OWNER AND DEVELOPER

PALAFOX RIDGE LLC 7850 KIPLING STREET PENSACOLA, FL 32514 (850) 474-9055

SURVEYOR

PITTMAN GLAZE & ASSOCIATES, INC LAND SURVEYORS 5700 N. DAVIS HIGHWAY, SUITE 3 PENSACOLA, FL 32503 Phone: (850) 434-6666 Fax: (850) 434-6661 Email: pgasurvey@bellsouth.net

ENGINEER OF RECORD

DAVID W. FITZPATRICK, P.E, P.A. PROFESSIONAL ENGINEER 10250 NORTH PALAFOX STREET PENSACOLA, FLORIDA 32534 (850) 476-8677

GENERAL NOTES:

1. THE PROJECT ENGINEER (ENGINEER OF RECORD) MUST PROVIDE TO ESCAMBIA COUNTY AS-BUILT RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY 1 WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS, THE AS-BUILT CERTIFICATION OF THE AS-BUILT RECORD DRAWING MUST BE SIGNED, SEALED, AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.

2. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.

3. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORM WATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORM WATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS. 4. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR

SOD 5. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORM WATER TO RETENTION/DETENTION AREAS.

6. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO

REQUEST FOR INSPECTION. 7. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOWS AS-BUILT CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION. 8. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3472. AS BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.

9. NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W 1-800-432-4770.

10. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS AS PER ESCAMBIA COUNTY, FDOT SPECIFICATIONS SHALL BE COMPLETED PRIOR TO ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY. 11. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. AND DEVIATIONS MAY RESULT IN DELAY IN OBTAINING A CERTIFICATE OF OCCUPANCY. 12. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHT OF WAY.

13. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. 14. ALL NON-HANDICAP PARKING SPACE LINES ARE TO BE WHITE.

15. ALL BUILDINGS AND MAILBOXES SHOULD DISPLAY THE CORRECT STREET NUMBER. THIS NUMBER MUST BE AT LEAST 3 INCHES IN HEIGHT. PROPERLY DISPLAYING THE ADDRESS WILL ENABLE FIRE, POLICE, AND AMBULANCE PERSONNEL TO LOCATE THE BUILDING IN AN EMERGENCY. 16. DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF

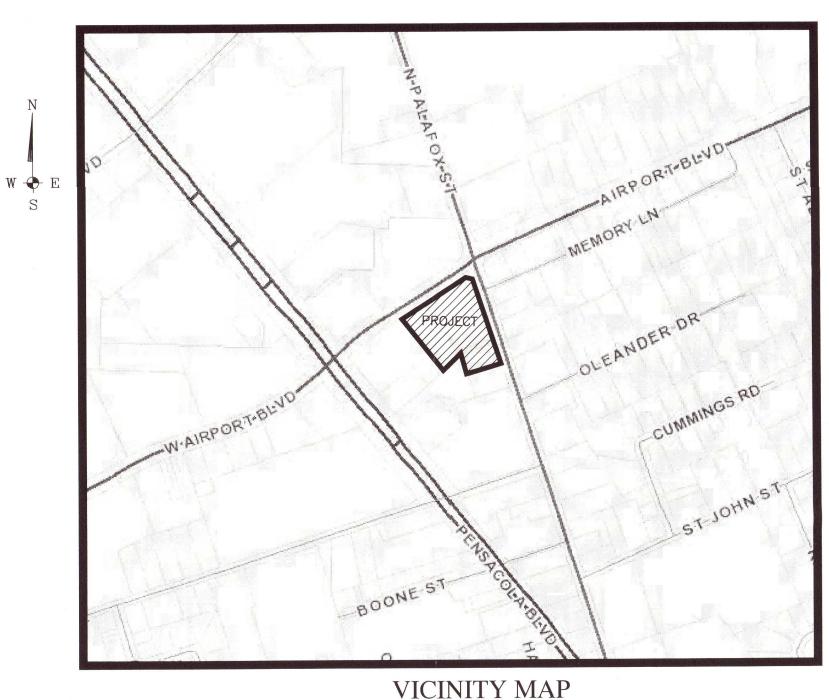
FROM THE COUNTY. 17. THE CONTRACTOR/OWNER IS TO ATTAIN THE NPDES NOTICE OF INTENT IF REQUIRED AND ENSURE THAT ALL EROSION CONTROL

MEASURES SHALL BE INSPECTED AFTER EACH 1/4" RAINFALL EVENT OR AT LEAST WEEKLY. IF AN NPDES PERMIT IS REQUIRED FOR THIS PROJECT, THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS; INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO FDEP. 18. CONTRACTOR IS RESPONSIBLE FOR SUBMITTING TO THE DISTRICT NOTICE OF CONSTRUCTION COMMENCEMENT CONTRACTOR IS TO CONTACT ENGINEER OF RECORD FOR APPROPRIATE CONSTRUCTION COMMENCEMENT FORM. ENGINEER OF RECORD IS RESPONSIBLE

FOR AS-BUILT CERTIFICATIONS FOR THE PROJECT WHEN COMPLETED. 19. ALL TREE REMOVE, LAND CLEARING, "LAND DISTURBANCE ACTIVITIES", PLACEMENT OF FILL MATERIALS, GRADING OF LAND, OTHER DEVELOPMENT ACTIVITIES, ETC. SHALL ONLY OCCUR AFTER ALL PROPER PERMITS &/OR APPROVALS ARE OBTAINED FROM ESCAMBIA COUNTY & ANY OTHER AGENCIES AS REQUIRED"

SITE CIVIL PLANS FOR The Ridge

SECTION 47, TOWNSHIP 1 SOUTH, RANGE 30 WEST ESCAMBIA COUNTY, FLORIDA JUNE 2021



(NOT TO SCALE)

INDEX OF DRAWINGS		
SHEET	DESCRIPTION	
1	COVER SHEET	
2	EXISTING CONDITIONS/DEMOLITION PLAN	
3	SITE PLAN	
4	FENCE PLAN	
5	LOT LINE SHIFT PLAN	
6	UTILITY PLAN	
7	DRAINAGE PLAN	
8	GRADING PLAN	
9	LANDSCAPE PLAN	
10	DRAINAGE DETAILS	

PROP. REF#: 47-1S-30-1101-002-072 47-1S-30-1101-000-072 47-1S-30-1101-001-072 ZONE: HC/LI FLU: C SURROUNDING ZONE: HC/LI FLU: C SITE ADDRESS: 6003 N. PALAFOX HWY PROPOSED USE: COMMERCIAL

LEGAL DESCRIPTION:

