

SITE CONSTRUCTION PLANS

FOR

Talcon Warehouse

8820 GROW DRIVE

ESCAMBIA COUNTY, FLORIDA

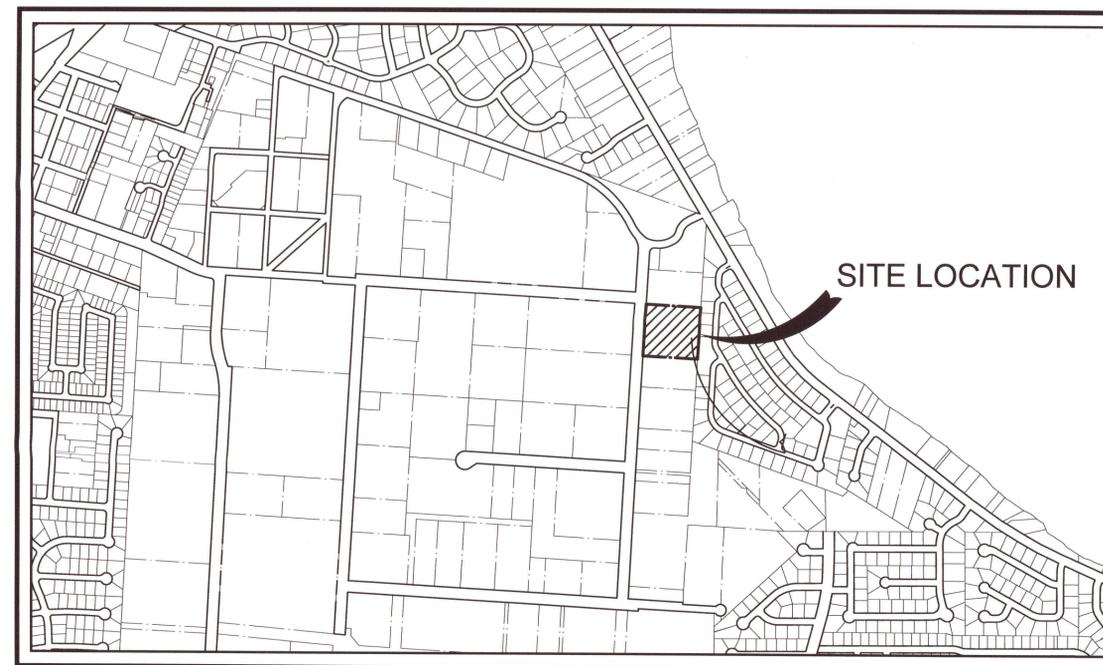
NOVEMBER 2, 2021

Approved ESCAMBIA COUNTY DRG PLAN REVIEW	
DRC Chairman Signature <i>[Signature]</i>	11/2/21 Date
Printed Name: <u>Eric Johnson</u> Development Services Director or Designee	
<small>This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.</small>	

RBA PROJECT NO.: 2021.053

SITE INFORMATION	
OWNER:	DIRT INVESTMENTS LLC 613 S HIGHWAY 393 SANTA ROSA BEACH, FLORIDA 32459
DEVELOPER:	DIRT INVESTMENTS LLC 613 S HIGHWAY 393 SANTA ROSA BEACH, FLORIDA 32459
PROPERTY REFERENCE NO:	03-15-29-1002-000-005
PROPERTY ADDRESS:	8820 GROW DRIVE
PROPERTY AREA:	5.04 ACRES
PROJECT AREA:	4.32 ACRES
PROPERTY ZONING:	HC/LI
FUTURE LAND USE:	INDUSTRIAL
PROPOSED ACTIVITY:	OFFICE/WAREHOUSE
REQUIRED BUILDING SETBACKS C-1:	FRONT YARD - 15 FT. SIDE YARD - 10 FT. REAR YARD - 15 FT.

FEMA FLOOD INSURANCE RATE MAP INFORMATION					
THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:					
FLOOD ZONE(S)	COMMUNITY No.	MAP No.	PANEL No.	SUFFIX	MAP REVISION DATE
X	120080	12033C	0315	G	SEPT 29, 2006



VICINITY MAP

SCALE: 1" = 800'



REBOL-BATTLE & ASSOCIATES

Civil Engineers and Surveyors

2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400
Fax 850.438.0448
EB 00009657 LB 7916

INDEX OF DRAWINGS

- C1.0 EXISTING SITE, DEMOLITION AND EROSION CONTROL PLAN
- C1.1 EROSION CONTROL DETAILS
- C1.2 NPDES-STORMWATER POLLUTION PREVENTION PLAN
- C2.0 SITE LAYOUT AND DIMENSION PLAN
- C2.1 SITE DETAILS
- C3.0 GRADING & DRAINAGE PLAN
- C3.1 GRADING & DRAINAGE DETAILS
- C4.0 UTILITY PLAN
- C4.1 UTILITY DETAILS
- C5.0 LANDSCAPE & STRIPING PLAN
- C5.1 LANDSCAPE & STRIPING DETAILS

LEGAL DESCRIPTION

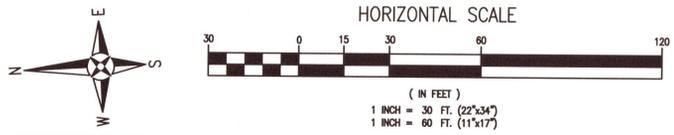
LEGAL DESCRIPTION: (O.R. 6396, PAGE 410) (PROVIDED BY PITTMAN, GLAZE, AND ASSOCIATES, INC)
A parcel of land in Section 3, Township 1 South, Range 29 West, Escambia County, Florida, described as follows: Commence at the most northwesterly corner of Elyson Field (Elyson Industrial Park) as shown on the boundary survey of Elyson Field prepared by Barret, Daffin & Carlan, Inc., dated June 30, 1981, drawing No. 5251-2 (revised August 17, 1981); thence go South 74°28'27" East along the North line of Elyson Industrial Park a distance of 1972.15 feet to an existing concrete monument; thence continue along the said North line, South 74°29'49" East a distance of 2329.59 feet to the Westerly right of way line of U.S. Highway No. 90 (Scenic Highway S.R. 10A); thence go South 34°04'42" East along the said Westerly right of way line a distance of 108.00 feet; thence go South 00°07'23" East along the East line of the said Elyson Industrial Park a distance of 726.10 feet to the Point of Beginning of this description; thence continue South 00°07'23" East a distance of 455.31 feet; thence go South 89°56'43" West a distance of 481.86 feet; thence go North 00°07'23" West a distance of 455.31 feet; thence go North 89°56'43" East a distance of 481.86 feet to the Point of Beginning.
Together with a non-exclusive easement for access, ingress, egress and regress on, over and upon all existing roads and road rights of way and all proposed roads and road rights of way shown on the plat of Elyson Industrial Park prepared by Nichol & Lamar, Inc., 408 W. Garden Street, Pensacola, Florida 32501, including without limitation, access on and over Addison Drive from its intersection with U.S. Highway 90 (Scenic Highway) to its intersection with the 100 foot right of way (known as Grow Boulevard) which runs South from its intersection with Addison Drive; and access on and over said 100 foot right of way (known as Grow Boulevard) from its intersection with Addison Drive to parcel described above and along and adjacent to the Western boundary of said parcel described above.
Being that certain real property described as Parcel 2 in Deed recorded in O.R. Book 2627, Page 699, of the public records of Escambia County, Florida.



CONTACTS	
ENGINEER OF RECORD REBOL-BATTLE & ASSOCIATES 2301 N 9TH AVE PENSACOLA, FLORIDA 32503	CONTACT: PAUL BATTLE, P.E. PHONE: 850.428.0400 (O) 850.554.2406 (C) EMAIL: PAULB@REBOL-BATTLE.COM
SURVEYOR OF RECORD REBOL-BATTLE & ASSOCIATES 2301 N 9TH AVE PENSACOLA, FLORIDA 32503	CONTACT: MARK A. NORRIS, P.S.M. PHONE: 850.428.0400 EMAIL: MARKN@REBOL-BATTLE.COM
ESCAMBIA COUNTY PUBLIC WORKS 3363 WEST PARK PLACE PENSACOLA, FLORIDA 32501	CONTACT: MRS. JOHNNY PETTIGREW PHONE: 850.595.3404
GULF POWER 5120 DOGWOOD DRIVE MILTON, FLORIDA 32570	CONTACT: CHAD SWAILS PHONE: 850.429.2446
SUNSHINE UTILITIES	PHONE: 800.432.4770

CONTACTS	
AT&T, INC. 605 W. GARDEN STREET PENSACOLA, FLORIDA 32501	CONTACT: JONATHAN BLACKINCHIP PHONE: 850.436.1489
ECUA 9255 STURDEVANT STREET PENSACOLA, FLORIDA 32514	CONTACT: TOMMY TAYLOR PHONE: 850.969.6516
COX CABLE 3405 MCLEMORE DRIVE PENSACOLA, FLORIDA 32514	CONTACT: TROY YOUNG PHONE: 850.857.4510
ENERGY SERVICES GAS 1625 ATWOOD DRIVE PENSACOLA, FLORIDA 32504	CONTACT: DIANE MOORE PHONE: 850.474.5319
MCI	PHONE: 800.624.9675

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING "RELEASED FOR CONSTRUCTION" DRAWINGS FROM REBOL-BATTLE & ASSOCIATES BEFORE BEGINNING CONSTRUCTION. REBOL-BATTLE & ASSOCIATES WILL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION BASED ON PLANS THAT HAVE NOT BEEN RELEASED FOR CONSTRUCTION.



LEGEND	
[Pattern]	EXISTING ASPHALT
[Pattern]	EXISTING CONCRETE
[Pattern]	EXISTING GRAVEL
[Pattern]	DEMOLITION
[Line Style]	BOUNDARY LINE
[Line Style]	EASEMENT LINE
[Line Style]	LOT LINE
[Line Style]	RIGHT-OF-WAY LINE
[Line Style]	WATER LINE
[Line Style]	SEWER LINE (GRAVITY)
[Line Style]	FORCE MAIN
[Line Style]	OVERHEAD UTILITIES
[Line Style]	BURIED TELEPHONE LINE
[Line Style]	GAS LINE
[Line Style]	BURIED ELECTRIC LINE
[Line Style]	BURIED FIBER OPTIC CABLE
[Line Style]	BURIED TV LINE
[Line Style]	EXISTING CONTOUR
[Line Style]	SILT FENCE W/STRAW BALE
[Symbol]	UTILITY POLE
[Symbol]	BENCHMARK
[Symbol]	LIGHT POLE
[Symbol]	FIRE HYDRANT
[Symbol]	TELEPHONE BOX
[Symbol]	WATER METER
[Symbol]	GAS VALVE
[Symbol]	WATER VALVE
[Symbol]	MAILBOX
[Symbol]	CLEANOUT
[Symbol]	POST
[Symbol]	MANHOLE
[Symbol]	STREET SIGN
[Symbol]	GUY ANCHOR
[Symbol]	SIGN

TREE PROTECTION NOTE:
ALL TREE BARRICADES SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES (STORMWATER POND, GRADING, ETC.) AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.

REPLACEMENT RATIO: (DSM 2-5.2 (a))
TOTAL PROTECTED TREE TRUNK DIAMETER (DBH) REMOVED = 68 INCHES
68 X 0.50 = 34.0 INCHES. TOTAL CALIPER REPLACEMENT = 34 INCHES

REPLACEMENT LIMITS: (DSM 2-5.2 (a))
TOTAL TREE REPLACEMENT FOR NON-HERITAGE TREES NEED NOT EXCEED 25 CALIPER INCHES PER DEVELOPMENT SITE ACRE.
TOTAL DEVELOPMENT SITE = 5.04 ACRE X 25 = 126.0
REPLACEMENT LIMITS = 126 INCHES

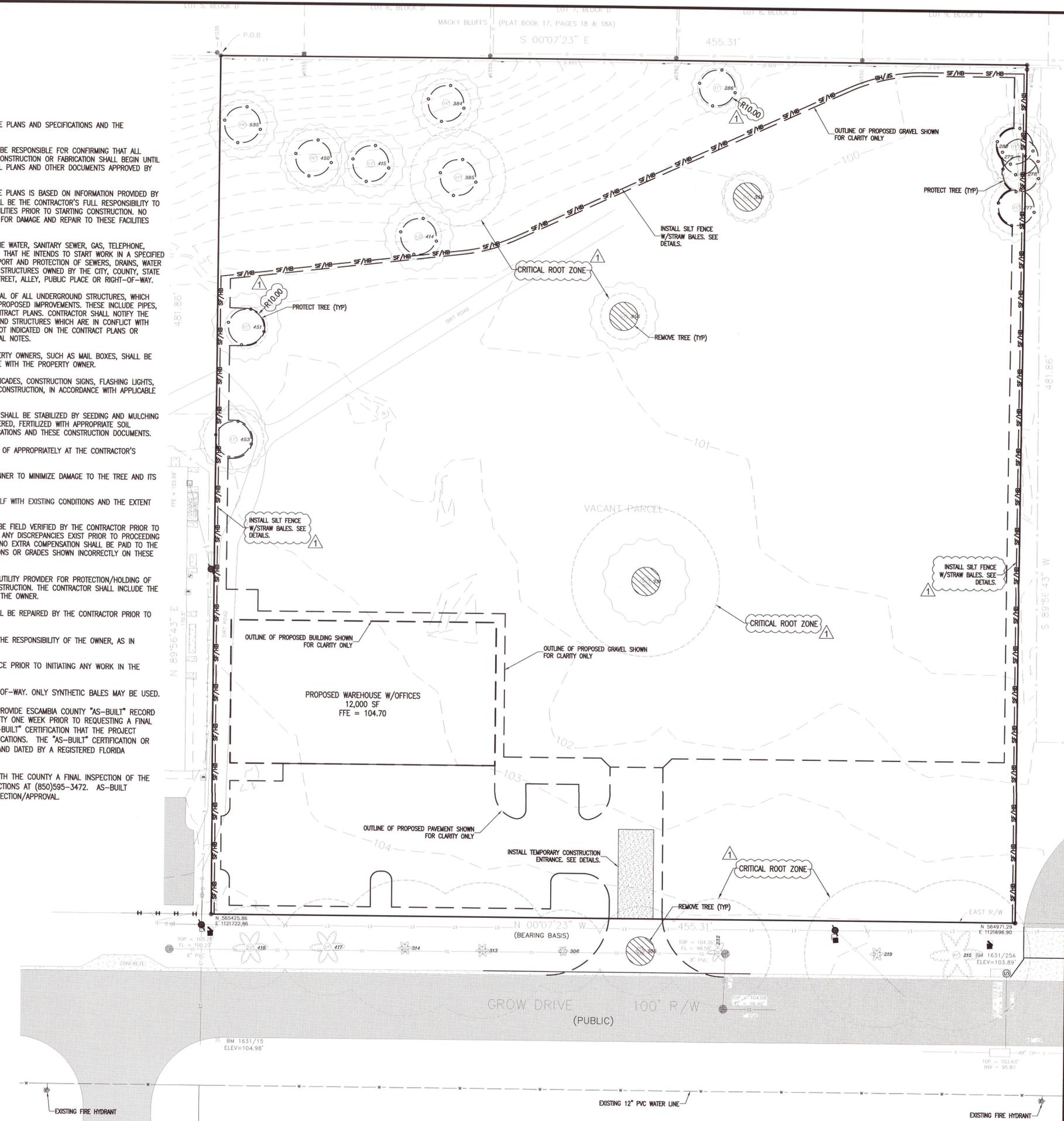
REQUIRED TOTAL CALIPER REPLACEMENT = 34 INCHES

