

DEVELOPMENT DATA:

PARCEL ID #'S: 07-15-31-4302-005-003
 NUMBER OF EXISTING LOTS: 1
 TOTAL BOUNDARY AREA = 3.81 AC +/-
 TOTAL LOTS IN OVERALL BOUNDARY = 3 LOTS
 ZONED: LDR
 FIRM: N/A

BUILDING REQUIREMENTS FOR LDR ZONE:

- DENSITY: A MAXIMUM DENSITY OF FOUR DWELLING UNITS PER ACRE.
- FLOOR AREA RATIO: A MAXIMUM FLOOR AREA RATIO OF 1.0 FOR ALL USES.
- STRUCTURE HEIGHT: A MAXIMUM STRUCTURE HEIGHT OF 45 FEET.
- LOT WIDTH: FOR A NEW LOT WITH A MAJORITY OF ITS FRONTAGE ALONG THE OUTSIDE OF A STREET RIGHT-OF-WAY CURVE WHOSE RADIUS IS 100 FEET OR LESS, THE MINIMUM LOT WIDTH AT THE RIGHT-OF-WAY IS 40 PERCENT OF THE RADIUS LENGTH, BUT NOT LESS THAN 20 FEET. THE MINIMUM WIDTH FOR ALL OTHER NEW LOTS IS 60 FEET AT THE RIGHT-OF-WAY.
- LOT COVERAGE: MINIMUM PERVIOUS LOT COVERAGE OF 30 PERCENT (70 PERCENT MAXIMUM SEMI-IMPERVIOUS AND IMPERVIOUS COVER) FOR ALL USES.
- STRUCTURE SETBACKS:
 -FRONT AND REAR: TWENTY-FIVE FEET IN THE FRONT AND REAR.
 -SIDES: ON EACH SIDE, FIVE FEET OR TEN PERCENT OF THE LOT WIDTH AT THE STREET RIGHT-OF-WAY, WHICHEVER IS GREATER, BUT NOT REQUIRED TO EXCEED 15 FEET.
 -CORNER LOTS: THE FRONT SETBACK SHALL APPLY TO THE FRONTAGE OF THE ASSIGNED STREET ADDRESS AND THE SIDE SETBACK SHALL APPLY TO ANY STREET FRONTAGE THAT ADJOINS THE ADDRESSED FRONTAGE.

DESCRIPTION AS FURNISHED: (FROM TITLE COMMITMENT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. 1054-444041, COMMITMENT DATE: MARCH 4, 2020 @ 8:00 AM)

PARCEL 1: COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA; THENCE RUN EAST ALONG THE SOUTH LINE OF SECTION 7, A DISTANCE OF 660.00 FEET TO THE POINT OF BEGINNING; THENCE RUN NORTH ALONG THE WEST LINE OF THE EAST 1/2 OF THE SOUTHWEST 1/4 FOR A DISTANCE OF 836.81 FEET, MORE OR LESS, TO ITS INTERSECTION WITH THE CENTERLINE OF REBEL ROAD; THENCE NORTHEASTERLY ALONG THE CENTERLINE OF REBEL ROAD A DISTANCE OF 814.51 FEET, MORE OR LESS, TO THE SOUTHERLY RIGHT OF WAY LINE OF STATE HIGHWAY 10A; THENCE SOUTH 42°48'00" EAST ALONG SAID RIGHT OF WAY LINE A DISTANCE OF 780.99 FEET; THENCE SOUTH 42°25'30" WEST A DISTANCE OF 780.07 FEET; THENCE NORTH 45°51'45" EAST A DISTANCE OF 102.47 FEET; THENCE NORTH 44°25'30" WEST A DISTANCE OF 291.48 FEET TO THE SOUTH LINE OF SAID SECTION; NORTH 90°00'00" WEST ALONG THE SOUTH LINE OF SAID SECTION A DISTANCE OF 660.00 FEET TO THE POINT OF BEGINNING; LESS AND EXCEPT THOSE CERTAIN PARCELS OF LAND DESCRIBED IN O.R. BOOK 919, PAGE 08, OR BOOK 918, OR BOOK 926, PAGE 84, AND OR BOOK 7154, PAGE 1556.

PARCEL 2: BEGIN AT THE INTERSECTION OF THE WEST LINE OF THE SOUTHWEST 1/4 OF SECTION 7, TOWNSHIP 1 SOUTH, RANGE 31 WEST, AND THE SOUTHERLY RIGHT OF WAY LINE OF STATE HIGHWAY 10A; THENCE NORTH 42°48'00" WEST 30.00 FEET TO THE EASTERLY RIGHT OF WAY LINE OF REBEL ROAD; THENCE 90°51' LEFT 448.63 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE EASTERLY ALONG THE RIGHT OF WAY LINE OF REBEL ROAD 90 FEET; THENCE 84°22' LEFT 228 FEET; THENCE 90° RIGHT 160 FEET; THENCE 80° LEFT 260 FEET; THENCE 90° LEFT 210 FEET; THENCE 90° LEFT TO THE POINT OF BEGINNING; AS DESCRIBED IN O.R. BOOK 919, PAGE 460, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA. SUBJECT TO AN EASEMENT GRANTED TO GULF POWER BY INSTRUMENT RECORDED IN DEED BOOK 325, PAGE 451 AND 461, OR BOOK 796, PAGE 421, OR BOOK 831 PAGE 493, AND OR BOOK 7187, PAGE 1667.

SUBJECT TO A 37' WIDE COUNTY MAINTENANCE CLAIM FOR REBEL ROAD.

SUBJECT TO A RIGHT OF WAY ACQUISITION ON MOBILE HIGHWAY ACCORDING TO FLORIDA DEPARTMENT OF TRANSPORTATION MAP SECTION 48020-2505.

MORE PARTICULARLY AS PREPARED BY THE FOLLOWING:

DESCRIPTION AS PREPARED BY NORTHWEST FLORIDA LAND SURVEYING, INC.