COMMENCE AT THE INTERSECTION OF THE EASTERLY RIGHT OF WAY LINE OF PENSACOLA BOULEVARD (U.S. HIGHWAY # 29, STATE ROAD #95, 200' R/W) AND THE SOUTHERLY RIGHT OF WAY LINE OF AIRPORT BOULEVARD (100' R/W), SAID POINT BEING ON A CURVE CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF 1860.00 FEET AND A DELTA ANGLE OF 08 DEGREES 45'45"; THENCE NORTHEASTERLY (THIS COURSE AND THE NEXT THREE COURSES ARE ALONG SAID SOUTHERLY RIGHT OF WAY LINE OF AIRPORT BOULEVARD) ALONG SAID CURVE FOR AN ARC DISTANCE OF 284.37 FEET (CHORD DISTANCE OF 284.09 FEET, CHORD BEARING OF NORTH 55 DEGREES 57'16" EAST) TO THE POINT OF REVERSE CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 2914.00 FEET AND DELTA ANGLE OF 01 DEGREES 37'36"; THENCE NORTHEASTERLY ALONG SAID CURVE FOR AN ARC DISTANCE OF 82.73 FEET (CHORD = 82.73 FEET, CHORD BEARING OF NORTH 59 DEGREES 22'35" EAST TO THE POINT OF BEGINNING.

THENCE CONTINUE NORTHEASTERLY ALONG SAID CURVE FOR AN ARC DISTANCE OF 267.25 FEET (CHORD = 267.16 FEET, CHORD BEARING = NORTH 56 DEGREES 04'55" EAST, DELTA ANGLE OF 05 DEGREES 15'17")(EXIST: ARC DISTANCE 267.06 FEET, CHORD = 266.97 FEET, CHORD BEARING = NORTH 56 DEGREES 04'55" EAST, DELTA ANGLE OF 05 DEGREES 15'04")TO THE POINT OF REVERSE CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE SOUTHEAST, HAVING A RADIUS OF 2814.00 FEET AND DELTA ANGLE OF 03 DEGREES 12'44"; THENCE NORTHEASTERLY ALONG SAID CURVE FOR AN ARC DISTANCE OF 157.76 FEET (CHORD = 157.74 FEET, CHORD BEARING = NORTH 55 DEGREES 03'38" EAST); THENCE SOUTH 72 DEGREES 30'28" EAST FOR A DISTANCE OF 31.54 FEET TO THE WESTERLY RIGHT OF WAY LINE OF OLD PALAFOX HIGHWAY (STATE ROAD #95A, R/W VARIES); THENCE SOUTH 18 DEGREES 22'47" EAST (THIS COURSE AND THE NEXT TWO ALONG SAID WESTERLY RIGHT OF WAY LINE) FOR A DISTANCE OF 40.00 FEET: THENCE NORTH 71 DEGREES 3713" EAST FOR A DISTANCE OF 8.00 FEET; THENCE SOUTH 18 DEGREES 22'47" EAST FOR A DISTANCE OF 465.85 FEET TO THE SOUTH LINE OF PARCEL DESCRIBED IN OFFICIAL RECORD BOOK 7645 AT PAGE 391 OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE SOUTH 72 DEGREES 03'03" WEST (SOUTH 72 DEGREES 01'45" WEST EXIST) ALONG SAID SOUTH LINE FOR A DISTANCE OF 193.00 FEET TO THE EAST LINE OF PARCEL DESCRIBED OFFICIAL RECORD BOOK 4608 AT PAGE 1151 OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE NORTH 18 DEGREES 26'57" WEST (NORTH 18 DEGREES 39'30" WEST EXIST) ALONG SAID EAST LINE FOR A DISTANCE OF 125.00 FEET (124.95 FEET EXIST) TO THE NORTH LINE OF SAID PARCEL DESCRIBED OFFICIAL RECORD BOOK 4608 AT PAGE 1151; THENCE SOUTH 35 DEGREES 19'35" WEST (SOUTH 35 DEGREES 17'52" WEST EXIST) ALONG SAID NORTHWEST LINE FOR A DISTANCE OF 140.27 FEET (140.39 FEET EXIST) TO THE EAST LINE OF PARCEL DESCRIBED IN OFFICIAL RECORD BOOK 4647 AT PAGE 1777 OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE NORTH 38 DEGREES 53'00" WEST (NORTH 38 DEGREES 43'42" WEST EXIST) ALONG SAID EAST LINE FOR A DISTANCE OF 389.12 FEET (388.97 FEET EXIST) TO THE POINT OF BEGINNING. CONTAINING 3.81 ACRES, MORE OR LESS, AND ALL LYING AND BEING IN SECTIONS 35 AND 37, TOWNSHIP 1 SOUTH, RANGE 30

WEST, ESCAMBIA COUNTY, FLORIDA.

	Approved ESCAMBIA-COUNTY DRC PLAN REVIEW
Printed	Name: <u>Son nile(Hampton</u> Date pment Services Director or Designee
applica way re from re obtaine of cons agency prior to provide	becument has been reviewed in accordance with the requirements of able Escambia County Regulations and Ordinances, and does not in any lieve the submitting Architect, Engineer, Surveyor or other signatory esponsibility of details as drawn. A Development Order (DO) must be ed through the Development Review Process prior to the commencement struction. This DO approval does not constitute approval by any other 4. All additional state/federal permits shall be provided to the county to approval of a final plat or the issuance of state/federal permits shall be ed to the county prior to approval of a final plat or the issuance of a mag permit.

PROJECT INFORMATION

FLOOD ZONE NOTE:

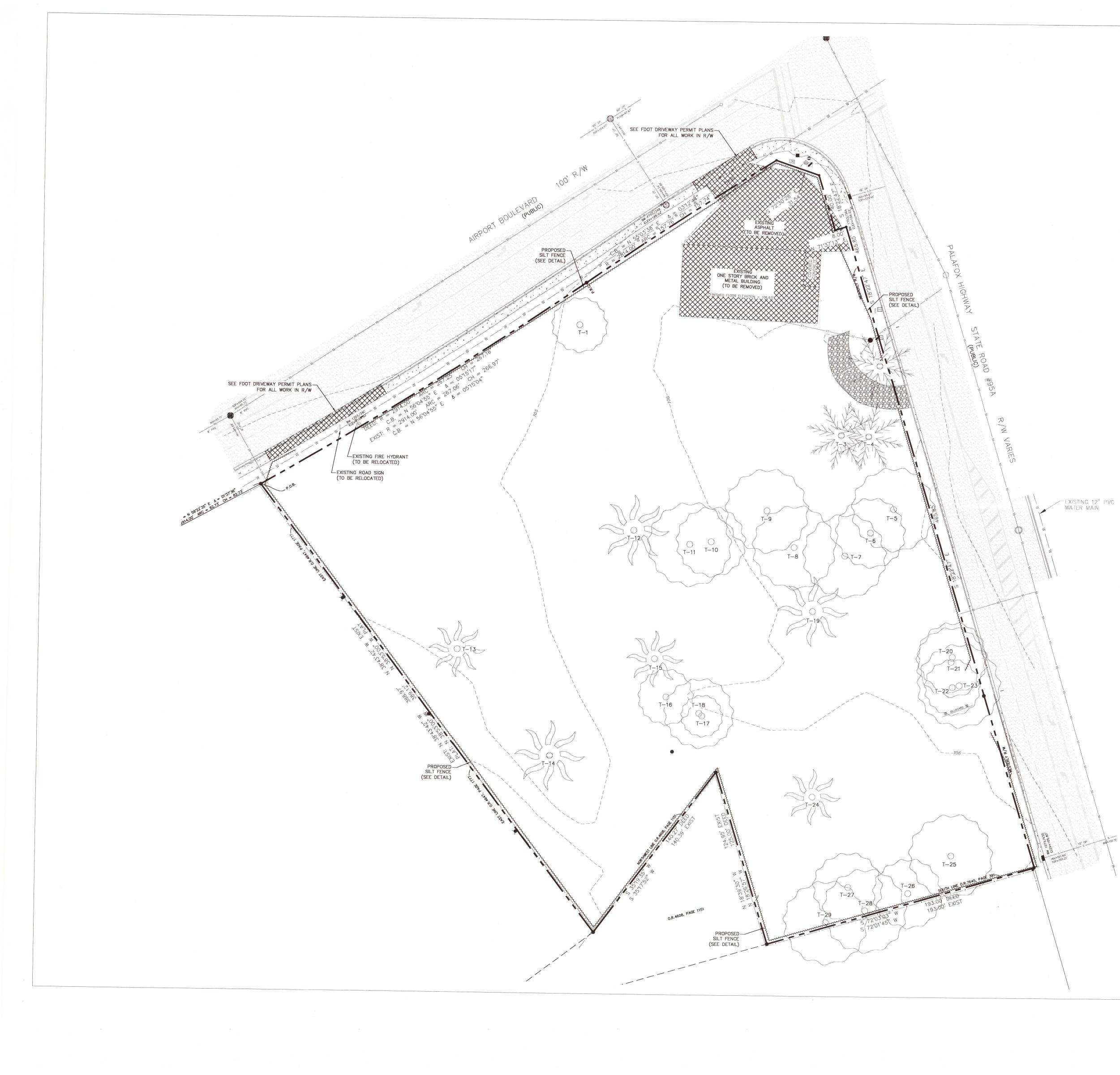
THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X. AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBER 12033C0380G. MAP REVISION DATED SEPTEMBER 29, 2006.

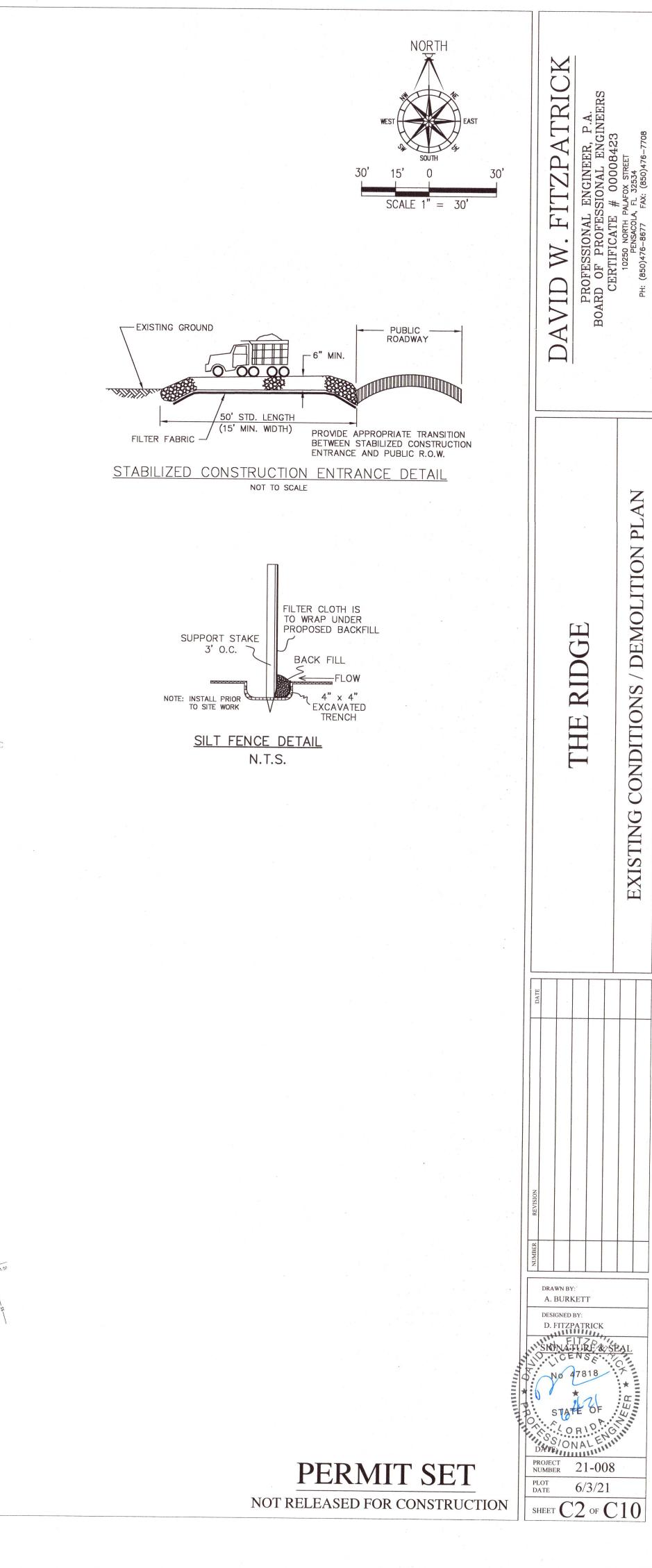


PLOT DATE: 6/3/21**PROJECT NO. 21-008**

NUMBER	REVISION	DATE

NOT RELEASED FOR CONSTRUCTION





PARKING CALCULATION: PARKING CALCULATIONS PER LDC:

4 HCAP SPACES PROVIDED.

PROPOSED 30" STOP SIGN-

W/ COMOUNTED R3-2

(NO LEFT TURN) SIGN

PROPOSED -

24" WHITE STOP BAR

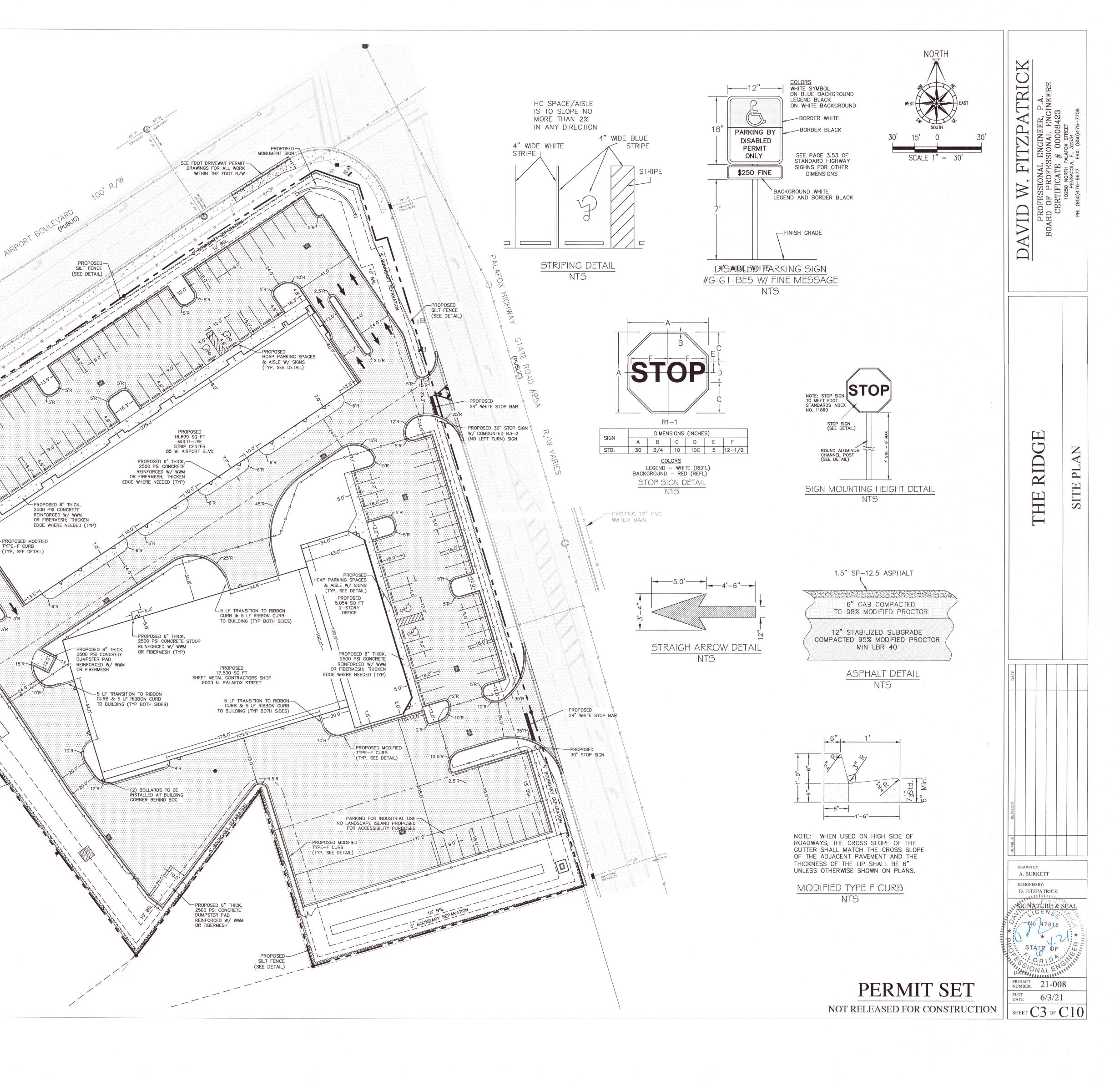
SEE FDOT DRIVEWAY PERMIT DRAWINGS FOR ALL WORK WITHIN THE FDOT R/W

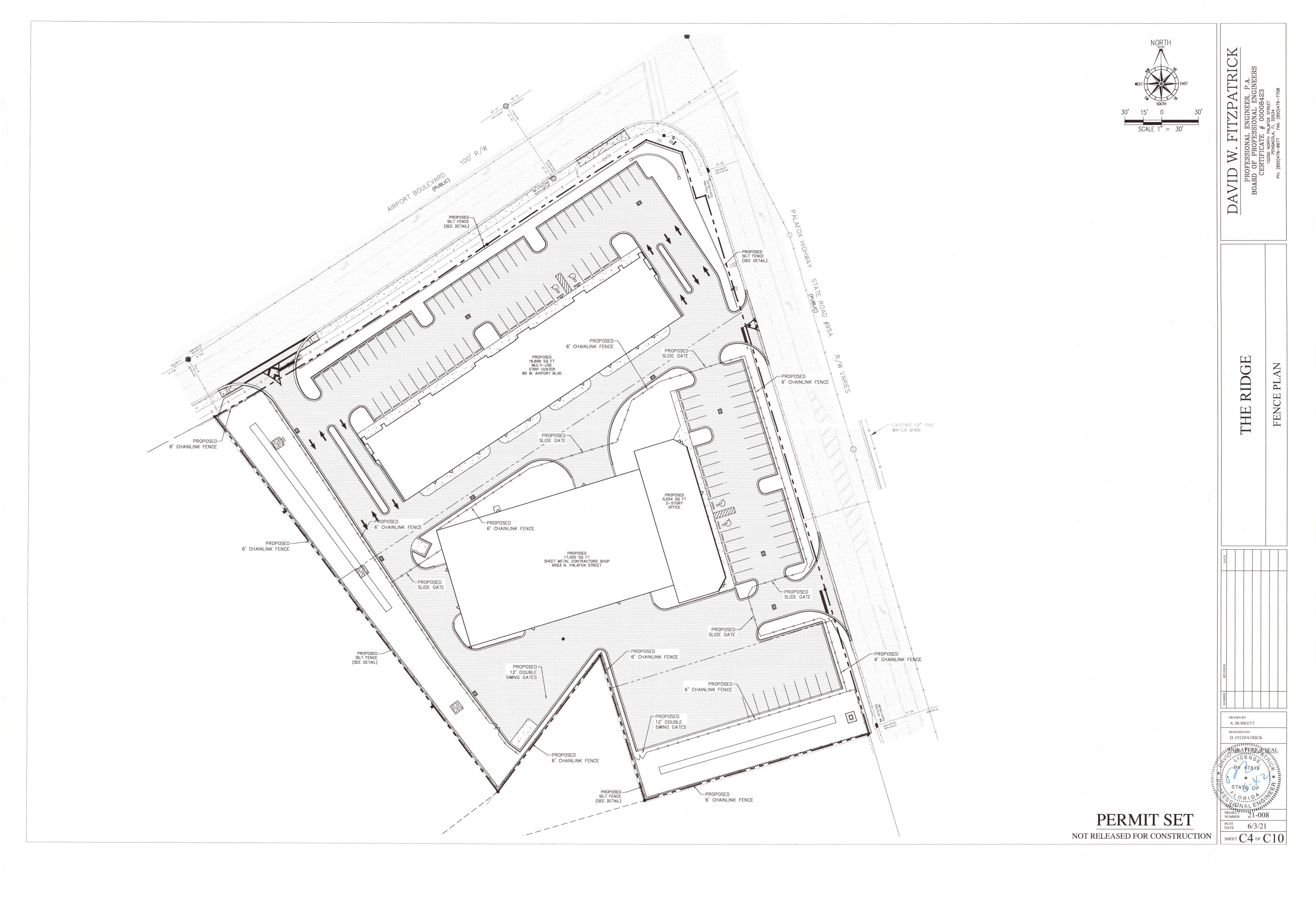
B' PVC

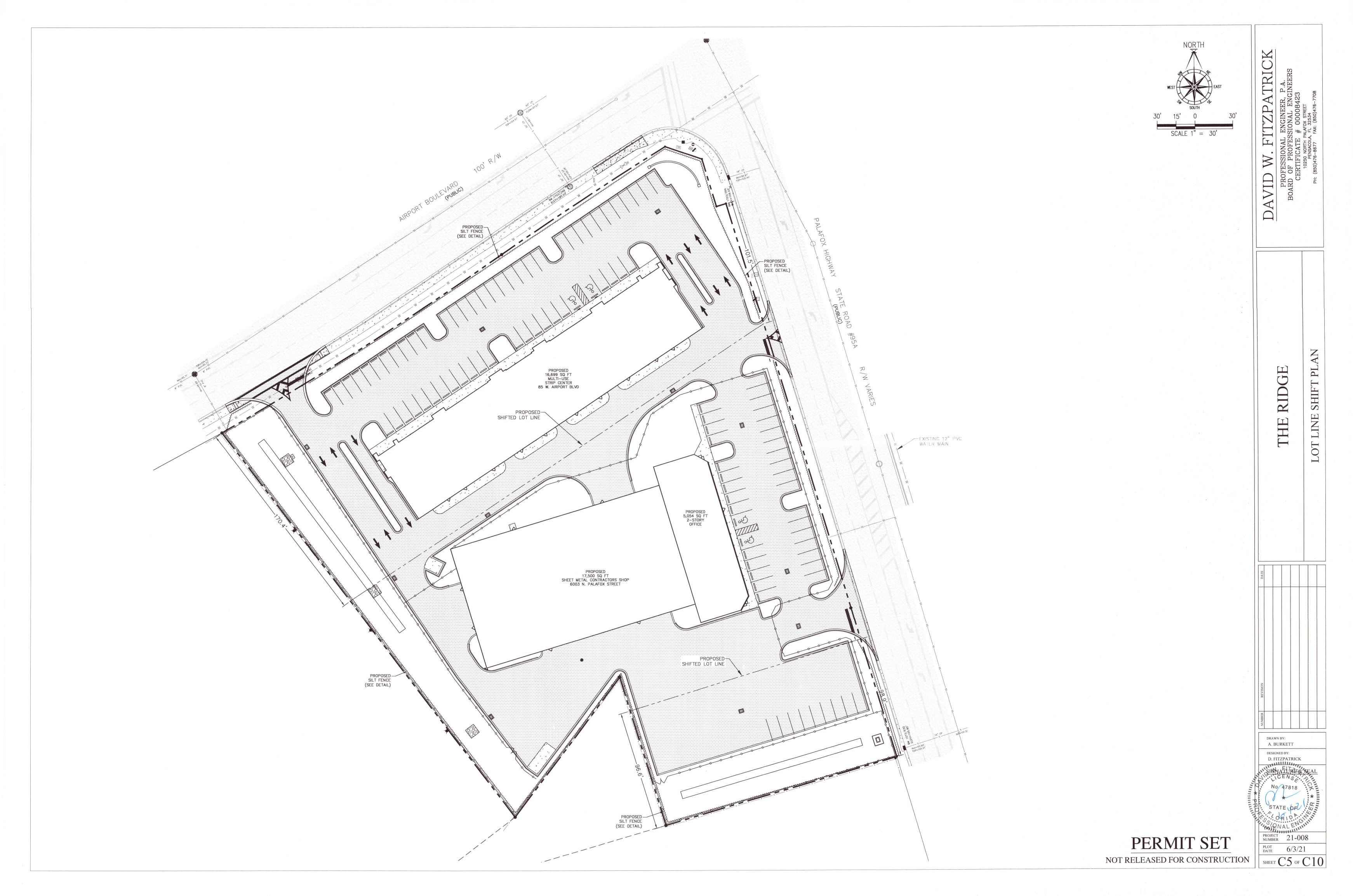
SHOPPING CENTER: 3 SPACES / 1,000 SQ FT (16,699/1,000) X 3 = 50.1 SPACES REQUIRED. MANUFACTURING: 1 SPACE / 1,000 SQ FT (17,500/1,000) X 1 = 17.5 SPACES REQUIRED. PROFESSIONAL SERVICE OFFICE: 3.5 SPACES / 1,000 SQ FT (9,251/1,000) X 3.5 = 32.4 SPACES REQUIRED. 100.0 SPACES REQUIRED. 100.0 SPACES REQUIRED. 100 SPACES PROVIDED. ADA PARKING CALCULATIONS 100 REQUIRED SPACES / 25 = 4 HCAP SPACES REQUIRED.