TOTAL 3 INCH TREES REQUIRED = 12.
CALIPER INCHES ARE TO BE REPLACED/PLANTED USING A MINIMUM 3 CALIPER INCH NATIVE, CANOPY, FL GRADE 1 OR BETTER REPLACEMENT/MITIGATION TREE. THE DEVELOPER MAY ALSO CHOOSE TO PAY INTO THE ESCAMBIA COUNTY TREE FUND.

- GENERAL NOTES:**
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF ALL GOVERNING AUTHORITIES.
 - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AGENCIES.
 - THE LOCATION OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS IS BASED ON INFORMATION PROVIDED BY THE UTILITIES AND SHALL BE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
 - THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENTS OF THE WATER, SANITARY SEWER, GAS, TELEPHONE, CABLE TELEVISION, AND POWER COMPANIES 10 DAYS IN ADVANCE THAT HE INTENDS TO START WORK IN A SPECIFIED AREA. THE OWNER DISCLAIMS ANY RESPONSIBILITY FOR THE SUPPORT AND PROTECTION OF SEWERS, DRAINS, WATER PIPES, GAS PIPES, CONDUITS OF ANY KIND, UTILITIES OR OTHER STRUCTURES OWNED BY THE CITY, COUNTY, STATE OR BY PRIVATE OR PUBLIC UTILITIES LEGALLY OCCUPYING ANY STREET, ALLEY, PUBLIC PLACE OR RIGHT-OF-WAY.
 - ALL SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND STRUCTURES, WHICH ARE NOT IN SERVICE AS NECESSARY FOR THE INSTALLATION OF PROPOSED IMPROVEMENTS. THESE INCLUDE PIPES, VALVES, DRAINAGE STRUCTURES, ETC., AS INDICATED ON THE CONTRACT PLANS. CONTRACTOR SHALL NOTIFY THE PROJECT OWNER AND ENGINEER OF ALL DISCOVERED UNDERGROUND STRUCTURES WHICH ARE IN CONFLICT WITH THE INSTALLATION OF THE PROPOSED IMPROVEMENTS AND ARE NOT INDICATED ON THE CONTRACT PLANS OR LOCATED IN THE FIELD BY UTILITIES IN ACCORDANCE WITH GENERAL NOTES.
 - THE RELOCATION OF OBSTRUCTIONS OWNED BY PRIVATE PROPERTY OWNERS, SUCH AS MAIL BOXES, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WHO MUST COORDINATE WITH THE PROPERTY OWNER.
 - THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS AND GUARDS DURING ALL PHASES OF CONSTRUCTION, IN ACCORDANCE WITH APPLICABLE FDOT INDEX.
 - ALL AREAS NOT PAVED OR DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED BY SEEDING AND MULCHING OR SODDING. SEED AND MULCH OR SOD SHALL BE PLACED, WATERED, FERTILIZED WITH APPROPRIATE SOIL AMENDMENTS IN ACCORDANCE WITH THE FDOT STANDARD SPECIFICATIONS AND THESE CONSTRUCTION DOCUMENTS.
 - ALL EXCESS MATERIAL SHALL BE HAULED AWAY AND DISPOSED OF APPROPRIATELY AT THE CONTRACTOR'S EXPENSE.
 - ALL CONSTRUCTION AROUND TREES SHALL BE DONE IN A MANNER TO MINIMIZE DAMAGE TO THE TREE AND ITS ROOT SYSTEM.
 - THE CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND THE EXTENT OF CLEARING AND GRUBBING REQUIRED.
 - ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
 - THE CONTRACTOR IS TO COORDINATE WITH THE RESPONSIBLE UTILITY PROVIDER FOR PROTECTION/HOLDING OF UTILITY POLES, GUY WIRES, AND GUY ANCHORS IN AREAS OF CONSTRUCTION. THE CONTRACTOR SHALL INCLUDE THE COST OF PROTECTING UTILITY POLES IN THEIR OVERALL PRICE TO THE OWNER.
 - ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR PRIOR TO FINAL "AS-BUILT" SIGN-OFF FROM THE COUNTY.
 - THE OPERATION AND MAINTENANCE OF THE FACILITY WILL BE THE RESPONSIBILITY OF THE OWNER, AS IN ACCORDANCE WITH THE APPROVED PERMIT.
 - THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHTS-OF-WAY.
 - HAY BALES SHALL NOT BE PERMITTED WITHIN THE RIGHT-OF-WAY. ONLY SYNTHETIC BALES MAY BE USED.
 - THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
 - THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850)595-3472. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.

TREE CHART			TREE CHART		
TREE #	SIZE & TYPE	REMOVE/PROTECT	TREE #	SIZE & TYPE	REMOVE/PROTECT
T-215	42" DIA CREPE MYRTLE	PROTECT	T-306	23" DIA CREPE MYRTLE	PROTECT
T-219	41" DIA CREPE MYRTLE	PROTECT	T-313	38" DIA CREPE MYRTLE	PROTECT
T-232	30" DIA CREPE MYRTLE	PROTECT	T-314	38" DIA CREPE MYRTLE	PROTECT
T-277	15" DIA OAK	PROTECT	T-331	42" DIA OAK	REMOVE
T-278	13" DIA OAK	PROTECT	T-353	13" DIA OAK	REMOVE
T-279	16" DIA OAK	PROTECT	T-356	13" DIA OAK	REMOVE
T-280	13" DIA OAK	PROTECT	T-384	14" DIA OAK	PROTECT
T-286	11" DIA OAK	PROTECT	T-385	27" DIA OAK	PROTECT
T-305	25" DIA CREPE MYRTLE	REMOVE	T-414	13" DIA OAK	PROTECT

TREE CHART		
TREE #	SIZE & TYPE	REMOVE/PROTECT
T-415	13" DIA OAK	PROTECT
T-417	27" DIA CREPE MYRTLE	PROTECT
T-418	23" DIA CREPE MYRTLE	PROTECT
T-450	16" DIA OAK	PROTECT
T-451	12" DIA OAK	PROTECT
T-453	17" DIA OAK	PROTECT
T-535	14" DIA OAK	PROTECT



RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0448
EEO 00000007 1B7976

EXISTING SITE, DEMOLITION & EROSION CONTROL PLAN

TALCON WAREHOUSE
8820 GROW DRIVE
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION	ESCO COMMENTS
1	8/12/2021		

SEAL
NOT FOR CONSTRUCTION
No. 63126
PAULA BATTLE, P.E.
No. 53126

Dr. By: AKM
Ck By: PAB
Job No.: 2021.053
Date: 11/02/2021

DRAWING No.
C1.0

This drawing is the property of Rebol-Battle & Associates, and may not be reproduced without written permission.

GENERAL NOTES FOR SOIL EROSION AND SEDIMENT CONTROL:

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
3. PERMANENT VEGETATION TO BE SEED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER GRADING. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
4. ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION, SECTIONS 104, 570, 981, 982, 983, 985, & 987.
5. A BITUMINOUS CONCRETE BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE BITUMINOUS CONCRETE BASE SHALL BE INSTALLED WITHIN 15 DAYS OF THE PRELIMINARY GRADING.
6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL, ACCORDING TO STATE STANDARDS.
7. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).
8. A CRUSHED LIMESTONE, VEHICLE WHEEL-CLEANING BLANKET SHALL BE INSTALLED AT THE CONTRACTOR'S STAGING YARD AND/OR STOCKPILE AREAS TO PREVENT OFF-SITE TRACKING OF SEDIMENT BY CONSTRUCTION VEHICLES ONTO PUBLIC ROADS. BLANKET SHALL BE 15FT. X 50FT. X 6IN. (MINIMUM), CRUSHED LIMESTONE 2 1/2 INCHES IN DIAMETER. SAID BLANKET SHALL BE UNDERLAIN WITH A FDOT CLASS 3 SYNTHETIC FILTER FABRIC AND MAINTAINED IN GOOD ORDER.
9. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.

10. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
11. UNFILTERED DEWATERING IS NOT PERMITTED. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER.
12. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
13. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
15. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE NUMBER 2 (ABOVE).
16. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
17. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
18. ALL CATCH BASIN INLETS SHALL BE PROTECTED WITH HAY BALES AS SHOWN ON DETAIL.
19. THE CONTRACTOR SHALL PREPARE A PLAN FOR THE PROPER DEWATERING AND DOWNSTREAM SILTATION PROTECTION OF EACH STREAM CROSSING PRIOR TO EXCAVATING THE STREAM BED. PLAN SHALL BE FORWARDED TO THE ENGINEER FOR APPROVAL. THE ENGINEER SHALL BE NOTIFIED FOR INSPECTION PRIOR TO EACH STREAM CROSSING CONSTRUCTION.
20. ANY AREAS USED FOR THE CONTRACTOR'S STAGING, INCLUDING BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (E.G. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.), SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.

* WHERE APPLICABLE

TEMPORARY SEEDING DETAILS:

SEED BED PREPARATION:

SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS/ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS/ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE

CONSISTING OF ANNUAL RYE (LOLIUM MULTIFLORUM) AT A RATE OF 174 LBS/ACRE.

PERMANENT SEEDING DETAILS:

SEED BED PREPARATION:

SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS/ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS/ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE CONSISTING OF

SEED MIXTURE CONSISTING OF	RATE	PURITY	GERMINATION
ARGENTINE BAHIA	260 LBS/AC.	95%	80%
PENSACOLA BAHIA	260 LBS/AC.	95%	40%(MIN.)-80%(TOTAL)

SODDING:

SOD SHALL BE WELL ROOT MATTED CENTIPEDE OR BAHIA GRASS COMMERCIALY CUT TO A MINIMUM DIMENSION OF 12" x 24" A MAXIMUM OF 72 HOURS PRIOR TO PLACEMENT. SOD SHALL BE LIVE, FRESH AND UNINJURED, REASONABLY FREE OF WEEDS AND OTHER GRASSES, WITH A HEAVY SOIL MAT ADHERING TO THE ROOT SYSTEM. SOD SHALL BE GROWN, CUT, AND SUPPLIED BY A STATE CERTIFIED GROWER.

TRAFFIC CONTROL STANDARDS:

1. CONSTRUCTION TRAFFIC SHALL BE RESTRICTED TO ONSITE ACCESS BY MEANS SO DESIGNATED BY THE ENGINEER, POLICE/SHERIFF DEPARTMENT, ESCAMBIA COUNTY HIGHWAY DEPARTMENT, AND/OR THE FLORIDA DEPARTMENT OF TRANSPORTATION.
2. TRAFFIC DURING WET WEATHER SHALL BE MINIMIZED AND APPROPRIATE ROADWAY AND SITE CLEAN-UP SHALL BE PROVIDED BY THE CONTRACTOR AS SOON AS WEATHER CONDITIONS PERMIT.

