CONSTRUCTION PLANS FOR

MAP REVISION DATE

12033C0295G | SEPTEMBER 29, 2006

Approved ESCAMBIA COUNTY DRC PLAN REVIEW her signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not onstitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or ne issuance of state/federal permits shall be provided to the county prior

FEMA FLOOD INSURANCE RATE MAP INFORMATION

AREAS OUTSIDE THE 1-PERCENT AND 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAINS. NO

BFES OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBER 12033C0295G, MAP

approval of a final plat or the issuance of a building permit.

FLOOD ZONE | NFIP COMMUNITY NO. |

REVISION DATED SEPTEMBER 29, 2006.

GULF ICE SYSTEMS METAL BUILDING REPLACEMENT

BEING A PORTION OF SECTION 21, TOWNSHIP 1 NORTH, RANGE 29 WEST, ESCAMBIA COUNTY, FLORIDA ZONED: HEAVY COMMERCIAL AND LIGHT INDUSTRIAL (HC/LI), EXISTING LAND USE: COMM FUTURE LAND USE: i

> PARCEL IDs: 21-15-30-2101-000-052 21-15-30-2101-000-053

7800 SEARS BLVD, PENSACOLA, FL 32514

OWNER GULF ICE SYSTEMS INC 7790 SEARS BLVD, PENSACOLA, FL 32514 (850) 474-1784

PATRICK LYONS LYONS CONSTRUCTION INC 12 SHORELINE PL, GULF BREEZE. FL 32561 (850) 232-9999

CIVIL ENGINEER ERICA FLOYD, P.E. GULF CIVIL ENGINEERING, LLC 3298 SUMMIT BLVD, SUITE 44 PENSACOLA, FL 32503 (850) 262-8941

PROFESSIONAL SURVEYOR & MAPPER RONALD E REUBEN II. P.S.M. REUBEN SURVEYING & MAPPING 1179 GULF BREEZE PARKWAY, GULF BREEZE, FL 32561

AUGUST 2021



GULF CIVIL ENGINEERING, LLC 3298 Summit Boulevard, Suite 44 Pensacola, FL 32503 850-262-8941 FL Certificate of Auth. # 30082

1 08/25/21 ELF INITIAL DRC COMMENT REVISIONS

SHEET

G-000

G-001

C-100

C-101

C-102

C-103

C-104

C-105

C-106

LEGAL DESCRIPTION

(PREPARED BY RUBEN SURVEYING AND MAPPING)

COMMENCE AT THE INTERSECTION OF THE SOUTH RIGHT-OF-WAY LINE OF OLIVE ROAD, STATE ROAD NO. 290 (66' RIGHT-OF-WAY), AND THE EAST RIGHT-OF-WAY LINE OF CSX TRANSPORTATION SYSTEM (FORMERLY LOUISVILLE AND

NASHVILLE RAILROAD) (100' RIGHT-OF-WAY); THENCE GO SOUTH 24 DEGREES 12 MINUTES 20 SECONDS EAST ALONG

SAID EAST RIGHT-OF-WAY LINE, A DISTANCE OF 300.00 FEET TO THE NORTHWEST CORNER OF THE PROPERTY DEEDED

THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA; THENCE GO NORTH 66 DEGREES 56 MINUTES 30 SECONDS EAS'

ALONG THE NORTH LINE OF SAID SEARS PROPERTY, A DISTANCE OF 510.00 FEET TO THE NORTHEAST CORNER OF SAID

SEARS PROPERTY; THENCE GO SOUTH 24 DEGREES 12 MINUTES 20 SECONDS EAST ALONG THE EAST LINE OF SAID

PUBLIC RECORDS, A DISTANCE OF 831.41 FEET; THENCE GO NORTH 65 DEGREES 47 MINUTES 40 SECONDS EAST, A

THE SOUTHEAST CORNER OF SAID PROPERTY, THENCE GO NORTH 15 DEGREES 36 MINUTES 00 SECONDS EAST ALONG

THE AFOREMENTIONED PUBLIC RECORDS, A DISTANCE OF 173.53 FEET TO THE SOUTHEAST CORNER OF SAID PROPERTY

LINE OF SEARS BOULEVARD, BEING CONCAVE WESTERLY AND HAVING A RADIUS OF 2235.00 FEET (DELTA ANGLE = 01

DISTANCE = 50.73 FEET); A DISTANCE OF 50.73 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE

BEARING = SOUTH 20 DEGREES 03 MINUTES 37 SECONDS EAST, CHORD DISTANCE = 99.71 FEET); THENCE GO SOUTH

THE ABOVE DESCRIBED PARCEL OF LAND LYING IN AND BEING A PORTION OF SECTION 21, TOWNSHIP 1 SOUTH, RANGE

SHEET INDEX

EXISTING CONDITIONS, DEMOLITION & EROSION CONTROL PLAN

ALONG THE ARC OF SAID CURVED EAST RIGHT-OF-WAY LINE, A DISTANCE OF 99.72 FEET TO THE POINT OF

GENERAL NOTES & PROPERTY INFORMATION

30 WEST, ESCAMBIA COUNTY, FLORIDA AND CONTAINS 3.425 ACRES.

CONTENT

COVER SHEET

OVERALL PLAN

TREE SUMMARY

UTILITY PLAN

EROSION CONTROL DETAILS

CONTROL & STAKING PLAN

GRADING & DRAINAGE PLAN

DEGREES 18 MINUTES 02 SECONDS, CHORD BEARING = SOUTH 19 DEGREES 23 MINUTES 27 SECONDS EAST, CHORD

DEEDED TO MID-WEST LETTERING; THENCE DEPARTING SAID NORTH LINE, GO NORTH 24 DEGREES 12 MINUTES 20

ERICA LEIGH FLOYD, P.E. FL REG. ENGINEER # 69038





DEVELOPER

(850) 916-7382

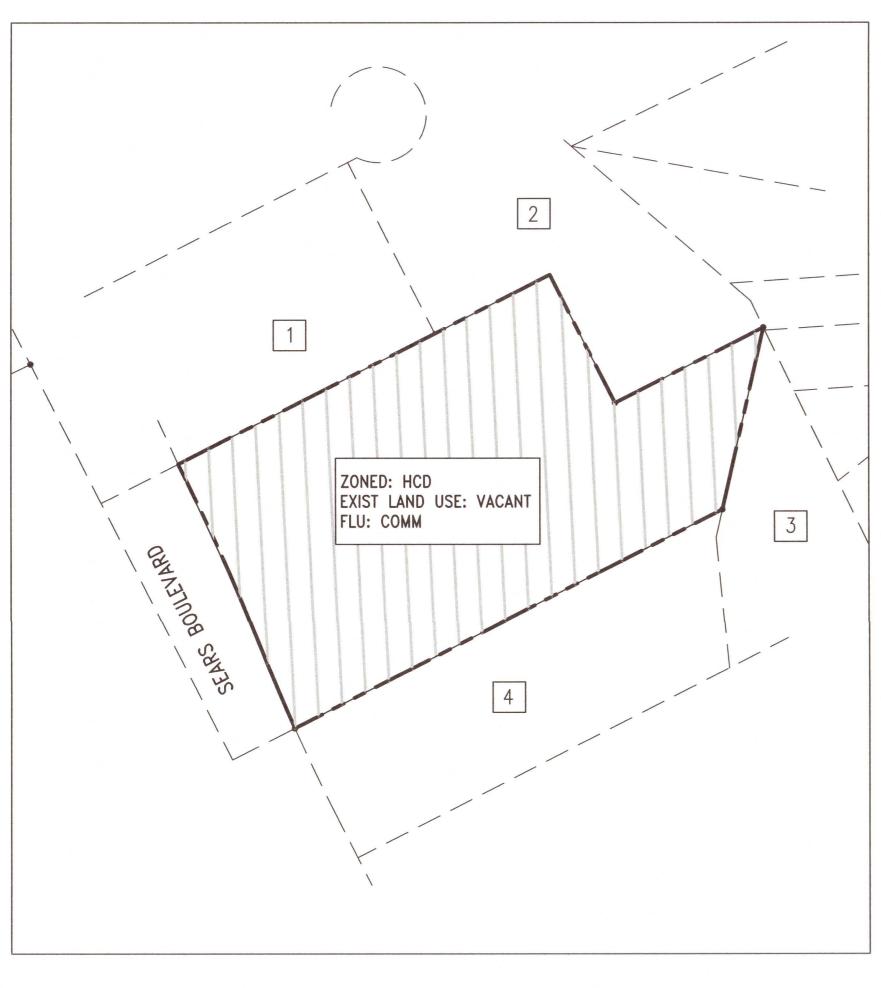
PREPARED BY

GCE PROJECT No. 19501.02

2 21-1S-30-2101-003-052 ZONED: HC/LI EXIST LAND USE: COMM FLU: COMM

21-1S-30-2101-200-033 ZONED: HC/LI EXIST LAND USE: COMM FLU: COMM

21-1S-30-2101-001-052 ZONED: HC/LI EXIST LAND USE: COMM FLU: COMM





UTILITY NOTES:

- 1. THE LOCATION SHOWN FOR EXISTING UNDERGROUND UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK IN EACH AREA. THE CONTRACTOR AGREES TO BE COMPLETELY RESPONSIBLE FOR ALL DAMAGES WHICH MIGHT OCCUR BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UTILITIES.
- 2. NOTIFY SUNSHINE UTILITIES 72 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770.
- 3. THE CONTRACTOR SHALL NOTIFY FDOT 72 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHTS-OF-WAY.
- 4. UTILITY OWNERS SHALL BE NOTIFIED AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION SO THAT THE UTILITY OWNER CAN SPOT VERIFY AND/OR EXPOSE THEIR UTILITIES.
- 5. KNOWN UTILITIES OWNERS INCLUDE:

WATER - EMERALD COAST UTILITY AUTHORITY BRANDON KNIGHT P.O. BOX 15311

RYAN WARNER 9220 PINE FOREST ROAD PENSACOLA, FL 32514 PH: (850) 969-3310 PENSACOLA, FL 32534 PH: (850) 505-5931

CABLE - COX CABLE NATURAL GAS - PENSACOLA ENERGY DIANE MOORE TROY YOUNG 3405 MCLEMORE DRIVE 1625 ATWOOD DRIVE PENSACOLA, FL 32514 PH: (850) 474-5319 PENSACOLA, FL 32514 PH: (850) 857-4510 PENSACOLA, FL 32514 PH: (850) 969-3310

TELEPHONE - AT&T FLORIDA JONATHAN BLANKINCHIP 605 WEST GARDEN STREET PENSACOLA, FL 32502 PH: (850) 436-1489

> SANITARY SEWER - EMERALD COAST UTILITY AUTHORITY BRANDON KNIGHT P.O. BOX 15311

6. ALL CABLE DAMAGE MUST BE REPORTED TO THE ATT FLORIDA REPAIR SERVICE DEPARTMENT AT 611 FROM A LAND LINE OR 877-737-2478 IF USING A CELL PHONE.

7. CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD TRANSMISSION LINES AND UNDERGROUND UTILITIES.

ELECTRIC - NEXTERA ENERGY

- 8. UTILITIES TO REMAIN AND BE PROTECTED DURING CONSTRUCTION. NECESSARY REPAIRS SHALL BE CONSIDERED INCIDENTAL TO OTHER PAY ITEMS AND SHALL BE TO THE SATISFACTION OF UTILITY OWNERS.
- 9. ALL PRIVE WATER AND SANITARY SEWER WORK SHALL CONFORM TO THE LATEST EDITION OF THE FLORIDA BUILDING/PLUMBING CODE AND FLORIDA ADMINISTRATIVE CODE (F.A.C.). ALL PUBLIC WATER AND SEWER WORK SHALL CONFORM TO THE LATEST EDITION OF THE ECUA ENGINEERING MANUAL.

SURVEY NOTES:

- NORTH AND THE BEARINGS SHOWN HEREON ARE REFERENCED TO THE DEED BEARING OF SOUTH 65 DEGREES 47 MINUTES 40 SECONDS WEST ALONG THE NORTH LINE OF THE PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 2722, PAGE 535 AND THE SOUTH LINE OF THE PROPERTY DESCRIBED IN OFFICIAL RECORDS BOOK 8167, PAGE 867 OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA
- 2. THE MEASUREMENTS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS AND WERE RECORDED IN DECIMAL OF FEET UNLESS OTHERWISE MARKED.
- 3. NO TITLE SEARCH WAS PERFORMED BY NOR PROVIDED TO THIS FIRM FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, BUILDING SETBACKS, STATE AND/OR FEDERAL JURISDICTIONAL AREAS RESTRICTIVE COVENANTS OR OTHER INSTRUMENTS THAT COULD AFFECT THE BOUNDARIES OR USE OF THE SUBJECT PROPERTY.
- 4. THE SURVEY DATUM SHOWN HEREON IS REFERENCED TO THE LEGAL DESCRIPTIONS RECORDED IN OFFICIAL RECORDS BOOK 2722, PAGE 535 AND IN OFFICIAL RECORDS BOOK 8167, PAGE 867 OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA AND TO EXISTING FIELD MONUMENTATION.
- 5. IN ACCORDANCE WITH STATE OF FLORIDA ADMINISTRATIVE CODE, ANY ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING SURVEYOR AND MAPPER ARE PROHIBITED WITHOUT PRIOR WRITTEN CONSENT OF THE SIGNING SURVEYOR AND MAPPER.
- 6. THE STRUCTURE DIMENSIONS IF ANY DO NOT INCLUDE THE EAVES OR OVERHANG OR THE FOUNDATION FOOTINGS.
- 7. IT IS THE OPINION OF THE UNDERSIGNED SURVEYOR AND MAPPER THAT THE PROPERTY SHOWN HEREON IS LOCATED IN ZONE "X". BASE FLOOD ELEVATION NOT APPLICABLE, AS DETERMINED BY SCALE FROM FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA NUMBERED 12033C0295 G, DATED SEPTEMBER 29, 2006
- 8. ABOVE-GROUND UTILITIES AND EVIDENCE OF SUBTERRANEAN UTILITIES ARE SHOWN HEREON. THERE MAY BE ADDITIONAL SUBTERRANEAN UTILITIES WHICH ARE NOT SHOWN HEREON.
- 9. THE PARCEL OF LAND DESCRIBED HEREON IS A NEW PARCEL CREATED PER THE CLIENTS REQUEST.

