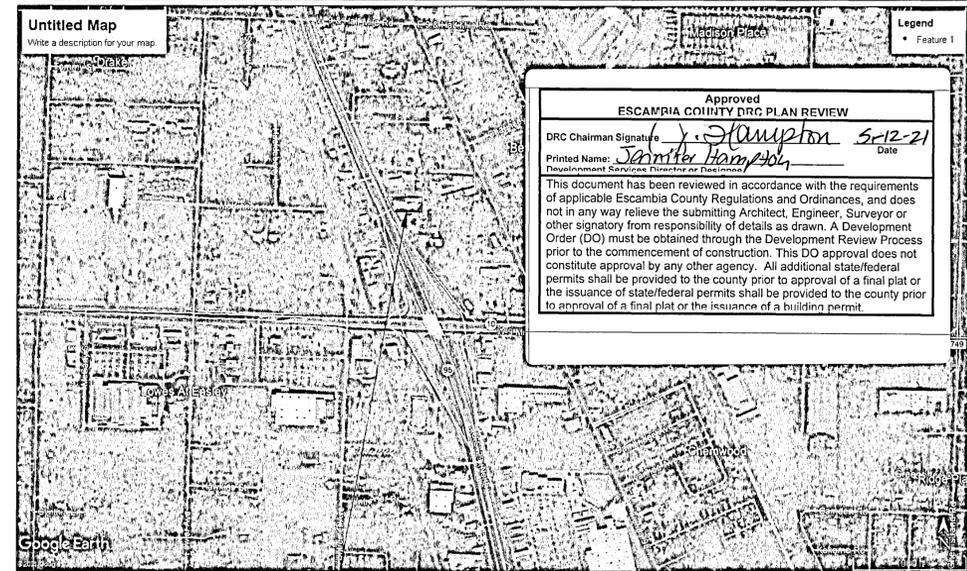


CIVIL SITE PLANS FOR
**DKJ REAL PROPERTIES
 PERSONAL SERVICE BUILDING**
 9500 PENSACOLA BOULEVARD
 PENSACOLA, FLORIDA 32534

OWNER INFORMATION/DEVELOPER
 OWNER: DKJ REAL PROPERTIES, LLC (DENNIS JOHNSTON)
 8901 PENSACOLA BOULEVARD
 PENSACOLA, FLORIDA 32534
 850-572-3645

PROPERTY REFERENCE #: 08-1S-30-3201-031-005
 ZONING DISTRICT: HC/LI
 FLUM CATEGORY: C



PROJECT LOCATION VICINITY MAP
 SCALE: 1"=0.50 MILE

INDEX OF DRAWINGS

- T1 - TITLE SHEET AND GENERAL NOTES
- C1 - EXISTING SITE & DEMOLITION PLAN
- C2 - SITE & GRADING PLAN
- C3 - CONSTRUCTION DETAILS

GENERAL NOTES

1. All work shall comply with these specifications and applicable standards established by Escambia County. Where these Specifications and the County Standards deviate, the more stringent requirements shall prevail unless approved otherwise by the engineer of record.
2. The Contractor shall coordinate the work of the utility subcontractors to ensure that all utility installations proceed in a timely manner and to prevent conflicts in the installation of the water, sewer, electric power, and telephone lines.
3. All conditions and stipulations of the construction permits and the approvals issued by the Escambia County and Florida Department of Transportation shall be complied with in every detail.
4. This is not a survey, boundary information based upon a survey performed by NORTHWEST FLORIDA LAND SURVEING INC. (850-432-1052) Project #: 24429, dated 03-24-21.

GENERAL REQUIREMENTS GRADING AND DRAINAGE CONSTRUCTION

1. All areas to be cut or filled shall be cleared and grubbed. All rights-of-ways, easements, and the retention pond areas are to be cleared & grubbed. Clearing and grubbing shall be as per Section 110 of the 2020 FDOT Standard Specifications for Roads and Bridges..
2. All disturbed and/or exposed soil/dirt in the FDOT right-of-way shall be stabilized with bahia sod.
3. The County, its officers, and employees shall be held harmless from any damage to persons or property which might result from work or activity undertaken by the developer and authorized by the County.
4. THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988, FROM ESCAMBIA COUNTY GEODETIC CONTROL POINT STAMPED "ESC 4075" HAVING A PUBLISHED ELEVATION OF 109.05 FEET. BASED ON ESCAMBIA COUNTY, FLORIDA GPS NETWORK SURVEY PERFORMED BY BASKERVILLE DONOVAN, INC. DATED 10/15/97. SEE SHEETS C1 & C3 FOR BENCHMARK LOCATIONS.

BENCHMARK DATA:

BM~1 NAIL AND DISK LABELED REBOL/BATTLE
 ELEVATION= 125.68' (NAVD88)

 BM~2 NAIL AND DISK LABELED REBOL/BATTLE
 ELEVATION= 123.65' (NAVD88)

GENERAL REQUIREMENT OF GRADING AND DRAINAGE CONSTRUCTION (CONTINUED)

