

1. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION AND THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
2. THE DEVELOPER/CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
3. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETED PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
4. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD. IF WINTER RYE SEED IS USED, INCLUDE A BAHIA MIX TO INSURE CONTINUED GROWTH AFTER WINTER MONTHS.
5. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.
6. DEVELOPER/CONTRACTOR/HOME OWNERS ASSOCIATION SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND AT THE END OF THE 2 YEAR WARRANTY PERIOD.
7. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW AS-BUILT CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
8. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3475. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
9. NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770.
10. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION.
11. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN COUNTY ACCEPTANCE OF IMPROVEMENTS.
12. THE CONTRACTOR SHALL NOTIFY FDP 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHTS-OF-WAY.
13. TO COMPLY WITH NPDES REQUIREMENTS, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH REQUIRED RAINFALL EVENT OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS; INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO FDP.

Approved  
 ESCAMBIA COUNTY DRG PLAN REVIEW  
 12-1-21  
 Data  
 DRC Chairman Signature: *Thomas G. Hammond, Jr.*  
 Printed Name: **THOMAS G. HAMMOND, JR.**  
 Development Services Director or Business  
 This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, or Surveyor of their responsibility or liability for the Design/Development Process. Other City/County/State/Federal permits shall be provided to the county prior to approval of a final plat or the issuance of a final plat or the issuance of a building permit to approval of a final plat or the issuance of a building permit.

# A PRELIMINARY PLAT OF SUTTON PLACE SUBDIVISION

A 38 LOT PUBLIC RESIDENTIAL RE-PLAT  
 OF A PORTION OF LOT 13, FIELD NINE SUBDIVISION,  
 ALSO BEING A PORTION OF SECTION 28  
 TOWNSHIP-1-NORTH, RANGE-31-WEST,  
 ESCAMBIA COUNTY, FLORIDA  
 ZONED: MDR FLU: MU-S  
**OCTOBER 2021**

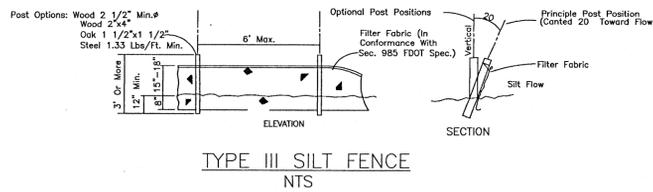
**ENGINEER:**  
**HAMMOND ENGINEERING, INC.**  
 3802 NORTH "S" STREET  
 PENSACOLA, FL 32505  
 P: (850) 434-2603  
 F: (850) 434-4650

**OWNER/DEVELOPER:**  
**SUTTON PLACE DEVELOPERS INC**  
**RONALD JOHNSON, MANAGER**  
 1050 URBAN DRIVE  
 CANTONMENT, FL 32533  
 P: (850)-982-9657

**SURVEYOR:**  
**MERRILL PARKER SHAW, INC.**  
 4928 N. DAVIS HWY  
 PENSACOLA, FL 32503  
 P: (850)-478-4923  
 F: (850)-478-4924

