

TIDAL WAVE AUTO-SPA

PENSACOLA, FLORIDA, ESCAMBIA COUNTY

5307 N. DAVIS HWY



OLSON LAND PARTNERS, LLC
 Real Estate Acquisitions & Development
 4300 Legendary Drive, Suite 234
 Destin, Florida 32541
 T: 850.650.4353 F: 850.650.3881

Project:

5307 N. Davis Hwy
Pensacola, FL 32503

Designer's Information:

 314 E. Bayou Road
 Thibodaux, LA 70301
 Office: 985.447.0090
 Fax: 985.447.7009
 www.ddgpc.com

UTILITY AND GOVERNING AUTHORITIES CONTACT LIST:

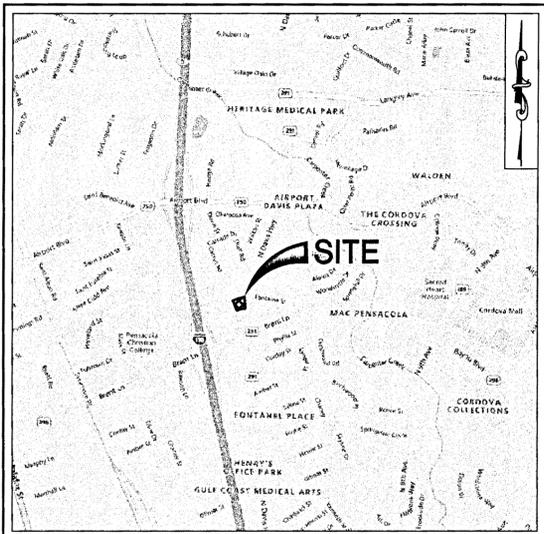
BUILDING & ZONING
 CITY OF PENSACOLA
 2849 N. PALAFOX ST.
 PENSACOLA, FL, 32501
 CONTACT: TOM LUCIA
 TELEPHONE: (850) 435-1679
 FAX: (850) 595-1470

ELECTRIC
 GULF POWER
 1 ENERGY PL.
 PENSACOLA, FL, 32520
 CONTACT:
 EMAIL:
 TELEPHONE: (800) 225-5797

WATER & SEWER
 EMERALD COAST UTILITY AUTHORITY
 9255 STURDEVANT ST.
 PENSACOLA, FL, 32514
 CONTACT: TIFFANIE NICKSON
 EMAIL: TIFFANIE.NICKSON@ECUA.FL.COM
 TELEPHONE: (850) 969-6534
 FAX: (850) 969-1759

GAS
 PENSACOLA ENERGY
 1625 ATWOOD DR.
 PENSACOLA, FL, 32514
 CONTACT: DIANE MOORE
 EMAIL: D.MOORE@PENSACOLA.ORG
 TELEPHONE: (850) 435-1800
 FAX: (850) 435-1827

CITY ENGINEER
 CITY OF PENSACOLA
 2757 N PALAFOX ST.
 PENSACOLA, FL, 32501
 CONTACT: BRAD HINOTE
 TELEPHONE: (850) 435-1646
 FAX: (850) 435-1012



SITE LOCATION MAP
 SCALE: 1" = 2000'