5. The project engineer (engineer of record) shall provide to Escambia As-Built record drawings for verification and approval by Escambia County one week prior to requesting a certificate of occupancy, or provide "As-Built Certification" that the project construction adheres to the permitted plans and specifications. As-Built drawings shall include topo of pond verifying volume, outlet structure details, drainage structure modifications, and hydrology study on as-built data." The As-built Certification or the As-Built record drawings must be signed, sealed and dated by a registered Florida Professional Engineer.
6. The contractor shall be responsible for installation of sediment control structures prior to the start of construction and maintenance/repairs during construction as required to retain all sediments and erosion on the site of development. Improper sediment control measures may result in Code Enforcement Violation.
8. All disturbed areas which are not paved are to be stabilized per note 2 above.
9. Contractor shall maintain record drawings during construction which show As-Built conditions of all work including piping, drainage structures, topo of pond, outlet structures, dimensions, etc. These record drawings are to be provided to the Project Engineer prior to requesting final inspection.
10. No deviations or revisions from these plans by the contractor shall be allowed without prior approval from both the design engineer and the Escambia County Engineer.
11. The contractor shall notify FDOT 48 hours in advance prior to initiating any work in the state rights-of-way.
12. The contractor shall obtain a permit from the Escambia Road & Bridge Department and/or Florida Department of Transportation prior to commencing any work in the County or FDOT R/W.
13. All aspects of the stormwater/drainage components and/or transportation components shall be completed prior to issuance of a final certificate of occupancy.
14. The owner or his agent shall arrange/schedule with the County a final inspection of the development upon completion and any intermediate inspections at 850-595-3472. As-built certification is required prior to request for final inspection/approval.
15. Any damage to existing roads during construction will be repaired by the developer prior to final "as-built" sign off from the county.
16. All new building roof drains, down spouts, or gutters shall be routed to carry all stormwater to acceptable positive outfall.

LAND DISTURBANCE ACTIVITIES

1. All trees shall remain onsite and any proposed land clearing or land disturbance activities, including the placement of fill/fill materials, grading, excavating, etc. shall not occur until such time as appropriate permit(s) are issued for such site work.
2. All land shall remain vegetated & in its natural state until such time as DRC Site Plan & any additional permitting approvals allow for such, per code. All tree removal, land clearing, placement of fill materials, or other Land Disturbing Activities, etc. shall be permitted or otherwise approved by the County prior to initiation.

UTILITY CONSTRUCTION

1. Location of existing utilities shown on plans are approximate only and it shall be the responsibility of the Contractor to verify the location before construction. Failure of the plans to show the existence of any underground utilities, structures, etc., shall not relieve the Contractor from the responsibility of locating, preserving and protecting said utility or structures.
2. The Contractor shall notify the superintendents of the water, sewer, telephone and power companies 10 days in advance, that he intends to start work in a specific area. The owner disclaims any responsibility for the support and protection of sewers, drains, water pipes, gas pipes, conduits of any kind, utilities or other structures owned by the City, County, State or by private or public utilities legally occupying any street, alley, public place or right-of-way.
3. Notify Sunshine utilities 96 hours in advance prior to digging within right-of-way at 1-800-432-4770.
4. All work shall comply with applicable standards established by ECUA, Escambia County Health Department, Florida Department of Environmental Protection.

FLOOD STATEMENT:

THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE "X", MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT ANNUAL-CHANCE FLOODPLAINS. NO BEFS OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0295G, MAP REVISION DATED SEPTEMBER 29, 2006.

DESIGNED AND DRAWN BY
ENVIRONMENTAL ENGINEERING SERVICES
 CERTIFICATE OF AUTHORIZATION #: 6515
 GREGORY ALLEN CAMPBELL P.E.
 FLORIDA LICENSE #: 38572
 2120 MARIA CIRCLE
 PENSACOLA, FL. 32514
 (850) 982-8606

ENVIRONMENTAL ENGINEERING SERVICES CERTIFICATE OF AUTHORIZATION #: 6515 2120 MARIA CIRCLE PENSACOLA, FLORIDA 32514 850-982-8606 (OFC) 850-477-1176 (FAX) GREGORY ALLEN CAMPBELL, P.E. FL PE LICENSE #: 38572	PROJECT TITLE: DKJ REAL PROPERTIES PERSONAL SERVICE BUILDING 9500 PENSACOLA BOULEVARD PENSACOLA, FLORIDA ESCAMBIA COUNTY	SHEET TITLE: T1 GENERAL NOTES	DATE: 04-02-21	SCALE: N.T.S.	SHEET NUMBER: T1	SHEET 1 OF 4	NO. REVISIONS BY DATE
1 ESCAMBIA CO COMMENTS DATED 04-22-21							



DESCRIPTION AS FURNISHED: (OFFICIAL RECORDS BOOK: 8100, PAGE: 1801)

BEGINNING AT THE INTERSECTION OF THE NORTH LINE OF LOT 11, BLOCK 5, PENSACOLA FARMLANDS SUBDIVISION LYING EAST OF STATE ROAD NO. 95, IN SECTION 8, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBA COUNTY, FLORIDA AND THE EAST RIGHT OF WAY LINE OF STATE ROAD NO. 95, THENCE NORTH 22 DEGREES 26 MINUTES 11 SECONDS WEST AND ALONG THE EAST RIGHT OF WAY OF STATE ROAD NO. 95 FOR 156.60 FEET; THENCE SOUTH 87 DEGREES 37 MINUTES 47 SECONDS EAST FOR 344.68 FEET; THENCE SOUTH 2 DEGREES 21 MINUTES 35 SECONDS WEST FOR 142.15 FEET TO THE NORTH LINE OF SAID LOT 11; THENCE NORTH 87 DEGREES 37 MINUTES 47 SECONDS WEST AND ALONG THE NORTH LINE OF SAID LOT 11 FOR 279.00 FEET TO THE POINT OF BEGINNING.