(1) LOT DEVELOPMENT BEING A PORTION OF THE ABOVE-DESCRIBED NEW PARCEL CREATED AT THE CLIENT'S REQUEST DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA; THENCE GO SOUTH 87 DEGREES 12 MINUTES 04 SECONDS EAST ALONG THE SOUTH LINE OF SAID SECTION 7 FOR A DISTANCE OF 660.00 FEET TO THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 7; THENCE GO NORTH 02 DEGREES 50 MINUTES 02 SECONDS EAST FOR A DISTANCE OF 661.89 FEET TO THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 7; THENCE GO NORTH 42 DEGREES 15 MINUTES 16 SECONDS EAST FOR A DISTANCE OF 115.00 FEET; THENCE GO NORTH 36 DEGREES 39 MINUTES 40 SECONDS WEST FOR A DISTANCE OF 100.99 FEET TO AN INTERSECTION WITH THE SOUTHERLY RIGHT OF WAY LINE OF REBEL ROAD; THENCE GO NORTH 45 DEGREES 28 MINUTES 13 SECONDS EAST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF SAID REBEL ROAD FOR A DISTANCE OF 600.58 FEET; THENCE GO SOUTH 28 MINUTES 13 SECONDS EAST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF SAID REBEL ROAD FOR A DISTANCE OF 14.50 FEET; THENCE GO NORTH 45 DEGREES 28 MINUTES 13 SECONDS EAST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF SAID REBEL ROAD FOR A DISTANCE OF 96.26 FEET TO AN INTERSECTION WITH THE WESTERLY RIGHT OF WAY LINE OF MOBILE HIGHWAY (R/W WIDTH VARIES); THENCE GO SOUTH 38 DEGREES 47 MINUTES 48 SECONDS EAST ALONG THE WESTERLY RIGHT OF WAY LINE OF SAID MOBILE HIGHWAY (R/W WIDTH VARIES) A DISTANCE OF 521.42 FEET; THENCE GO SOUTH 48 DEGREES 02 MINUTES 54 SECONDS WEST ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 444.64 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL OF LAND; THENCE GO SOUTH 41 DEGREES 26 MINUTES 16 SECONDS EAST ALONG THE SOUTHERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 1.36 FEET; THENCE GO SOUTH 48 DEGREES 09 MINUTES 18 SECONDS WEST ALONG THE WESTERLY LINE THEREOF FOR A DISTANCE OF 243.89 FEET; THENCE GO SOUTH 17 DEGREES 37 MINUTES 37 SECONDS EAST ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 22.32 FEET; THENCE GO SOUTH 48 DEGREES 02 MINUTES 54 SECONDS WEST ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 163.42 FEET TO AN INTERSECTION WITH THE WESTERLY LINE OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 1790 AT PAGE 634 OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE GO SOUTH 48 DEGREES 33 MINUTES 42 SECONDS WEST FOR A DISTANCE OF 46.81 FEET TO THE SOUTHWESTERLY CORNER OF SAID PARCEL OF LAND; THENCE GO SOUTH 41 DEGREES 26 MINUTES 16 SECONDS EAST ALONG THE SOUTHERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 270.63 FEET TO AN INTERSECTION WITH THE WESTERLY LINE OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 684 AT PAGE 1 OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE GO SOUTH 48 DEGREES 28 MINUTES 34 SECONDS WEST ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 209.70 FEET TO A 4" ROUND CONCRETE MONUMENT, UNNUMBERED (FOUND) MARKING THE INTERSECTION WITH THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 7; THENCE GO SOUTH 02 DEGREES 50 MINUTES 02 SECONDS WEST FOR A DISTANCE OF 171.17 FEET TO THE SOUTH LINE OF SAID SECTION 7; THENCE GO NORTH 87 DEGREES 12 MINUTES 04 SECONDS WEST ALONG THE SOUTH LINE OF SAID SECTION 7 FOR A DISTANCE OF 661.01 FEET TO THE POINT OF BEGINNING; THE ABOVE-DESCRIBED PARCEL OF LAND IS SITUATED IN A PORTION OF SECTION 7, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA AND CONTAINS 21.14 ACRES MORE OR LESS.

DESCRIPTION AS PREPARED BY NORTHWEST FLORIDA LAND SURVEYING, INC.

(LOT 1) CREATED AT THE CLIENT'S REQUEST DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA; THENCE GO SOUTH 87 DEGREES 12 MINUTES 04 SECONDS EAST ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 7 FOR A DISTANCE OF 660.00 FEET TO THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 7; THENCE GO NORTH 02 DEGREES 50 MINUTES 02 SECONDS EAST FOR A DISTANCE OF 661.89 FEET TO THE NORTHEAST CORNER OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 5250 AT PAGE 008A OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE GO NORTH 42 DEGREES 15 MINUTES 16 SECONDS EAST ALONG THE EAST LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 115.00 FEET; THENCE GO NORTH 36 DEGREES 39 MINUTES 40 SECONDS WEST ALONG THE EAST LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 100.99 FEET TO AN INTERSECTION WITH THE SOUTHERLY RIGHT OF WAY LINE OF REBEL ROAD (37' R/W); THENCE GO NORTH 45 DEGREES 28 MINUTES 13 SECONDS EAST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF SAID REBEL ROAD FOR A DISTANCE OF 600.58 FEET; THENCE GO SOUTH 28 MINUTES 13 SECONDS EAST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF SAID REBEL ROAD FOR A DISTANCE OF 14.50 FEET; THENCE GO NORTH 45 DEGREES 28 MINUTES 13 SECONDS EAST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF SAID REBEL ROAD FOR A DISTANCE OF 96.26 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 45 DEGREES 28 MINUTES 13 SECONDS EAST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF SAID REBEL ROAD FOR A DISTANCE OF 52.92 FEET; THENCE GO NORTH 51 DEGREES 13 MINUTES 15 SECONDS EAST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF REBEL ROAD FOR A DISTANCE OF 96.26 FEET TO AN INTERSECTION WITH THE WESTERLY RIGHT OF WAY LINE OF MOBILE HIGHWAY (R/W WIDTH VARIES); THENCE GO SOUTH 38 DEGREES 47 MINUTES 48 SECONDS EAST ALONG THE WESTERLY RIGHT OF WAY LINE OF SAID MOBILE HIGHWAY (R/W WIDTH VARIES) A DISTANCE OF 496.38 FEET; THENCE GO SOUTH 48 DEGREES 02 MINUTES 54 SECONDS WEST ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 444.64 FEET; THENCE GO SOUTH 41 DEGREES 26 MINUTES 16 SECONDS EAST ALONG THE SOUTHERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 1.36 FEET; THENCE GO SOUTH 48 DEGREES 09 MINUTES 18 SECONDS WEST ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 243.89 FEET; THENCE GO SOUTH 17 DEGREES 37 MINUTES 37 SECONDS EAST ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 22.32 FEET; THENCE GO SOUTH 48 DEGREES 02 MINUTES 54 SECONDS WEST ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 163.42 FEET TO AN INTERSECTION WITH THE WESTERLY LINE OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 1790 AT PAGE 634 OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE GO SOUTH 48 DEGREES 33 MINUTES 42 SECONDS WEST FOR A DISTANCE OF 46.81 FEET TO THE SOUTHWESTERLY CORNER OF SAID PARCEL OF LAND; THENCE GO SOUTH 41 DEGREES 26 MINUTES 16 SECONDS EAST ALONG THE SOUTHERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 270.63 FEET TO AN INTERSECTION WITH THE WESTERLY LINE OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 684 AT PAGE 1 OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE GO SOUTH 48 DEGREES 28 MINUTES 34 SECONDS WEST ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 209.70 FEET TO A 4" ROUND CONCRETE MONUMENT, UNNUMBERED (FOUND) MARKING THE INTERSECTION WITH THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 7; THENCE GO SOUTH 02 DEGREES 50 MINUTES 02 SECONDS WEST FOR A DISTANCE OF 171.17 FEET TO THE SOUTH LINE OF SAID SECTION 7; THENCE GO NORTH 87 DEGREES 12 MINUTES 04 SECONDS WEST ALONG THE SOUTH LINE OF SAID SECTION 7 FOR A DISTANCE OF 661.01 FEET TO THE POINT OF BEGINNING; THE ABOVE-DESCRIBED PARCEL OF LAND IS SITUATED IN A PORTION OF SECTION 7, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA AND CONTAINS 1.36 ACRES MORE OR LESS.

DESCRIPTION AS PREPARED BY NORTHWEST FLORIDA LAND SURVEYING, INC.

