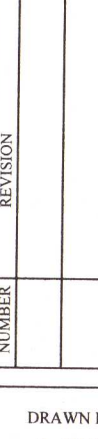


PERMIT SET
NOT RELEASED FOR CONSTRUCTION

DAVID W. FITZPATRICK PROFESSIONAL ENGINEER - P.A. BOARD OF PROFESSIONAL ENGINEERS CERTIFICATE # 00008423 1929 NORTH PALM FOX STREET PENSACOLA FL 32534 PH: (850)476-8877 FAX: (850)476-7708					
THE RIDGE					
EXISTING CONDITIONS / DEMOLITION PLAN					
NUMBER	REVISION	DATE			
DRAWN BY: A. BURKETT					
DESIGNED BY: D. FITZPATRICK					
SEAL AND LICENSE INFORMATION:  DAVID W. FITZPATRICK FLORIDA PROFESSIONAL ENGINEERING LICENSE NO. 47818 STATE OF FLORIDA					
PROJECT NUMBER		21-008			
PLOT DATE		6/3/21			
SHEET		C2 OF C10			

PARKING CALCULATION:

PARKING CALCULATIONS PER LDC:

SHOPPING CENTER: 3 SPACES / 1,000 SQ FT
(16,699/1,000) X 3 = 50.1 SPACES REQUIRED.

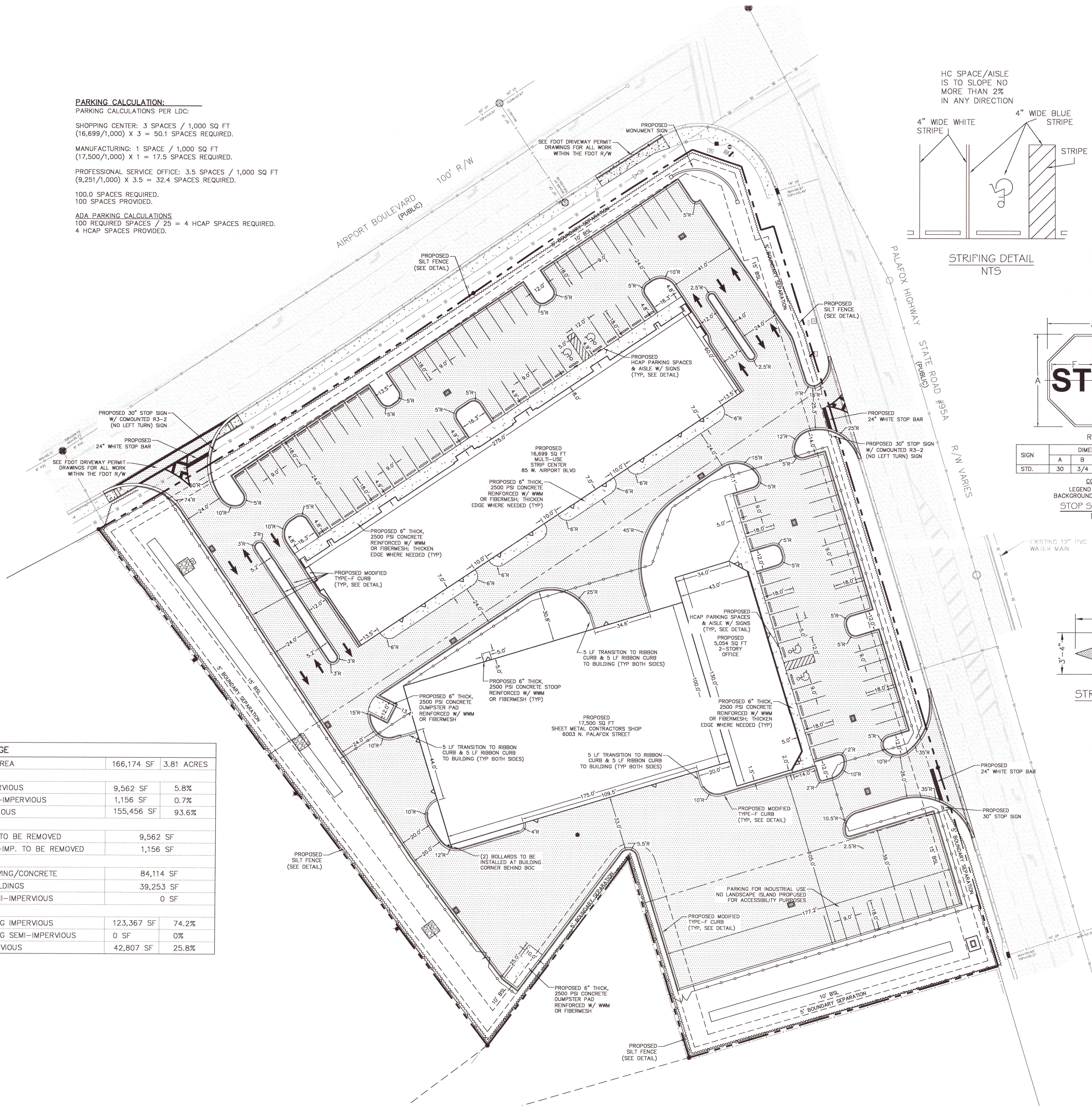
MANUFACTURING: 1 SPACE / 1,000 SQ FT
(17,500/1,000) X 1 = 17.5 SPACES REQUIRED.

PROFESSIONAL SERVICE OFFICE: 3.5 SPACES / 1,000 SQ FT
(9,251/1,000) X 3.5 = 32.4 SPACES REQUIRED.

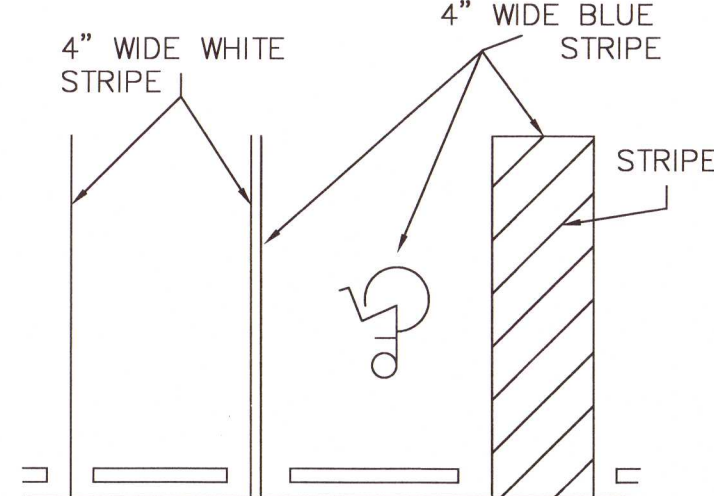
100.0 SPACES REQUIRED.
100 SPACES PROVIDED.

ADA PARKING CALCULATIONS
100 REQUIRED SPACES / 25 = 4 HCAP SPACES REQUIRED.
4 HCAP SPACES PROVIDED.