**UTILITIES NARRATIVE:**

- POTABLE WATER:**  
 AFTER RECEIVING ERP, ECUA AND ESCAMBIA COUNTY APPROVALS, THE DEVELOPER PLANS TO CONNECT TO EXISTING ADJACENT SYSTEM OF ECUA, CONSTRUCTING ALL NECESSARY UNDERGROUND WATER MAINS, VALVES AND FIRE HYDRANTS TO SERVE THIS DEVELOPMENT. UPON COMPLETION, THE ENTIRE SYSTEM WILL THEN BE TURNED OVER TO ECUA FOR ACCEPTANCE AND MAINTENANCE.
- SANITARY SEWER:**  
 AFTER RECEIVING ERP, ECUA AND ESCAMBIA COUNTY APPROVALS, THE DEVELOPER PLANS TO CONNECT TO THE EXISTING ADJACENT SYSTEM OF ECUA, CONSTRUCTION OF PRIVATE LOW PRESSURE SYSTEM TO SERVE THIS DEVELOPMENT. UPON COMPLETION, THE ENTIRE SYSTEM LOCATED WITHIN THE RIGHTS OF WAYS AND EASEMENTS WILL BE TURNED OVER TO ECUA FOR ACCEPTANCE AND MAINTENANCE. PRIVATE GRINDER STATIONS SHALL BE MAINTAINED BY THE HOME OWNERS.
- STORM SEWER:**  
 AFTER RECEIVING ERP AND ESCAMBIA COUNTY APPROVALS, THE DEVELOPER PLANS TO CONSTRUCT ALL NECESSARY STORMWATER MANHOLES, PIPES AND STORMWATER PONDS TO SERVE THIS DEVELOPMENT. THE ENGINEER WILL DESIGN THE STORM DRAINAGE SYSTEM TO COMPLY WITH ESCAMBIA COUNTY SUBDIVISION AND STORMWATER ORDINANCES. UPON COMPLETION, THE ENTIRE SYSTEM WILL TURNED OVER TO THE COUNTY FOR OWNERSHIP AND MAINTENANCE INCLUDING THE DETENTION PONDS.
- ELECTRIC, GAS, TELEPHONE & TV CABLE:**  
 THESE SERVICES TO BE INSTALLED AND MAINTAINED BY THE APPROPRIATE UTILITY COMPANY.



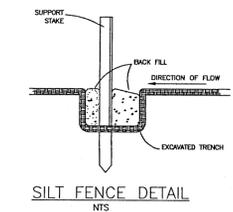
**TYPE III SILT FENCE**  
 NTS

**DEVELOPMENT DATA:**

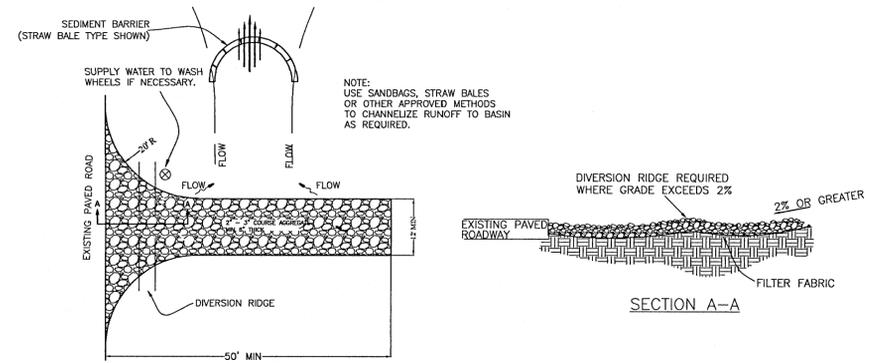
PARCEL ID #'S: 27-1N-31-1200-002-013  
 ADDRESS: 310 W ROBERTS RD 32533  
 TOTAL BOUNDARY AREA = 394,062 SQUARE FEET (9.04 ACRES)  
 TOTAL PROPOSED DETENTION AREA = 58,353 SQUARE FEET (1.34 ACRES)  
 TOTAL LOTS IN OVERALL BOUNDARY = 38 LOTS  
 PROPOSED DENSITY OF OVERALL SITE = 4.20 LOTS PER ACRE  
 ZONED: MDR  
 FLU: MU-S