GENERAL NOTES:

- THE BEARINGS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN DATUM 1983, STATE PLANE MAPPING ZONE FLORIDA NORTH 9903, LAMBERT PROJECTION AS ESTABLISHED ALONG THE SOUTH LINE OF THE SUBJECT PROPERTY HAVING A BEARING OF NORTH 87 DEGREES 00 MINUTES 31 SECONDS WEST AND TO EXISTING FIELD MONUMENTATION.
- THE SURVEY DATUM AS SHOWN HEREON IS REFERENCED TO THE DESCRIPTION AS FURNISHED AND TO EXISTING FIELD MONUMENTATION.
- NO TITLE SEARCH WAS PROVIDED TO NOR PERFORMED BY NORTHWEST FLORIDA LAND SURVEYING, INC. FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, STATE AND/OR FEDERAL JURISDICTIONAL AREAS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE SUBJECT PROPERTY.
- THE PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE "X", OUTSIDE 0.2% ANNUAL CHANCE OF FLOOD, AS DETERMINED FROM FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBA COUNTY, FLORIDA (UNINCORPORATED AREAS), MAP NUMBER 12033C 0295 G, REVISED SEPTEMBER 29, 2006.
- THIS SURVEY DOES NOT DETERMINE OWNERSHIP.
- THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.051 - 5J-17.053 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, TO THE BEST OF MY KNOWLEDGE AND BELIEF.
- THE MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS.
- THE MEASUREMENTS OF THE BUILDINGS AND/OR FOUNDATIONS SHOWN HEREON DO NOT INCLUDE CONCRETE FOOTERS OR EAVE OVERHANGS.
- FENCE LOCATIONS SHOWN HEREON MAY BE EXAGGERATED AND NOT TO SCALE FOR CLARITY PURPOSES
- FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM, WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER, FRED R. THOMPSON, AND IS TO BE RETURNED TO OWNER UPON REQUEST.
- THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY ISSUED ON THE SURVEY DATE WITH A RAISED SEAL TO INSURE THE ACCURACY OF THE INFORMATION AND TO FURTHER INSURE THAT NO CHANGES, ALTERATIONS OR MODIFICATIONS HAVE BEEN MADE. NO RELIANCE SHOULD BE MADE ON A DOCUMENT TRANSMITTED BY COMPUTER OR OTHER ELECTRONIC MEANS UNLESS FIRST COMPARED TO THE ORIGINAL SIGNED AND SEALED DOCUMENT.
- THIS SURVEY MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS BY COUNTY, STATE OR OTHER AGENCIES.
- ENCROACHMENTS ARE AS SHOWN.
- THE PURPOSE OF THIS SURVEY IS TO RETRACE AND MONUMENT THE DEED OF RECORD ON THE GROUND AS WELL AS LOCATE ON SITE IMPROVEMENTS, EVIDENCE OF POSSESSION, AND ENCROACHMENTS TO BE SHOWN ON THE SURVEY TO SCALE AND THEIR RELATIONSHIP TO THE BOUNDARY.
- THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988, FROM ESCAMBA COUNTY GEODETIC CONTROL POINT STAMPED "ESC 4075" HAVING A PUBLISHED ELEVATION OF 109.05 FEET. BASED ON ESCAMBA COUNTY, FLORIDA GPS NETWORK SURVEY PERFORMED BY BASKERVILLE DONOVAN, INC. DATED 10/15/97.
- UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON INFORMATION PROVIDED BY OTHERS AND THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. CALL 811 SUNSHINE UTILITY LOCATORS 48 HOURS PRIOR TO DIGGING WITHIN THE RIGHT OF WAY.

DENOTES:

- ~ 1/2" CAPPED IRON ROD, NUMBERED 7277 (PLACED)
- ~ 1/2" CAPPED IRON ROD, LABELED PITTMAN (FOUND)
- ~ 4" SQUARE CONCRETE MONUMENT, UNNUMBERED (FOUND)
- ~ 1" IRON PIPE, UNNUMBERED (FOUND)
- ~ RAILROAD SPIKE, UNNUMBERED (FOUND)
- (D) ~ DEED INFORMATION
- (F) ~ FIELD INFORMATION
- R/W ~ RIGHT OF WAY
- O.R. ~ OFFICIAL RECORD
- P.S. ~ PAGE
- ~ BENCHMARK
- ~ WATER VALVE
- ~ WATER METER
- ~ FIRE HYDRANT
- ~ SEWER VALVE
- ~ STORM WATER INLET GRATE
- ~ UTILITY POLE
- ~ GUY ANCHOR
- ~ LIGHT POLE
- ~ AT&T PEDISTAL
- ~ STORM WATER MANHOLE
- ~ ELECTRICAL BOX
- ~ SIGN

--- EXISTING FENCE

PROPOSED DEMOLITION

EXISTING GRAVEL

EXISTING CONCRETE

SPECIAL LINES:

- WATER SERVICE LINE
- STORM WATER PIPE
- SANITARY SEWER LINE
- OVERHEAD ELECTRICAL

BENCHMARK DATA:

- BM-1 NORTH BONNET BOLT OF FIRE HYDRANT
ELEVATION= 122.83' (NAV088)
- BM-2 NAIL IN NORTH SIDE OF WEST POST FOR SIGN
ELEVATION= 120.71' (NAV088)

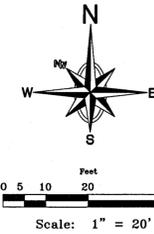
EXISTING TREE SCHEDULE & MITIGATION CHART					
PLANT DESIGNATION	PLANT SPECIES	TREE DIA.	ACTION	REASON FOR REMOVAL	MITIGATION REQUIREMENTS (CALIPER INCHES TO BE PLANTED)
T1	LIVE OAK (OFFSITE)	30"	REMAIN		0"
T2	LIVE OAK	40"	REMAIN		0"
TOTAL TREE DIAMETER IN INCHES TO BE REMOVED					0"
TOTAL INCHES IN CREDIT RECEIVED					0"

LAND DISTURBANCE ACTIVITIES

- All trees shall remain onsite and any proposed land clearing or land disturbance activities, including the placement of fill/fill materials, grading, excavating, etc. shall not occur until such time as appropriate permit(s) are issued for such site work.
- All land shall remain vegetated & in its natural state until such time as DRC Site Plan & any additional permitting approvals allow for such, per code. All tree removal, land clearing, placement of fill materials, or other Land Disturbing Activities, etc. shall be permitted or otherwise approved by the County prior to initiation.