TREE PROTECTION:

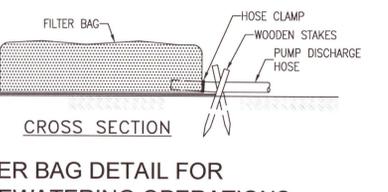
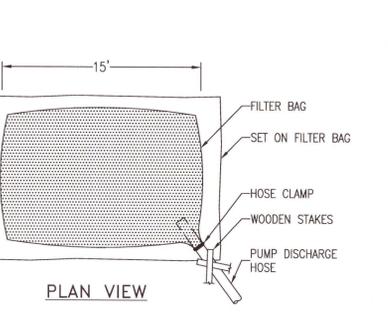
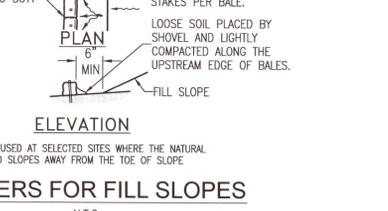
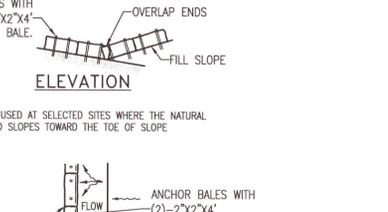
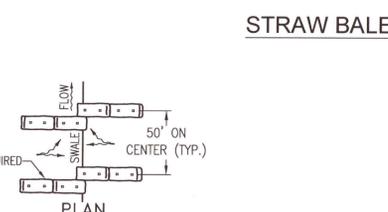
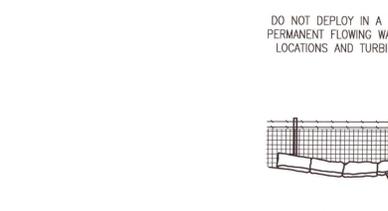
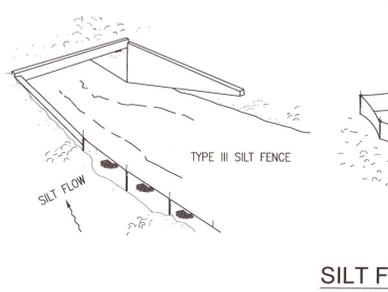
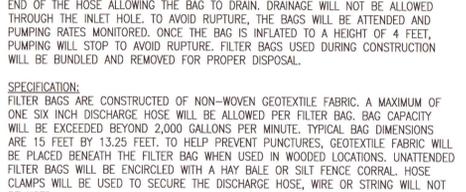
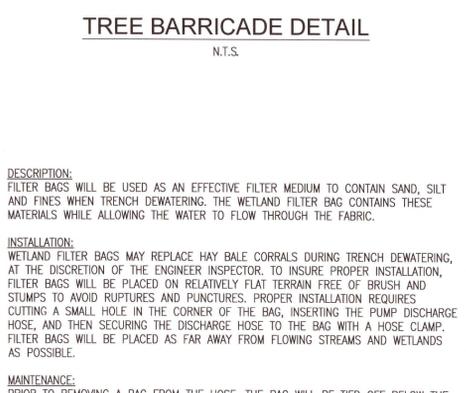
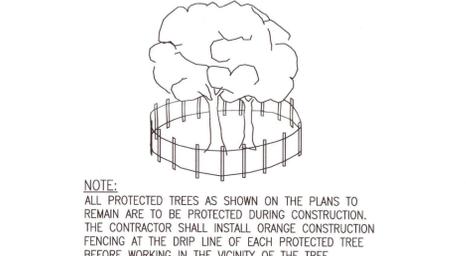
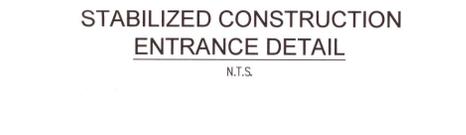
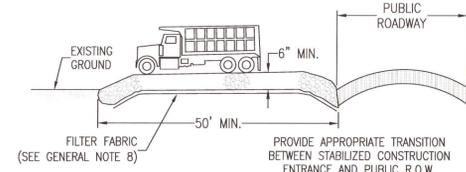
1. DAMAGED TRUNKS OR EXPOSED ROOTS WILL BE PAINTED IMMEDIATELY WITH A GOOD GRADE OF "TREE PAINT".
2. TREE LIMB REMOVAL, WHERE NECESSARY, WILL BE DONE FLUSH TO TRUNK OR MAIN BRANCH AND THAT AREA PAINTED IMMEDIATELY WITH A GOOD GRADE OF TREE PAINT.

DUST CONTROL:

1. ALL AREAS OF CLEARING AND EMBANKMENT AS WELL AS CONSTRUCTION HAUL ROADS SHALL BE TREATED AND MAINTAINED IN SUCH A MANNER AS TO MINIMIZE ANY DUST GENERATION.
2. DISTURBED AREAS SHALL BE MAINTAINED IN A ROUGH GRADED CONDITION AND TEMPORARILY SEEDED AND/OR MULCHED UNTIL PROPER WEATHER CONDITIONS EXIST FOR THE ESTABLISHMENT OF PERMANENT VEGETATION COVER.
3. IN EVENT OF EMERGENCY CONDITIONS, TILLAGE WILL BE SATISFACTORY FREE BEFORE SOIL BLOWING STARTS.
4. CALCIUM CHLORIDE MAY BE APPLIED TO UNPAVED ROADWAY AREAS, ONLY, SUBJECT TO THE ENGINEER'S APPROVAL AND CONFORMANCE WITH FDOT STANDARD SPECIFICATIONS, SECTION 104, LATEST EDITION.

PROPOSED SEQUENCE OF CONSTRUCTION:

1. THE INSTALLATION OF ALL SEDIMENT AND EROSION CONTROL DEVICES THAT CAN BE PLACED PRIOR TO ANY MAJOR SOIL DISTURBANCES.
2. CLEAR AND REMOVE ALL EXISTING VEGETATION IN THOSE AREAS WHERE NECESSARY. ALL REMAINING VEGETATION IS TO BE PROPERLY PROTECTED AND IS TO REMAIN IN ITS NATURAL STATE. TOPSOIL IN AREAS TO BE DISTURBED IS TO BE STRIPPED TO A MINIMUM DEPTH OF SIX (6) INCHES AND STOCKPILED SEPARATELY FROM OTHER EXCAVATED SOIL(S).
3. THE IMMEDIATE INSTALLATION OF ALL REMAINING SEDIMENT AND EROSION CONTROL DEVICES.
4. PERFORM ALL DEMOLITION WORK.
5. CONSTRUCT ALL UNDERGROUND UTILITIES AND STORM DRAIN SYSTEMS.
6. CONSTRUCT ROADS (SUBGRADE, CURB & GUTTER, BASE, PAVEMENT, SIDEWALKS AND LANDSCAPING).
7. COMPLETE STORMWATER PONDS.
8. UPON THE COMPLETION OF THE CONSTRUCTION ACTIVITIES, PROVIDE RESTORATION, FINE GRADE REMAINDER OF SITE, RESPREAD STOCKPILED TOPSOIL AND STABILIZE WITH PERMANENT VEGETATIVE COVER AND LANDSCAPING.
9. THE REMOVAL OF APPROPRIATE TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.



RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.435.0400 Fax 850.438.0448
E8 9039997-187916

EROSION CONTROL DETAILS

TALCON WAREHOUSE
8820 GROW DRIVE
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION	ESCO COMMENTS
1	8/12/2021		

SEAL
NOT FOR CONSTRUCTION
No. 53126
STATE OF FLORIDA
PAUL A. BATTLE, P.E.
No. 53126

Dr. By: AKM
Ck. By: PAB
Job No.: 2021.053
Date: 11/02/2021

DRAWING No.
C1.1

This drawing is the property of Rebol-Battle & Associates, and may not be reproduced without written permission.

STORM WATER POLLUTION PREVENTION PLAN

1.0 BACKGROUND & REQUIREMENTS:

1.1 Introduction:

The referenced support documentation for this Storm Water Pollution Prevention Plan (SWPPP) is the United States Environmental Protection Agency's (EPA) Storm Water Management for Construction Activities, Developing Pollution Prevention Plans and Best Management Practices Summary Guidance (EPA 833-R-92-001) and Storm Water Management for Construction Activities, Developing Pollution Prevention Plans and Best Management Practices (EPA 832-R-92-005). This SWPPP is designed to protect onsite and adjacent natural resources, including but not limited to, wetlands, marshes, bayous and bays, while preserving wildlife and archeological resources.

An Environmental Resource Permit Application has been submitted to the NWFWMDC N/A

1.2 Notice of Intent (NOI):

Rule 62-621.300(4), FAC requires the construction operator of a site that disturbs one or more acres to obtain coverage from the Generic Permit for Stormwater Discharge from Large and Small Construction Activities. The contractor is required to submit a Notice of Intent to Use Generic Permit for Stormwater Discharge from Large and Small Construction Activities (FDEP Form 62-621.300(4)(b)) along with the appropriate application fee to the following address 48 hours prior to commencing construction:

NPDES Stormwater Notices Center, MS # 2510
Florida Department of Environmental Protection
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

This form can be obtained from FDEP's website (www.dep.state.fl.us) or by contacting FDEP. Please note that the current application fee is \$300; however, this fee is subject to change without notice. Always refer to the most current version of Rule 62-4.050(4)(d), FAC to confirm the amount before submitting payment. If construction activity exceeds five years, the contractor must re-apply for coverage.

1.3 Stormwater Pollution Prevention Plan (SWPPP):

The contractor is required to certify this Stormwater Pollution Prevention Plan (SWPPP) below prior to submitting the NOI. This SWPPP is not required to be submitted with the NOI, but is required to be kept on site during all phases of construction. Because erosion and sediment controls and construction methods vary significantly from contractor to contractor, the contractor can propose alternative methods to this SWPPP that are equal or better at controlling erosion and sedimentation. At a minimum, the contractor must follow the erosion control plan specified in the construction plans and documents. Any modifications to this SWPPP must be documented and kept with the plan as part of the records keeping process to be in full compliance with the CGP.

1.4 Contractor's Certification:

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Print & Sign Name	Company & Address
_____	_____
Name & Title (Print)	_____
_____	_____
Signature	Date
_____	_____
Responsibilities (General Contractor, Site Contractor, Subcontractor, Other):	

1.5 Notice of Termination (NOT):

The contractor is required to submit a Notice of Termination of Generic Permit Coverage (FDEP Form 62-621.300(6)) upon construction completion to discontinue permit coverage. The NOT is to be submitted to the following address:

NPDES Stormwater Notices Center, MS # 2510
Florida Department of Environmental Protection
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

This form can be obtained from FDEP's website (www.dep.state.fl.us) or by contacting FDEP. The NOT can not be submitted until all disturbed soils at the construction site have been finally stabilized and temporary erosion and sediment control measures have been removed or will be removed at an appropriate time. Final stabilization means that all soil disturbing activities at the site have been completed and that a uniform perennial vegetative cover with a density of 70 percent of the cover for unpaved areas and areas not covered by permanent structures has been established, or equivalent stabilization measures have been employed. If construction activity exceeds five years, the contractor must re-apply for coverage.

1.6 Application Information:

Project Address: Grow Drive
Pensacola, FL 32514

Latitude: N 30°31'36.10"
Longitude: W 87°11'20.50"

Water Management District: Northwest Florida (NWFWMDC)
(APPLIED FOR)

MS4 Operator Name: Escambia County

Receiving Water Name: Eventual outfall to Escambia Bay

2.0 SITE DESCRIPTION:

2.1 Nature of Construction Activities:

This project involves the construction of a 12,000 sq. warehouse/office building. Construction includes parking, drives, and utilities.

2.2 Sequence of Major Soil Disturbing Activities:

The following sequence of major activities shall be followed unless the contractor can propose an alternative that is equal to or better at controlling erosion and sedimentation. The detailed sequence for the entire project can vary significantly from contractor to contractor. The contractor is responsible for documenting any changes.

1. Clear, grub and perform all demolition work.
2. Complete rough grading of the pond and direct all stormwater runoff to the pond(s).
3. Construct all underground utilities and storm drain system.
4. Construct roads (subgrade, curb & gutter, base, pavement, sidewalks, and landscaping).
5. Complete stormwater ponds.

2.3 Area Estimates:

Onsite Area: 5.04 acres
Offsite Area: 0.00 acres
Total Area: 5.04 acres
Area to be Disturbed: 3.94 acres

2.4 Runoff Data:

Runoff Coefficients (c):

Before: Total Composite c = 0.20

During: Varies between 0.20 and 0.90

After: Varies between 0.20 and 0.90

Total Composite c = 0.66

Soils Data:

The soils located at the site are predominately very loose to loose slightly silty sands. Groundwater was not encountered in the 15 ft to 20 ft deep test boring. For more detailed soils information, refer to the Geotechnical Services Report prepared by Universal Engineering Services.

Drainage Areas for Each Outfall:

Outfall Location	Total Area flowing to Pond	'c' coefficient
Existing drainage inlet on Grow Drive	3.94	0.80

2.5 Site Map:

The construction plans are to be used as the site maps. The location of the required information is described below. The sheet numbers for all the items discussed below are identified on the Key Sheet of the construction plans.

- **Drainage Patterns:** All drainage patterns are shown on the Grading & Drainage Plans.
- **Approximate Slopes:** Approximate slopes are shown on the Grading & Drainage Plan. Pond side slopes are shown on the pond cross-sections.
- **Areas of Soil Disturbance:** All demolition is shown on the Existing Site Conditions and Demolition and Erosion Control Plan Sheet. All proposed construction is shown on the remaining plans. Any areas where demolition work or permanent features are shown above or below ground will be disturbed.
- **Areas not to be Disturbed:** Any areas not showing demolition work or permanent features are assumed not to be disturbed. It will be the contractor's responsibility to indicate on the plans any of these areas that do get disturbed as well as any areas used for staging and materials storage.
- **Locations of Controls:** All proposed temporary controls and existing permanent controls are shown on the Existing Site, Demolition and Erosion Control Plan. All proposed permanent controls are shown on the remaining plans. It will be the contractor's responsibility to indicate the location of any other controls on the plans that are used during construction.
- **Areas to be Stabilized:** Permanent stabilization is shown on the plans. It will be the contractor's responsibility to indicate the location on the plans of all temporary stabilization practices used during construction.
- **Surface Waters:** N/A
- **Discharge Points:** FDOT Stormwater System

2.6 Receiving Waters:

N/A No Discharge From the Site

3.0 CONTROLS:

3.1 Erosion and Sediment Controls:

All erosion and sediment controls specified on the Demolition and Erosion Control Plan Sheets, and the Erosion Control Details shall be installed prior to any construction or demolition. Silt fencing and staked hay bales shall be installed along down-gradient limits.

Temporary seeding and mulching shall be applied after 14-day intervals of ceased disturbance activities that will exceed 20-day periods. Graded areas shall be stabilized with permanent seeding, mulching, and fertilizing, or sodding within five days of final grading. Landscaping, including sodding, shall be installed by an experienced Landscape Contractor. Proposed disturbed areas will not exceed 8 acres in any drainage area.

