXCESS MATERIAL.

7. THE DEVELOPER/ CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION. CONTROL OF SEDIMENTATION AND EROSION SHALL BE THE CONTRACTOR'S RESPONSIBILITY. AREAS OF CONTROL AND TYPICAL SECTION OF BARRIER ARE SUGGESTIONS ONLY AND DOES NOT RELIEVE THE CONTRACTOR OF ANY OF HIS RESPONSIBILITY.

8. WHERE UNSUITABLE MATERIALS ARE ENCOUNTERED IN THE PAVED AREAS, THE UNSUITABLE MATERIAL SHALL BE EXCAVATED AND THE AREA BACK FILLED WITH GOOD SAND AND SAND/CLAY MATERIALS. THE SAME SHALL APPLY WHERE THE SUB-BASE IS SUBJECT TO RISING WATER TABLE.

9. CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILIZATION OF STREET AND ROAD SHOULDERS IN ACCORDANCE WITH REQUIREMENTS OF ESCAMBIA COUNTY L.D.C. AND F.D.O.T. SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.

10. WATER SUPPLY FACILITIES, INCLUDING MAINS, SHALL BE INSTALLED, CLEANED, DISINFECTED, AND BACTERIOLOGIC ALLY CLEARED FOR SERVICE IN ACCORDANCE WITH THE LATEST APPLICABLE AWWA STANDARDS AND COORDINATED WITH LOCAL UTILITY ENGINEER/INSPECTOR IN ACCORDANCE WITH ECUA'S STANDARDS.

11. CONTRACTOR SHALL BE RESPONSIBLE FOR AND COMPLY WITH ANY TESTING REQUIRED BY THE LOCAL GOVERNING AGENCY IN ADDITION TO THE TESTING REQUIREMENTS OUTLINED IN THE SPECIFICATION.

12. PROTECTED TREES CAN BE REMOVED WITHIN THE INFRASTRUCTURE AREAS ONLY UPON APPROVED CONSTRUCTION PLANS FOR THE SUBDIVISION AND POSSIBLY OTHER PERMITS (PRE-SITE THROUGH BID, ETC.). HOWEVER, THE RESIDENTIAL LOTS AND THE LAND IN GENERAL, WILL NEED TO REMAIN VEGETATED (TREES INCLUDED) AND UNDISTURBED (NO "LAND DISTURBANCE ACTIVITIES" INCLUDING FILL MATERIALS PLACED ONSITE, ETC.) UNTIL SUCH TIME AS FURTHER BUILDING PERMITS FOR THE "DWELLINGS" ALLOW FOR THEIR REMOVAL (PER CODE). GRADING AROUND TREES WHICH ARE TO REMAIN SHALL BE AWAY FROM THE TREE IN A MANNER TO CAUSE NO DAMAGE TO THE TREE. THE CRITICAL ROOT ZONE (CRZ) SHALL NOT BE DISTURBED. THE CRZ IS REPRESENTED BY A CIRCLE, CENTERED ON THE TREE TRUNK AND HAVING A RADIUS OF ONE FOOT FOR EVERY ONE INCH OF TRUNK DIAMETER. ONE HERITAGE TREE EXISTS ONSITE AND IS TO BE PROTECTED PER LDC REQUIREMENTS.

13. SOD SHALL BE PLACE IN ACCORDANCE WITH SEC. 570 F.D.O.T. SPECIFICATIONS.

14. PIPELINE CONTRACTOR SHALL BE RESPONSIBLE FOR INLET TOPS AND THROATS.

15. NOTIFY COUNTY ENGINEER 24 HOURS BEFORE BEGINNING EVERY PHASE OF CONSTRUCTION

16. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW ASBUILT CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.

17. ALL PROPOSED UNDERGROUND UTILITIES WITHIN THE RIGHT-OF-WAY SHALL BE INSTALLED PRIOR TO PAVING. NO STREETS UNDER THE TWO YEAR WARRANTY WILL BE ALLOWED TO BE OPEN-CUT OR JACK AND BORED. TO ACCOMPLISH THIS REQUIREMENT, COMMON TRENCHING IS REQUIRED. COMMON TRENCHING SHALL NOT TAKE PLACE UNTIL ALL ROW ROUGH GRADES HAVE BEEN ESTABLISHED TO ENSURE PROPER UTILITY DEPTHS. IF COMMON TRENCHING IS NOT A FEASIBLE OPTION, THE DEVELOPER SHALL INSTALL CONDUIT FOR THE UTILITY NOT PARTICIPATING IN THE COMMON TRENCHING. FOR ALL ROAD CROSSINGS AND THE UTILITY COMPANY WILL BE REQUIRED TO USE THE CONDUIT. THIS SHALL REQUIRE PLANNING BETWEEN THE DEVELOPER AND THE UTILITY.

18. ROUGH GRADING OF RIGHT OF WAY MUST BE ESTABLISHED PRIOR TO COMMON TRENCH UTILITY INSTALLATION TO ENSURE UTILITIES ARE INSTALLED AT PROPER DEPTHS. A MINIMUM OF 30" OF COVER IS REQUIRED OVER ALL UTILITIES. THIS DIMENSION SHALL BE MEASURED FROM PROPOSED GRADE IF ROAD IS IN FILL AND MEASURED FROM TOP OF CURB IF ROAD IS IN CUT.

19. CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD AT LEAST 2 WEEKS PRIOR TO PLACEMENT OF BASE MATERIAL TO ASSIST IN COORDINATION OF ALL OTHER UNDERGROUND UTILITIES.

20. ON SITES >1 ACRE, IF >1 CONTIGUOUS ACRE IS CLEARED, A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED WITHIN 10 WORKING DAYS ON THAT PORTION OF THE SITE UPON WHICH FURTHER ACTIVE CONSTRUCTION WILL NOT BE UNDERTAKEN WITHIN 90 DAYS.

21. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "ASBUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUEST A FINAL INSPECTION, OR PROVIDE ASBUILT CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE ASBUILT CERTIFICATION OR THE ASBUILT RECORD DRAWINGS MUST BE SIGNED AND SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.

22. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/ OR SOD. SEEDED AREAS SHALL INCLUDE A BAHIA MIX TO ENSURE CONTINUED GROWTH AFTER WINTER MONTHS IN ACCORDANCE WITH FDOT SECTION 570 AND STANDARD INDEX 105

23. THE OWNER OR HIS AGENT SHALL ARRANGE/ SCHEDULE WITH HE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3472. ASBUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/ APPROVAL.

24. ALL ASPECTS OF THE STORMWATER/ DRAINAGE COMPONENTS AND OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION.

25. NO DEVIATION OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER, ESCAMBIA COUNTY, AND ECUA. ANY DEVIATIONS MAY RESULT IN DELAYS IN COUNTY ACCEPTANCE OF IMPROVEMENTS.

26. DENSITY TESTS AND CORE SAMPLES WILL BE REQUIRED TO DEMONSTRATE COMPLIANCE WITH COUNTY STANDARDS PRIOR TO FINAL ACCEPTANCE OF ROADWAY IMPROVEMENTS.

27. TO COMPLY WITH NPDES REQUIREMENTS, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS; INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO FDEP.

28. NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W. 1-800-432-4770

29. ECUA INSPECTOR OR AUTHORIZED REPRESENTATIVE MUST OBSERVE ALL CONNECTIONS TO ECUA'S EXISTING WATER AND SANITARY SEWER SYSTEMS.

30. TYPE 1 CURB CUT DRIVEWAYS ARE TO BE USED FOR ALL UTILITY ACCESS POINTS.

31. ELECTRIC/PHONE/CABLE/GAS STRUCTURES INSTALLED WITHIN DRAINAGE ACCESS EASEMENTS SHALL BE LOCATED ALONG THE BOUNDARY OF THE EASEMENT TO MAXIMIZE CLEAR ACCESS FOR MAINTENANCE EQUIPMENT.

32. THE SUBGRADE IS TO BE TESTED FOR COMPACTION AT A FREQUENCY OF NOT LESS THAN ONE TEST PER 300 LINEAR FEET IN THE PROPOSED ROADWAY AREAS. COMPLIANCE TESTS WITHIN THE FILL/BACKFILL AREAS ARE TO BE PERFORMED AT A FREQUENCY OF NOT LESS THAN ONE TEST PER 300 LINEAR FEET.

33. ALL CONCRETE PIPE JOINTS SHALL BE WRAPPED WITH FABRIC/STOCK.

34. A HEALTHY GROWTH OF GRASS WITHIN DISTURBED RIGHT-OF-WAY AREAS IS REQUIRED PRIOR TO COUNTY APPROVAL /ACCEPTANCE. IF TIME CONSTRAINTS EXIST DURING THE FINAL PLAT APPROVAL AND ACCEPTANCE PROCESS, A MINIMUM OF TWO STRIPS OF SOD (MINIMUM 2' WIDE) BEHIND THE BACK OF CURB WITH ALL OTHER DISTURBED AREAS SEEDED /MULCHED/FERTILIZED WILL BE ACCEPTABLE.

35. SAG FILTERS IN CURB THROATS ARE NOT AN ALLOWABLE SEDIMENT CONTROL METHOD.

36. A MINIMUM ONE (1) FOOT GROUND COVER IS REQUIRED FOR ALL UNDERGROUND PIPES.

37. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHTS-OF-WAY.

38. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.

39. DEVELOPER/CONTRACTOR/HOME OWNERS ASSOCIATION SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND AT THE END OF THE 2 YEAR WARRANTY PERIOD.

40. WORK PROPOSED NEXT TO THE R/W WITH EXISTING SWALE SYSTEMS MAY REQUIRE ADDITIONAL PROVISIONS TO REPAIR/RESTORE EXISTING DRAINAGE SWALES AS NEEDED TO ENSURE ADEQUATE DRAINAGE. R/W SHOULDER STABILIZATION SHOULD BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION LATEST EDITION.

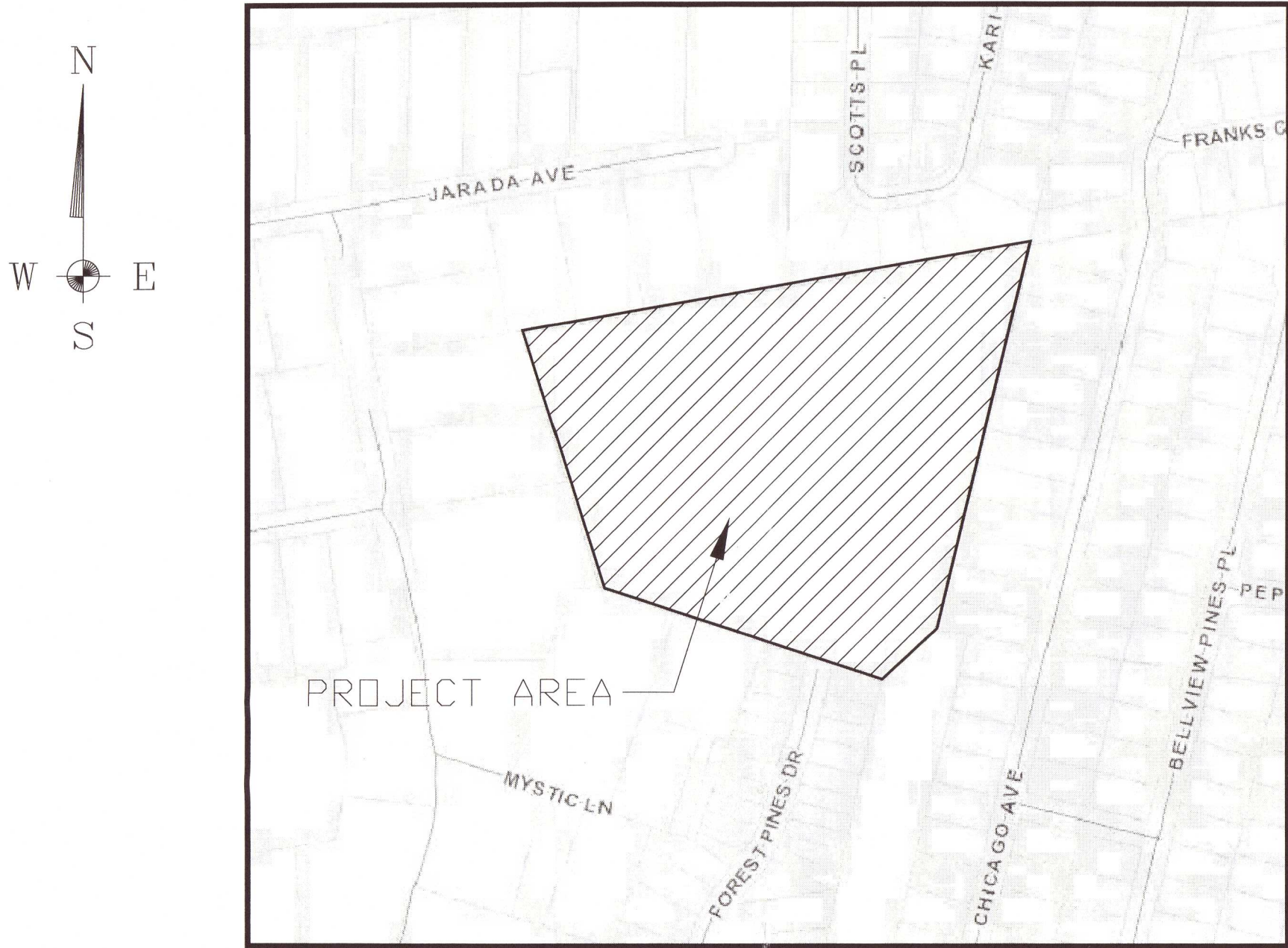
CONSTRUCTION PLANS FOR

Bellview Pointe

A 62 LOT SINGLE FAMILY RESIDENTIAL SUBDIVISION IN A PORTION OF SECTION 39, TOWNSHIP 1 SOUTH, RANGE 30 , ESCAMBIA COUNTY, FLORIDA

March 2022

ZONED: MDR FLU: MU-U



VICINITY MAP

N.T.S.

OWNER AND DEVELOPER  
BELLVIEW PROPERTIES, LLC

120 E. MAIN STREET, SUITE A  
PENSACOLA, FL 32502  
PHONE: (850) 429-8640

ENGINEER-OF-RECORD  
DAVID W. FITZPATRICK  
PROFESSIONAL ENGINEER, PA  
10250 N. PALAFOX HWY.  
PENSACOLA, FL 32534  
PHONE: (850) 476-8677  
FAX: (850) 476-7708  
FITZPATRICK@FITZENG.COM

SURVEYOR  
MERRILL PARKER SHAW, INC.  
4928 N. DAVIS HWY.  
PENSACOLA, FL 32503  
LB#7174  
P: (850)478-4923  
F: (850)478-4924

DRAINAGE FEE

Imperv. Surf. 58771.0 Sq ft  
Stormwater Ret. 0.46 % (F)  
Total Drainage Fee \$ 3,050.00  
Pond Maint. Fee: MSBU

Approved   
Designee Date

This document has been reviewed in accordance with requirements of applicable Escambia County Regulations and Ordinances and does not in any way relieve the submitting Architect, Engineer, Surveyor, or other signatory from responsibility of details as drawn.

ECUA Engineering Manual Reference Note\*

\*note shall be inserted in the upper right corner of title sheet  
\* applicable only to ECUA infrastructure to be constructed in public ROW or in utility easement; not to be applied to private water/sewer facilities on private property (see Building Code)

A. ECUA Engineering Manual Incorporated by Reference

The ECUA Engineering Manual, dated December 18, 2014, along with Update # 1 dated September 1, 2016 (hereinafter "Manual"), located at [www.ecua.fl.gov](http://www.ecua.fl.gov), is hereby incorporated by reference into this Project's official contract documents as if fully set forth therein. It is the Contractor's responsibility to be knowledgeable of the Manual's contents and to construct the Project in accordance with the Manual. The Contractor shall provide its employees access to the Manual at all times, via Project site or office, via digital or paper format. In the event of a conflict between the Manual and Plans, Contractor shall consult Engineer of Record for proper resolution.

B. Additional Documents (to be completed by the Engineer of Record)

Does this Project have additional technical specifications or construction details that supplement and/or supersede the Manual listed above? ☐ YES ☒ NO. If yes, Contractor shall construct Project in accordance with said documents as listed and located below:

Document Name	Document Type		Location	
	Specifi- cation	Detail	Plans	Project Manual*
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

\*Project Manuals used only with ECUA CIP Projects

C. Engineer of Record Responsibilities

The Engineers of Record (EORs) that have affixed their seals and signatures on these plans warrant their portions of the plans have been designed in accordance with the Manual (unless otherwise directed by the ECUA Project Engineer). The EORs shall be knowledgeable of the Manual's contents and shall assume responsibility for its use on this Project.

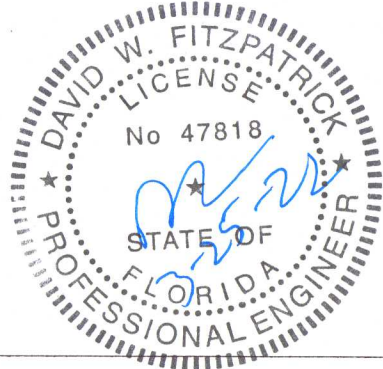
INDEX OF DRAWINGS

SHEET	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS
3	DIMENSION PLAN
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5	UTILITY PLAN-SOUTH
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8	DRAINAGE PLAN-SOUTH
9	DRAINAGE PLAN-NORTH
10	FOREST PINES PLAN/PROFILE
11	BELLVIEW POINTE LANE PLAN/PROFILE
12	BELLVIEW POINTE CIR. PLAN/PROFILE
13	NORTH SWALE PLAN/PROFILE
14	EAST SWALE PLAN/PROFILE
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23	OFFSITE SEWER
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25	POND 1 DETAILS
26	POND 2 DETAILS
27	ROAD DETAILS
28	DRAINAGE DETAILS

THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAINS. NO BFES OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0360C, MAP REVISION DATED SEPTEMBER 29, 2006.

PERMIT SET

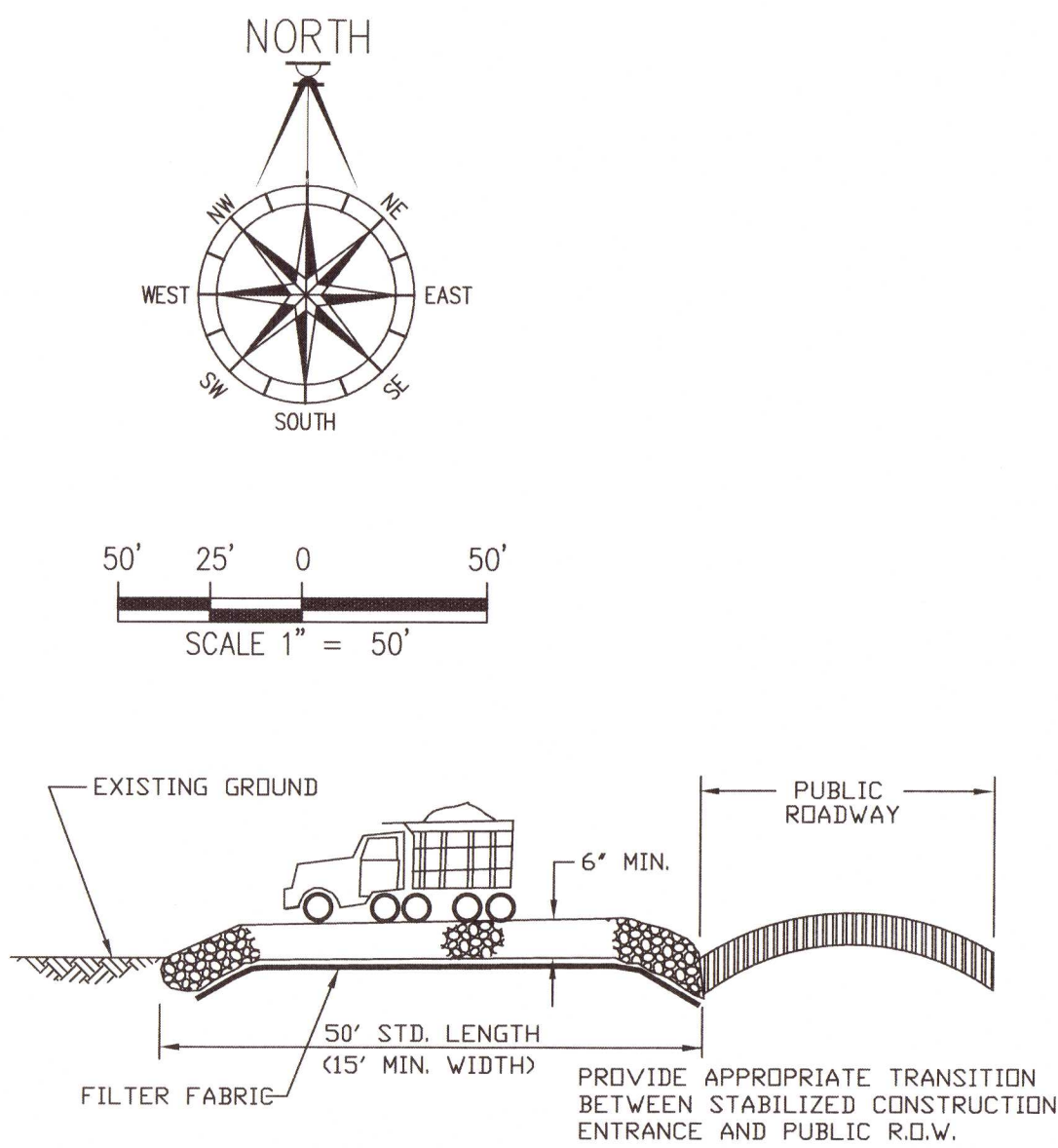
NOT RELEASED FOR CONSTRUCTION



LEGAL DESCRIPTION

BEGIN AT THE INTERSECTION OF THE WEST LINE OF PEPPER RIDGE SUBDIVISION AS RECORDED IN PLAT BOOK 13 AT PAGE 1 OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA, WITH THE NORTH LINE OF SECTION 39, TOWNSHIP 1 SOUTH, RANGE 30 WEST, THENCE SOUTH 78°27'37" WEST ALONG THE NORTH LINE OF SECTION 39 FOR 1132.28 FEET; THENCE SOUTH 19°28'15" EAST FOR 586.28 FEET; THENCE SOUTH 72°41'25" EAST FOR 378.89 FEET TO THE NORTHWEST CORNER OF FOREST PINES 2ND. ADDITION AS RECORDED IN PLAT BOOK 12 AT PAGE 27; THENCE CONTINUE SOUTH 72°41'25" EAST ALONG THE NORTHERLY LINE OF FOREST PINES 2ND. ADDITION FOR 268.83 FEET; THENCE NORTH 35°42'05" EAST FOR 151.40 FEET TO THE SOUTHWEST CORNER OF LOT 1, PEPPER RIDGE SUBDIVISION; THENCE NORTH 13°43'00" EAST ALONG THE WEST LINE OF PEPPER RIDGE SUBDIVISION FOR 873.96 FEET TO THE POINT OF BEGINNING.  
THE ABOVE DESCRIBED PARCEL IS SITUATED IN SECTION 39, TOWNSHIP-1-SOUTH, RANGE-30- WEST, ESCAMBIA COUNTY, FLORIDA AND CONTAINS 16.12 ACRES MORE OR LESS.





### CONSTRUCTION SEQUENCING:

THE FOLLOWING SEQUENCE OF MAJOR ACTIVITIES SHALL BE FOLLOWED UNLESS THE CONTRACTOR CAN PROPOSE AN ALTERNATIVE THAT IS EQUAL TO OR BETTER AT CONTROLLING EROSION AND SEDIMENTATION. THE DETAILED SEQUENCE FOR THE ENTIRE PROJECT CAN VARY SIGNIFICANTLY FROM CONTRACTOR TO CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ANY CHANGES.

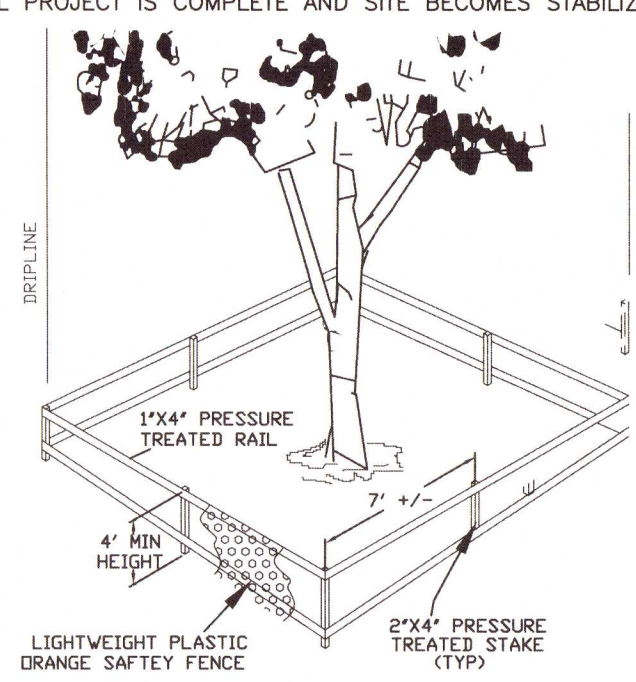
1. INSTALLATION OF ALL SEDIMENT AND EROSION CONTROL DEVICES THAT CAN BE PLACED PRIOR TO ANY MAJOR SOIL DISTURBANCES.
2. CLEAR AND REMOVE ALL EXISTING VEGETATION IN THOSE AREAS WHERE NECESSARY. ALL REMAINING VEGETATION SHALL BE PROPERLY PROTECTED AND TO REMAIN IN ITS NATURAL STATE.
3. IMMEDIATE INSTALLATION OF ALL REMAINING SEDIMENT AND EROSION CONTROL DEVICES.
4. EXCAVATE PONDS TO ROUGH GRADE. EXCAVATED MATERIAL TO BE TEMPORARILY STORED ONSITE (LOCATION SHOWN ON PLAN). ANY UNUSED MATERIAL TO BE HAILED OFFSITE TO AN APPROVED DISPOSAL SITE.
5. INITIATE REMAINING SITE DEVELOPMENT ACTIVITIES.
6. IMMEDIATELY FOLLOWING INSTALLATION, CONTRACTOR IS TO INSTALL SILT SAVE FRAME AND FILTER ASSEMBLIES TO EACH STORM STRUCTURE. ONCE INLET TOPS ARE INSTALLED, WATTLES ARE TO BE PLACED ALONG THROAT OPENINGS.
7. UPON COMPLETION OF CONSTRUCTION ACTIVITIES, PROVIDE RESTORATION, FINE GRADE REMAINDER OF SITE, AND STABILIZE WITH TEMPORARY SEEDING.
8. REMOVAL OF APPROPRIATE TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.

ESCAMBIA COUNTY NOTE: CONSTRUCTION PLAN APPROVAL IS REQUIRED TO DOCUMENT THE DESIGN OF INFRASTRUCTURE TO ADEQUATELY SERVE THE CREATED LOTS. NEITHER PLAN OR PLAN ALLOW LAND CLEARING/LAND DISTURBANCE ACTIVITIES AND DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS (EXCEPTION IS PORTIONS OF LOTS 10-14, 15-23, AND 34-37 BLOCK A, WHICH WILL REQUIRE LAND DISTURBANCE FOR TEMPORARY STORAGE OF EXCAVATED MATERIAL, SEE SHEET C7) AS BUILDING PERMITS FOR THE DWELLINGS WILL BE REQUIRED FOR THESE ACTIVITIES PRIOR ON EACH LOT/PARCEL IN THE FUTURE.

GENERAL NOTE: THE LAND SHALL REMAIN VEGETATED & IN ITS NATURAL STATE UNTIL SUCH TIME AS DRC SITE PLAN & ANY ADDITIONAL PERMITTING APPROVALS ALLOW FOR SUCH. PER CODE, ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL MATERIALS, OR OTHER "LAND DISTURBANCE ACTIVITIES", ETC. SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION

### TREE PROTECTION NOTES:

1. IF TREE ROOT PRUNING IS NEEDED, SUCH SHALL BE PERFORMED IN ACCORDANCE WITH ALL ISA STANDARDS & BMPs. INQUIRE WITH ESCAMBIA COUNTY ENVIRONMENTAL & ARBORIST STAFF IF FURTHER DIRECTION IS NEEDED. ROOT PRUNING SHALL BE PERFORMED ON ROOTS OF IMPACTED TREES REMAINING ON SITE. ROOTS MUST BE PRUNED OR CUT CLEANLY WITH APPROPRIATE EQUIPMENT. (NOT TORN AS WITH USING A BACK HOE).
2. TREE BARRIERS SHALL BE INSTALLED PRIOR TO SITE DEVELOPMENT ACTIVITIES, INSPECTED, AND MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITIES HAVE CEASED AND SITE IS STABILIZED.
3. CONSTRUCTION TRAILERS, TRAFFIC AND STORAGE AREAS MUST REMAIN OUT OF TREES ROOT PROTECTION ZONE AT ALL TIMES. NO GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD HAPPEN UNDER THE DRIPLINE OF PROTECTED TREES TO REMAIN ON SITE.
4. IF TRENCHING OR OTHER LAND DISTURBANCE ACTIVITIES ARE NECESSARY NEAR TREES SHOWN TO BE PRESERVED ONSITE, FOLLOW ESCAMBIA COUNTY'S LDC & DSM STANDARDS FOR TREE PROTECTION AREAS & PRESERVATION. CONTACT SHALL BE MADE WITH ENVIRONMENTAL & ARBORIST STAFF IF FURTHER DIRECTION IS NEEDED IN REGARDS TO ANY POTENTIAL ADVERSE IMPACTS TO PROTECTED TREES, THEIR ROOTS, OR CANOPIES.
5. ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED AROUND THE HERITAGE TREE [T1] PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.

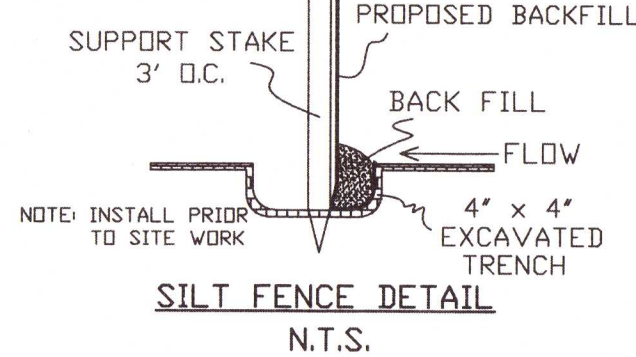


TREE BARRICADES SHOULD BE IN PLACE AROUND THE DRIPLINE OF THE PROTECTED TREES MARKED FOR PRESERVATION PRIOR TO ANY LAND DISTURBANCE CONSISTENT WITH THE DEVELOPMENT ORDER.

TREE BARRICADE  
N.T.S.

### TREE SCHEDULE

TREE	SIZE	TYPE
T1	63"	LIVE OAK (REMAIN)



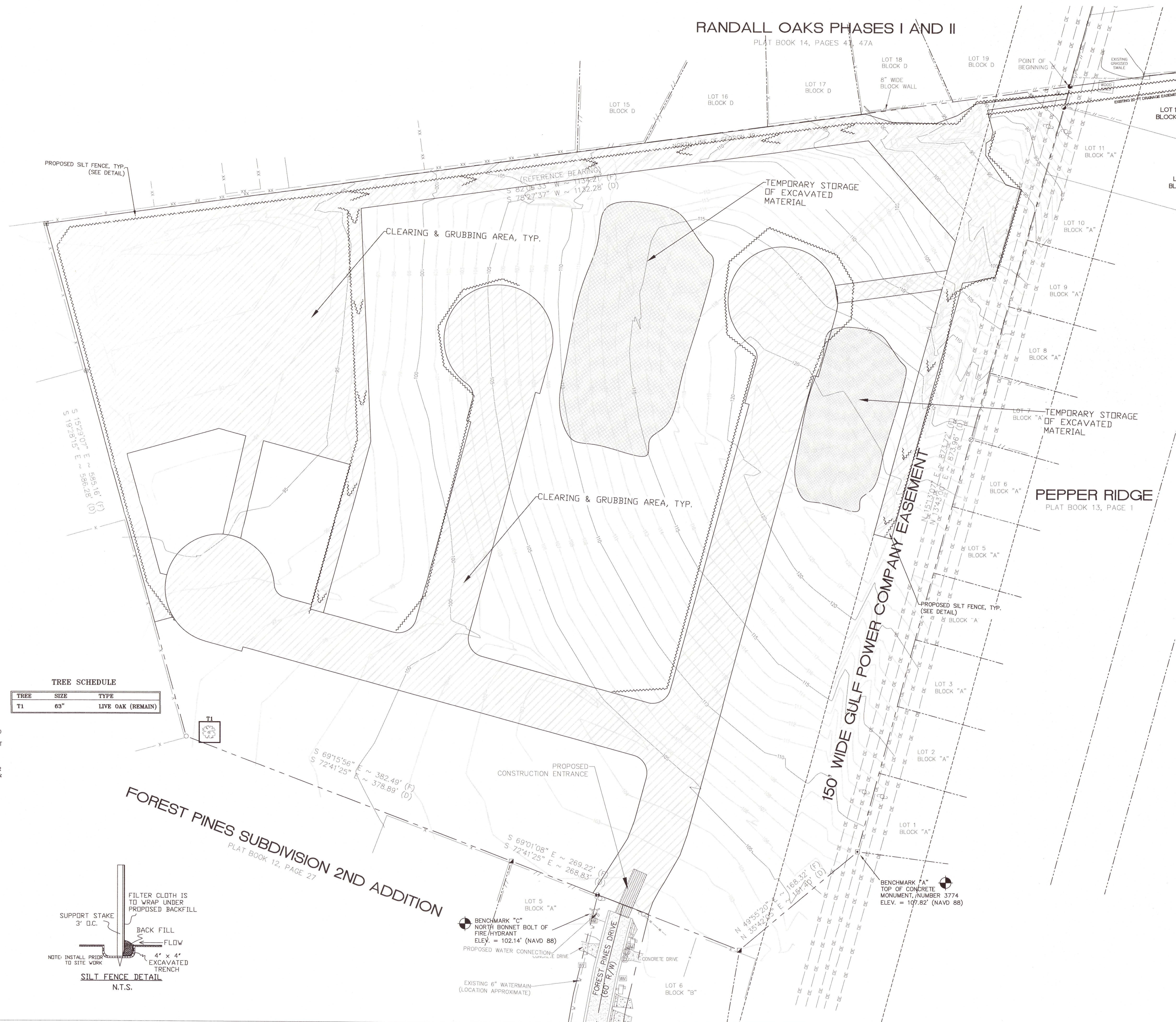
NOTE: INSTALL PRIOR TO SITE WORK

SILT FENCE DETAIL  
N.T.S.