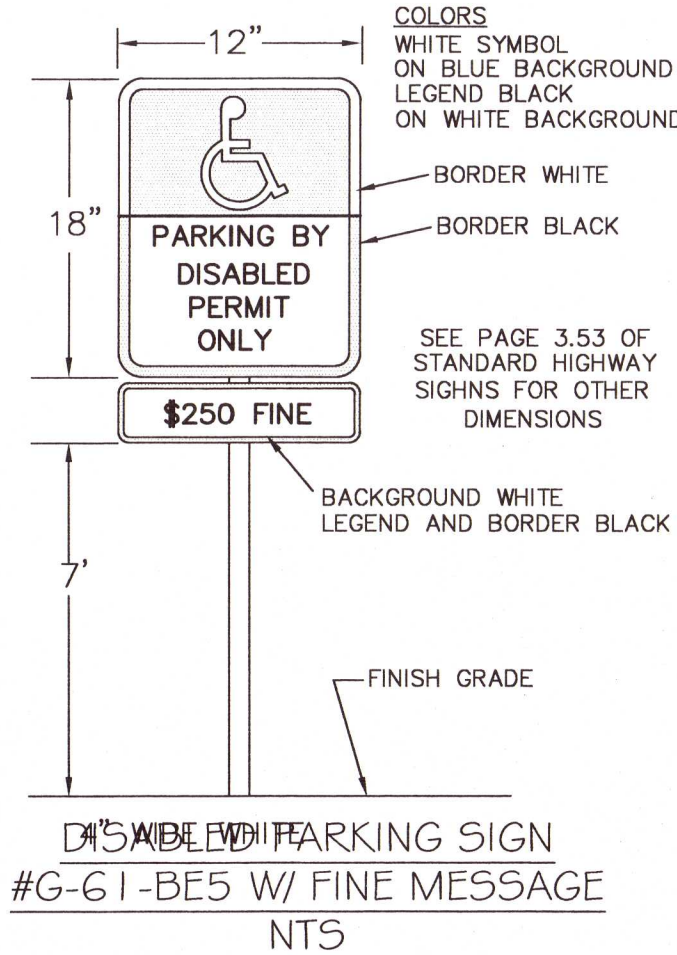
LOT COVERAGE		
TOTAL LAND AREA	166,174 SF	3.81 ACRES
EXISTING IMPERVIOUS	9,562 SF	5.8%
EXISTING SEMI-IMPERVIOUS	1,156 SF	0.7%
EXISTING PERVIOUS	155,456 SF	93.6%
EXISTING IMP. TO BE REMOVED	9,562 SF	
EXISTING SEMI-IMP. TO BE REMOVED	1,156 SF	
PROPOSED PAVING/CONCRETE	84,114 SF	
PROPOSED BUILDINGS	39,253 SF	
PROPOSED SEMI-IMPERVIOUS	0 SF	
NEW + EXISTING IMPERVIOUS	123,367 SF	74.2%
NEW + EXISTING SEMI-IMPERVIOUS	0 SF	0%
REMAINING PERVIOUS	42,807 SF	25.8%



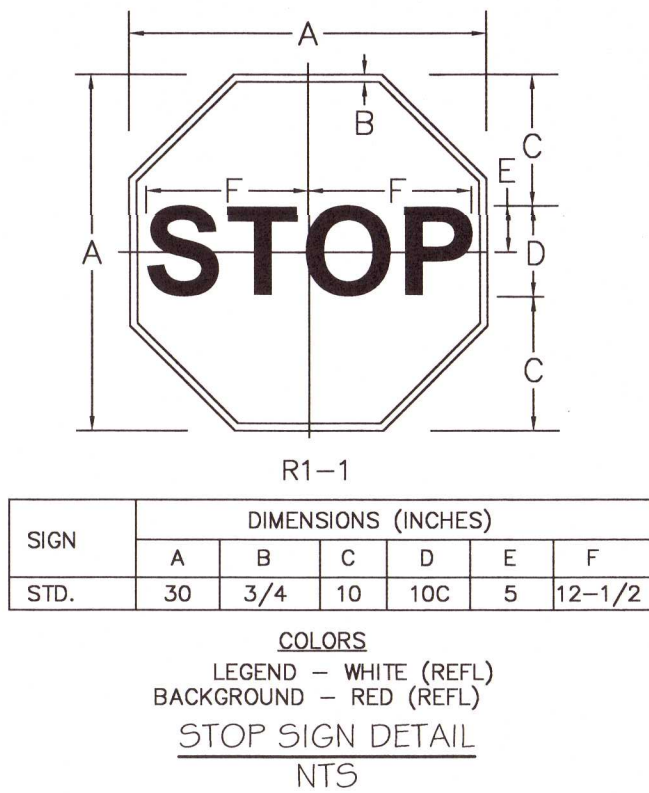
HC SPACE/AISLE IS TO SLOPE NO MORE THAN 2% IN ANY DIRECTION



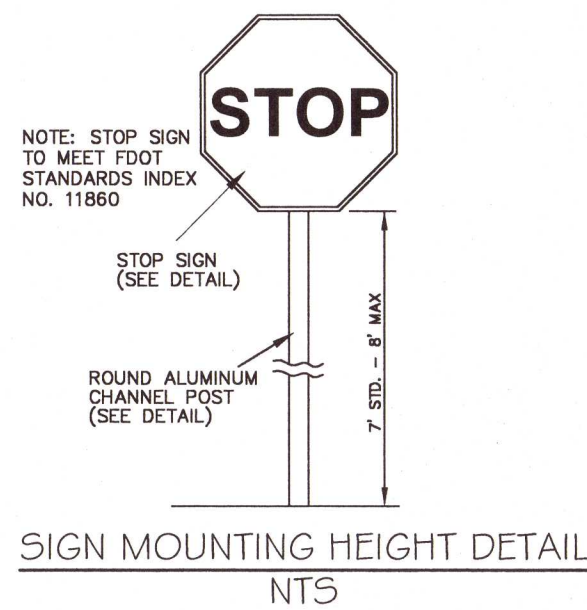
STRIPING DETAIL
NTS



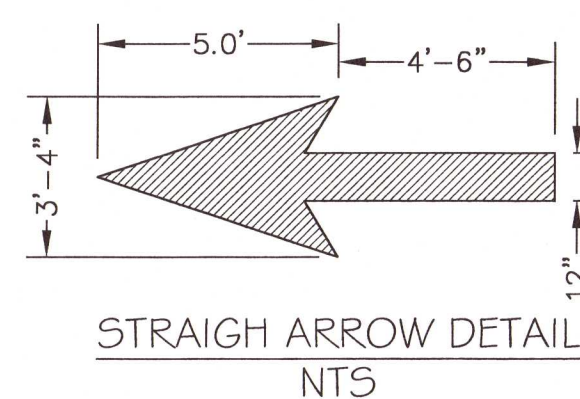
DISABLED PARKING SIGN
#G-61-BE5 W/ FINE MESSAGE
NTS



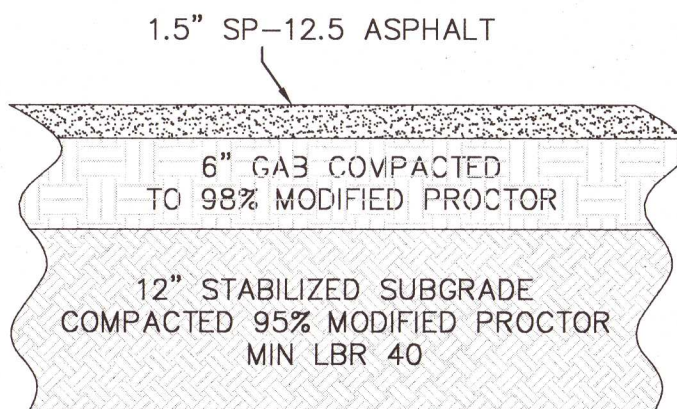
STOP SIGN DETAIL
NTS



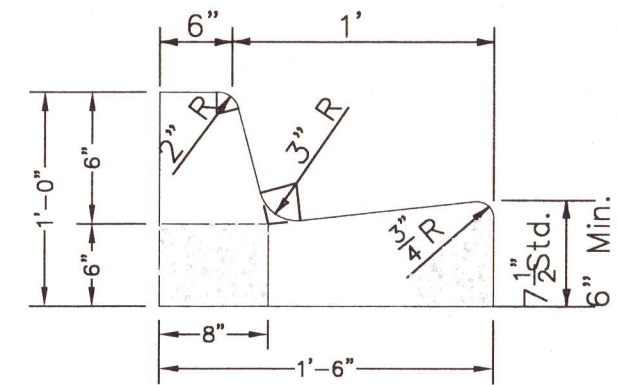
SIGN MOUNTING HEIGHT DETAIL
NTS



STRAIGHT ARROW DETAIL
NTS



ASPHALT DETAIL
NTS



NOTE: WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6" UNLESS OTHERWISE SHOWN ON PLANS.