(LOT 2) CREATED AT THE CLIENT'S REQUEST DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA; THENCE GO SOUTH 87 DEGREES 12 MINUTES 04 SECONDS EAST ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 7 FOR A DISTANCE OF 660.00 FEET TO THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 7; THENCE GO NORTH 02 DEGREES 50 MINUTES 02 SECONDS EAST FOR A DISTANCE OF 661.89 FEET TO THE NORTHEAST CORNER OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 5250 AT PAGE 008A OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE GO NORTH 42 DEGREES 15 MINUTES 16 SECONDS EAST ALONG THE EAST LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 115.00 FEET; THENCE GO NORTH 36 DEGREES 39 MINUTES 40 SECONDS WEST ALONG THE EAST LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 100.99 FEET TO AN INTERSECTION WITH THE SOUTHERLY RIGHT OF WAY LINE OF REBEL ROAD (37' R/W); THENCE GO NORTH 45 DEGREES 28 MINUTES 13 SECONDS EAST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF SAID REBEL ROAD FOR A DISTANCE OF 600.58 FEET; THENCE GO SOUTH 28 MINUTES 13 SECONDS EAST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF SAID REBEL ROAD FOR A DISTANCE OF 14.50 FEET; THENCE GO NORTH 45 DEGREES 28 MINUTES 13 SECONDS EAST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF SAID REBEL ROAD FOR A DISTANCE OF 96.26 FEET TO AN INTERSECTION WITH THE WESTERLY RIGHT OF WAY LINE OF MOBILE HIGHWAY (R/W WIDTH VARIES); THENCE GO SOUTH 38 DEGREES 47 MINUTES 48 SECONDS EAST ALONG THE WESTERLY RIGHT OF WAY LINE OF SAID MOBILE HIGHWAY (R/W WIDTH VARIES) A DISTANCE OF 521.42 FEET; THENCE GO SOUTH 48 DEGREES 02 MINUTES 54 SECONDS WEST ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 444.64 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL OF LAND; THENCE GO SOUTH 41 DEGREES 26 MINUTES 16 SECONDS EAST ALONG THE SOUTHERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 1.36 FEET; THENCE GO SOUTH 48 DEGREES 09 MINUTES 18 SECONDS WEST ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 243.89 FEET; THENCE GO SOUTH 17 DEGREES 37 MINUTES 37 SECONDS EAST ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 22.32 FEET; THENCE GO SOUTH 48 DEGREES 02 MINUTES 54 SECONDS WEST ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 163.42 FEET TO AN INTERSECTION WITH THE WESTERLY LINE OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 1790 AT PAGE 634 OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE GO SOUTH 48 DEGREES 33 MINUTES 42 SECONDS WEST FOR A DISTANCE OF 46.81 FEET TO THE SOUTHWESTERLY CORNER OF SAID PARCEL OF LAND; THENCE GO SOUTH 41 DEGREES 26 MINUTES 16 SECONDS EAST ALONG THE SOUTHERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 270.63 FEET TO AN INTERSECTION WITH THE WESTERLY LINE OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 684 AT PAGE 1 OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE GO SOUTH 48 DEGREES 28 MINUTES 34 SECONDS WEST ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 209.70 FEET TO A 4" ROUND CONCRETE MONUMENT, UNNUMBERED (FOUND) MARKING THE INTERSECTION WITH THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 7; THENCE GO SOUTH 02 DEGREES 50 MINUTES 02 SECONDS WEST FOR A DISTANCE OF 171.17 FEET TO THE SOUTH LINE OF SAID SECTION 7; THENCE GO NORTH 87 DEGREES 12 MINUTES 04 SECONDS WEST ALONG THE SOUTH LINE OF SAID SECTION 7 FOR A DISTANCE OF 661.01 FEET TO THE POINT OF BEGINNING; THE ABOVE-DESCRIBED PARCEL OF LAND IS SITUATED IN A PORTION OF SECTION 7, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA AND CONTAINS 1.20 ACRES MORE OR LESS.

DESCRIPTION AS PREPARED BY NORTHWEST FLORIDA LAND SURVEYING, INC.

(LOT 3) CREATED AT THE CLIENT'S REQUEST DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA; THENCE GO SOUTH 87 DEGREES 12 MINUTES 04 SECONDS EAST ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 7 FOR A DISTANCE OF 660.00 FEET TO THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 7; THENCE GO NORTH 02 DEGREES 50 MINUTES 02 SECONDS EAST FOR A DISTANCE OF 661.89 FEET TO THE NORTHEAST CORNER OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 5250 AT PAGE 008A OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE GO NORTH 42 DEGREES 15 MINUTES 16 SECONDS EAST ALONG THE EAST LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 115.00 FEET; THENCE GO NORTH 36 DEGREES 39 MINUTES 40 SECONDS WEST ALONG THE EAST LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 100.99 FEET TO AN INTERSECTION WITH THE SOUTHERLY RIGHT OF WAY LINE OF REBEL ROAD (37' R/W); THENCE GO NORTH 45 DEGREES 28 MINUTES 13 SECONDS EAST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF SAID REBEL ROAD FOR A DISTANCE OF 600.58 FEET; THENCE GO SOUTH 28 MINUTES 13 SECONDS EAST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF SAID REBEL ROAD FOR A DISTANCE OF 14.50 FEET; THENCE GO NORTH 45 DEGREES 28 MINUTES 13 SECONDS EAST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF SAID REBEL ROAD FOR A DISTANCE OF 96.26 FEET TO AN INTERSECTION WITH THE WESTERLY RIGHT OF WAY LINE OF MOBILE HIGHWAY (R/W WIDTH VARIES); THENCE GO SOUTH 38 DEGREES 47 MINUTES 48 SECONDS EAST ALONG THE WESTERLY RIGHT OF WAY LINE OF SAID MOBILE HIGHWAY (R/W WIDTH VARIES) A DISTANCE OF 521.42 FEET; THENCE GO SOUTH 48 DEGREES 02 MINUTES 54 SECONDS WEST ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 444.64 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL OF LAND; THENCE GO SOUTH 41 DEGREES 26 MINUTES 16 SECONDS EAST ALONG THE SOUTHERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 1.36 FEET; THENCE GO SOUTH 48 DEGREES 09 MINUTES 18 SECONDS WEST ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 243.89 FEET; THENCE GO SOUTH 17 DEGREES 37 MINUTES 37 SECONDS EAST ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 22.32 FEET; THENCE GO SOUTH 48 DEGREES 02 MINUTES 54 SECONDS WEST ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 163.42 FEET TO AN INTERSECTION WITH THE WESTERLY LINE OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 1790 AT PAGE 634 OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE GO SOUTH 48 DEGREES 33 MINUTES 42 SECONDS WEST FOR A DISTANCE OF 46.81 FEET TO THE SOUTHWESTERLY CORNER OF SAID PARCEL OF LAND; THENCE GO SOUTH 41 DEGREES 26 MINUTES 16 SECONDS EAST ALONG THE SOUTHERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 270.63 FEET TO AN INTERSECTION WITH THE WESTERLY LINE OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 684 AT PAGE 1 OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE GO SOUTH 48 DEGREES 28 MINUTES 34 SECONDS WEST ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 209.70 FEET TO A 4" ROUND CONCRETE MONUMENT, UNNUMBERED (FOUND) MARKING THE INTERSECTION WITH THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 7; THENCE GO SOUTH 02 DEGREES 50 MINUTES 02 SECONDS WEST FOR A DISTANCE OF 171.17 FEET TO THE SOUTH LINE OF SAID SECTION 7; THENCE GO NORTH 87 DEGREES 12 MINUTES 04 SECONDS WEST ALONG THE SOUTH LINE OF SAID SECTION 7 FOR A DISTANCE OF 661.01 FEET TO THE POINT OF BEGINNING; THE ABOVE-DESCRIBED PARCEL OF LAND IS SITUATED IN A PORTION OF SECTION 7, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA AND CONTAINS 1.13 ACRES MORE OR LESS.