FOREST PINES SUBDIVISION 2ND ADDITION  
PLAT BOOK 12, PAGE 27

## RANDALL OAKS PHASES I AND II

PLAT BOOK 14, PAGES 47, 47A



DAVID W. FITZPATRICK

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PH: (850) 776-8677 FAX: (850) 776-7708

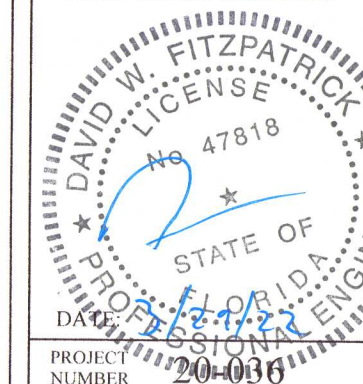
BELL VIEW POINTE

EXISTING CONDITIONS

DATE	
REVISION	
NUMBER	

DRAWN BY: B. PEMENT  
DESIGNED BY: D. FITZPATRICK

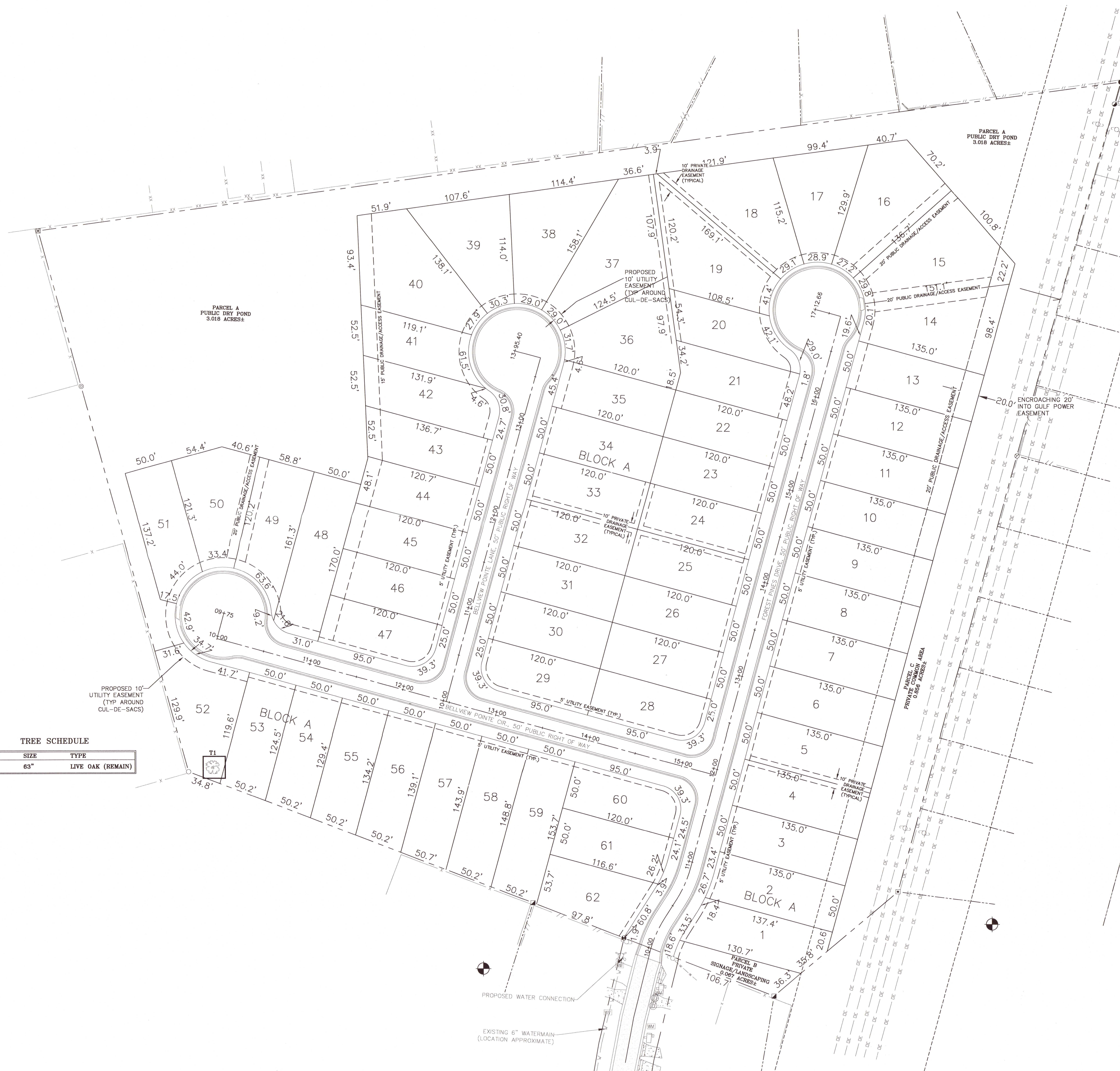
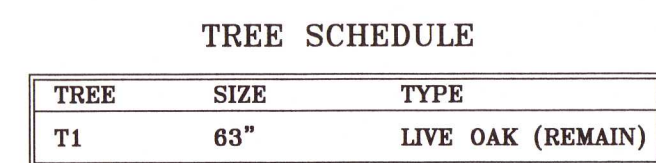
SIGNATURE & SEAL



PLOT DATE: 03/25/22

SHEET C2 OF C28





DAVID W. FITZPATRICK

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PENSACOLA, FL 32534  
PH: (850)476-8677 FAX: (850)476-7708

## BELLVIEW POINTE

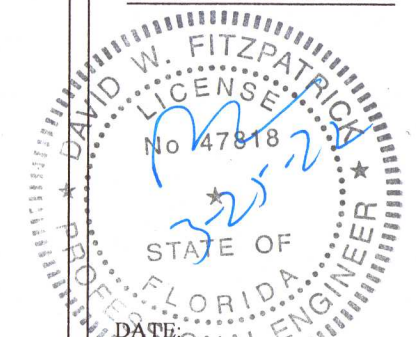
## DIMENSION PLAN

[illegible]

DRAWN BY:  
B. PEMENT

DESIGNED BY:  
D. FITZPATRICK

SIGNATURE &amp; SEAL



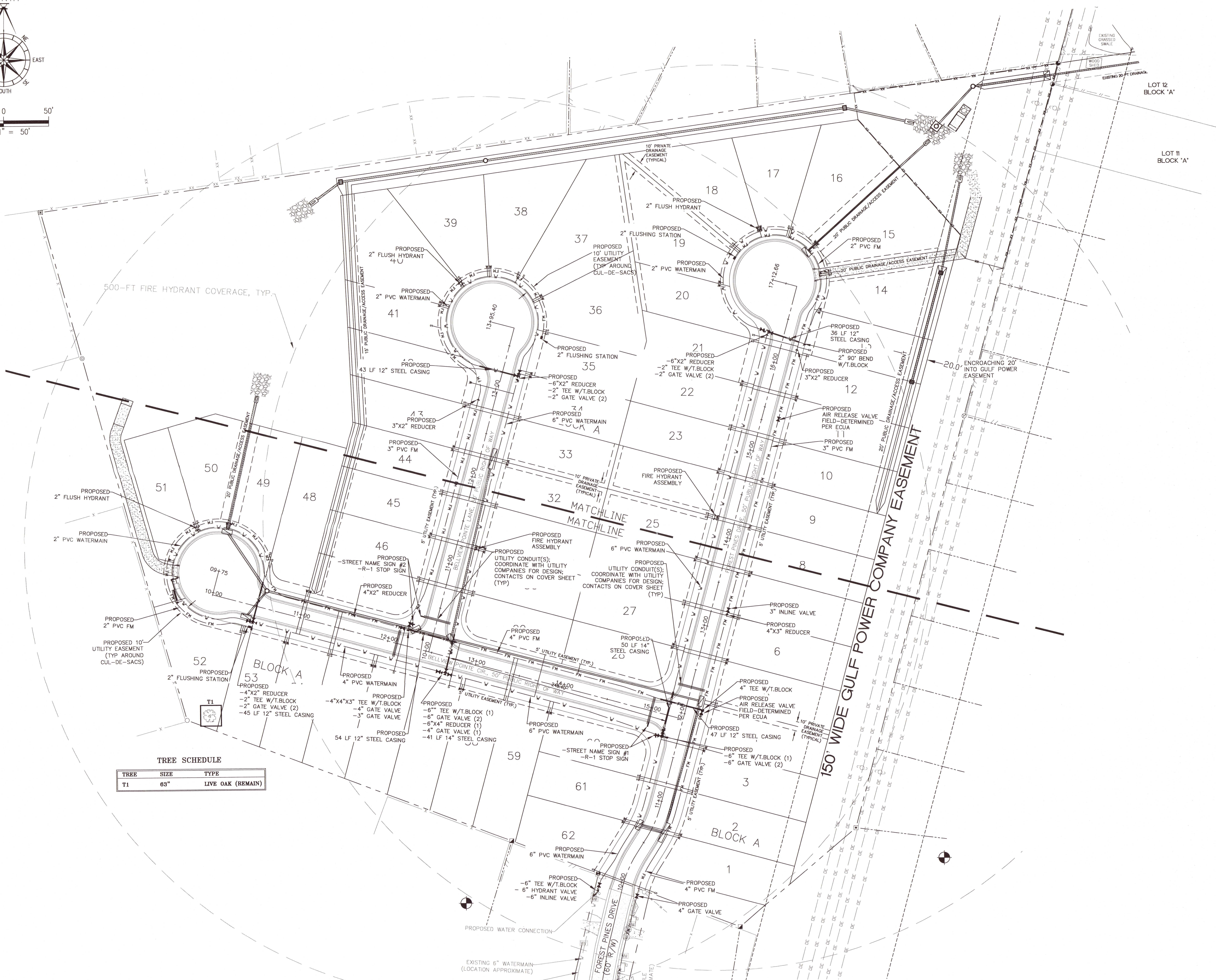
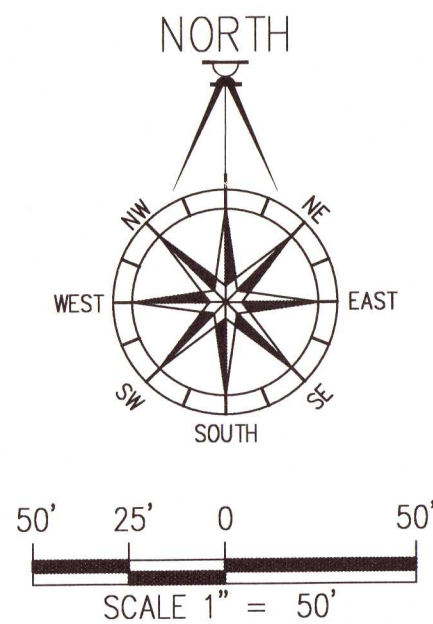
PROJECT NUMBER 20-036

PLOT 02/23/22

SHEET **C3** OF **C28**



ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT EDITION OF ECUA'S ENGINEERING MANUAL.



TREE SCHEDULE

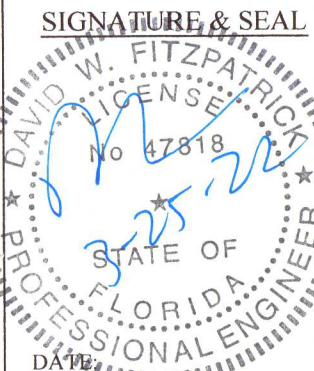
TREE	SIZE	TYPE
T1	63"	LIVE OAK (REMAIN)

DAVID W. FITZPATRICK  
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10255 NORTH PALMWAY STREET  
PENSACOLA, FL 32534  
PH: (850)476-8877 FAX: (850)476-7708

BELL VIEW POINTE  
UTILITY PLAN-OVERALL

DATE	
REVISION	
NUMBER	

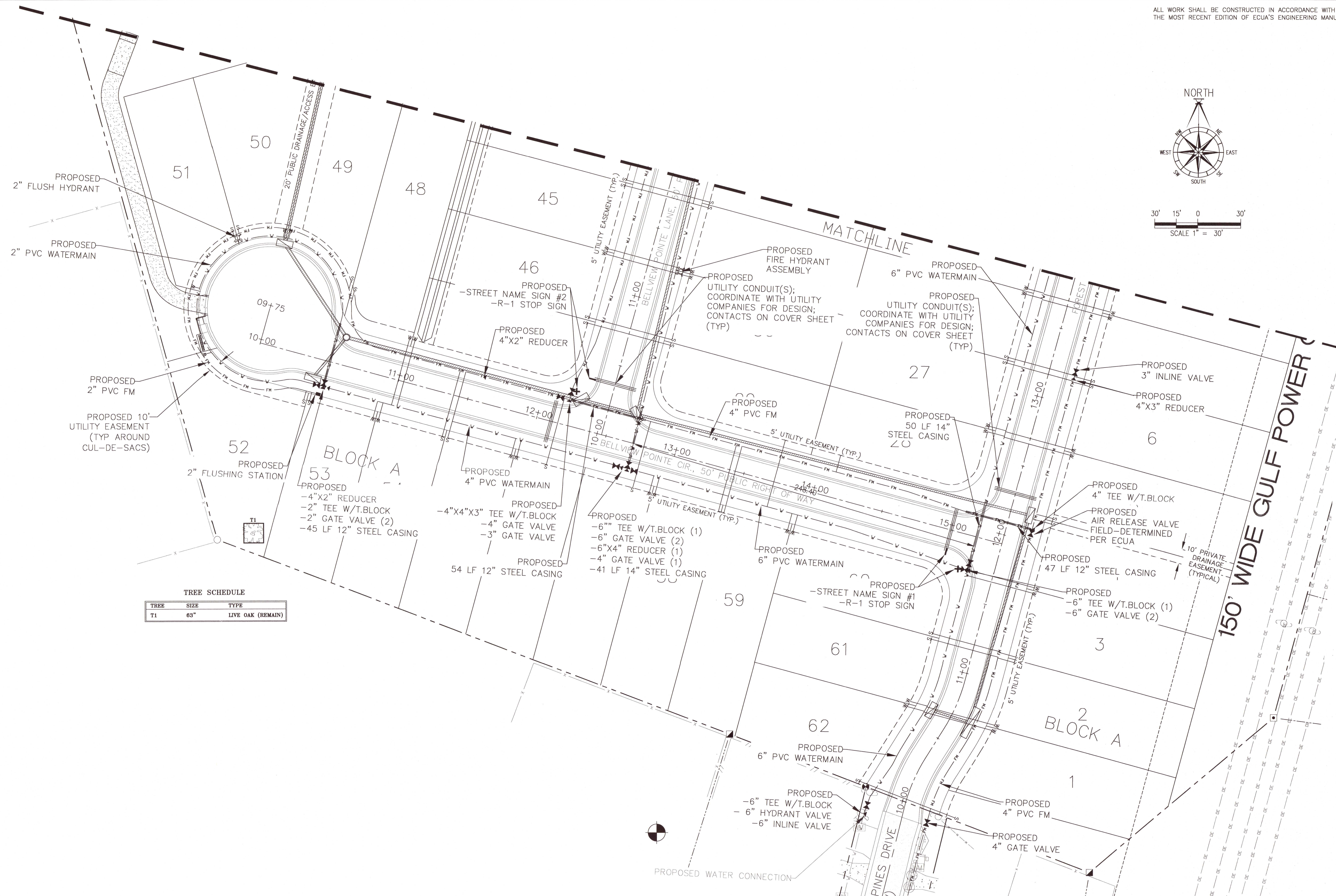
DRAWN BY:  
B. PEMENT  
DESIGNED BY:  
D. FITZPATRICK



PROJECT NUMBER: 20-036  
PLOT DATE: 03/25/22  
SHEET C4 OF C28



DAVID W. FITZPATRICK  
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PENSACOLA, FL 32534  
PH: (850)476-4877 FAX: (850)476-7708



TREE	SIZE	TYPE
T1	63"	LIVE OAK (REMAIN)

BELL VIEW POINTE

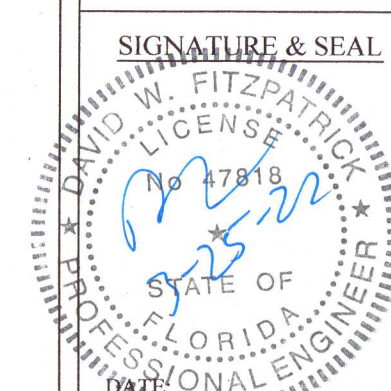
UTILITY PLAN-SOUTH

[illegible]

DRAWN BY:  
B. PEMENT

---

DESIGNED BY:  
D. FITZPATRICK



PROJECT NUMBER	20-036
PLOT DATE	03/25/22
SHEET	C5 OF C28



DAVID W. FITZPATRICK  
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## UTILITY PLAN-NORTH

[illegible]

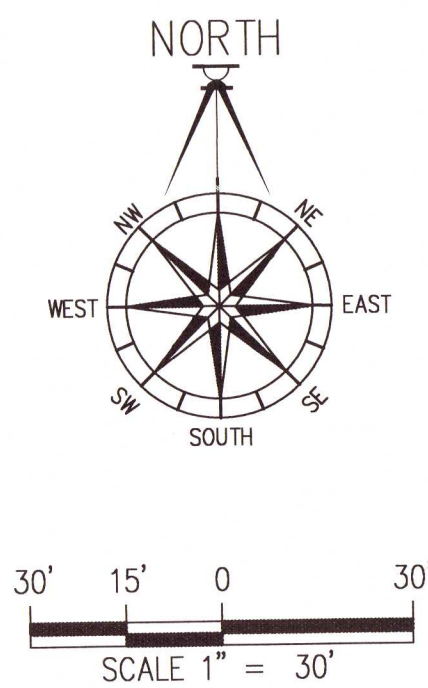
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NUMBER	22-1234
PLOT DATE	03/25/22

DATE	SEP 25 1992
CLASS#	C6 OF C28

SHEET C6 OF C28





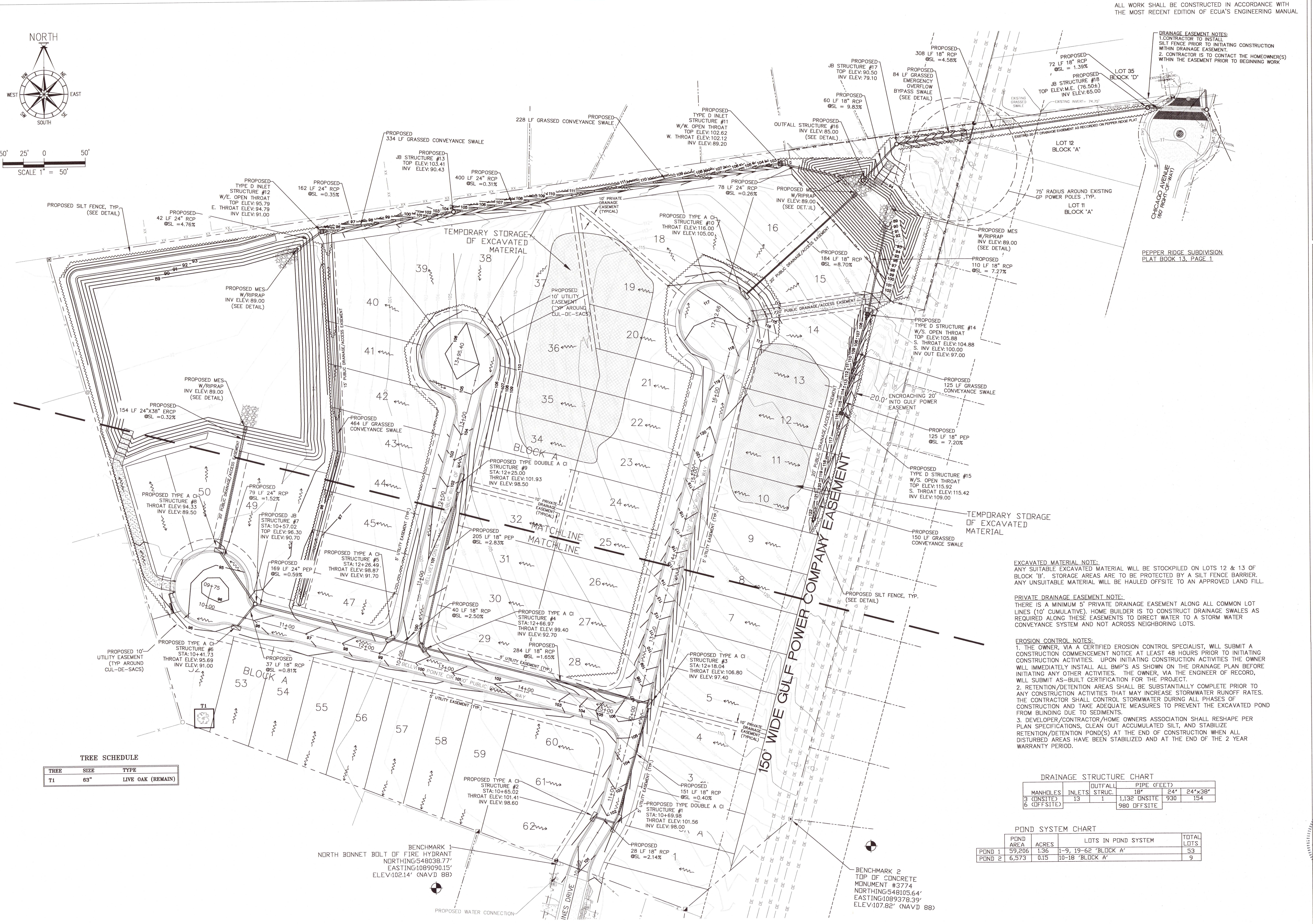
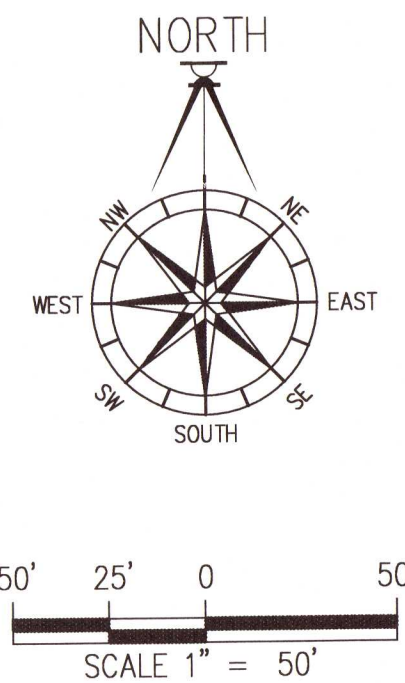
ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT EDITION OF ECUA'S ENGINEERING MANUAL

DAVID W. FITZPATRICK  
PROFESSIONAL ENGINEER, P.A.  
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BELLVIEW POINTE  
DRAINAGE PLAN-OVERALL

DATE	
REVISION	
NUMBER	

DRAWN BY: B. PEMENT
DESIGNED BY: D. FITZPATRICK
SIGNATURE & SEAL DAVID W. FITZPATRICK P.E. 00008423 STATE OF FLORIDA PROFESSIONAL ENGINEER
DATE: PROJECT NUMBER: 20-036
PLOT DATE: 03/25/22
SHEET C7 OF C28



DRAINAGE EASEMENT NOTES:  
1. CONTRACTOR TO INSTALL SILT FENCE PRIOR TO INITIATING CONSTRUCTION WITHIN DRAINAGE EASEMENT.  
2. CONTRACTOR IS TO CONTACT THE HOMEOWNER(S) WITHIN THE EASEMENT PRIOR TO BEGINNING WORK.

PEPPER RIDGE SUBDIVISION  
PLAT BOOK 13, PAGE 1

EXCAVATED MATERIAL NOTE:  
ANY SUITABLE EXCAVATED MATERIAL WILL BE STOCKPILED ON LOTS 12 & 13 OF BLOCK 'B'. STORAGE AREAS ARE TO BE PROTECTED BY A SILT FENCE BARRIER. ANY UNSUITABLE MATERIAL WILL BE HAULED OFFSITE TO AN APPROVED LAND FILL.

PRIVATE DRAINAGE EASEMENT NOTE:  
THERE IS A MINIMUM 5' PRIVATE DRAINAGE EASEMENT ALONG ALL COMMON LOT LINES (10' CUMULATIVE). HOME BUILDER IS TO CONSTRUCT DRAINAGE SWALES AS REQUIRED ALONG THESE EASEMENTS TO DIRECT WATER TO A STORM WATER CONVEYANCE SYSTEM AND NOT ACROSS NEIGHBORING LOTS.

EROSION CONTROL NOTES:  
1. THE OWNER, VIA A CERTIFIED EROSION CONTROL SPECIALIST, WILL SUBMIT A CONSTRUCTION COMMENCEMENT NOTICE AT LEAST 48 HOURS PRIOR TO INITIATING CONSTRUCTION ACTIVITIES. UPON INITIATING CONSTRUCTION ACTIVITIES THE OWNER WILL IMMEDIATELY INSTALL ALL BMP'S AS SHOWN ON THE DRAINAGE PLAN BEFORE INITIATING ANY OTHER ACTIVITIES. THE OWNER, VIA THE ENGINEER OF RECORD, WILL SUBMIT AS-BUILT CERTIFICATION FOR THE PROJECT.  
2. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.  
3. DEVELOPER/CONTRACTOR/HOME OWNERS ASSOCIATION SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND AT THE END OF THE 2 YEAR WARRANTY PERIOD.

DRAINAGE STRUCTURE CHART				
MANHOLES	INLETS	OUTFALL STRUC.	PIPE (FEET)	
			18"	24" 24"x38"
3 (ONSITE)	13	1	1,132 ONSITE	930 154
6 (OFFSITE)			980 OFFSITE	

POND SYSTEM CHART			
POND AREA	ACRES	LOTS IN POND SYSTEM	TOTAL LOTS
POND 1 59,206	1.36	1-9, 19-62 'BLOCK A'	53
POND 2 6,573	0.15	10-18 'BLOCK A'	9

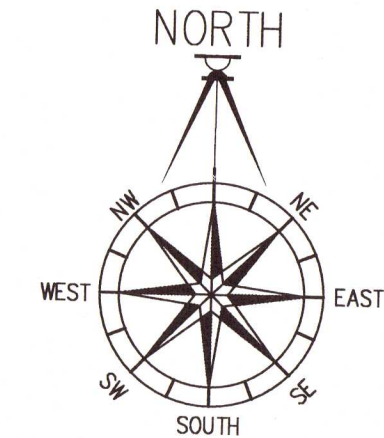
TREE SCHEDULE		
TREE	SIZE	TYPE
T1	63"	LIVE OAK (REMAIN)

BENCHMARK 1  
NORTH BONNET BOLT OF FIRE HYDRANT  
NORTHING:548038.77'  
EASTING:1089090.15'  
ELEV:102.14' (NAVD 88)

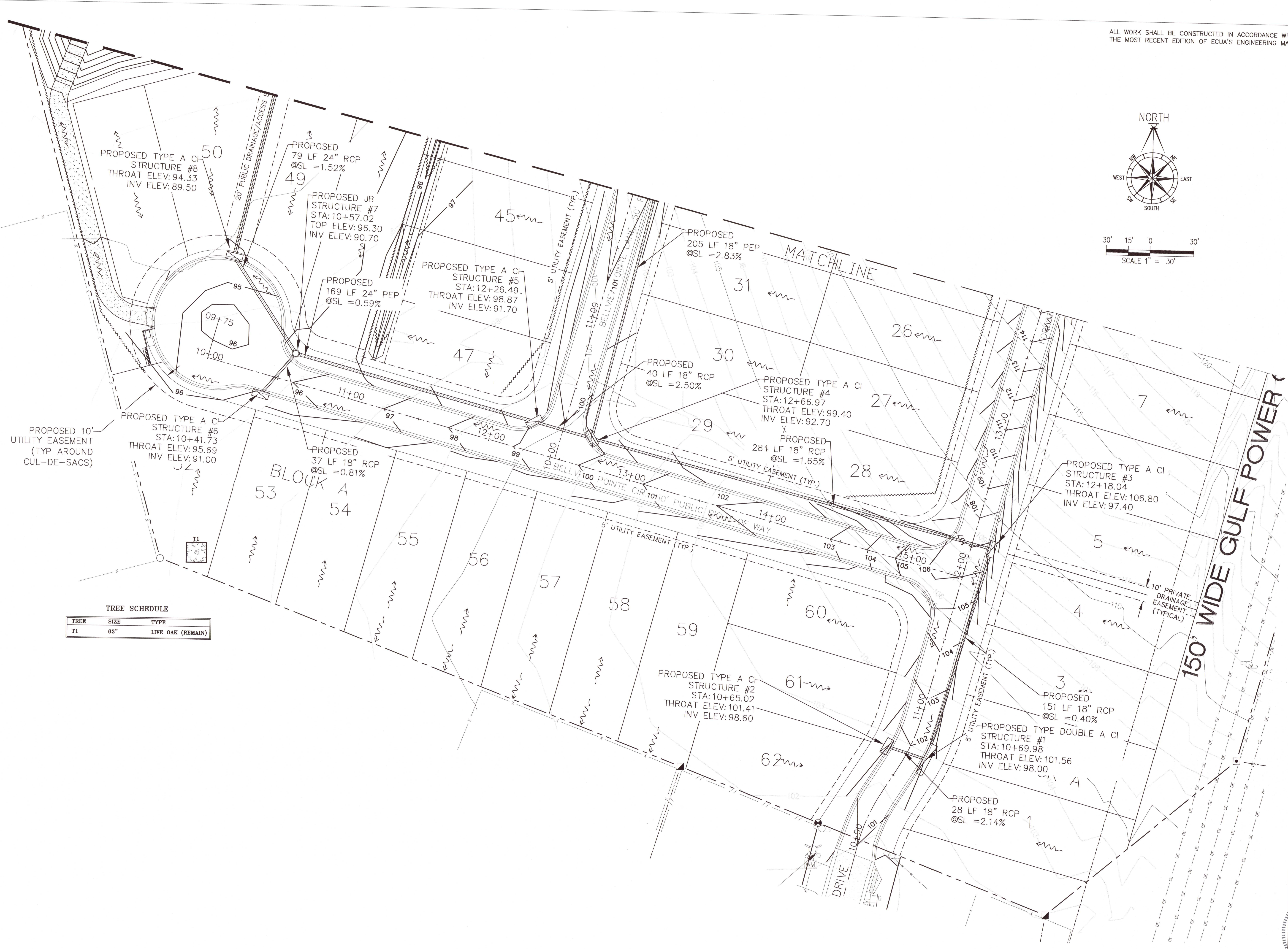
BENCHMARK 2  
TOP OF CONCRETE MONUMENT #3774  
NORTHING:548105.64'  
EASTING:1089378.39'  
ELEV:107.82' (NAVD 88)



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30' 15' 0 30'  
SCALE 1" = 30'



TREE SCHEDULE

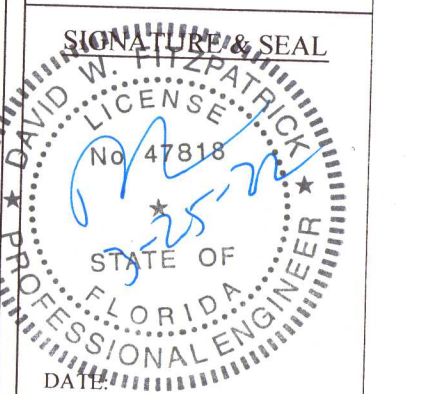
TREE	SIZE	TYPE
T1	63"	LIVE OAK (REMAIN)

DAVID W. FITZPATRICK  
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BELLVIEW POINTE  
DRAINAGE PLAN-SOUTH

DATE	
REVISION	
NUMBER	

DRAWN BY:  
B. PEMENT  
DESIGNED BY:  
D. FITZPATRICK



PROJECT NUMBER: 20-036  
PLOT DATE: 03/25/22  
SHEET C8 OF C28



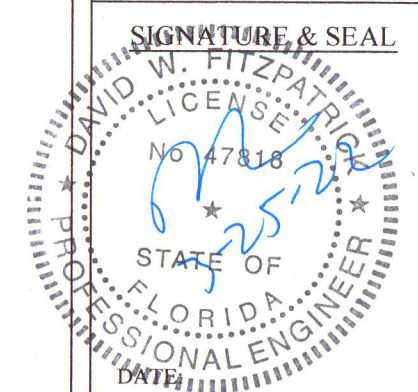


## DRAINAGE PLAN-NORTH

[illegible]

DRAWN BY:  
B. PEMENT

DESIGNED BY:  
D. FITZPATRICK



PROJECT NUMBER	20-036
PLOT DATE	03/25/22
SHEET	C9 OF C28

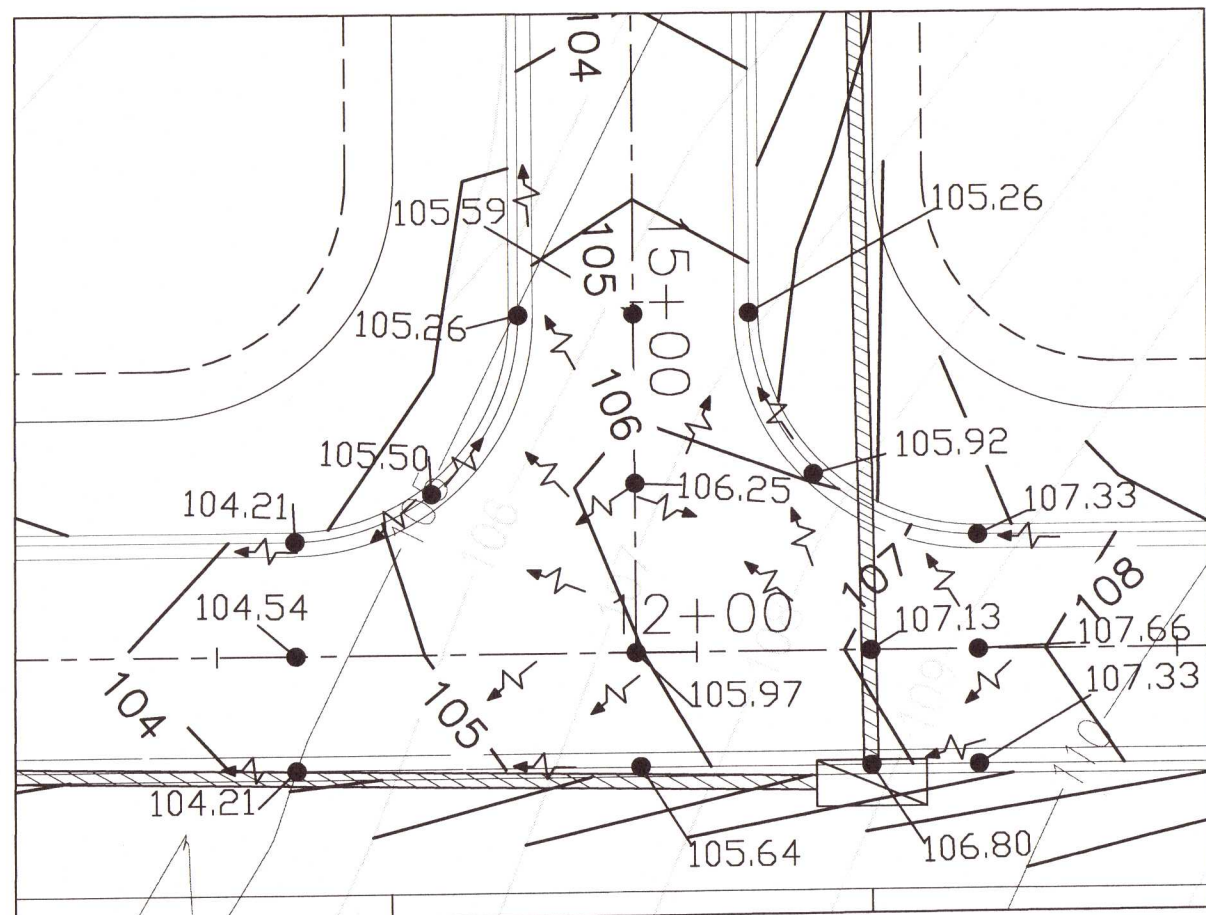
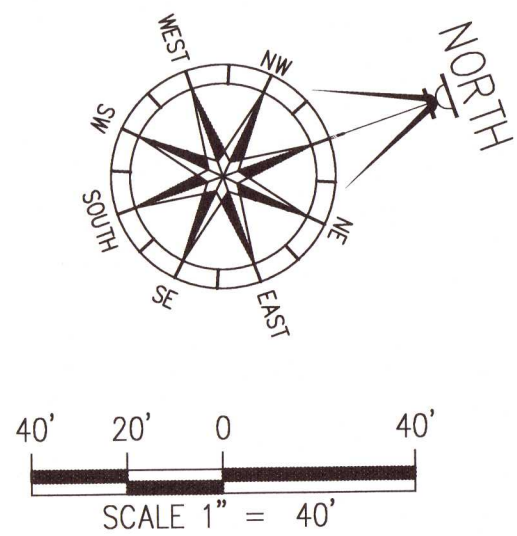


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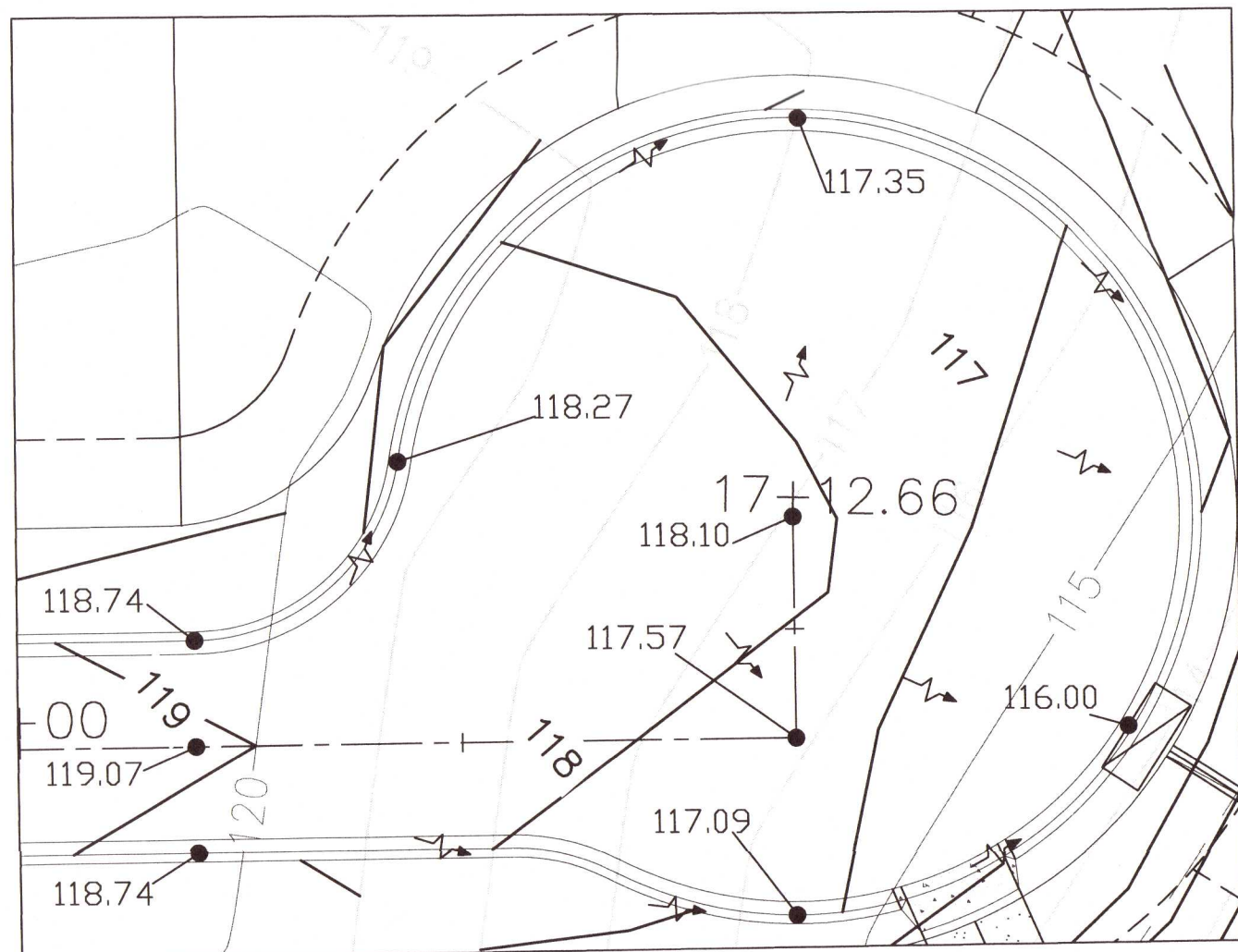
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FOREST PINES PLAN/PROFILE

DATE	
REVISION	
NUMBER	

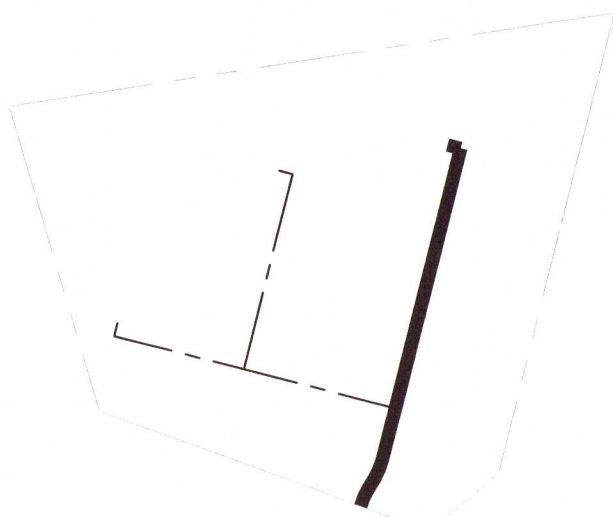
DRAWN BY:  
B. PEMENT  
DESIGNED BY:  
D. FITZPATRICK  
SIGNATURE & SEAL  
DAVID W. FITZPATRICK  
No. 47816  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
PROJECT NUMBER  
20-036  
PLOT DATE  
03/25/22  
SHEET  
C10 OF C28