MODIFIED TYPE F CURB
NTS

PERMIT SET
NOT RELEASED FOR CONSTRUCTION

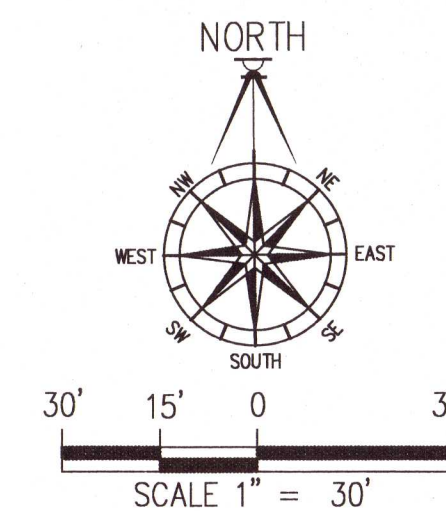
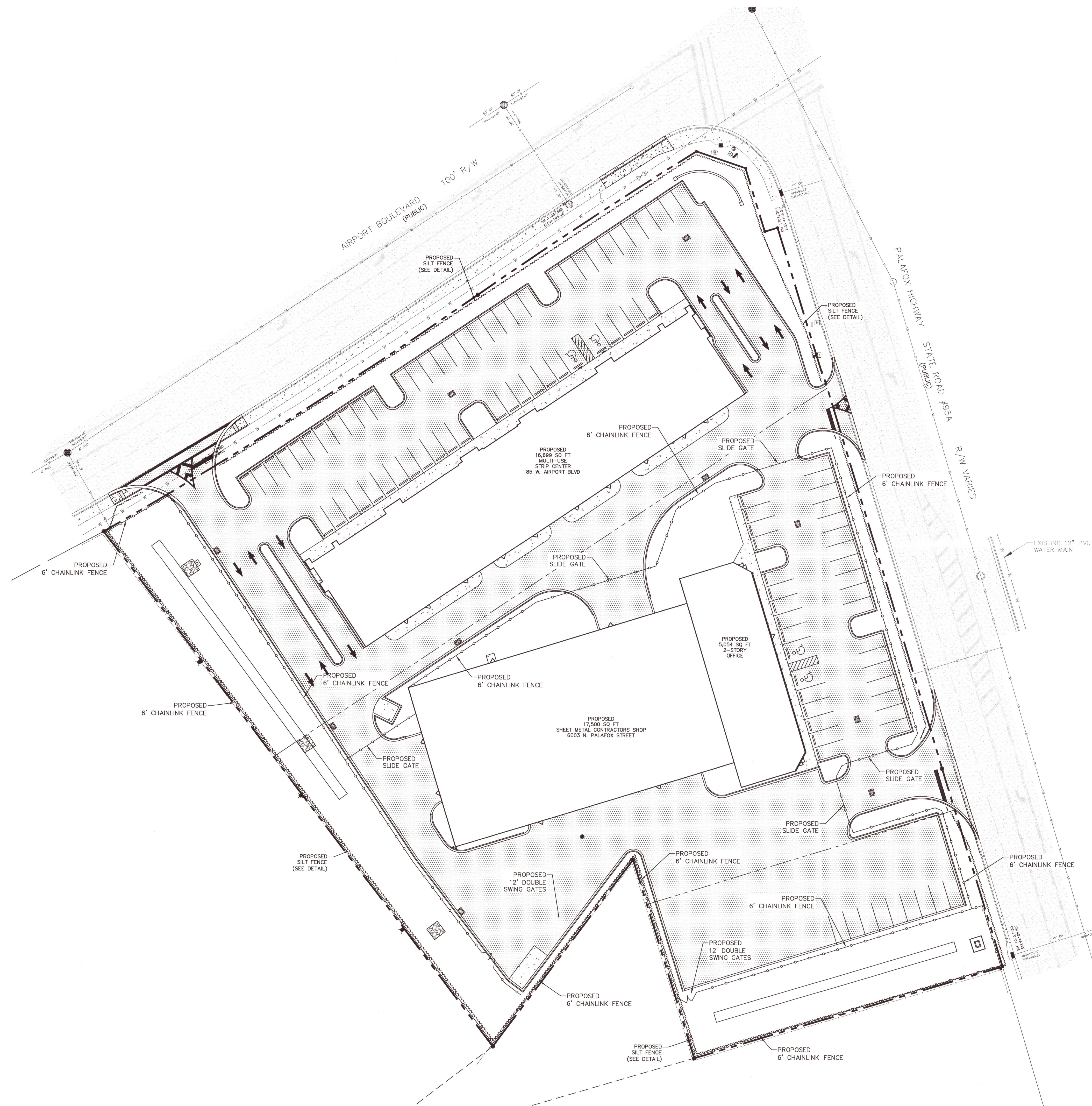
DAVID W. FITZPATRICK
PROFESSIONAL ENGINEER, P.A.
BOARD OF PROFESSIONAL ENGINEERS
CERTIFICATE # 00008423
10950 NORTH PALAFOX STREET
PENSACOLA, FL 32534
PH: (850) 442-5677 FAX: (850) 442-7768

THE RIDGE

SITE PLAN

DATE	
REVISION	
NUMBER	

DRAWN BY: A. BURKETT
DESIGNED BY: D. FITZPATRICK
SIGNATURE & SEAL
No. 47818
STATE OF FLORIDA
PROFESSIONAL ENGINEER
PROJECT NUMBER: 21-008
PLOT DATE: 6/3/21
SHEET C3 OF C10

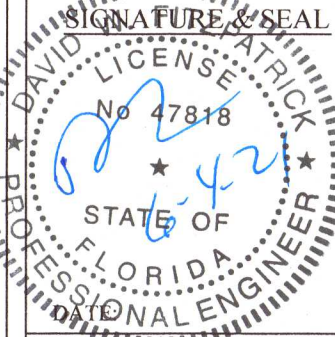


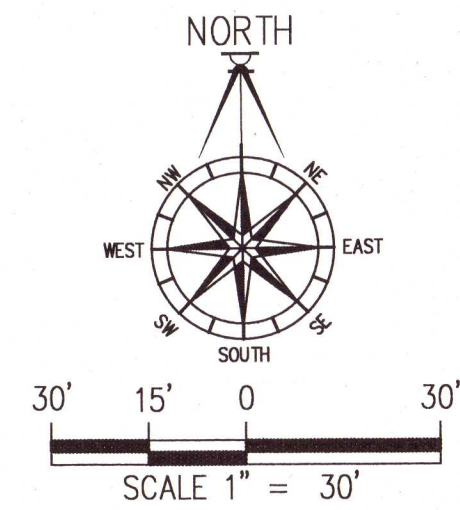
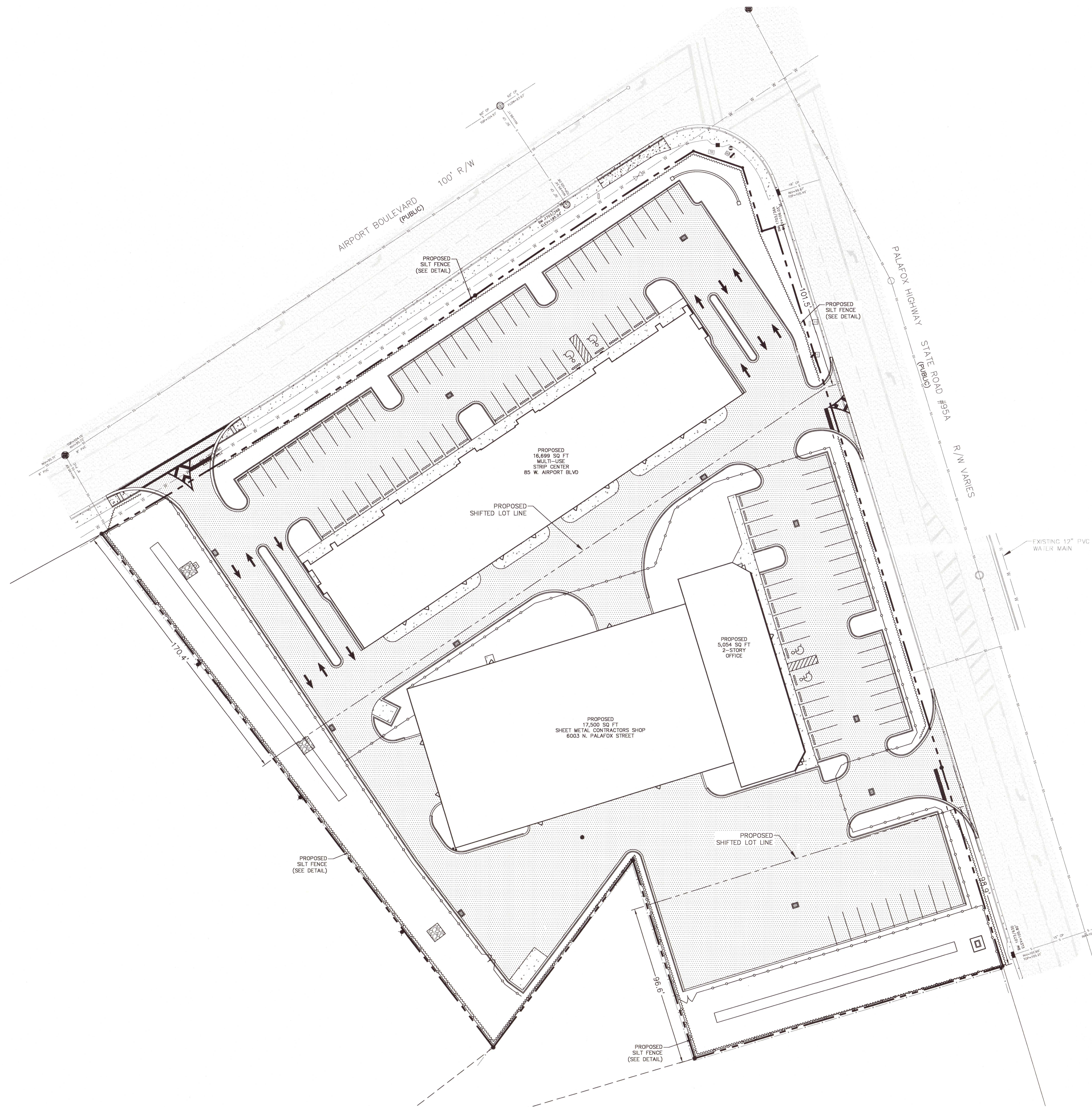
PERMIT SET
NOT RELEASED FOR CONSTRUCTION