DESCRIPTION AS PREPARED BY NORTHWEST FLORIDA LAND SURVEYING, INC.

(20' WIDE ACCESS EASEMENT) CREATED AT THE CLIENT'S REQUEST DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA; THENCE GO SOUTH 87 DEGREES 12 MINUTES 04 SECONDS EAST ALONG THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 7 FOR A DISTANCE OF 660.00 FEET TO THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 7; THENCE GO NORTH 02 DEGREES 50 MINUTES 02 SECONDS EAST FOR A DISTANCE OF 661.89 FEET TO THE NORTHEAST CORNER OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 5250 AT PAGE 008A OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE GO NORTH 42 DEGREES 15 MINUTES 16 SECONDS EAST ALONG THE EAST LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 115.00 FEET; THENCE GO NORTH 36 DEGREES 39 MINUTES 40 SECONDS WEST ALONG THE EAST LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 100.99 FEET TO AN INTERSECTION WITH THE SOUTHERLY RIGHT OF WAY LINE OF REBEL ROAD (37' R/W); THENCE GO NORTH 45 DEGREES 28 MINUTES 13 SECONDS EAST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF SAID REBEL ROAD FOR A DISTANCE OF 600.58 FEET; THENCE GO SOUTH 28 MINUTES 13 SECONDS EAST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF SAID REBEL ROAD FOR A DISTANCE OF 14.50 FEET; THENCE GO NORTH 45 DEGREES 28 MINUTES 13 SECONDS EAST ALONG THE SOUTHERLY RIGHT OF WAY LINE OF SAID REBEL ROAD FOR A DISTANCE OF 96.26 FEET TO AN INTERSECTION WITH THE WESTERLY RIGHT OF WAY LINE OF MOBILE HIGHWAY (R/W WIDTH VARIES); THENCE GO SOUTH 38 DEGREES 47 MINUTES 48 SECONDS EAST ALONG THE WESTERLY RIGHT OF WAY LINE OF SAID MOBILE HIGHWAY (R/W WIDTH VARIES) A DISTANCE OF 521.42 FEET; THENCE GO SOUTH 48 DEGREES 02 MINUTES 54 SECONDS WEST ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 444.64 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL OF LAND; THENCE GO SOUTH 41 DEGREES 26 MINUTES 16 SECONDS EAST ALONG THE SOUTHERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 1.36 FEET; THENCE GO SOUTH 48 DEGREES 09 MINUTES 18 SECONDS WEST ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 243.89 FEET; THENCE GO SOUTH 17 DEGREES 37 MINUTES 37 SECONDS EAST ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 22.32 FEET; THENCE GO SOUTH 48 DEGREES 02 MINUTES 54 SECONDS WEST ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 163.42 FEET TO AN INTERSECTION WITH THE WESTERLY LINE OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 1790 AT PAGE 634 OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE GO SOUTH 48 DEGREES 33 MINUTES 42 SECONDS WEST FOR A DISTANCE OF 46.81 FEET TO THE SOUTHWESTERLY CORNER OF SAID PARCEL OF LAND; THENCE GO SOUTH 41 DEGREES 26 MINUTES 16 SECONDS EAST ALONG THE SOUTHERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 270.63 FEET TO AN INTERSECTION WITH THE WESTERLY LINE OF THAT PARCEL OF LAND DESCRIBED IN OFFICIAL RECORDS BOOK 684 AT PAGE 1 OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE GO SOUTH 48 DEGREES 28 MINUTES 34 SECONDS WEST ALONG THE WESTERLY LINE OF SAID PARCEL OF LAND FOR A DISTANCE OF 209.70 FEET TO A 4" ROUND CONCRETE MONUMENT, UNNUMBERED (FOUND) MARKING THE INTERSECTION WITH THE EAST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 7; THENCE GO SOUTH 02 DEGREES 50 MINUTES 02 SECONDS WEST FOR A DISTANCE OF 171.17 FEET TO THE SOUTH LINE OF SAID SECTION 7; THENCE GO NORTH 87 DEGREES 12 MINUTES 04 SECONDS WEST ALONG THE SOUTH LINE OF SAID SECTION 7 FOR A DISTANCE OF 661.01 FEET TO THE POINT OF BEGINNING; THE ABOVE-DESCRIBED PARCEL OF LAND IS SITUATED IN A PORTION OF SECTION 7, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA AND CONTAINS 0.22 ACRES MORE OR LESS.

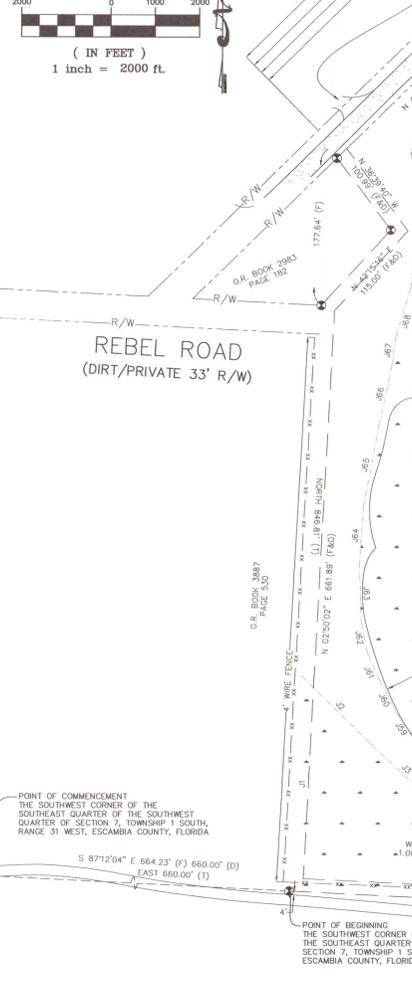
- GENERAL NOTES:
1. THE BEARINGS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN DATUM 1983, STATE PLANE MAPPING ZONE FLORIDA NORTH 0903, LAMBERT PROJECTION AS ESTABLISHED ALONG THE SOUTH LINE OF THE SUBJECT PROPERTY HAVING A BEARING OF NORTH 47 DEGREES 12 MINUTES 04 SECONDS WEST.
 2. THE SURVEY DATUM AS SHOWN HEREON IS REFERENCED TO THE DESCRIPTION AS FURNISHED AND TO EXISTING FIELD MONUMENTATION.
 3. A TITLE COMMITMENT WAS PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO. 1054-444041, COMMITMENT DATE: MARCH 4, 2020 @ 8:00 AM, AND WAS PROVIDED TO NORTHWEST FLORIDA LAND SURVEYING, INC. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, STATE AND/OR FEDERAL JURISDICTIONAL AREAS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE SUBJECT PROPERTY.
 4. THE PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE "X", OUTSIDE 0.2% ANNUAL CHANCE OF FLOOD, AS DETERMINED FROM FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA (UNINCORPORATED AREAS), MAP NUMBER 17033C 0270 G, REVISED SEPTEMBER 29, 2006.
 5. THIS SURVEY DOES NOT DETERMINE OWNERSHIP.
 6. THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.051 - 5J-17.053 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, TO THE BEST OF MY KNOWLEDGE AND BELIEF.
 7. THE MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS.
 8. THE MEASUREMENTS OF THE BUILDINGS AND/OR FOUNDATIONS SHOWN HEREON DO NOT INCLUDE CONCRETE FOOTERS OR EAST VERTICALLY.
 9. FENCE LOCATIONS SHOWN HEREON MAY BE EXAGGERATED AND NOT TO SCALE FOR CLARITY PURPOSES.
 10. FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE REPRODUCED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM, WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER, FRED R. THOMPSON, AND IS TO BE RETURNED TO OWNER UPON REQUEST.
 11. THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY ISSUED ON THE SURVEY DATE WITH A RAISED SCALE TO INSURE THE ACCURACY OF THE INFORMATION AND TO FURTHER INSURE THAT NO CHANGES, ALTERATIONS OR MODIFICATIONS HAVE BEEN MADE. NO RELIANCE SHOULD BE MADE ON ANY COPY TRANSMITTED BY COMPUTER OR OTHER ELECTRONIC MEANS UNLESS FIRST COMPARED TO THE ORIGINAL SIGNED AND SEALED DOCUMENT.
 12. THIS SURVEY MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS BY COUNTY, STATE OR OTHER AGENCIES.
 13. ENCROACHMENTS ARE AS SHOWN.
 14. THE COUNTY TAX MAP AND STATE RIGHT OF WAY MAP SHOWS A 40 FOOT DRAINAGE EASEMENT SOUTH AND PARALLEL TO MOBILE HIGHWAY, NO EASEMENT DOCUMENTATION WAS FOUND IN THE TITLE SEARCH.