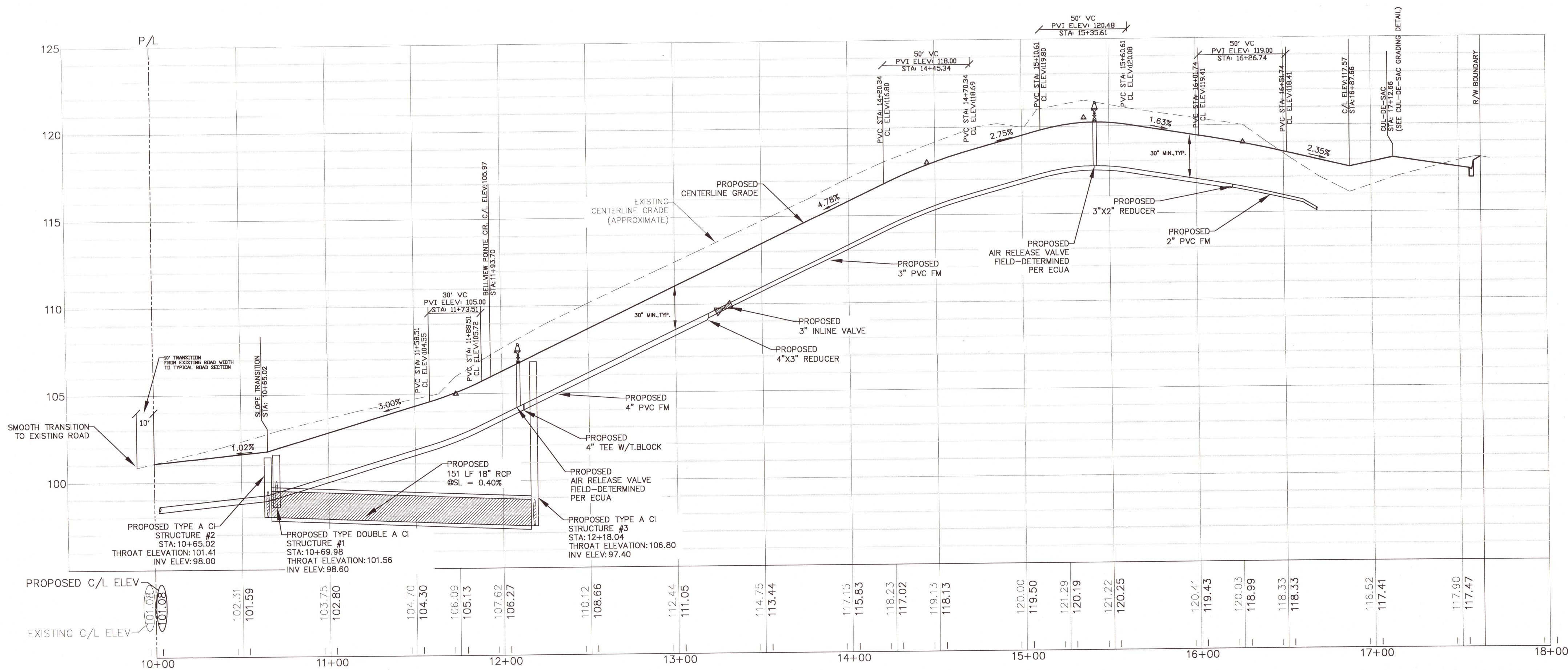
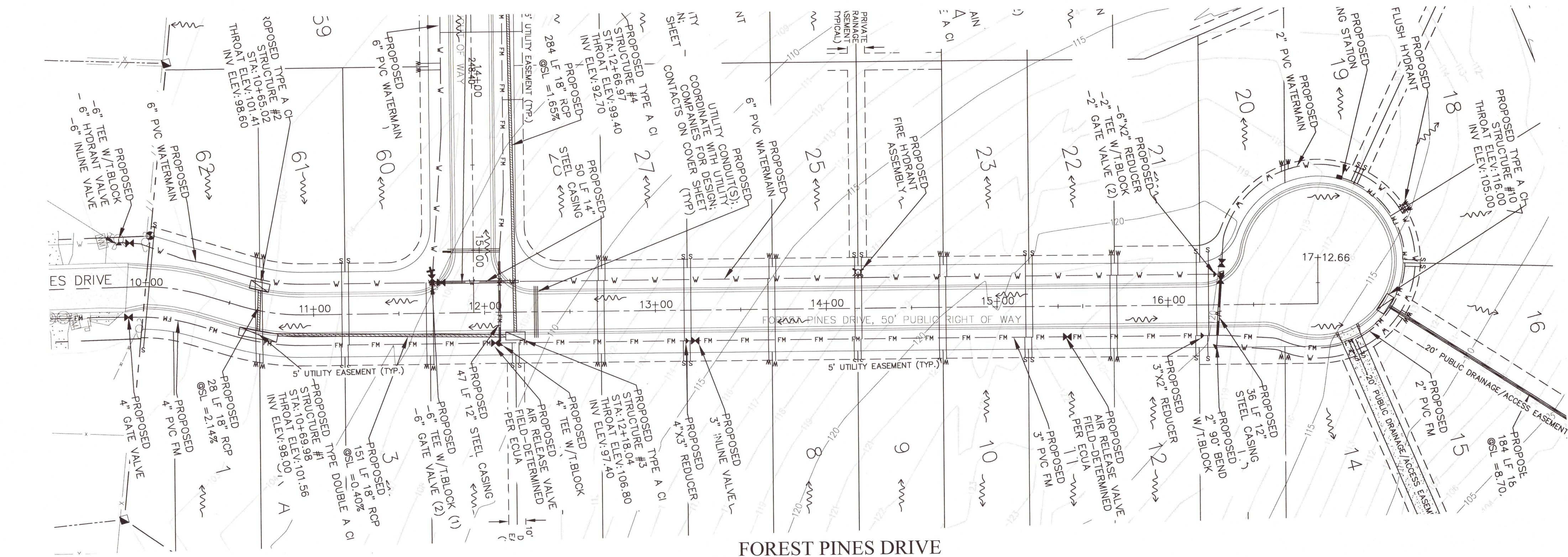
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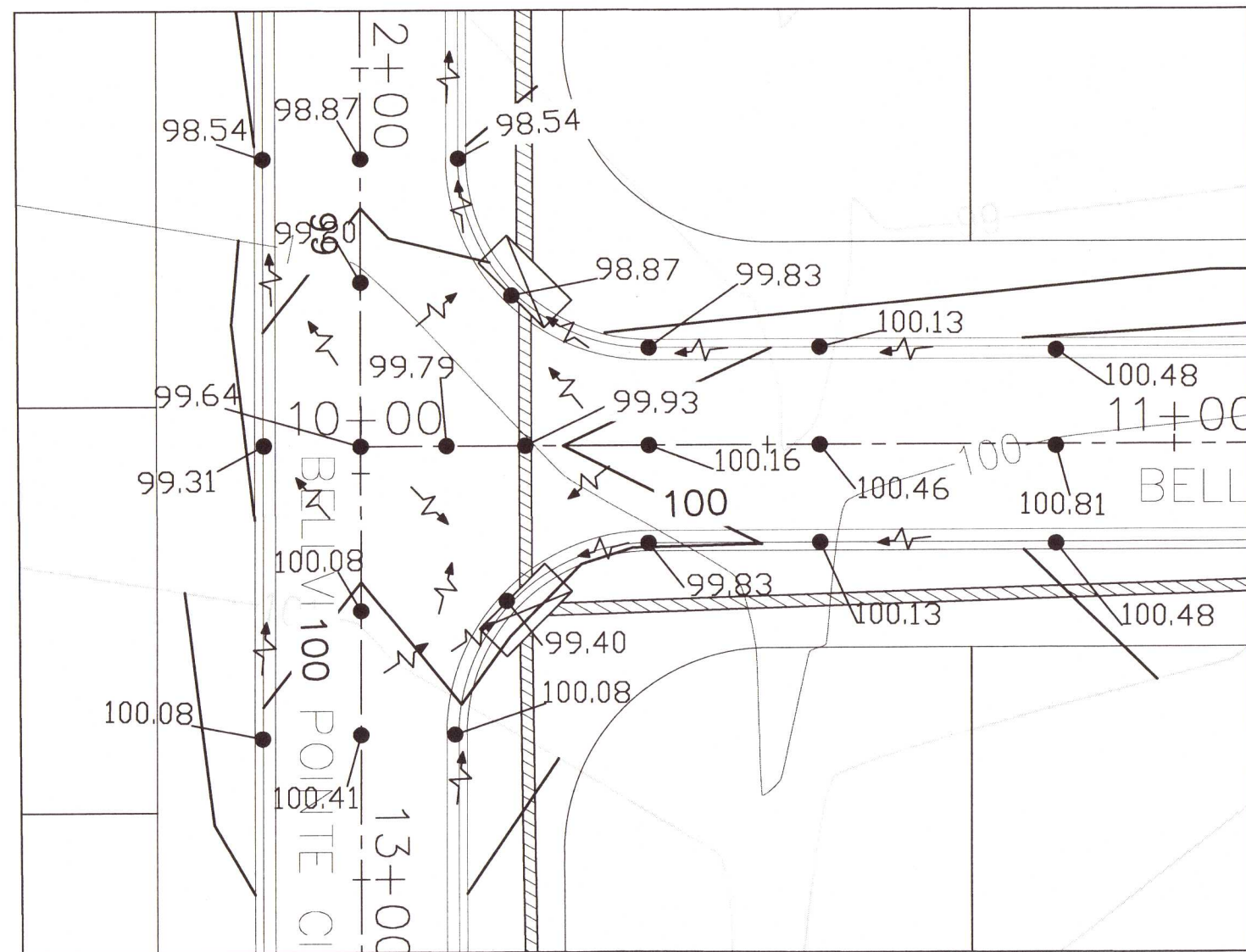
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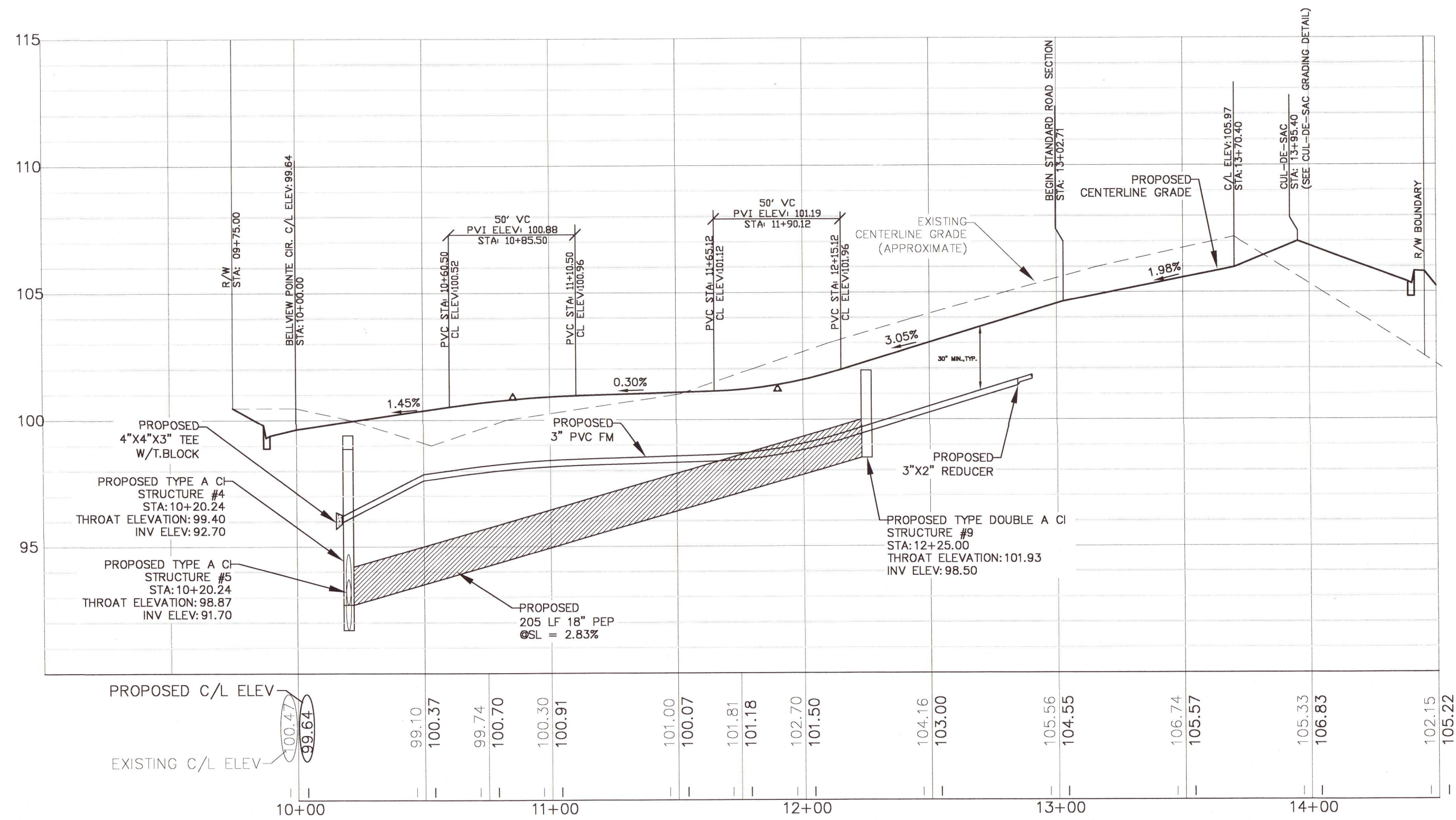
PROFILE LOCATION







PROFILE LOCATION

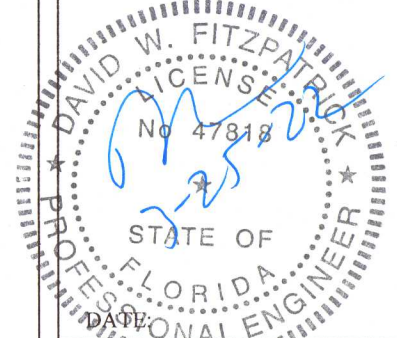
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DRAWN BY:  
B. PEMENT

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DESIGNED BY:  
D. FITZPATRICK

SIGNATURE & SEAL



PROJECT NUMBER 20-036

PLOT DATE 03/25/22

SHEET C11 OF C28

SHEET C11 OF C28



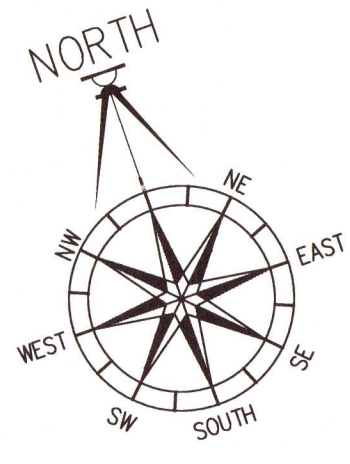
ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT EDITION OF ECUA'S ENGINEERING MANUAL

DAVID W. FITZPATRICK  
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PENSACOLA, FL 32534  
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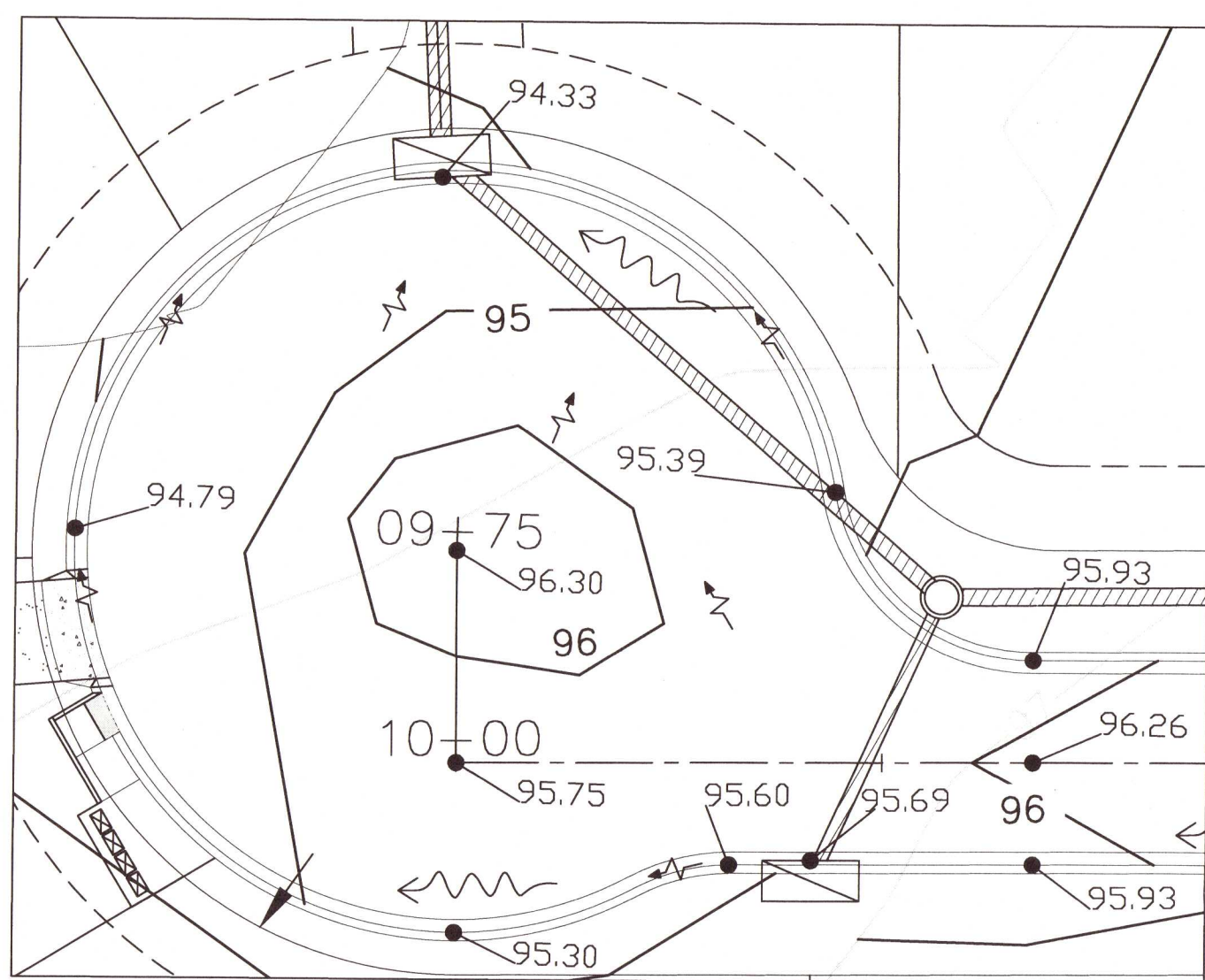
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BELLVIEW POINTE CIR. PLAN/PROFILE

DATE	
REVISION	
SUBMITTAL	

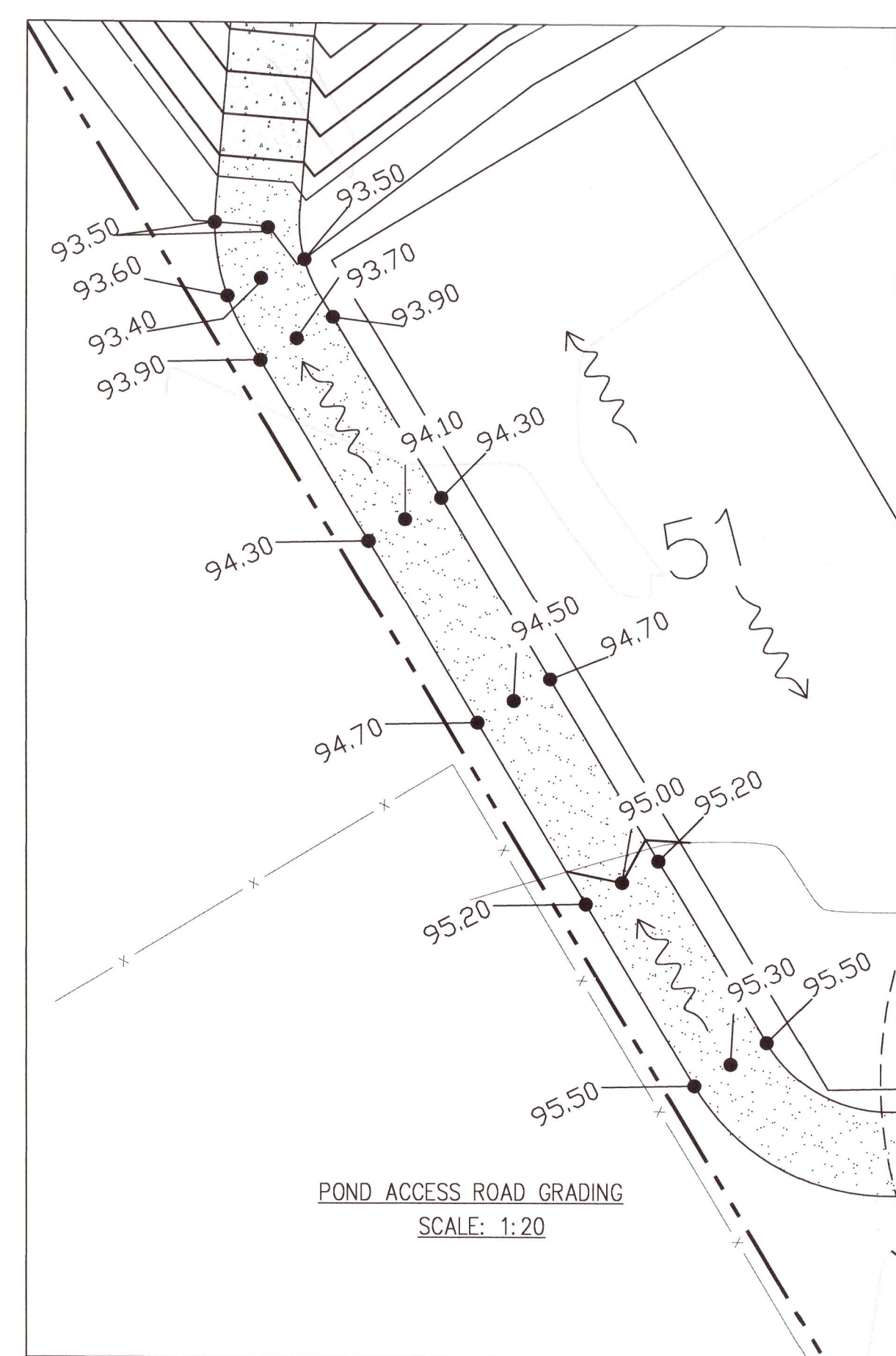
DRAWN BY: B. PEMENT
DESIGNED BY: D. FITZPATRICK
SIGNATURE & SEAL DAVID W. FITZPATRICK P.E. STATE OF FLORIDA PROFESSIONAL ENGINEER No. 4793
PROJECT NUMBER 20-036
PLOT DATE 02/23/22
SHEET C12 OF C28



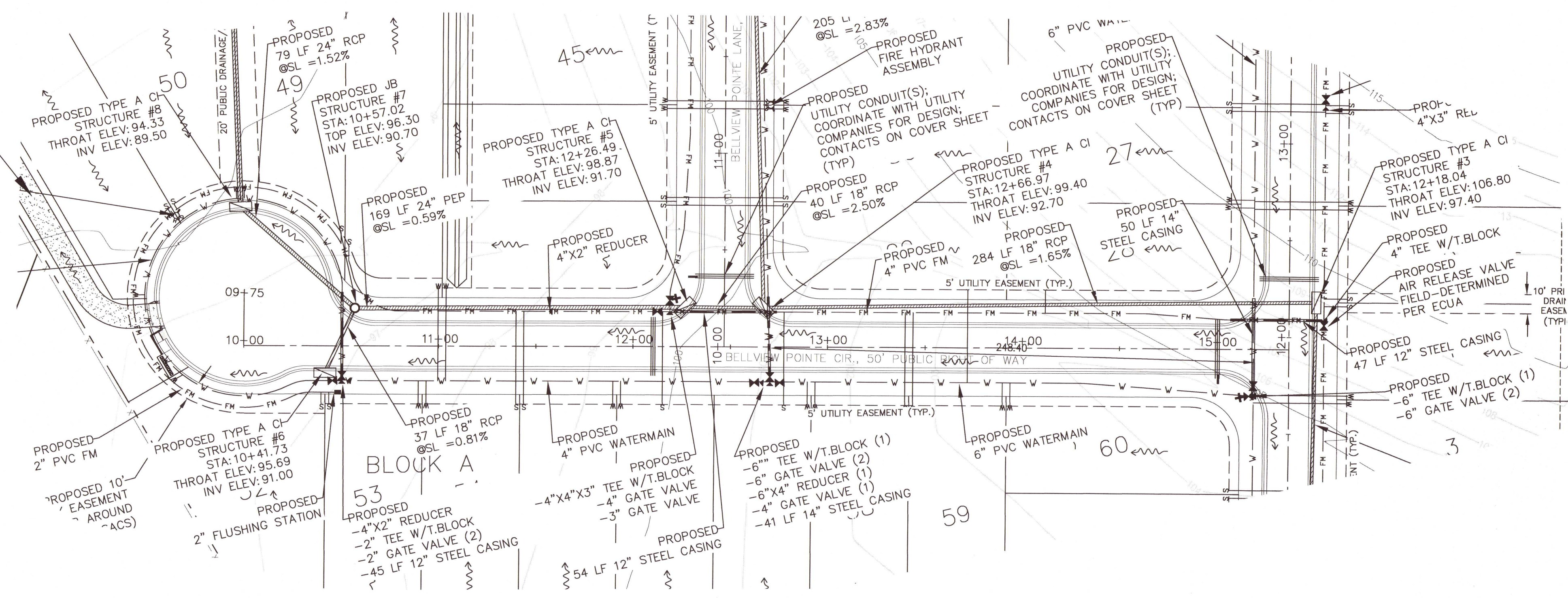
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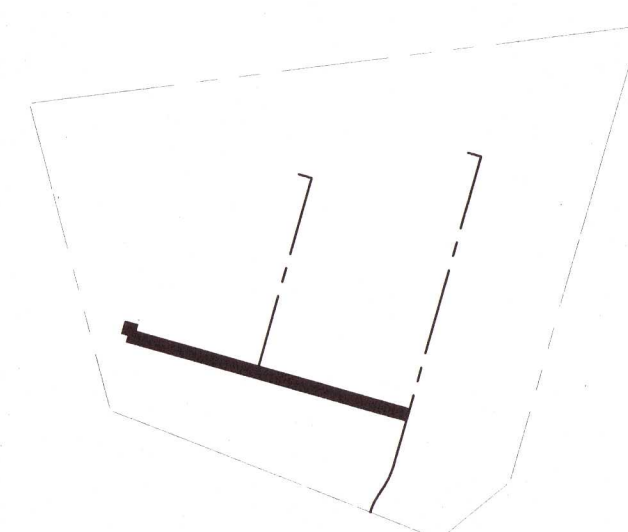
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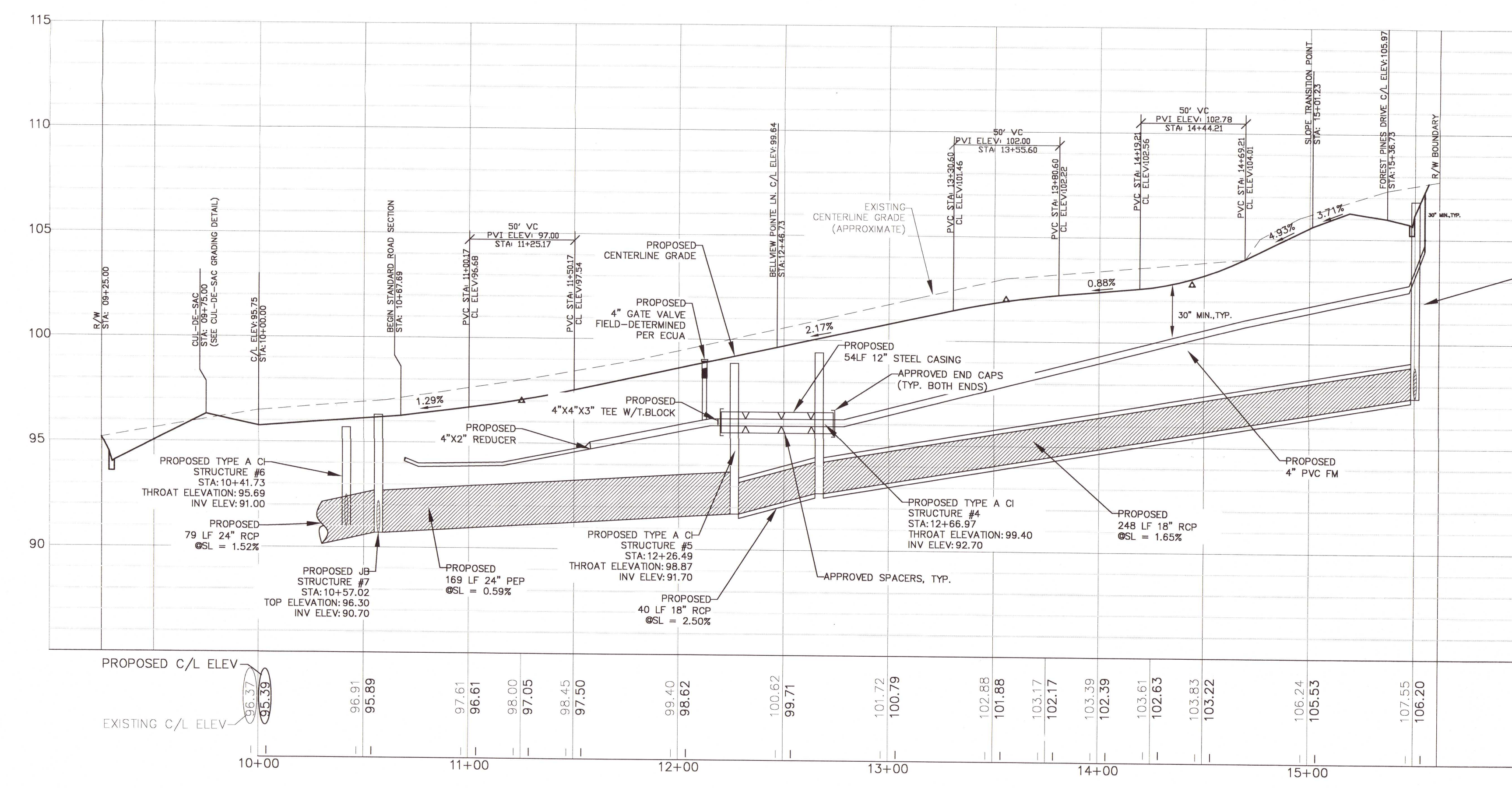
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BELLVIEW POINTE CIR.



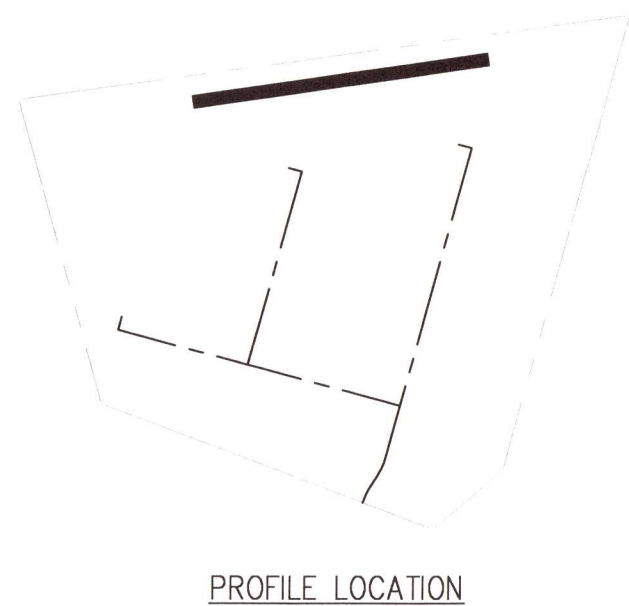
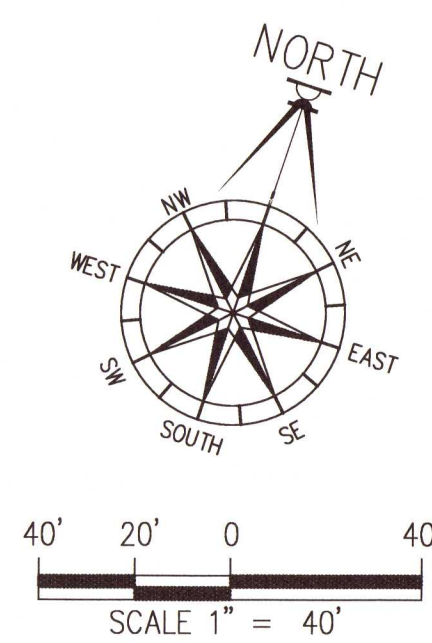
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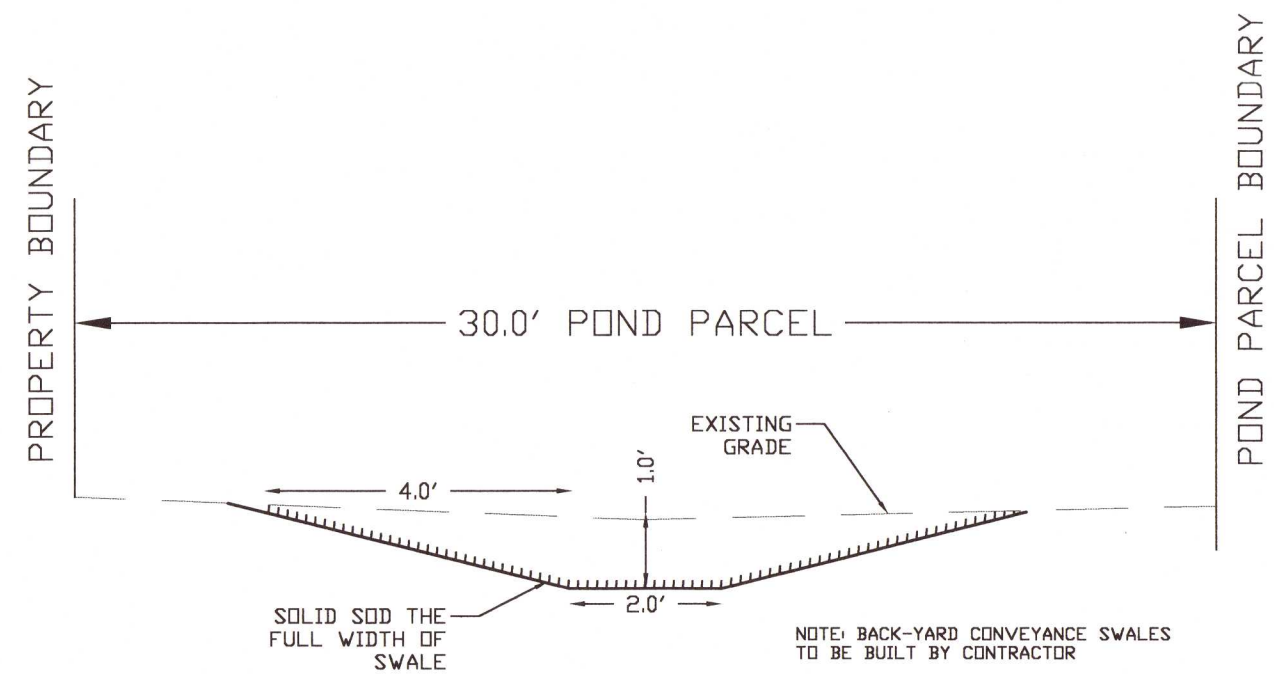
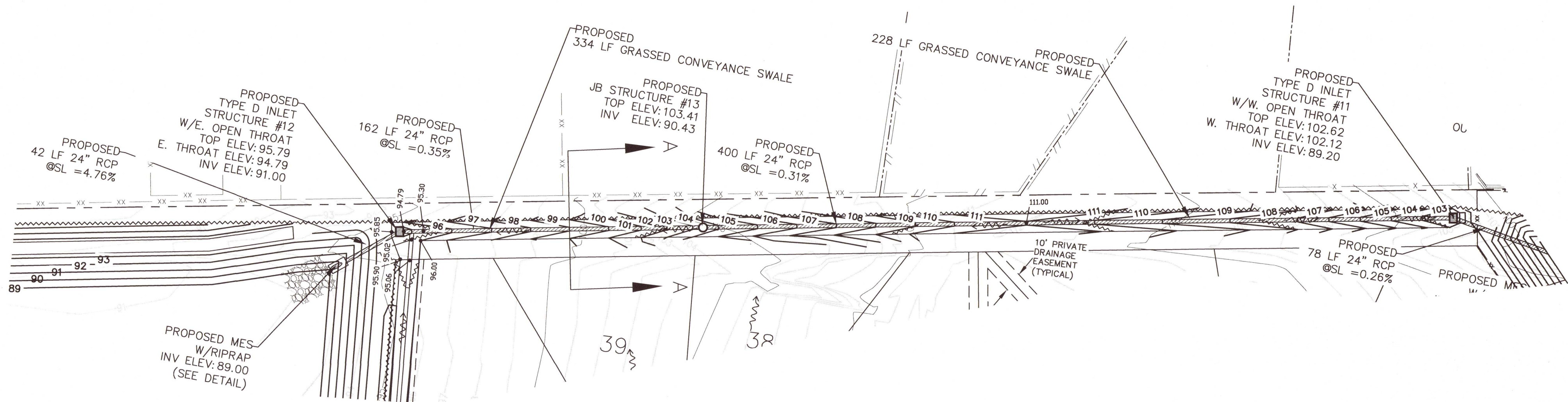
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EXISTING C/L ELEV