10. THE ELEVATIONS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), BASED ON COASTAL GEODETIC SURVEY BENCHMARK E 302 (PID BG0309), WITH A PUBLISHED ELEVATION OF 111.60 FEET.

11. THERE WERE 27 TREES LOCATED ON THE SUBJECT PROPERTY

STORMWATER NOTES:

- THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED. SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
- 2. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
- 3. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN COUNTY ACCEPTANCE OF IMPROVEMENTS.
- 4. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
- 5. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETED PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS
- 6. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR
- 7. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION / DETENTION AREAS.
- 8. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
- 9. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOP OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
- 10. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3472. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTIONS/APPROVAL.
- 11. PRIOR TO CONSTRUCTION A SEPARATE BUILDING INSPECTION DEPARTMENT PERMIT(S) SHALL BE OBTAINED FOR ALL RETAINING WALL(S) HIGHER THAN 2 FEET.
- 12. NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770
- 13. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN-OFF FROM THE COUNTY.
- 14. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHT-OF-WAY.
- 15. A MINIMUM ONE (1) FOOT GROUND COVER IS REQUIRED FOR ALL UNDERGROUND PIPES.
- 16. WRAP ALL STORM PIPE JOINTS WITH WOVEN FILTER CLOTH.

ESCAMBIA COUNTY TREE NOTES:

- NO PROTECTED OR HERITAGE TREES SHALL BE REMOVED.
- 2. ALL TREES SHALL REMAIN ON SITE AND ANY PROPOSED LAND CLEARING AND/OR LAND DISTURBING ACTIVITIES (INCLUDING THE PLACEMENT OF FILL/FILL MATERIALS, GRADING, EXCAVATING, ETC.) SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PERMIT(S) ARE ISSUED FOR SUCH SITE WORK.
- . ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.

4. PER ESCAMBIA COUNTY'S LAND DEVELOPMENT CODE, ALL PROTECTED TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL MATERIAL ONSITE, GRADING, EXCAVATING, BERMING, OR ANY OTHER LAND DISTURBING ACTIVITIES THAT MAY ALTER LAND TOPOGRAPHY OR VEGETATIVE COVER SHALL BE PERMITTED OR OTHERWISE APPROVED IN WRITING BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.