DENOTES:

- (1) ~ 1/2" CAPPED IRON ROD, NUMBERED 7277 (PLACED)
- (2) ~ 1/2" CAPPED IRON ROD, NUMBERED 4088 (FOUND)
- (3) ~ 1/2" CAPPED IRON ROD, NUMBERED 7917 (FOUND)
- (4) ~ 1" IRON ROD, UNNUMBERED (FOUND)
- (5) ~ 4" ROUND CONCRETE MONUMENT, UNNUMBERED (FOUND)
- (D) ~ DEED INFORMATION
- (F) ~ FIELD INFORMATION
- (T) ~ TITLE COMMITMENT INFORMATION
- R/W ~ RIGHT OF WAY
- O.C.B. ~ OFFICIAL RECORD BOOK
- O.C. ~ OFFICIAL RECORD
- P.G. ~ PAGE

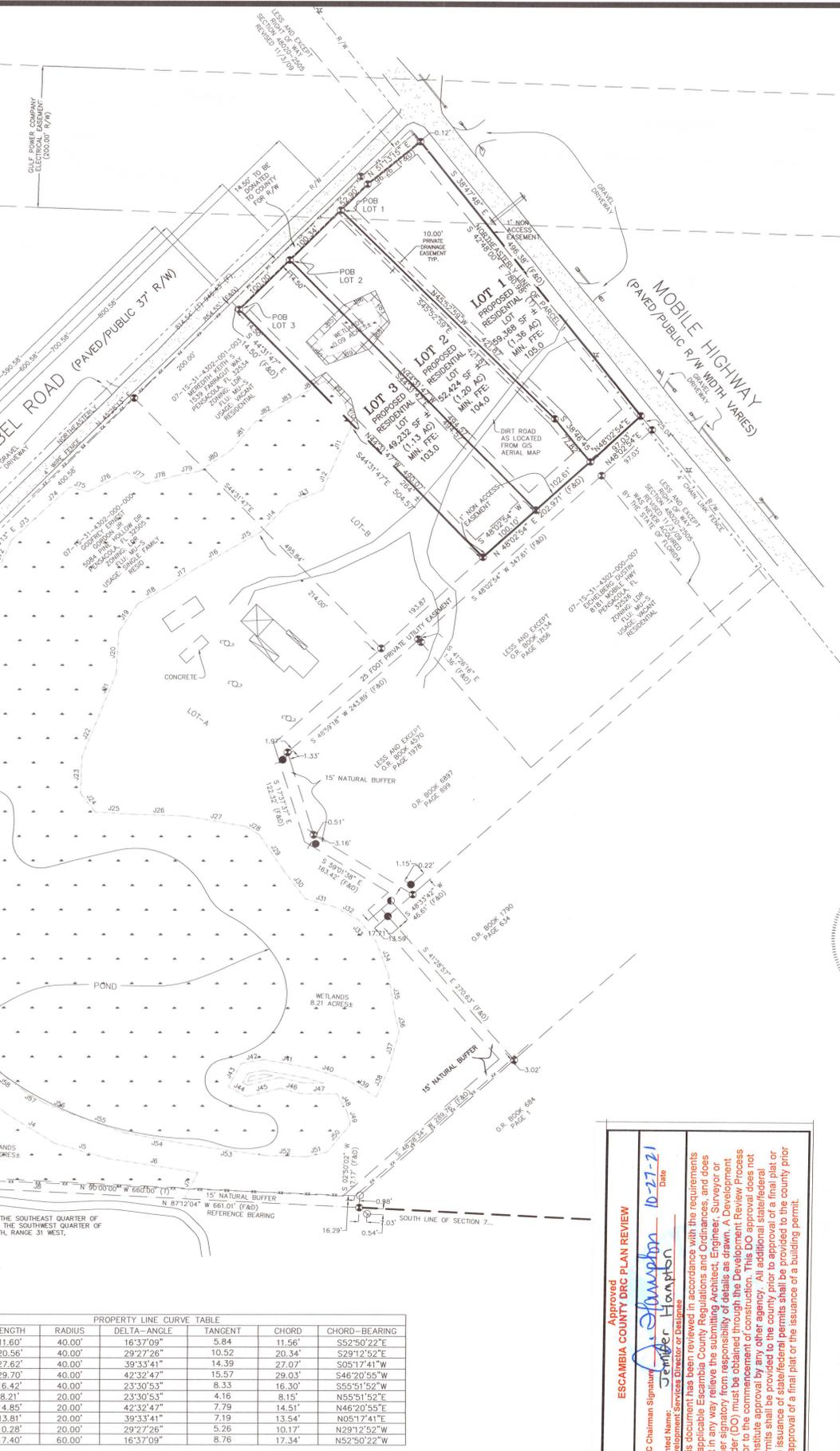


(IN FEET)
1 inch = 2000 ft.