DDG PROJECT # 19-595

SHEET INDEX

1. C0.00.....CIVIL COVER SHEET
2. 1.....SURVEY PLAT
3. C1.00.....EROSION AND SEDIMENT CONTROL (PHASE 1)
4. C1.10.....EROSION AND SEDIMENT CONTROL (PHASE 2)
5. C1.20.....EROSION CONTROL DETAILS
6. C2.00.....SITE PLAN
7. C3.00.....DIMENSIONAL CONTROL PLAN
8. C4.00.....SURFACE GRADING & STORMWATER DRAINAGE PLAN
9. C4.20.....CONCRETE DETAILS
10. C5.00.....STRIPING & SIGNAGE PLAN
11. C5.10.....STRIPING DETAILS
12. C5.20.....TRAFFIC SIGNAGE DETAILS
13. C6.00.....UTILITY PLAN
14. C6.21.....STORMWATER DETAILS
15. C6.31.....WATER & SEWER DETAILS
16. L1.1.....LANDSCAPE PLANTING PLAN
17. L1.2.....LANDSCAPE PLANTING DETAILS
18. L1.3.....LANDSCAPE PLANTING SPECS
19. L2.1.....IRRIGATION PLAN
20. L2.2.....IRRIGATION DETAILS
21. L2.3.....IRRIGATION DETAILS
22. L2.4.....IRRIGATION SPECIFICATIONS

SEAL:



K. T. LeBlanc
 4-21-2021

THIS SET OF DOCUMENTS INCLUSIVE OF DRAWINGS, SPECIFICATIONS, AND ADDENDUMS MAY NOT BE COPIED, REPRODUCED, OR ELECTRONICALLY DISTRIBUTED OR USED FOR CONSTRUCTION WITHOUT THE EXPRESSED WRITTEN CONSENT OF GRACE HEBERT CURTIS ARCHITECTS, APAC. NO PLAN ROOM, ELECTRONIC PLAN SERVICE (INTERNET PLAN SERVICE), NOR REPRODUCTION COMPANY SHALL BE PERMITTED TO POST THESE DOCUMENTS WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE ARCHITECT. GRACE HEBERT CURTIS ARCHITECTS, APAC

STATUS
04/21/21

Sheet Revisions

#	Date	Description

Sheet Title:
CIVIL COVER SHEET

Project Number: 19-595
 Sheet Number:

C0.00

PROJECT NOTES:

1. THIS PROJECT IS BEING CONSTRUCTED WITHIN THE BOUNDARIES OF ESCAMBIA COUNTY.
2. THE CONTRACTOR SHALL ENSURE THAT ALL GOVERNMENTAL REQUIRED INSPECTIONS, ALONG WITH THOSE REQUIRED BY PRIVATE UTILITIES, ARE PERFORMED PRIOR TO TURNING THE BUILDING OVER TO TIDAL WAVE AUTO-SPA.
3. THE SITework FOR THIS PROJECT SHALL MEET OR EXCEED SITework RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT DATED NOVEMBER 25, 2020 PREPARED BY ECS SOUTHEAST, LLP. OR THE SITework SPECIFICATIONS FOR ESCAMBIA COUNTY, WHICHEVER IS MORE STRINGENT.
4. THE CONTRACTOR SHALL CONTACT HOME DEPOT PROJECT MANAGER (ALLAN WILLIAMS, (770)548-1642) 14 DAYS IN ADVANCE TO ATTEND THE PRE-CONSTRUCTION MEETING. MEETING SHALL TAKE PLACE ONSITE IN CONSTRUCTION TRAILER.
5. WORK OUTSIDE OF THE CARVE OUT PARCEL, BUT ON THE HOME DEPOT PARCEL SHALL FOLLOW THE HOME DEPOT SITE SPECIFICATION REFERENCE FOR CARVE OUT.