GENERAL NOTES

- 1. THE CONTRACTOR SHOULD VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE PROJECT PRIOR TO
- 2. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PRESERVE OR RELOCATE ALL BENCHMARKS (VERTICAL CONTROL) AS NEEDED DURING CONSTRUCTION. ALL PUBLIC OR PRIVATE CORNER MONUMENTATION SHALL BE PROTECTED.
- 3. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES INCLUDING, BUT NOT LIMITED TO, WATER AND SEWER LINES, BURIED TELEPHONE LINES, BURIED ELECTRICAL LINES AND GAS MAINS PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONTRACTOR IS TO COORDINATE WITH UTILITY COMPANIES FOR REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES, AERIAL LINES, BURIED CABLE AND OTHER UTILITIES
- THE CONTRACTOR SHALL NOTIFY THE COUNTY ENGINEER DESIGNEE IMMEDIATELY OF ANY CONFLICTS BETWEEN CONTRACT DOCUMENTS AND EXISTING CONDITIONS. THESE DRAWINGS REPRESENT KNOWN STRUCTURES AND UTILITIES LOCATED IN THE PROJECT AREA. THE CONTRACTOR IS CAUTIONED THAT OTHER STRUCTURES AND UTILITIES, ABOVE OR BELOW GROUND. MAY BE ENCOUNTERED DURING THE COURSE OF THE PROJECT. THE CONTRACTOR SHOULD NOTIFY THE COUNTY ENGINEER DESIGNEE, IMMEDIATELY UPON ENCOUNTERING ANY UNEXPECTED STRUCTURE, UTILITY LINE, OR OTHER UNUSUAL CONDITION. EXISTING CONDITIONS ARE BASED ON SURVEYS BY KJM LAND SURVEYING, LLC DATED JANUARY 2021.
- 5. CONTRACTOR SHALL SAFETY-BARRICADE ALL EXCAVATIONS AND OTHER HAZARDS.
- 6. THE CONTRACTOR SHALL TAKE STEPS NECESSARY TO PREVENT EROSION AND ANY OFF SITE SEDIMENT TRANSPORT RESULTING FROM INCREASED RUNOFF DURING CONSTRUCTION BY PROVIDING SILT FENCE AND/OR STAKED HAY BALES AS REQUIRED BY FDOT INDEX 102, THE FLORIDA STORMWATER, EROSION, AND SEDIMENT CONTROL INSPECTOR'S MANUAL, 2000 EDITION, OR AS INDICATED ON THE PLANS. ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL ASSOCIATED DISTURBED AREAS ARE STABILIZED AS TO REDUCE SEDIMENT RUNOFF, UNLESS OTHERWISE DIRECTED BY THE ENGINEER OR DESIGNEE.
- CONTRACTOR SHALL PROVIDE ACCESS TO PROPERTIES ADJACENT TO THE CONSTRUCTION AREAS. ADEQUATE BARRICADES, CONSTRUCTION SIGNAGE AND OTHER TRAFFIC CONTROL DEVICES SHALL BE PROVIDED IN ACCORDANCE WITH FDOT CONSTRUCTION STANDARDS.
- PROVISIONS SHALL BE MADE FOR THE FLOW OF SEWERS, DRAINS, WATER COURSES AND OTHER UTILITIES ENCOUNTERED DURING CONSTRUCTION.
- THE PROJECT SITE SHALL BE CLEARED AND GRADED WITHIN THE LIMITS OF WORK AND RIGHT-OF-WAYS. CONTRACTOR TO TAKE CARE THAT REQUIRED WETLAND VEGETATED BUFFERS ALONG PROPERTY LINES ARE NOT IMPACTED BY CLEARING OPERATIONS.
- 10. THE CONTRACTOR IS TO REPLACE TO EXISTING CONDITIONS OR BETTER ANY FENCES, SPRINKLER SYSTEMS, OR OTHER EXISTING IMPROVEMENTS IMPACTED DURING CONSTRUCTION, WHETHER DEPICTED IN THE PLANS OR NOT.
- 11. ALL MAINTENANCE OF TRAFFIC SHALL BE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARD PLANS INDEX NOS.
- 12. ALL TRAFFIC CONTROL SIGNS AND MARKINGS SHALL CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), FHWA, LATEST EDITION.
- 13. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE CONTRACTOR PRIOR TO FINAL "AS-BUILT" SIGN-OFF FROM THE COUNTY.
- 14. ALL NEW CONCRETE FOR THE SITE WORK SHALL ACHIEVE A 28 DAY STRENGTH OF 3000 PSI (MIN.) UNLESS OTHERWISE SPECIFIED.
- 15. ALL DISTURBED AREAS WHICH ARE NOT SODDED OR PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, AND/OR HYDROSEED. SEEDED AREAS SHALL INCLUDE BAHIA MIX TO ENSURE CONTINUED GROWTH AFTER WINTER MONTHS. SEED IN ACCORDANCE WITH FDOT SECTION
- 16. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOP OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
- 17. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND SANTA ROSA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN COUNTY ACCEPTANCE OF IMPROVEMENTS.

EROSION CONTROL NOTES

- 1. ON SITES > 1 ACRE, IF > 1 CONTIGUOUS ACRE IS CLEARED, A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED WITHIN 10 WORKING DAYS ON THAT PORTION OF THE SITE UPON WHICH FURTHER ACTIVE CONSTRUCTION WILL NOT BE UNDERTAKEN WITHIN 90 DAYS.
- 2. A HEALTHY GROWTH OF GRASS WITHIN DISTURBED RIGHT-OF-WAY AREAS IS REQUIRED PRIOR TO COUNTY APPROVAL/ACCEPTANCE. IF TIME CONSTRAINTS EXIST DURING THE FINAL PLAT APPROVAL AND ACCEPTANCE PROCESS, A MINIMUM OF TWO STRIPS OF SOD (MINIMUM 2' WIDE) BEHIND THE BACK OF CURB WITH ALL OTHER DISTURBED AREAS SEEDED/MULCHED/FERTILIZED WILL BE ACCEPTABLE.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTAL OF NPDES PERMIT DOCUMENTS (INCLUDING SWPPP) TO FDEP PRIOR TO CONSTRUCTION COMMENCEMENT.
- TO COMPLY WITH NPDES REQUIREMENTS, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH REQUIRED RAINFALL EVENT OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS; INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO



ERICA LEIGH FLOYD, P.E. FL REG. ENGINEER # 69038 CIVIL |

GULF Site/Ci

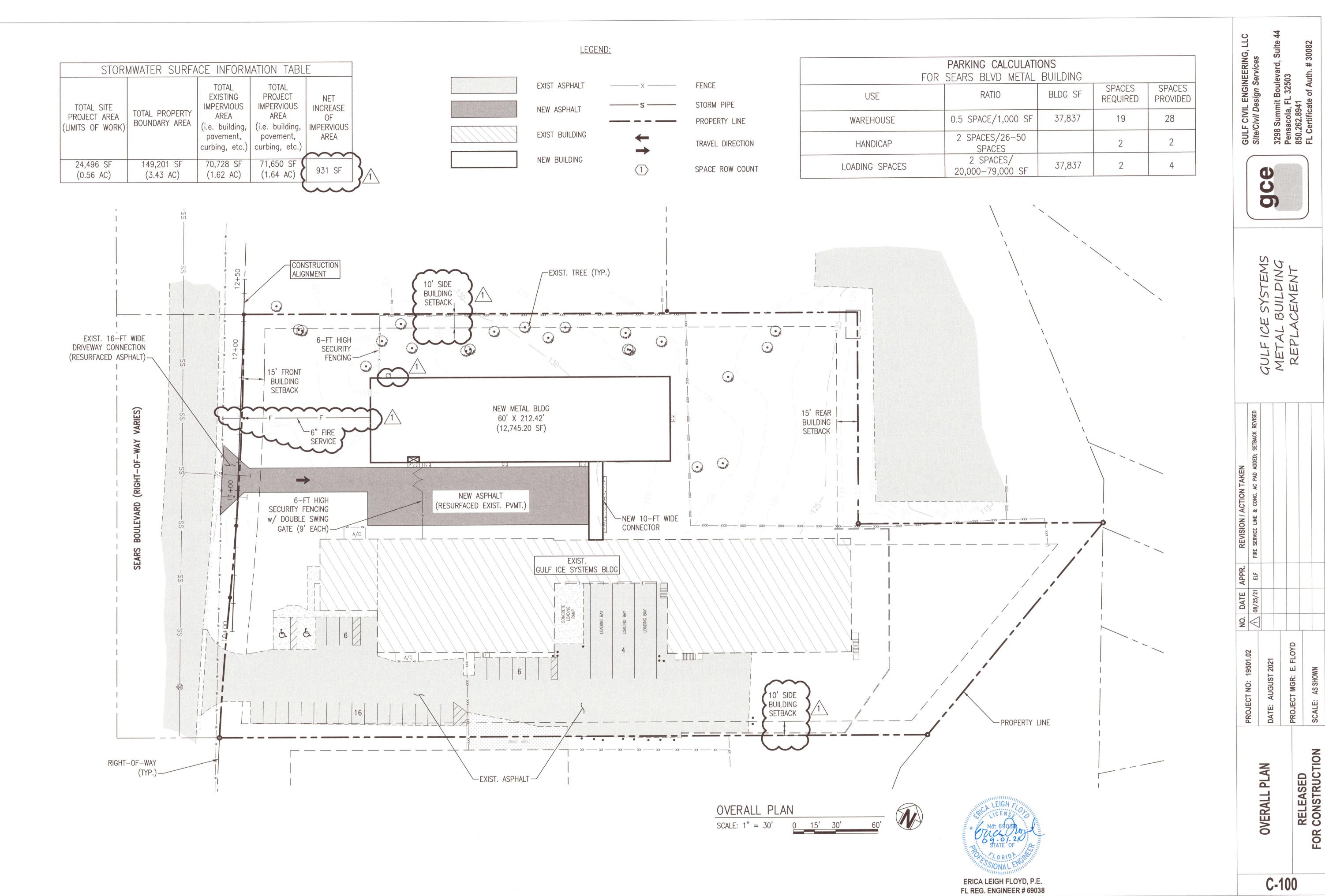


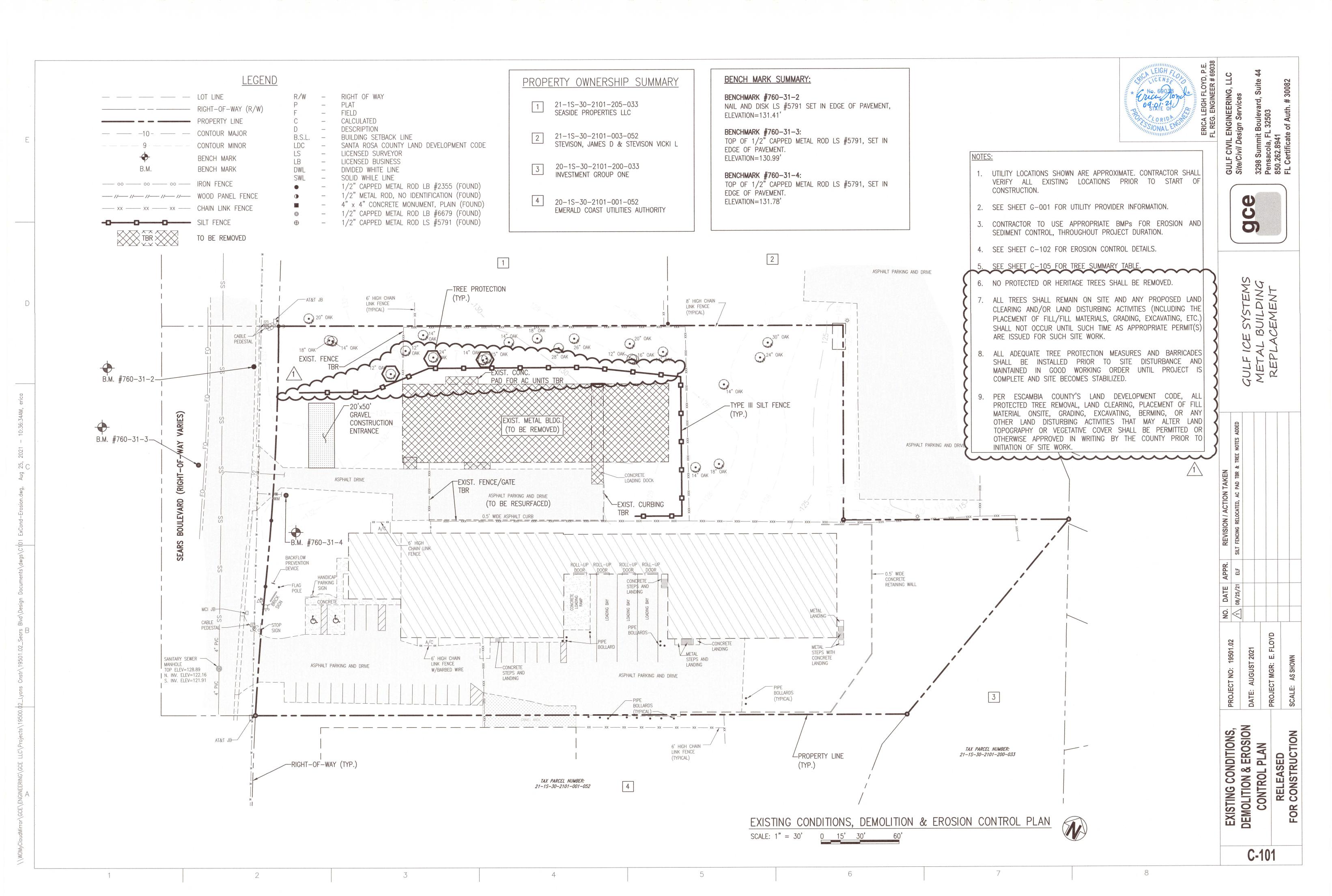