ADJACENT NORTH PROPERTY OWNER INFO

OWNER: HUCKLEBERRY RENTALS, INC.
OWNER ADDRESS: C/O COLUMBUS BUTANE CO, P.O. BOX 8060
COLUMBUS, MS 39705
PROP REF #: 08-1S-30-3201-029-005
ZONING DISTRICT: HC/LI
FLU: C
CURRENT USE: BUTANE GAS COMPANY
PROP ADDRESS: 9550 PENSACOLA BLVD
PENSACOLA, FL 32534



ADJACENT EAST PROPERTY OWNER INFO

OWNER: ELLIS DANIELS PROPERTIES LLC
OWNER ADDRESS: 9601 N PALAFOX HWY 6B
PENSACOLA, FLORIDA 32534
PROP REF #: 08-1S-30-3201-011-005
ZONING DISTRICT: HC/LI
FLU: C
CURRENT USE: WAREHOUSE DISTRIBUTION
PROP ADDRESS: 9601 N PALAFOX HWY
PENSACOLA, FL 32534

ADJACENT SOUTH PROPERTY OWNER INFO

OWNER: RANDALL CHAVERS SEPTIC TANK SERVICE INC
OWNER ADDRESS: 9492 PENSACOLA BLVD
PENSACOLA, FLORIDA 32534
PROP REF #: 08-1S-30-3201-021-005
ZONING DISTRICT: HC/LI
FLU: MU-U
CURRENT USE: SEPTIC TANK SERVICE
PROP ADDRESS: 9492 PENSACOLA BLVD
PENSACOLA, FL 32534

ADJACENT EAST PROPERTY OWNER INFO

OWNER: PDA HOLDINGS LLC
OWNER ADDRESS: 9531 OLD PALAFOX HWY
PENSACOLA, FLORIDA 32534
PROP REF #: 08-1S-30-3201-012-005
ZONING DISTRICT: HC/LI
FLU: C
CURRENT USE: COMMERCIAL OFFICE
PROP ADDRESS: 9531 OLD PALAFOX HWY
PENSACOLA, FL 32534



NO.	REVISIONS	BY	DATE
1			04-22-21

ENVIRONMENTAL ENGINEERING SERVICES
CERTIFICATE OF AUTHORIZATION # 6515
2120 MARIA CIRCLE
PENSACOLA, FLORIDA 32514
850-982-8606 (OFC)
850-477-1176 (FAX)
GREGORY ALLEN CAMPBELL, P.E.
FL PE LICENSE #: 38572

PROJECT TITLE:
DKJ REAL PROPERTIES PERSONAL SERVICE BUILDING
9500 PENSACOLA BOULEVARD
PENSACOLA, FLORIDA
ESCAMBA COUNTY

SHEET TITLE:
EXISTING SITE & DEMOLITION PLAN

DATE: 04-02-21

SCALE: 1" = 20'

SHEET NUMBER:

C1

SHEET 2 OF 4



SITE PLAN NOTES:

1. NOTIFY ESCAMBIA COUNTY INSPECTOR 24 HOURS BEFORE BEGINNING EVERY PHASE OF CONSTRUCTION AT 595-3550.
2. FRONT & REAR BUILDING SETBACK LINE=15'
SIDE BUILDING SETBACK LINE=10'
SETBACK LINES ARE SHOWN ON PLAN.
3. ALL PAVEMENT MARKINGS & STRIPING SHALL BE THERMOPLASTIC. NO PRE-MANUFACTURED STRIPING (TAPE) WILL BE ALLOWED.
4. DEVELOPER/CONTRACTOR SHALL OBTAIN A SIGN PERMIT FROM ESCAMBIA COUNTY PRIOR TO INSTALLING ANY FREE-STANDING OR WALL SIGNS. NO SIGNS ARE PROPOSED FOR THIS PROJECT AT THIS TIME.
5. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
6. LOCATIONS OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION BEFORE CONSTRUCTION. FAILURE OF THE PLANS TO SHOW THE EXISTENCE OF ANY UNDERGROUND UTILITIES, STRUCTURES ETC. SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY.
7. NO EXTERIOR LIGHTING IS PROPOSED FOR THIS PROJECT.
8. NO DUMPSTER IS PROPOSED FOR THIS PROJECT. SOLID WASTE SHALL BE COLLECTED IN RESIDENTIAL CONTAINERS ISSUED BY SOLID WASTE COLLECTION AND DISPOSAL COMPANY.
9. ALL NEW BUILDING ROOF DRAINS, DOWNSPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO ACCEPTABLE POSITIVE OUTFALL.

PARKING LOT LANDSCAPE REQUIREMENTS

Escambia LDC: 1 tree required per each end of parking row.
End of Row Parking Trees Required=5 end of rows x 1 tree/end of parking row=5 trees required
5 canopy trees are proposed in parking lot as shown on drawing and denoted in legend.
No more than 67% of canopy trees to be same plant material and shall be on Escambia County canopy tree list.