DEVELOPER

OLSON LAND PARTNERS, LLC
4300 LEGENDARY DRIVE,
SUITE 234
DESTIN, FLORIDA, 32541
(850) 650-4353

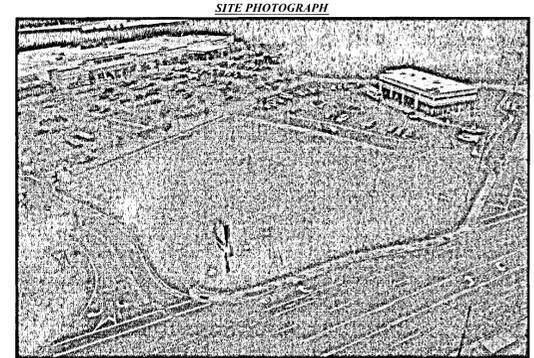
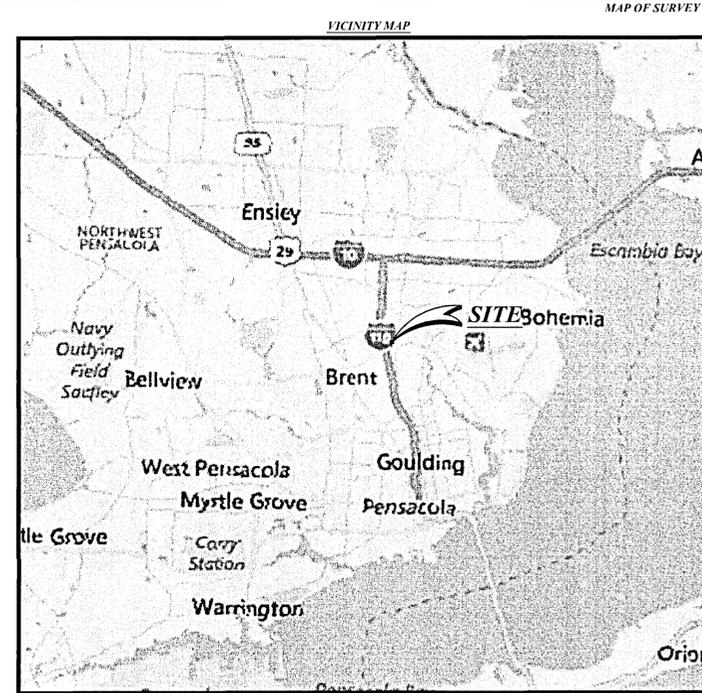
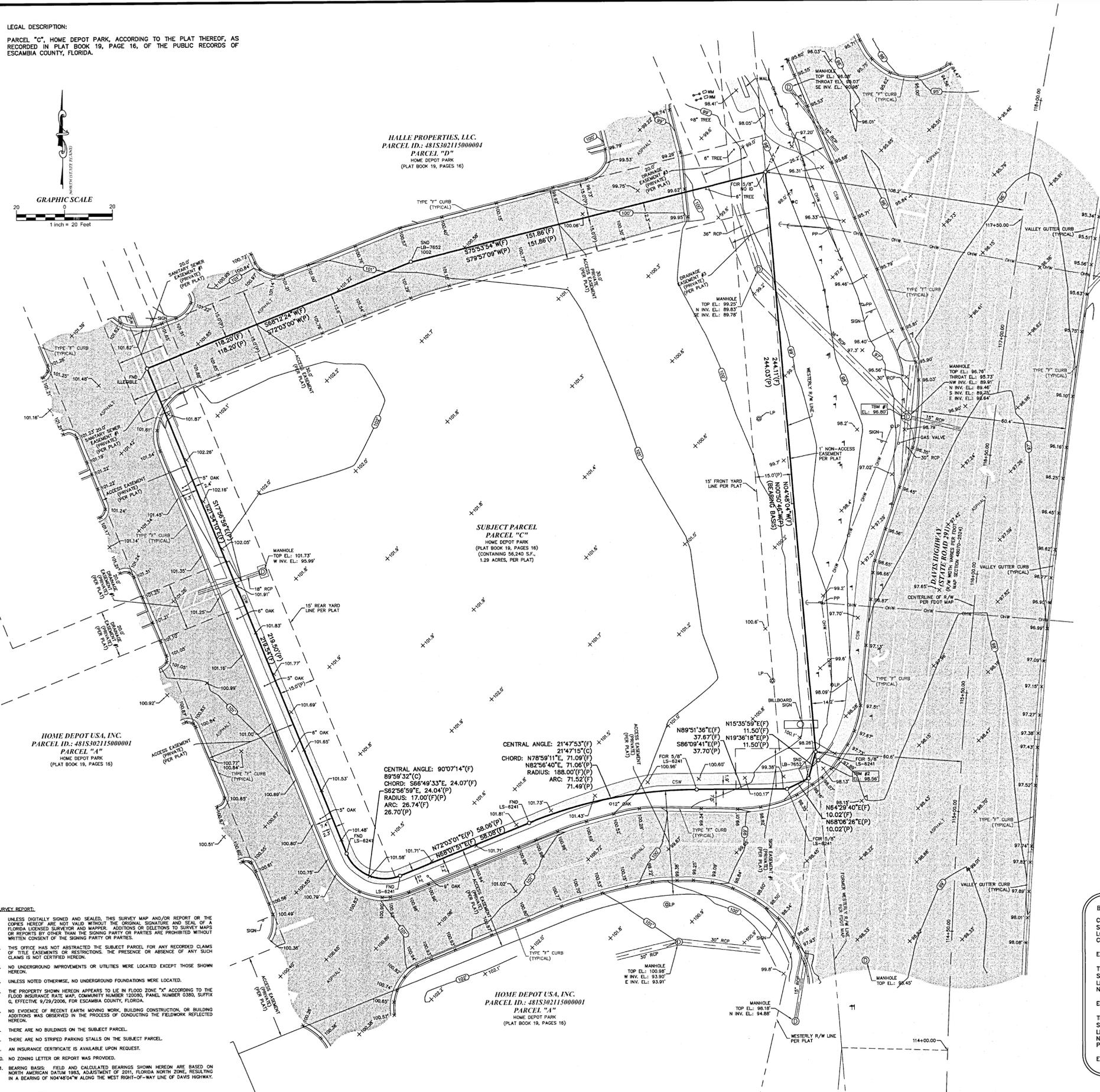
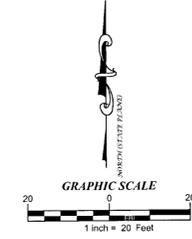
Approved
 ESCAMBIA COUNTY DRC PLAN REVIEW