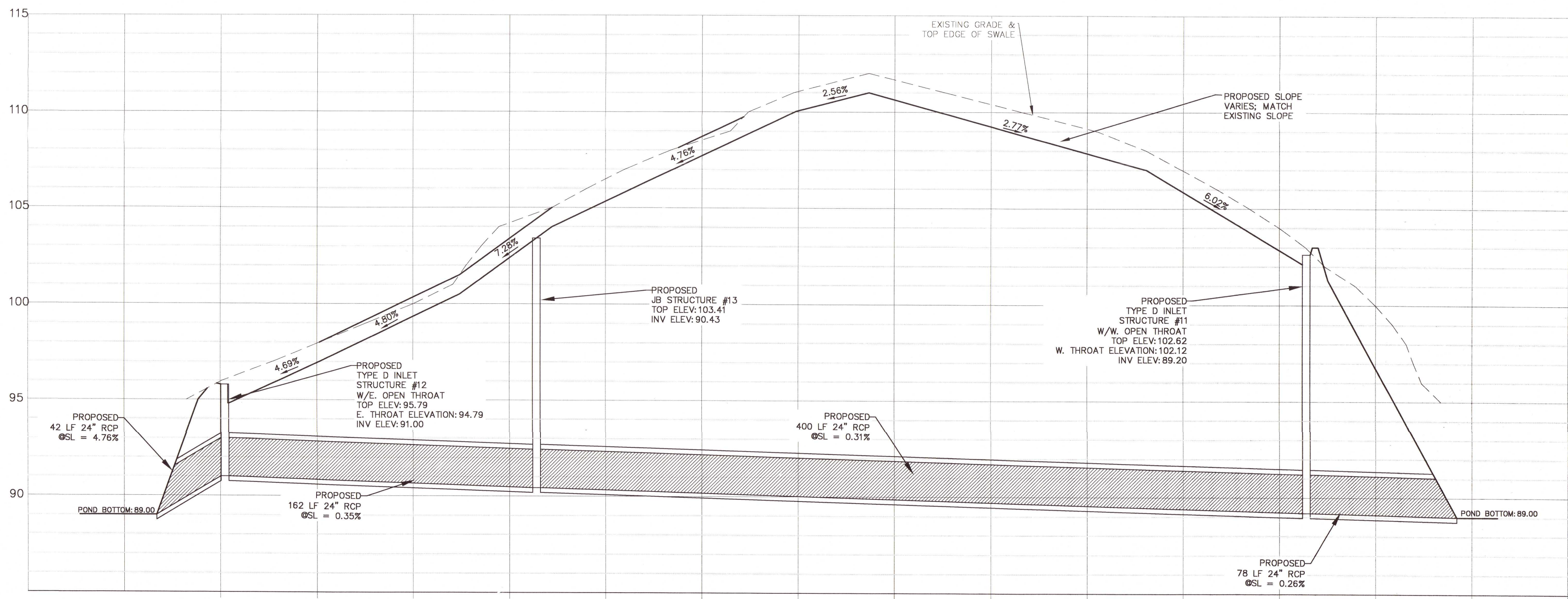
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PROFILE LOCATION



SECTION A-A  
CONVEYANCE SWALE DETAIL  
NTS



DAVID W. FITZPATRICK  
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# BELLVIEW POINTE

## NORTH SWALE PLAN/PROFILE

DATE	
REVISION	
NUMBER	

DRAWN BY:  
B. PEMENT

DESIGNED BY:  
D. FITZPATRICK

SIGNATURE & SEAL  
DAVID W. FITZPATRICK  
No. 47818  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

PROJECT NUMBER  
20-036

PLOT DATE  
03/25/22

SHEET C13 OF C28



ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT EDITION OF ECUA'S ENGINEERING MANUAL

DAVID W. FITZPATRICK  
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BELLVIEW POINTE  
EAST SWALE PLAN/PROFILE

DATE	
REVISION	
NUMBER	

DRAWN BY:  
B. PEMENT

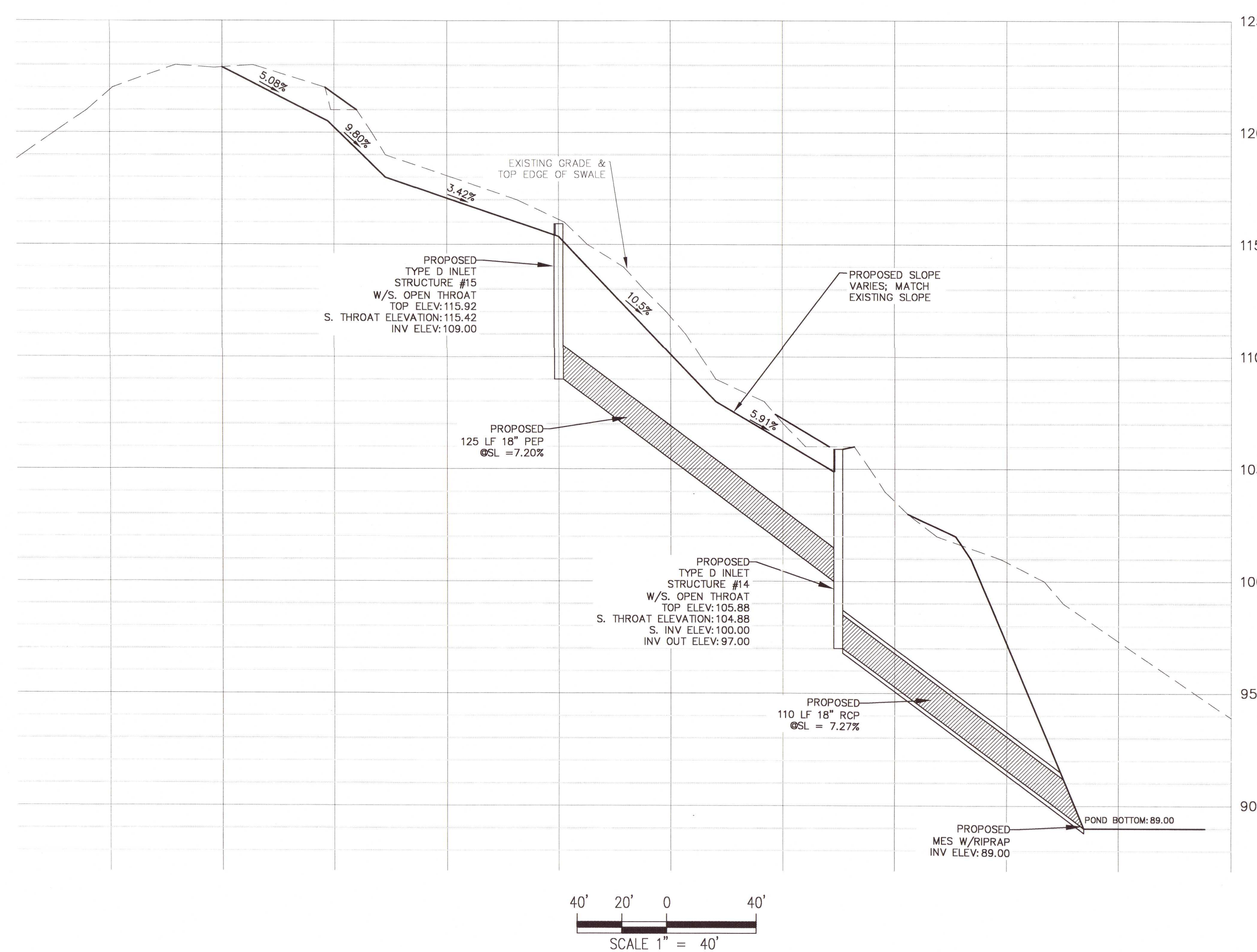
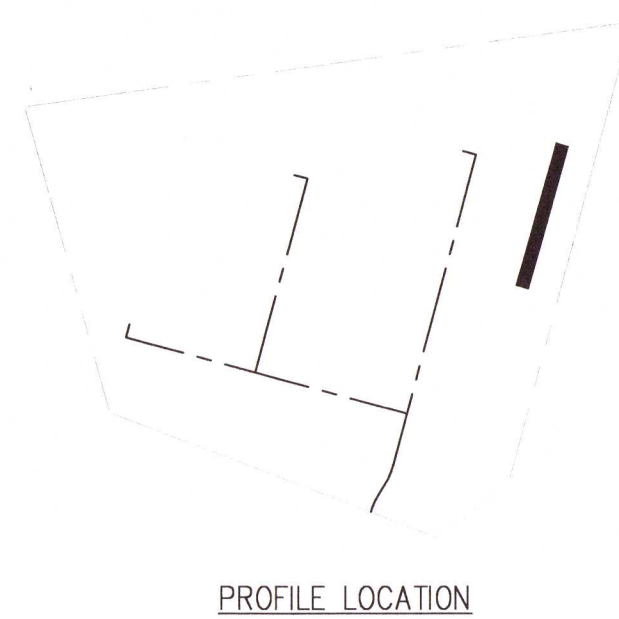
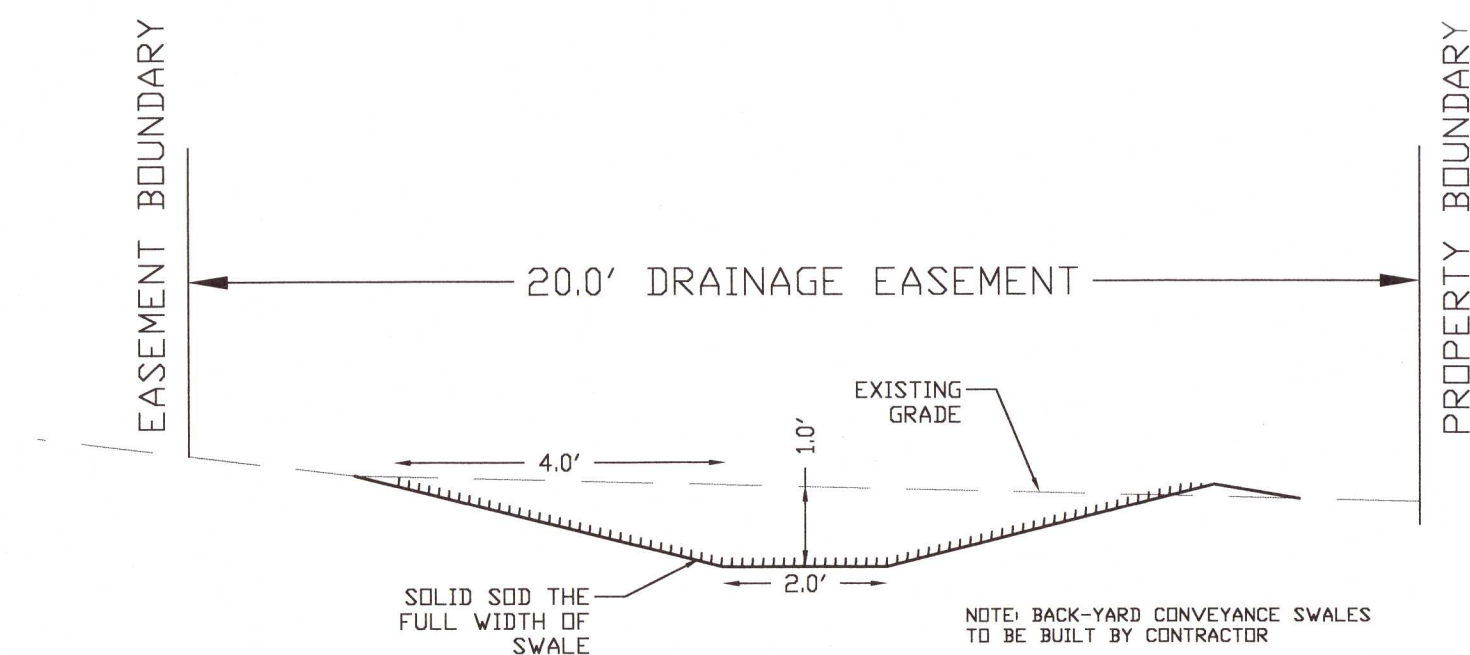
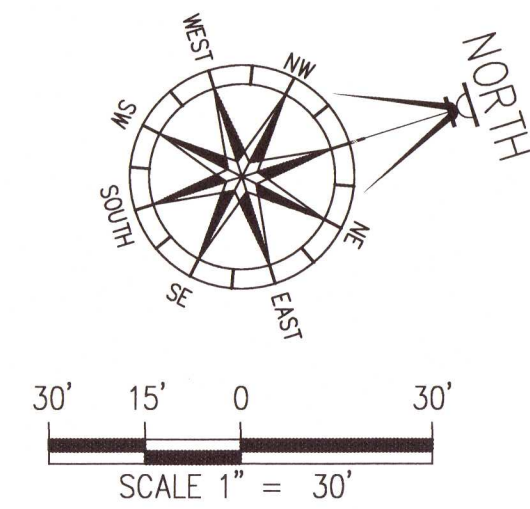
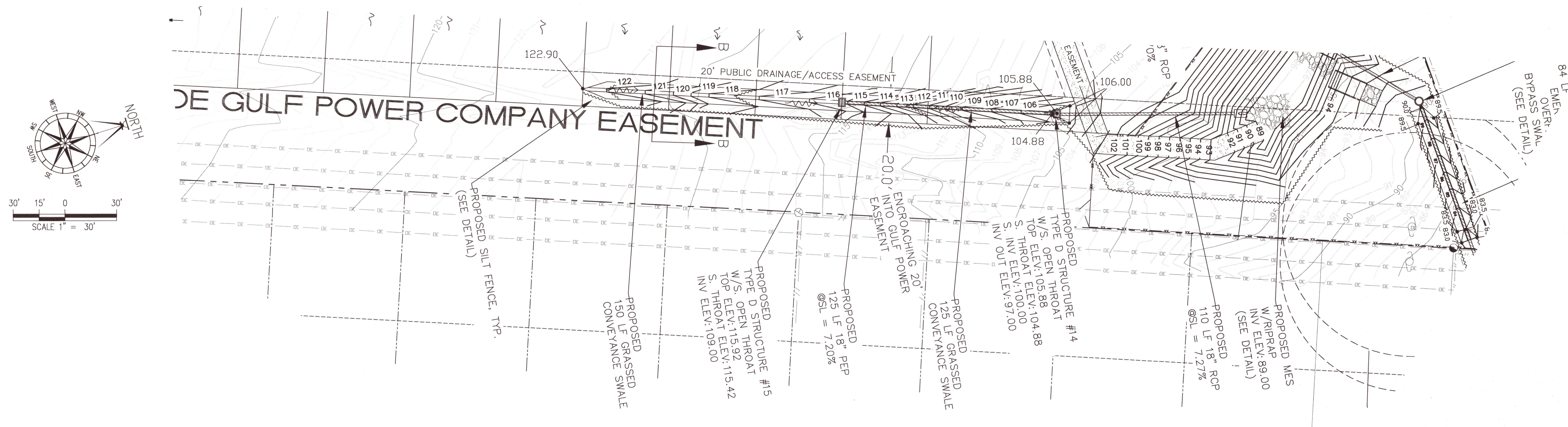
DESIGNED BY:  
D. FITZPATRICK

SIGNATURE & SEAL  
DAVID W. FITZPATRICK  
No. 47818  
P.E.  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

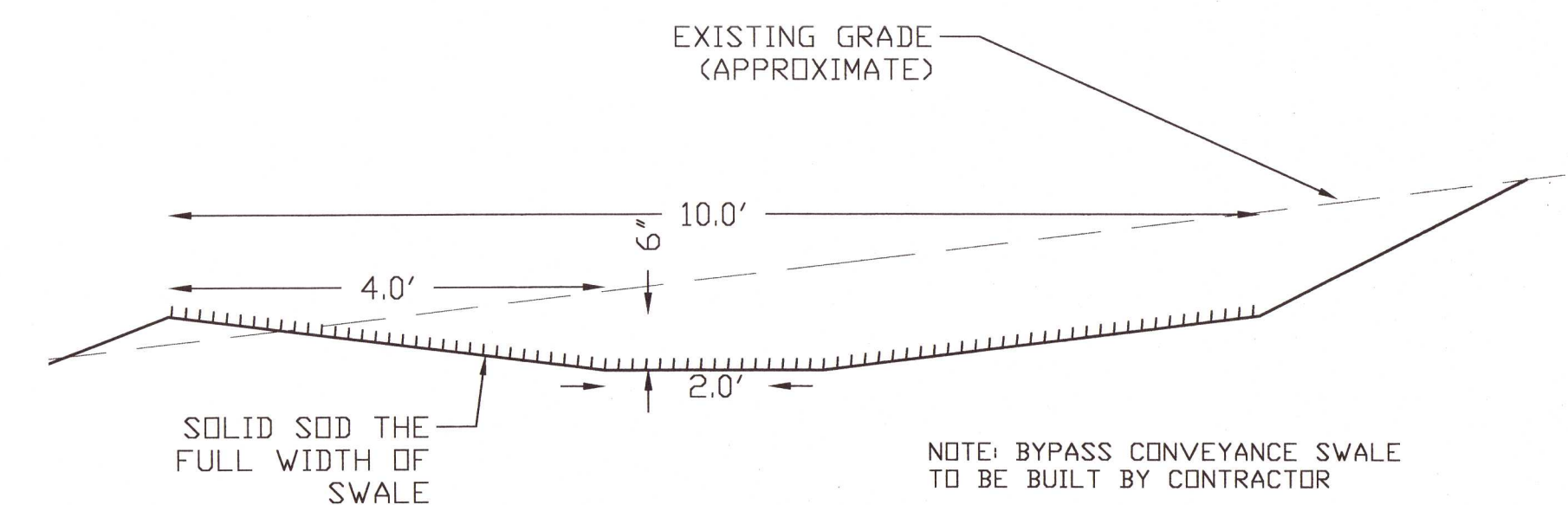
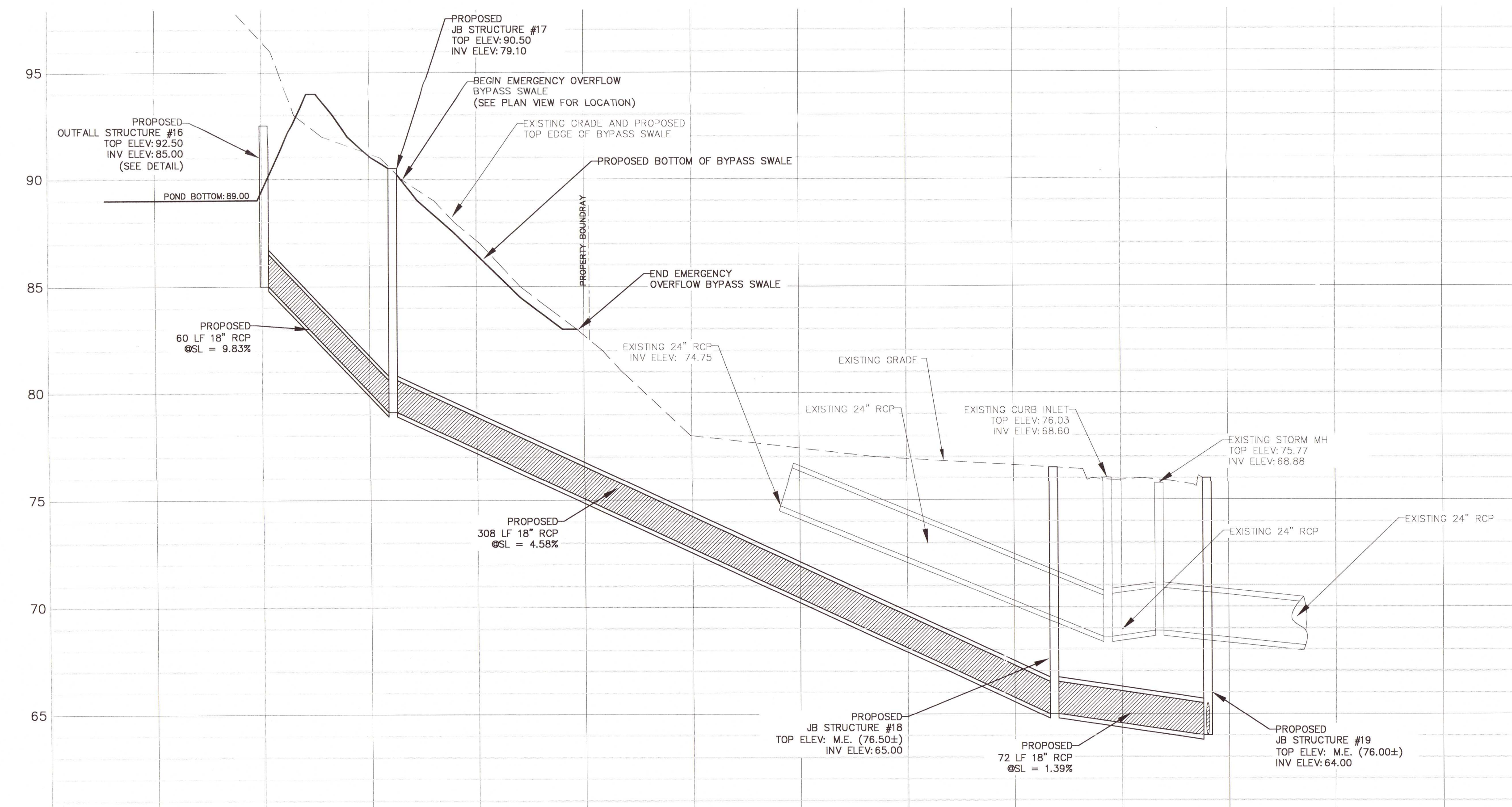
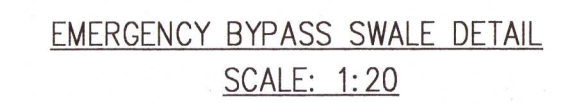
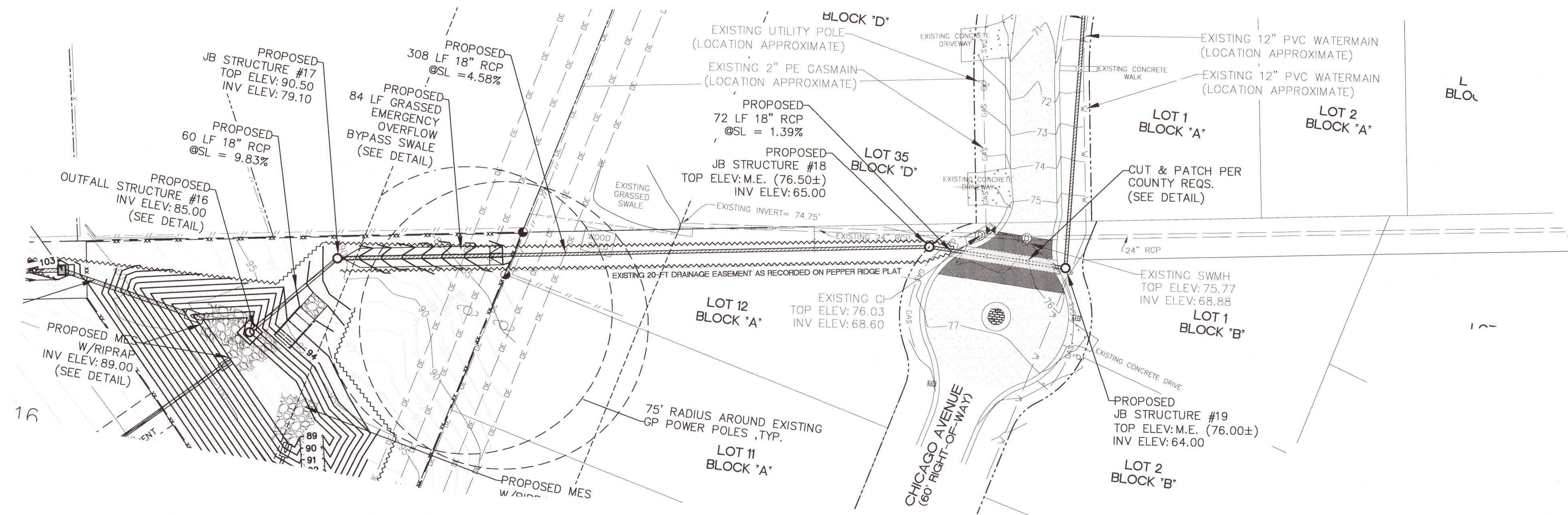
PROJECT NUMBER  
20-036

PLOT DATE  
03/25/22

SHEET  
C14 of C28







SECTION F-F  
CONVEYANCE SWALE DETAIL  
NTS

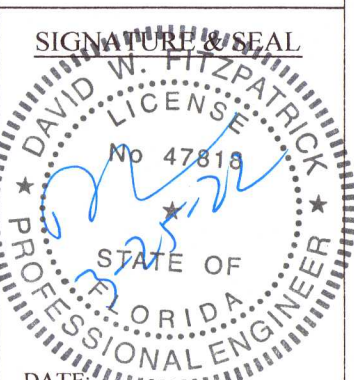
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POND OUTFALL PLAN/PROFILE

[illegible]

DRAWN BY:  
B. PEMENT

DESIGNED BY:  
D. FITZPATRICK



PROJECT NUMBER	20-036
PLOT DATE	03/25/22



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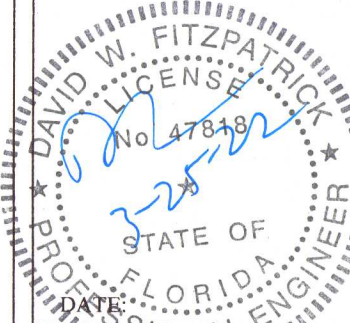
BELL VIEW POINTE  
OFFSITE STORMWATER

NUMBER	REVISION	DATE

DRAWN BY:  
B. PEMENT

DESIGNED BY:  
D. FITZPATRICK

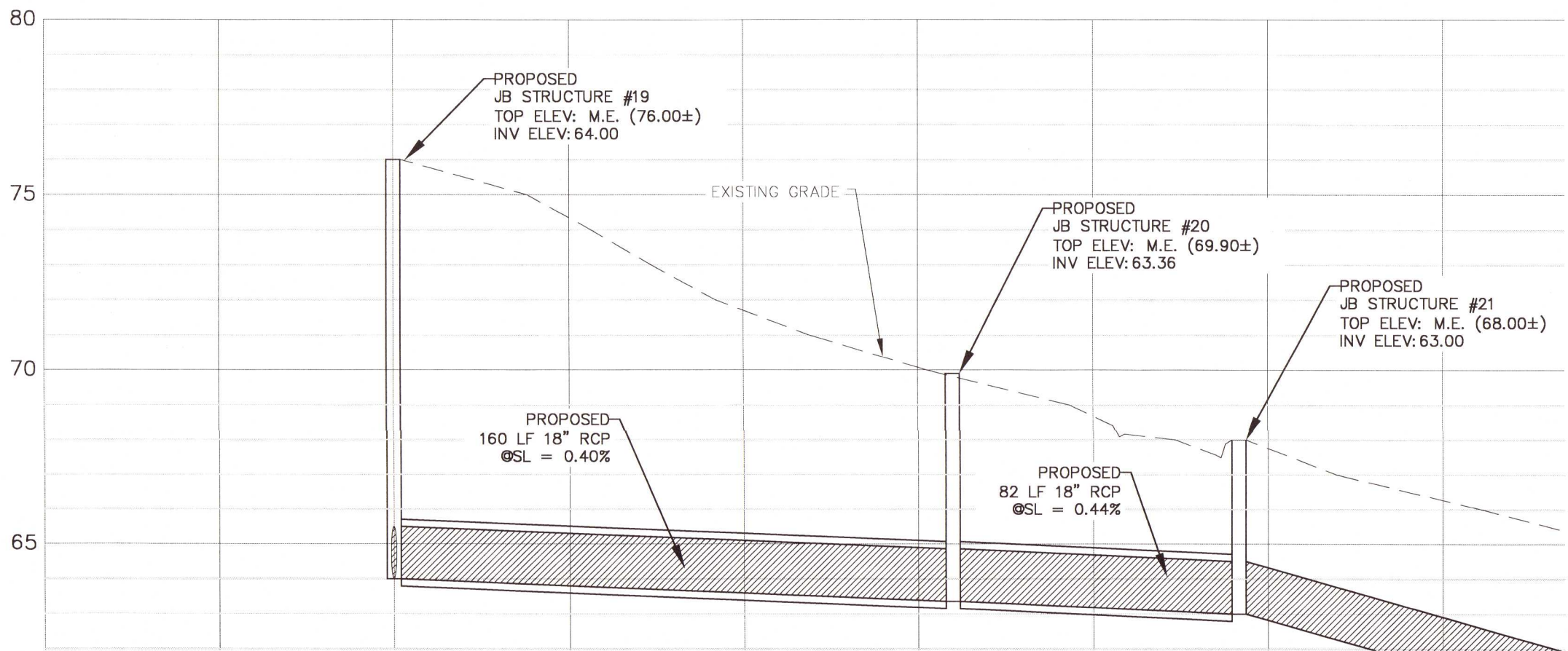
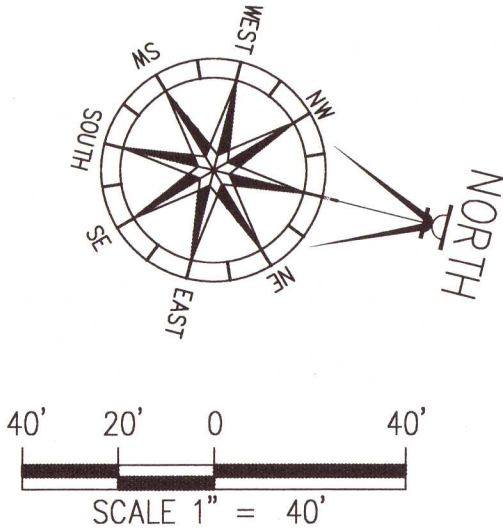
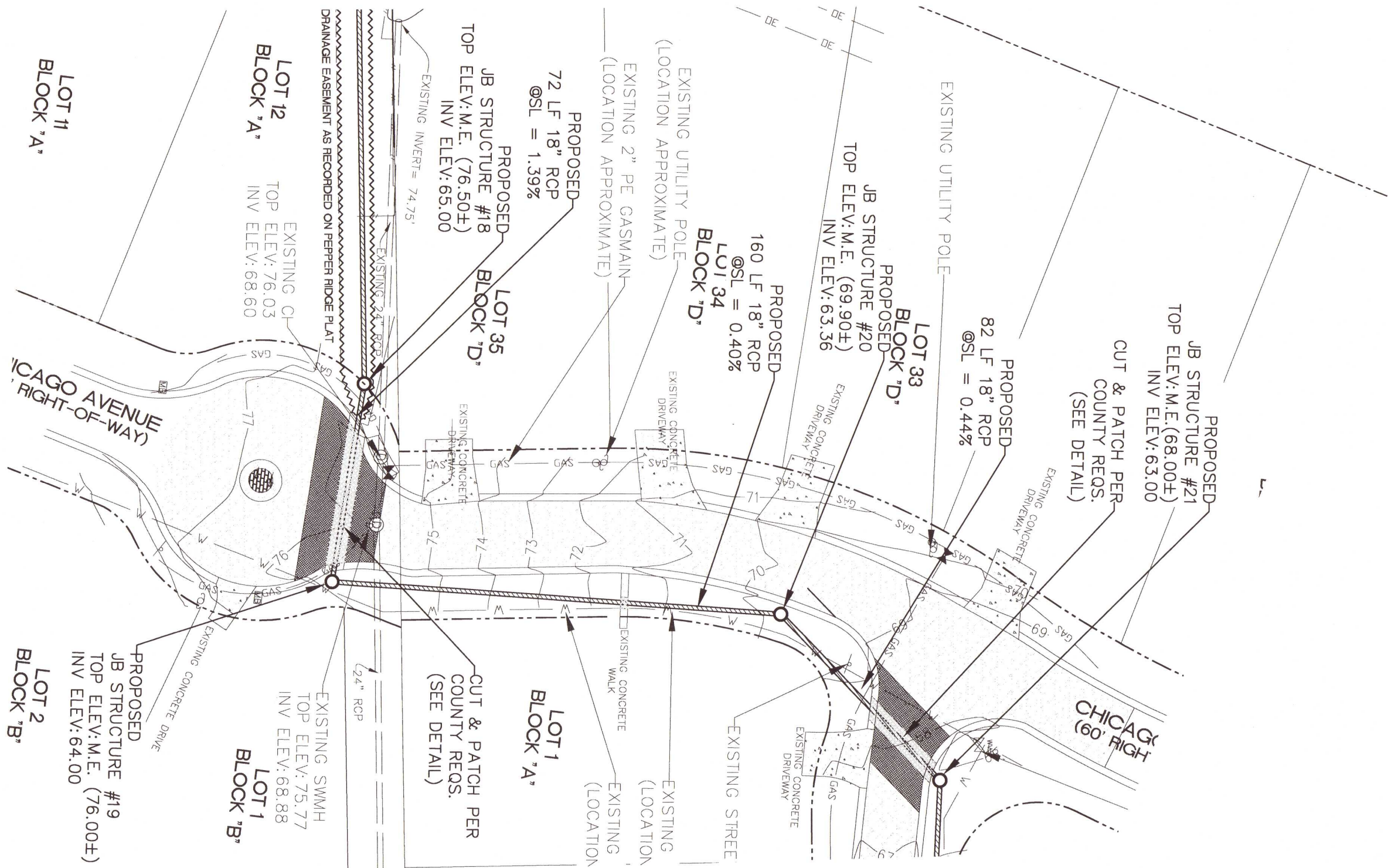
SIGNATURE & SEAL



DATE  
PROJECT NUMBER  
PLOT DATE  
SHEET C16 OF C28

NOTE: ALL DISTURBED EXISTING DRIVEWAYS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.

UTILITY CROSSING NOTE: 10-FT OF ASPHALT ON EITHER SIDE OF THE UTILITY TRENCH SHALL BE MILLED 1.5" DEEP AND RE-SURFACED.