LEGEND (CONT)

- 32 — EXISTING CONTOUR ELEVATION
- - - - - EXISTING CHAIN LINK FENCE
- - - - - EXISTING WOOD FENCE
- PROPOSED DEMOLITION
- EXISTING GRAVEL
- EXISTING CONCRETE
- PROPOSED GRAVEL OR CONCRETE AS NOTED
- SWL SOLID WHITE LINE
- SYL SOLID YELLOW LINE
- - - - - EXISTING FENCE
- MATCH EXISTING PAVEMENT
- 121.50 PROPOSED SPLOT ELEV.
- x 120.35 EXISTING SPOT ELEV.
- PROPOSED ELEV. CONTOUR
- 120 — EXISTING ELEV. CONTOUR
- PROPOSED PARKING LOT CANOPY TREES W/ TREE DESIGNATION SEE TABLE FOR SPECIES TYPE
- PROPOSED SILT FENCE
- EXISTING TREE
- x - x - TREE PROTECTION BARRICADE

OWNER/PROJECT INFORMATION

OWNER: DKJ REAL PROPERTIES, LLC
MR. DENNIS JOHNSTON
OWNER ADDRESS: 8901 PENSACOLA BLVD
PENSACOLA, FLORIDA
OWNER PHONE #: 850-572-3645
PROJECT NAME: DKJ REAL PROPERTIES PERSONAL SERVICE BUILDING
PROJECT ADDRESS: 9500 PENSACOLA BOULEVARD
PENSACOLA, FLORIDA
CURRENT ZONING: HC/LI
FLU: C
PROPERTY REFERENCE #: 08-15-30-3201-031-005

PARKING LOT CALCULATIONS

TOTAL EXISTING BUILDING SQUARE FOOTAGE (INCLUDES BOTH FLOORS) = 8,856 S.F.
TOTAL PROPOSED NEW BUILDING SQUARE FOOTAGE = 1,170
TOTAL EXISTING OFFICE SPACE = 6,656 S.F.
TOTAL EXISTING WAREHOUSE STORAGE SPACE = 2,200 S.F.
EXISTING RESIDENTIAL HOME = 653 S.F.
PROPOSED NEW PERSONAL SERVICE ESTABLISHMENT = 1,170 S.F.
LDC PARKING REQUIRED FOR OFFICE SPACE = 3.5 SPACES/1000 S.F.
LDC PARKING REQUIRED FOR WAREHOUSE OR STORAGE SPACE = 0.5 SPACES/1000 S.F.
LDC PARKING FOR EXISTING RESIDENTIAL DWELLING = 2 SPACES/DWELLING UNIT
LDC PARKING FOR PROPOSED PERSONAL SERVICE ESTABLISHMENT = 2.5 SPACES/1,000 S.F.

PARKING SPACES REQUIRED = (6,656 S.F.)(3.5 SPACES/1000 S.F.) + (2,200 S.F.)(0.5 SPACES/1,000 S.F.) + (1,170 S.F.)(2.5 SPACES/1000 S.F.) + (1 DWELLING UNIT)(2 SPACES/DWELLING UNIT) = 29.32 OR 30 SPACES

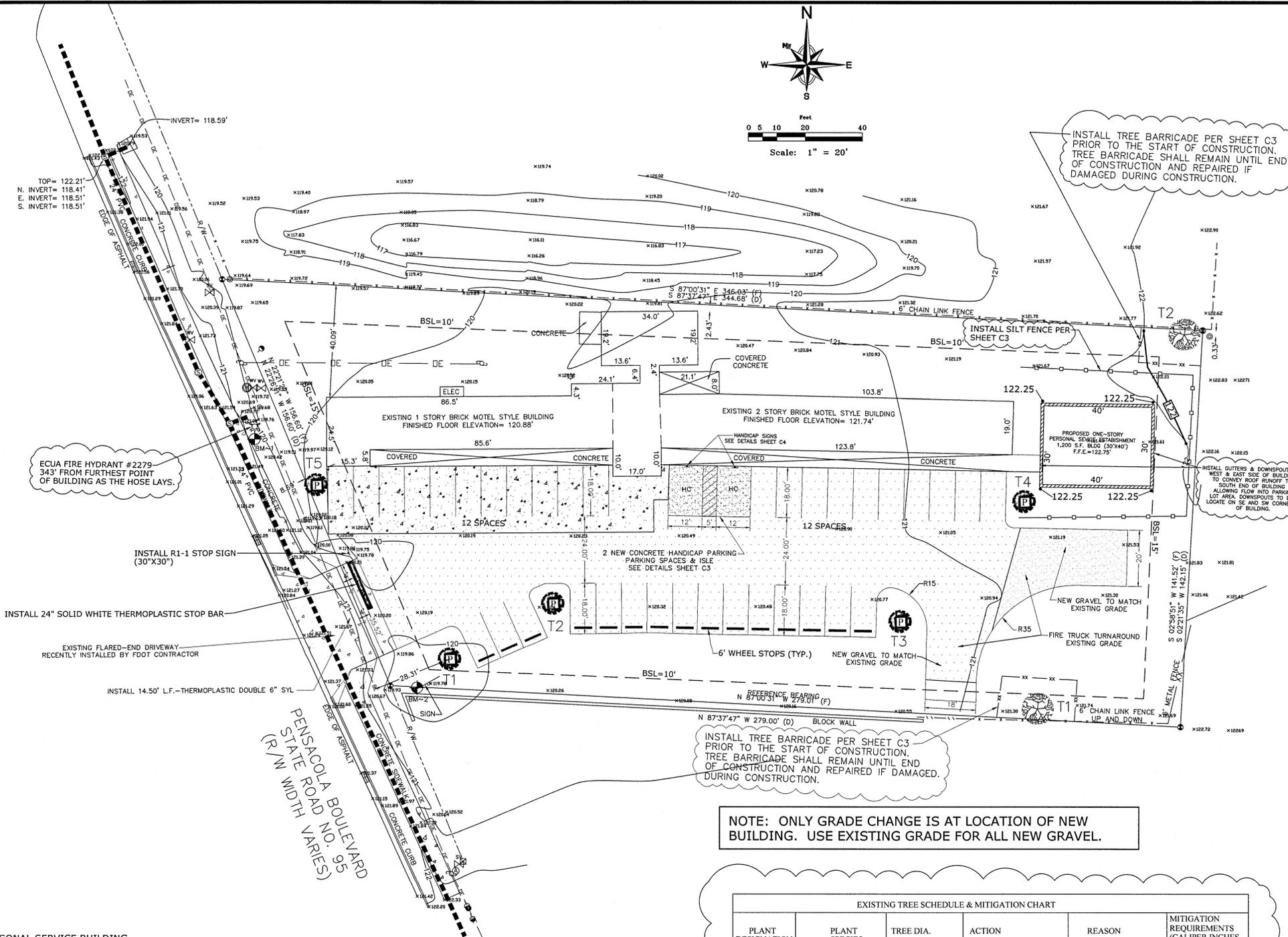
PARKING SPACES PROVIDED = 44 SPACES O.K. (2 HC & 42 REGULAR) > 30 SPACES O.K.