DRC Chairman Signature: *J. Hampton* Date: *9-19-21*
 Printed Name: *Jennifer Hampton*
 Development Services Director

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.



LEGAL DESCRIPTION:
 PARCEL "C", HOME DEPOT PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 19, PAGE 16, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.



LEGEND

ABBREVIATIONS	
AC	AIR CONDITIONER
ADM	AMERICAN WITH DISABILITIES ACT
ID	IDENTIFICATION
CM	CALCULATED MEASUREMENT
CL	CLEAN OUT
CC	CONCRETE
CSW	CONCRETE SIDEWALK
DEM	DEEM MEASUREMENT - CALL
ELB	ELECTRIC BOX
EL	ELECTRIC LINE
EM	ELECTRIC METER
FT	FIELD MEASUREMENT
FLD	FLORIDA DEPARTMENT OF TRANSPORTATION
F.F.	FINISHED FLOOR
FR	FOUND IRON ROD
FCM	FOUND CONCRETE MOUNTMENT
FR	FOUND IRON ROD
FR	FOUND NAIL AND DISK
FR	FOUND IRON PIPE
INV	INVERT
LP	LICENSED BUSINESS NUMBER
LP	LIGHT POLE
MA	MONITORING WELL
MAVD	MONITORING WELL - VERTICAL DATUM
NGVD	NATIONAL GEODETIC VERTICAL DATUM
OW	OPENING
OR	OFFICIAL RECORDS BOOK
PT	PLAT MEASUREMENT - CALL
PP	POWER POLE
PSM	PROFESSIONAL SURVEYOR & MAPPER
PSM	PROFESSIONAL SURVEYOR & MAPPER
R/R	RIGHT-OF-WAY
SCR	SET CAPTED IRON ROD
SD	SET NAIL AND DISK
SV	SEWER VALVE
SW	SEWER WORKMAN
WM	WATER METER
WV	WATER VALVE
WV	WATER VALVE
WV	WATER VALVE