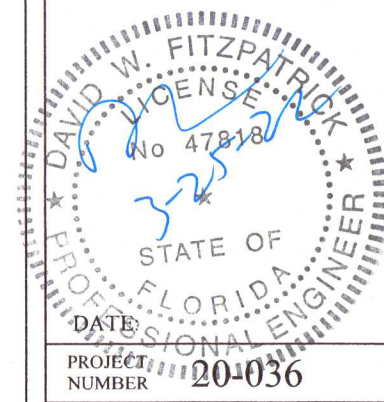
DAVID W. FITZPATRICK  
PROFESSIONAL ENGINEER, P.A.  
BOARD OF PROFESSIONAL REGULATION #00008423  
10250 NORTH PALM CREEK STREET  
PENSACOLA, FL 32534  
PH: (850) 776-8877 FAX: (850) 476-7708

BELL VIEW POINTE  
OFFSITE STORMWATER

DATE	
NUMBER	
REVISION	

DRAWN BY:  
B. PEMENT  
DESIGNED BY:  
D. FITZPATRICK

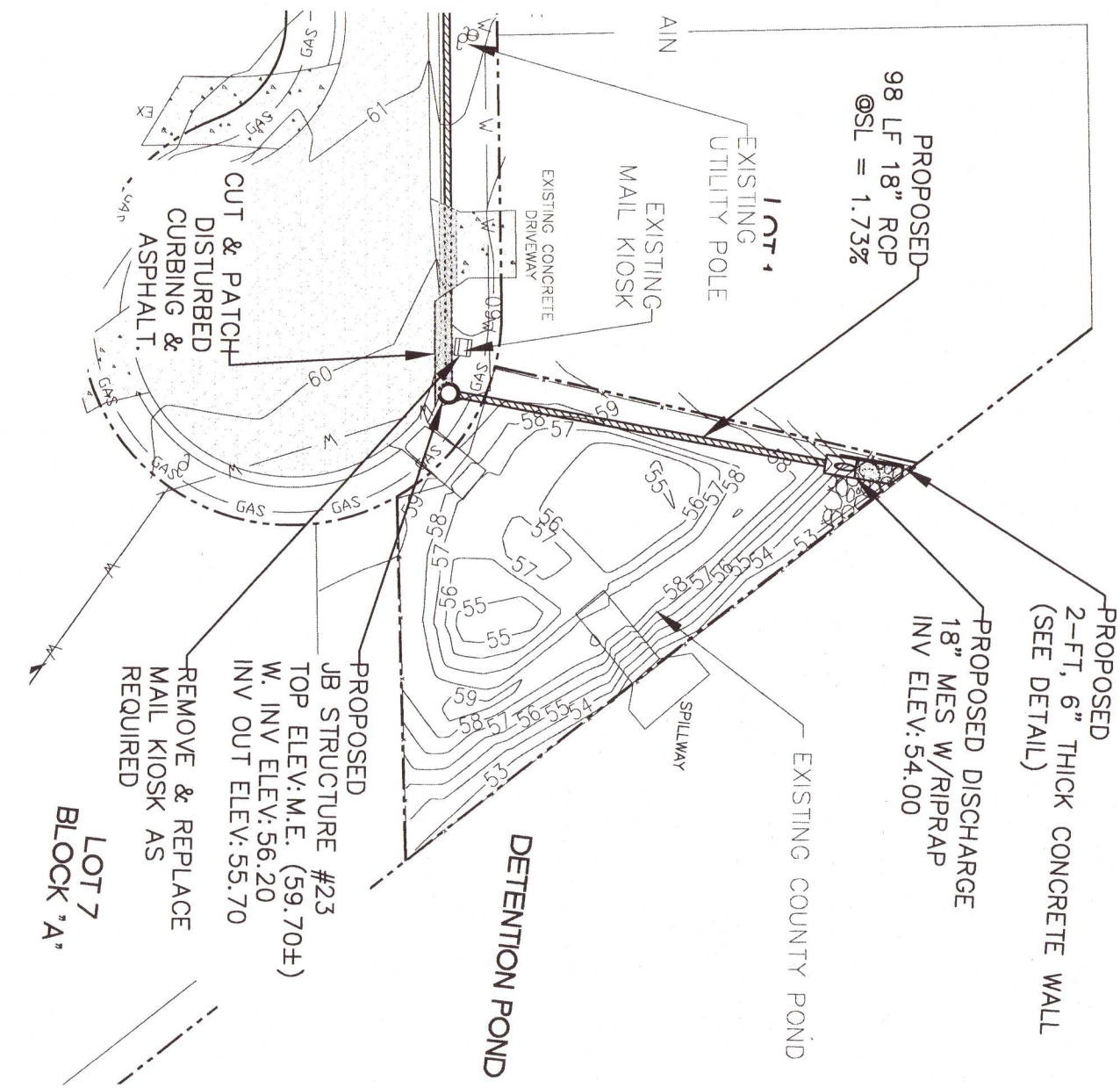
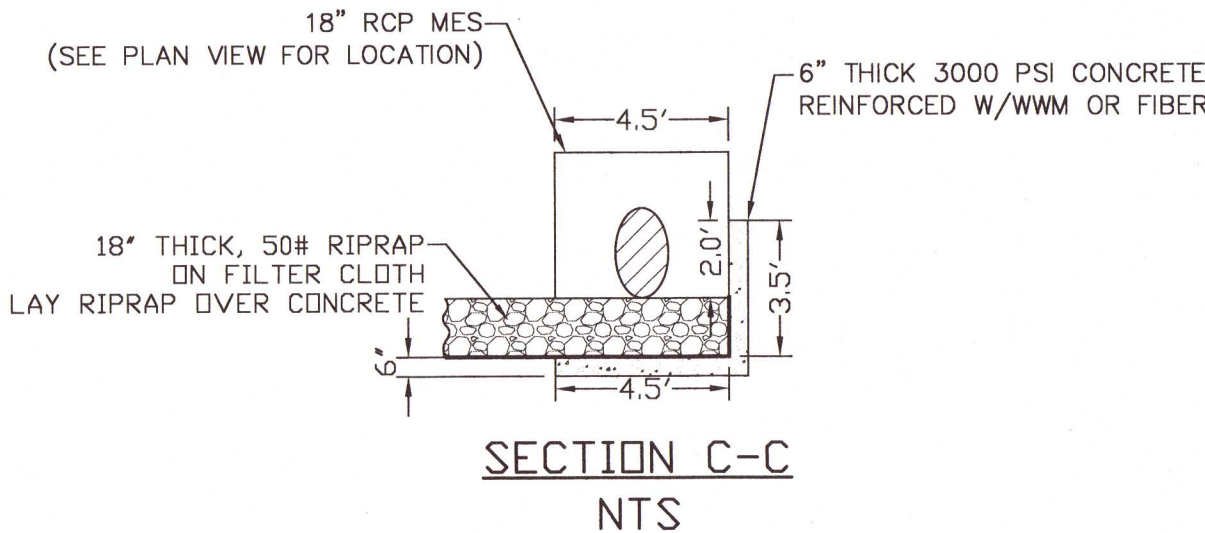
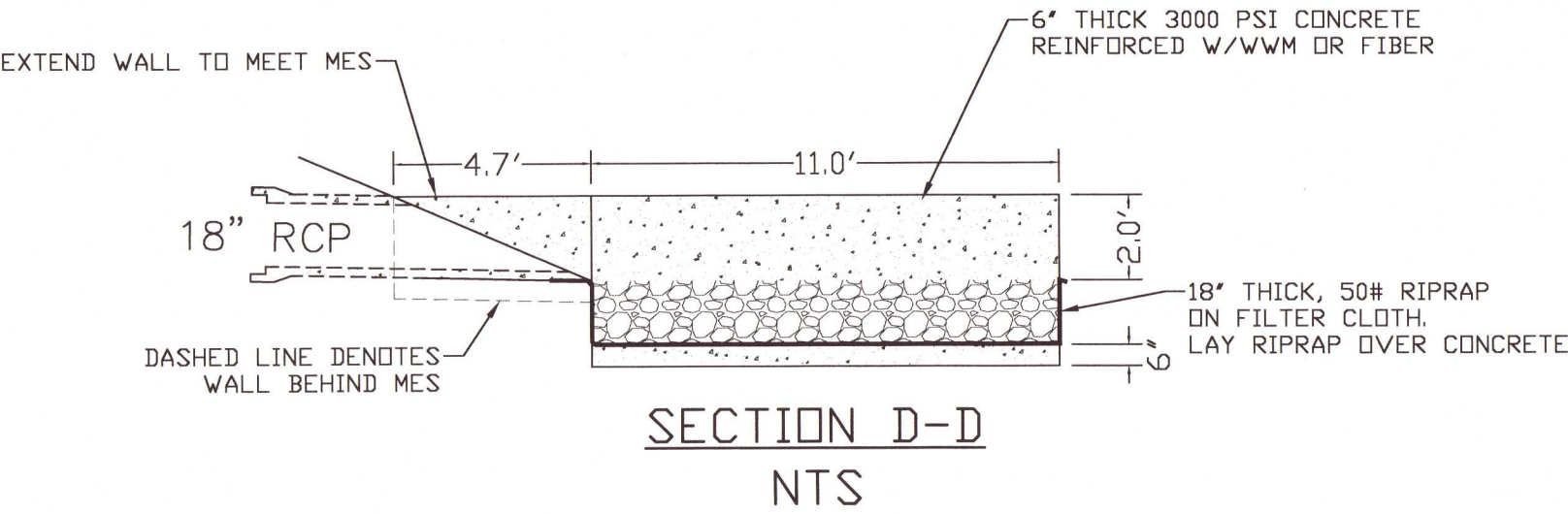
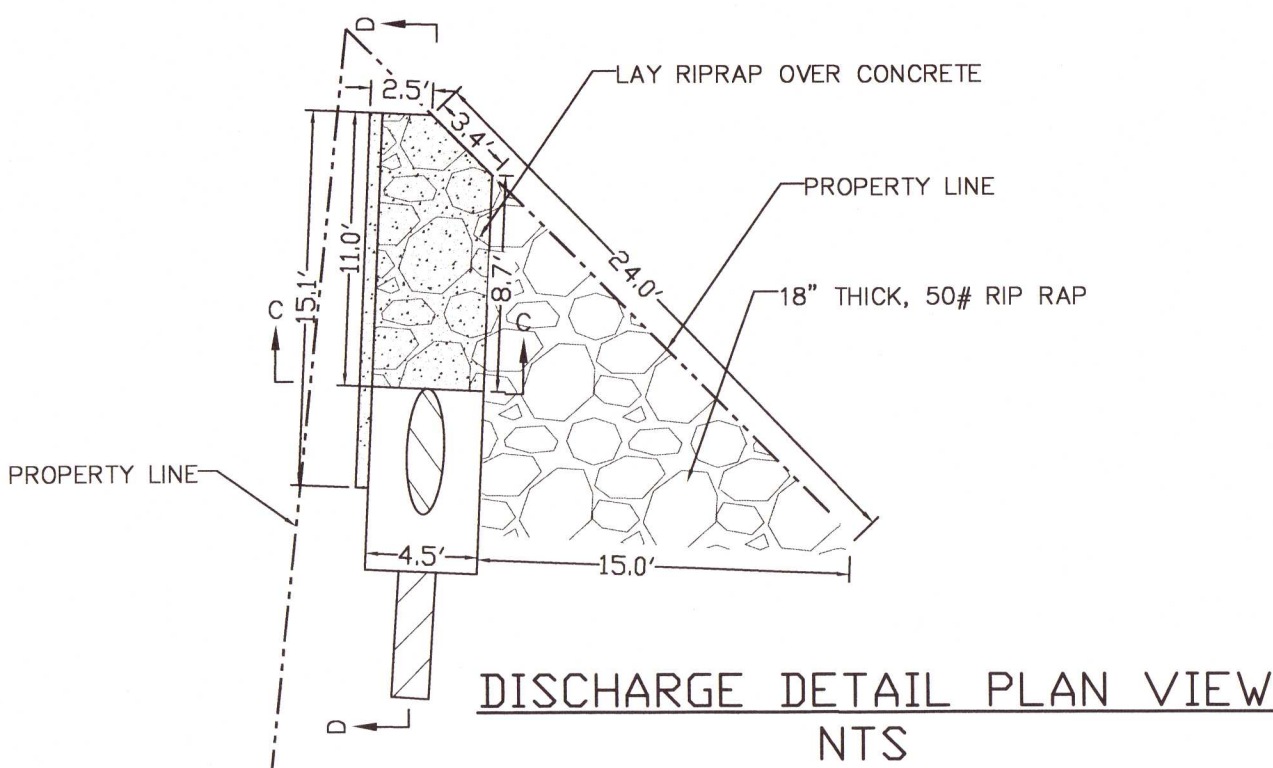
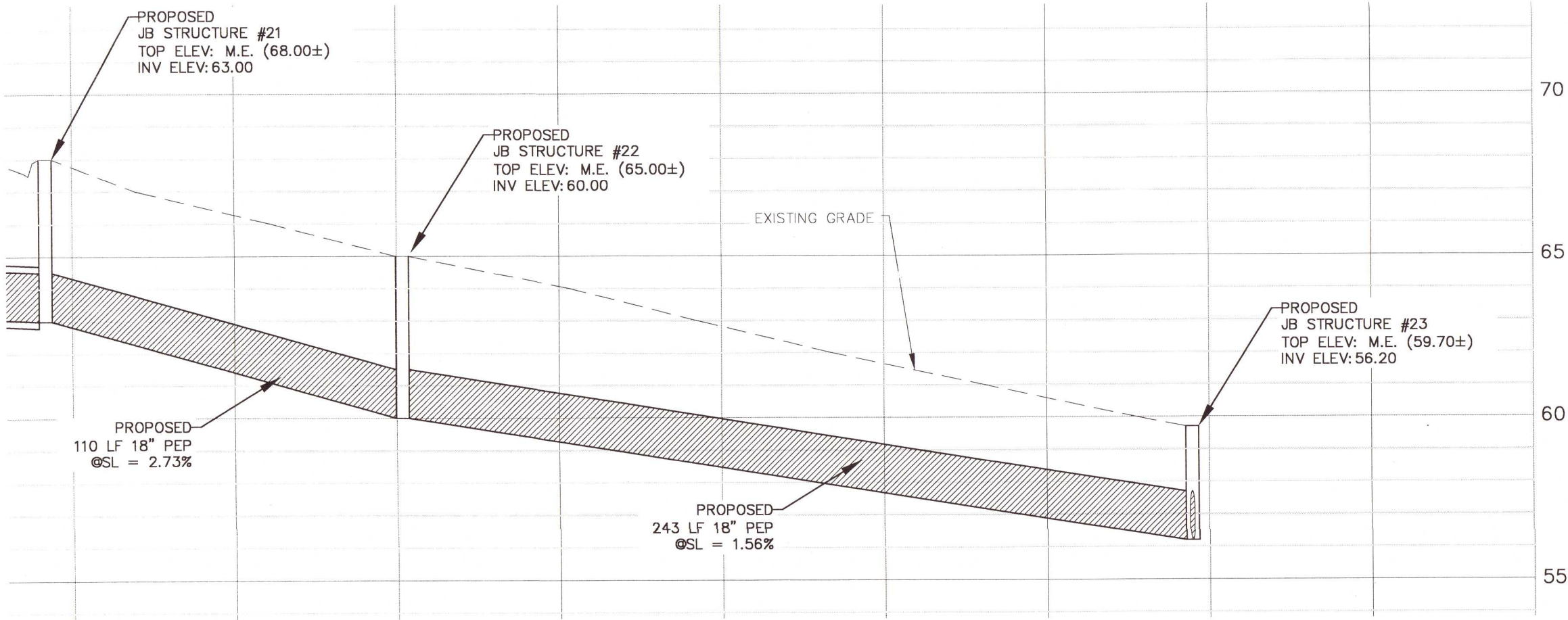
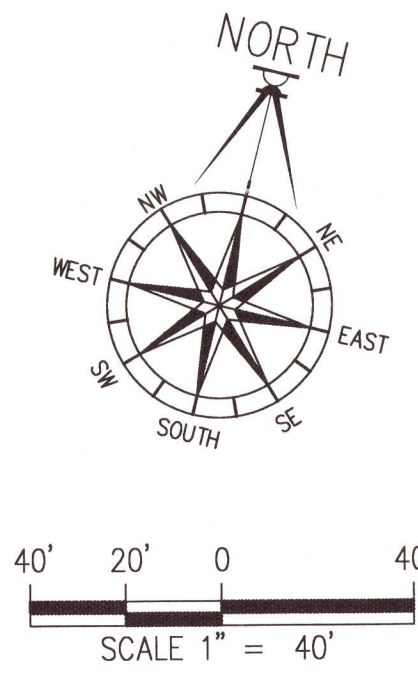
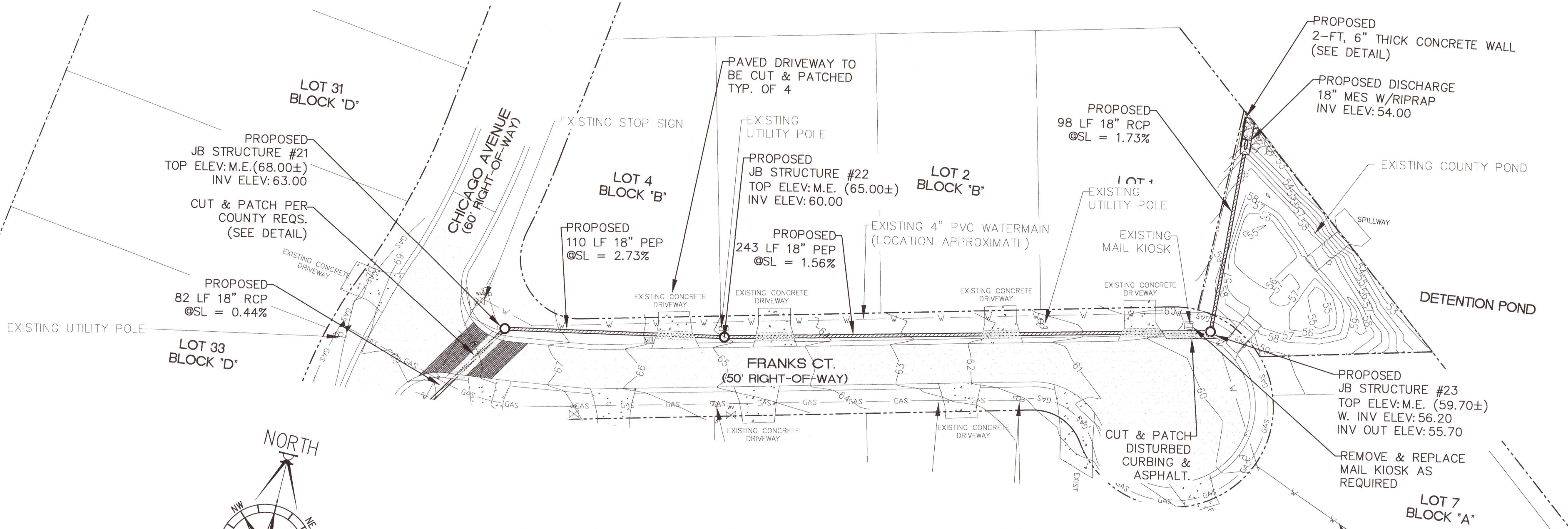
SIGNATURE & SEAL



PROJECT NUMBER: 20-036  
PLOT DATE: 03/25/22  
SHEET C17 OF C28

- NOTES:
1. ALL DISTURBED EXISTING DRIVEWAYS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
  2. ALL DISTURBED AREAS WITHIN THE COUNTY POND PARCEL SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION, AND STABILIZED WITH SOLID SOD

UTILITY CROSSING NOTE: 10-FT OF ASPHALT ON EITHER SIDE OF THE UTILITY TRENCH SHALL BE MILLED 1.5" DEEP AND RE-SURFACED.



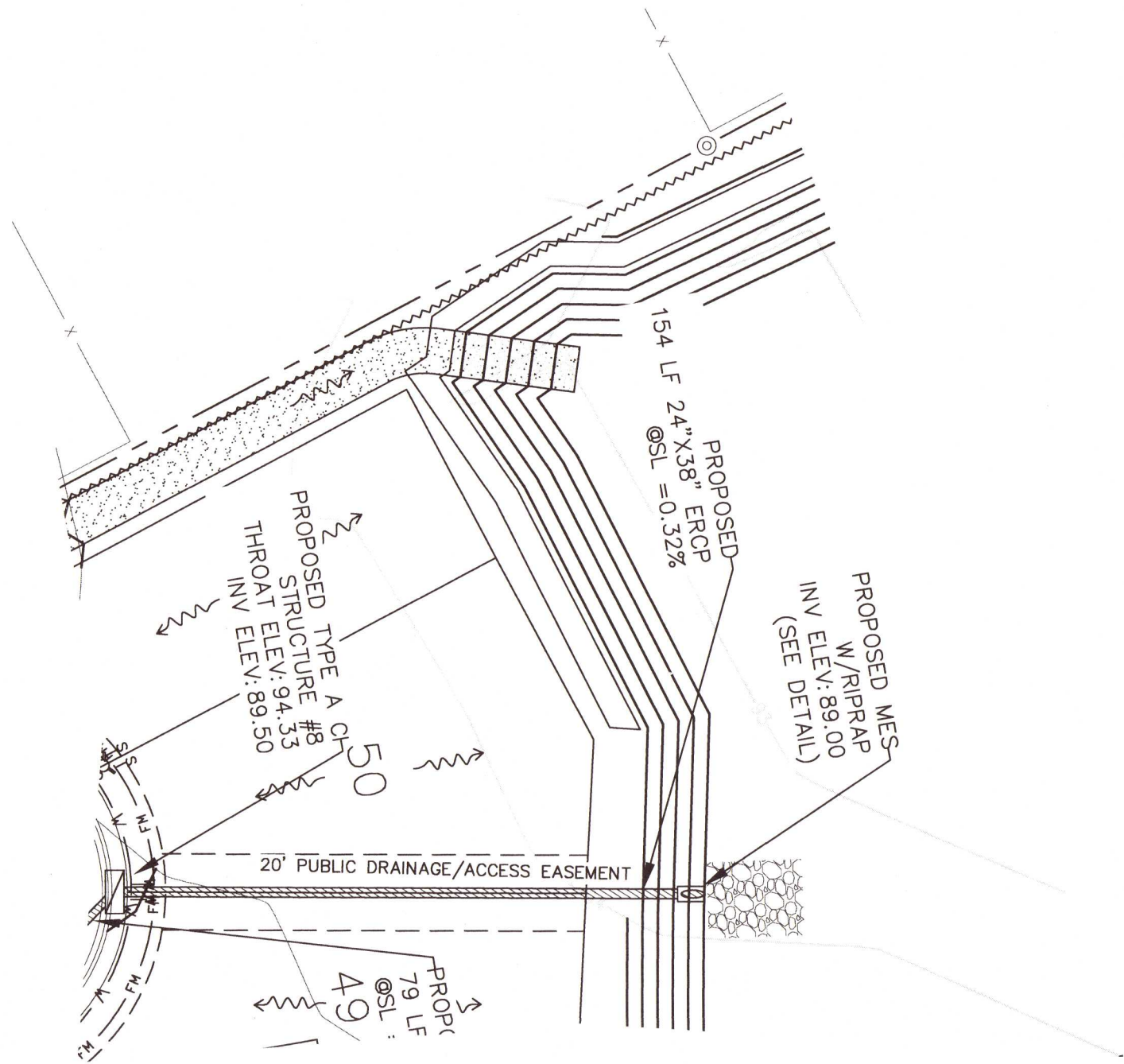
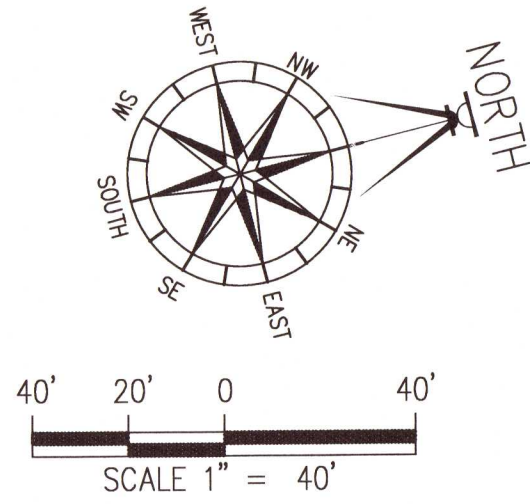


ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT EDITION OF ECUA'S ENGINEERING MANUAL

DAVID W. FITZPATRICK  
PROFESSIONAL ENGINEER, P.A.  
BOARD OF PROFESSIONAL REGULATION #00008423  
10250 NORTH PALFOX STREET  
PENSACOLA, FL 32534  
PH: (850)476-8877 FAX: (850)476-7708

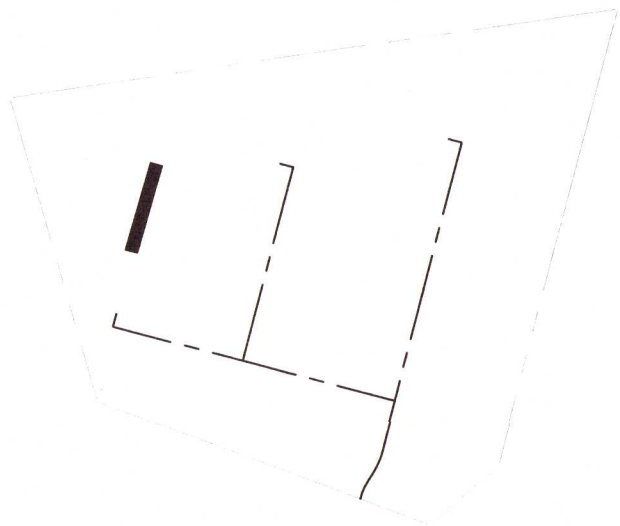
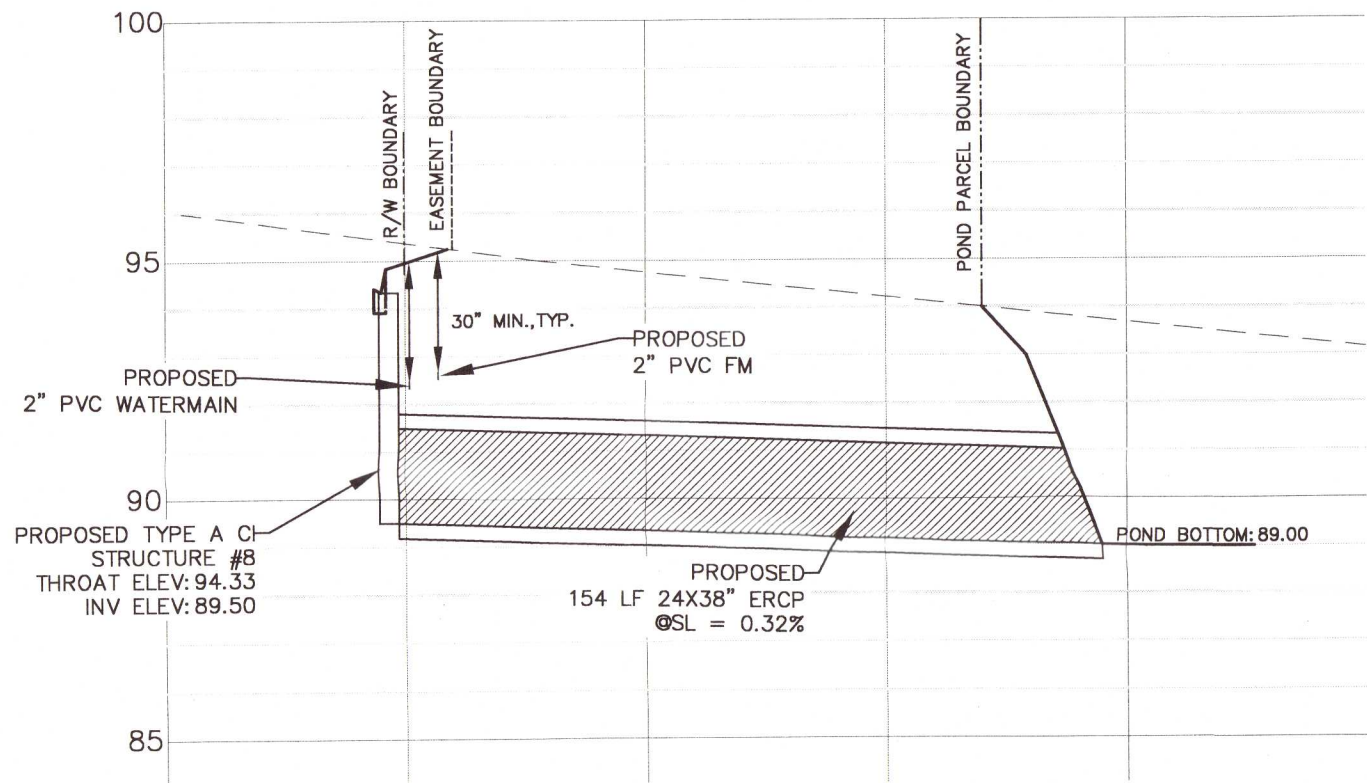
BELLVIEW POINTE

MISC. PROFILES

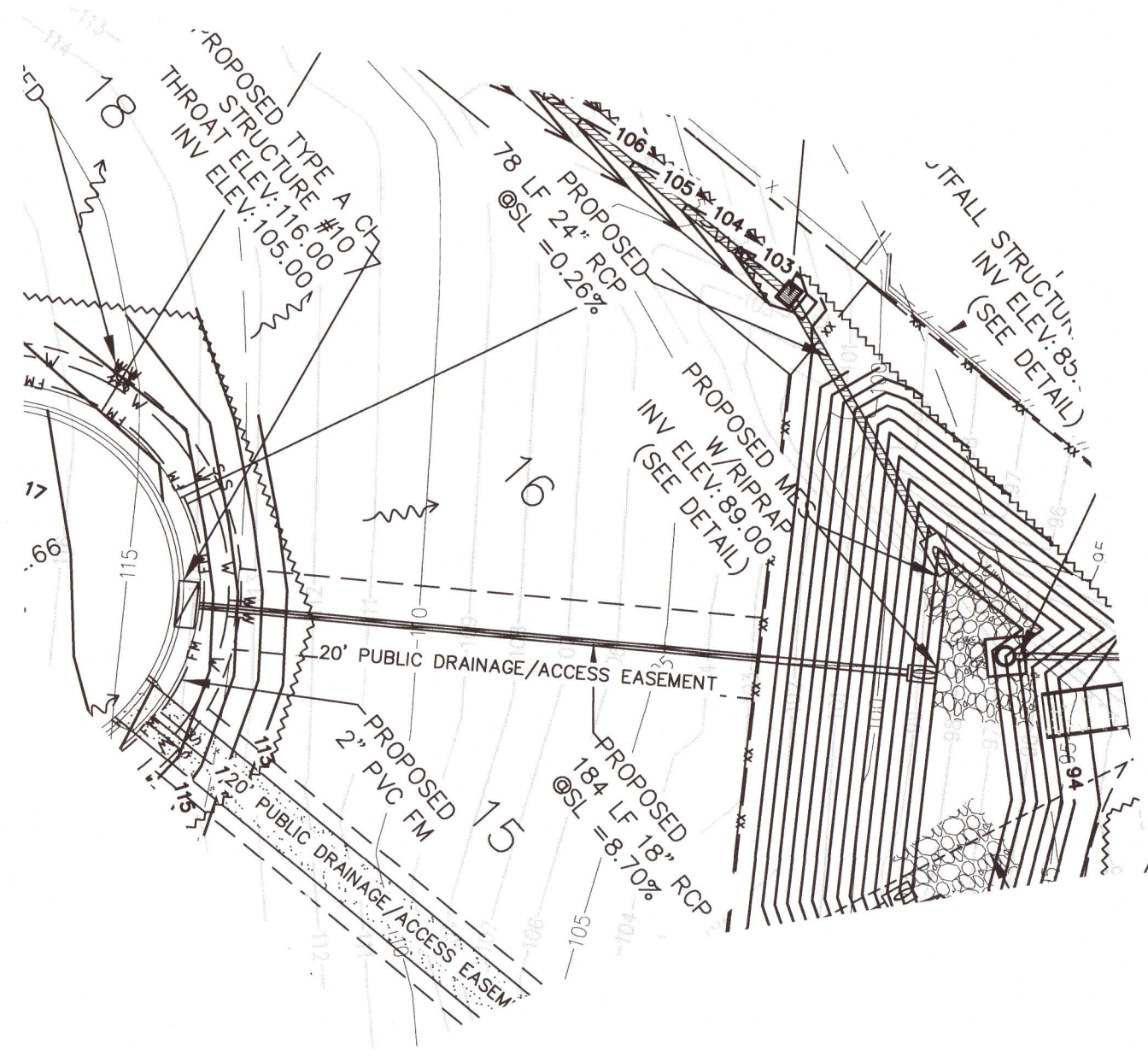
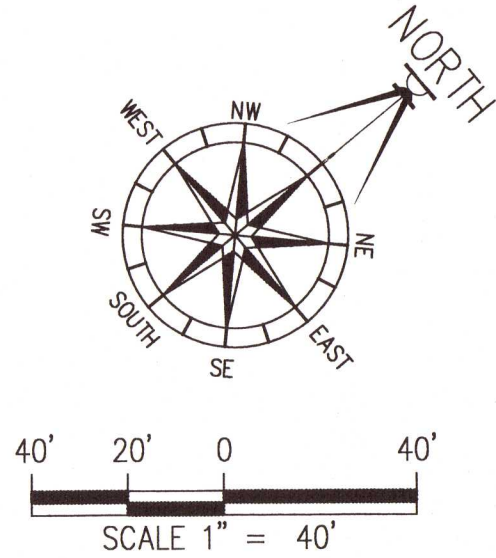


BELLVIEW POINTE CIR.

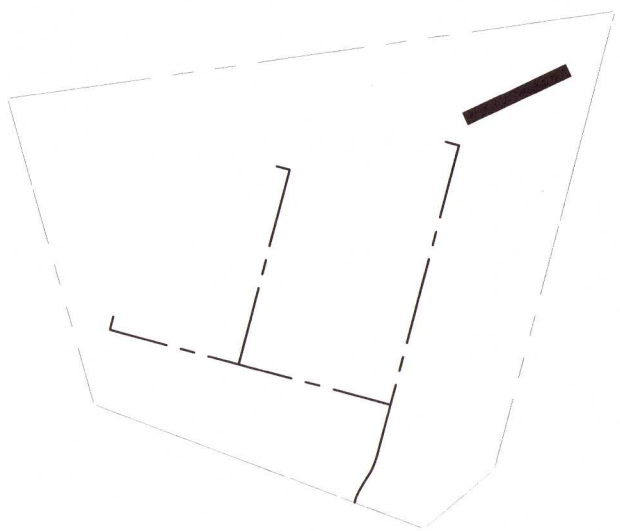
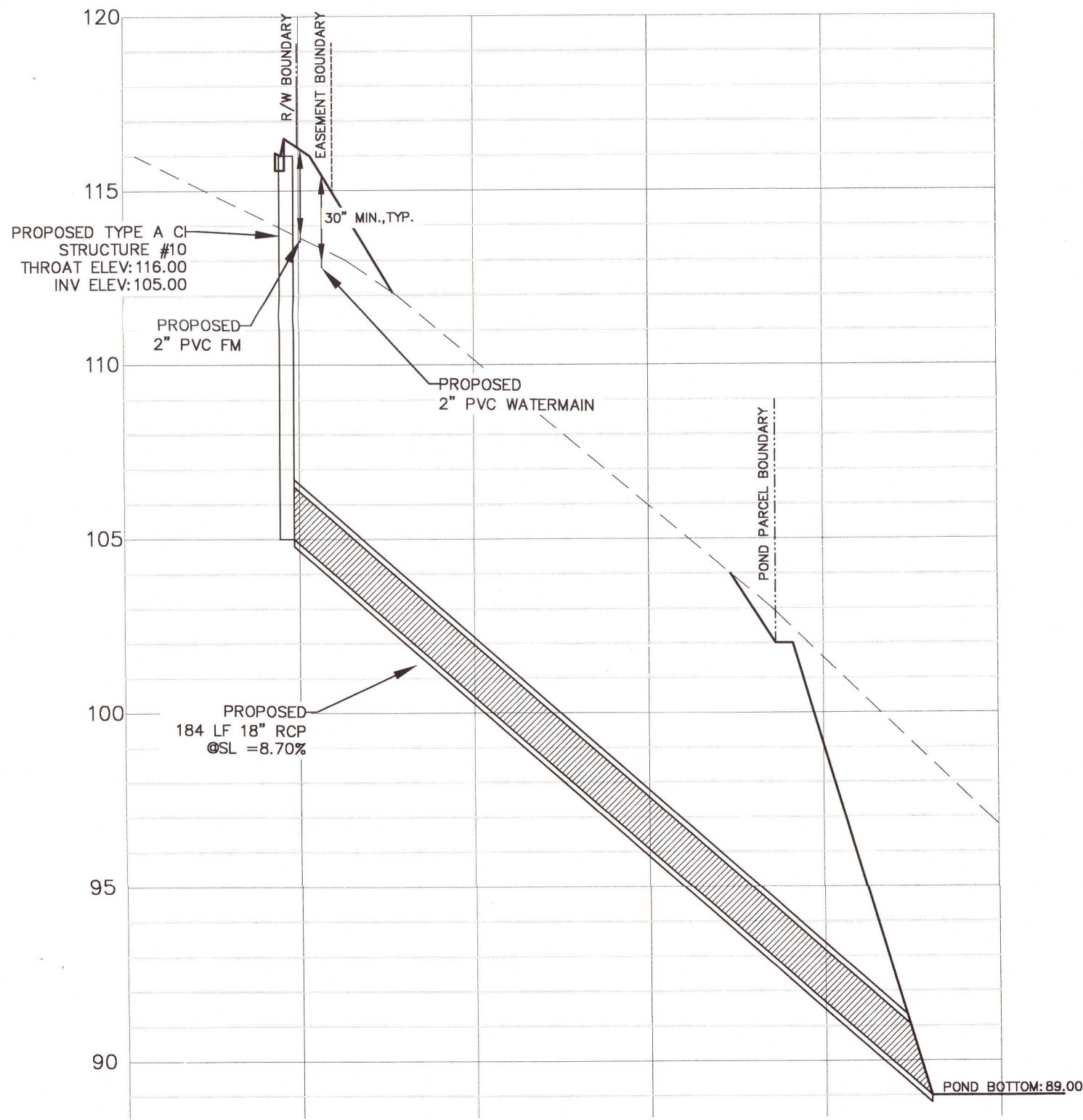
NOTES:  
CONTRACTOR TO MAINTAIN MINIMUM 6"  
SEPARATION BETWEEN WATER/SEWER  
PIPES AND STORM PIPES.