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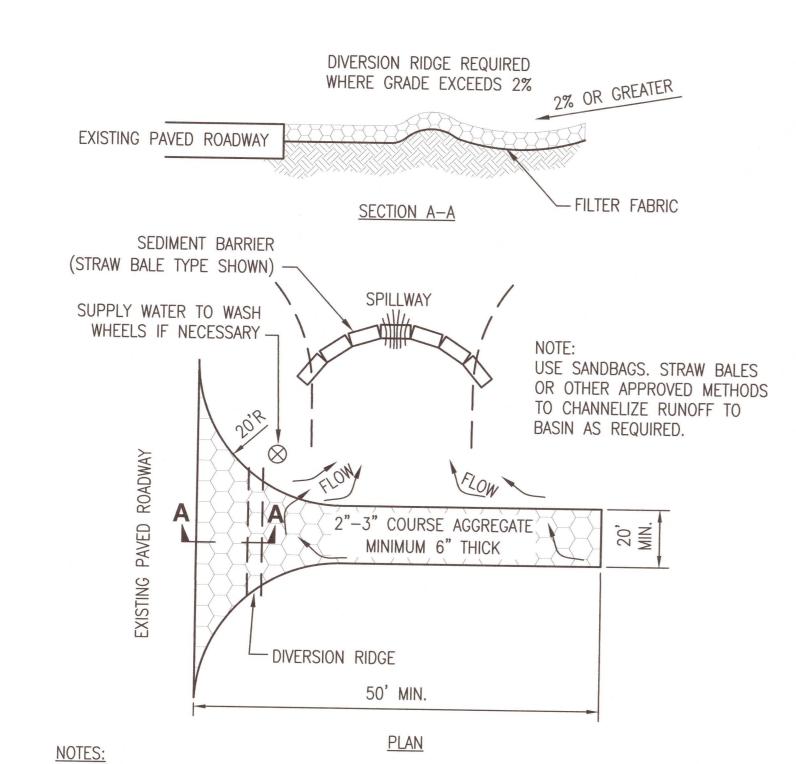
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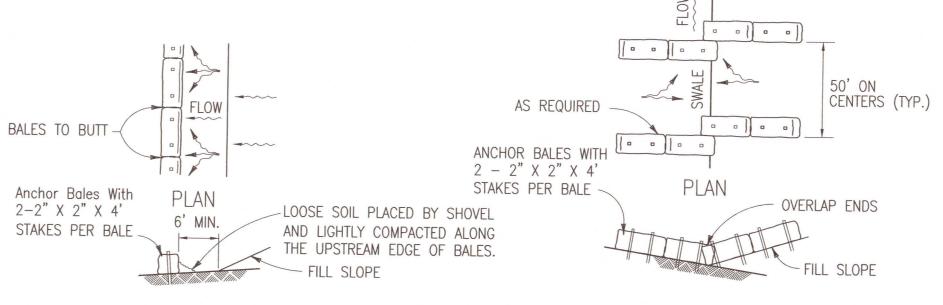