3.2 Stormwater Management:

Proposed stormwater management facilities for this site include: The installation of stormwater inlets to capture and convey runoff to the existing storm piping system along Grow Drive. The proposed stormwater management facilities meet all stormwater treatment requirements and all rate control requirements set forth by the local and state regulatory agencies.

3.3 Other Controls:

Waste Disposal: The contractor is responsible for all waste disposal from the site. The contractor shall employ waste disposal practices that meet all local, state, and federal guidelines and prevent discharge of solid materials to waters of the United States. The Contractor is responsible for documenting this portion of the SWPPP.

Offsite Vehicle Tracking: If off site tracking of sediments by construction vehicles occurs, the contractor is required to install a Soil Tracking Prevention Device (STPD) as per FDOT Standard Index 106 at all exits to the site where sediment tracking is occurring. The Contractor is also responsible for documenting this portion of the SWPPP.

4.0 MAINTENANCE:

Controls shall be kept in full operating condition throughout all phases of construction until all disturbed areas are completely stabilized. Maintenance, repair records and repair requests shall be documented. Repairs and deficiencies shall be completed as soon as possible and within seven days after inspection. Any required changes that are not covered in the SWPPP shall also be made as soon as possible within seven days and documented.

5.0 INSPECTIONS:

Qualified personnel shall inspect the following items, but not limited to, at least once every seven calendar days and within 24 hours of the end of a storm that is 0.25 inches or greater. Where sites have been finally stabilized, inspections shall be conducted at least once every month.

- Points of discharge to waters of the United States.
- Points of discharge to municipal separate storm sewer systems.
- Disturbed areas of the site that have not been finally stabilized.
- Areas used for storage of materials that are exposed to precipitation.
- Structural controls.
- Stormwater management systems.
- Locations where vehicles enter or exit the site.

6.0 NON-STORMWATER DISCHARGES:

The Contractor shall be responsible for reporting any hazardous substance spills that may equal or exceed a Reportable Quantity (RQ). Refer to EPA's List of Hazardous Substances and Reportable Quantities (EPA 40 CFR 302.4 & 117). This list can be obtained from EPA's website (www.epa.gov) or by contacting EPA. If an RQ release does occur the Contractor shall perform the following procedures:

- Notify the National Response Center immediately at 800-424-8802.
- Provide written description of the release within 14 days providing dates, cause and prevention methods to the regional EPA office.
- Modify the SWPPP as necessary to address added prevention methods.

7.0 IMPLEMENTATION CHECKLIST:

7.1 Records:

The Contractor shall maintain records of construction activities including, but not limited to:

- Dates when major grading activities occur.
- Dates when construction activities temporarily cease on a portion of the site.
- Dates when construction activities permanently cease on a portion of the site.
- Dates when stabilization measures are initiated on the site.

7.2 Inspection Reports:

The Contractor shall prepare inspection reports summarizing the following, but not limited to:

- Name of inspector.
- Qualifications of inspector.
- Measures/areas inspected.
- Observed conditions.
- Changes necessary to the SWPPP.

7.3 Releases of Reportable Quantities of Oil or Hazardous Materials:

The Contractor shall report any releases of reportable quantities of oil or hazardous materials if they occur as per the measures outlined in Section 6.0 of the SWPPP.

7.4 SWPPP Modification:

The Contractor shall modify the SWPPP as necessary to:

- Comply with minimum permit requirements when notified by FDEP that the plan does not comply.
- Address any changes in design, construction operations or maintenance, which has an effect on the potential for discharge of pollutants.
- Prevent reoccurrence of reportable quantity releases of hazardous material or oil.

8.0 TERMINATION CHECKLIST:

The following items shall be complete before submitting the NOT:

- All soil disturbing activities are complete.
- Temporary erosion and sediment control measures have been removed or will be removed at an appropriate time.
- All areas of the construction site not otherwise covered by permanent pavement or structure have been stabilized with uniform perennial vegetative cover with a density of 70% or equivalent measures have been employed.

RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone: 904.438.0448
Fax: 904.438.0448
E-mail: info@rebolb.com

**NPDES - STORMWATER
POLLUTION PREVENTION
PLAN**

TALCON WAREHOUSE
8820 GROW DRIVE
ESCAMBIA COUNTY, FLORIDA

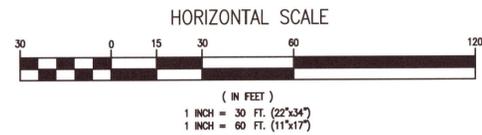
No.	DATE	REVISION
1	8/12/2021	ESCO COMMENTS

SEAL
NOT FOR CONSTRUCTION
No. 53126
PAUL A. BATTLE, P.E.
No. 53126

Dr. By: AKM
Ck By: PAB
Job No.: 2021.053
Date: 11/02/2021

DRAWING No.
C1.2

This drawing is the property of Rebol-Battle & Associates, and may not be reproduced without written permission.



LEGEND

	EXISTING ASPHALT
	EXISTING CONCRETE
	EXISTING GRAVEL
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	PROPOSED GRAVEL

GENERAL NOTES:

1. THE DEPARTMENT WILL REVIEW ALL LANE, DETOUR AND LAND SHIFT REQUESTS SEPARATELY FROM THE PERMIT PROCESS. FDOT APPROVAL IS REQUIRED BEFORE COMMENCEMENT OF WORK INVOLVING THE CLOSURE, DETOUR, OR LANE SHIFT FOR WORK ALONG THE STATE HIGHWAY SYSTEM. IF A LANE CLOSURE IS NEEDED, SUBMIT A WRITTEN REQUEST WITH PROPOSED DATES/TIMES/MOT INDICES OR PLAN. ALLOW AT LEAST 2 WEEKS IN YOUR SCHEDULING FOR THIS SPECIAL REVIEW.
2. ALL PAVEMENT MARKINGS AND STRIPING LOCATED WITHIN THE RIGHT-OF-WAY SHALL BE THERMOPLASTIC AND INSTALLED ACCORDING TO FDOT STANDARD INDEX 17346 (LATEST EDITION).
3. ALL CONSTRUCTION IN RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FDOT SPECIFICATIONS.
4. ALL DISTURBED AREAS IN THE RIGHT-OF-WAY SHALL BE REGRADED AND SODDED AND/OR SEED AND MULCHED PER FDOT STANDARD INDEX (LATEST EDITION).
5. ALL NEEDED STRIPING DESTROYED DURING CONSTRUCTION SHALL BE RE-STRIPED ACCORDING TO FDOT STANDARD INDEX (LATEST EDITION).
6. ALL LANES MUST BE OPEN FOR TRAFFIC DURING AN EVACUATION NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT AS DIRECTED BY THE LOCAL MAINTENANCE ENGINEER OR HIS DESIGNEE.
7. ALL SIGNS SHALL BE INSTALLED PER FDOT STANDARD INDEX 11865 (LATEST EDITION), WIND ZONE No.:1.
8. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR PRIOR TO FINAL "AS-BUILT" SIGN-OFF FROM THE COUNTY.

LAND DISTURBING NOTE

ANY LAND DISTURBING ACTIVITIES, INCLUDING THE PLACEMENT OF FILL/FILL MATERIALS, GRADING, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PERMIT(S) ARE ISSUED FOR THE PROPOSED WORK.

EVACUATION NOTE:

ALL LANES MUST BE OPEN FOR TRAFFIC DURING AN EVACUATION NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT AS DIRECTED BY THE LOCAL MAINTENANCE ENGINEER OR HIS DESIGNEE.

AREA CALCULATIONS:

TOTAL PROPERTY AREA = 219,380 SF

EXISTING BUILDING AREA = 0 SF
EXISTING IMPERVIOUS AREA = 0 SF (0%)
EXISTING SEMI-IMPERVIOUS AREA = 0 SF (0%)
EXISTING PERVIOUS AREA = 219,380 (100%)

PROPOSED BUILDING AREA (FOOTPRINT) = 12,000 SF
PROPOSED SEMI-IMPERVIOUS AREA = 133,215 SF
PROPOSED IMPERVIOUS AREA = 18,169 SF

TOTAL IMPERVIOUS AREA = 30,169 (13.8%)
TOTAL SEMI-IMPERVIOUS AREA = 133,215 SF (60.7%)
TOTAL PERVIOUS AREA = 55,996 SF (25.5%)

PARKING CALCULATIONS:

TOTAL REQUIRED PARKING SPACES
WAREHOUSE (0.5 SPACES/1,000 SF)
9,600 SF * 0.5/1,000 = 4.8 SPACES
PROFESSIONAL SERVICE OFFICE (3.5 SPACES/1,000 SF)
4,800 SF * 3.5/1,000 = 16.8 SPACES

TOTAL PARKING SPACES REQUIRED = 22
TOTAL PARKING SPACES PROVIDED = 22
STANDARD PARKING SPACES = 21
H.C. PARKING SPACES = 1

SOLID WASTE DISPOSAL:

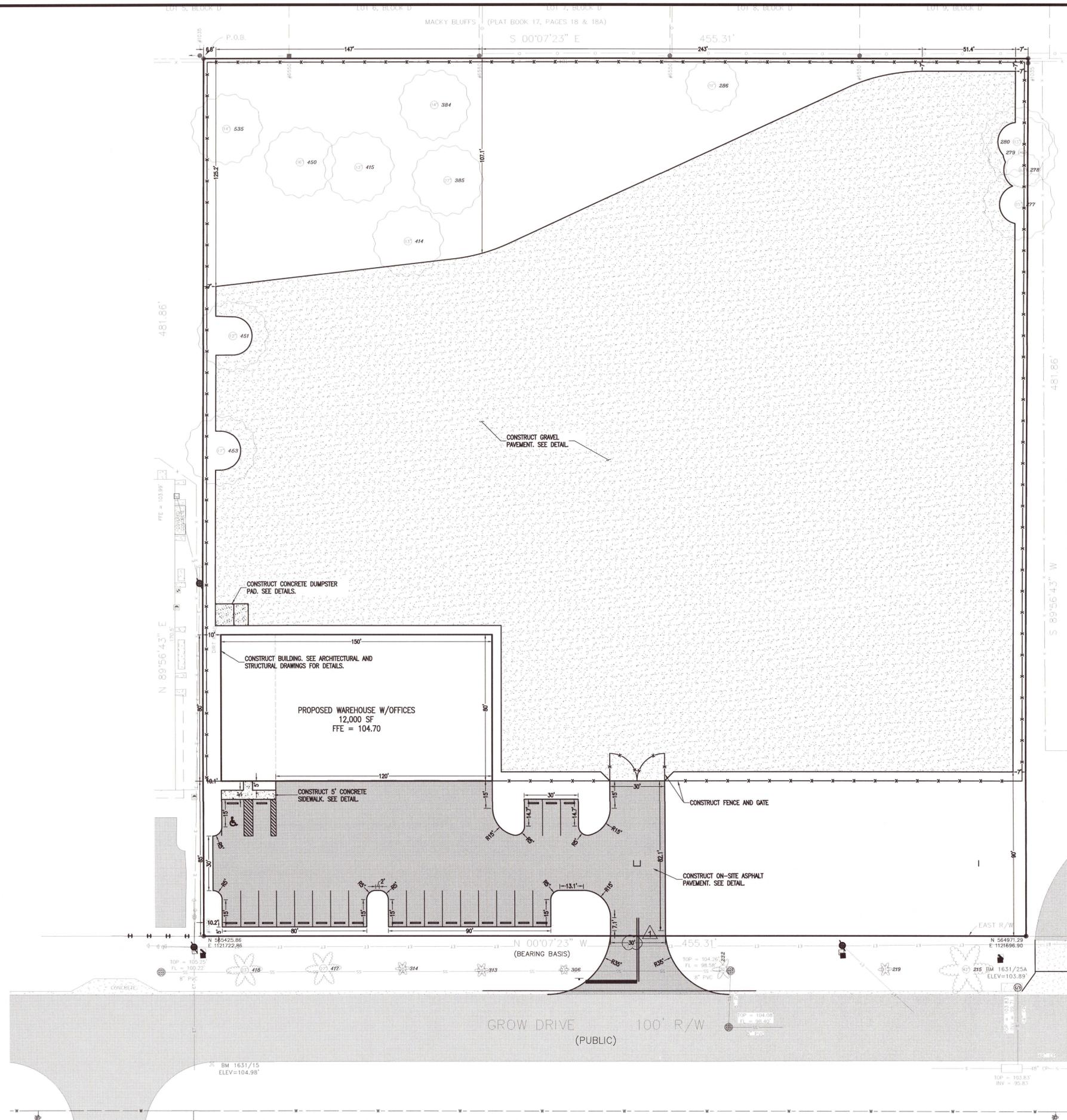
SOLID WASTE WILL BE DISPOSED OF VIA ON-SITE DUMPSTER.

FLOOD ZONE NOTE:

THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE 'X', (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND .2-PERCENT-ANNUAL-CHANGE FLOOD PLAINS. NO BFEs OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY 120080, FIRM MAP PANEL NUMBER 1203300315G, MAP REVISION DATED SEPTEMBER 29, 2006.

EXTERIOR SITE LIGHTING NOTE:

ALL EXTERIOR SITE LIGHTING SHALL ADHERE TO THE ESCAMBIA COUNTY LAND DEVELOPMENT CODE (SECTION 5-9.3).



RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone: 850.438.0400 Fax: 850.438.0448
E: RBAS@RBA-FL.COM

SITE LAYOUT & DIMENSION PLAN

TALCON WAREHOUSE
8820 GROW DRIVE
ESCAMBIA COUNTY, FLORIDA

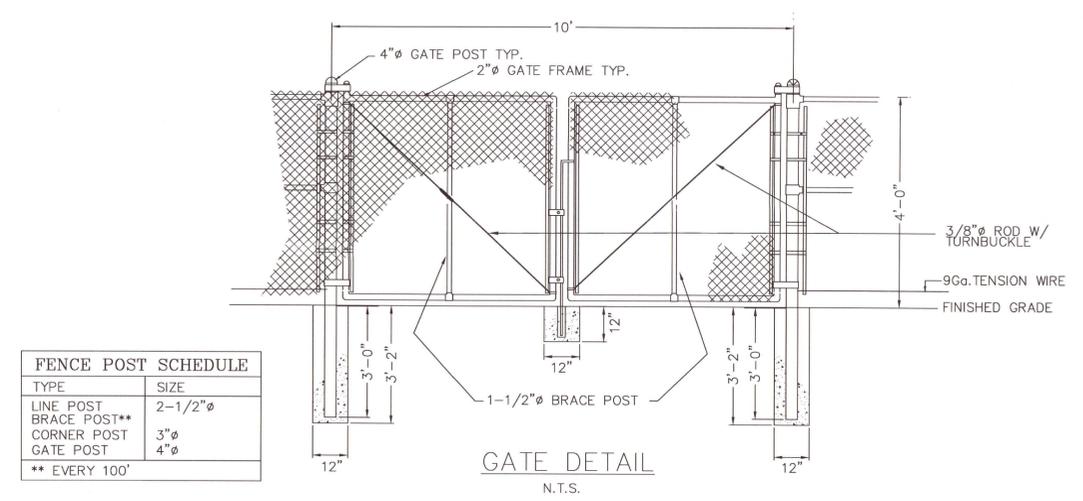
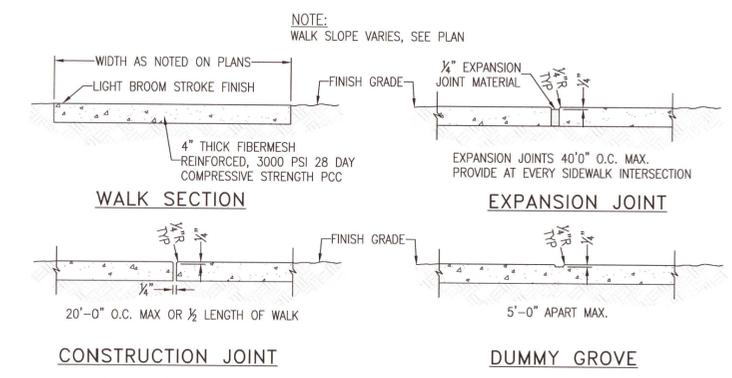
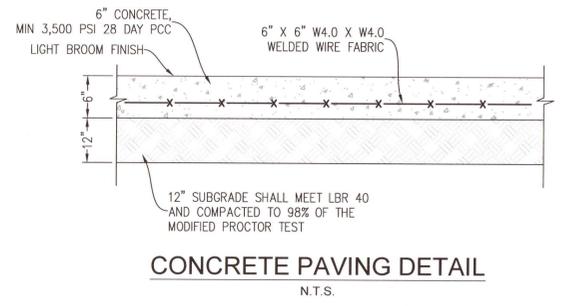
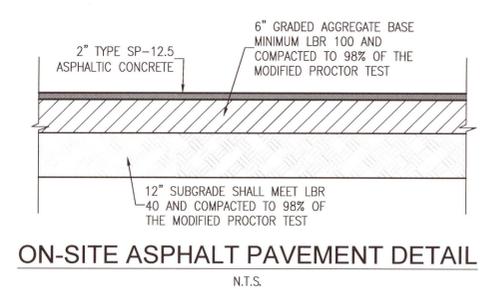
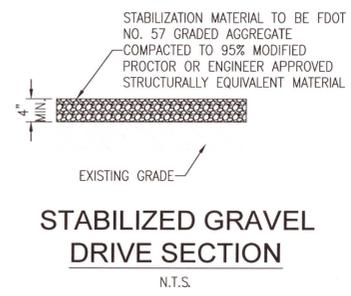
No.	DATE	REVISION
1	8/12/2021	ESCO COMMENTS

SEAL
NOT FOR CONSTRUCTION
No. 53126
PAUL A. BATTLE, P.E.
No. 53126

Dr. By: AKM
Ck. By: PAB
Job No.: 2021.053
Date: 11/02/2021

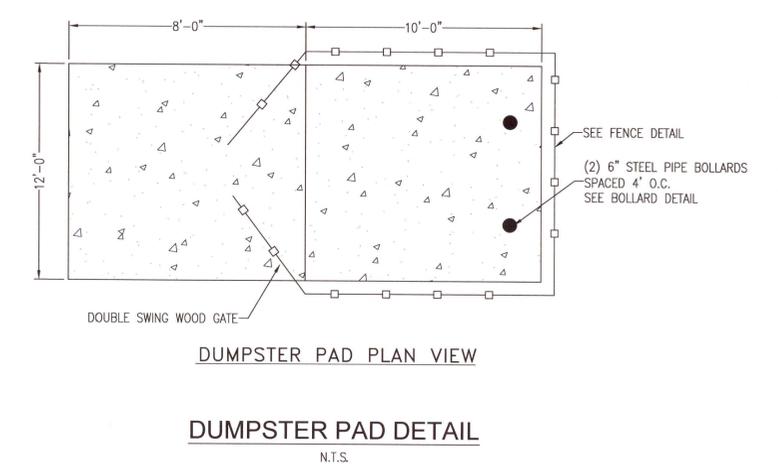
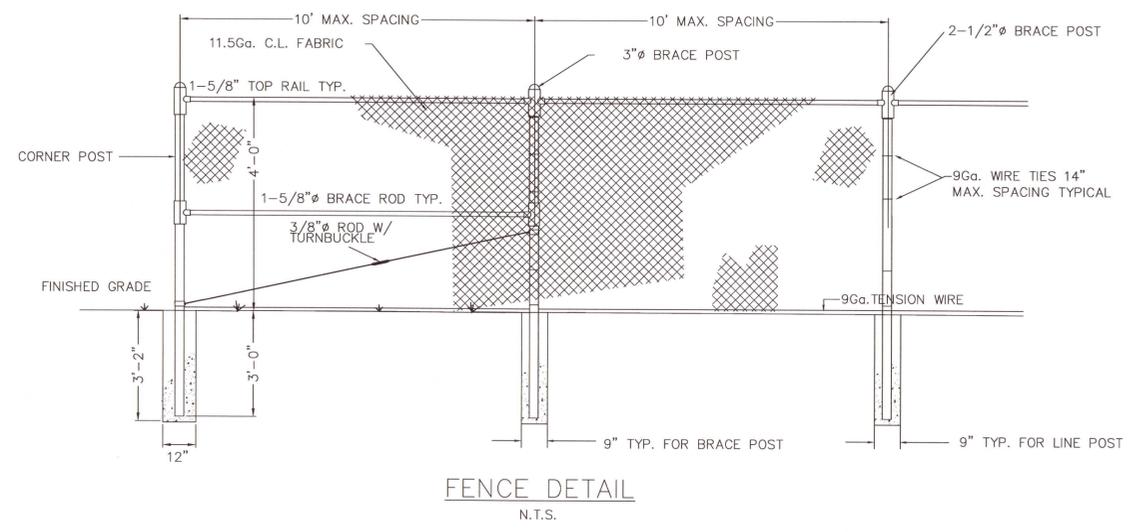
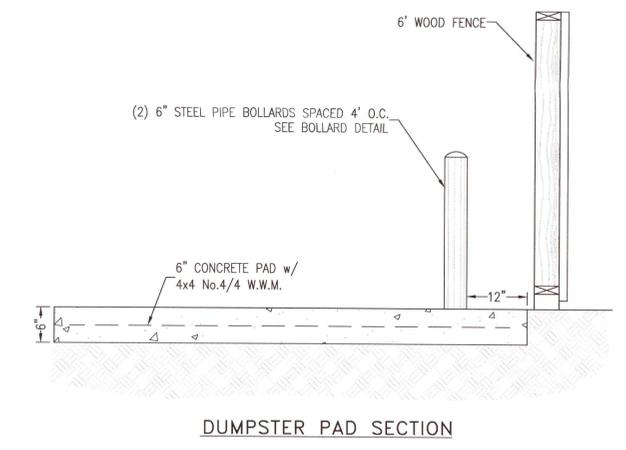
DRAWING No.
C2.0

This drawing is the property of Rebol-Battle & Associates, and may not be reproduced without written permission.



FENCE POST SCHEDULE	
TYPE	SIZE
LINE POST	2-1/2" Ø
BRACE POST**	3" Ø
CORNER POST	4" Ø
GATE POST	4" Ø

** EVERY 100'



RBA

REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone: 850.438.0400 Fax: 850.438.0448
E# 00026571 LBR16

SITE DETAILS

TALCON WAREHOUSE
8820 GROW DRIVE
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION	ESCO COMMENTS
1	8/12/2021		

SEAL

NOT FOR CONSTRUCTION

No. 53125

STATE OF FLORIDA

PAUL A. BATTLE, P.E.
No. 53126

Dr. By: AKM
Ck By: PAB
Job No.: 2021.053
Date: 11/02/2021

DRAWING No.

C2.1

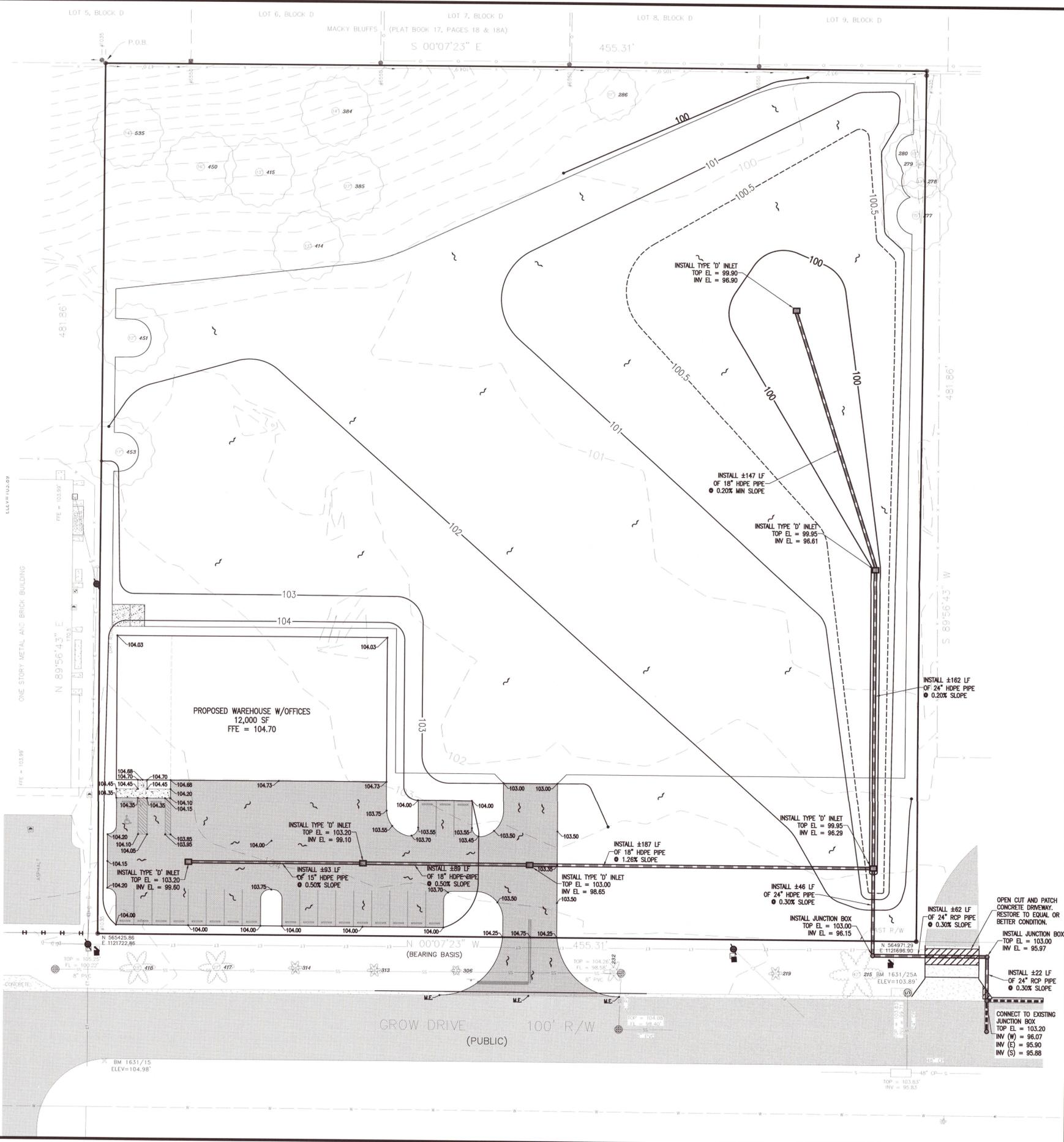
This drawing is the property of Rebol-Battle & Associates, and may not be reproduced without written permission.