PROFILE LOCATION



FOREST PINES DRIVE

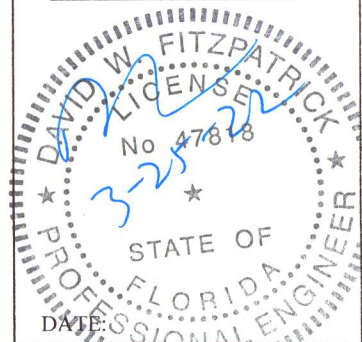


PROFILE LOCATION

DATE	
REVISION	
NUMBER	

DRAWN BY:  
B. PEMENT  
DESIGNED BY:  
D. FITZPATRICK

SIGNATURE & SEAL



PROJECT  
NUMBER  
20-036

PLOT  
DATE  
03/25/22

SHEET C18 OF C28

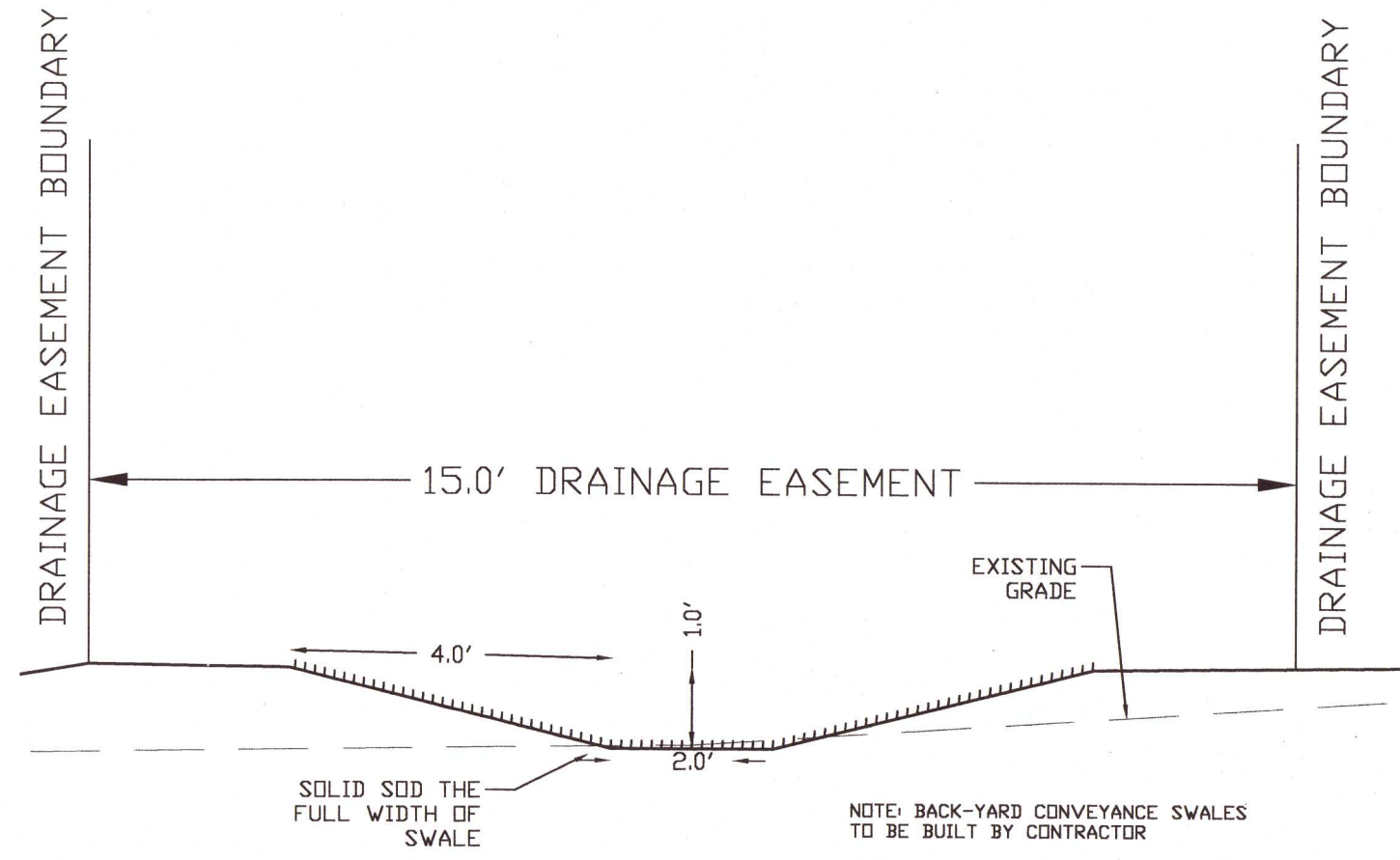
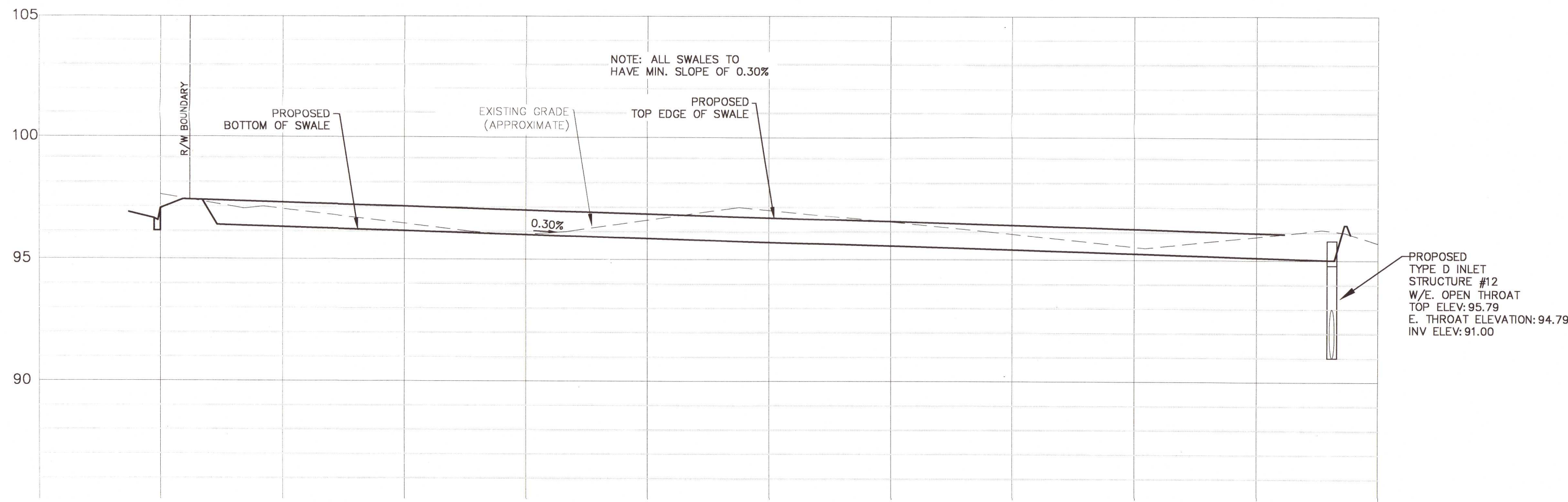
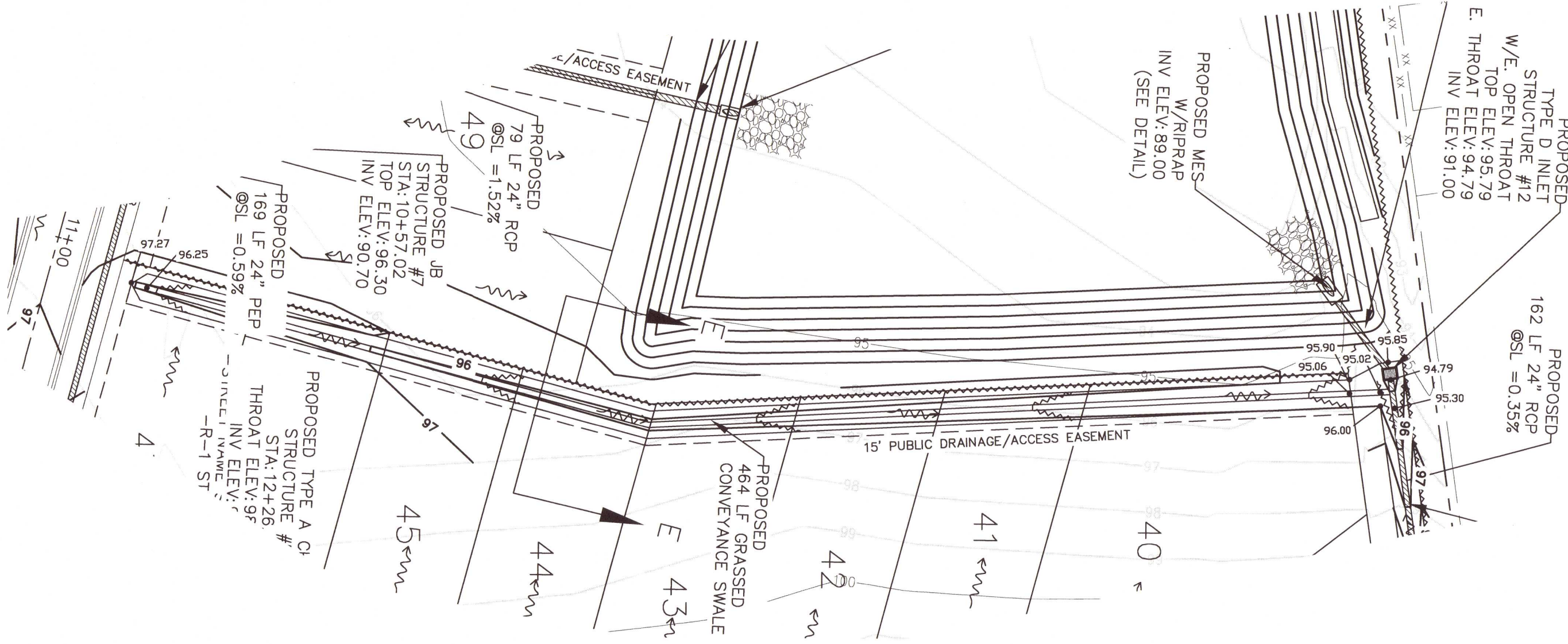
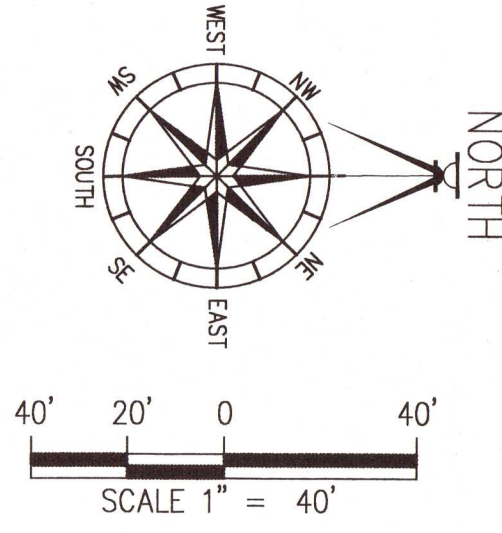


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DAVID W. FITZPATRICK  
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BOARD OF PROFESSIONAL REGULATION #000008423  
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## BELLVIEW POINTE

## MISC. PROFILES



SECTION E-E  
CONVEYANCE SWALE DETAIL  
NTS

### PROFILE LOCATION

[illegible]

DRAWN BY:  
B. PEMENT

---

DESIGNED BY:  
D. FITZPATRICK

SIGNATURE & SEAL

W. FITZPATRICK

VID LICENSE PIC

No 47818

...

STATE OF 

DE FLORIDA GIN

UNIVERSITÄT SÜDPFALZ

PROJECT 20-036

NUMBER 20-030

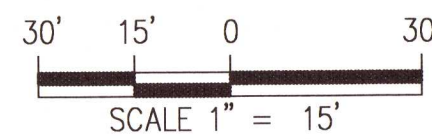
03/25/22

SHEET C19 OF C28

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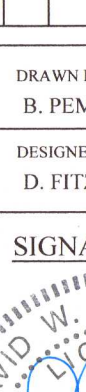
DAVID W. FITZPATRICK  
PROFESSIONAL ENGINEER, P.A.  
BOARD OF PROFESSIONAL REGULATION #00008423  
10250 NORTH PALMFOX STREET  
PENSACOLA, FL 32534  
PH: (850)476-8677 FAX: (850)476-7708



This plan shows the sanitary sewer layout for Chicago Ave. Key features include:
 

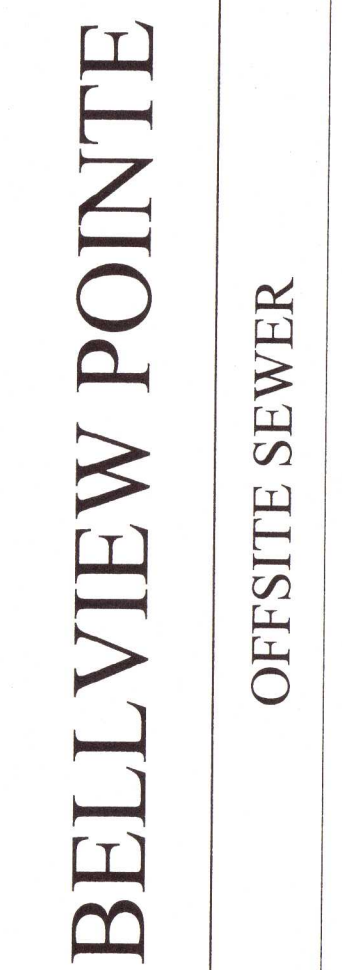
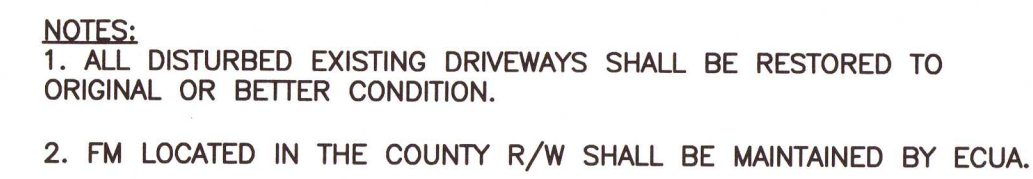
- Existing Infrastructure:**
  - SS Manholes (Locations Approximate): Three locations are marked along the main line.
  - 8" PVC SS: Existing sewer pipe segments.
  - 8" PVC Watermain: Existing watermain pipe.
  - Utility Poles (Locations Approximate): Three locations are marked.
  - Manhole Connections: One existing connection is noted.
- Proposed Infrastructure:**
  - Manhole Connection: A new connection is proposed, with a note: "NOTE: CONTRACTOR TO COAT 2 ADDTL. DOWNSTREAM MANHOLES PER ECUA".
  - Gate Valve & Bend: A proposed 4" gate valve and 4" 45° bend with a tee block.
  - PVC FM: A proposed 4" PVC force main segment.
  - Road Bore: A proposed 65 LF 12" PE or steel cased road bore.
- Other Features:**
  - Chicago Ct. (50' R/W):** A street crossing the sewer line.
  - Chicago Ave. (100' R/W):** The main street with a 100-foot right-of-way.
  - Godwin Ln. & Pam Ave. (60' R/W):** Adjacent streets.


BELLVIEW POINTE  
OFFSITE SEWER

	DRAWN BY: B. PEMENT
	DESIGNED BY: D. FITZPATRICK
	SIGNATURE & SEAL 
PLOT DATE	DATE OF PURCHASE NUMBER 20-036
	03/25/22
SHEET C20 OF C28	

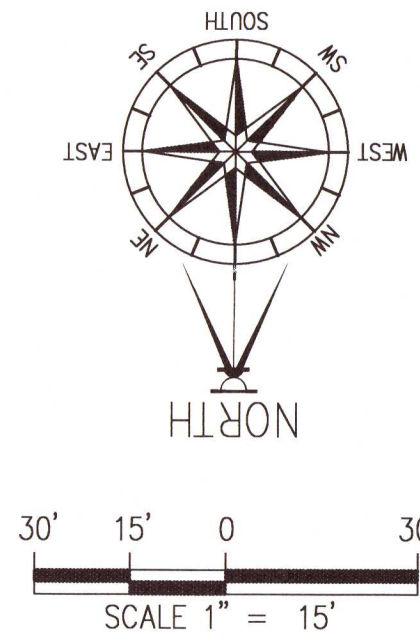


DAVID W. FITZPATRICK  
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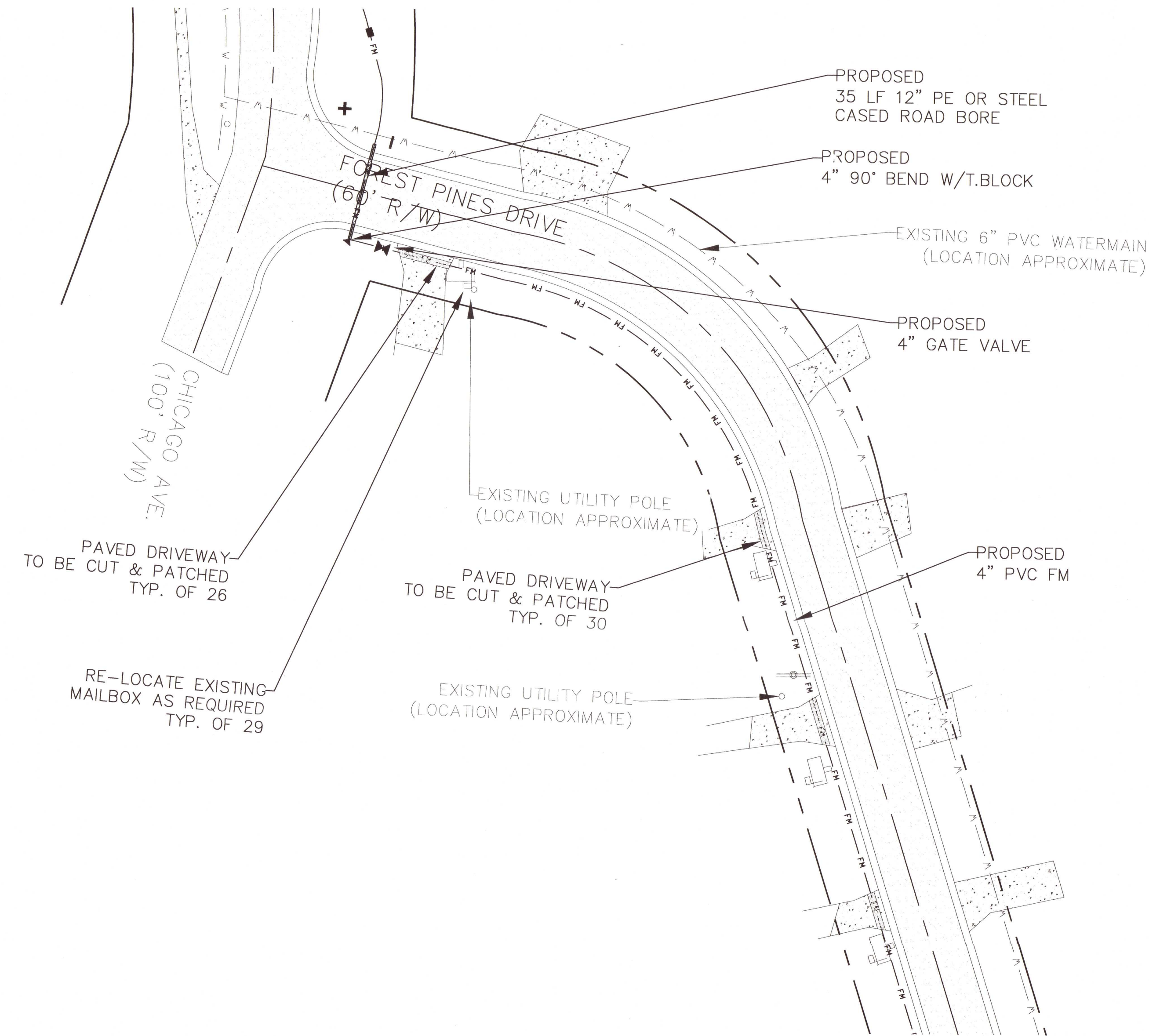
NUMBER	REVISION	DATE	
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<p><b>SHEET</b> C21 <b>OF</b> C28</p>			





ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH  
THE MOST RECENT EDITION OF ECUA'S ENGINEERING MANUAL

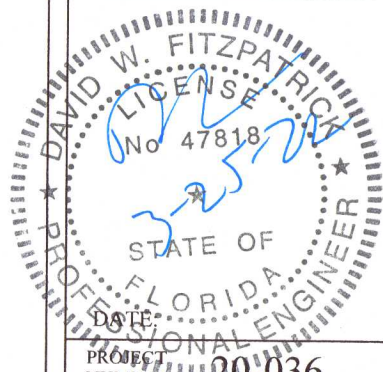
- NOTES:
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  2. FM LOCATED IN THE COUNTY R/W SHALL BE MAINTAINED BY ECUA.



DAVID W. FITZPATRICK  
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PENSACOLA, FL 32534  
PH: (850) 476-8677 FAX: (850) 476-7708

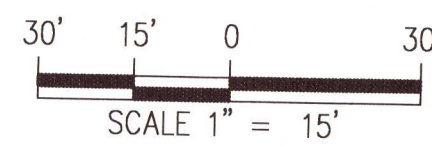
BELL VIEW POINTE  
OFFSITE SEWER

DATE	REVISION	NUMBER

DRAWN BY: B. PEMENT
DESIGNED BY: D. FITZPATRICK
SIGNATURE & SEAL 
DATE 03/25/22
PROJECT NUMBER 20-036
PLOT DATE 03/25/22
SHEET C22 OF C28



**DAVID W. FITZPATRICK**  
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PENSACOLA, FL 32534  
PH: (850)476-4877 FAX: (850)476-7708

[illegible]

BELLVIEW POINTE

OFFSITE SEWER

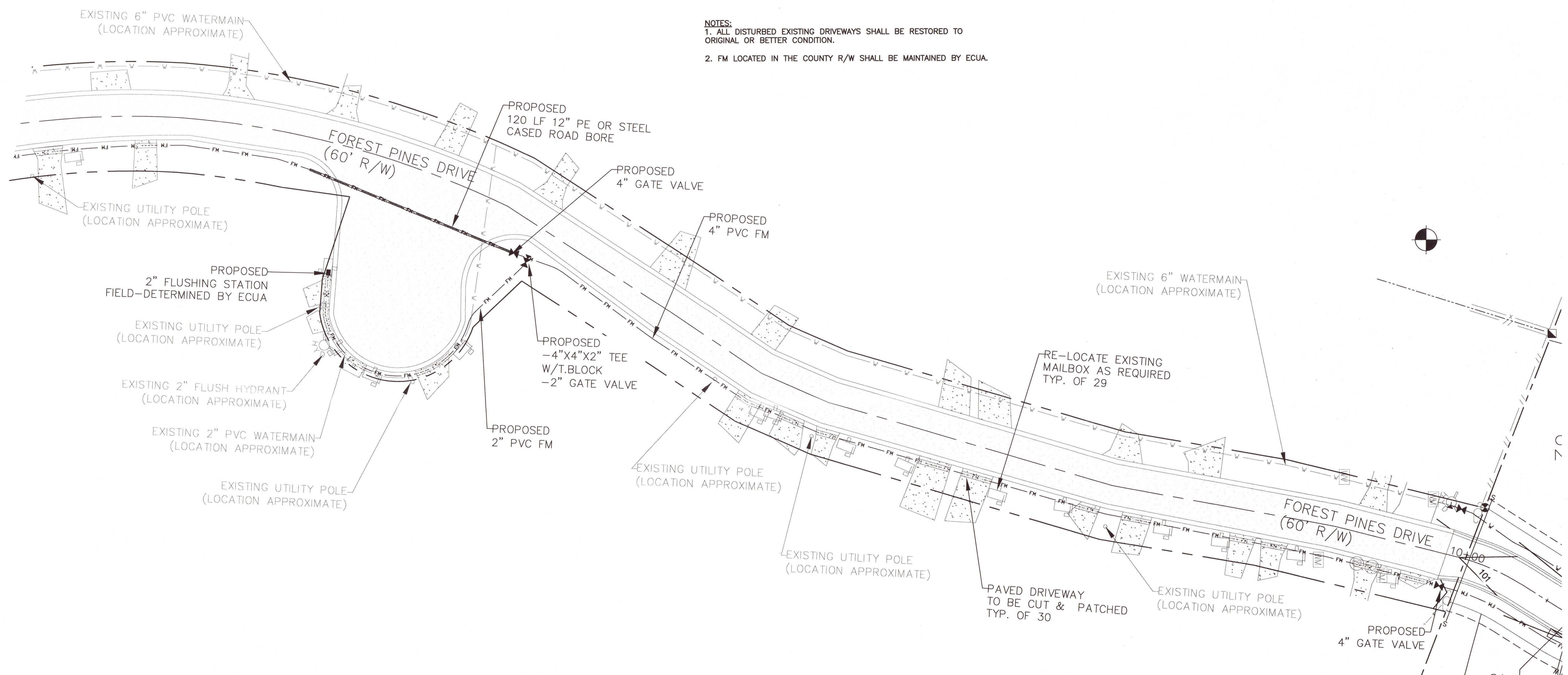
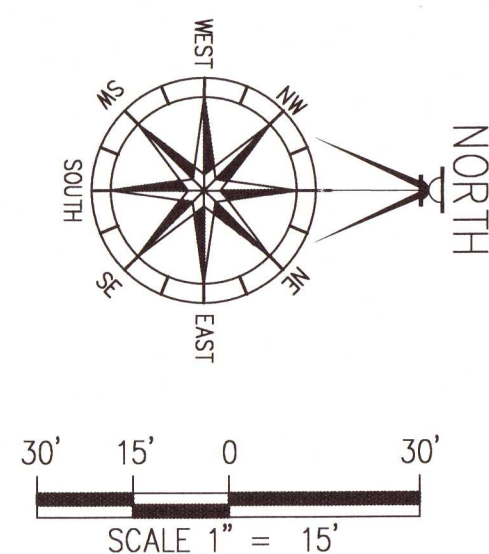
[illegible]

A circular professional engineer seal for David W. Erickson, No. 47818, State of Florida. The seal features the text "DAVID W. ERICKSON" at the top, "LICENSE" in the center, "No. 47818" below the license word, "STATE OF FLORIDA" below the number, and "PROFESSIONAL ENGINEER" at the bottom. A signature is written across the seal, and the date "DATE" is printed at the bottom left.

PROJECT NUMBER	20-036
PLOT DATE	03/25/22

SHEET C23 OF C28





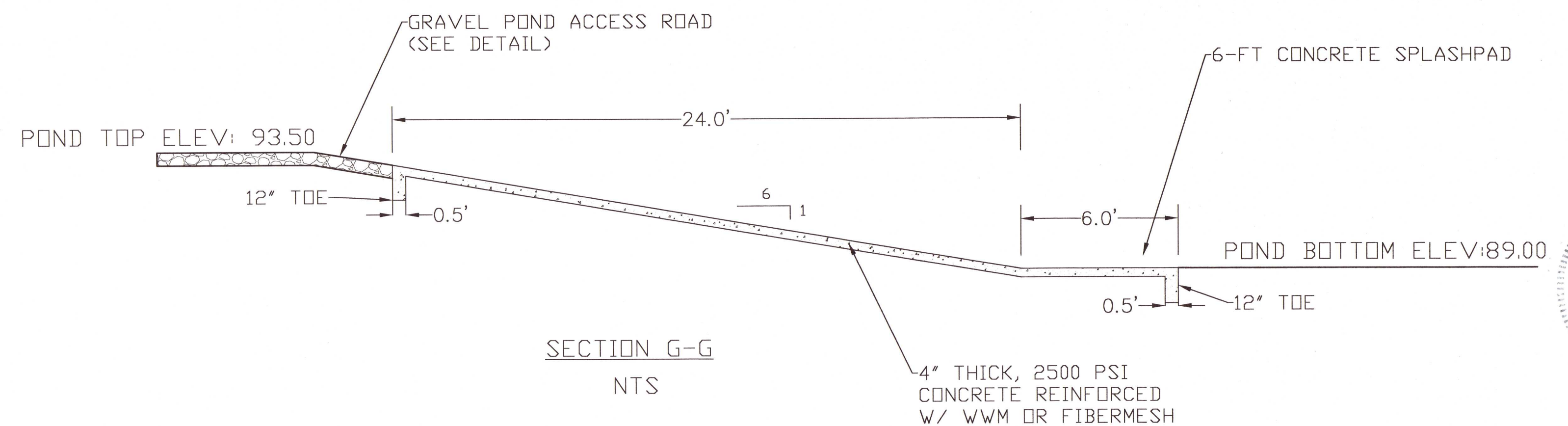
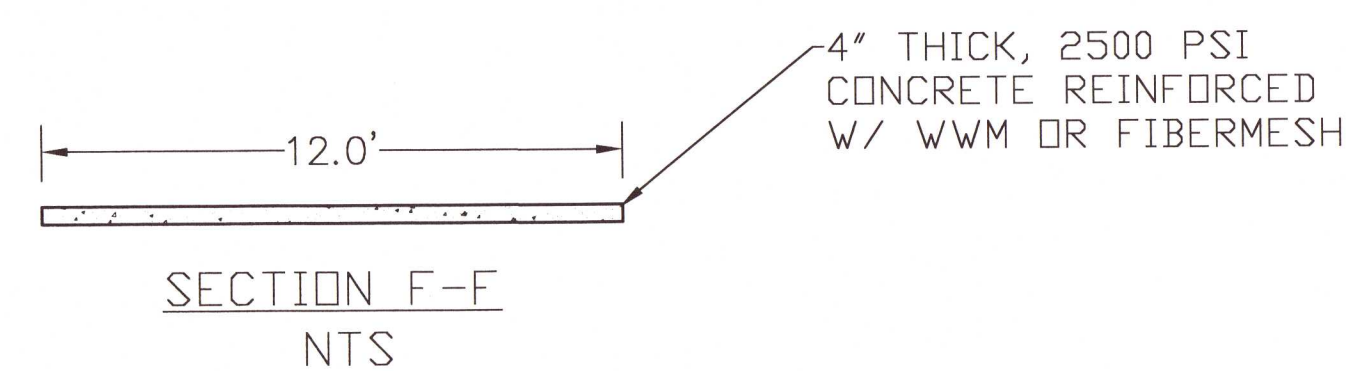
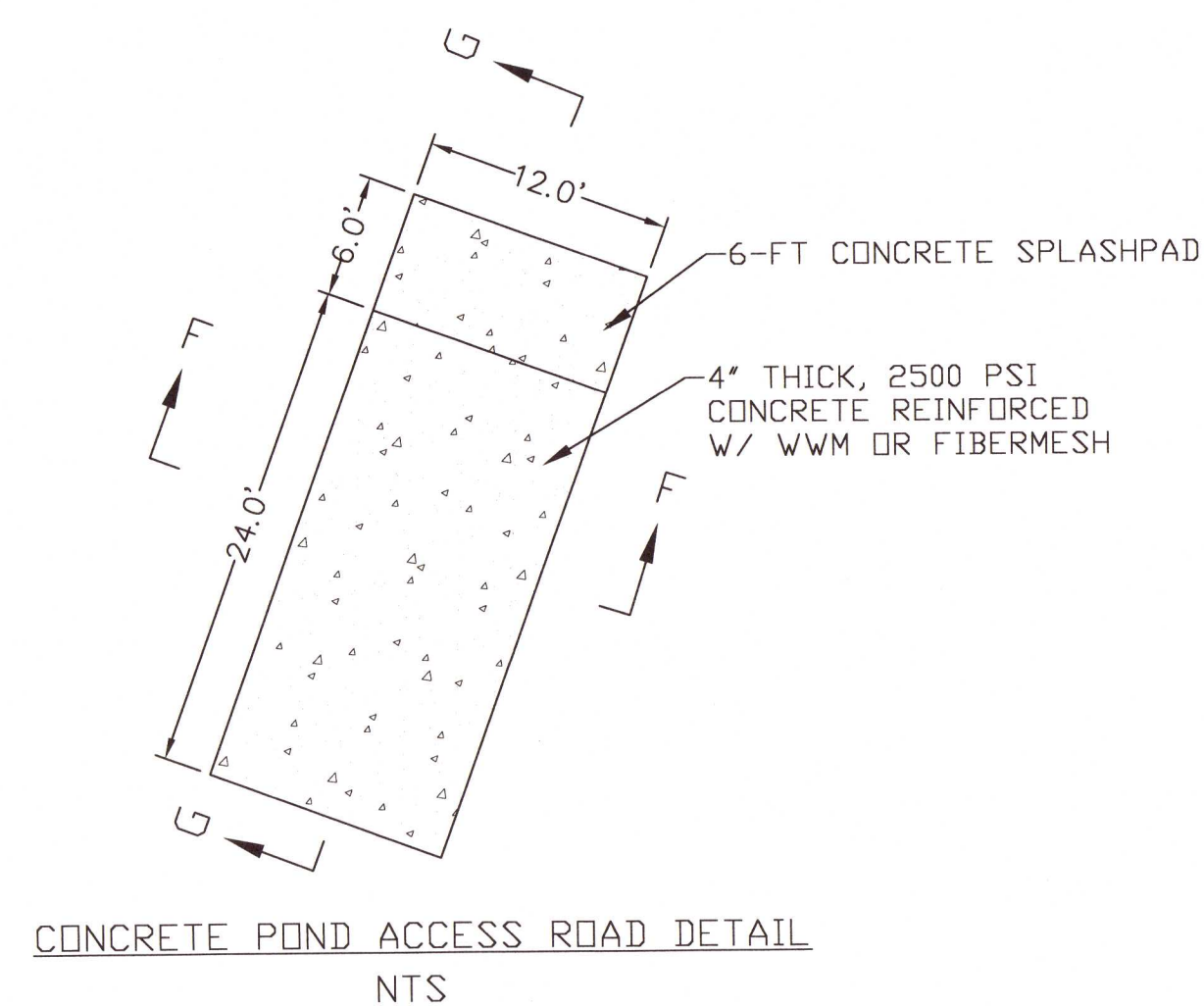
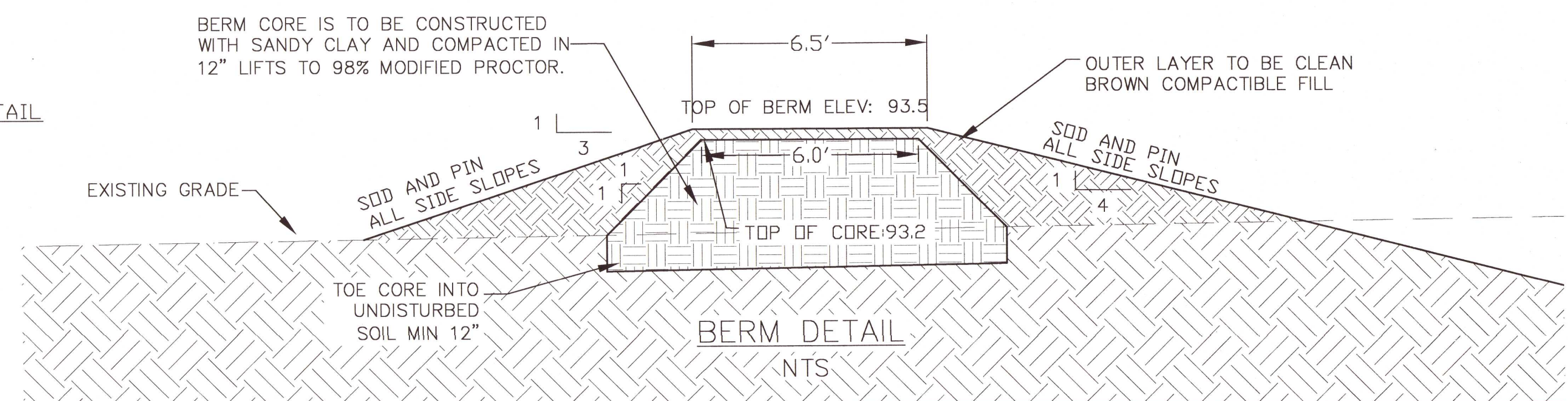
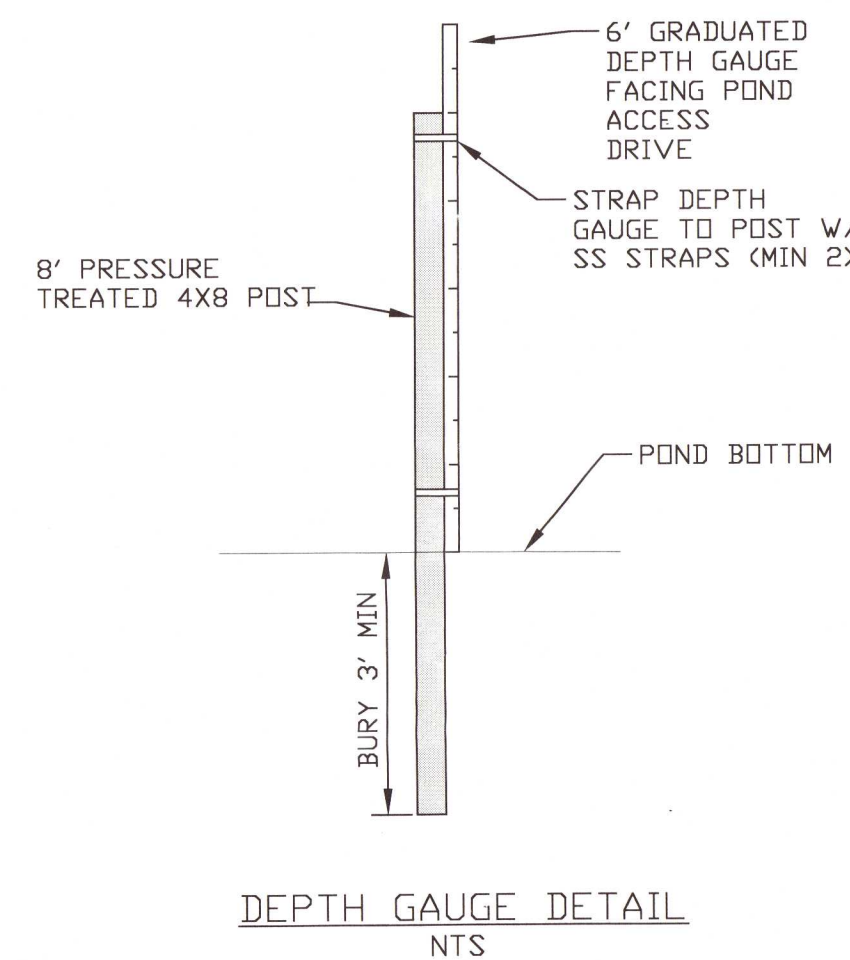
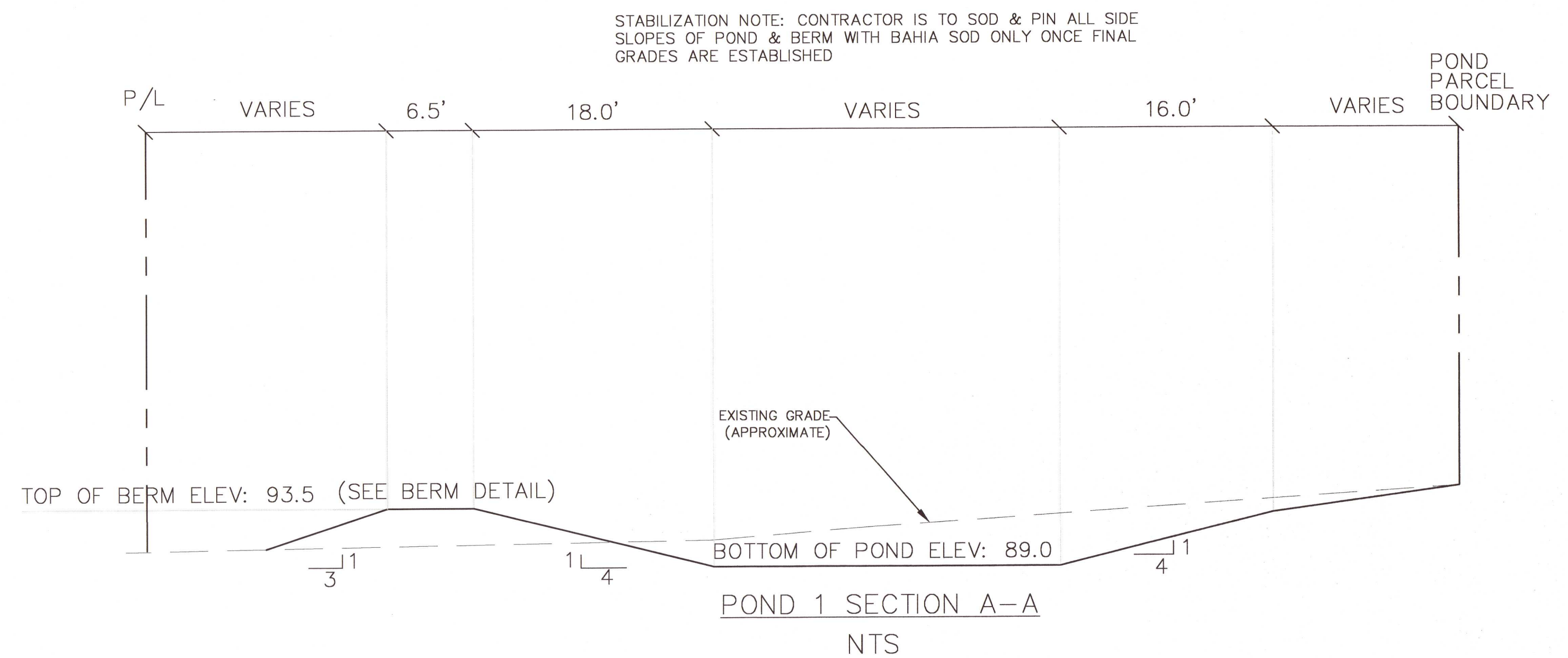
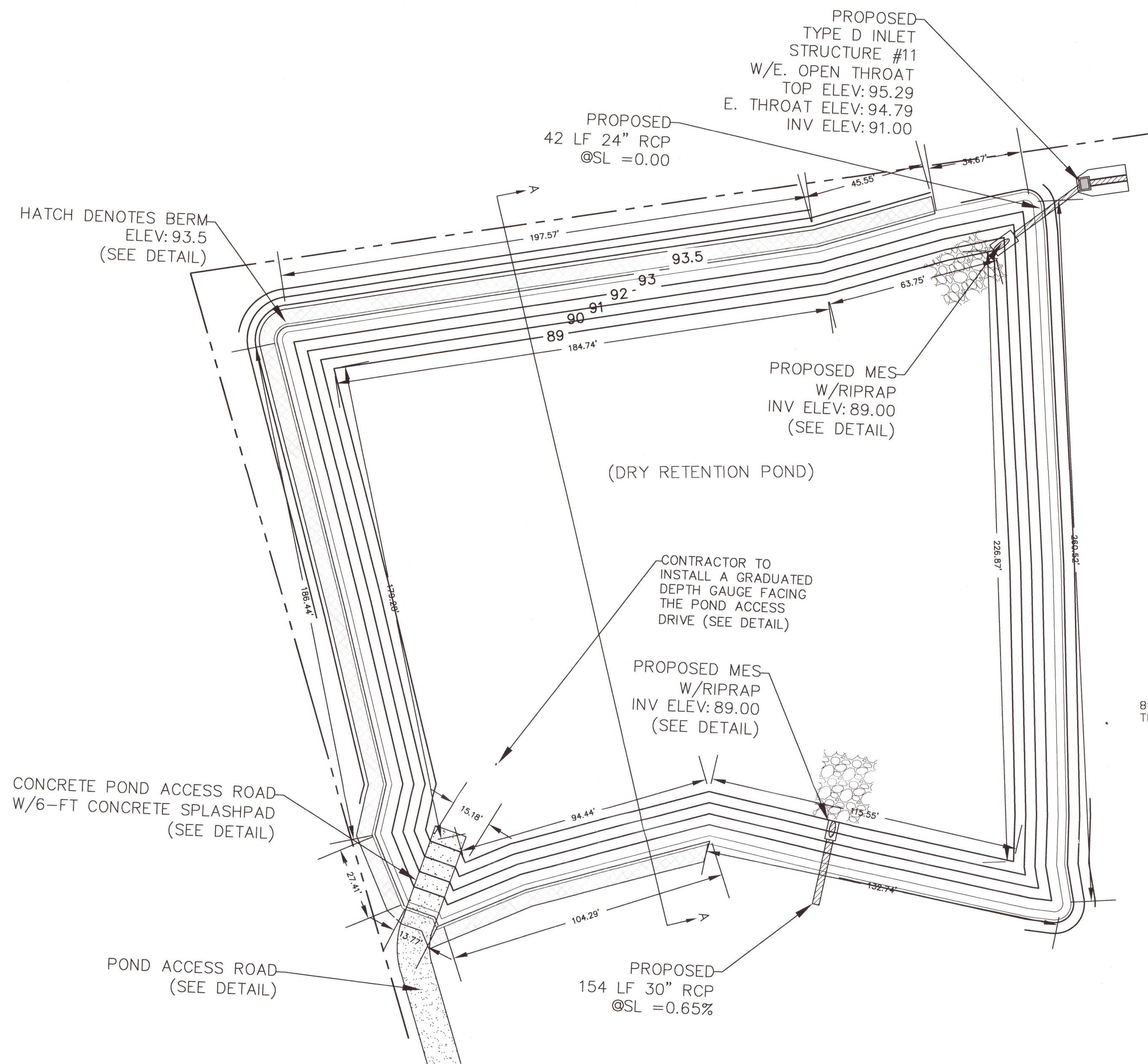
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DAVID W. FITZPATRICK  
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10250 NORTH PALMWAY STREET  
PENSACOLA, FL 32534  
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BELLVIEW POINTE  
OFFSITE SEWER