BENCHMARKS:
 CONTROL BENCHMARK:
 STATION IS A FOOT BRASS DISK "48-11-E08V" LOCATED IN TOP OF THE CONCRETE BASE OF A CONCRETE ANCHOR POLE.
 EL.: 100.29' (NAVD'88)
 TM #1:
 STATION IS A NAIL AND DISK STAMPED "EBI LB-7652" LOCATED 117.9' SOUTHWEST OF THE NORTHEAST CORNER OF SUBJECT PARCEL.
 EL.: 96.80' (NAVD'88)
 TM #2:
 STATION IS A NAIL AND DISK STAMPED "EBI LB-7652" LOCATED 3.7' SOUTHWEST OF THE NORTHEAST CORNER OF SUBJECT PARCEL.
 EL.: 98.56' (NAVD'88)

TO OLSON LAND PARTNERS, LLC:
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2018 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ASPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 7(A), 8, 9, 13, 16 AND 20 OF TABLE A THEREOF.
 THE FIELDWORK WAS COMPLETED ON 10/27/2020.
 AND
 I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY DIRECTION AND MEETS THE STANDARDS OF PRACTICE REQUIREMENTS OF CHAPTER 54-17 OF THE FLORIDA ADMINISTRATIVE CODE.
 11/10/2020
 JOHN KENNETH CARR
 PROFESSIONAL SURVEYOR AND MAPPER
 FLORIDA REGISTRATION NUMBER LS-5195
 EMAIL: kcarr@ebisurvey.com

- SURVEY REPORT:**
- UNLESS DIGITALLY SIGNED AND SEALED, THIS SURVEY MAP AND/OR REPORT OR THE COPIES HEREOF ARE NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
 - THIS OFFICE HAS NOT ABSTRACTED THE SUBJECT PARCEL FOR ANY RECORDED CLAIMS OF TITLE EASEMENTS OR RESTRICTIONS. THE PRESENCE OR ABSENCE OF ANY SUCH CLAIMS IS NOT CERTIFIED HEREON.
 - NO UNDERGROUND IMPROVEMENTS OR UTILITIES WERE LOCATED EXCEPT THOSE SHOWN HEREON.
 - UNLESS NOTED OTHERWISE, NO UNDERGROUND FOUNDATIONS WERE LOCATED.
 - THE PROPERTY SHOWN HEREON APPEARS TO BE IN FLOOD ZONE "X" ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY NUMBER 12000, PANEL NUMBER 0380, SUFFIX 0, EFFECTIVE 9/29/2006, FOR ESCAMBIA COUNTY, FLORIDA.
 - NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WAS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK REFLECTED HEREON.
 - THERE ARE NO BUILDINGS ON THE SUBJECT PARCEL.
 - THERE ARE NO STRIPPED PARKING STALLS ON THE SUBJECT PARCEL.
 - AN INSURANCE CERTIFICATE IS AVAILABLE UPON REQUEST.
 - NO ZONING LETTER OR REPORT WAS PROVIDED.
 - BEARING BASIS: FIELD AND CALCULATED BEARINGS SHOWN HEREON ARE BASED ON NORTH AMERICAN DATUM 1983, ADJUSTMENT OF 2011, FLORIDA NORTH ZONE, RESULTING IN A BEARING OF 104.46°W ALONG THE WEST RIGHT-OF-WAY LINE OF DAVIS HIGHWAY.

