

# COASTAL SUNRISE ANIMAL HOSPITAL

See page 2 for  
approval sticker  
CS

## PROPERTY I.D.# 32-1S-30-1901-210-004

6209 NORTH 9TH AVENUE

PENSACOLA, FL 32504

MORIS PILLOW LLC

VET VET LLC

DR. WALTER GANDY

UNIT 246

1390 FORT PICKENS RD

PENSACOLA BEACH, FL 32561

EMAIL: waltergandy4@gmail.com

ZONED: COMMERCIAL

USE: MU-U

SUBMITTED: MAY 11, 2021

### CONSTRUCTION NOTES

- ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD. PONDS AND SWALES TOPS AND SIDES SHALL BE SODDED.
- THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
- DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW AS-BUILT CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND, OUTLET STRUCTURES, DIMENSIONS, ETC. THESE RECORD DRAWINGS ARE TO BE PROVIDED TO THE PROJECT ENGINEER PRIOR TO REQUESTING FINAL INSPECTION.
- THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY ENGINEER AN INSPECTION OF THE EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO CONSTRUCTION, UNDERGROUND DRAINAGE STRUCTURES PRIOR TO BURIAL, AND THE FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION.
- EROSION SHALL BE CONTROLLED BY THE USE OF A HAY BALE BARRIER/SILT FENCE AS SHOWN ON PLANS AND SHALL BE SETUP PRIOR TO COMMENCING CONSTRUCTION. THE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. AFTER PLACEMENT OF THE EROSION CONTROL BARRIER, THE RETENTION AREA IS TO BE CONSTRUCTED. UPON COMPLETION OF THE PROJECT, THE RETENTION AREA SHALL BE CLEANED OF SILT, STABILIZATION OF ALL DISTURBED AREAS SHALL BE ACCOMPLISHED, AND THE RETENTION AREA IS TO BE RECONFIGURED TO DESIGN CROSS-SECTION, AND GRASSSED.
- ALL NEW ROOF DRAINS, DOWNSPOUTS, OR GUTTERS FOR FUTURE RESIDENTIAL STRUCTURES ARE TO BE ROUTED TO CARRY ALL STORM WATER TO RETENTION/DETENTION AREAS.
- FINISHED FLOOR ELEVATION FOR FUTURE BUILDINGS ON LOTS (EXCLUDING BASEMENTS) SHALL BE A MIN. OF 8" (SODDED AROUND BUILDING) OR 10" (UNSODDED) ABOVE FINISHED GRADE OF LOTS, UNLESS OTHERWISE DICTATED BY FLOOD ZONE. FINISHED GRADES SHALL SLOPE FROM FOUNDATION 2 1/2" WITHIN 10 FEET (2% GRADE) OR LESS, EXCLUDING PATIOS, SIDEWALKS, AND DRIVEWAYS THEN SLOPED AT A MIN. OF 1/16" PER FOOT (0.5% GRADE) TO A POSITIVE OUTFALL.
- THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION, OR PROVIDE "AS-BUILT" CERTIFICATION OR THE CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATION. THE "AS-BUILT" CERTIFICATION OR "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED, AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
- CONTRACTOR SHALL NOTIFY SUNSHINE ONE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RW; 1-800-432-4770.
- ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION.
- NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT THE DESIGN ENGINEER BOTH PRIOR APPROVAL FROM AND THE COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
- RIGHT-OF-WAY SHOULDER STABILIZATION SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST ADDITION).
- RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORM WATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORM WATER DURING CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
- THE DEVELOPER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS. AS-BUILT CERTIFICATION IS REQUIRED PRIOR REQUEST FOR FINAL INSPECTION/APPROVAL.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A UTILITY PERMIT FROM THE COUNTY ROAD AND BRIDGE DEPARTMENT PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES WITHIN THE COUNTY'S RIGHT OF WAY.
- THE CONTRACTOR IS TO PROVIDE IRRIGATION FOR ALL LANDSCAPE AREAS, INCLUDING PARKING ISLANDS AND LANDSCAPE BUFFERS.
- NO POLE LIGHTING IS TO BE INSTALLED WITHOUT REVIEW BY THE PLANNING AND ZONING DEPARTMENT.
- THIS PLAN DOES NOT INCLUDE ANY EXTERIOR LIGHTING. IF POLE LIGHTS ARE PLANNED, THEY MUST BE APPROVED BY THE PLANNING AND ZONING DEPARTMENT UNDER A SEPARATE PERMIT. A LIGHTING PLAN WITH FIXTURE CUT SHEETS AND PHOTOMETRIC PLAN WILL BE REQUIRED. LIGHTING SHALL BE INSTALLED AS NOT TO SHINE DIRECTLY ON ADJACENT PROPERTY, OR ON TO RIGHT-OF-WAY. LIGHTING SHALL AVOID ANNOYANCE FROM BRIGHTNESS AND GLARE. ELECTRICAL AND INSTALLATION PERMITS MUST BE ACQUIRED FROM THE COUNTY BEFORE CONSTRUCTION OF ANY EXTERIOR LIGHTS.
- CONTRACTOR MUST INSTALL AN IRRIGATION SYSTEM TO PROVIDE WATER TO ALL LANDSCAPE MATERIALS THAT ARE INSTALLED.
- A SEPARATE PERMIT IS REQUIRED FOR ALL SIGNAGE.
- ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.

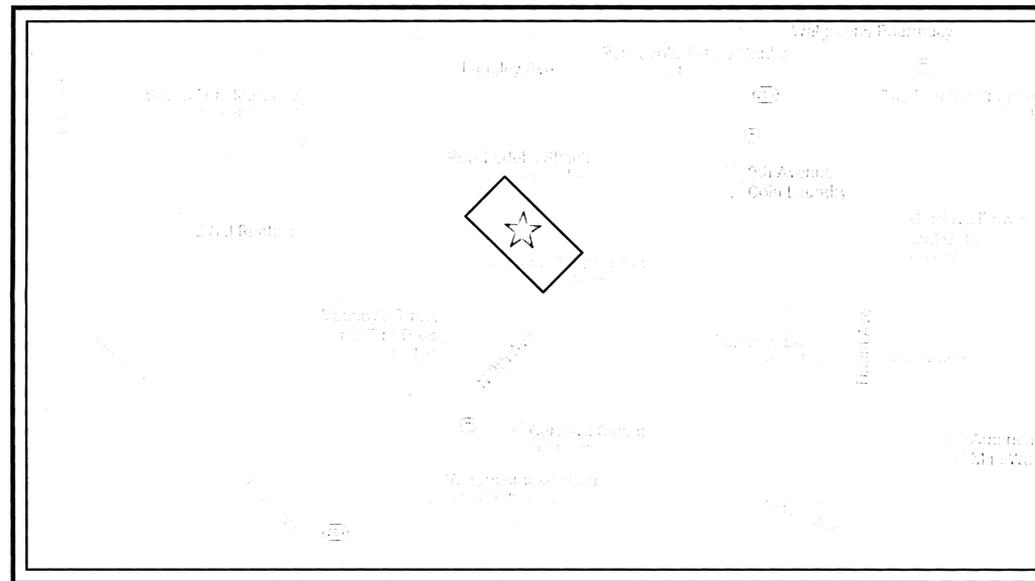
### LAND CLEARING NOTE:

ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, & ANY OTHER "LAND DISTURBING ACTIVITIES" SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.

**CONTRACTOR TO REVIEW DSM CHAPTER 2 IN ITS ENTIRETY PRIOR TO CONDUCTING ANY DEMOLITION OR GRADING WORK DIRECTLY ADJACENT TO OR WITHIN THE VICINITY OF THE HERITAGE OAK TREE TO REMAIN ON SITE. SEE NOTES PROVIDED ON SHEET C1.**



Approved ESCAMBIA COUNTY DRC PLAN REVIEW	
DRC Chairman of	<i>Jennifer Hampton</i> 7-14-21
Printed Name of	<i>Jennifer Hampton</i>
Signature of	<i>Jennifer Hampton</i>
This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way constitute the submitting Architect, Engineer, Surveyor or other signatory's responsibility of details to a final Development Order (DO) as determined through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional conditional permits shall be provided to the county prior to approval of a final plat or the issuance of a final plat. This county prior to approval of a final plat or the issuance of a final plat.	



### VICINITY MAP

APPROXIMATE SCALE: 1" ~ 200'

### LEGAL DESCRIPTION:

(AS PROVIDED BY PITTMAN & GLAZE AND ASSOCIATES BY SURVEY PROJECT NO. 37853-18, FILE NO. E4636 DATED ON MAY 24, 2018)

THE LAND REFERENCED HEREIN BELOW IS SITUATED IN THE COUNTY OF ESCAMBIA, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:  
PARCEL 1

THAT PORTION OF LOT 2, BLOCK D, IN SECTION 32, TOWNSHIP 1 SOUTH, RANGE 30 WEST, AS SHOWN ON PLAT OF ABB SUBDIVISION, PLAT BOOK 1, PAGE 82, DESCRIBED AS FOLLOWS: BEGIN AT THE SOUTH CORNER OF SAID LOT 2 FOR THE POINT OF BEGINNING; THENCE GO NORTHEASTERLY ALONG THE RIGHT OF WAY OF 9TH AVENUE ROAD (ALSO KNOWN AS SKINNER PARK ROAD) A DISTANCE OF 61 FEET TO A POINT; THENCE AT RIGHT ANGLES IN NORTHWESTERLY DIRECTION A DISTANCE OF 250 FEET TO A POINT ON THE BOUNDARY OF SAID LOT; THENCE AT RIGHT ANGLES IN A SOUTHWESTERLY DIRECTION A DISTANCE OF 61 FEET TO THE EAST CORNER OF SAID LOT; THENCE SOUTHEASTERLY ALONG THE BOUNDARY OF SAID LOT 250 FEET TO THE POINT OF BEGINNING.

PARCEL 2  
THE NORTHERLY 66.3 FEET OF LOT 2, BLOCK D, OF FRACTIONAL SECTION 32, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA ACCORDING TO PLAT OF ABB SUBDIVISION RECORDED IN PLAT BOOK 1 AT PAGE 82 OF THE PUBLIC RECORDS OF SAID COUNTY.

### POST OFFICE CONTACT NOTES:

IN ORDER FOR THE USPS TO MAKE CONTACT WITH THE BUILDER EARLY IN THE PROCESS, THEIR CONTACT INFORMATION WOULD BE VERY HELPFUL IF PROVIDED. DELIVERY WILL BEGIN IN THE NEWLY DEVELOPED AREA ONLY UPON APPROVAL FROM THE USPS REPRESENTATIVE AND ONLY TO LOCATIONS AND EQUIPMENT PROVIDED BY THE USPS. STREET DELIVERY WILL BE HELD UNTIL SUCH TIME AS AN APPROVED SITE LOCATION IS AGREED UPON.