PROPERTY LINE CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA-ANGLE	TANGENT	CHORD	CHORD-BEARING
C1	11.60'	40.00'	16:37:09"	5.84	11.56'	S52°50'22"E
C2	20.56'	40.00'	29:27:26"	10.52	20.34'	S29°12'52"E
C3	27.62'	40.00'	39:33:41"	14.39	27.07'	S05°17'41"W
C4	29.70'	40.00'	42:32:47"	15.57	29.03'	S46°20'55"W
C5	16.42'	20.00'	23:30:53"	8.33	16.30'	S55°51'52"W
C6	8.21'	20.00'	23:30:53"	4.16	8.15'	N55°51'52"E
C7	14.95'	20.00'	42:32:47"	7.79	14.51'	N46°20'55"E
C8	20.00'	20.00'	39:33:41"	13.91	13.54'	N05°17'41"E
C9	10.28'	20.00'	29:27:26"	5.26	10.17'	N29°12'52"W
C10	17.40'	60.00'	16:37:09"	8.76	17.34'	N52°50'22"W



REVISIONS

NO.	DATE	AS PER ESCAMBIA COUNTY DRC COMMENTS
1.	9-30-21	AS PER ESCAMBIA COUNTY DRC COMMENTS
2.	10-5-21	ADDED R/W DONATION TO COUNTY
3.	10-12-21	

THIS DRAWING IS THE PROPERTY OF HAMMOND ENGINEERING, INC. AND IS NOT TO BE REPRODUCED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

ME

HAMMOND ENGINEERING, INC.
 FLORIDA AUTHORIZATION NO. 9130
 ALABAMA AUTHORIZATION NO. 3277
 3802 NORTH 5TH STREET
 PENSACOLA, FLORIDA 32505
 850.434.2603
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 TOM@BELANDEDDESIGN.COM

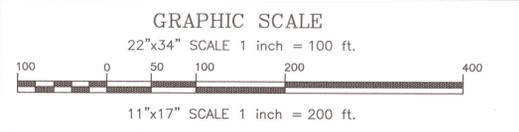


CONSTRUCTION PLANS FOR REBEL ROAD MINOR SUBDIVISION
 SECTION 7, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA
 STAKING PLAN

DESIGNED BY: TCH/AEB
 CHECKED BY: TCH
 DATE: OCTOBER 2021
 SCALE: AS SHOWN
 NOT RELEASED FOR CONSTRUCTION
 DATE:

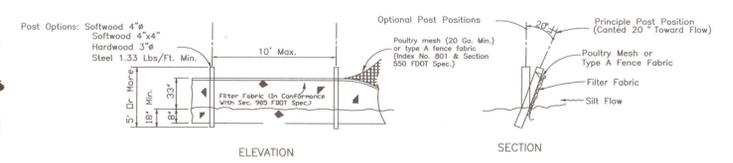
PROJECT NO: 19-044
 SHEET: 1 OF 2

Approved by
 ESCAMBIA COUNTY DRC PLAN REVIEW
 Date: 10-27-21
 DRC Chairman Signature: [Signature]
 Printed Name: Jennifer Hammon
 Title: Director
 This document has been reviewed in accordance with the requirements of applicable Escambia County Ordinances and Code, and does not in any way relieve the engineer, surveyor or other signatory from responsibility of details as set forth in the Order (DO) must be obtained through the Development Review Process prior to



- NOTES:**
- ① ~ 1/2" CAPPED IRON ROD, NUMBERED 7277 (PLACED)
 - ② ~ 1/2" CAPPED IRON ROD, NUMBERED 4082 (FOUND)
 - ③ ~ 1/2" CAPPED IRON ROD, NUMBERED 7917 (FOUND)
 - ④ ~ 1/2" IRON ROD, UNNUMBERED (FOUND)
 - ⑤ ~ DEED INFORMATION
 - (T) ~ FIELD INFORMATION
 - (B) ~ TITLE COMMITMENT INFORMATION
 - R/W ~ RIGHT OF WAY
 - P.O.B. ~ POINT OF BEGINNING
 - O.R. ~ OFFICIAL RECORD
 - P.G. ~ PAGE

- SPECIAL LINES:**
- FM ~ SANITARY SEWER FORCEMAIN
 - W ~ WATER SERVICE LINE



- TYPE IV SILT FENCE**
NTS
- 14.5' DONATION FOR R/W TO ESCAMBIA COUNTY
 - WETLANDS 4,605 SF (0.10 AC)
 - WETLAND BUFFER 3,976 SF (0.09 AC)
- BUFFER CALCULATION:**
341 LF DILINEATED WETLAND LINE
11,488 SF WETLAND BUFFER/341
LF = 33.7' AVERAGE BUFFER WIDTH

- UTILITY NOTES:**
- THE HOMEOWNER SHALL BE RESPONSIBLE FOR PERMITTING AND CONNECTIONS TO EXISTING POTABLE WATER SYSTEM.
 - THE HOME BUILDER SHALL BE RESPONSIBLE FOR PERMITTING AND CONSTRUCTION OF A LOW PRESSURE PUMP STATION FOR EACH PROPOSED RESIDENCE.
- NOTE:**
ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.
- NOTE:**
TREE REMOVAL PRIOR TO CONSTRUCTION OF THE DWELLING SHALL ONLY BE ALLOWED AFTER COUNTY ISSUANCE OF A BUILDING PERMIT FOR THE DWELLING OR A SEPARATE TREE REMOVAL PERMIT.
- NOTE:**
THERE ARE NO EXISTING HERITAGE TREES ON-SITE.

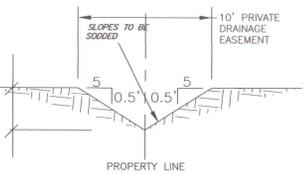
FLOOD ZONE DATA

THE SUBJECT PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT ANNUAL-CHANCE FLOODPLAINS. NO DEPT'S OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY NUMBER 120080, FROM MAP PANEL NUMBER 12033052705, MAP REVISION DATED SEPTEMBER 29, 2006.

FLOOD ZONE(S)	FIP COMMUNITY NUMBER	MAP NUMBER	PANEL NUMBER(S)	SUFFIX	MAP REVISION DATE
X	120080	12033C	0270	G	SEPTEMBER 29, 2006

STORMWATER EXEMPTION
LOT IS EXEMPT FROM STORMWATER [DSM CH.1, ART.1-1.6(B)] MANAGEMENT PLAN IF PROPOSED IMPERVIOUS SURFACE

LOT 1	<	4,924 SF
LOT 2	<	4,310 SF
LOT 3	<	4,055 SF



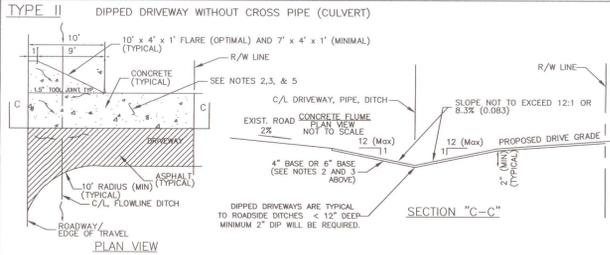
TYPICAL SWALE X-SECTION
NTS

NOTE: DRAINAGE CONVEYANCE SWALES ARE TO BE BUILT BY THE CONTRACTOR. SIDE YARD SWALES ARE TO BE BUILT BY THE HOMEOWNER.

NOTE: PRIVATE SIDE YARD EASEMENTS SHALL NOT BE BLOCKED BY ANYTHING THAT MAY HINDER THE FLOW OF STORMWATER (I.E. A/C UNITS, ETC.).