MAP OF SURVEY

EBI Surveying
 8415 Sunstate Street
 Tampa, Florida 33634
 Phone: (813) 886-6080 / Fax: (813) 886-6081
 Certificate of Authorization Number: LB-7652

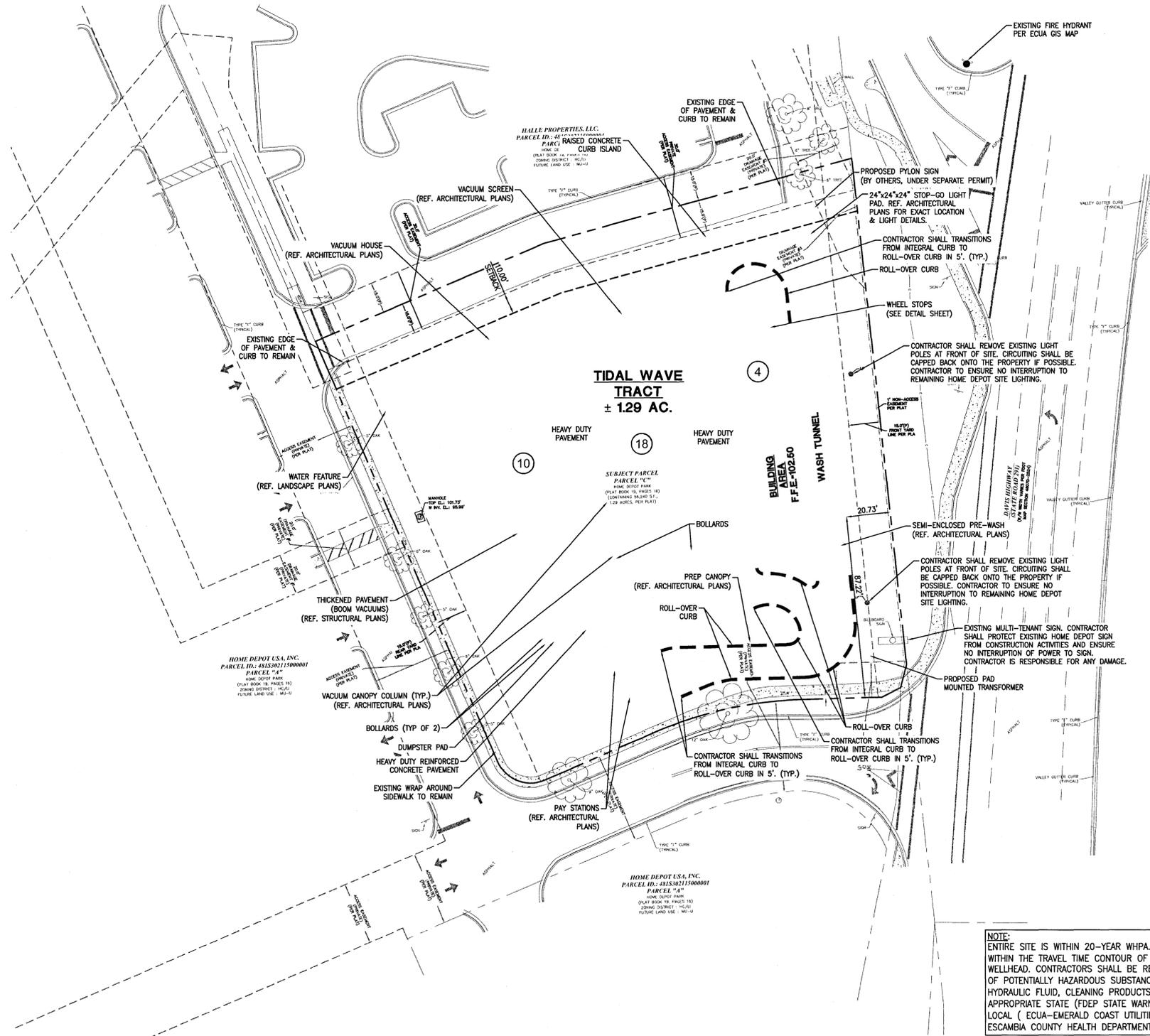
ALTA/ASPS LAND TITLE BOUNDARY AND TOPOGRAPHIC SURVEY
 DAVIS HIGHWAY AND BRENT LANE
 PARCEL C
 FINAL PLAT OF HOME DEPOT PARK
 ESCAMBIA COUNTY, FLORIDA

REVISIONS: APPD.