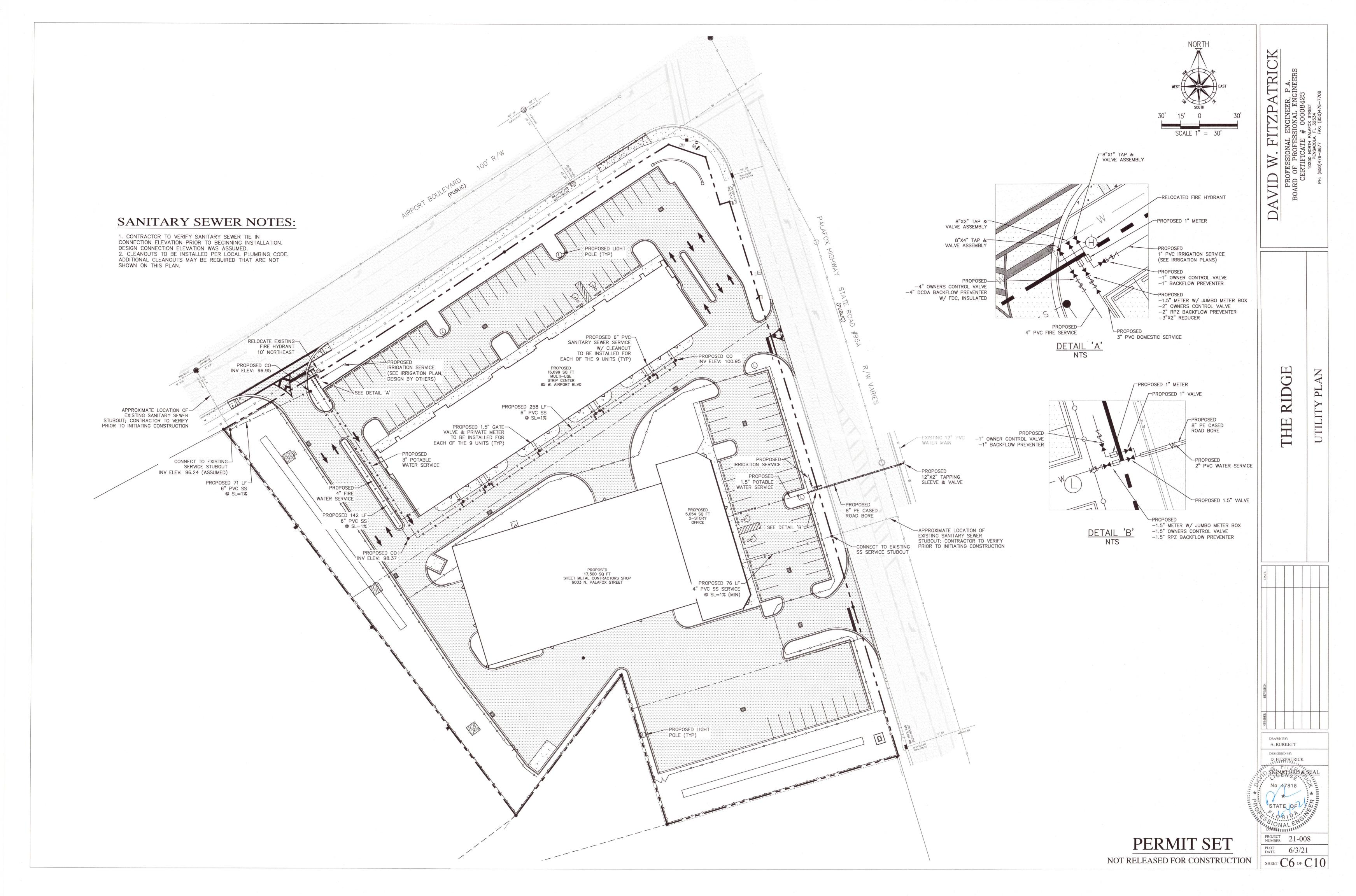
LOT COVERAGE		-	
TOTAL LAND AREA	166,174 SF	166,174 SF 3.81 ACRES	
		1	
EXISTING IMPERVIOUS	9,562 SF	5.8%	
EXISTING SEMI-IMPERVIOUS	1,156 SF	0.7%	
EXISTING PERVIOUS	155,456 SF	93.6%	
EXISTING IMP. TO BE REMOVED	9.562		
EXISTING SEMI-IMP. TO BE REMOVED	9,562 SF 1,156 SF		
	1,100		
PROPOSED PAVING/CONCRETE	84,114 SF		
PROPOSED BUILDINGS	39,253 SF		
PROPOSED SEMI-IMPERVIOUS	0 SF		
NEW + EXISTING IMPERVIOUS	123,367 SF	74.2%	
NEW + EXISTING SEMI-IMPERVIOUS	0 SF	0%	
REMAINING PERVIOUS	42,807 SF	25.8%	

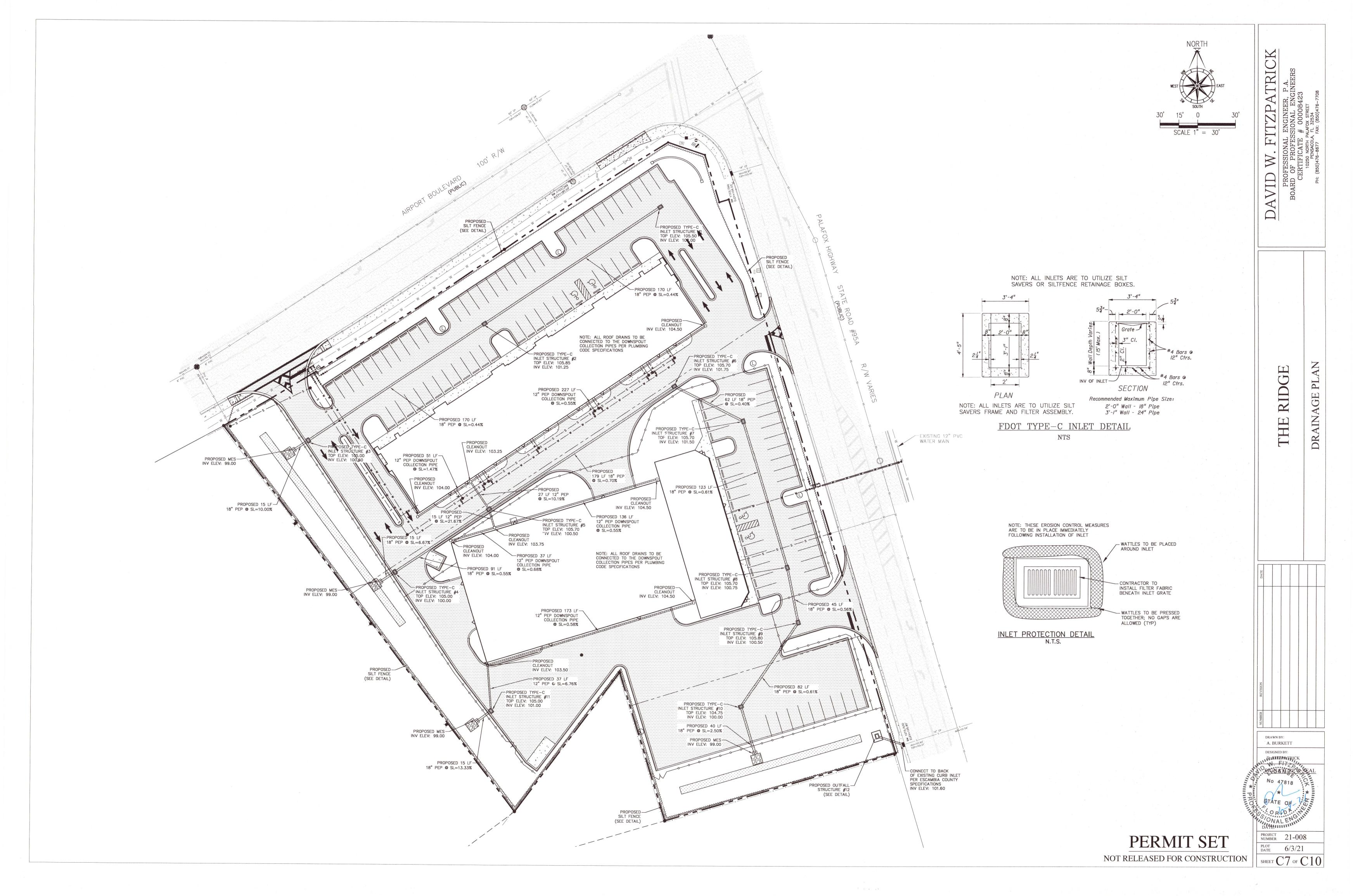
PROPOSED— SILT FENCE (SEE DETAIL)