CONTACT:  
ANDRA BRIDGES  
GROWTH MANAGEMENT COORDINATOR | GFA DISTRICT | JACKSONVILLE FL 32203-9998  
OFFICE HOURS: MON-FRI 8:00 AM - 17:00 PM  
PHONE: 904-366-4924 FAX: 904-359-2979 EMAIL: ANDRA.R.BRIDGES@USPS.GOV

### WELLHEAD PROTECTION NOTE:

THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOURS OF PROTECTED (POTABLE) WELLHEADS. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ESCAMBIA COUNTY EMERALD COAST UTILITIES AUTHORITY (850) 476-5110 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 955-6712) AGENCIES.

### UTILITY CONTACTS

GULF POWER 500 BAYFRONT PARKWAY PENSACOLA, FL 32520-0316	CONTACT: MR. DON SCHOFIELD PHONE: (850) 444-6555 FAX: (850) 444-6432
COX CABLE 2205 LAVISTA AVE. PENSACOLA, FL 32504	CONTACT: RICHARD EMMONS PHONE: (850) 477-2695 FAX: (850) 479-3912
EMERALD COAST UTILITIES AUTHORITY 9500 STURDEVANT STREET 2ND FLOOR PENSACOLA, FL 32514	PHONE: (850) 969-3310
ENERGY SERVICES GAS 1625 ATWOOD DR. PENSACOLA, FL 32504	CONTACT: JOHN DeMARS PHONE: (850) 474-5322 FAX: (850) 474-5330
BELLSOUTH 605 W. GARDEN ST. PENSACOLA, FL 32501	CONTACT: SHARON BLACKMAN PHONE: (850) 436-1662
SPRINT	PHONE: (850) 599-1582
MCI	PHONE: 1-800-624-9675
AT&T	PHONE: 1-800-252-1133
SUNSHINE UTILITIES (ONE CALL)	PHONE: 1-800-432-4770

The parcel shown for development is located within the following flood zone(s) as detailed by FEMA FIRM (Flood Insurance Rate Map) information described below:

Flood zone(s)	Community number	Map number	Panel number(s)	Suffix	Map Revision Date
X	120080	12033C	0295	G	9/29/2006

If site lies within more than one flood zone, please delineate & label each zone & include information in legend. Include all FEMA Panel #'s parcel falls within.

### PARKING CALCULATION:

VET CLINIC (Both Bldgs) =  
4 SPACES PER 1000sf = 6,138sf/1000 = 6.14  
4 \* 6.17 = 24.7 (25) SPACES

TOTAL PARKING REQUIRED: 25 SPACES

TOTAL PROVIDED: 25 SPACES  
24 STANDARD SPACES  
1 HANDICAPPED SPACE

NOTE: HANDICAP PARKING SIGNS SHALL CONFORM TO FDOT ROADWAY AND TRAFFIC DESIGN STANDARD INDEX NUMBER IR700-102, FTP-25 SIGN.

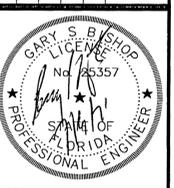
NOTE: REGULAR PARKING SPACES ARE 9' X 18'. HANDICAPPED PARKING SPACES ARE 12' X 18' WITH A 5' AISLE.

NOTE: NON-HANDICAP PARKING SPACES LINES ARE TO BE WHITE.

### SCHEDULE OF DRAWINGS

- C0 ~ TITLE PAGE
- C1 ~ EXISTING CONDITION/DEMO PLAN
- C2 ~ DIMENSION PLAN
- C2.1 ~ SITE DETAILS
- C3 ~ GRADING PLAN
- C4 ~ UTILITY PLAN
- C4.1 ~ LIFT STATION DETAILS
- C4.2 ~ ECUA DETAILS (FOR REF)
- C5 ~ LANDSCAPE PLAN

NO.	DATE	REVISIONS
1	05-03-2021	ESCAMBIA COUNTY REVIEW COMMENTS



**GARY S. BISHOP, P.E.**  
CONSULTING ENGINEERING

6010 JAMESON CIRCLE - PACE, FL 32571  
PHONE: (850) 712-7618  
E-MAIL: gsbishop@yahoo.com & gsbishop.engineering@gmail.com

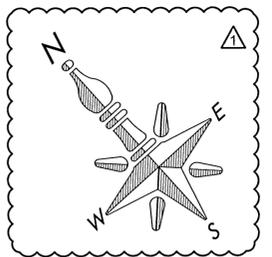
**COASTAL SUNRISE ANIMAL HOSPITAL**

6209 NORTH 9TH AVENUE  
PENSACOLA, FL 32504

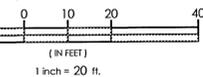
DESIGNED BY: GSB	CHECKED BY: GSB
DATE: MAY 11, 2021	SCALE: AS NOTED
PROJECT NO:	2021 CSAC_SITE
FILE NO:	2021 CSAC_SITE
SHEET NO:	C1

THIS DRAWING IS THE PROPERTY OF GARY S. BISHOP, P.E. AND IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.





GRAPHIC SCALE



**CONSTRUCTION NOTES:**

1. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT THE PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE GOVERNING AUTHORITY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.

2. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.

3. ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH. HYDROSEED AND/OR SOD, PONDS AND SWALES TOPS AND SIDES SHALL BE SODDED.

4. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER/CONTRACTOR PRIOR TO FINAL COUNTY ACCEPTANCE.

5. ALL NEW ROOF DRAINS, GUTTERS OR DOWNSPOUTS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.

6. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY OR PROVIDE AS-BUILT CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE AS-BUILT CERTIFICATION OR THE RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.

7. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE GOVERNING AUTHORITY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS.

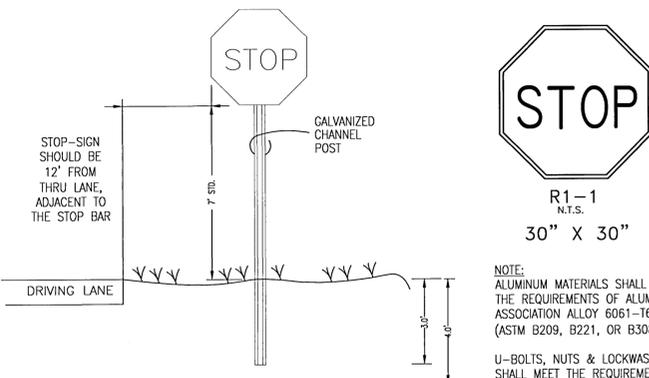
8. CONTRACTOR SHALL NOTIFY SUNSHINE ONE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770.

9. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHTS-OF-WAY.

**EXTERIOR LIGHTING:**

EXTERIOR LIGHTING IN AND AROUND BUILDINGS AND IN PARKING LOTS IS PERMITTED IN ALL DISTRICTS. LIGHTING IS TO BE LOCATED FOR SAFETY AND VISUAL EFFECT. WITH THE EXCEPTION OF STREET LIGHTS, IT SHALL BE INSTALLED SO AS TO NOT SHINE DIRECTLY ON ADJACENT PROPERTY. LIGHTING SHALL AVOID ANNOYANCE FROM BRIGHTNESS AND GLARE.

ILLUMINATIONS: IN THE CASE OF EXTERNAL LIGHTING SUCH AS FLOODLIGHTS, THIN LINE AND GOOSE NECK REFLECTORS, THESE ARE PERMITTED, PROVIDED THAT THE LIGHT SOURCE IS DIRECTED ON THE FACE OF THE SIGN AND IS EFFECTIVELY SHIELDED SO AS TO PREVENT BEAMS OR RAYS OF LIGHT FROM BEING DIRECTED ONTO ANY PORTION OF ANY RIGHT-OF-WAY. INTERNALLY LIT SIGNS ARE PERMITTED. ALL SIGNS SHALL COMPLY WITH THE PROVISIONS OF THE APPLICABLE ELECTRICAL AND BUILDING CODES AND MUST BE LISTED AND INSTALLED IN CONFORMANCE WITH THAT LISTING.



**STOP SIGN DETAIL**

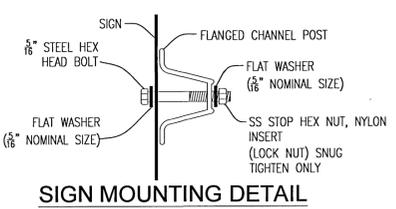
NTS



R1-1  
N.T.S.  
30" X 30"

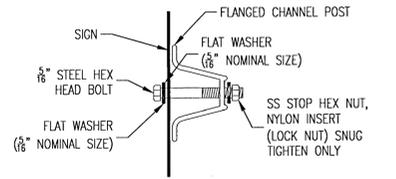
NOTE: ALUMINUM MATERIALS SHALL MEET THE REQUIREMENTS OF ALUMINUM ASSOCIATION ALLOY 6061-T6 (ASTM B209, B221, OR B308).

U-BOLTS, NUTS & LOCKWASHERS SHALL MEET THE REQUIREMENTS OF ASTM A307, GRADE A AND SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A153 (LATEST EDITION).



**SIGN MOUNTING DETAIL**

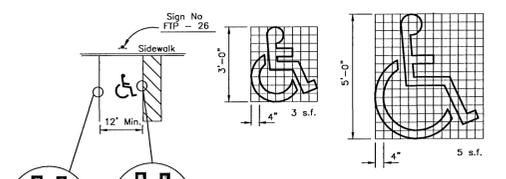
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**SIGN MOUNTING DETAIL**