LEGEND	
[Pattern]	EXISTING ASPHALT
[Pattern]	EXISTING CONCRETE
[Pattern]	EXISTING GRAVEL
[Pattern]	PROPOSED ASPHALT
[Pattern]	PROPOSED CONCRETE
[Pattern]	RIP RAP
--- 100 ---	EXISTING CONTOUR
--- 100 ---	PROPOSED CONTOUR
---	BOUNDARY LINE
---	EASEMENT LINE
---	RIGHT-OF-WAY LINE
◆	BENCHMARK
→	FLOW ARROW
• 100.00	PROPOSED SPOT ELEVATION
• 100.00	PROPOSED SPOT ELEVATION MEET EXISTING
• 100.00 (BACK OF CURB)	
• 99.50 (EDGE OF PAVEMENT)	

- GENERAL NOTES:**
1. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION.
 2. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. THE RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING A FINAL INSPECTION.
 3. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
 4. ALL DISTURBED AREAS NOT SHOWN TO BE SODDED OR PAVED SHALL BE SEEDED, MULCHED AND FERTILIZED.
 5. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.
 6. ALL RIP-RAP FLUMES SHALL BE INSTALLED WITH FILTER FABRIC INSTALLED UNDERNEATH FOR THE ENTIRE AREA OF THE RIP-RAP.
 7. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
 8. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHT-OF-WAY.
 9. THE CONTRACTOR SHALL INSTALL, PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION, ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION(S).
 10. ALL RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
 11. NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RIGHT-OF-WAY. (1-800-432-4770)
 12. THE OPERATION AND MAINTENANCE OF THE FACILITY WILL BE THE RESPONSIBILITY OF THE OWNER, AS IN ACCORDANCE WITH THE APPROVED PERMIT.
 13. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.

- TREE PROTECTION NOTES:**
1. NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD HAPPEN UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
 2. STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
 3. NO PROTECTED TREES INDICATED FOR PRESERVATION SHALL BE REMOVED, DESTRUCTIVELY DAMAGED, MUTILATED, RELOCATED, DISFIGURED, DESTROYED, CUT DOWN OR EXCESSIVELY PRUNED.
 4. FOR VIABILITY OF PROTECTED TREES REMAINING ON SITE, THE ROOTS OF 1" DIAMETER OR GREATER SHALL BE CUT CLEANLY WITH APPROPRIATE EQUIPMENT. DO NOT USE EQUIPMENT THAT PULLS AND SHATTERS ROOTS (E.G. BACKHOE). ROOTS SHALL BE PRUNED TO A DEPTH OF 18" BELOW THE EXISTING GRADE OR TO A DEPTH OF DISTURBANCE IF LESS THAN 18" FROM EXISTING GRADE.
 5. ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.



RBA
REBOL-BATTLE & ASSOCIATES
 Civil Engineers and Surveyors
 2301 N. Ninth Avenue, Suite 300
 Pensacola, Florida 32503
 Telephone 850.438.0400 Fax 850.438.0448
 EB 0009657 LP1918

GRADING & DRAINAGE PLAN

TALCON WAREHOUSE
 8820 GROW DRIVE
 ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION	ESCO COMMENTS
1	8/12/2021		

SEAL
 NOT FOR CONSTRUCTION
 No. 53126
 STATE OF FLORIDA
 PAUL A. BATTLE, P.E.
 No. 53126

Dr. By: AKM
 Ck By: PAB
 Job No.: 2021.053
 Date: 11/02/2021

DRAWING No.
C3.0

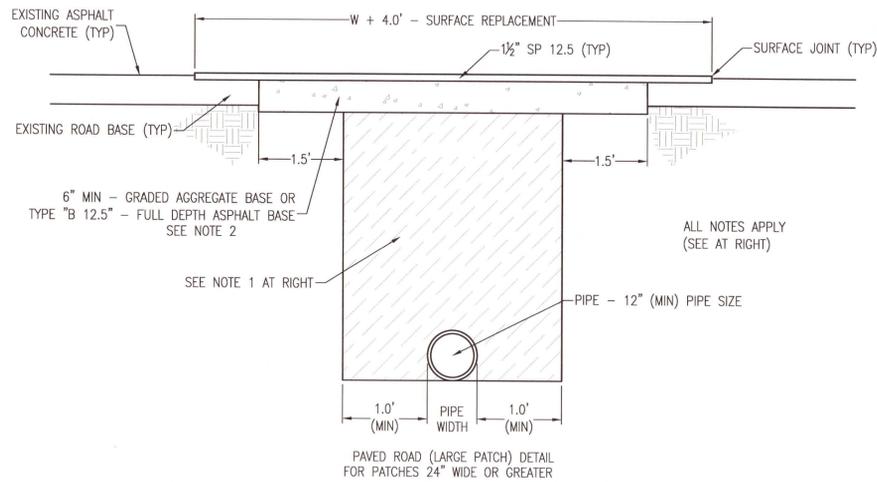
This drawing is the property of Rebol-Battle & Associates, and may not be reproduced without written permission.

File No. 2021.053
 Date: 11/02/2021

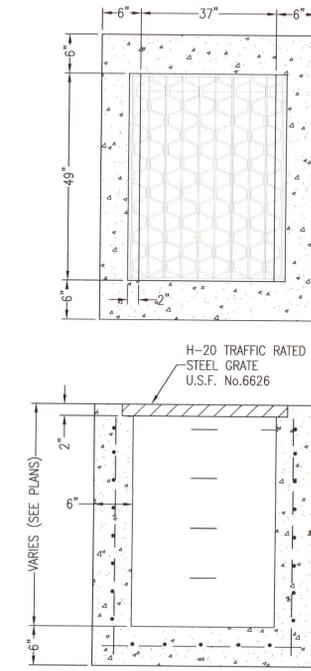
Scale: AS SHOWN

NOTES:

- DIRT ROAD PATCH WORK SUB BASE MATERIAL SHALL BE PLACED IN NOT MORE THAN 8" LIFTS. EACH LAYER TO BE TAMPED TO A MINIMUM OF 40 LBR.
- GRADED AGGREGATE BASE SHALL BE COMPACTED TO A MIN LBR 100.
- ROAD CUTS SHALL BE MECHANICALLY SAW CUT TO FORM A SURFACE PAVEMENT JOINT AND TACK COATED ALONG THE FACE OF CUT JOINTS PRIOR TO ASPHALT PLACEMENT.
- LONGITUDINAL ROAD CUTS THAT AFFECT ONE TRAVEL LANE SHALL REQUIRE MILLING AND REPAVING OF THE AFFECTED TRAVEL LANE 10.0' BEYOND THE CUT AND PATCHED WITH THE SAME BASE MATERIAL. LONGITUDINAL ROAD CUTS THAT AFFECT BOTH TRAVEL LANES SHALL REQUIRE MILLING AND REPAVING OF THE ENTIRE ROADWAY 10.0' BEYOND THE CUT AND PATCHED WITH THE SAME BASE MATERIAL.



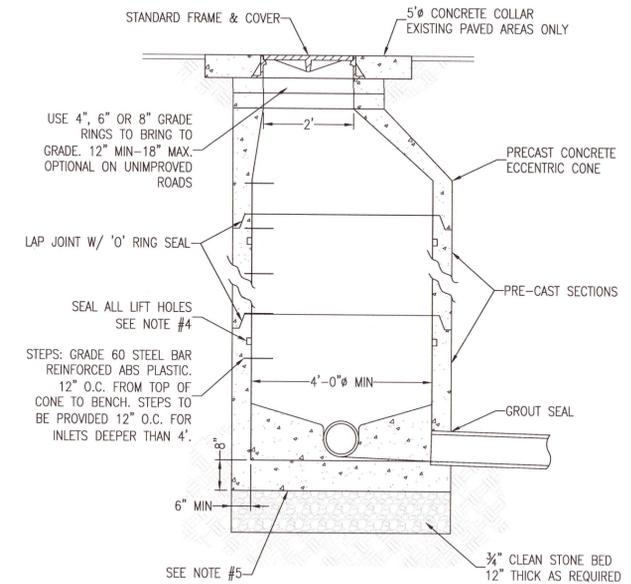
ESCAMBIA COUNTY PATCH DETAILS
 NOT TO SCALE



FDOT TYPE 'D' INLET
 N.T.S.

NOTES:

- MANHOLE SHALL CONFORM TO A.S.T.M. C 478 SPECIFICATIONS WITH 4000 PSI CONCRETE.
- DIAMETER OF OPENING FOR PIPE SHALL BE 1" LARGER DIAMETER THAN BELL OF THE PIPE BEING USED.
- JOINTING COMPOUND SHALL BE RAM NECK, TYPE 1, ROPE FORM PLASTIC GASKET OR EQUAL.
- ALL PATCHING TO BE DONE WITH HYDRAULIC CEMENT. NO MORTAR REPAIRS PERMITTED.
- CONCRETE TO BE 2500 P.S.I., REINFORCING STEEL TO BE A.S.T.M. A 615 GRADE 60 OR PROVIDE PRE-CAST MANHOLE BASE SECTION IN CONFORMANCE WITH ASTM C-478.
- CAST IN PLACE MANHOLE MAY BE ALLOWED IN PRE-APPROVED LOCATIONS.



STORMWATER MANHOLE DETAIL
 N.T.S.

RBA
REBOL-BATTLE & ASSOCIATES
 Civil Engineers and Surveyors
 2301 N. Ninth Avenue, Suite 300
 Pensacola, Florida 32503
 Telephone: 850.438.0400 Fax: 850.438.0448
 E-mail: 850.438.0400

**GRADING & DRAINAGE
 DETAILS**

TALCON WAREHOUSE
 8820 GROW DRIVE
 ESCAMBIA COUNTY, FLORIDA

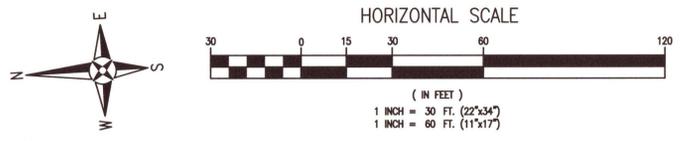
No.	DATE	REVISION	ESCO COMMENTS
1	8/12/2021		

SEAL
 NOT FOR CONSTRUCTION
 No. 53126
 FLORIDA
 PAULA BATTLE, P.E.
 No. 53126

Dr. By: AKM
 Ck By: PAB
 Job No.: 2021.053
 Date: 11/02/2021

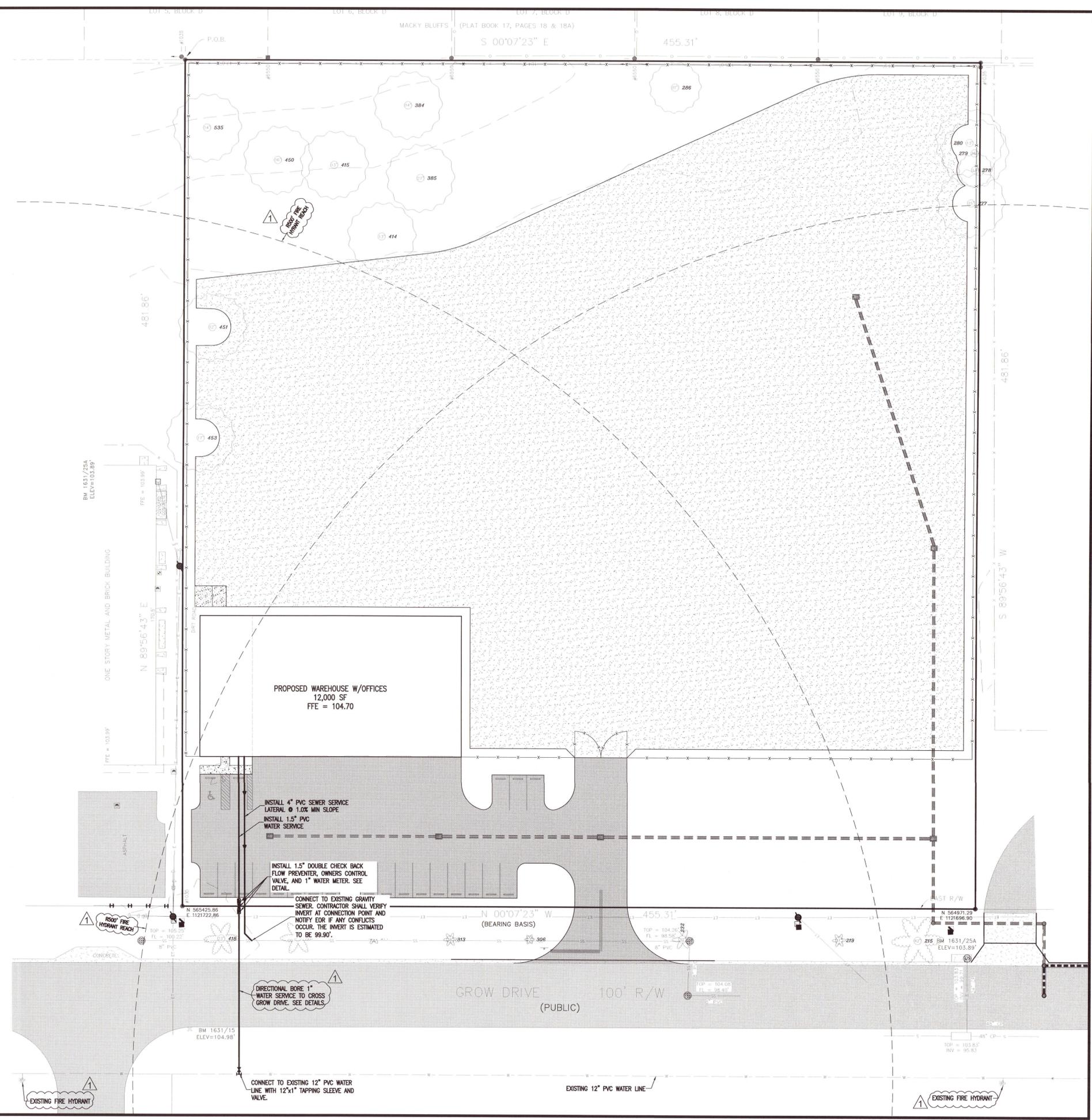
DRAWING No.
C3.1

This drawing is the property of Rebol-Battle & Associates, and may not be reproduced without written permission.