TREE PROTECTION DETAIL NOT TO SCALE



- 1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
- 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE NOT TO SCALE



ELEVATION

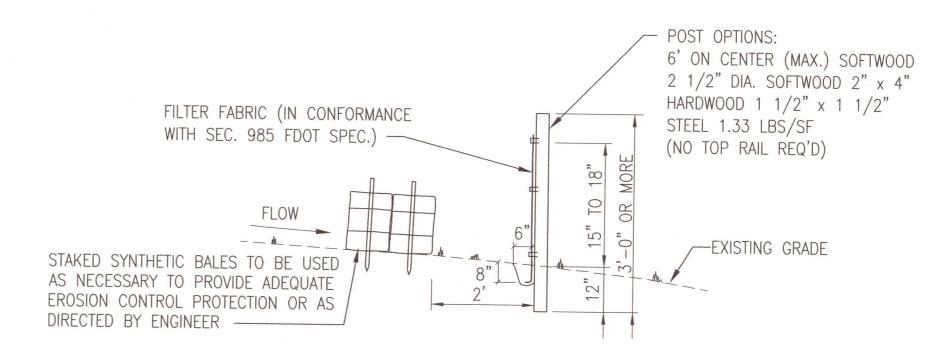
TO BE USED AT SELECTED SITES WHERE THE NATURAL GROUND SLOPES TOWARD THE TOE OF SLOPE

ELEVATION

TO BE USED AT SELECTED SITES WHERE THE NATURAL GROUND SLOPES TOWARD THE TOE OF SLOPE

BARRIERS FOR FILL SLOPES

NOT TO SCALE



SILT FENCE NOTES:

SPECIFICATIONS.

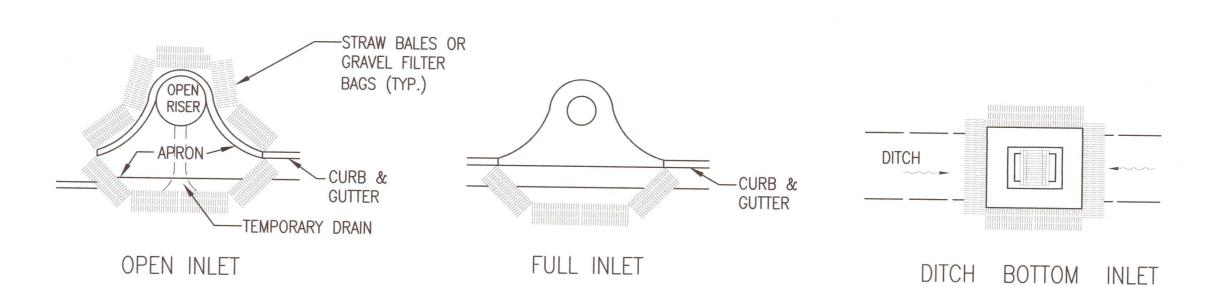
1. FABRIC TO BE PLACED FACING DRAINAGE FLOW.

2. FABRIC TO BE PLACED IN A 6" WIDE x 8" DEEP CONTINUOUS TRENCH, THEN BACKFILLED.

4. SILT FENCE TO BE INSTALLED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. SILT FENCE TO REMAIN UNTIL 100% PROJECT GRASSING (STABILIZATION) IS ACHIEVED. 5. PREFABRICATED SILT FENCES ARE PERMITTED AS LONG AS THEY MEET OR EXCEED FDOT

TYPE III SILT FENCE DETAIL

NOT TO SCALE



ANCHOR BALES WITH 2 - 2" X 2" X 4' STAKES PER BALE.

PROTECTION AROUND INLETS OR SIMILAR STRUCTURES NOT TO SCALE



DATE: RELEASED CONSTRUCTION

EROSION CONTROL DETAILS

C-102

FOR