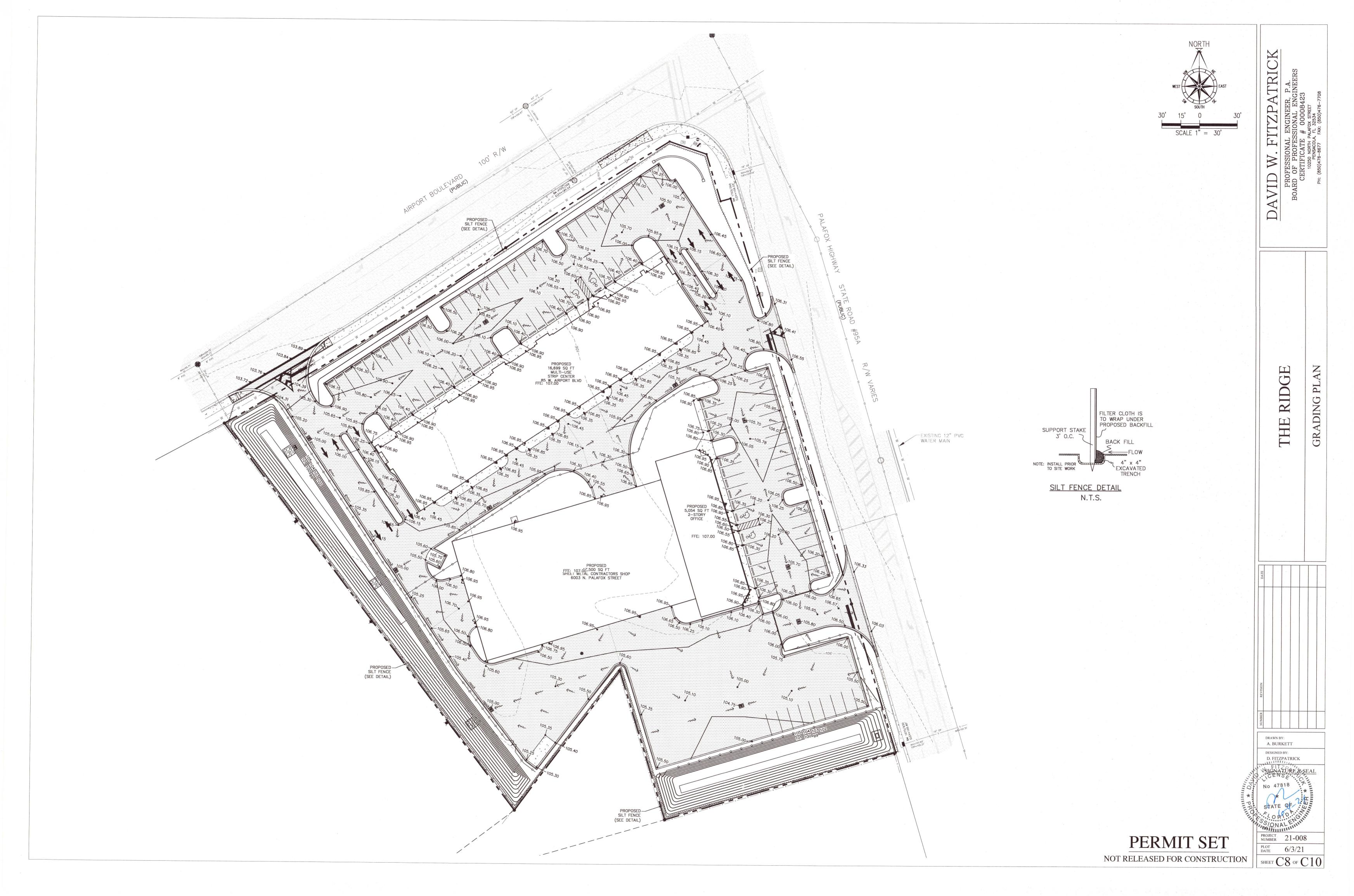


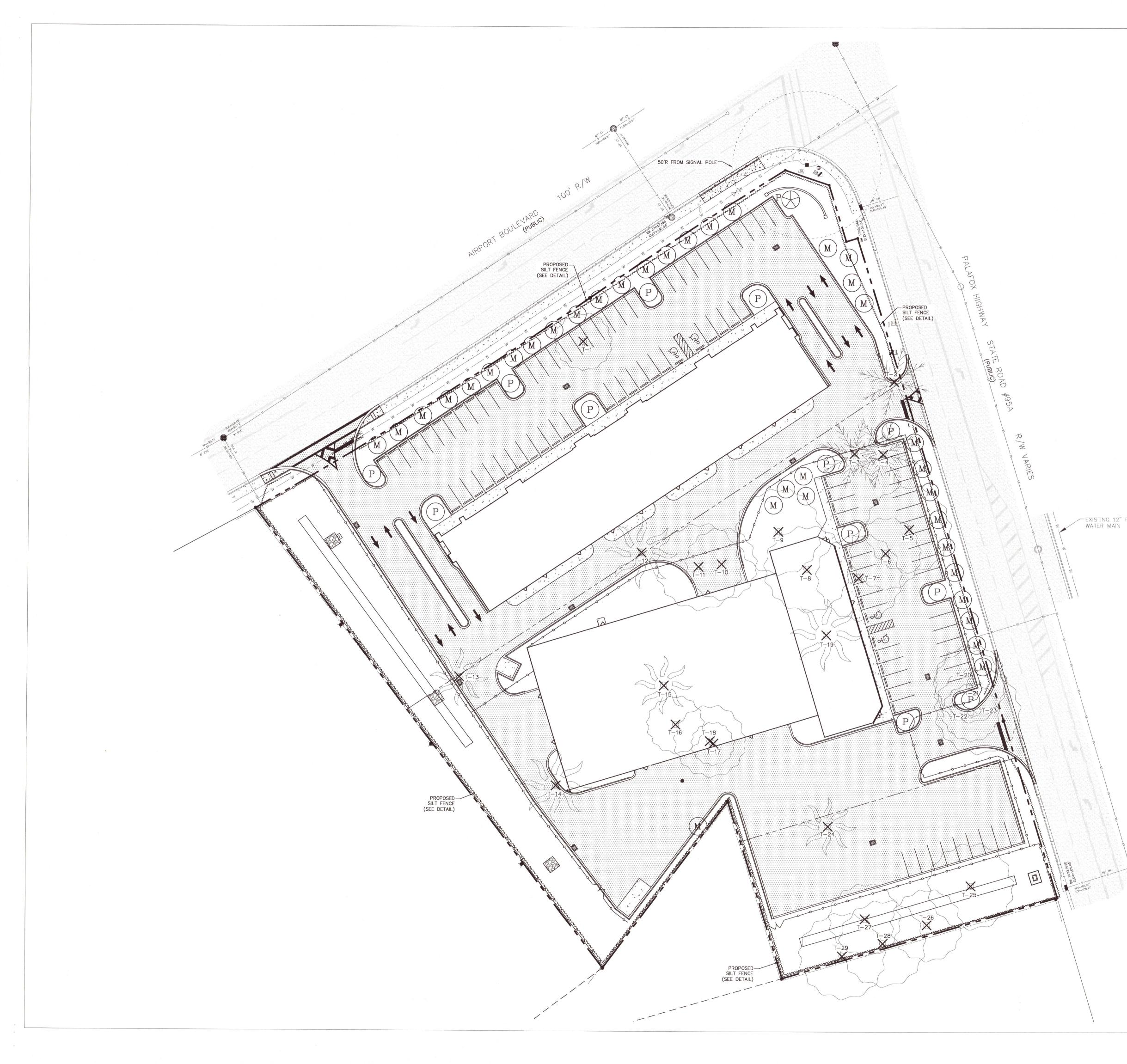


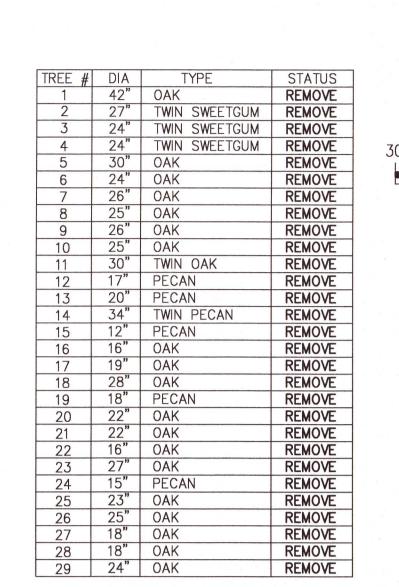












NORTH

SCALE 1'' = 30'

TREE MITIGATION CALCULATIONS: 677" OF PROTECTED TREES ARE TO BE REMOVED. HALF OF THE CALIPER INCHES REMOVED ARE REQUIRED TO BE REPLACED WITH A LIMIT OF 25" PER ACRE.

677"/2 = 338.5"3.81 ACRES x 25" = 96" LIMIT

THEREFORE, THE CONTRACTOR IS TO PLANT 96 CALIPER INCHES OF MITIGATION TREES THROUGHOUT THE SITE. (32) 3" CALIPER TREES HAVE BEEN SHOWN.

PARKING ROW TERMINATION PER LDC, ALL PARKING ROWS MUST TERMINIATED AT EACH END WITH A LANDSCAPE AREA WITH ONE PLANTED CANOPY TREE. WHERE CANOPY TREES ARE NOT ALLOWED DUE TO OVERHEAD UTILITY LINES, UNDERSTORY TREES WILL BE PLANTED.

13 CANOPY TREES (2.5" CALIPER) ARE PROPOSED.

REQUIRED TREE TYPE DIVERSITY THERE ARE A TOTAL OF 45 CANOPY TREES REQUIRED. PER LDC, ONLY 40% OF THESE CAN BE THE SAME SPECIES. (CHART FOR SUGGESTED SPECIES OPTIONS).

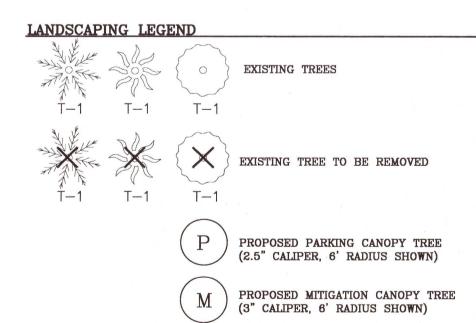
EXISTING 12" PVC

RECOMMENDED SPECIES FOR PLANTING					
INLAND LOCATIONS	UNDERSTORY TREES:				
CANOPY TREE:	RED BUCKEYE				
RED MAPLE	REDBUD				
RIVER BIRCH	FLOWERING DOGWOOD				