LAND DISTURBANCE ACTIVITIES

1. All trees shall remain onsite and any proposed land clearing or land disturbance activities, including the placement of fill/fill materials, grading, excavating, etc. shall not occur until such time as appropriate permit(s) are issued for such site work.
2. All land shall remain vegetated & in its natural state until such time as DRC Site Plan & any additional permitting approvals allow for such, per code. All tree removal, land clearing, placement of fill materials, or other Land Disturbing Activities, etc. shall be permitted or otherwise approved by the County prior to initiation.

SITE PLAN AREA TABLE

TYPE AREA	EXISTING (S.F.)	PROPOSED (S.F.)
BUILDING AREA FOOTPRINT	5,853	7,053
GRAVEL AREA	13,458	11,381
ASP./CONC PAVEMENT AREA	4,685	4,822
PERVIOUS AREA	20,260	21,000
TOTAL LOT AREA	44,256	44,256



NOTE: ONLY GRADE CHANGE IS AT LOCATION OF NEW BUILDING. USE EXISTING GRADE FOR ALL NEW GRAVEL.

EXISTING TREE SCHEDULE & MITIGATION CHART

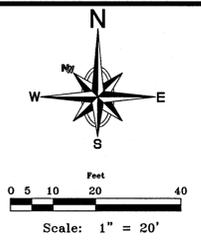
PLANT DESIGNATION	PLANT SPECIES	TREE DIA.	ACTION	REASON FOR REMOVAL	MITIGATION REQUIREMENTS (CALIPER INCHES TO BE PLANTED)
T1	LIVE OAK (OFFSITE)	30"	REMAIN		0"
T2	LIVE OAK	40"	REMAIN		0"
TOTAL TREE DIAMETER IN INCHES TO BE REMOVED					0"
TOTAL INCHES IN CREDIT RECEIVED					0"

PROPOSED LANDSCAPE SCHEDULE TABLE

PLANT DESIGNATION	PLANT SPECIES	TREE DIA.	ACTION	NOTES
T1 - T2	LIVE OAK	2.5" (min.)	NEW	PARKING ROW TERMINATION
T3 - T5	RED MAPLE	2.5" (min.)	NEW	PARKING ROW TERMINATION

NOTE: IF A QUESTION OR CONCERN ARISES WITH PLANTING THE LIVE OAK AND RED MAPLE TREES OR ANY OTHER VEGETATION AS NOTED, CONSULT WITH PROJECT EOR & COUNTY STAFF PRIOR TO ADDRESSING THE APPROPRIATE PLANTING REQUIREMENTS. NO MORE THAN 67% OF PLANT MATERIAL SHALL BE THE SAME SPECIES.

LOCATION CRITERIA (ZONING HC/LI)
THE PROJECT IS A NEW NON-RESIDENTIAL USED PROPOSED WITHIN HC/LI DISTRICT THE PROJECT SATISFIES LOCATION CRITERIA IN LDC SECTION 3-2.11(e)(1) SINCE THE PROJECT IS LOCATED ALONG AN ARTERIAL STREET (PENSACOLA BOULEVARD SR95) AND WITHIN ONE-QUARTER MILE OF ITS INTERSECTION WITH AN ARTERIAL STREET (NINE MILE ROAD-SR10).



PROJECT TITLE: DKJ REAL PROPERTIES PERSONAL SERVICE BUILDING

SHEET TITLE: **SITE & GRADING PLAN**

DATE: 04-02-21

SCALE: 1" = 20'

SHEET NUMBER: **C2**

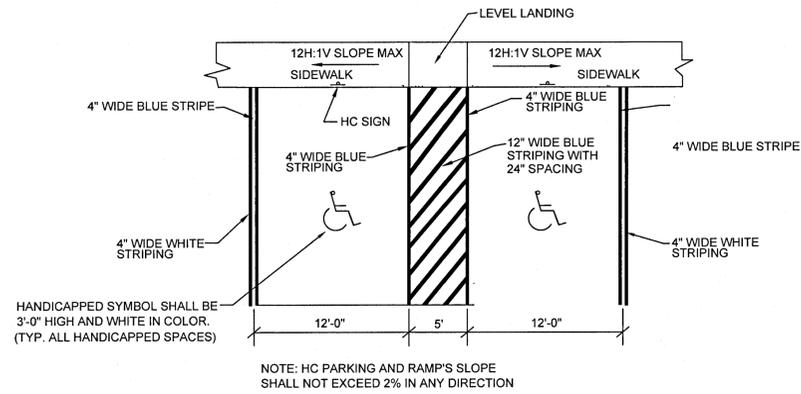
SHEET 3 OF 4

ENVIRONMENTAL ENGINEERING SERVICES
CERTIFICATE OF AUTHORIZATION #: 6515
2120 MARIA CIRCLE
PENSACOLA, FLORIDA 32514
850-982-8606 (OFC)
850-477-1176 (FAX)
GREGORY ALLEN CAMPBELL, P.E.
FL PE LICENSE #: 38572