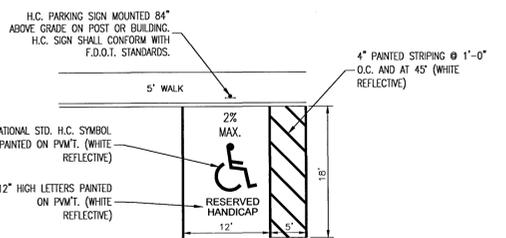
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**WELLHEAD PROTECTION NOTE:**  
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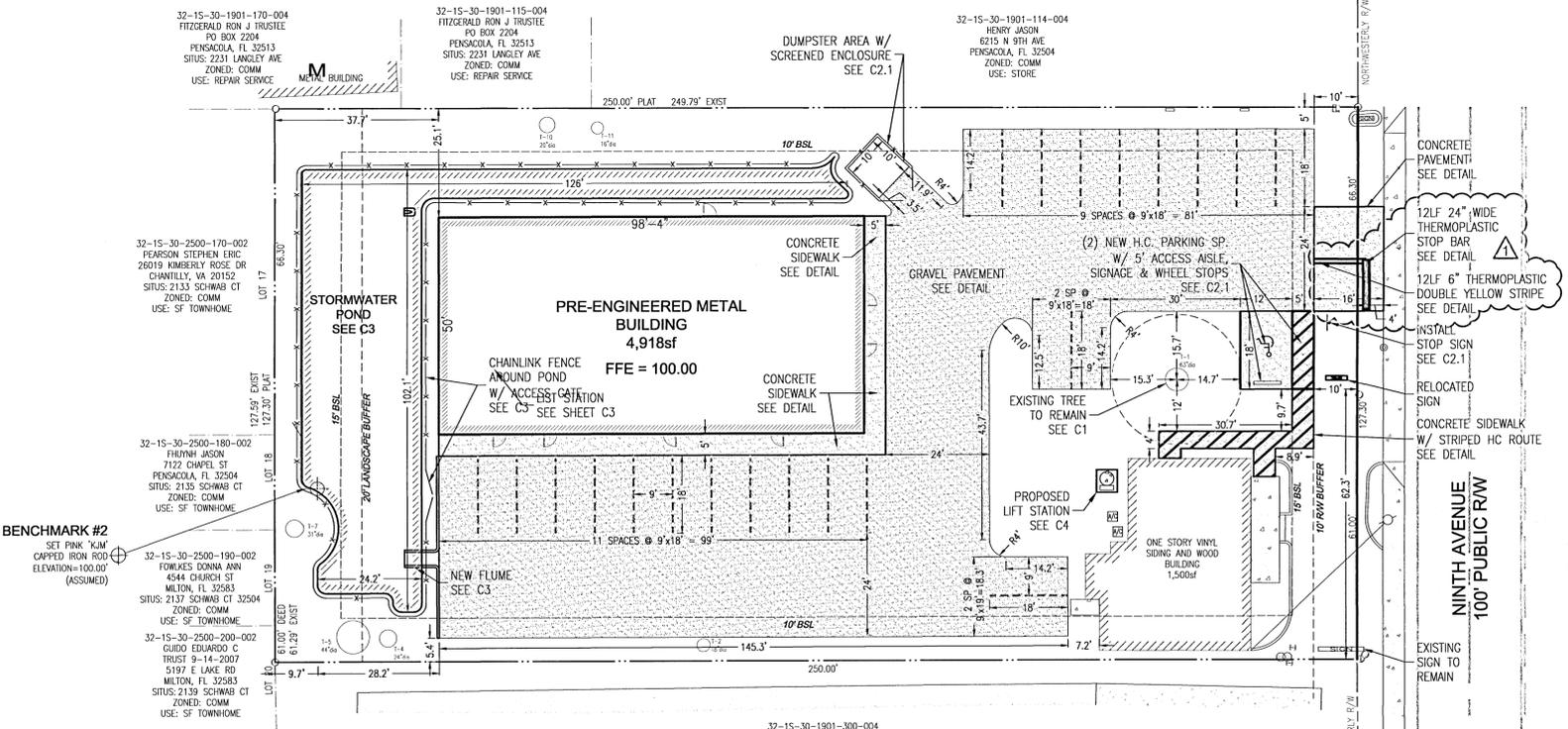
USE OF PAVEMENT SYMBOL IN HANDICAPPED PARKING SPACES IS OPTIONAL, WHEN USED THE SYMBOL SHALL BE 3 OR 5 FT. HIGH AND WHITE IN COLOR.

\*CURB CUT RAMP AS APPLICABLE PER PLANS



**HANDICAPPED PARKING & PAVEMENT DETAIL**

NTS



**BENCHMARK #2**

SET PINK "KUM" CAPPED IRON ROD  
ELEVATION=100.00'  
(ASSUMED)

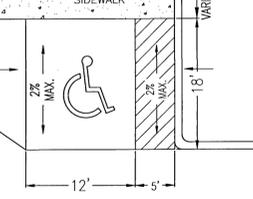
6" STABILIZATION MATERIAL TO BE FOOT #57 GRADED AGGREGATE COMPACTED TO 95% MODIFIED PROCTOR OR ENGINEER APPROVED STRUCTURALLY EQUIVALENT MATERIAL



**GRAVEL DETAIL**

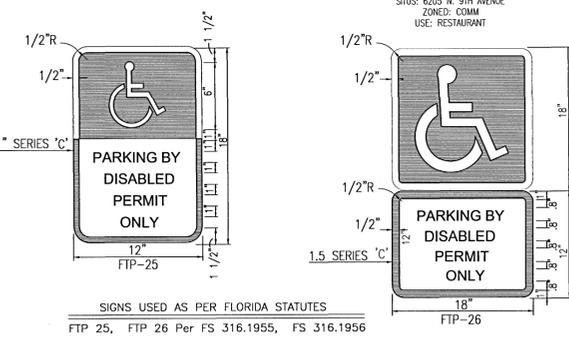
NTS

NOTE: FINISHED SURFACE MUST WITHSTAND 32 TONS (MIN)



**PLAN VIEW OF HANDICAP SPACE WITH SLOPES & STRIPING**

NTS



SIGNS USED AS PER FLORIDA STATUTES  
FTP 25, FTP 26 Per FS 316.1955, FS 316.1956

VIOLATORS \$250 FINE  
INSTALL BELOW HANDICAP SIGN

NOTES:  
1. TOP PORTION OF FTP 25 & 26 SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER.  
2. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.  
3. FTP 25 & 26 MAY BE FABRICATED ON ONE PANEL OR TWO.  
4. FTP 25 MAY BE SUBSTITUTED FOR THE FTP 26 IN AREAS WHERE SPACE IS LIMITED.  
5. SIGNS ARE TO BE MOUNTED AT STANDARD HEIGHT. (7' FROM PAVMENT TO BOTTOM OF SIGN).

**HANDICAPPED PARKING SIGN DETAIL**

NTS

**BENCHMARK DATA:**

BM-1	CAPPED IRON ROD
EL=	100.00' (ASSUMED)

**LAND CLEARING NOTE:**  
ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, & ANY OTHER "LAND DISTURBING ACTIVITIES" SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.

**BUILDING SETBACK REQUIREMENTS**

LOCATION	REQUIREMENT
FRONT	20
REAR	15
SIDES	15

A UTILITY PERMIT FROM THE ESCAMBIA COUNTY ROAD AND BRIDGE DEPT WILL BE REQUIRED FOR OFFSITE WORK WITHIN THE PUBLIC RIGHT OF WAY.

**DIMENSION PLAN**

**TOTAL SITE AREAS ~PRE-DEVELOPMENT**

TOTAL SITE ACREAGE (SF):	31,858	
TOTAL SITE ACREAGE (AC):	0.73	
DESCRIPTION	SF	%
TOTAL IMPERVIOUS AREA	16,136	50.6
EXISTING BUILDINGS	2,476	
EXISTING GRAVEL AREA	12,449	
EXISTING ASPHALT / CONCRETE AREA	1,211	
TOTAL PERVIOUS /LANDSCAPE AREA	15,722	49.4

**TOTAL SITE AREAS ~ POST-DEVELOPMENT**

TOTAL SITE ACREAGE (SF):	31,858	
TOTAL SITE ACREAGE (AC):	0.73	
DESCRIPTION	SF	%
TOTAL IMPERVIOUS AREA	17,527	55.0
BUILDING AREA	6,418	
GRAVEL AREA	9,714	
ASPHALT / CONCRETE AREA	1,395	
TOTAL PERVIOUS / LANDSCAPE AREA	14,331	45.0

REVISIONS

NO.	DATE	DESCRIPTION
1	03-03-2021	

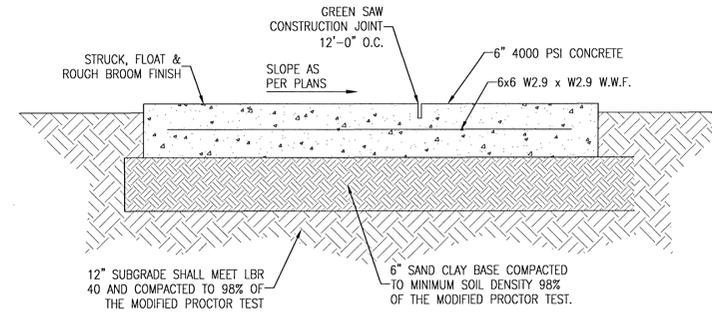


**GARY S. BISHOP, P.E.**  
CONSULTING ENGINEERING  
6010 JAMESON CIRCLE PACE, FL 32571  
PHONE: (850) 712-7618  
E-MAIL: gsbishop@ahoo.com & gsbishop.engineering@gmail.com

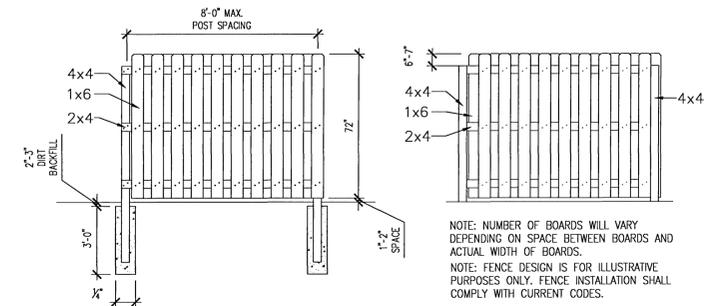
**COASTAL SUNRISE ANIMAL HOSPITAL**  
6209 NORTH 9TH AVENUE  
PENSACOLA, FL 32504

DRAWN BY: CSL  
DESIGNED BY: GSB  
CHECKED BY: GSB  
DATE: MAY 11, 2021  
SCALE: AS NOTED

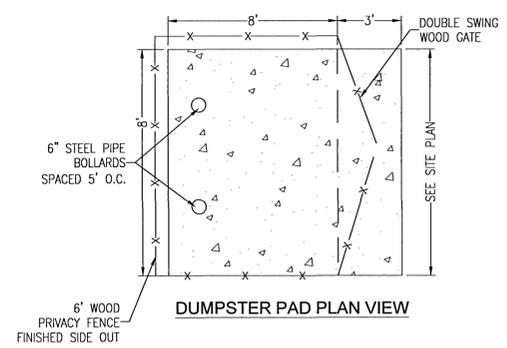
PROJECT NO:	
FILE NO:	2021 CSAC_SITE
SHEET NO:	C2



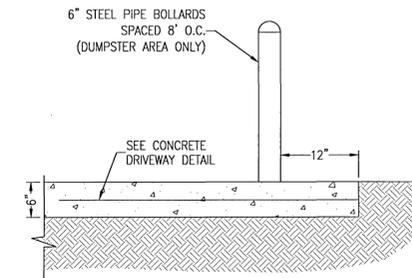
**CONCRETE PAVEMENT DETAIL**  
N.T.S.



**6' PRIVACY FENCE AND DUMPSTER ENCLOSURE**  
N.T.S.

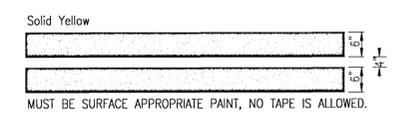


**DUMPSTER PAD PLAN VIEW**

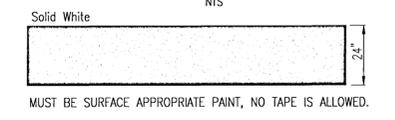


**DUMPSTER PAD SECTION**

**DUMPSTER PAD DETAIL**  
N.T.S.



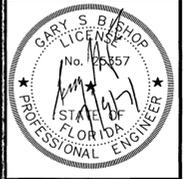
**LANE STRIPING DETAIL**  
N.T.S.



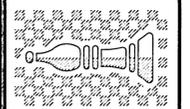
**LANE STOP BAR DETAIL**  
N.T.S.

A UTILITY PERMIT FROM THE ESCAMBIA COUNTY ROAD AND BRIDGE DEPT WILL BE REQUIRED FOR OFFSITE WORK WITHIN THE PUBLIC RIGHT OF WAY.