DATE	
REVISION	
NUMBER	
DRAWN BY: B. PEMENT	
DESIGNED BY: D. FITZPATRICK	
SIGNATURE & SEAL DAVID W. FITZPATRICK LICENSE No. 17818 STATE OF FLORIDA PROFESSIONAL ENGINEER	
PROJECT NUMBER 20-036	
PLOT DATE 03/25/22	
SHEET C24 OF C28	





DAVID W. FITZPATRICK  
PROFESSIONAL ENGINEER, P.A.  
BOARD OF PROFESSIONAL REGULATION #00008423  
10250 NORTH PALMAY STREET  
PENSACOLA, FL 32534  
PH: (850)776-8877 FAX: (850)476-7708

# BELLVIEW POINTE

POND 1 DETAILS

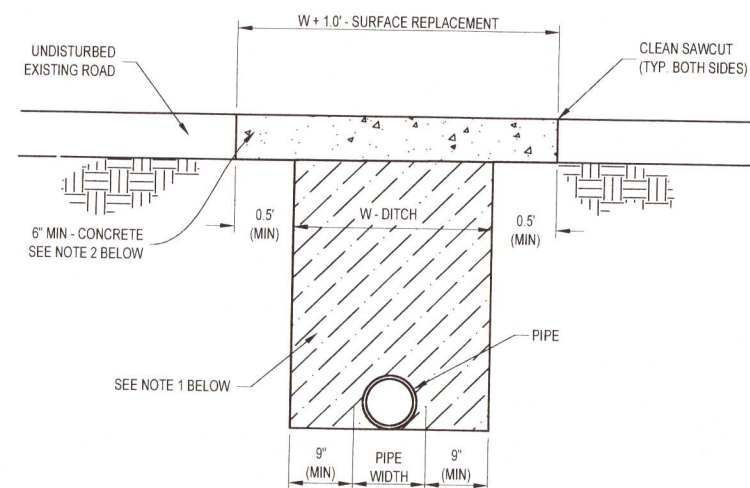
DATE	
REVISION	
NUMBER	

DRAWN BY: B. PEMENT  
DESIGNED BY: D. FITZPATRICK  
SIGNATURE & SEAL  
DAVID W. FITZPATRICK  
FLORIDA PROFESSIONAL ENGINEER  
LICENSE NO. 41818  
STATE OF FLORIDA  
PROJECT NUMBER: 20-036  
PLOT DATE: 03/25/22  
SHEET: C25 OF C28

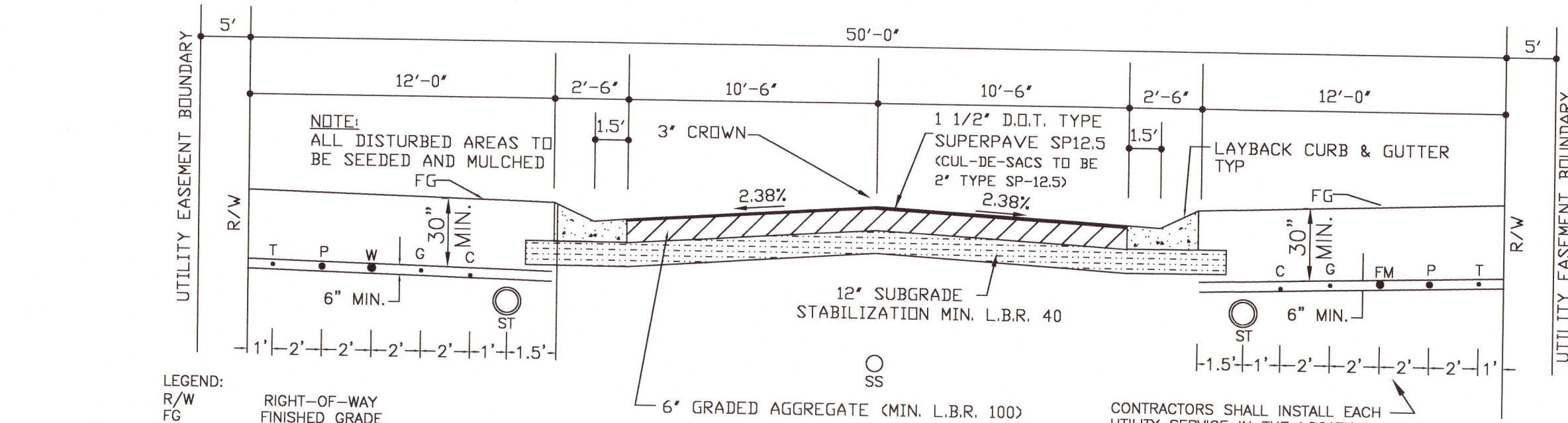
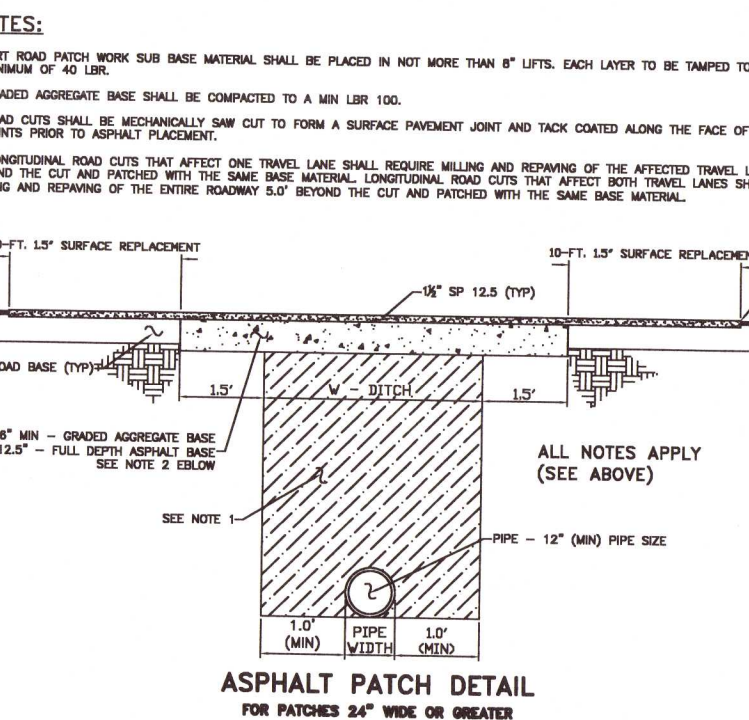
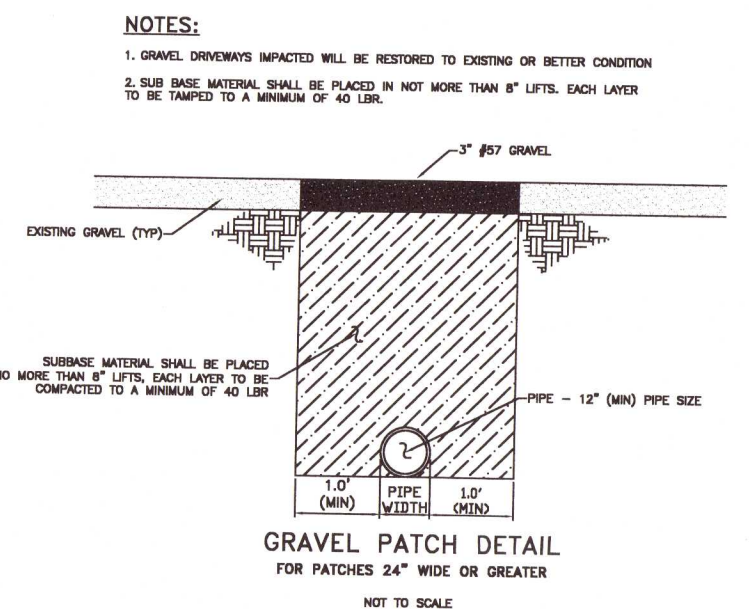








**CONCRETE PATCH DETAIL**  
(FOR PATCHES LESS THAN 24" WIDE)  
(ALL NOTES APPLY, SEE ABOVE)  
NOT TO SCALE

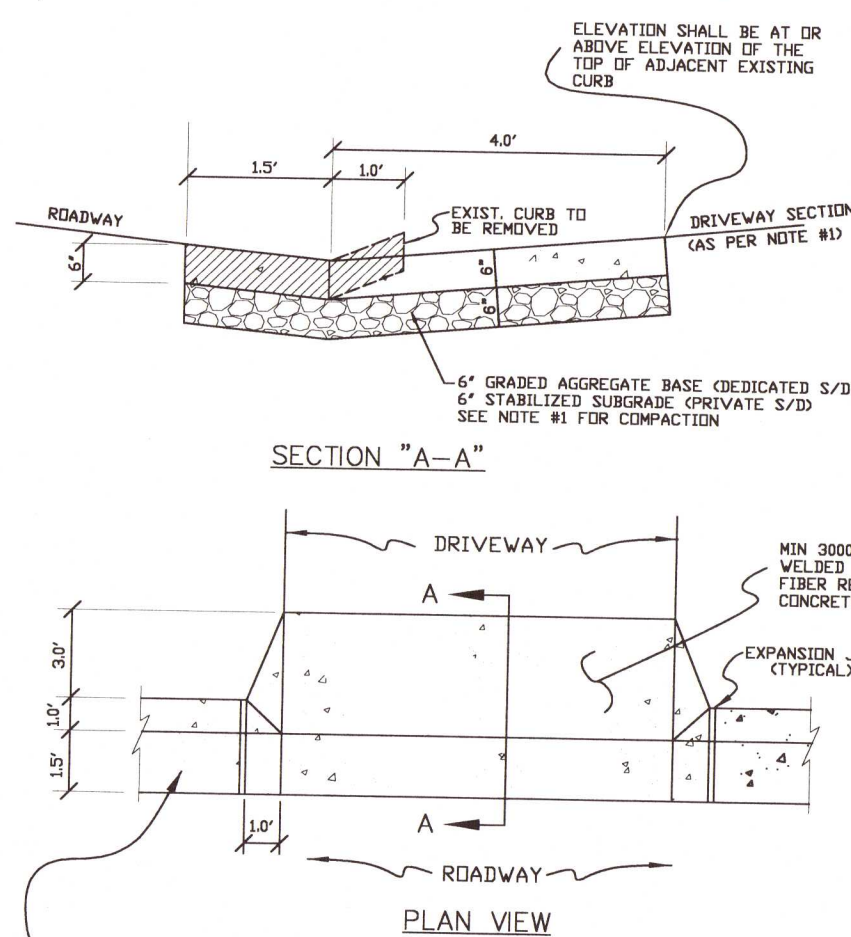


**COMMON TRENCH DETAIL/ROAD CROSS SECTION**  
NOT TO SCALE

**PAVEMENT SECTION NOTES:**  
1. WATER SHALL BE A MIN. OF 30" BELOW GRADE.  
2. ALL UNSUITABLE MATERIALS BENEATH THE ROAD REQUIRE EXCAVATION AND BACKFILL WITH READILY COMPACTABLE SOILS IN 6" LIFTS AND STABILIZED TO A MINIMUM SOIL DENSITY OF 98% OF THE MODIFIED PROCTOR TEST (ASTM D1557).  
3. 6" BASE REQUIRES A MINIMUM SOIL DENSITY OF 98% OF THE MODIFIED PROCTOR TEST (ASTM D1557).  
4. 12" SUBGRADE REQUIRES A MINIMUM SOIL DENSITY OF 98% OF THE MODIFIED PROCTOR TEST (ASTM D1557).  
5. CRUSHED LIMEROCK BASE FROM AN ADOPTED SOURCE MAY BE USED INSTEAD OF GAB.  
6. ANY GAB MATERIAL SUBSTITUTION HAS TO GO THROUGH A SPECIAL APPROVAL BY THE COUNTY PROCESS.  
7. CRUSHED CONCRETE IS NOT AN ALLOWABLE BASE MATERIAL IN ESCAMBA COUNTY FOR NEW SUBDIVISIONS.

**UTILITY NOTES:**  
1. CONTRACTORS SHALL INSTALL EACH UTILITY SERVICE IN THE LOCATION AS SHOWN IN THE COMMON TRENCH DETAIL. SEE CONSTRUCTION PLANS/UTILITY ADDENDUMS TO DETERMINE WHICH SIDE OF THE R/W ACTUALLY RECEIVES THE UTILITY. SOME UTILITIES MAY ONLY BE ON ONE SIDE OF THE ROAD (I.E. WATER & FORCE MAIN).  
2. ALL PROPOSED UNDERGROUND UTILITIES WITHIN THE RIGHT-OF-WAY SHALL BE INSTALLED PRIOR TO PAVING. NO STREETS UNDER THE TWO YEAR WARRANTY WILL BE ALLOWED TO BE OPEN-CUT OR JACK AND BORED. TO ACCOMPLISH THIS REQUIREMENT, COMMON TRENCHING IS REQUIRED. COMMON TRENCHING SHALL NOT TAKE PLACE UNTIL ALL ROW ROUGH GRADES HAVE BEEN ESTABLISHED TO ENSURE PROPER UTILITY DEPTHS. IF COMMON TRENCHING IS NOT A FEASIBLE OPTION, THE DEVELOPER SHALL INSTALL CONDUIT FOR THE UTILITY NOT PARTICIPATING IN THE COMMON TRENCHING FOR ALL ROAD CROSSINGS AND THE UTILITY COMPANY WILL BE REQUIRED TO USE THE CONDUIT. THIS SHALL REQUIRE PLANNING BETWEEN THE DEVELOPER AND THE UTILITY.

- NOTES:**
1. DRIVEWAY SECTIONS ABUTTING CURB OR CURB CUT SHALL BE 6" CONCRETE WITH 6" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE + 95% COMPACTION (MODIFIED PROCTOR) WITH LBR 40 BETWEEN EDGE OF ROADWAY AND R/W LINE.
  2. FOR OTHER TYPE CURBS, DIMENSIONS MAY BE ADJUSTED TO FIT. IF NECESSARY, REFER TO F.D.O.T. INDEX DETAILS.
  3. DRIVEWAYS WITHIN PROPERTY BOUNDARY SHALL PROVIDE A MINIMUM OF 2 PARKING SPACES.
  4. TYPICAL DRIVEWAY SECTIONS ARE TO BE 12' WIDE MINIMUM.



**POND ACCESS DRIVEWAY CONNECTION**  
NTS

**CURB JOINT NOTE:**  
CONTRACTION JOINTS SHALL BE CONSTRUCTED EVERY TEN (10) FEET BUT NO SECTION SHALL BE LESS THAN FOUR (4) FEET LONG. STEEL TEMPLATES SHALL BE USED FOR THESE JOINTS AND WITHDRAWN AFTER THE INITIAL SET. AT INTERVALS NOT TO EXCEED FIFTY (50) FEET AND AT ALL STRUCTURES AND INLETS AND AT ALL RADIUS POINTS, A ONE-HALF (1/2) INCH FULL-DEPTH EXPANSION JOINT SHALL BE CONSTRUCTED OF AN APPROVED MATERIAL. EXPANSION JOINTS SHALL BE CONSTRUCTED WITH PREFORMED EXPANSION JOINT MATERIALS CUT AND SHAPED TO THE CROSS-SECTION OF THE CURB.

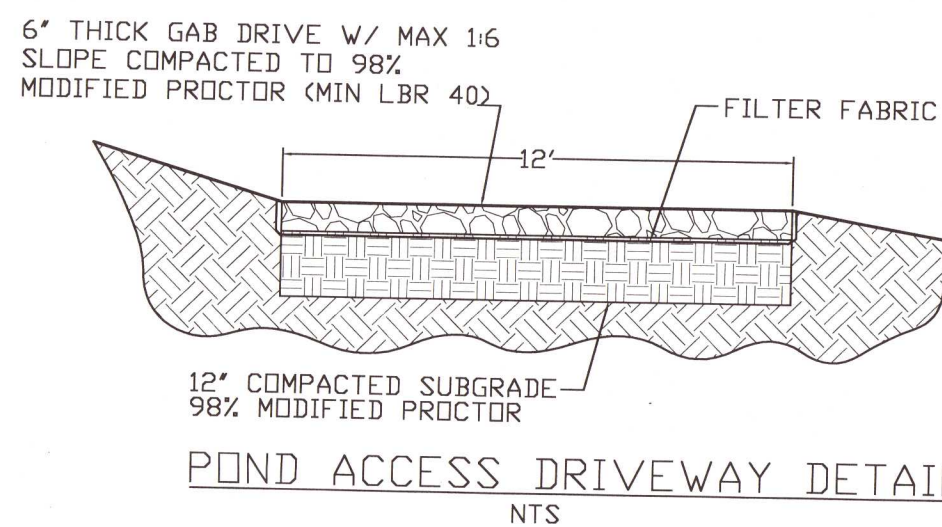
**LAYBACK CURB & GUTTER**  
NTS

30" R-1 STOP SIGN TO BE LOCATED AT THE P.C. OF THE CURB RADIUS

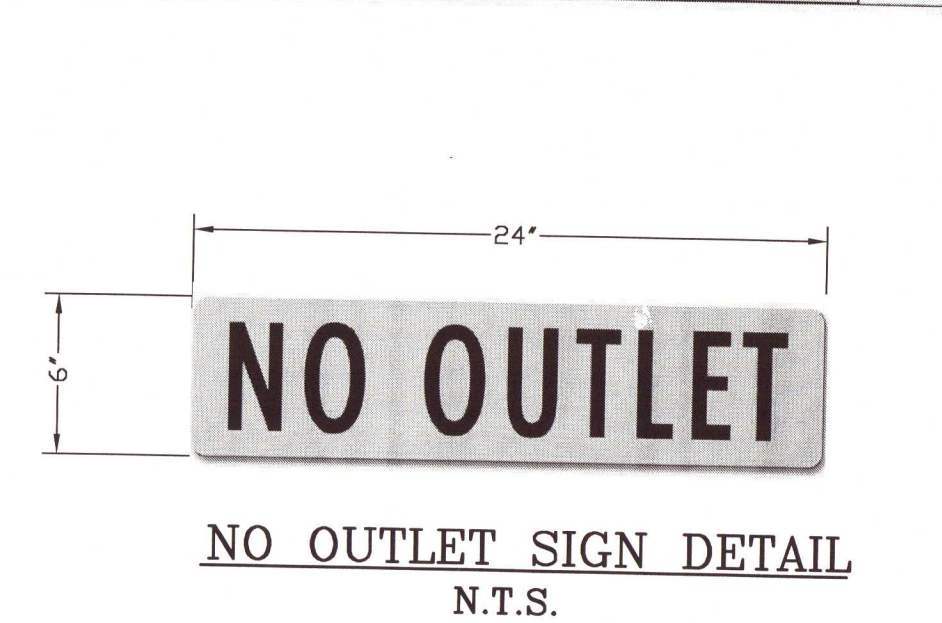
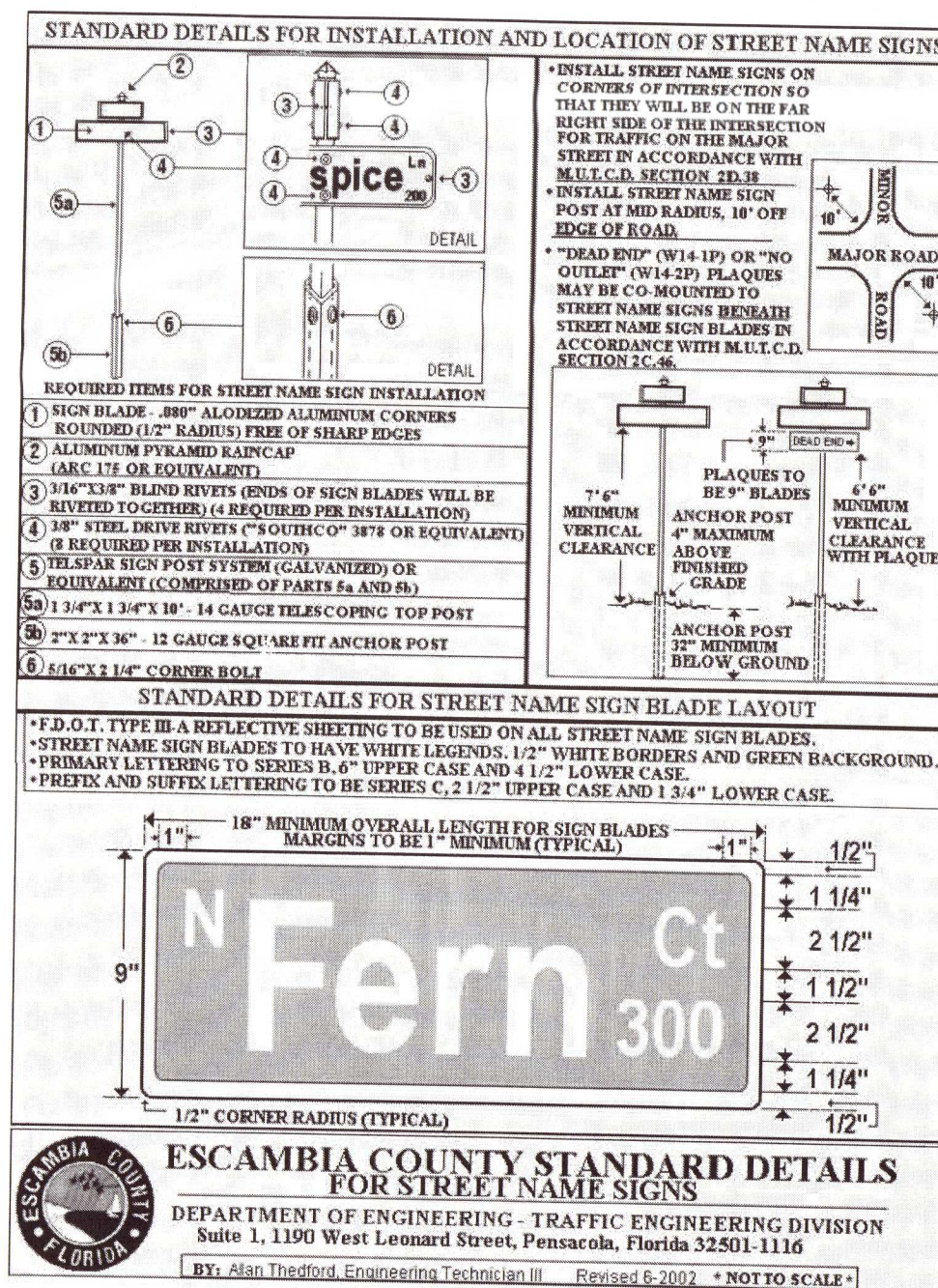
24" WHITE THERMO STOP BAR TO BE LOCATED 12' FROM EDGE OF CROSSROAD LANE

STREET NAME SIGN TO BE LOCATED ON THE SAME SIDE AS THE STOP SIGN, AT THE MIDPOINT OF THE RADIUS, 10' FROM EDGE OF ASPHALT

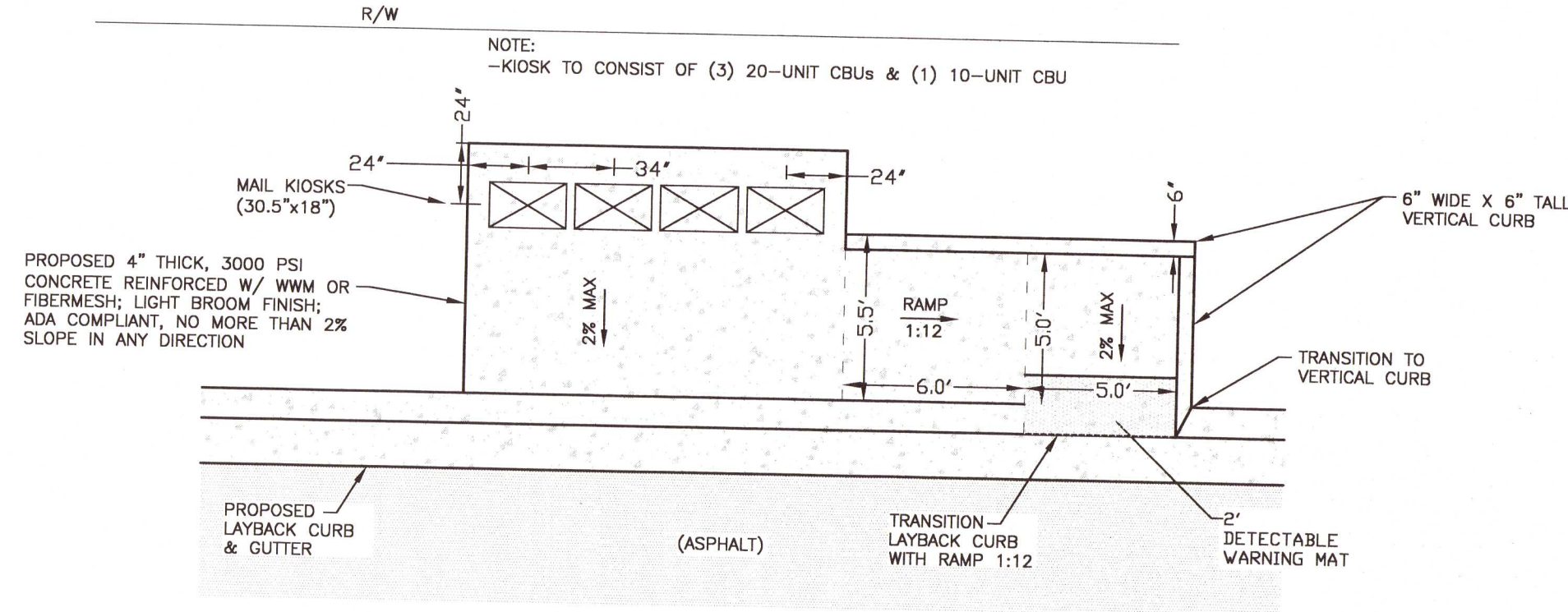
**INTERSECTION DETAIL**  
N.T.S.



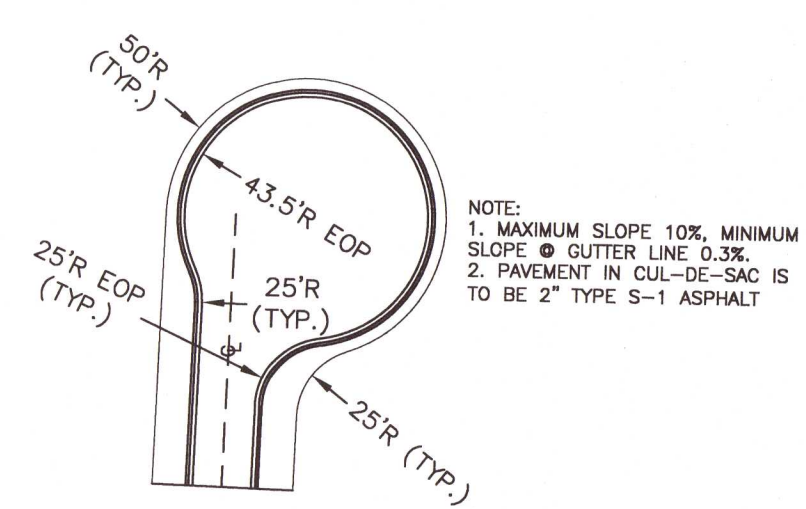
**POND ACCESS DRIVEWAY DETAIL**  
NTS



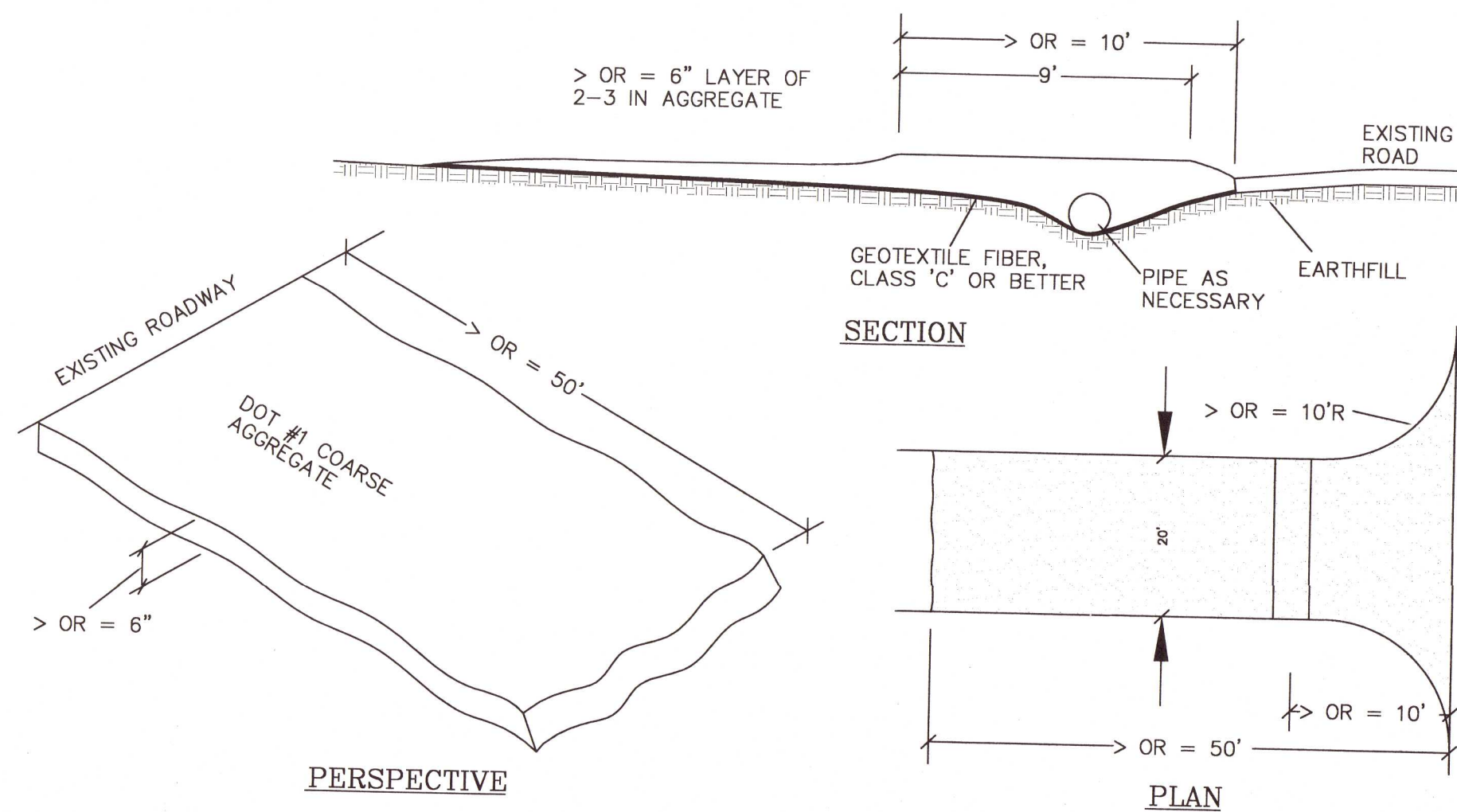
**NO OUTLET SIGN DETAIL**  
N.T.S.



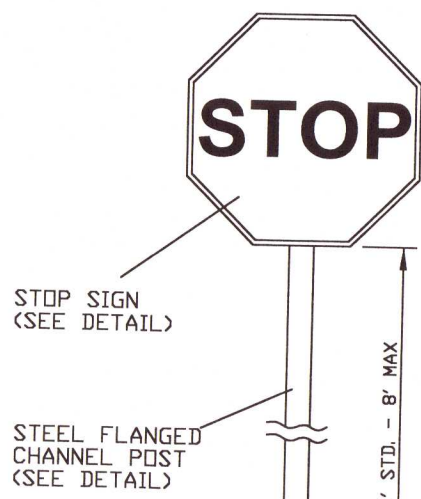
**MAIL KIOSK DETAIL**  
N.T.S.



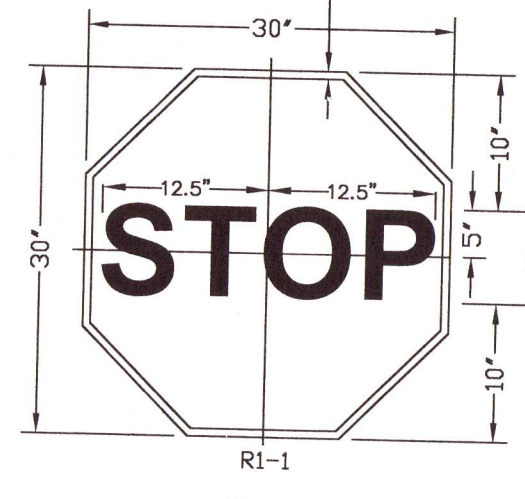
**CUL-DE-SAC DETAIL**  
NTS



**CONSTRUCTION ENTRANCE/EXIT PLAN VIEW**  
NTS



**SIGN MOUNTING HEIGHT DETAIL**  
N.T.S.



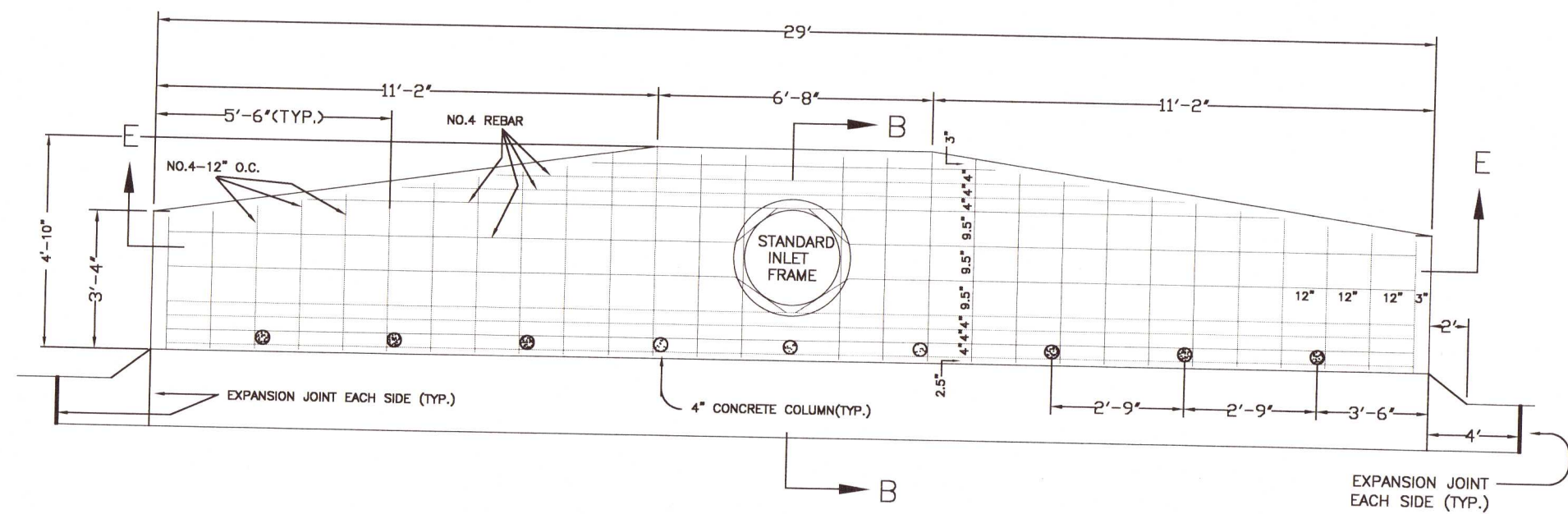
**STOP SIGN DETAIL**  
N.T.S.