LEGEND	
[Pattern]	EXISTING ASPHALT
[Pattern]	EXISTING CONCRETE
[Pattern]	EXISTING GRAVEL
[Pattern]	PROPOSED ASPHALT
[Pattern]	PROPOSED CONCRETE
[Pattern]	RIPRAP
[Line]	EXISTING CHAIN LINK FENCE
[Line]	EXISTING WOODEN FENCE
[Line]	BOUNDARY LINE
[Line]	EASEMENT LINE
[Line]	LOT LINE
[Line]	RIGHT-OF-WAY LINE
[Line]	WATER LINE
[Line]	SEWER LINE (GRAVITY)
[Line]	FORCE MAIN
[Line]	OVERHEAD UTILITIES
[Line]	BURIED TELEPHONE LINE
[Line]	GAS LINE
[Line]	BURIED ELECTRIC LINE
[Line]	BURIED FIBER OPTIC CABLE
[Line]	BURIED TV LINE
[Symbol]	BENCHMARK
[Symbol]	UTILITY POLE
[Symbol]	GUY ANCHOR
[Symbol]	LIGHT POLE
[Symbol]	TELEPHONE BOX
[Symbol]	GAS VALVE
[Symbol]	FIRE HYDRANT
[Symbol]	WATER METER
[Symbol]	WATER VALVE
[Symbol]	CLEANOUT
[Symbol]	SEWER MANHOLE
[Symbol]	STORMWATER MANHOLE

- UTILITY NOTES:**
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES AND TO DETERMINE IF OTHER UTILITIES WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK AND TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION.
 - THE CONTRACTOR SHALL COORDINATE WITH ECUA, GULF POWER, OR ANY OTHER UTILITY COMPANIES HAVING JURISDICTION FOR REMOVAL/RELOCATION AND/OR PROTECTION OF EXISTING UTILITY POLES, AERIAL LINES, FIRE HYDRANTS, AND OTHER UTILITIES AS NECESSARY TO COMPLETE CONSTRUCTION.
 - ALL NEW WATER LINES SHALL BE CLEANED, DISINFECTED, PRESSURE TESTED, AND BACTERIOLOGICALLY CLEANED FOR SERVICE IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION RULES AND REGULATIONS.
 - ALL WATER MAINS SHALL BE NSF APPROVED FOR POTABLE WATER USE.
 - MAINTAIN 18 INCH MINIMUM VERTICAL SEPARATION BETWEEN ALL POTABLE WATER MAINS AND SANITARY SEWER GRAVITY LINES. (WATER ABOVE SEWER).
 - THE TOP OF ALL CLEANOUTS SHALL BE FLUSH WITH THE PAVEMENT OR, WHEN NOT IN THE PAVEMENT, FLUSH WITH THE FINISH GRADE. CONNECTION POINTS FOR UTILITIES SHALL BE CLEARLY MARKED FOR FUTURE BUILDING CONNECTION. COORDINATE WITH THE PLUMBING CONTRACTOR.
 - ALL WATER AND SEWER WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ECUA ENGINEERING MANUAL.
 - ADEQUATE PROVISIONS SHALL BE MADE FOR THE FLOW OF SEWERS, DRAINS AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANIES 72 HOURS (3 BUSINESS DAYS) PRIOR TO BEGINNING CONSTRUCTION.
 - ALL NEW WATER AND SEWER SERVICE LINES SHALL HAVE A MINIMUM COVER OF 30 INCHES (MAXIMUM 36"), UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR IS TO RESTORE ALL DISTURBED RIGHTS-OF-WAY IN ACCORDANCE WITH CITY OF PENSACOLA AND THE ECUA GUIDELINES.
 - THE CONTRACTOR SHALL COORDINATE WITH THE PLUMBING CONTRACTOR FOR BUILDING UTILITY CONNECTIONS.
 - ALL CONNECTIONS TO THE ECUA WATER AND SEWER SYSTEM SHALL BE MADE WITH ECUA PERSONNEL PRESENT.
 - ANY REMOVAL OR RELOCATION OF ECUA WATER/SEWER UTILITIES MUST BE APPROVED IN WRITING PRIOR TO THE WORK BEING DONE.



RBA
REBOL-BATTLE & ASSOCIATES
 Civil Engineers and Surveyors
 2301 N Ninth Avenue, Suite 300
 Pensacola, Florida 32503
 Telephone: 850.438.0400 Fax: 850.438.0448
 E: 850.939.8267 L: 8712 19

UTILITY PLAN

TALCON WAREHOUSE
 8820 GROW DRIVE
 ESCAMBIA COUNTY, FLORIDA

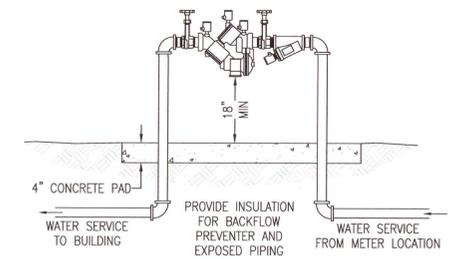
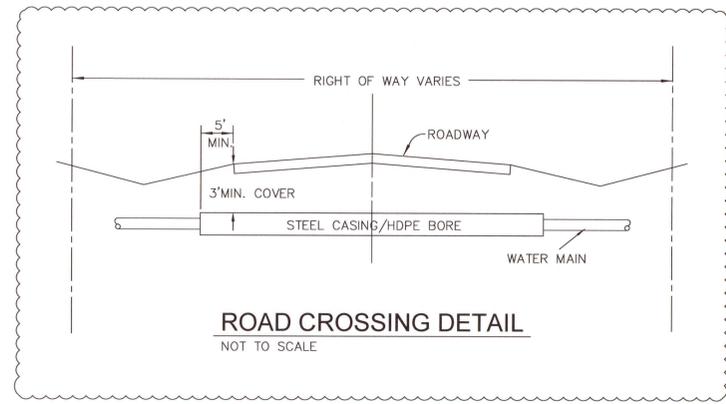
No.	DATE	REVISION	ESCO COMMENTS
1	8/12/2021		

SEAL
 NOT FOR CONSTRUCTION
 No. 53126
 STATE OF FLORIDA
 PAUL A. BATTLE, P.E.
 No. 53126

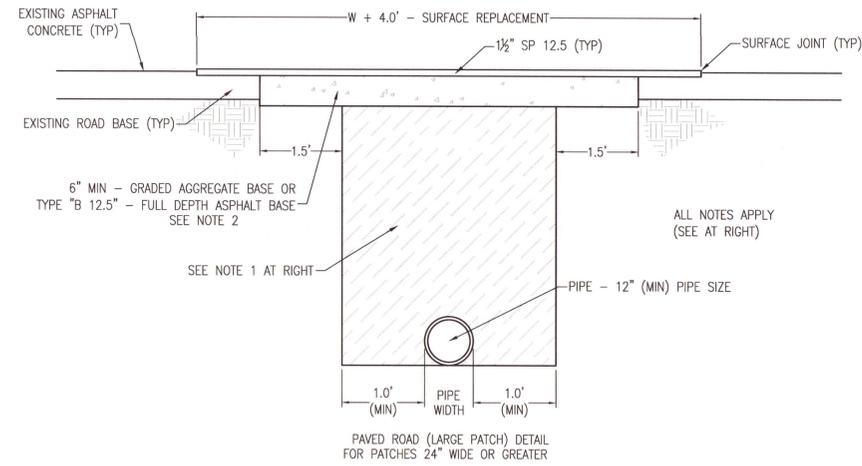
Dr. By: AKM
 Ck By: PAB
 Job No.: 2021.053
 Date: 11/02/2021

DRAWING No.
C4.0

This drawing is the property of Rebol-Battle & Associates, and may not be reproduced without written permission.



- NOTES:**
- DIRT ROAD PATCH WORK SUB BASE MATERIAL SHALL BE PLACED IN NOT MORE THAN 8" LIFTS. EACH LAYER TO BE TAMPED TO A MINIMUM OF 40 LBR.
 - GRADED AGGREGATE BASE SHALL BE COMPACTED TO A MIN LBR 100.
 - ROAD CUTS SHALL BE MECHANICALLY SAW CUT TO FORM A SURFACE PAVEMENT JOINT AND TACK COATED ALONG THE FACE OF CUT JOINTS PRIOR TO ASPHALT PLACEMENT.
 - LONGITUDINAL ROAD CUTS THAT AFFECT ONE TRAVEL LANE SHALL REQUIRE MILLING AND REPAVING OF THE AFFECTED TRAVEL LANE 10.0' BEYOND THE CUT AND PATCHED WITH THE SAME BASE MATERIAL. LONGITUDINAL ROAD CUTS THAT AFFECT BOTH TRAVEL LANES SHALL REQUIRE MILLING AND REPAVING OF THE ENTIRE ROADWAY 10.0' BEYOND THE CUT AND PATCHED WITH THE SAME BASE MATERIAL.



RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0448
E8 0008957 LB7916

UTILITY DETAILS

TALCON WAREHOUSE
8820 GROW DRIVE
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION
1	8/12/2021	ESCO COMMENTS

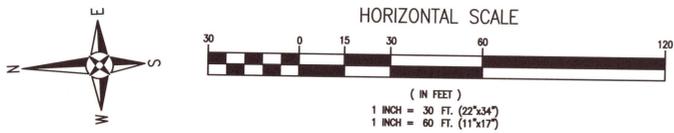
SEAL
NOT FOR CONSTRUCTION
No. 53126
STATE OF FLORIDA
PAUL A. BATTLE, P.E.
No. 53126

Dr. By: AKM
Ck By: PAB
Job No.: 2021.053
Date: 11/02/2021

DRAWING No.
C4.1

This drawing is the property of Rebol-Battle & Associates, and may not be reproduced without written permission.

DATE PLOTTED: 11/02/2021 10:00 AM PROJECT: ESCAMBIA COUNTY PATCH DETAILS



LEGEND	
[Pattern]	EXISTING ASPHALT
[Pattern]	EXISTING CONCRETE
[Pattern]	EXISTING GRAVEL
[Pattern]	PROPOSED ASPHALT
[Pattern]	PROPOSED CONCRETE
[Pattern]	RIPRAP
[Pattern]	SOD OR SEED AND MULCH
[Pattern]	EXISTING CHAIN LINK FENCE
[Pattern]	EXISTING WOODEN FENCE
[Pattern]	BOUNDARY LINE
[Pattern]	RIGHT-OF-WAY LINE

LEGEND	
[Symbol]	EXISTING TREE
[Symbol]	DENOTES PROPOSED PARKING ROW TERMINUS TREE SOUTHERN MAGNOLIA OR APPROVED EQUAL (MIN. 3" DIAMETER AT BREAST HEIGHT) (MATURE HEIGHT >30 FEET) TOTAL REQUIRED = 6
[Symbol]	DENOTES PROPOSED MITIGATION TREE LIVE OAK, SAND OAK, RED BUD OR APPROVAL EQUAL (MIN. 3" DIAMETER AT BREAST HEIGHT) (MATURE HEIGHT > 30 FT) TOTAL REQUIRED = 12

MITIGATION TREE PLANTING NOTE
 PER THE TREE MITIGATION TABLE FOUND ON SHEET C1.0, THE OWNER/DEVELOPER IS REQUIRED TO PLANT A TOTAL OF 34 INCHES OF TREES (12~3" TREES) ON SITE. THE NEWLY PLANTED TREES MUST BE OF THE APPROVED SPECIES FOUND IN THE NON-SHADE AND SHADE TREE LIST FOUND ON THIS SHEET AND HAVE A MINIMUM SIZE OF 3" DBH AT TIME OF PLANTING.

EXTERIOR SITE LIGHTING NOTE:
 ALL EXTERIOR SITE LIGHTING SHALL ADHERE TO THE ESCAMBIA COUNTY LAND DEVELOPMENT CODE (SECTION 5-9.3).
 FREESTANDING LIGHTING SHALL NOT BE PLACED WITHIN A 6-FOOT RADIUS, MINIMUM ROOTING AREA, OF ANY LANDSCAPED TREE.

- LANDSCAPE NOTES:**
- NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD HAPPEN UNDER THE DRIPLINE OF PROTECTED TREES TO REMAIN ON THE SITE.
 - STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
 - NO PROTECTED TREES INDICATED FOR PRESERVATION SHALL BE REMOVED, DESTRUCTIVELY DAMAGED, MUTILATED, RELOCATED, DISFIGURED, DESTROYED, CUT DOWN OR EXCESSIVELY PRUNED.
 - ALL TREES SHALL BE AT LEAST 2.5" DIAMETER MEASURED AT DBH AT TIME OF PLANTING.
 - ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED & MULCH AND/OR SOD.
 - FOR VIABILITY OF PROTECTED TREES REMAINING ON SITE, THE ROOTS OF 1" DIAMETER OR GREATER SHALL BE CUT CLEANLY WITH APPROPRIATE EQUIPMENT. DO NOT USE EQUIPMENT THAT PULLS AND SHATTERS ROOTS (E.G. BACKHOE). ROOTS SHALL BE PRUNED TO A DEPTH OF 18" BELOW THE EXISTING GRADE OR TO A DEPTH OF DISTURBANCE IF LESS THAN 18" FROM EXISTING GRADE.
 - LOCATIONS OF MITIGATION TREES SHOWN ARE APPROXIMATE AND CAN BE MODIFIED WITHIN THE SITE TO ACCOMMODATE POST-CONSTRUCTION CONDITIONS, PROVIDED THE TREES ARE GENERALLY DISTRIBUTED WITHIN THE SITE, AVOID CONFLICTS WITH OTHER SITE FEATURES, AND ARE PLACED NO CLOSER THAN 12 FEET FROM ANY OTHER TREE AND NOT WITHIN THE CRITICAL ROOT ZONE OF EXISTING PRESERVED TREES.
 - MAXIMUM OF ANY ONE SPECIES IS 40%
 - TREES ARE TO BE A MINIMUM OF 6' FROM ANY OTHER TREE, CURB, GUTTER OR SIDEWALK.