DAVID W. FITZPATRICK
PROFESSIONAL ENGINEER, P.A.
BOARD OF PROFESSIONAL ENGINEERS
CERTIFICATE # 00008423
10296 NORTH PALM AVENUE
SUITE 100
FORT MYERS, FL 33903
PH: (850) 476-8877 FAX: (850) 476-7708

THE RIDGE
FENCE PLAN

REVISION	DATE

DRAWN BY: A. BURKETT
DESIGNED BY: D. FITZPATRICK

PROJECT NUMBER 21-008
PLOT DATE 6/3/21
SHEET C4 OF C10

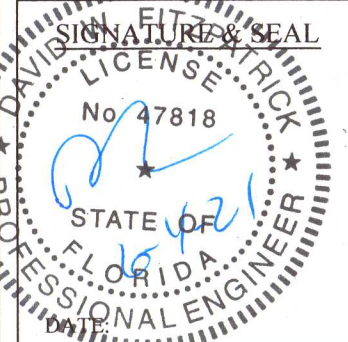


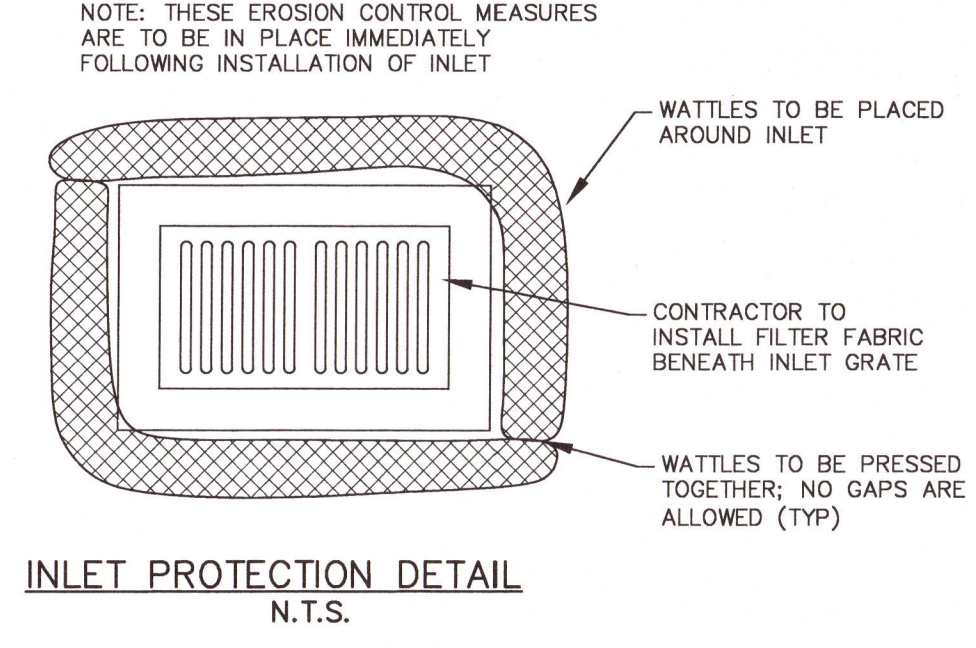
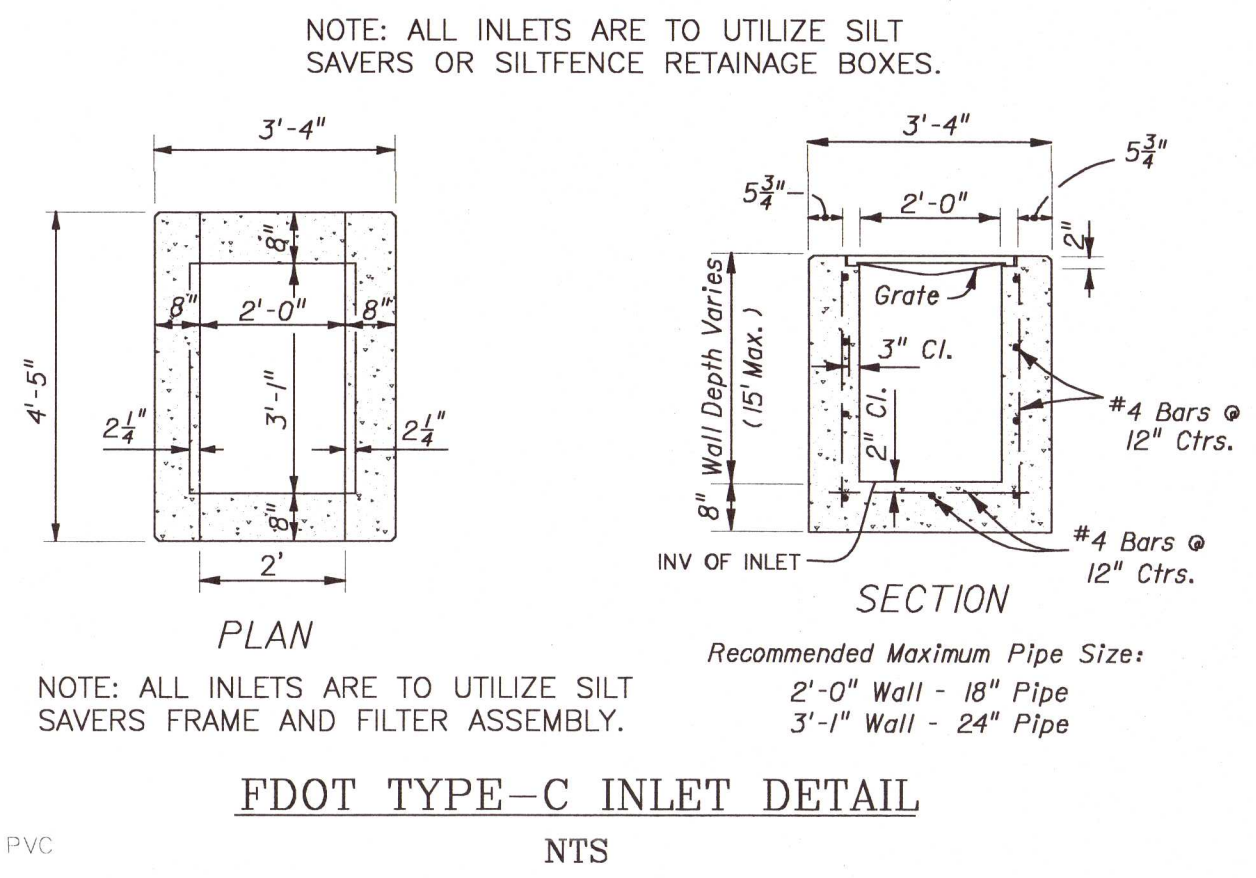
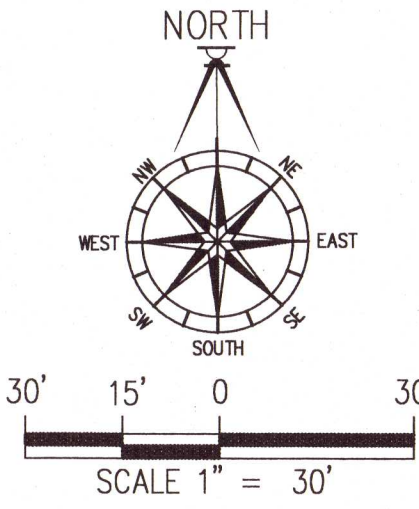
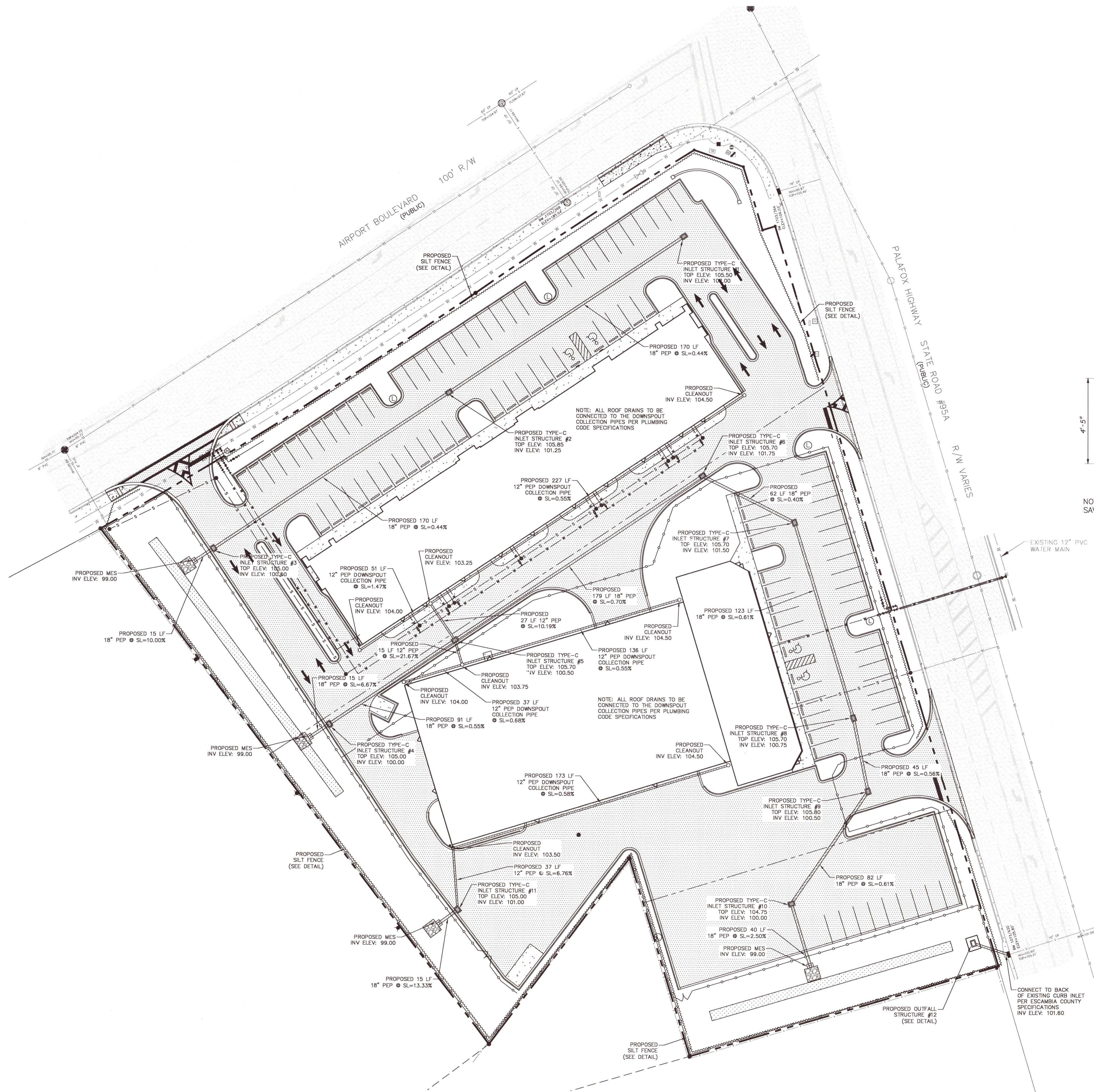
PERMIT SET
NOT RELEASED FOR CONSTRUCTION