NO.	DATE	REVISIONS
1	03-03-2021	ESCAMBIA COUNTY ROAD BRIDGE DEPT



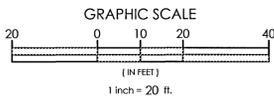
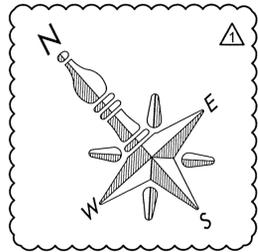
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**COASTAL SUNRISE ANIMAL HOSPITAL**  
6209 NORTH 9TH AVENUE  
PENSACOLA, FL 32504

DESIGNED BY: GSB	PROJECT NO:
CHECKED BY: GSB	FILE NO: 2021 CSAC_SITE
DATE: MAY 11, 2021	SHEET NO: C2.1
SCALE: AS NOTED	

**SITE DETAILS**



**GRADING NOTES:**

- ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD. PONDS AND SWALES TOPS AND SIDES SHALL BE SODDED.
- THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
- DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW AS-BUILT CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPS OF POND, OUTLET STRUCTURES, DIMENSIONS, ETC. THESE RECORD DRAWINGS ARE TO BE PROVIDED TO THE PROJECT ENGINEER PRIOR TO REQUESTING FINAL INSPECTION.
- THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY ENGINEER AN INSPECTION OF THE EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO CONSTRUCTION, UNDERGROUND DRAINAGE STRUCTURES PRIOR TO BURIAL, AND THE FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION.
- EROSION SHALL BE CONTROLLED BY THE USE OF A HAY BALE BARRIER/SILT FENCE AS SHOWN ON PLANS AND SHALL BE SETUP PRIOR TO COMMENCING CONSTRUCTION. THE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. AFTER PLACEMENT OF THE EROSION CONTROL BARRIER, THE RETENTION AREA IS TO BE CONSTRUCTED. UPON COMPLETION OF THE PROJECT, THE RETENTION AREA SHALL BE CLEANED OF SILT, STABILIZATION OF ALL DISTURBED AREAS SHALL BE ACCOMPLISHED, AND THE RETENTION AREA IS TO BE RECONFIGURED TO DESIGN CROSS-SECTION, AND GRASSED.
- ALL NEW ROOF DRAINS, DOWNSPOUTS, OR GUTTERS FOR FUTURE RESIDENTIAL STRUCTURES ARE TO BE ROUTED TO CARRY ALL STORM WATER TO RETENTION/DETENTION AREAS.
- FINISHED FLOOR ELEVATION FOR FUTURE BUILDINGS ON LOTS (EXCLUDING BASEMENTS) SHALL BE A MIN. OF 8" (SODDED AROUND BUILDING) OR 10" (UNSODDED) ABOVE FINISHED GRADE OF LOTS, UNLESS OTHERWISE DICTATED BY FLOOD ZONE. FINISHED GRADES SHALL SLOPE FROM FOUNDATION 2 1/2" WITHIN 10 FEET (2% GRADE) OR LESS, EXCLUDING PATIOS, SIDEWALKS, AND DRIVEWAYS THEN SLOPED AT A MIN. OF 1/16" PER FOOT (0.5% GRADE) TO A POSITIVE OUTFALL.
- THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION, OR PROVIDE "AS-BUILT" CERTIFICATION OR THE CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATION. THE "AS-BUILT" CERTIFICATION OR "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED, AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
- CONTRACTOR SHALL NOTIFY SUNSHINE ONE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770.
- ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION.
- NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT THE DESIGN ENGINEER BOTH PRIOR APPROVAL FROM AND THE ESCAMBIA COUNTY.
- RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORM WATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORM WATER DURING CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
- THE DEVELOPER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3434. AS-BUILT CERTIFICATION IS REQUIRED PRIOR REQUEST FOR FINAL INSPECTION/APPROVAL.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A UTILITY PERMIT FROM THE COUNTY ROAD AND BRIDGE DEPARTMENT PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES WITHIN THE COUNTY'S RIGHT OF WAY.
- THE CONTRACTOR IS TO PROVIDE IRRIGATION FOR ALL LANDSCAPE AREAS, INCLUDING PARKING ISLANDS AND LANDSCAPE BUFFERS.
- THIS PLAN DOES NOT INCLUDE ANY EXTERIOR LIGHTING. IF POLE LIGHTS ARE PLANNED, THEY MUST BE APPROVED BY THE PLANNING AND ZONING DEPARTMENT UNDER A SEPARATE PERMIT. A LIGHTING PLAN WITH FIXTURE CUT SHEETS AND PHOTOMETRIC PLAN WILL BE REQUIRED. LIGHTING SHALL BE INSTALLED AS NOT TO SHINE DIRECTLY ON ADJACENT PROPERTY, OR ON TO RIGHT-OF-WAY. LIGHTING SHALL AVOID ANNOYANCE FROM BRIGHTNESS AND REAR. ELECTRICAL AND INSTALLATION PERMITS MUST BE ACQUIRED FROM THE COUNTY BEFORE CONSTRUCTION OF ANY EXTERIOR LIGHTS.
- CONTRACTOR MUST INSTALL AN IRRIGATION SYSTEM TO PROVIDE WATER TO ALL LANDSCAPE MATERIALS THAT ARE INSTALLED.
- A SEPARATE PERMIT IS REQUIRED FOR ALL SIGNAGE.
- RIGHT-OF-WAY SHOULDER STABILIZATION SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST ADDITION).
- NO POLE LIGHTING IS TO BE INSTALLED WITHOUT REVIEW BY THE PLANNING AND ZONING DEPARTMENT.

**AREA NOTES: FIRST 2 TABLES ARE FOR THE COMPLETE SITE.**

**THE FOLLOWING 4 TABLES ARE SEPARATED BY BASIN.**

TOTAL SITE AREAS ~PRE-DEVELOPMENT		
TOTAL SITE ACREAGE (SF):	31,858	
TOTAL SITE ACREAGE (AC):	0.73	
DESCRIPTION	SF	%
TOTAL IMPERVIOUS AREA	16,136	50.6
EXISTING BUILDINGS	2,476	
EXISTING GRAVEL AREA	12,449	
EXISTING ASPHALT / CONCRETE AREA	1,211	
TOTAL PERVIOUS /LANDSCAPE AREA	15,722	49.4

TOTAL SITE AREAS ~ POST-DEVELOPMENT		
TOTAL SITE ACREAGE (SF):	31,858	
TOTAL SITE ACREAGE (AC):	0.73	
DESCRIPTION	SF	%
TOTAL IMPERVIOUS AREA	17,527	55.0
BUILDING AREA	6,418	
GRAVEL AREA	9,714	
ASPHALT / CONCRETE AREA	1,395	
TOTAL PERVIOUS / LANDSCAPE AREA	14,331	45.0

BASIN A ~ SITE AREAS ~PRE-DEVELOPMENT			
TOTAL SITE ACREAGE (SF):	14,507		
TOTAL SITE ACREAGE (AC):	0.33		
DESCRIPTION	SF	%	AC
TOTAL IMPERVIOUS AREA	14,282	98.4	0.328
EXISTING BUILDINGS	2,476		0.057
EXISTING GRAVEL AREA	10,595		0.243
EXISTING ASPHALT / CONCRETE AREA	1,211		0.028
TOTAL PERVIOUS /LANDSCAPE AREA	225	1.6	0.005

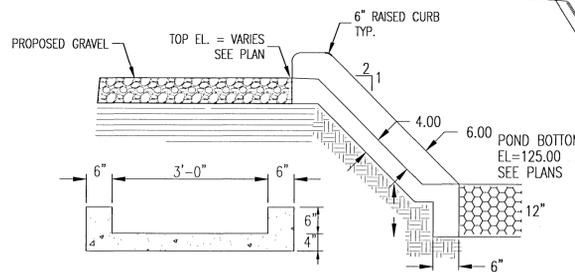
BASIN A ~ SITE AREAS ~ POST-DEVELOPMENT			
TOTAL SITE ACREAGE (SF):	14,507		
TOTAL SITE ACREAGE (AC):	0.33		
DESCRIPTION	SF	%	AC
TOTAL IMPERVIOUS AREA	7,970	54.9	0.183
BUILDING AREA	1,500		0.034
GRAVEL AREA	5,567		0.128
ASPHALT / CONCRETE AREA	903		0.021
TOTAL PERVIOUS / LANDSCAPE AREA	6,537	45.1	0.150

BASIN B ~ SITE AREAS ~PRE-DEVELOPMENT			
TOTAL SITE ACREAGE (SF):	17,351		
TOTAL SITE ACREAGE (AC):	0.40		
DESCRIPTION	SF	%	AC
TOTAL IMPERVIOUS AREA	2,428	14.0	0.056
EXISTING BUILDINGS	0		0.000
EXISTING GRAVEL AREA	1,217		0.028
EXISTING ASPHALT / CONCRETE AREA	1,211		0.028
TOTAL PERVIOUS /LANDSCAPE AREA	14,923	86.0	0.343

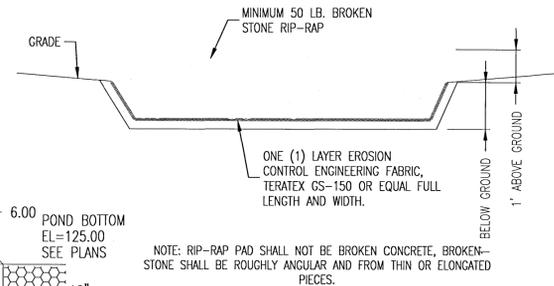
BASIN B ~ SITE AREAS ~ POST-DEVELOPMENT			
TOTAL SITE ACREAGE (SF):	17,351		
TOTAL SITE ACREAGE (AC):	0.40		
DESCRIPTION	SF	%	AC
TOTAL IMPERVIOUS AREA	9,557	55.1	0.219
BUILDING AREA	4,918		0.113
GRAVEL AREA	4,147		0.095
ASPHALT / CONCRETE AREA	492		0.011
TOTAL PERVIOUS / LANDSCAPE AREA	7,794	44.9	0.179

**GRADING NOTES CON'T:**

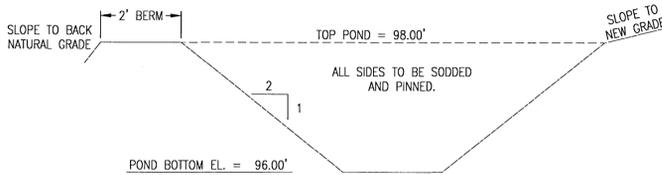
- ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL AS-BUILT SIGN OFF FROM THE COUNTY.
- THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHTS-OF-WAY.