**BUILDING REQUIREMENTS FOR MDR ZONE:**

- DENSITY: A MAXIMUM DENSITY OF TEN DWELLING UNITS PER ACRE
- FLOOR AREA RATIO: A MAXIMUM FLOOR AREA RATIO OF 1.0 WITHIN THE MU-S FUTURE LAND USE CATEGORY AND 2.0 WITHIN MU-U.
- STRUCTURE HEIGHT: A MAXIMUM STRUCTURE HEIGHT OF 45 FEET.
- LOT WIDTH: FOR A NEW LOT WITH A MAJORITY OF ITS FRONTAGE ALONG THE OUTSIDE OF A STREET RIGHT-OF-WAY CURVE WHOSE RADIUS IS 100 FEET OR LESS, THE MINIMUM LOT WIDTH AT THE RIGHT-OF-WAY IS 40 PERCENT OF THE RADIUS LENGTH, BUT NOT LESS THAN 20 FEET. THE MINIMUM WIDTH FOR ALL OTHER NEW LOTS IS AS FOLLOWS:  
 A SINGLE-FAMILY DETACHED, FIFTY FEET AT THE STREET RIGHT-OF-WAY FOR SINGLE-FAMILY DETACHED DWELLINGS.  
 B TWO-FAMILY, EIGHTY FEET AT THE STREET RIGHT-OF-WAY OR TWO-FAMILY DWELLINGS.  
 C MULTI-FAMILY AND OTHER, EIGHTY FEET AT THE STREET RIGHT-OF-WAY FOR TOWNHOUSE GROUPS AND BOARDING OR ROOMING HOUSES. NO MINIMUM LOT WIDTH REQUIRED BY ZONING FOR OTHER USES.
- LOT COVERAGE: MINIMUM PERVIOUS LOT COVERAGE OF 30 PERCENT (70 PERCENT MAXIMUM SEMI-IMPERVIOUS AND IMPERVIOUS COVER) FOR ALL USES.
- STRUCTURE SETBACKS:  
 FRONT AND REAR: TWENTY FEET.  
 SIDES: TEN FEET ON EACH SIDE OF A GROUP OF ATTACHED TOWNHOUSES, ON EACH SIDE OF ALL OTHER STRUCTURES, FIVE FEET OR TEN PERCENT OF THE LOT WIDTH AT THE STREET RIGHT-OF-WAY, WHICHEVER IS GREATER, BUT NOT REQUIRED TO EXCEED 15 FEET.  
 CORNER LOTS: THE FRONT SETBACK SHALL APPLY TO THE FRONTAGE OF THE ASSIGNED STREET ADDRESS AND THE SIDE SETBACK SHALL APPLY TO ANY STREET FRONTAGE THAT ADJOINS THE ADDRESSED FRONTAGE.

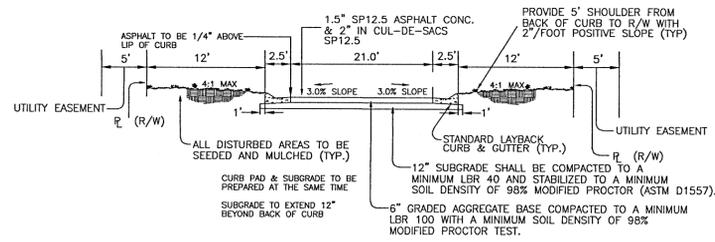


**SILT FENCE DETAIL**  
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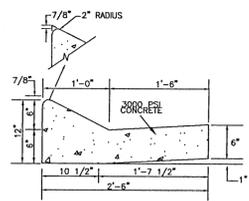


**50' MIN PLAN VIEW**  
 NTS  
**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE**

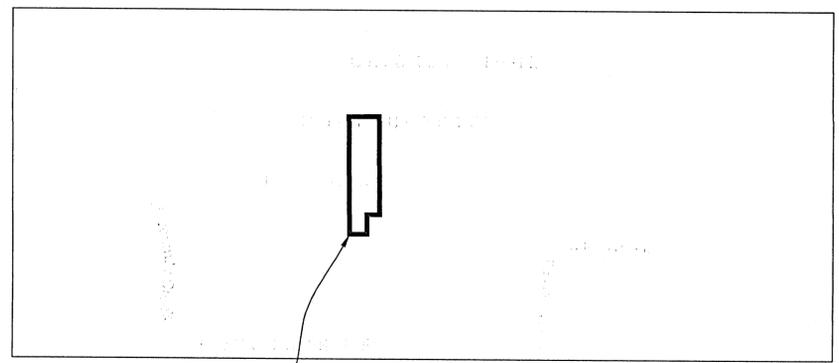
- NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
- Off-site vehicle tracking of sediments and the generation of dust shall be minimized. A stabilized construction access road shall be utilized to reduce off-site tracking. Off-site sediment removal should be conducted at a frequency necessary to minimize impacts. Vehicle wash area should be considered if off-site tracking becomes excessive.
- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE TO BE CONSTRUCTED AT ALL DESIGNATED CONSTRUCTION ENTRANCES AND EXITS.