DAVID W. FITZPATRICK
PROFESSIONAL ENGINEER, P.A.
BOARD OF PROFESSIONAL ENGINEERS
CERTIFICATE # 00008423
10250 NORTH PALAFOX STREET
FORT MYERS, FL 33903
PH: (850) 476-8877 FAX: (850) 476-7708

THE RIDGE
LOT LINE SHIFT PLAN

DATE	
REVISION	
NUMBER	

DRAWN BY: A. BURKETT
DESIGNED BY: D. FITZPATRICK

PROJECT NUMBER 21-008
PLOT DATE 6/3/21
SHEET C5 OF C10



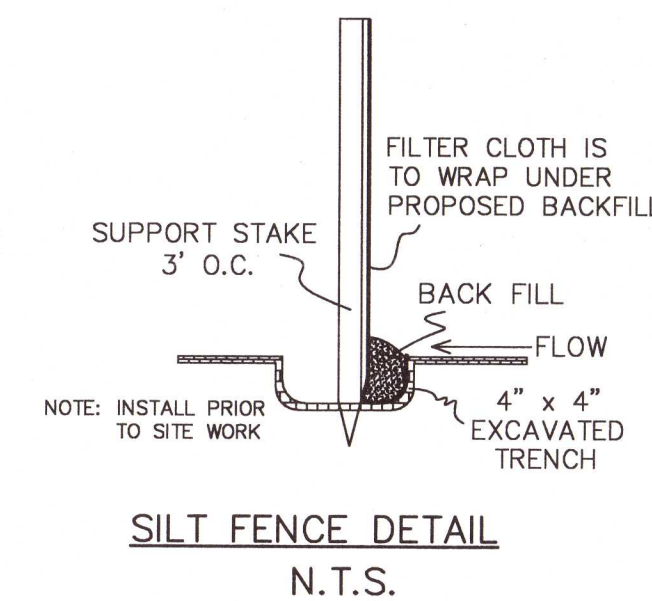
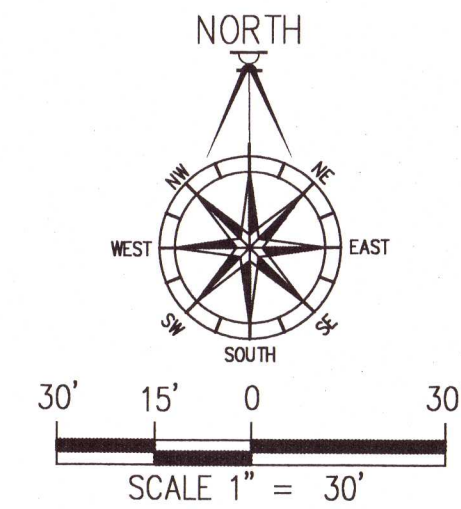
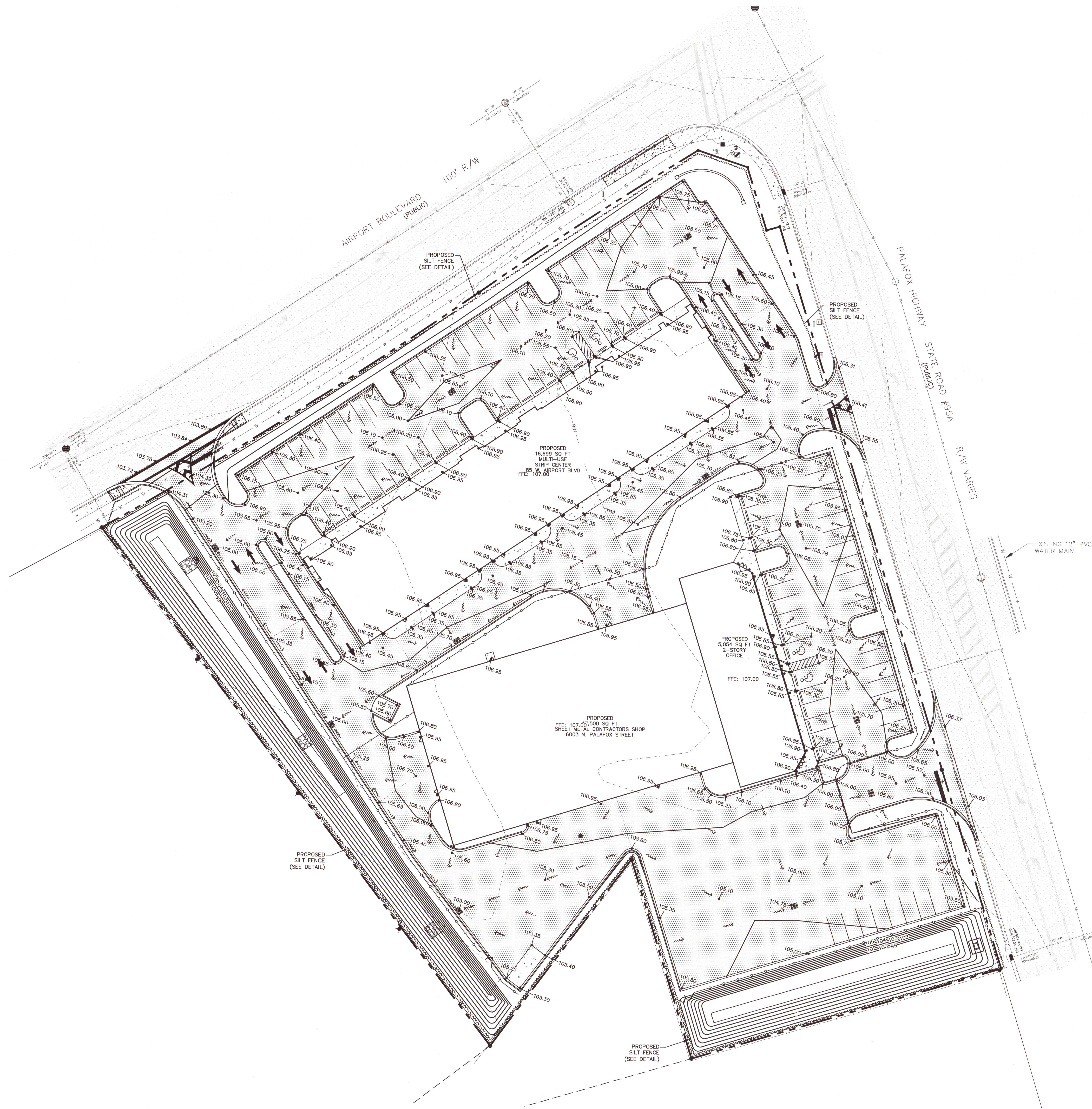
DAVID W. FITZPATRICK
PROFESSIONAL ENGINEER, P.A.
BOARD OF PROFESSIONAL ENGINEERS
CERTIFICATE # 00008423
10250 NORTH PALATKA STREET
PALATKA, FL 32934
PH: (850) 476-6677 FAX: (850) 476-7708