ESCAMBIA COUNTY COMMENTS DATED 04-22-21

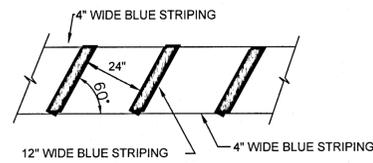
NO.	REVISIONS	BY	DATE
1			



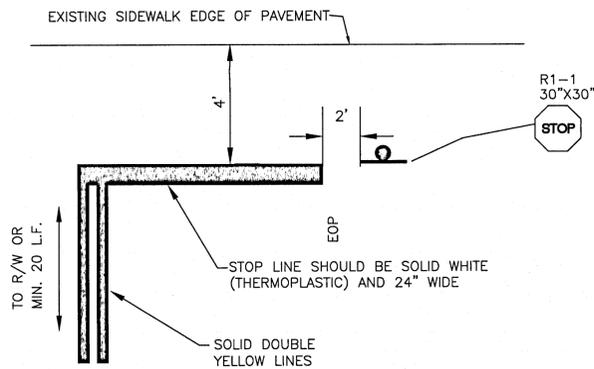


HANDICAPPED STRIPING AND RAMP DETAIL
N.T.S.

NOTE: DO NOT EXCEED 1:50 SLOPE IN ANY DIRECTION

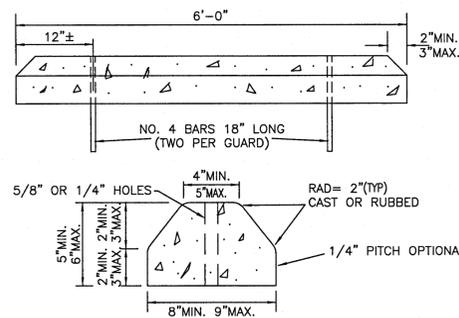


HC RAMP STRIPING DETAIL
N.T.S.

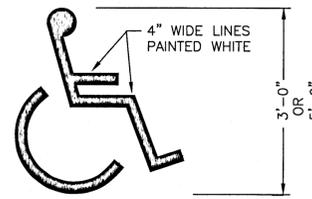


TYPICAL INGRESS/EGRESS
N.T.S.

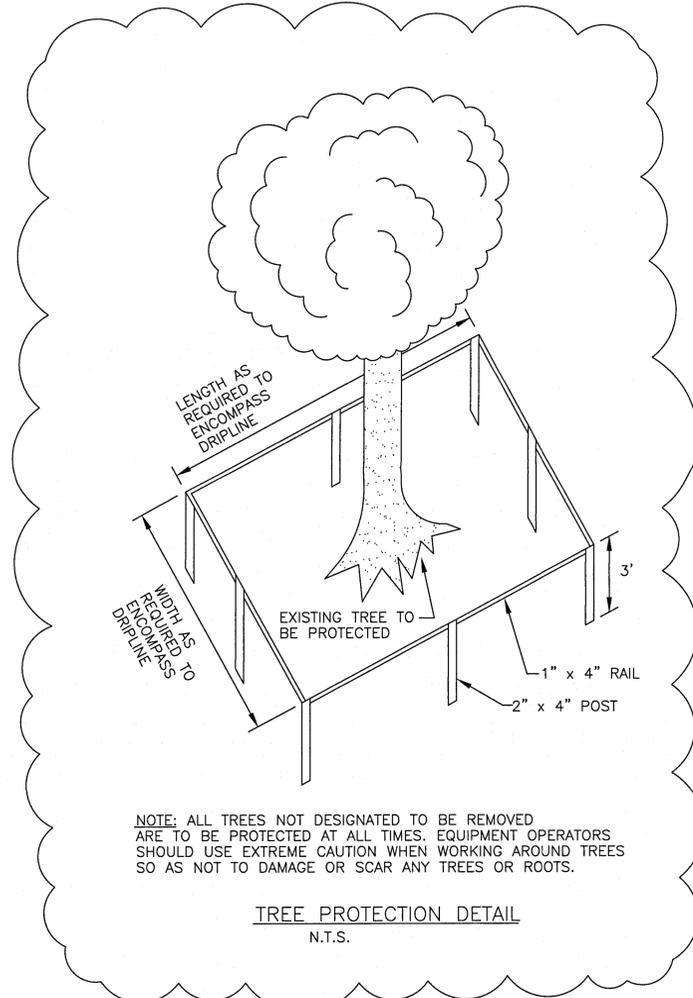
NOTE: ALL ACCESS STRIPING AND LANE STRIPING IN FDOT RIGHT-OF-WAY SHALL BE THERMOPLASTIC. NO PREMANUFACTURED STRIPING (TAPE) WILL BE ALLOWED.



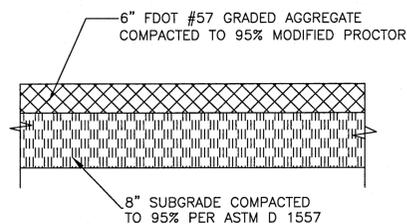
CONCRETE BUMPER GUARD
N.T.S.