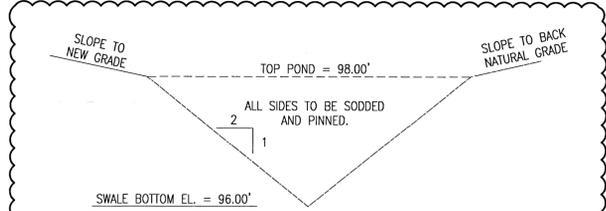
**CONCRETE FLUME DETAIL**



**RIP-RAP PAD DETAIL**

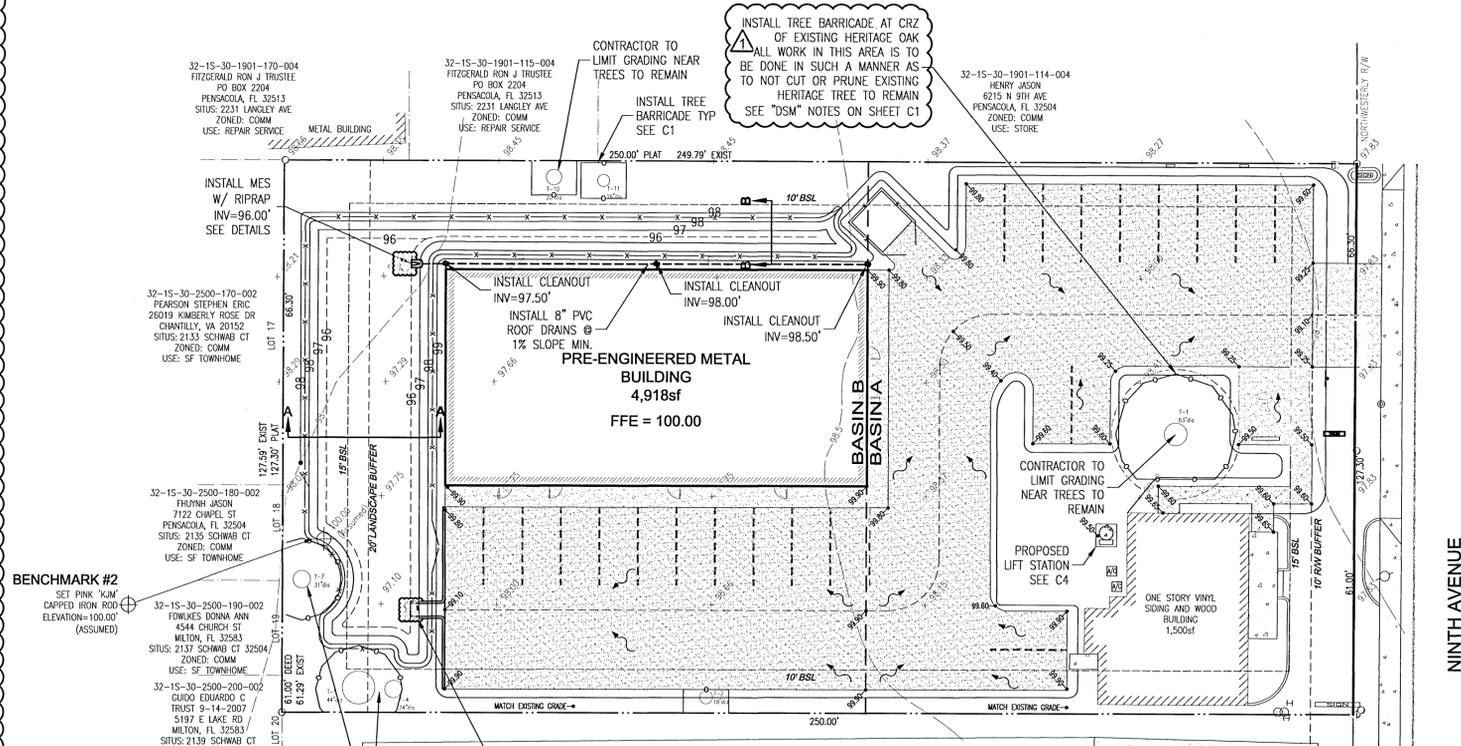


**POND CROSS-SECTION A-A**



**SHALLOW SWALE CROSS-SECTION B-B**

**CONTRACTOR TO REVIEW DSM CHAPTER 2 IN ITS ENTIRETY PRIOR TO CONDUCTING ANY DEMOLITION OR GRADING WORK DIRECTLY ADJACENT TO OR WITHIN THE VICINITY OF THE HERITAGE OAK TREE TO REMAIN ON SITE. SEE NOTES PROVIDED ON SHEET C1.**



**NOTE:** CONTRACTOR TO MATCH EXISTING ELEVATIONS IN THE AREAS SHOWN TO NOT BE GRADED. IF NEW CONTOURS/SPOTS ARE NOT SHOWN, NO GRADING IN THE AREA IS PLANNED.

**NOTE:** THERE WILL BE NO NEGATIVE IMPACTS TO ADJACENT PROPERTIES SINCE THE PROPOSED DRAINAGE SYSTEM HAS BEEN DESIGNED TO ACCOMMODATE ALL PROPOSED SITE IMPROVEMENTS FOR THE PARCEL(S) IN ACCORDANCE WITH ALL REGULATIONS SET FORTH.

**WELLHEAD PROTECTION NOTE:**  
THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOURS OF PROTECTED (POTABLE) WELLHEADS. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ECUA-EMERALD COAST UTILITIES AUTHORITY (850) 476-5110 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 595-6712) AGENCIES.

**BENCHMARK DATA:**

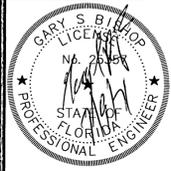
BM-1	CAPPED IRON ROD
EL=	100.00' (ASSUMED)

**LAND CLEARING NOTE:**  
ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, & ANY OTHER "LAND DISTURBING ACTIVITIES" SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.

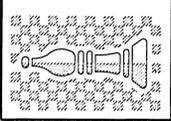
A UTILITY PERMIT FROM THE ESCAMBIA COUNTY ROAD AND BRIDGE DEPT WILL BE REQUIRED FOR OFFSITE WORK WITHIN THE PUBLIC RIGHT OF WAY.

**GRADING PLAN**

NO.	DATE	REVISIONS
1	05-03-2021	ESCAMBIA COUNTY EST/ST/ COMMENTS

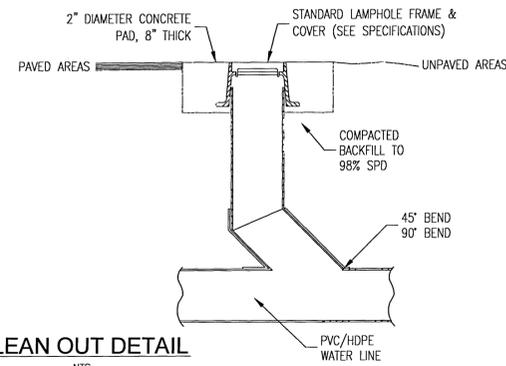
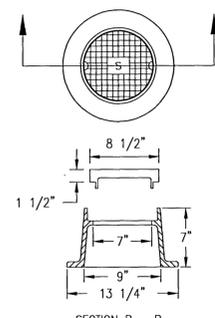
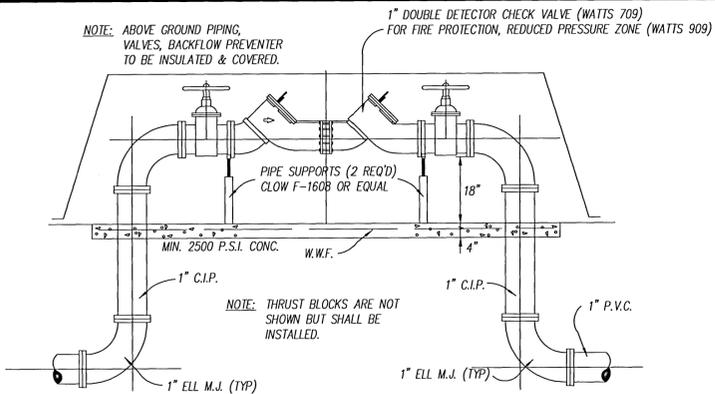
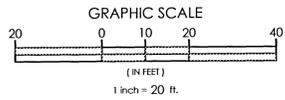
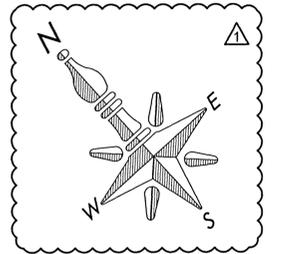


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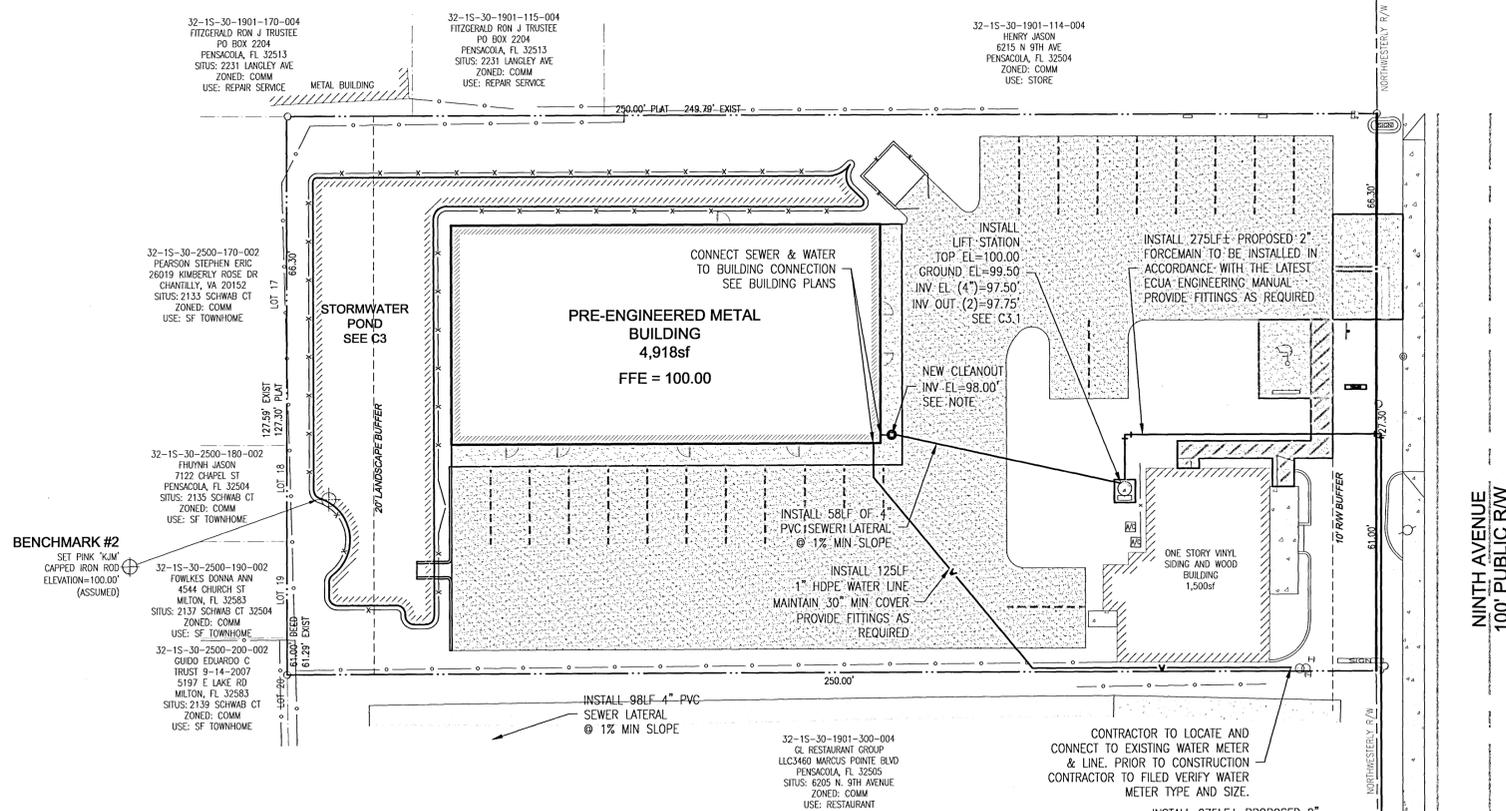