THE RIDGE
DRAINAGE PLAN

DATE	
REVISION	
NUMBER	

DRAWN BY: A BURKETT
DESIGNED BY: DAVID W. FITZPATRICK
No. 47818
STATE OF FLORIDA
PROFESSIONAL ENGINEER
PROJECT NUMBER: 21-008
PLOT DATE: 6/3/21
SHEET C7 OF C10

PERMIT SET
NOT RELEASED FOR CONSTRUCTION



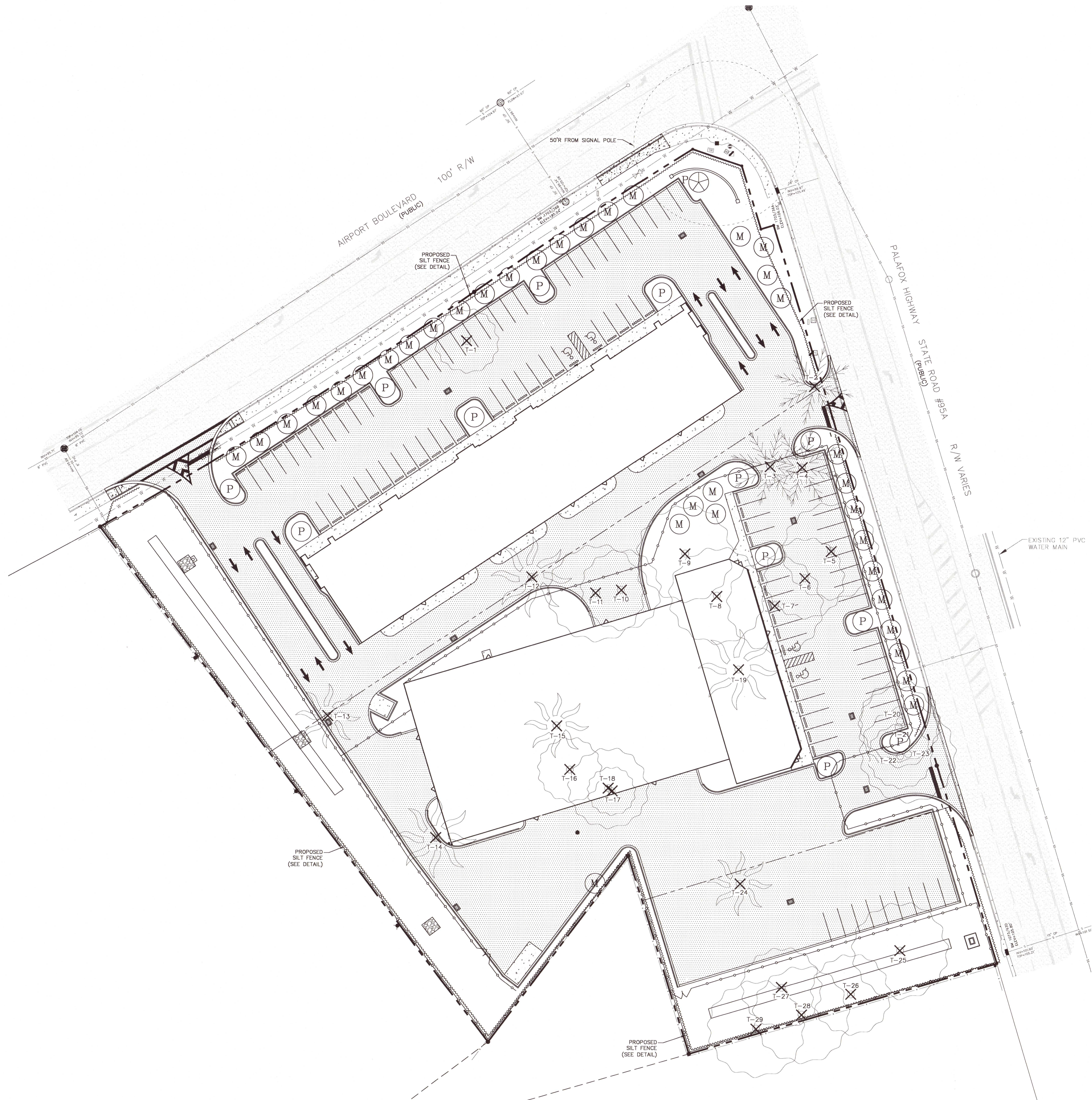
DAVID W. FITZPATRICK
PROFESSIONAL ENGINEER, P.A.
BOARD OF PROFESSIONAL ENGINEERS
CERTIFICATE # 0008423
10250 NORTH PALAFOX STREET
PENSACOLA, FL 32534
PH: (850)415-5877 FAX: (850)415-7708

THE RIDGE
GRADING PLAN

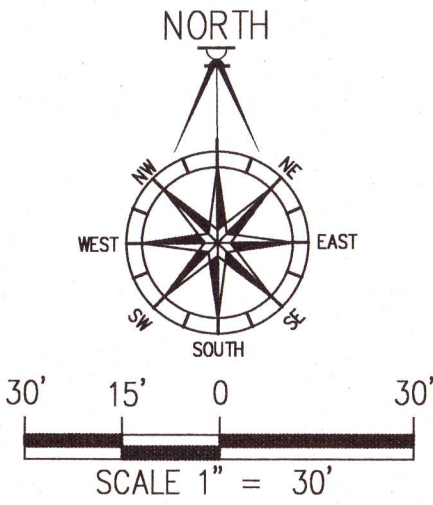
DATE	
REVISIONS	
NUMBER	

DRAWN BY:	A. BURKETT
DESIGNED BY:	D. FITZPATRICK
FLORIDA PROFESSIONAL ENGINEER No 47818 STATE OF FLORIDA	
PROJECT NUMBER	21-008
PLOT DATE	6/3/21
SHEET	C8 OF C10