SWEETGUM	DAHOON HOLLY				
SOUTHERN MAGNOLIA	YAUPON HOLLY				
SWEETBAY	CRAB APPLE				
SYCAMORE	WAX MYRTLE				
LIVE OAK	SHRUBS				
BALD CYPRESS	AZALEA				

NOTE: CREPE MYRTLES DO NOT MEET COUNTY PLANTING REQUIREMENTS.

LANDSCAPE NOTES:

1. CALIPER INCHES LABELED ARE MEASURED 4' ABOVE GRADE. 2. ALL TREE REMOVAL, LAND CLEARING, "LAND DISTURBANCE ACTIVITIES", PLACEMENT OF FILL MATERIALS, GRADING OF LAND, OTHER DEVELOPMENT ACTIVITIES, ETC. SHALL ONLY OCCUR AFTER ALL PROPER PERMITS &/OR APPROVALS ARE OBTAINED FROM ESCAMBIA COUNTY & ANY OTHER AGENCIES AS REQUIRED" 3. TRANSFORMER PADS ARE NOT ALLOWED TO OCCUPY THE MINIMUM AREAS REQUIRED FOR PROPOSED TREES (6' RADIUS FOR CANOPY TREES, 4' RADIUS FOR UNDERSTORY TREES).



P PROPOSED PARKING UNDERSTORY TREE (2.5" CALIPER, 6' RADIUS SHOWN)

NOTE: TREE SPECIES ARE DESIGNATED BY THE NUMBER NEXT TO THE SYMBOL ON THE PLAN: 1: SOUTHERN MAGNOLIA 2: LIVE OAK 3: RIVER BIRCH

4: RED MAPLE

PERMIT SET NOT RELEASED FOR CONSTRUCTION

M C ATRI(IR, P.A. ENGINEERS ER,] ENGI 3423 ZP UZ FIT . PR \mathbb{M} D OF CERT VID DA Z IDGE V PL APE R ANDSC THE -DRAWN BY: A. BURKETT DESIGNED BY: D. FITZPATRICK SIGNATURE & SEAL PROJECT 21-008 PLOT 6/3/21 SHEET C9 of C10