**TYPICAL STREET AND GUTTER STREET CROSS-SECTION**  
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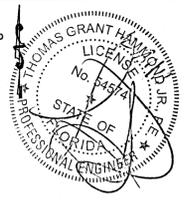
**LAYBACK CURB DETAIL**  
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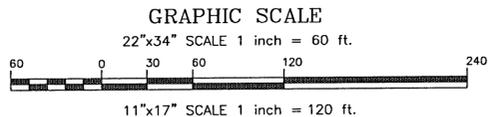


**GRAPHIC SCALE**  
 ( IN FEET )  
 1 inch = 1000 ft

**ENGINEER'S CERTIFICATE:**  
 I, THOMAS G. HAMMOND, JR., HEREBY CERTIFY THAT I AM THE ENGINEER OF RECORD FOR SUTTON PLACE SUBDIVISION. ALL PROPOSED ROADWAYS, DRAINAGE AND OTHER IMPROVEMENTS WILL BE DESIGNED TO COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL DEVELOPMENT REQUIREMENTS.

THOMAS G. HAMMOND, JR., P.E.  
 PROFESSIONAL ENGINEER #54574  
 STATE OF FLORIDA



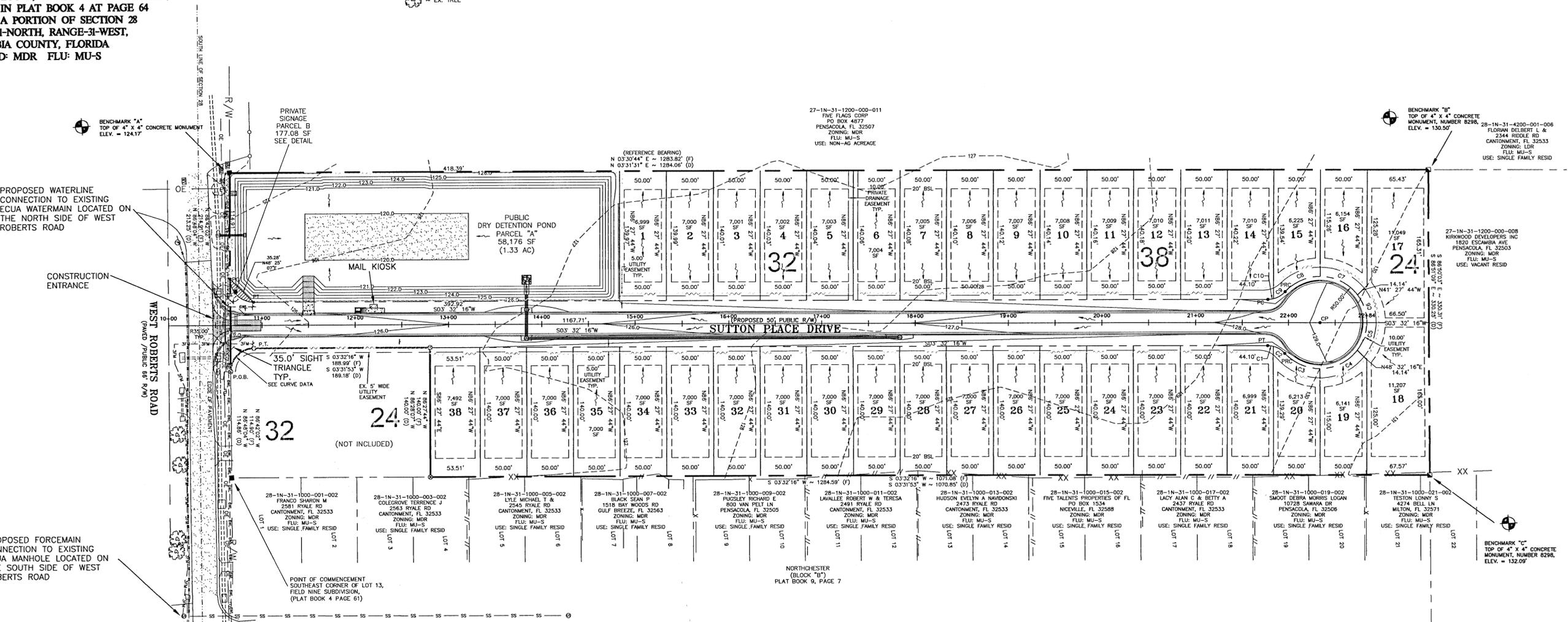
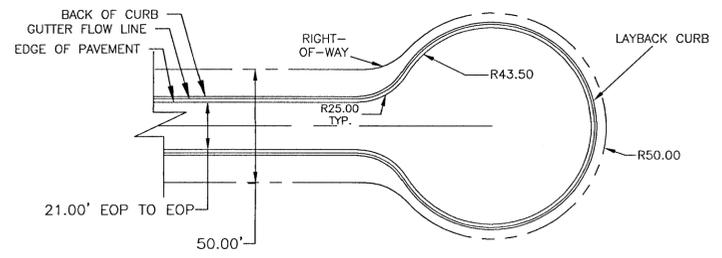
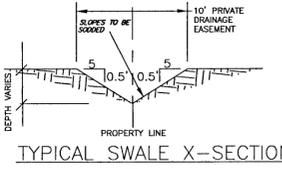