PERMIT SET
NOT RELEASED FOR CONSTRUCTION



TREE #	DIA	TYPE	STATUS
1	42"	OAK	REMOVE
2	27"	TWIN SWEETGUM	REMOVE
3	24"	TWIN SWEETGUM	REMOVE
4	24"	TWIN SWEETGUM	REMOVE
5	30"	OAK	REMOVE
6	24"	OAK	REMOVE
7	26"	OAK	REMOVE
8	25"	OAK	REMOVE
9	26"	OAK	REMOVE
10	25"	OAK	REMOVE
11	30"	TWIN OAK	REMOVE
12	17"	PECAN	REMOVE
13	20"	PECAN	REMOVE
14	34"	TWIN PECAN	REMOVE
15	12"	PECAN	REMOVE
16	16"	OAK	REMOVE
17	19"	OAK	REMOVE
18	28"	OAK	REMOVE
19	18"	PECAN	REMOVE
20	22"	OAK	REMOVE
21	22"	OAK	REMOVE
22	16"	OAK	REMOVE
23	27"	OAK	REMOVE
24	15"	PECAN	REMOVE
25	23"	OAK	REMOVE
26	25"	OAK	REMOVE
27	18"	OAK	REMOVE
28	18"	OAK	REMOVE
29	24"	OAK	REMOVE



TREE MITIGATION CALCULATIONS:
677" OF PROTECTED TREES ARE TO BE REMOVED.
HALF OF THE CALIPER INCHES REMOVED ARE REQUIRED TO BE REPLACED WITH A LIMIT OF 25" PER ACRE.
 $677"/2 = 338.5"$
 $3.81 \text{ ACRES} \times 25" = 96"$ LIMIT

THEREFORE, THE CONTRACTOR IS TO PLANT 96 CALIPER INCHES OF MITIGATION TREES THROUGHOUT THE SITE.
(32) 3" CALIPER TREES HAVE BEEN SHOWN.

PARKING ROW TERMINATION
PER LDC, ALL PARKING ROWS MUST TERMINATED AT EACH END WITH A LANDSCAPE AREA WITH ONE PLANTED CANOPY TREE. WHERE CANOPY TREES ARE NOT ALLOWED DUE TO OVERHEAD UTILITY LINES, UNDERSTORY TREES WILL BE PLANTED.

13 CANOPY TREES (2.5" CALIPER) ARE PROPOSED.

REQUIRED TREE TYPE DIVERSITY
THERE ARE A TOTAL OF 45 CANOPY TREES REQUIRED. PER LDC, ONLY 40% OF THESE CAN BE THE SAME SPECIES. (CHART FOR SUGGESTED SPECIES OPTIONS).

RECOMMENDED SPECIES FOR PLANTING	
IN-LAND LOCATIONS	UNDERSTORY TREES
CANOPY TREES	RED BUCKEYE
RED MAPLE	REDBUD
RIVER BIRCH	FLOWERING DOGWOOD
SWEETGUM	DAHDOON HOLLY
SOUTHERN MAGNOLIA	YAUPOIN HOLLY
SWEETBAY	CRAB APPLE
SYCAMORE	WAX MYRTLE
LIVE OAK	SHRUBS
BALD CYPRESS	AZALEA

NOTE: CREEP MYRTLES DO NOT MEET COUNTY PLANTING REQUIREMENTS.

LANDSCAPE NOTES:
1. CALIPER INCHES LABELED ARE MEASURED 4" ABOVE GRADE.
2. ALL TREE REMOVAL, LAND CLEARING, "LAND DISTURBANCE ACTIVITIES", PLACEMENT OF FILL MATERIALS, GRADING OF LAND, OTHER DEVELOPMENT ACTIVITIES, ETC. SHALL ONLY OCCUR AFTER ALL PROPER PERMITS &/OR APPROVALS ARE OBTAINED FROM ESCAMBIA COUNTY & ANY OTHER AGENCIES AS REQUIRED."
3. TRANSFORMER PADS ARE NOT ALLOWED TO OCCUPY THE MINIMUM AREAS REQUIRED FOR PROPOSED TREES (6' RADIUS FOR CANOPY TREES, 4' RADIUS FOR UNDERSTORY TREES).

LANDSCAPING LEGEND	
	EXISTING TREES
	EXISTING TREE TO BE REMOVED
	PROPOSED PARKING CANOPY TREE (2.5" CALIPER, 6' RADIUS SHOWN)
	PROPOSED MITIGATION CANOPY TREE (3" CALIPER, 6' RADIUS SHOWN)
	PROPOSED PARKING UNDERSTORY TREE (2.5" CALIPER, 6' RADIUS SHOWN)

NOTE: TREE SPECIES ARE DESIGNATED BY THE NUMBER NEXT TO THE SYMBOL ON THE PLAN:
1: SOUTHERN MAGNOLIA
2: LIVE OAK
3: RIVER BIRCH
4: RED MAPLE

DAVID W. FITZPATRICK
PROFESSIONAL ENGINEER, P.A.
BOARD OF PROFESSIONAL ENGINEERS
CERTIFICATE # 00008423
10250 NORTH PALATKA STREET
PENSACOLA, FL 32514
PH: (850) 476-6077 FAX: (850) 476-7708