DATE OF SURVEY: 10/27/2020
 DRAWN: SDT
 CHECKED: JKC
 REVISION: FILE: OL04ALTAX.dwg

PROJECT NUMBER: OLSN0004

SHEET NO. 1



TIDAL WAVE TRACT
± 1.29 AC.

NOTE:
ENTIRE SITE IS WITHIN 20-YEAR WHPA. THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOUR OF A PROTECTED (POTABLE) WELLHEAD. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (i.e. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) & LOCAL (ECUA-EMERALD COAST UTILITIES AUTHORITY (850)476-5110 & ESCAMBIA COUNTY HEALTH DEPARTMENT (850)595-6712.

SITE PLAN NOTES:

- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS & DIMENSIONS OF BUILDING, ARCHITECTURE, SIDEWALKS, EXIT PORCHES, RAMPS, TRUCK DOCKS, & EXACT BUILDING UTILITY SERVICE ENTRANCE LOCATIONS AT THE BUILDING. CONTRACTOR SHALL CONTACT NIKOLAS MELANCON WITH DUPLANTIS DESIGN GROUP FOR NECESSARY CAD FILES @ NIELANCON@DDPG.COM.
- ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH, OR SOD, & WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED AS INDICATED ON THE LANDSCAPING PLAN.
- PROPERTY & TOPOGRAPHIC SURVEY WAS PREPARED ON 10/27/2020 BY EBI SURVEYING.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING BENCHMARK.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVAL FROM THE POWER & TELEPHONE COMPANIES FOR LOCATION & HEIGHT OF Pylon SIGN BEFORE CONDUIT & WIRING IS INSTALLED TO ENSURE PROPER CLEARANCES ARE MET.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL EXISTING UTILITIES, STORM DRAINAGE, SIGNS, ETC. AS REQUIRED FOR WIDENING OF ALL ROADWAYS. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS & SHALL BE APPROVED BY SUCH.
- PRIOR TO THE START OF CONSTRUCTION ACTIVITIES THE CONTRACTOR MUST CALL 811 AND THE LOCAL UTILITY PROVIDERS TO HAVE ALL UTILITIES MARKED WITHIN THE PROJECT AREA. AFTER UTILITIES ARE MARKED, THE CONTRACTOR SHALL PERFORM A PLAN IN HAND WALK THRU OF THE ENTIRE PROJECT AREA AND SHALL CONTACT THE CIVIL ENGINEER IMMEDIATELY IF THERE ARE ANY DEVIATIONS IN THE LOCATIONS OF EXISTING UTILITIES SHOWN IN THE PLANS AND/OR THE PRESENCE OF UTILITIES THAT ARE NOT SHOWN IN THE PLANS.
- CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS & SPECIFICATIONS FOR ENTRY LOCATION OF ALL WATER, SEWER SERVICE, ELECTRICAL, TELEPHONE & GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS & ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO THE LOCATION & TIE-INS/CONNECTIONS TO THEIR FACILITIES.
- ALL DIMENSIONS SHOWN TO BUILDING ARE TO OUTSIDE FACE OF BUILDING.
- THE EARTHWORK FOR ALL BUILDING FOUNDATIONS & SLABS SHALL BE IN ACCORDANCE WITH THE STRUCTURAL SPECIFICATION AND GEOTECHNICAL RECOMMENDATIONS.
- ALL NECESSARY PERMITS & APPROVALS FROM AGENCIES GOVERNING THE CONSTRUCTION OF THIS WORK SHALL BE SECURED PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL AREAS INDICATED TO REMAIN UNDISTURBED OR TO REMAIN AS BUFFERS AND ALL PROPERTY MARKERS. CONTRACTOR SHALL REPLACE ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OR DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC., REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL CONDUIT, IRRIGATION SYSTEMS, & ANY OTHER MISC. UTILITIES) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, & THE PLACEMENT OF ANY APPROPRIATE SOIL STABILIZATION TECHNIQUE.
- CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE & ALIGNMENT.
- ALL WORK SHOWN SHALL BE DONE IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS.
- ANY WORK IN THE RIGHT OF WAY SHALL BE PERFORMED IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION & DEVELOPMENT'S STANDARD DRAWINGS & SPECIFICATIONS.
- CONTRACTOR SHALL REMOVE PAVEMENT & CONCRETE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
- THE PROPERTIES SHOWN HEREIN LIE WITHIN ZONE X, ACCORDING TO FLOOD AREAS OF INSURANCE RATE MAPS PUBLISHED BY F.E.M.A. COMMUNITY PANEL NO. 1203300380G DATED 9/29/2006.
- PROTECT CONCRETE PAVING WITH HEAVY DUTY PLASTIC AND/OR SAND, POSSIBLY PLYWOOD IN SOME AREA SUCH AS DRAINS AND GRATES, OR OTHERWISE PRICE FOR SUITABLE CLEANING TO DELIVER LIKE NEW PAVING AT TURNOVER. THIS INCLUDES CAR WASH INSTALLER ABUSE OF PAVING.
- FOR THE SPECIFICATIONS, REFER TO COVER SHEET FOR OWNER REP.(DEVELOPER) CONTACT INFORMATION.
- ALL TREE REMOVAL, LAND CLEARING, REPLACEMENT OF FILL, "LAND DISTURBING ACTIVITIES", ETC. SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.