# A PRELIMINARY PLAT OF SUTTON PLACE SUBDIVISION

A 38 LOT PUBLIC RESIDENTIAL RE-PLAT  
 OF A PORTION OF LOT 13, FIELD NINE SUBDIVISION,  
 AS RECORDED IN PLAT BOOK 4 AT PAGE 64  
 ALSO BEING A PORTION OF SECTION 28  
 TOWNSHIP-1-NORTH, RANGE-31-WEST,  
 ESCAMBIA COUNTY, FLORIDA  
 ZONED: MDR FLU: MU-S

- LEGEND:**
- 4" x 4" PLAIN CONCRETE MONUMENT (FOUND)
  - 4" x 4" CONCRETE MONUMENT, NUMBER 8298 (FOUND)
  - 1/2" CAPTED IRON ROD, NUMBER 7174 (SET)
  - R/W ~ RIGHT OF WAY
  - (F) ~ FIELD MEASUREMENT/INFORMATION
  - (D) ~ DESCRIPTION INFORMATION
  - POB ~ POINT OF BEGINNING
  - 4' HIGH METAL FENCE
  - 6' HIGH WOOD BOARD FENCE
  - 4' HIGH CHAIN LINK FENCE
  - 4' HIGH WIRE FENCE
  - OVERHEAD UTILITY LINES
  - UTILITY POLE
  - FIRE HYDRANT
  - WATER VALVE
  - WATER METER
  - SWL ~ WATERLINE
  - 3FM ~ FORCEMAIN
  - EX. TREE

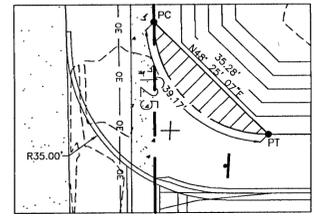
- R/W ~ RIGHT OF WAY
  - PT ~ POINT OF TANGENCY
  - PC ~ POINT OF CURVATURE
  - PRC ~ POINT OF REVERSE CURVE
  - PI ~ POINT OF INTERSECTION
  - CP ~ CENTER POINT
  - ELEV. ~ ELEVATION
  - INV. ~ INVERT ELEVATION
  - R.C.P. ~ REINFORCED CONCRETE PIPE
  - 127 ~ CONTOUR LINE
  - BENCHMARK IN VICINITY
  - SILT FENCE
  - APPROX SOIL LINES
- SOIL INFO:**  
 24: POARCH SANDY LOAM, 0 TO 2 PERCENT SLOPES  
 32: TROUP SAND, 0 TO 5 PERCENT SLOPES  
 38: BONIFAY LOAMY SAND, 0 TO 5 PERCENT SLOPES



**ENGINEER:**  
 THOMAS HAMMOND JR., P.E.  
 3802 NORTH "S" STREET  
 PENSACOLA, FL 32505  
 PHONE: (850)-434-2603

**OWNER/DEVELOPER:**  
 SUTTON PLACE DEVELOPERS INC  
 RONALD JOHNSON, MANAGER  
 1050 URBAN DRIVE  
 CANTONMENT, FL 32533  
 PHONE: (850)-982-9657