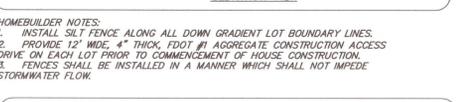
TYPICAL DRIVEWAY CONNECTION STANDARDS FOR EXISTING ROADWAY CONDITIONS

- NOTES:**
- ALL MATERIALS AND LABOR FOR INSTALLATION SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER/CONTRACTOR.
 - RESIDENTIAL DRIVEWAYS ABUTTING PAVED ROADS SHALL BE 1" - 1/2" ASPHALT WITH 6" STABILIZED SUB GRADE OR 4" CONCRETE WITH 6" STABILIZED SUB GRADE - 98% COMPACTION (MODIFIED PROCTOR) WITH LBR 40 BETWEEN EDGE OF ROADWAY AND R/W LINE. COMPACTION AND TESTING IF NECESSARY, THIS WILL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.
 - DRIVEWAYS ABUTTING A DIRT ROAD SHALL BE MIELLED ASPHALT, GRADED AGGREGATE BASE, OR WASHED CONCRETE (4" IN DEPTH) ON THE COUNTY MAINTAINED PORTION OF DRIVEWAY.
 - IF NECESSARY, REFER TO FOOT INDEX DETAILS AS REFERENCED BELOW.
 - RADIUS OR FLARE IS REQUIRED FOR TYPE II OR TYPE III CONNECTIONS. SEE DETAIL.
 - PARKING SPACES WITHIN COUNTY RIGHT-OF-WAY SHALL PROVIDE A MINIMUM OF 2 PARKING SPACES.
 - TYPICAL DRIVEWAY SECTIONS ARE TO BE 12" WIDE MINIMUM, (4" MIN. RESIDENTIAL DEPTH - 6" MIN. COMMERCIAL DEPTH)
 - DRIVEWAY SLOPE SHALL NOT CREATE OR EXACERBATE VEHICULAR SCRAPING. ATTEMPTS SHALL BE MADE TO CORRECT THIS TYPE OF PROBLEM.



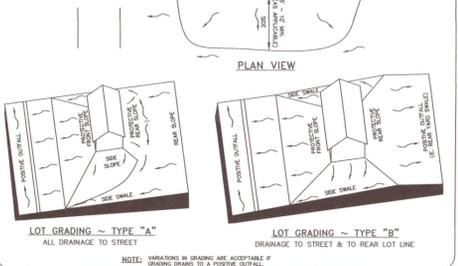
MINIMUM STANDARDS FOR TYPICAL RESIDENTIAL GRADING CONTROL PLAN

- NOTES:**
- A POSITIVE DRAINAGE OUTFALL IS A CONVEYANCE SYSTEM (DRAINAGE EASEMENT, ROADWAY WITH A DRAINAGE SYSTEM - CURB & GUTTER OR DITCH) WHICH CONTAINS, CONTROLS AND TRANSMITS STORMWATER SAFELY TO A CREEK, STREAM, RIVER, SEA, GULF COAST, OR OTHER WATERS OF THE STATE, OR WATERS OF THE UNITED STATES, OR TO ANY FUNCTIONAL ESCAMBIA COUNTY OR STATE DRAINAGE SYSTEM.
 - FRESH FLOOR ELEVATION SHALL BE AS SPECIFIED BY BUILDING CODE.
 - THOSE ARE MINIMAL REQUIREMENTS AND DO NOT RELIEVE THE BUILDER FROM PROVIDING ADDITIONAL GRADING TO DIRECT STORMWATER TO A POSITIVE DRAINAGE SYSTEM AND ELIMINATE NEGATIVE IMPACTS TO ADJACENT LOTS AND PROPERTIES.
 - DISBURSED LOT AREAS SHALL BE COMPLETELY STABILIZED WITH SOIL. IF THE HOME IS CONSTRUCTED, STABILIZE THE FIRST 10' WITH SOIL AND SOIL AND/OR FERTILIZER AND WEEDS THE REMAINDER OF THE LOT.
 - THE HOMEOWNER SHALL COMPLY WITH STATE PERMITTING REQUIREMENTS FOR LARGE AND SMALL CONSTRUCTION SITES, ESPECIALLY THE WETLANDS PERMIT WHICH REQUIRES A DETAILED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING AVAILABLE ON-SITE FOR REVIEW DURING ALL PHASES OF CONSTRUCTION.
 - LOT CLEARING ACTIVITIES SHALL NOT PROCEED WITHOUT BUILDING PERMITS FOR THOSE LOTS EXCLUDING CLEARING REQUIRED FOR CONSTRUCTION OF CONVEYANCE SWALES OR DRAINAGE FEATURES DEEMED AS THE DEVELOPER'S RESPONSIBILITY.
 - ALL NEW RUNOFF, DOWNSPUTS, AND OUTFALLS SHALL BE ROUTED TO CARRY ALL STORMWATER TO THE ROADS OR SWALES THAT LEAD TO THE RESIDUAL FLOW OR APPROVED DRAINAGE SYSTEM.
 - PREVENT EROSION CONTROL MEASURES TO ENSURE ALL SEDIMENTS SHALL BE RETAINED ON EACH INDIVIDUAL LOT.
 - WETLANDS SHALL BE PROTECTED WITH FABRIC SILT FENCING AND BURIED HARBLE SYSTEMS (DOUBLE ROWS AS NECESSARY).

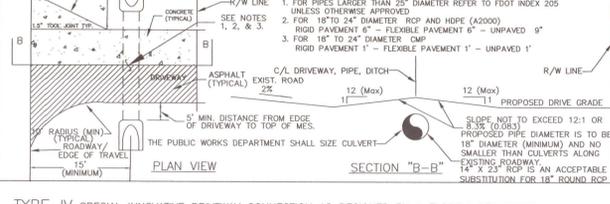


- LEGEND:**
- F.F.E. = FRESH FLOOR ELEVATION
 - F.G.E. = FRESH GRADE ELEVATION
 - = CONVEYANCE FLOW DIRECTION
 - = GRADE SLOPE (DRAINAGE)
 - = MINIMUM GRADE