- STRIPPING & SIGN NOTES:**
- ALL PAVEMENT MARKINGS AND STRIPING SHALL BE THERMOPLASTIC AND INSTALLED ACCORDING TO FDOT STANDARD.
 - ALL NEEDED STRIPING DESTROYED DURING CONSTRUCTION SHALL BE RE-STRIPED ACCORDING TO FDOT STANDARD.
 - ALL LANES MUST BE OPEN FOR TRAFFIC DURING AN EVACUATION NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT AS DIRECTED BY THE LOCAL MAINTENANCE ENGINEER OR HIS DESIGNEE.
 - ALL SIGNS SHALL BE INSTALLED PER FDOT STANDARD, WIND ZONE No.:1.

- LIST OF APPROVED TREES:**
- CANOPY
- LIVE OAK - QUERCUS VIRGINIANA
 - SAND OAK - QUERCUS GEMINATA
 - SOUTHERN MAGNOLIA - MAGNOLIA GRANDIFLORA
 - BLACK TUPELO - NYSSA SYLVATICA
 - SWEETGUM - LIQUIDAMBAR STYRACIFLUA
 - RED BUD - CERCIS CANADENSIS

REPLACEMENT RATIO: (DSM 2-5.2 (a))
 TOTAL PROTECTED TREE TRUNK DIAMETER (DBH) REMOVED = 68 INCHES
 68 X 0.50 = 34.0 INCHES. TOTAL CALIPER REPLACEMENT = 34 INCHES

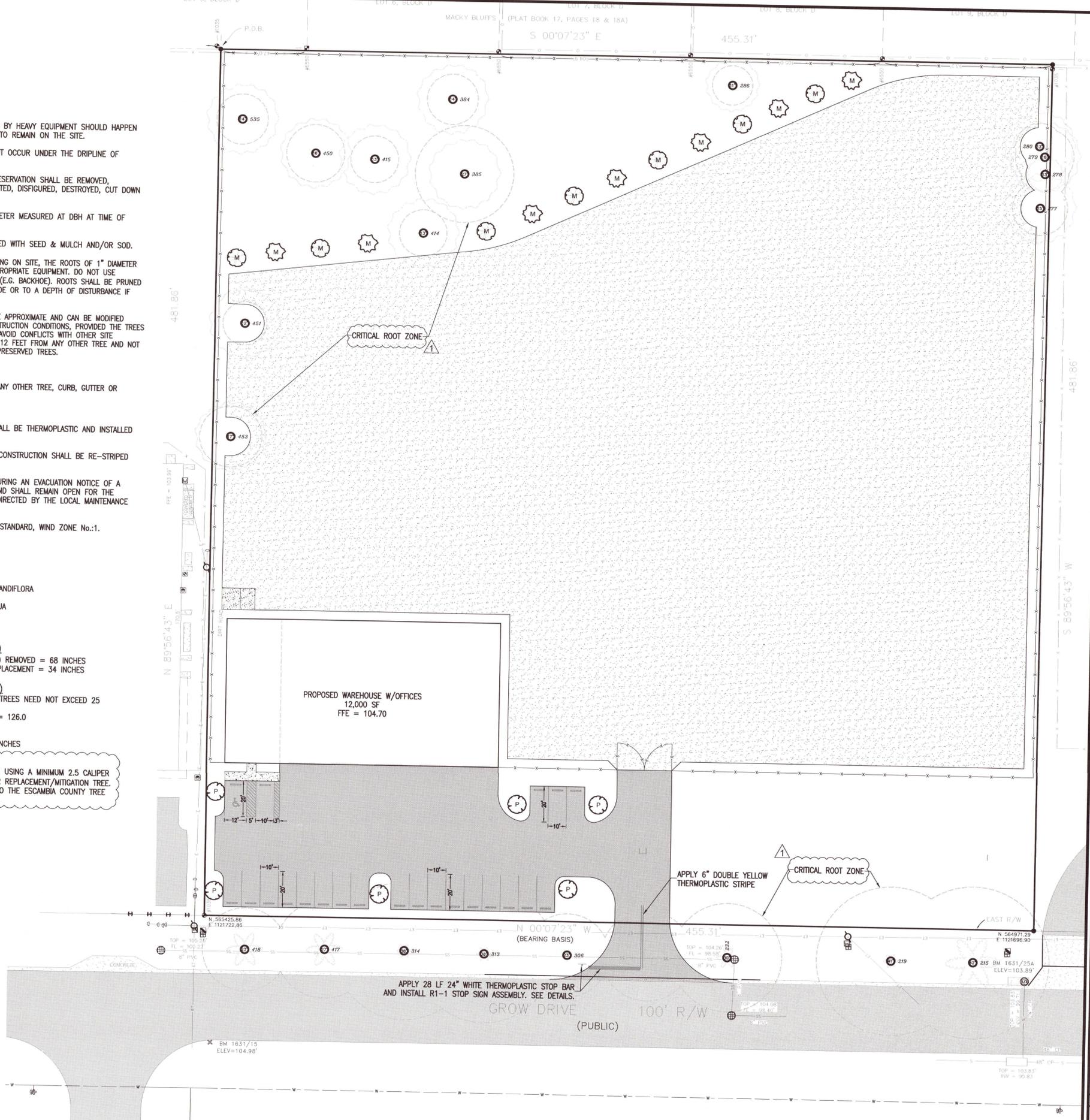
REPLACEMENT LIMITS: (DSM 2-5.2 (a))
 TOTAL TREE REPLACEMENT FOR NON-HERITAGE TREES NEED NOT EXCEED 25 CALIPER INCHES PER DEVELOPMENT SITE ACRE.
 TOTAL DEVELOPMENT SITE = 5.04 ACRE X 25 = 126.0
 REPLACEMENT LIMITS = 126 INCHES

REQUIRED TOTAL CALIPER REPLACEMENT = 34 INCHES
 TOTAL 2.5 INCH TREES REQUIRED = 14.
 CALIPER INCHES ARE TO BE REPLACED/PLANTED USING A MINIMUM 2.5 CALIPER INCH NATIVE, CANOPY, FL GRADE 1 OR BETTER REPLACEMENT/MITIGATION TREE. THE DEVELOPER MAY ALSO CHOOSE TO PAY INTO THE ESCAMBIA COUNTY TREE FUND.

TREE CHART		
TREE #	SIZE & TYPE	REMOVE/PROTECT
T-215	42" DIA CREPE MYRTLE	PROTECT
T-219	41" DIA CREPE MYRTLE	PROTECT
T-232	30" DIA CREPE MYRTLE	PROTECT
T-277	15" DIA OAK	PROTECT
T-278	13" DIA OAK	PROTECT
T-279	16" DIA OAK	PROTECT
T-280	13" DIA OAK	PROTECT
T-286	11" DIA OAK	PROTECT
T-305	25" DIA CREPE MYRTLE	REMOVE

TREE CHART		
TREE #	SIZE & TYPE	REMOVE/PROTECT
T-306	23" DIA CREPE MYRTLE	PROTECT
T-313	38" DIA CREPE MYRTLE	PROTECT
T-314	38" DIA CREPE MYRTLE	PROTECT
T-331	42" DIA OAK	REMOVE
T-353	13" DIA OAK	REMOVE
T-356	13" DIA OAK	REMOVE
T-384	14" DIA OAK	PROTECT
T-385	27" DIA OAK	PROTECT
T-414	13" DIA OAK	PROTECT

TREE CHART		
TREE #	SIZE & TYPE	REMOVE/PROTECT
T-415	13" DIA OAK	PROTECT
T-417	27" DIA CREPE MYRTLE	PROTECT
T-418	23" DIA CREPE MYRTLE	PROTECT
T-450	16" DIA OAK	PROTECT
T-451	12" DIA OAK	PROTECT
T-453	17" DIA OAK	PROTECT
T-535	14" DIA OAK	PROTECT



RBA
REBOL-BATTLE & ASSOCIATES
 Civil Engineers and Surveyors
 2301 N. Ninth Avenue, Suite 300
 Pensacola, Florida 32503
 Telephone 850.436.0400 Fax 850.436.0448
 ESB 00362697 EB7976

LANDSCAPE & STRIPING PLAN

TALCON WAREHOUSE
 8820 GROW DRIVE
 ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION	ESCO COMMENTS
1	8/12/2021		

SEAL
 NOT FOR CONSTRUCTION
 No. 53126
 STATE OF FLORIDA
 PAUL A. BATTLE, P.E.
 No. 53126

Dr. By: AKM
 Ck By: PAB
 Job No.: 2021.053
 Date: 11/02/2021

DRAWING No.
C5.0

This drawing is the property of Rebol-Battle & Associates, and may not be reproduced without written permission.

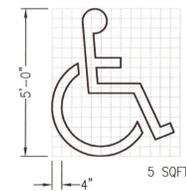
REVISION	ESCO COMMENTS
No. 1	8/12/2021

SEAL
 NOT FOR CONSTRUCTION
 No. 53126
 STATE OF FLORIDA
 PAUL A. BATTLE, P.E.
 No. 53126

Dr. By: AKM
 Ck By: PAB
 Job No.: 2021.053
 Date: 11/02/2021

DRAWING No.
C5.1

This drawing is the property of Rebol-Battle & Associates, and may not be reproduced without written permission.

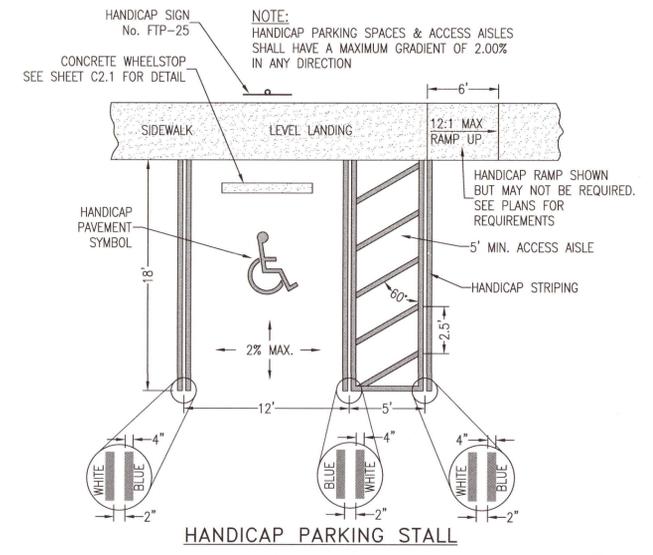


HANDICAP PAVEMENT SYMBOL



- NOTES:**
1. TOP PORTION OF FTP 25 SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER.
 2. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 3. FTP 25 MAY BE FABRICATED ON ONE PANEL OR TWO.
 4. SIGNS ARE TO BE MOUNTED AT STANDARD HEIGHT. (7' FROM PAVEMENT TO BOTTOM OF SIGN).
 5. SIGN COLUMN TO BE AS PER F.D.O.T. STANDARDS, INDEX NO'S 11860 AND 11865.

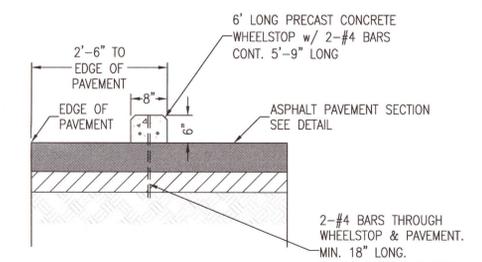
SIGN USED AS PER FLORIDA STATUTES
 FTP 25 Per FS 316.1955, FS 316.1956



HANDICAP PARKING STALL

HANDICAP PARKING STALL DETAILS

N.T.S.



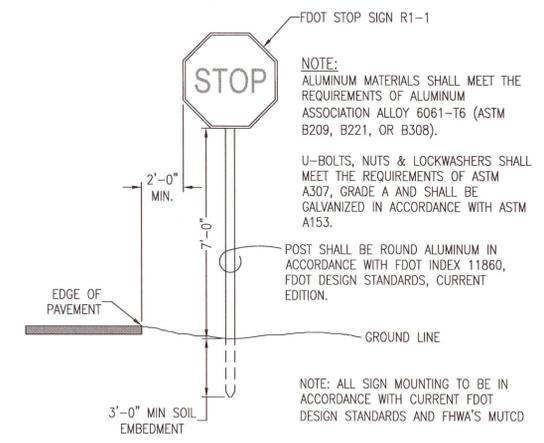
WHEEL STOP DETAIL

N.T.S.



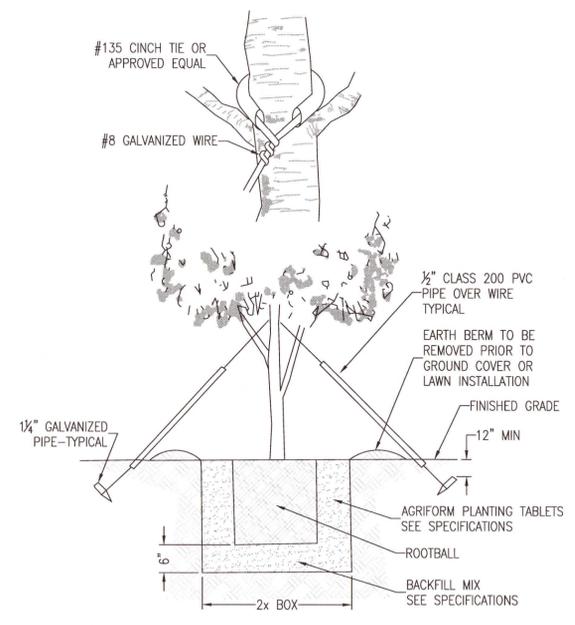
FDOT STANDARD R1-1
2'-6" x 2'-6"

N.T.S.



SIGN MOUNTING DETAIL

N.T.S.



TREE PLANTING DETAIL

N.T.S.