**COASTAL SUNRISE ANIMAL HOSPITAL**  
6209 NORTH 9TH AVENUE  
PENSACOLA, FL 32504

PROJECT NO:	2021 CSAC_SITE
FILE NO:	C3
SHEET NO:	C3



- UTILITY NOTES:**
- CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION COMMENCEMENT AND TO DETERMINE IF OTHER UTILITIES WILL BE IMPACTED DURING THE COURSE OF THE WORK. IT IS CONTRACTORS RESPONSIBILITY TO REPORT ANY POTENTIAL CONFLICTS NOT NOTED WITHIN THESE PLANS TO THE ENGINEER OF RECORD (EOR) & ECUA AND TO PROTECT ANY EXISTING UTILITIES IMPACTED BY THIS CONSTRUCTION.
  - THE CONTRACTOR SHALL COORDINATE WITH ECUA, GULF POWER, OR ANY OTHER UTILITY COMPANIES HAVING JURISDICTION FOR REMOVAL/RELOCATION AND/OR PROTECTION OF EXISTING UTILITY POLES, AERIAL LINES, FIRE HYDRANTS, AND OTHER UTILITIES AS NECESSARY TO COMPLETE CONSTRUCTION.
  - THE TOP OF ALL CLEANOUTS SHALL BE FLUSH WITH THE PAVEMENT OR, WHEN NOT IN THE PAVEMENT, FLUSH WITH THE FINISH GRADE. CONNECTION POINTS FOR UTILITIES SHALL BE CLEARLY MARKED FOR FUTURE BUILDING CONNECTION. COORDINATE WITH THE PLUMBING CONTRACTOR.
  - ADEQUATE PROVISIONS SHALL BE MADE FOR THE FLOW OF SEWERS, DRAINS AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
  - THE CONTRACTOR SHALL NOTIFY ECUA AT LEAST 48 HOURS PRIOR TO CONNECTION OF PROPOSED FACILITIES TO EXISTING ECUA FACILITIES. ECUA PERSONNEL SHALL BE PRESENT FOR ALL TAPS.
  - THE CONTRACTOR IS TO RESTORE ALL DISTURBED RIGHTS-OF-WAY IN ACCORDANCE WITH ESCAMBA COUNTY COUNTY, FOOT AND ECUA CONSTRUCTION GUIDELINES.
  - THE CONTRACTOR SHALL COORDINATE WITH THE PLUMBING CONTRACTOR FOR BUILDING UTILITY CONNECTIONS.
  - ANY REMOVAL OR RELOCATION OF UTILITIES MUST BE APPROVED IN WRITING PRIOR TO THE WORK BEING DONE.
  - NO SITE WORK ACTIVITIES SHALL TAKE PLACE WITHOUT THE ESCAMBA COUNTY SITE REVIEW/APPROVAL OF PROPOSED EROSION CONTROL MEASURES. ADVANCED NOTIFICATION OF THE REQUESTED INSPECTION IS REQUIRED.
  - ALL ONSITE WATER AND SEWER FACILITIES SHALL BE PRIVATELY OWNED, OPERATED, AND MAINTAINED.
  - THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTMENT OF EXISTING UTILITIES IF PROPOSED IMPROVEMENTS IMPACT EXISTING UTILITIES.
  - CONTRACTOR SHALL HAVE AT LEAST ONE SET OF PLANS APPROVED BY ECUA ON THE JOB SITE AT ALL TIMES.
  - SUBMITTALS ON ALL MATERIALS LOCATED IN THE RIGHT-OF-WAY SHALL BE SUBMITTED TO ECUA FOR APPROVAL PRIOR TO CONSTRUCTION.
  - A UTILITY PERMIT FROM THE COUNTY ROAD & BRIDGE DEPARTMENT IS REQUIRED BEFORE COMMENCING WORK IN A COUNTY R/W.



**NOTE: CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES IN THE RIGHT OF WAY PRIOR TO ANY CONSTRUCTION ACTIVITIES**

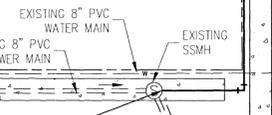
**BENCHMARK DATA:**

BM-1	CAPPED IRON ROD
EL=	100.00' (ASSUMED)

**SOD/SEED NOTE:**  
AT COMPLETION OF CONSTRUCTION, ALL EXPOSED DIRT SHALL BE STABILIZED WITH SOD, HYDRO-SEED, OR HAY/SEED. ONLY BAHIA SOD ALLOWED IN COUNTY RIGHT-OF-WAY.

**LAND CLEARING NOTE:**  
ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, & ANY OTHER "LAND DISTURBING ACTIVITIES" SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.

**WELLHEAD PROTECTION NOTE:**  
THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOURS OF PROTECTED (POTABLE) WELLHEADS. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ECUA-EMERALD COAST UTILITIES AUTHORITY (850) 476-5110 AND ESCAMBA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 595-6712) AGENCIES.



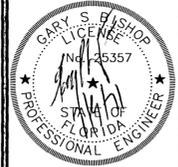
- CONNECTION NOTES:**
- CONNECTION TO BE MADE WITH ECUA PERSONNEL ON SITE.
  - CONTRACTOR TO CONTACT ECUA PERSONNEL 72 HOURS PRIOR TO CONNECTION BEING MADE,
  - CONNECTION TO EXISTING MANHOLE TO BE DONE ACCORDING TO LATEST EDITION OF THE ECUA ENGINEERING MANUAL & AS SHOWN ON ECUA DETAIL D-21

**SCHWAB ROAD**  
66' R/W ~ PUBLIC

**NINTH AVENUE**  
100' PUBLIC R/W

**NINTH AVENUE**  
100' PUBLIC R/W

EXISTING 6" WATER MAIN  
EXISTING HYDRANT W/ IN 500LF OF NEW BUILDING



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**COASTAL SUNRISE ANIMAL HOSPITAL**  
6209 NORTH 9TH AVENUE  
PENSACOLA, FL 32504

REVISIONS

NO.	DATE	DESCRIPTION
1	03-03-2021	

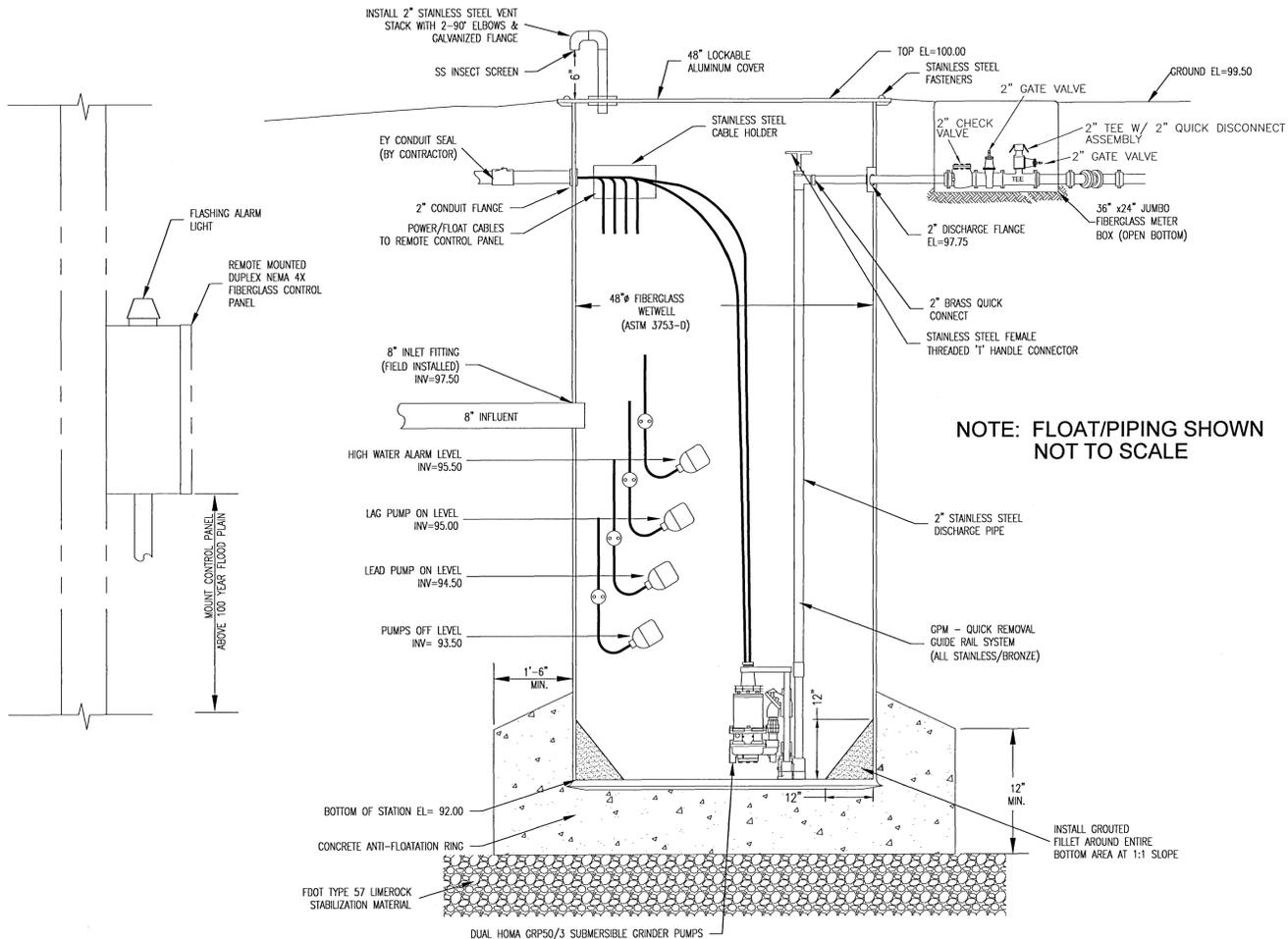
DESIGNED BY: GSB  
CHECKED BY: GSB  
DATE: MAY 11, 2021  
SCALE: AS NOTED

PROJECT NO:  
FILE NO: 2021 CSC\_SIE

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**LIFT STATION AND GENERAL UTILITY NOTES:**