**DAVID W. FITZPATRICK**  
PROFESSIONAL ENGINEER, P.E.  
BOARD OF PROFESSIONAL REGULATION #0008423  
10200 NORTH PACIFIC STREET  
PENSACOLA, FL 32504  
PH: (850) 476-8677 FAX: (850) 476-7708

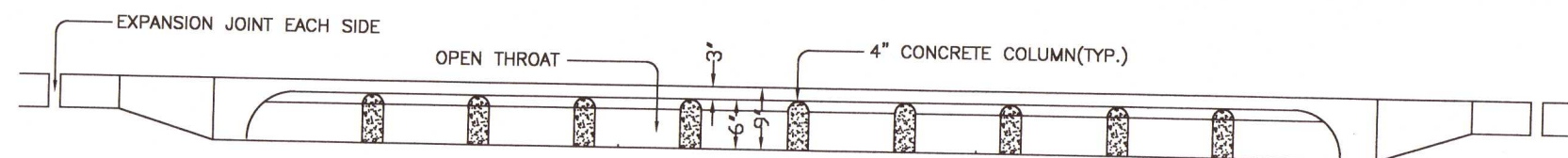
**BELLVIEW POINTE**  
ROAD DETAILS

DATE	
NUMBER	
DRAWN BY:	B. PEMENT
DESIGNED BY:	D. FITZPATRICK
SIGNATURE & SEAL	
PROJECT NUMBER	20-036
PLOT DATE	03/25/22
SHEET	C27 OF C28

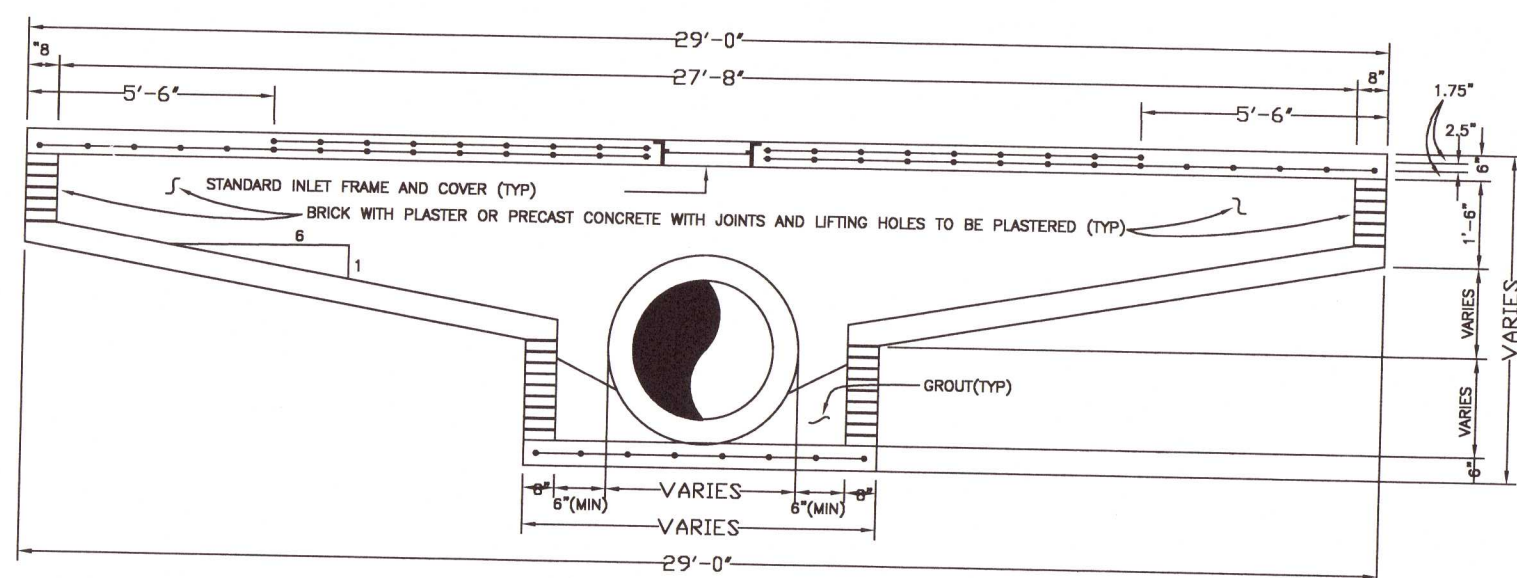




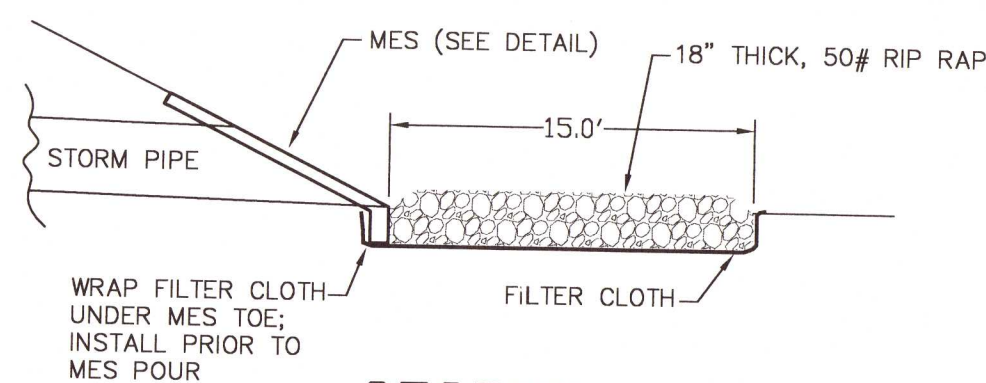
TYPE DOUBLE 'A' DROP INLET DETAIL



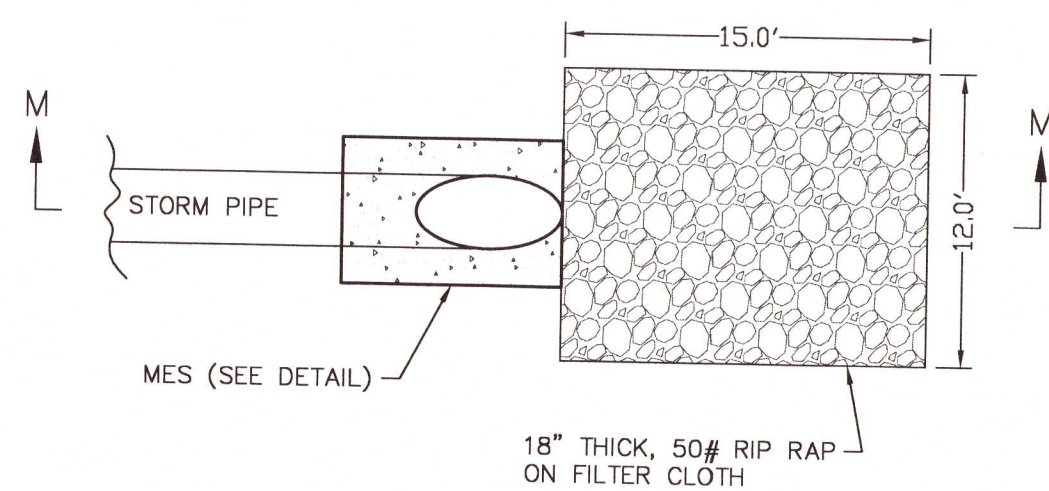
TYPE DOUBLE 'A' THROAT ELEVATION



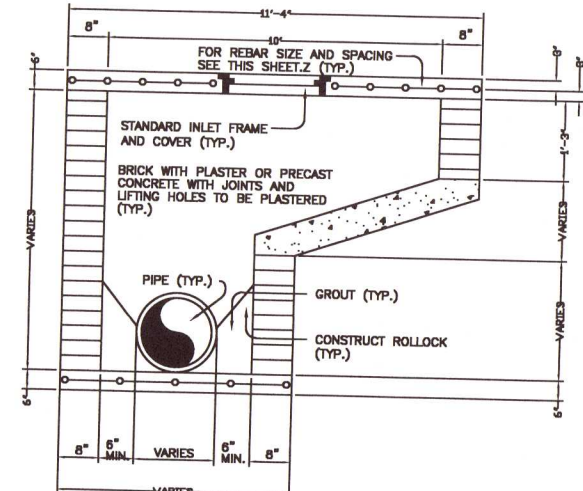
SECTION "E-E"



SECTION M-M  
NTS

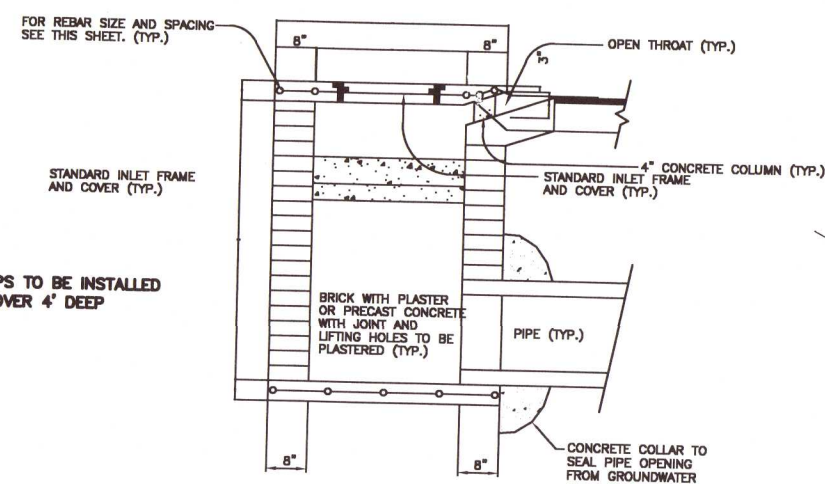


RIPRAP DETAIL  
NTS



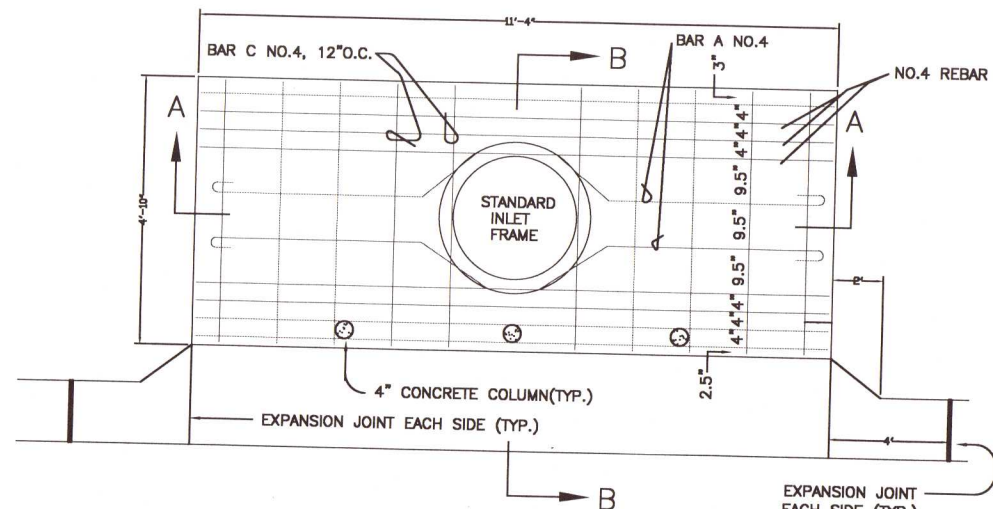
SECTION "A-A"

STORM STRUCTURE NOTES:  
1. NO CONCRETE BLOCK ALLOWED IN INLETS/MANHOLES.  
2. PIPE CONNECTIONS TO STRUCTURES TO INCLUDE CONCRETE COLLARS.

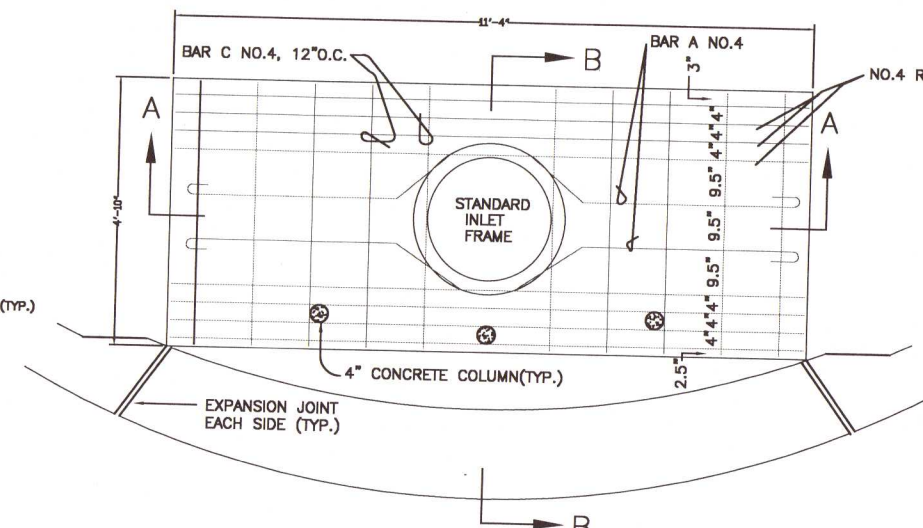


SECTION "B-B"

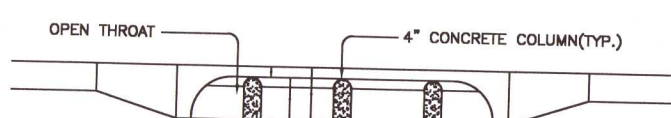
NOTE: STEPS TO BE INSTALLED  
IN BOXES OVER 4' DEEP



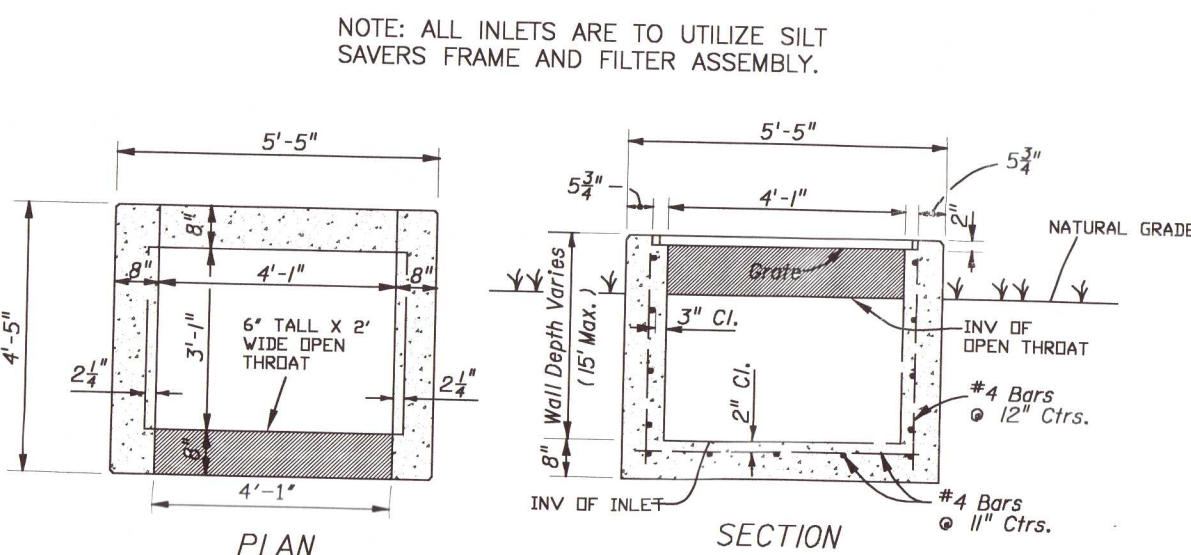
TYPE 'A' DROP INLET DETAIL



TYPE 'A-1' DROP INLET DETAIL



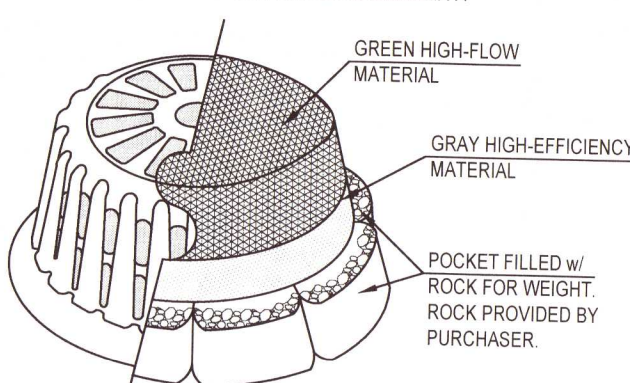
TYPE 'A' & 'A-1' THROAT ELEVATION



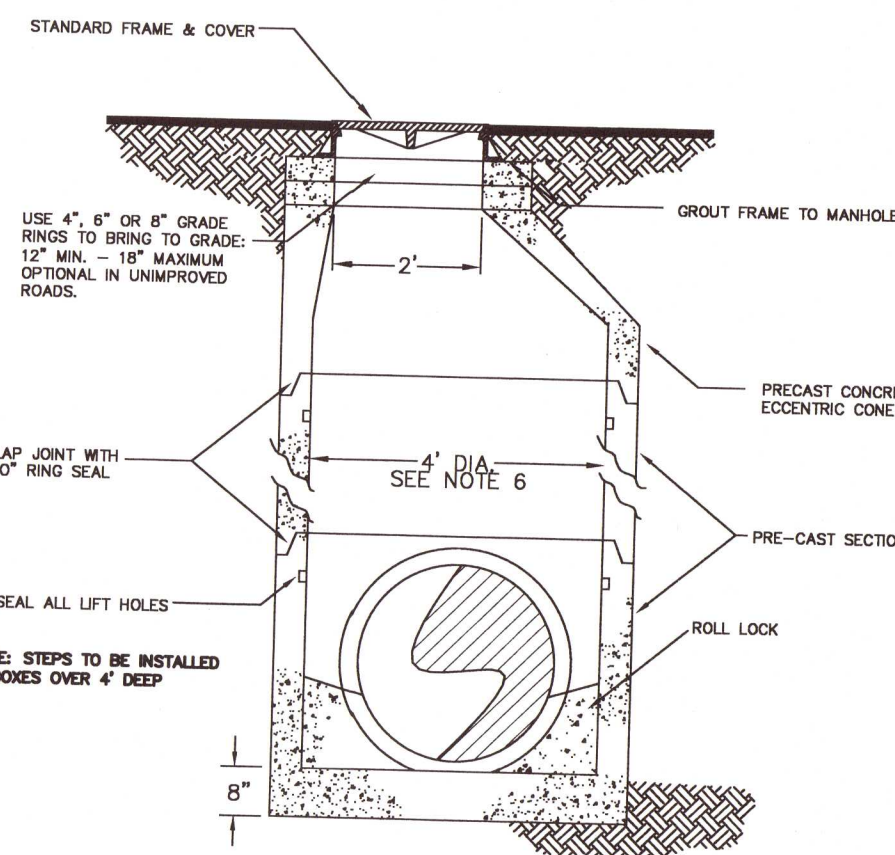
FDOT TYPE-D INLET DETAIL  
NTS

FILTER INSTALLATION  
FILTER SLIDES DIRECTLY OVER FILTER FRAME. TO KEEP FILTER  
FRAME IN PLACE OVER STORM STRUCTURE, ROCK POCKETS ARE  
SEWN DIRECTLY INTO FILTER. EVERY FILTER COMES IN ONE PIECE  
FOR EASY INSTALLATION.

MAINTENANCE  
ALL TEMPORARY EROSION, SEDIMENTATION, & POLLUTION CONTROL  
PRACTICES SHOULD BE INSPECTED DAILY. CONTRACTOR SHALL  
REMOVE SEDIMENT AND DISPOSE OF IN A PROPER MANNER. INSPECT  
FRAME AND FILTER DAILY FOR CUTS, ABRASIONS, AND PROPER  
INSTALLATION. REPLACE OR REPOSITION AS NECESSARY.

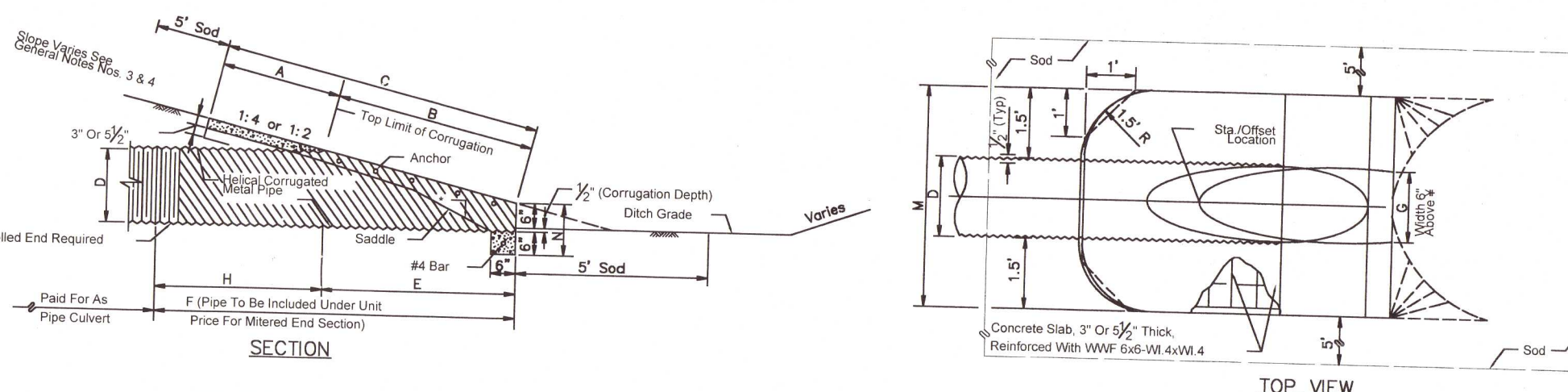


SILT SAVER DETAIL  
SHOWN WITH DOT FILTER



STANDARD JUNCTION BOX  
NTS

JUNCTION BOX NOTES:  
1. MANHOLE SHALL CONFORM TO A.S.T.M. C 478 SPECIFICATIONS.  
2. DIAMETER OF OPENING FOR PIPE SHALL BE 1" LARGER DIAMETER THAN BELL  
OF THE PIPE BEING USED.  
3. JOINTING COMPOUND SHALL BE RAM NECK, TYPE 1, ROPE FORM PLASTIC  
GASSET OR EQUAL.  
4. ALL PATCHING TO BE DONE WITH HYDRAULIC CEMENT. NO MORTAR REPAIRS  
PERMITTED.  
5. CONCRETE TO BE 2500 P.S.I., REINFORCING STEEL TO BE A.S.T.M.  
A 615 GRADE 60.  
6. FRAME AND COVER SHALL BE VULCAN 1337-2 (ASTM SPEC. A-48, CLASS  
30 CAST IRON) OR APPROVED EQUAL. REFER TO SPECIFICATIONS.  
7. CONTRACTOR IS CAUTIONED TO DETERMINE IF A 4" DIAMETER  
MANHOLE IS LARGE ENOUGH TO CONTAIN SOME OF THE LARGER PIPES  
OR CONDUITS. IF IT MAY BE NECESSARY TO PROVIDE A LARGER  
DIAMETER JUNCTION BOX. RECTANGULAR JUNCTION BOXES ARE ACCEPTABLE  
PROVIDED THEY MEET FLORIDA COUNTY REQUIREMENTS AND FDOT SPEC.  
8. NO CONCRETE BLOCK ALLOWED IN INLETS/MANHOLES.  
9. PIPE CONNECTIONS TO STRUCTURES TO INCLUDE CONCRETE COLLARS.



NOTE: MES SHALL NOT BE CONSTRUCTED OF PVC (40200) OR  
HIPS (AND) PIPE. USE ONLY CONCRETE OR METAL. METERED END  
SECTIONS AS INDICATED IN FDOT STANDARD SPECIFICATIONS  
SECTION 402.04. WHEN USE IN CONJUNCTION WITH CORRUGATED MES,  
SPECIFICALLY DESIGNED TO JOIN HIPS OR PVC PIPE. WHEN USED  
IN CONJUNCTION WITH A CONCRETE MES, CONNECTION SHALL BE  
BY CONCRETE JACKET CONSTRUCTED IN ACCORDANCE WITH FDOT  
DESIGN STANDARD INDEX NO. 280.

MES DIMENSIONS AND QUANTITIES																					
D	X	A	B	C	E	F	G	H	M				N	5/8" CONCRETE SLAB (CY)				SODDING (SY)			
									Single	Double	Triple	Quad pipe		Single pipe	Double pipe	Triple pipe	Quad pipe	Single	Double	Triple	Quad
15"	2'-0"	2'-0"	1.68"	1.18"	1.5"	5.0"	1.03"	3.5"	4.33'	6.92'	8.50'	12.08'	1.04'	0.35	0.54	0.74	0.94	21	24	27	29
18"	2'-0"	2'-0"	2.24	2.74	2.0"	6.0"	1.43"	4"	4.58'	7.42'	10.25'	13.08'	1.04'	0.38	0.62	0.87	1.12	22	25	28	31
24"	3'-0"	3'-0"	3.35	3.85	3.0"	7.0"	1.71"	4"	5.08'	8.50'	11.92'	15.33'	1.04'	0.47	0.76	1.05	1.34	23	26	29	32
30"	4'-0"	4'-0"	4.47	4.97	4.0"	8.0"	2.00"	4"	5.58'	9.18'	12.58'	16.33'	1.04'	0.57	0.86	1.13	1.42	24	27	30	33
36"	5'-0"	5'-0"	5.59	6.09	5.0"	9.0"	2.24"	4"	6.08'	10.17'	13.58'	17.33'	1.04'	0.67	0.96	1.33	1.57	25	28	31	34
42"	6'-0"	6'-0"	6.71	7.21	6.0"	10.0"	2.45"	4"	6.58'	11.17'	14.58'	18.33'	1.04'	0.78	1.11	1.72	2.26	27	30	33	36
48"	6'-0"	6'-0"	7.83	8.33	7.0"	11.0"	2.65"	4"	7.08'	12.17'	15.58'	19.33'	1.04'	0.88	1.21	1.87	2.41	29	32	35	38
54"	6'-0"	6'-0"	8.94	9.44	8.0"	12.0"	2.83"	4"	7.58'	13.25'	16.58'	20.33'	1.04'	0.99	1.31	2.04	2.63	31	34	37	40
60"	6'-0"	6'-0"	10.06	10.56	9.0"	13.0"	3.03"	4"	8.08'	14.25'	17.58'	21.33'	1.04'	1.09	1.41	2.14	2.76	33	36	39	42
66"	6'-0"	6'-0"	11.18	11.68	10.0"	14.0"	3.23"	4"	8.58'	15.25'	18.58'	22.33'	1.04'	1.19	1.51	2.24	2.86	35	38	41	44
72"	6'-0"	6'-0"	12.3	12.8	11.0"	15.0"	3.43"	4"	9.08'	16.25'	19.58'	23.33'	1.04'	1.29	1.61	2.34	2.96	37	40	43	46
78"	6'-0"	6'-0"	13.42	13.92	12.0"	16.0"	3.63"	4"	9.58'	17.25'	20.58'	24.33'	1.04'	1.39	1.71	2.44	3.06	39	42	45	48
84"	6'-0"	6'-0"	14.54	15.04	13.0"	17.0"	3.83"	4"	10.08'	18.25'	21.58'	25.33'	1.04'	1.49	1.81	2.54	3.16	41	44	47	50
90"	6'-0"	6'-0"	15.66	16.16	14.0"	18.0"	4.03"	4"	10.58'	19.25'	22.58'	26.33'	1.04'	1.59	1.91	2.64	3.26	43	46	49	52
96"	6'-0"	6'-0"	16.78	17.28	15.0"	19.0"	4.23"	4"	11.08'	20.25'	23.58'	27.33'	1.04'	1.69	2.01	2.74	3.36	45	48	51	54
102"	6'-0"	6'-0"	17.9	18.4	16.0"	20.0"	4.43"	4"	11.58'	21.25'	24.58'	28.33'	1.04'	1.79	2.11	2.84	3.46	47	50	53	56
108"	6'-0"	6'-0"	19.02	19.52	17.0"	21.0"	4.63"	4"	12.08'	22.25'	25.58'	29.33'	1.04'	1.89	2.21	2.94	3.56	49	52	55	58
114"	6'-0"	6'-0"	20.14	20.64	18.0"	22.0"	4.83"	4"	12.58'	23.25'	26.58'	30.33'	1.04'	1.99	2.31	3.04	3.66	51	54	57	60
120"	6'-0"	6'-0"	21.26	21.76	19.0"	23.0"	5.03"	4"	13.08'	24.25'	27.58'	31.33'	1.04'	2.09	2.41	3.14	3.76	53	56	59	62
126"	6'-0"	6'-0"	22.38	22.88	20.0"	24.0"	5.23"	4"	13.58'	25.25'	28.58'	32.33'	1.04'	2.19	2.51	3.24	3.86	55	58	61	64
132"	6'-0"	6'-0"	23.5	24.0	21.0"	25.0"	5.43"	4"	14.08'	26.25'	29.58'	33.33'	1.04'	2.29	2.61	3.34	3.96	57	60	63	66
138"	6'-0"	6'-0"	24.62	25.12	22.0"	26.0"	5.63"	4"	14.58'	27.25'	30.58'	34.33'	1.04'	2.39	2.71	3.44	4.06	59	62	65	68
144"	6'-0"	6'-0"	25.74	26.24	23.0"	27.0"	5.83"	4"	15.08'	28.25'	31.58'	35.33'	1.04'	2.49	2.81	3.54	4.16	61	64	67	70
150"	6'-0"	6'-0"	26.86	27.36	24.0"	28.0"	6.03"	4"	15.58'	29.25'	32.58'	36.33'	1.04'	2.59	2.91	3.64	4.26	63	66	69	72
156"	6'-0"	6'-0"	27.98	28.48	25.0"	29.0"	6.23"	4"	16.08'	30.25'	33.58'	37.33'	1.04'	2.69	3.01	3.74	4.36	65	68	71	74
162"	6'-0"	6'-0"	29.1	29.6	26.0"	30.0"	6.43"	4"	16.58'	31.25'	34.58'	38.33'	1.04'	2.79	3.11	3.84	4.46	67	70	73	76
168"	6'-0"	6'-0"	30.22	30.72	27.0"	31.0"	6.63"	4"	17.08'	32.25'	35.58'	39.33'	1.04'	2.89	3.21	3.94	4.56	69	72	75	78
174"	6'-0"	6'-0"	31.34	31.84	28.0"	32.0"	6.83"	4"	17.58'	33.25'	36.58'	40.33'	1.04'	2.99	3.31	4.04	4.66	71	74	77	80
180"	6'-0"	6'-0"	32.46	32.96	29.0"	33.0"	7.03"	4"	18.08'	34.25'	37.58'	41.33'	1.04'	3.09	3.41	4.14	4.76	73	76	79	82
186"	6'-0"	6'-0"	33.58	34.08	30.0"	34.0"	7.23"	4"	18.58'	35.25'	38.58'	42.33'	1.04'	3.19	3.51	4.24	4.86	75	78	81	84
192"	6'-0"	6'-0"	34.7	35.2	31.0"	35.0"	7.43"	4"	19.08'	36.25'	39.58'	43.33'	1.04'	3.29	3.61	4.34	4.96	77	80	83	86
198"	6'-0"	6'-0"	35.82	36.32	32.0"	36.0"	7.63"	4"	19.58'	37.25'	40.58'	44.33'	1.04'	3.39	3.71	4.44	5.06	79	82	85	88
204"	6'-0"	6'-0"	36.94	37.44	33.0"	37.0"	7.83"	4"	20.08'	38.25'	41.58'	45.33'	1.04'	3.49	3.81	4.54	5.16	81	84	87	90
210"	6'-0"	6'-0"	38.06	38.56	34.0"	38.0"	8.03"	4"	20.58'	39.25'	42.58'	46.33'	1.04'	3.59	3.91	4.64	5.26	83	86	89	92
216"	6'-0"	6'-0"	39.18	39.68	35.0"	39.0"	8.23"	4"	21.08'	40.25'	43.58'	47.33'	1.04'	3.69	4.01	4.74	5.36	85	88	91	94
222"	6'-0"	6'-0"	40.3	40.8	36.0"	40.0"	8.43"	4"	21.58'	41.25'	44.58'	48.33'	1.04'	3.79	4.11	4.84	5.46	87	90	93	96
228"	6'-0"	6'-0"	41.42	41.92	37.0"	41.0"	8.63"	4"	22.08'	42.25'	45.58'	49.33'	1.04'	3.89	4.21	4.94	5.56	89	92	95	98
234"	6'-0"	6'-0"	42.54	43.04	38.0"	42.0"	8.83"	4"	22.58'	43.25'	46.58'	50.33'	1.04'	3.99	4.31	5.04	5.66	91	94	97	100
240"	6'-0"	6'-0"	43.66	44.16	39.0"	43.0"	9.03"	4"	23.08'	44.25'	47.58'	51.33'	1.04'	4.09	4.41	5.14	5.76	93	96	99	102
246"	6'-0"	6'-0"	44.78	45.28	40.0"	44.0"	9.23"	4"	23.58'	45.25'	48.58'	52.33'	1.04'	4.19	4.51	5.24	5.86	95	98	101	104
252"	6'-0"	6'-0"	45.9	46.4	41.0"	45.0"	9.43"	4"	24.08'	46.25'	49.58'	53.33'	1.04'	4.29	4.61	5.34	5.96	97	100	103	106
258"	6'-0"	6'-0"	47.02	47.52	42.0"	46.0"	9.63"	4"	24.58'	47.25'	50.58'	54.33'	1.04'	4.39	4.71	5.44	6.06	99	102	105	108
264"	6'-0"	6'-0"	48.14	48.64	43.0"	47.0"	9.83"	4"	25.08'	48.25'	51.58'	55.33'	1.04'	4.49	4.81	5.54	6.16	101	104	107	110
270"	6'-0"	6'-0"	49.26	49.76	44.0"	48.0"	10.03"	4"	25.58'	49.25'	52.58'	56.33'	1.04'	4.59	4.91	5.64	6.26	103	106	109	112
276"	6'-0"	6'-0"	50.38	50.88	45.0"	49.0"	10.23"	4"	26.08'	50.25'	53.58'	57.33'	1.04'	4.69	5.01	5.74	6.36	105	108	111	114
282"	6'-0"	6'-0"	51.5	52.0	46.0"	50.0"	10.43"	4"	26.58'	51.25'	54.58'	58.33'	1.04'	4.79	5.11	5.84	6.46	107	110	113	116
288"	6'-0"	6'-0"	52.62	53.12	47.0"	51.0"	10.63"	4"	27.08'	52.25'	55.58'	59.33'	1.04'	4.89	5.21	5.94	6.56	109	112	115	118
294"	6'-0"	6'-0"	53.74	54.24	48.0"	52.0"	10.83"	4"	27.58'	53.25'	56.58'	60.33'	1.04'	4.99	5.31	6.04	6.66	111	114	117	120
300"	6'-0"	6'-0"	54.86	55.36	49.0"	53.0"	11.03"	4"	28.08'	54.25'	57.58'	61.33'	1.04'	5.09	5.41	6.14	6.76	113	116	119	122
306"	6'-0"	6'-0"	55.98	56.48	50.0"	54.0"	11.23"	4"	28.58'	55.25'	58.58'	62.33'	1.04'	5.19	5.51	6.24	6.86	115	118	121	124
312"	6'-0"	6'-0"	57.1	57.6	51.0"	55.0"	11.43"	4"	29.08'	56.25'	59.58'	63.33'	1.04'	5.29	5.61	6.34	6.96	117	120	123	126
318"	6'-0"	6'-0"	58.22	58.72	52.0"	56.0"	11.63"	4"	29.58'	57.25'	60.58'	64.33'	1.04'	5.39	5.71	6.44	7.06	119	122	125	128
324"	6'-0"	6'-0"	59.34	59.84	53.0"	57.0"	11.83"	4"	30.08'	58.25'	61.58'	65.33'	1.04'	5.49	5.81	6.54	7.16	121	124	127	130
330"	6'-0"	6'-0"	60.46	60.96	54.0"	58.0"	12.03"	4"	30.58'	59.25'	62.58'	66.33'	1.04'	5.59	5.91	6.64	7.26	123	126	129	132
336"	6'-0"	6'-0"	61.58	62.08	55.0"	59.0"	12.23"	4"	31.08'	60.25'	63.58'	67.33'	1.04'	5.69	6.01	6.74	7.36	125	128	131	134
342"	6'-0"	6'-0"	62.7	63.2	56.0"	60.0"	12.43"	4"	31.58'	61.25'	64.58'	68.33'	1.04'	5.79	6.11	6.84	7.46	127	130	133	136
348"	6'-0"	6'-0"	63.82	64.32	57.0"	61.0"	12.63"	4"	32.08'	62.25'	65.58'	69.33'	1.04'	5.89	6.21	6.94	7.56	129	132	135	138
354"	6'-0"	6'-0"	64.94	65.44	58.0"	62.0"	12.83"	4"	32.58'	63.25'	66.58'	70.33'	1.04'	5.99	6.31	7.04	7.66	131	134	137	140
360"	6'-0"	6'-0"	66.06	66.56	59.0"	63.0"	13.03"	4"	33.08'	64.25'	67.58'	71.33'	1.04'	6.09	6.41	7.14	7.76	133	136	139	142
366"	6'-0"	6'-0"	67.18	67.68	60.0"	64.0"	13.23"	4"	33.58'	65.25'	68.58'	72.33'	1.04'	6.19	6.51	7.24	7.86	135	138	141	144
372"	6'-0"	6'-0"	68.3	68.8	61.0"	65.0"	13.43"	4"	34.08'	66.25'	69.58'	73.33'	1.04'	6.29	6.61	7.34	7.96	137	140	143	146
378"	6'-0"	6'-0"	69.42	69.92	62.0"	66.0"	13.63"	4"	34.58'	67.25'	70.58'	74.33'	1.04'	6.39	6.71	7.44	8.06	139	142	145	148
384"	6'-0"	6'-0"	70.54	71.04	63.0"	67.0"	13.83"	4"	35.08'												