**SURVEYOR:**  
 MERRILL PARKER SHAW, INC.  
 4928 N. DAVIS HWY  
 PENSACOLA, FL 32503  
 PHONE: (850)-478-4923



PRIVATE SIGNAGE EASEMENT DETAIL

**EROSION & SEDIMENT CONTROL NOTE**  
 THE DEVELOPER SHALL REQUIRE THE CONTRACTOR, AT ALL TIMES DURING CONSTRUCTION OF THIS PROJECT, TO PROVIDE AND MAINTAIN THE NECESSARY EARTH BERMS, HAY BALES, PONDING AREA, SILT FENCES AND SEDIMENTATION CONTROLS ALONG THE STREET RIGHTS-OF-WAY, EASEMENTS AND STORMWATER AREA TO CONTROL AND PREVENT EROSION RESULTING FROM INCREASED RUNOFF DUE TO CONSTRUCTION. EROSION AND SEDIMENTATION CONTROLS SHALL BE ESTABLISHED TO MEET OR EXCEED LOCAL, STATE AND FEDERAL REQUIREMENTS.

NOTE: NO FENCES SHALL BE INSTALLED WITHIN PRIVATE OR PUBLIC DRAINAGE/ACCESS EASEMENTS FOR CONVEYANCE SYSTEMS.

NOTE: LOT OWNERS WILL NOT BE ALLOWED TO LOCATE FENCES OR OTHER STRUCTURES WITHIN DRAINAGE/ACCESS EASEMENTS FOR CONVEYANCE SYSTEMS, THESE EASEMENTS SHALL BE ACCESSIBLE AT ALL TIMES.

NOTE: FENCES AND OTHER STRUCTURES IN 10' PRIVATE DRAINAGE EASEMENTS ALONG EACH LOT PROPERTY LINES SHALL NOT IMPEDE STORMWATER FLOW.

**FLOOD ZONE DATA**

THE SUBJECT PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT ANNUAL-CHANCE FLOODPLAINS, NO BE'S OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBER 1203502856, MAP REVISION DATED SEPTEMBER 29, 2006.

FLOOD ZONE(S)	FIRM NUMBER	MAP NUMBER	PANEL NUMBER(S)	SUFFIX	MAP REVISION DATE
X	120080	120350	0280	G	SEPTEMBER 29, 2006

NOTE: PRELIMINARY PLAT APPROVAL IS REQUIRED TO MAP THE PROPOSED SUBDIVISION OF LAND AND TO ENSURE THE DIVISION OF LAND MEETS THE LAND USE REGULATIONS OF THE LDC. LAND DISTURBANCE ACTIVITIES ARE NOT AUTHORIZED UNDER THIS PLAT.

CONSTRUCTION OF THE SUBDIVISION INFRASTRUCTURE AREAS ONLY WILL BE ALLOWED AS SPECIFICALLY DESIGNATED UNDER THE CONSTRUCTION PLANS, ONCE APPROVED. HOWEVER, NEITHER THE PLAT OR PLAN ALLOW LAND DISTURBING ACTIVITIES AND DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS AS ISSUANCE OF ESCAMBIA COUNTY BUILDING PERMITS FOR THE DWELLINGS WILL BE REQUIRED FOR THESE ACTIVITIES ON EACH LOT/PARCEL IN THE FUTURE. (LDC, CHAPTER 2 DEVELOPMENT & COMPLIANCE REVIEW, ARTICLE 5 SUBDIVISION, SECTION 2-5.5 PRELIMINARY PLATS; ART. 3 LAND DISTURBANCE ACTIVITIES, SEC. 2-3.1, 2-3.2, & 2-3.6; LDC, DSM, CHAP. 2 ENVIRONMENTAL, ARTICLE 2, LANDSCAPING, 2-1.1 TREE PROTECTION & PRESERVATION, (E) RESIDENTIAL LOTS.)

**CURVE DATA (BOUNDARY)**  
 RADIUS = 25.00' (D&F)  
 LENGTH = 39.37' (F) 39.41' (D)  
 DELTA = 90°14'18" (F) 90°19'57" (D)  
 CHORD BEARING = S41°34'53"E (F) S41°38'05"E (D)  
 CHORD DISTANCE = 35.43' (F) 35.46' (D)

**Curve Table**

Curve #	Length	Radius	Delta
C1	5.96	25.00	014
C2	15.07	25.00	035
C3	42.05	50.00	048
C4	46.36	50.00	053
C5	32.18	50.00	037
C6	32.18	50.00	037
C7	46.36	50.00	053
C8	42.05	50.00	048
C9	15.07	25.00	035
C10	5.96	25.00	014
C11	39.17	25.00	090