1. THE LOCATION OF THE INFLUENT LINES, OVERFLOW CONTROL LINES, WATER SUPPLY, ETC., ARE DRAWN OUT OF ORIENTATION ON SECTIONAL VIEW. SEE PLAN VIEW FOR ORIENTATION.
2. ALL BREAKS IN WET WELL WALL FOR PIPING, ELECTRICAL, ETC. SHALL BE SEALED & SLEEVED AS NOTED.
3. TO PROTECT STANDPIPE FROM SWAY BRACE, EITHER WRAP PIPE WITH RUBBER OR INSERT ALL U-BOLTS THROUGH RUBBER HOSE.
4. PVC FORCE MAIN TO MEET ASTM D-2241, SDR 26 BELL TYPE JOINTS WITH RING TYPE NEOPRENE GASKETS. FORCE MAIN TO BE TESTED TO AWWA PRESSURE TESTING STANDARDS.
5. THE LIFT STATION SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE MANUFACTURER TO HAVE A REPRESENTATIVE ONSITE DURING INSTALLATION.
6. THE LIFT STATION SHALL HAVE A LIGHTNING ARRESTER INSTALLED BETWEEN EACH INCOMING POWER PHASE & GROUND.
7. THE LIFT STATION SHALL BE EQUIPPED WITH A RISER, GATE VALVE, QUICK-COUPLING & CAP FOR STANDBY PUMPING CAPABILITIES.
8. ALL ELECTRICAL EQUIPMENT SHALL BE MANUFACTURED & INSTALLED IN ACCORDANCE WITH NEMA REQUIREMENTS & LOCAL LAWS.
9. FLOATS SHALL BE MERCURY FREE.
10. LIFT STATION AND FORCE MAIN TO BE INSTALLED IN ACCORDANCE WITH ALL LOCAL AND STATE PLUMBING CODE BY A LICENSED PLUMBER. ALL WORK IN FDOT RIGHT OF WAY SHALL BE PERFORMED BY A CERTIFIED UNDERGROUND UTILITY CONTRACTOR AND SHALL BE INSTALLED TO LOCAL UTILITY PROVIDER STANDARDS.
11. CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR THE LAYOUT OF THE LIFT STATION, GRAVITY SEWER, AND FORCE MAIN. ANY DEVIATION FROM THE PRESCRIBED ALIGNMENT NECESSARY TO AVOID CONFLICTS SHALL NOT BE PERMITTED WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.
12. INSTALLATION SHALL BE IN COMPLIANCE WITH THE LATEST EDITION OF THE FLORIDA PLUMBING CODE.
13. PVC FORCE MAIN PIPE SHALL BE DR25 PER AWWA C900 OR SDR26 PER ASTM D2241 AND COLORED GREEN WITH 12 GREEN INSULATED TRACER WIRE, UNLESS OTHERWISE NOTED.
14. FORCE MAIN SHALL BE PRESSURE TESTED TO 100 PSI PRIOR TO CONNECTING TO EXISTING SYSTEM.
15. THE CONTRACTOR WILL USE RESTRAINING DEVICES AT ALL MECHANICAL JOINTS INCLUDING FITTINGS, VALVES OR DEAD ENDS. IN-LINE VALVES SHALL BE RESTRAINED AT THE VALVE BODY ONLY. OTHER FITTINGS OR DEAD ENDS SHALL RECEIVE ADDITIONAL RESTRAINT AT ADJACENT PIPE JOINTS, IN BOTH DIRECTIONS, IN ACCORDANCE WITH THE PIPE JOINT RESTRAINT TABULATION IN THE PLANS. ALL RESTRAINT COST WILL BE INCLUDED IN THE UNIT PRICE PER FOOT OF THE PIPE.
16. A MINIMUM SEPARATION OF 10 FEET HORIZONTALLY OR 18 INCHES VERTICALLY MUST BE MAINTAINED BETWEEN WATER AND SEWER LINES. IF THIS SEPARATION IS NOT POSSIBLE, REFER TO THE SEPARATION/CONFLICT DETAIL.
17. THE UTILITY CONTRACTOR SHALL PROVIDE "AS-BUILT" DRAWINGS OF THE SAME SCALE AS THESE CONTRACT DRAWINGS, ONE COPY TO THE ENGINEER AND ONE COPY TO THE LOCAL UTILITIES AUTHORITIES. THESE DRAWINGS SHALL LOCATE ALL SEWER APPURTENANCES CONSTRUCTED AS PART OF THIS PROJECT. FINAL "AS-BUILT" DRAWINGS TO BE SUBMITTED TO THE ENGINEER WITHIN 30 DAYS AFTER SUBSTANTIAL COMPLETION OF WORK.
18. CONTRACTOR TO MAINTAIN ACCESS TO ALL PROPERTIES WITHIN PROJECT AREA AT ALL TIMES.
19. CONTRACTOR SHALL LOCATE, PROTECT AND SUPPORT ALL UTILITIES AND SERVICE LATERALS.
20. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH REQUIRED INSPECTIONS, BY COUNTY AND/OR UTILITY AUTHORITY, ASSOCIATED WITH UTILITY INSTALLATIONS.



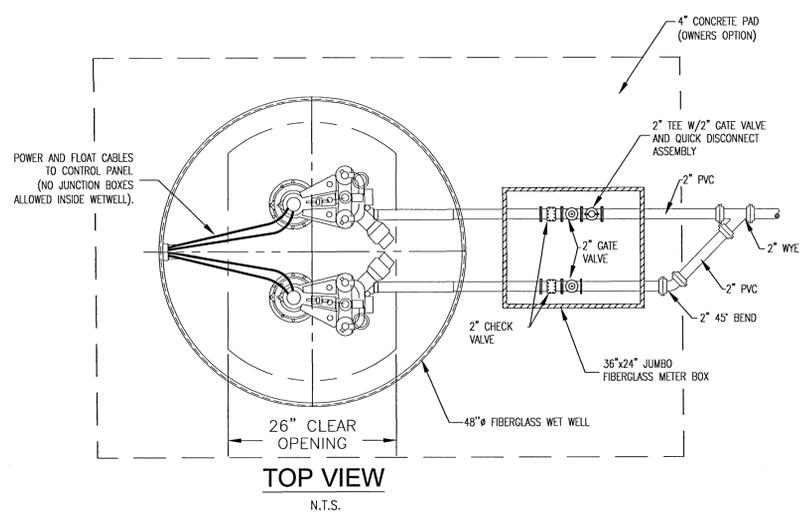
**48" DUPLEX GRINDER PUMP PACKAGE W/  
REMOTE MOUNTED CONTROL PANEL DETAIL**  
N.T.S.

**DESIGN DATA**

MANUFACTURER	HCP PUMPS OF AMERICA
TYPE PUMP	GRINDER
MODEL NUMBER	32GF22.2H
CAPACITY (GPM-TDH)	16 GPM @ 175' TDH
DISCHARGE PIPE SIZE	1-1/4"
HP.-RATED RPM	5HP/3440 RPM
VOLT/PHASE	230/3

**WETWELL DATA**

WET WELL DIAMETER	4'
WET WELL DEPTH	8.00'
INFLUENT DIA-EL (IN)	4"/97.50'
FORCE MAIN DIAMETER-EL (OUT)	2"/97.75'
BOTTOM OF STATION EL	92.00'
PUMPS OFF EL	93.50'
LEAD PUMP ON EL	94.50'
LAG PUMP ON EL	95.00'
HIGH WATER ALARM EL	95.50'
GROUND EL	99.50'
TOP EL	100.00'



**TOP VIEW**  
N.T.S.

**LIFTSTATION DETAILS**

REVISIONS

NO.	DATE	DESCRIPTION

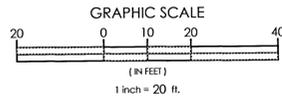
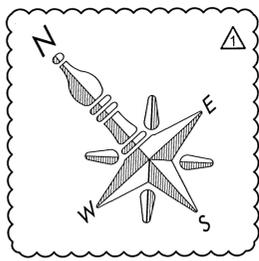
THIS DRAWING IS THE PROPERTY OF GARY S. BISHOP, P.E. AND IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

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PENSACOLA, FL 32504

DRAWN BY: CSL  
DESIGNED BY: GSB  
CHECKED BY: GSB  
DATE: MAY 11, 2021  
SCALE: AS NOTED

PROJECT NO:  
FILE NO: 2021 CSAC\_SIT  
SHEET NO: C4.1



**TREE LEGEND**

- DENOTES MITIGATION CANOPY TREE = PLANT 4 (CYPRESS OR APPROVED EQUAL)
- DENOTES MITIGATION CANOPY TREE = PLANT 4 (LIVE OAK OR APPROVED EQUAL)
- DENOTES CANOPY TREE = PLANT 4 (RIVER BIRCH OR APPROVED EQUAL)
- DENOTES UNDERSTORY TREE = PLANT 1 (DOGWOOD TREE OR APPROVED EQUAL)
- DENOTES UNDERSTORY TREE = PLANT 1 (FRINGE TREE OR APPROVED EQUAL)
- DENOTES SHRUB = PLANT 6 (BOTTLE BRUSH OR APPROVED EQUAL)
- DENOTES SHRUB = PLANT 7 (AZALEA OR APPROVED EQUAL)

**LANDSCAPE DIVERSITY:**  
 22 PROPOSED TREES TO BE PLANTED ON SITE AND WILL REQUIRE 40% DIVERSITY, AS DIRECTED BY THE ESCAMBIA COUNTY DESIGN STANDARDS MANUAL, CHAPTER 2, SECTION 2-61(C)2. SEE GENERAL NOTE 7.

LEADER HEIGHT MIN. 8'  
 LEADER SHALL BE UNDAUNTED AND HEALTHY

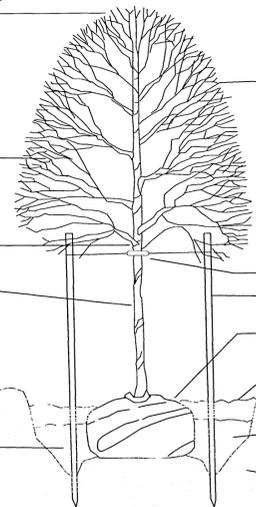
FULL BRANCHING. TREES GROWN TOO CLOSE TOGETHER IN THE NURSERY WILL BE REJECTED.

2" CALIPER MEASURED AT 4 1/2' ABOVE FINISHED GRADE.

TRUNK CLEARED OF LATERAL BRANCHES FROM FINISHED GRADE TO 5' ABOVE FINISHED GRADE.

SET CROWN OF ROOT BALL 1" ABOVE SURROUNDING FINISHED GRADE. BEFORE MULCHING 6" SAUCER.

PIT SHALL BE 2 TIMES THE ROOT BALL DIAMETER



ALL TREES TO BE FLORIDA ONE OR FLORIDA PRETTY ACCORDING TO "GRADES AND STANDARDS FOR NURSERY PLANTS" BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.