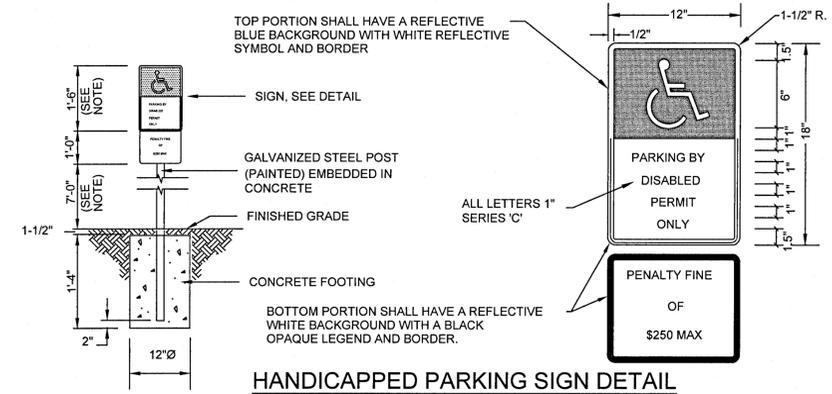
HANDICAPPED PARKING SYMBOL
N.T.S.
SYMBOL SHALL COMPLY WITH LOCAL CODES!



TREE PROTECTION DETAIL
N.T.S.



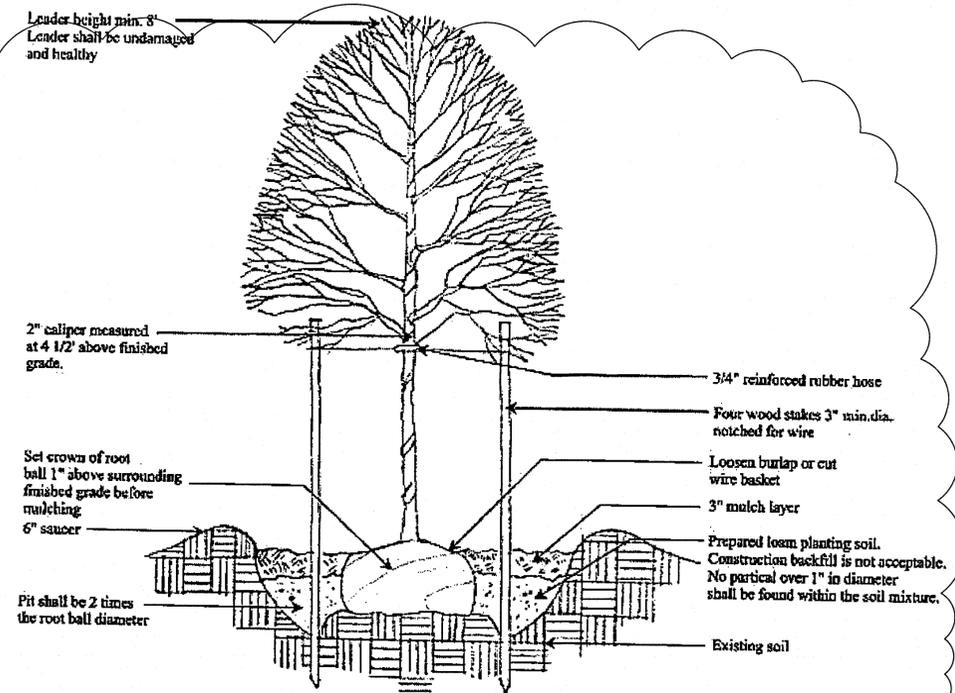
TYPICAL GRAVEL DETAIL
N.T.S.



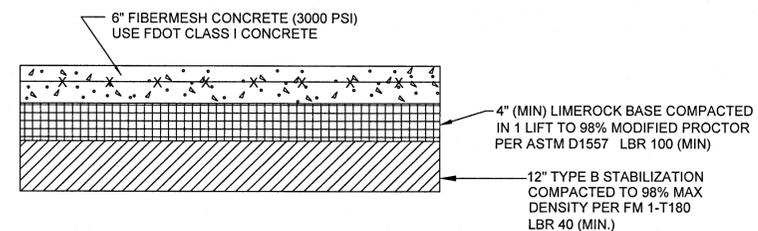
HANDICAPPED PARKING SIGN DETAIL
N.T.S.

NOTE: SIGN MUST CONFORM WITH F.D.O.T. FTP-25 AS SHOWN IN TRAFFIC DESIGN STANDARDS INDEX NO. 17355, SHEET 3 OF 8.

NOTE: CONTRACTOR MUST COMPLY WITH LOCAL CODES CONCERNING HEIGHT OF SIGN ABOVE GRADE!



TREE PLANTING DETAIL
N.T.S.



TYPICAL DRIVEWAY PAVEMENT SECTION
N.T.S.

NO.	REVISIONS	BY	DATE
1			

ENVIRONMENTAL ENGINEERING SERVICES
CERTIFICATE OF AUTHORIZATION #: 6515
2120 MARIA CIRCLE
PENSACOLA, FLORIDA 32514
850-982-6606 (OFC)
850-477-1176 (FAX)
GREGORY ALLEN CAMPBELL, P.E.
FL PE LICENSE #: 38572

PROJECT TITLE:
DKI REAL PROPERTIES PERSONAL SERVICE BUILDING
9500 PENSACOLA BOULEVARD
PENSACOLA, FLORIDA
ESCAMBIA COUNTY

SHEET TITLE:
CONSTRUCTION DETAILS

DATE: 04-02-21
SCALE: 1" = 20'

SHEET NUMBER:
C3