THE RIDGE

LANDSCAPE PLAN

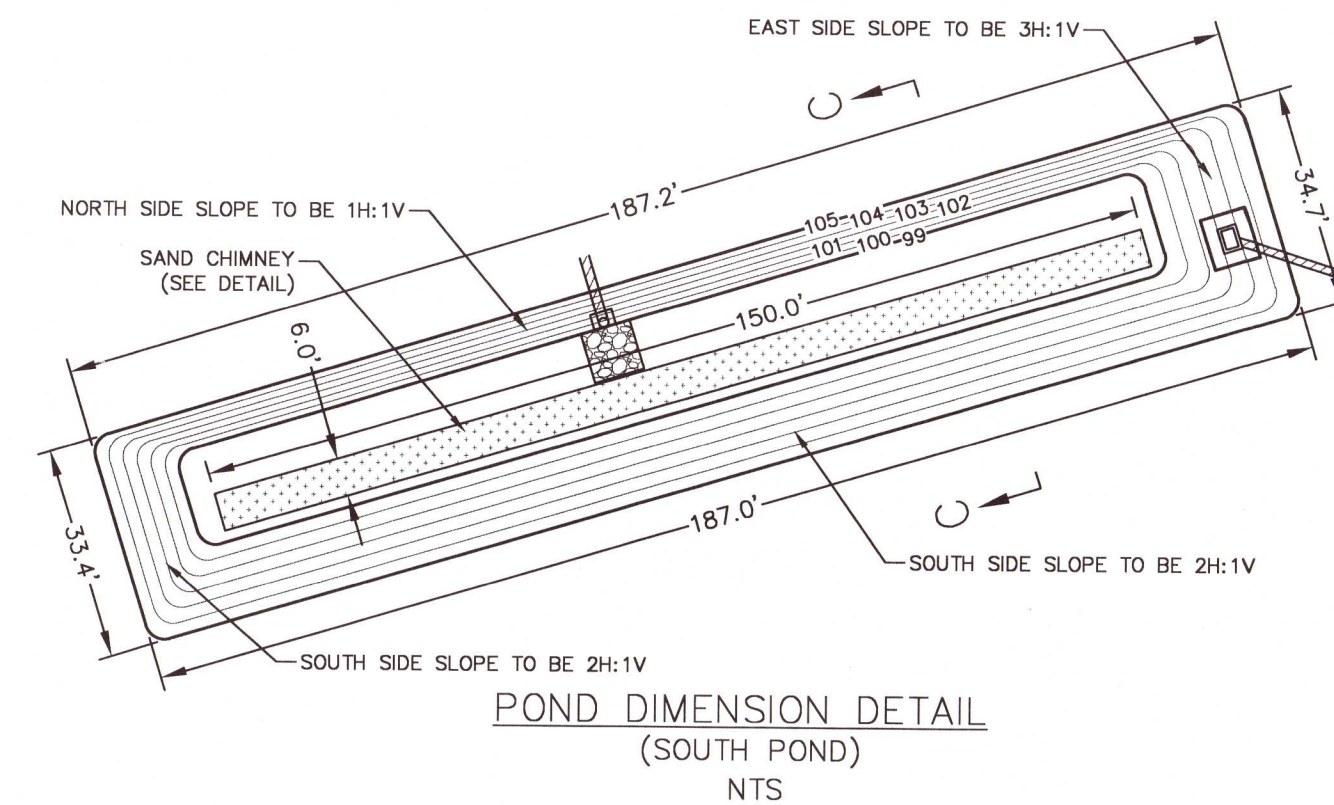
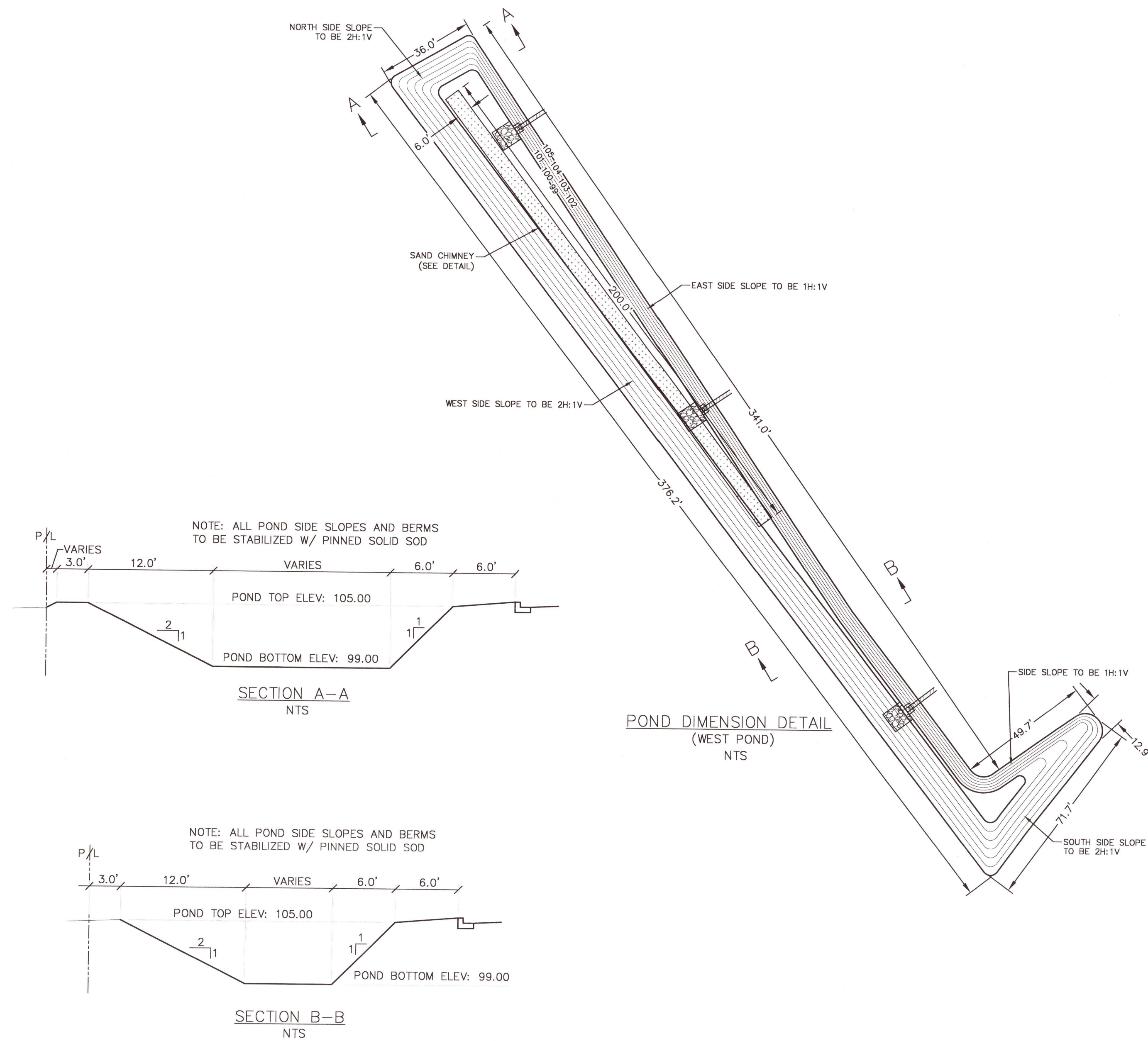
DATE	
REVISION	
NUMBER	

DRAWN BY: A. BURKETT	
DESIGNED BY: D. FITZPATRICK	
STATE OF FLORIDA PROFESSIONAL ENGINEER	
PROJECT NUMBER 21-008	
PLOT DATE 6/3/21	
SHEET C9 OF C10	

PERMIT SET
NOT RELEASED FOR CONSTRUCTION

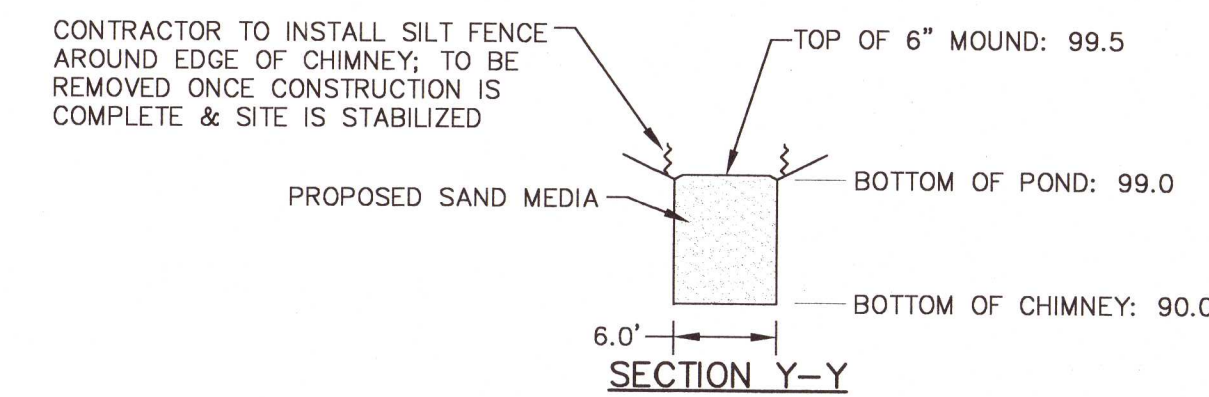
THE RIDGE

DRAINAGE DETAILS



SAND MEDIA CRITERIA:

- CLEAN WASHED SAND WITH:
1. K FACTOR TO BE BETWEEN 2'/HOUR & 5'/HOUR
 2. UNIFORMITY COEFFICIENT BETWEEN 1.5 AND 4.0
 3. EFFECTIVE GRAIN SIZE OF 0.20 TO 0.55 MILLIMETERS IN DIAMETER



- CONTRACTOR IS TO OVERFILL THE PROPOSED SAND CHIMNEY 6" MIN ABOVE THE POND BOTTOM DURING CONSTRUCTION CREATING A MOUND. THE TOP 3" OF THE MOUND IS TO BE REMOVED ONCE ALL UPSTREAM AREAS HAVE BEEN STABILIZED ALONG WITH THE SILT FENCE. THE REMAINING 3" WILL BE REMOVED WHEN MAINTENANCE IS NEEDED.
- CONSTRUCTED TOP OF MOUND EL: 99.5
FINISHED TOP OF MOUND EL: 99.25
- NOTES:**
1. FOR AND/OR GEOTECH ENGINEER SHALL BE ONSITE TO VERIFY APPROPRIATE SAND CHIMNEY ELEVATION AND MAKE ANY RECOMMENDATIONS NECESSARY BASED UPON CONDITIONS ENCOUNTERED.
 2. CONTRACTOR TO DEWATER CHIMNEY EXCAVATION AS NEEDED PER ESCAMBIA COUNTY SPEC 02300

SAND CHIMNEY DETAIL NTS

SKIMMER NOTE:
USE TREATED 4x4 POSTS FOR CORNERS, MIN. BURY 3'.
USE 2x8 TREATED MATERIAL FOR SKIMMER BOARDS.
USE 16d GALV. NAILS MIN. 2 PER CONNECTION.