3/4" REINFORCED RUBBER HOSE

FOUR WOOD STAKES 3" MIN. DIA. NOTCHED FOR WIRE

LOOSEN BURRAP OR CUT WIRE BASKET

3" MULCH LAYER

PREPARED LOAM PLANTING SOIL. CONSTRUCTION BACKFILL IS NOT ACCEPTABLE. NO PARTICLES OVER 1" IN DIAMETER SHALL BE FOUND WITHIN THE SOIL MIXTURE.

EXISTING SOIL

**BENCHMARK #2**  
 SET PINK 3/4" DIA. CAPPED IRON ROD ELEVATION=100.00' (ASSUMED)

**LANDSCAPE NOTES:**

1. NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD HAPPEN UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
  2. STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
  3. NO PROTECTED TREES INDICATED FOR PRESERVATION SHALL BE REMOVED, DESTRUCTIVELY DAMAGED, MUTILATED, RELOCATED, DISFIGURED, DESTROYED, CUT DOWN OR EXCESSIVELY PRUNED.
  4. ROOT PRUNING SHALL OCCUR WHERE THE GRADE IS LOWERED OR INSTALLING BASE MATERIAL WITHIN DRIPLINE OF A PROTECTED TREE. THE CONTRACTOR SHALL SEVER THE ROOTS CLEANLY WITH A SHARP INSTRUMENT TO A DEPTH OF 18". ROOTS SHALL NOT BE TORN AS WITH THE USE OF A BACK HOE.
  5. AT COMPLETION OF CONSTRUCTION, ALL EXPOSED DIRT SHALL BE STABILIZED WITH SOD, A HAY/SEED MIX OR HYDROSEED.
  6. SOD SHALL BE WATERED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
  7. PLANTING DIVERSITY (PER DSM, CHAPTER 2, ARTICLE 2, SECTION 2-61(C)2).
- THE DIVERSITY OF ANY TREES REQUIRED TO BE PLANTED ON A SITE SHALL COMPLY WITH THE FOLLOWING LIMITS TO AVOID UNIFORM SITE TREE DECLINE FROM PESTS OR DISEASE:

**DIVERSITY TABLE**

# OF NEW TREES PLANTED ONSITE	MAX. % OF ANY ONE SPECIES
5-19	67%
20-49	40%
50+	30%

8. THE CONTRACTOR/OWNER SHOULD COORDINATE WITH THE PLANNING, ZONING & DEVELOPMENT DIVISION PRIOR TO PURCHASING OR INSTALLING LANDSCAPING TO DETERMINE CREDIT FOR EXISTING VEGETATION TO (PARTIALLY) MEET THE LANDSCAPING REQUIREMENTS SHOWN ON THIS PLAN.
9. ALL DISTURBED AREAS IN THE R/W SHALL BE REGRADED AND SODDED AND/OR SEED AND MULCHED. OTHER DISTURBED AREAS MAY BE REPAIRED BY SEEDING OR HYDROSEEDING. ALL SOD IN THE COUNTY R/W SHALL BE BAHIA.
10. ALL SITE FENCING SHALL BE INSTALLED FINISHED SIDE OUT TO CONFORM TO COUNTY FENCE INSTALLATION REQUIREMENTS.
11. ANY SPECIES SELECTED FOR TREE PLANTINGS DIFFERENT THAN THOSE INDICATED ON THIS PLAN, SHALL BE FROM THE "NATIVE TREES APPROPRIATE FOR ESCAMBIA COUNTY SITE DEVELOPMENT" FROM THE ESCAMBIA COUNTY'S DEVELOPMENT SERVICES DEPARTMENT. CHANGES MUST BE SUBMITTED TO THE EOR PRIOR TO INSTALLATION FOR APPROVAL. IN WRITING. NO MORE THAN 40% OF REQUIRED LANDSCAPING MATERIAL MAY BE OF THE SAME SPECIES.
12. REQUIRED (NATIVE) CANOPY TREES SHALL BE A MINIMUM 2.5" CALIPER AT TIME OF PLANTING.
13. MINIMUM TREE PLANTING SPACING IS 12 FEET O.C. W/ A 6 FOOT RADIUS (MIN) AREA FREE OF OBSTRUCTIONS.

**SITE CLEARING NOTES:**

1. REFER TO LDC STANDARDS FOR "LAND DISTURBANCE ACTIVITIES", & "TREE PROTECTED & PRESERVATION" FOR GUIDANCE. THE LAND SHALL REMAIN VEGETATED (TREES INCLUDED, NO FILL MATERIALS PLACED ONSITE OR GRADING, ETC.) UNTIL SUCH TIME AS BUILDING PERMITS ARE ISSUED FOR THE DEVELOPMENT, PER CODE.
2. ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, "LAND DISTURBING ACTIVITIES", ETC. SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PER CODE & PRIOR TO INITIATION OF SITE WORK.

**ESCAMBIA COUNTY TREE PLANTING DETAIL**  
 NOT TO SCALE

**TREE INVENTORY**

Tree #	Size	Type	Remove/Protect
T-1	63	TRPL LIVE OAK	PROTECT
T-2	18	OAK	PROTECT
T-3	16	WATER OAK	REMOVE
T-4	24	OAK	PROTECT
T-5	44	LIVE OAK	PROTECT
T-6	21	WATER OAK	REMOVE
T-7	32	LIVE OAK	PROTECT
T-8	21	WATER OAK	REMOVE
T-9	24	WATER OAK	REMOVE
T-10	20	OAK	PROTECT
T-11	16	OAK	PROTECT
T-12	30	LIVE OAK	REMOVE
T-13	33	PECAN	REMOVE
T-14	14	WATER OAK	REMOVE

**TREE TABLE NOTES:**

PROTECT: INDICATES TREE CONSIDERED PROTECTED BY THE LDC AND IS PROPOSED TO REMAIN ONSITE UPON DEVELOPMENT. CONTRACTOR SHALL INSTALL TREE BARRICADES PER TREE BARRICADE DETAIL IN THIS PLAN SET.

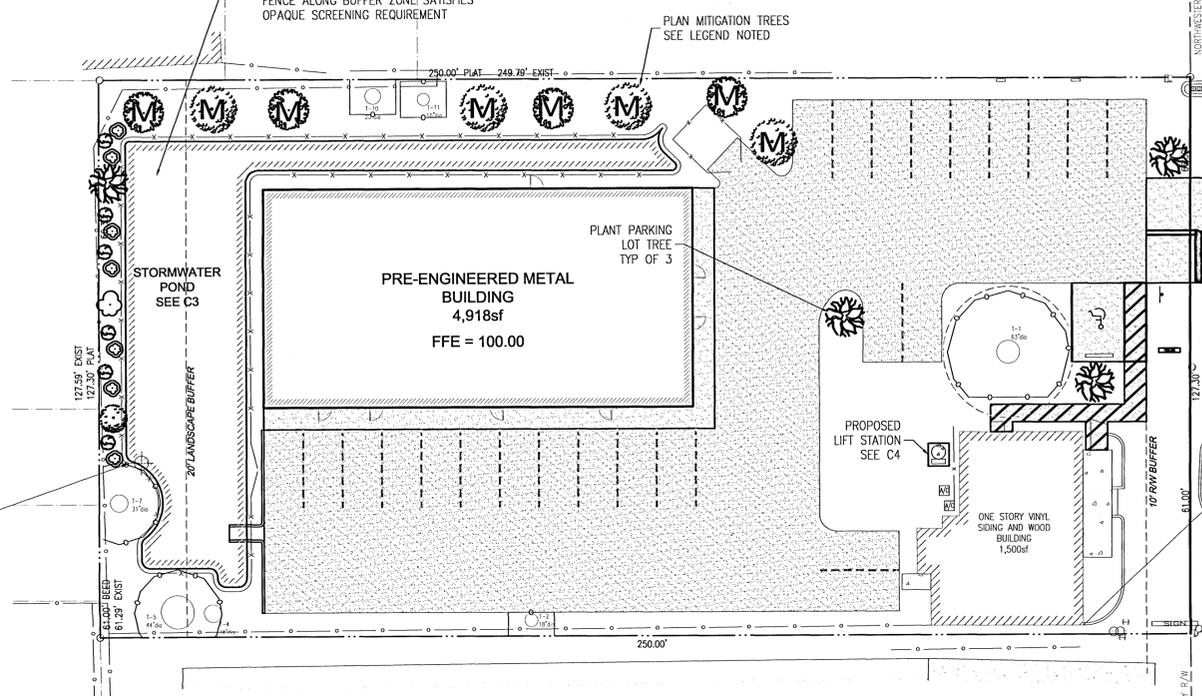
REMOVE: INDICATES TREE CONSIDERED PROTECTED BY THE LDC AND IS PROPOSED TO BE REMOVED UPON DEVELOPMENT & REQUIRES MITIGATION.

**MITIGATION REQUIREMENTS:**

TOTAL CALIPER OF PROTECTED TREE REMOVAL IS 159"  
 REPLACEMENT RATIO 50% OF INCHES = 159" X 0.5 = 80"  
 PER ESCAMBIA COUNTY LDC SECTION 2.5.2(C) MITIGATION PLANTINGS LIMITED TO 25" PER DEVELOPED ACRE  
 TOTAL DEVELOPMENT AREA 0.73 AC.  
 0.73 X 25" = 19" MITIGATION REQ'D  
 PLANTING OPTIONS:  
 2.5" TREES = 19" / 2.5" = 7.6 (8) MITIGATION TREES  
 REQUIRED W/ MIN 2.5" CALIPER

STANDARD TYPE "A" 20 FOOT WIDE LANDSCAPE BUFFER  
 127.59' BUFFER LENGTH  
 REQUIREMENTS PER 100 FEET:  
 PLANTING REQUIRED PER 100LF:  
 2 CANOPY TREES, 1 UNDERSTORY TREE, 10 SHRUBS  
 PLANTINGS PROPOSED:  
 127.59LF BUFFER = 1 CANOPY, 2 UNDERSTORY, 13 SHRUBS  
 (2 EXISTING TREES TO REMAIN)  
 EXISTING 6' HIGH WOOD PRIVACY FENCE ALONG BUFFER ZONE SATISFIES OPAQUE SCREENING REQUIREMENT

**WELLHEAD PROTECTION NOTE:**  
 THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOURS OF PROTECTED (POTABLE) WELLHEADS. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ESCAMBIA COUNTY UTILITIES AUTHORITY (850) 476-5110 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 595-6712) AGENCIES.



**BENCHMARK DATA:**

BM-1	CAPPED IRON ROD
EL=	100.00' (ASSUMED)

**TREE PROTECTION NOTE:**  
 ALL ADEQUATE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.

AT COMPLETION OF CONSTRUCTION, ALL EXPOSED DIRT SHALL BE STABILIZED WITH SOD, HYDRO-SEED, OR HAY/SEED. ONLY BAHIA SOD ALLOWED IN COUNTY RIGHT-OF-WAY.

REVISIONS

NO.	DATE	DESCRIPTION
1	03-03-2021	ESCAMBIA COUNTY REVIEW COMMENTS



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PROJECT NO: 2021 CSAC\_SHE

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SHEET NO: CS

**LANDSCAPE PLAN**