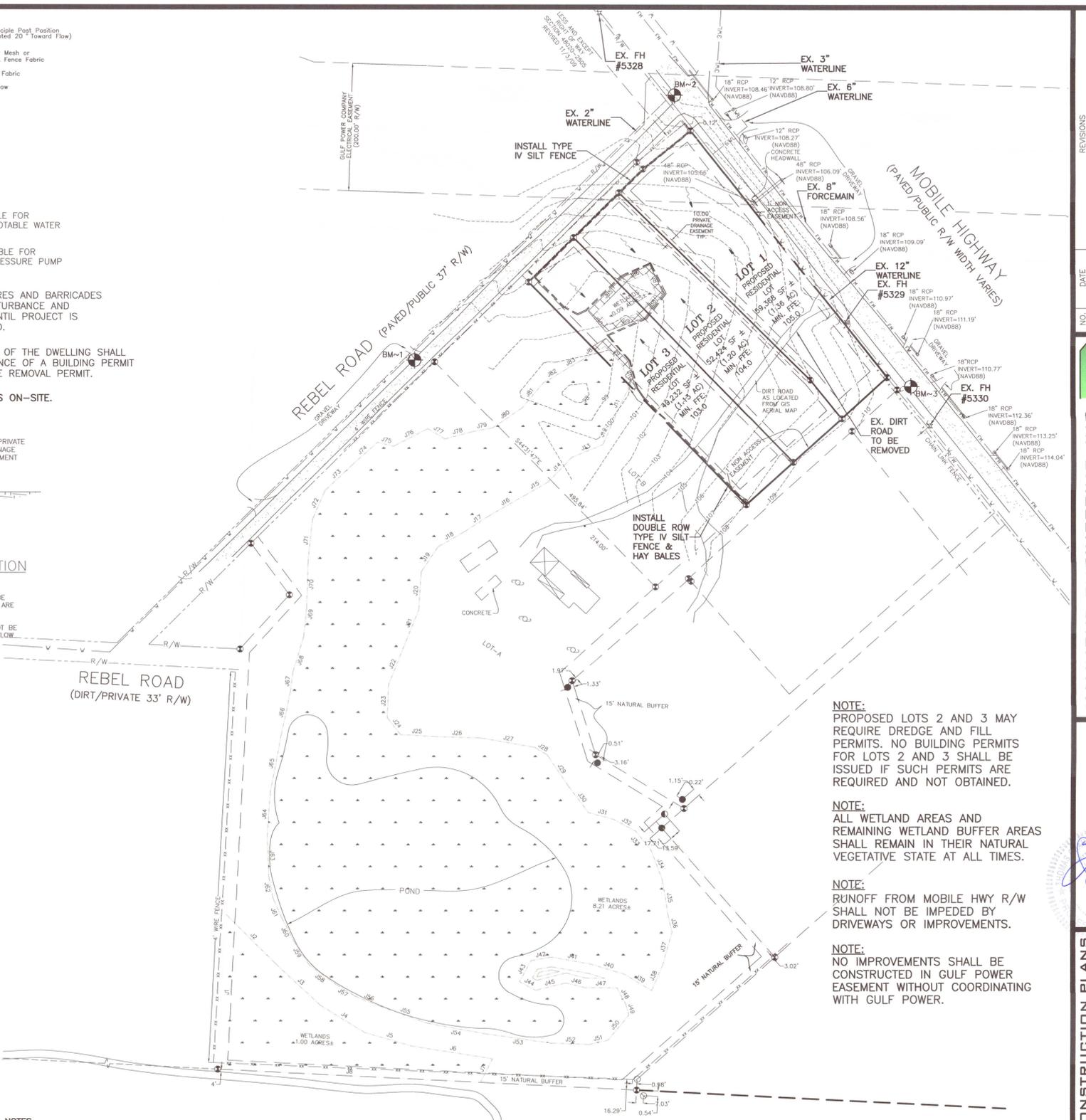
- HOMEOWNER NOTES:**
- INSTALL SILT FENCE ALONG ALL DOWN GRADIENT LOT BOUNDARY LINES.
 - PROVIDE 12" WIDE, 4" THICK, FOOT #1 AGGREGATE CONSTRUCTION ACCESS DRIVE ON EACH LOT PRIOR TO COMMENCEMENT OF HOUSE CONSTRUCTION.
 - FENCES SHALL BE INSTALLED IN A MANNER WHICH SHALL NOT IMPEDE STORMWATER FLOW.



TYPE III-A CROSS PIPE (CULVERT) DRIVEWAY NOTES:



- TYPE IV** SPECIAL INNOVATIVE DRIVEWAY CONNECTION AS DESIGNED BY A FLORIDA REGISTERED PROFESSIONAL ENGINEER (P.E.) OR LICENSED CONTRACTOR APPROVED BY THE APPROPRIATE PUBLIC WORKS / DEVELOPMENT REVIEW STAFF AND REQUIRES A DETAILED PLAN SUBMITTAL FOR REVIEW PRIOR TO ISSUANCE OF PERMIT.
- TYPE IV-A** REQUIRES A F.D.O.T. CONNECTION PERMIT (PROVIDE APPROVED F.D.O.T. PERMIT TO OBTAIN COUNTY APPROVAL). REFER TO INDEX NO. 515 AND CONTACT F.D.O.T. AT (850) 981-3000. MAY REQUIRE PLANS PREPARED BY A FLORIDA REGISTERED PROFESSIONAL ENGINEER (P.E.).



NOTES:

THERE IS NO PROPOSED IMPERVIOUS SURFACE ASSOCIATED WITH THIS DEVELOPMENT (ALL LOTS) WHICH MEETS THE STORMWATER EXEMPTION CRITERIA OF THE ESCAMBIA COUNTY LAND DEVELOPMENT CODE.

PRIOR TO ISSUANCE OF A BUILDING PERMIT FOR EACH LOT, A STORMWATER MANAGEMENT PLAN PREPARED BY A PROFESSIONAL ENGINEER MAY BE REQUIRED BY ESCAMBIA COUNTY IF PROPOSED IMPERVIOUS COVER EXCEEDS 3,000 SQUARE FEET ON LOTS LESS THAN 1/4 ACRE IN SIZE; OR 3,500 SQUARE FEET OF LOT AREA ON 1/4 ACRE UP TO ONE ACRE IN SIZE; OR EIGHT PERCENT OF LOT AREA GREATER THAN ONE ACRE IN SIZE.

EACH LOT MAY BE REQUIRED TO OBTAIN AN ENVIRONMENTAL RESOURCE JOINT USE PERMIT UNLESS EXEMPTED AS PER 62-330.051(13) F.A.C.

EACH LOT SHALL OBTAIN A DRIVEWAY PERMIT FROM ESCAMBIA COUNTY'S TRAFFIC AND TRANSPORTATION DEPARTMENT. CONTACT JASON WALTERS 850-595-3422 FOR SPECIFICS.

BENCHMARK DATA:
BM-1= NAIL&DISK IN ASPHALT ELEVATION=100.73' (NAVD88)
BM-2= NAIL&DISK IN ASPHALT ELEVATION= 110.65' (NAVD88)
BM-3= NAIL&DISK IN ASPHALT ELEVATION= 113.64' (NAVD88)

NOTE:
PROPOSED LOTS 2 AND 3 MAY REQUIRE DREDGE AND FILL PERMITS. NO BUILDING PERMITS FOR LOTS 2 AND 3 SHALL BE ISSUED IF SUCH PERMITS ARE REQUIRED AND NOT OBTAINED.

NOTE:
ALL WETLAND AREAS AND REMAINING WETLAND BUFFER AREAS SHALL REMAIN IN THEIR NATURAL VEGETATIVE STATE AT ALL TIMES.

NOTE:
RUNOFF FROM MOBILE HWY R/W SHALL NOT BE IMPEDED BY DRIVEWAYS OR IMPROVEMENTS.

NOTE:
NO IMPROVEMENTS SHALL BE CONSTRUCTED IN GULF POWER EASEMENT WITHOUT COORDINATING WITH GULF POWER.

REVISIONS

NO.	DATE	DESCRIPTION
1.	9-30-21	AS PER ESCAMBIA COUNTY DRC COMMENTS
2.	10-5-21	AS PER ESCAMBIA COUNTY DRC COMMENTS
3.	10-12-21	ADDED R/W DONATION TO COUNTY

HE

HAMMOND ENGINEERING, INC.
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ALABAMA AUTHORIZATION NO. 3277
3802 NORTH 15TH STREET
PENSACOLA, FLORIDA 32505
850.434.2603
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TOM@SELANDESIGN.COM



CONSTRUCTION PLANS FOR
REBEL ROAD
MINOR SUBDIVISION
SECTION 7, TOWNSHIP 1 SOUTH,
RANGE 31 WEST
GRADING PLAN
FLORIDA
ESCAMBIA COUNTY

DRAWN BY: CY
DESIGNED BY: TGH/ARS
CHECKED BY: TGH
DATE: OCTOBER 2021
SCALE: AS SHOWN
NOT RELEASED FOR CONSTRUCTION
BY: _____
DATE: _____

PROJECT NO: 19-044
SHEET: 2 OF 2