SITE LAYOUT NOTES:

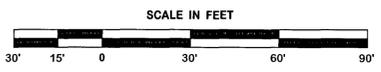
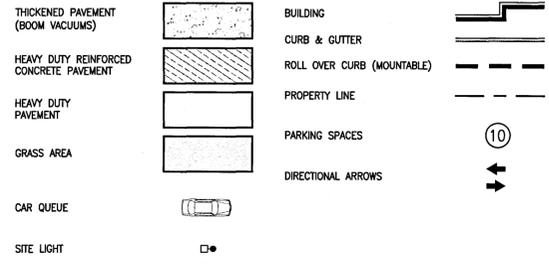
- SITE AREA = +/- 1.29 ACRES.
- DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL RADII ARE 4 FEET UNLESS NOTED OTHERWISE.
- SEE DRAWING C-4 THROUGH C-6 FOR DETAILS.

TIDAL WAVE ANALYSIS	
ACCESSIBLE TO PUBLIC	63 SF (ADA RESTROOM)
TOTAL OCCUPIABLE AREA	1,360 SF
TOTAL NON-OCCUPIABLE AREA	1,774 SF
TOTAL FOOTPRINT	3,507 SF

PARKING ANALYSIS	
STANDARD STALLS	3 SPACES
ADA COMPLIANT STALLS	1 SPACES
TOTAL PARKING STALLS	4 SPACES

VACUUM STALL ANALYSIS	
CANOPY VACUUM STALLS	16 SPACES
BOOM VACUUM STALLS	12 SPACES
TOTAL VACUUM STALLS	28 SPACES

LEGEND - NEW IMPROVEMENTS



OLSON LAND PARTNERS, LLC
Real Estate Acquisitions & Development
4300 Legendary Drive, Suite 234
Destin, Florida 32541
T: 850.650.4353 F: 850.650.3881

Project:
TIDAL WAVE
AUTOSPA
5307 N. Davis Hwy
Pensacola, FL 32503

Designer's Information:
DDG
DUPLANTIS DESIGN GROUP
314 E. Bayou Fland
Thibodaux, LA 70301
Office: 985.447.0930
Fax: 985.447.7709
www.ddgpc.com

SEAL: **Not For Construction**

© THIS SET OF DOCUMENTS INCLUSIVE OF DRAWINGS, SPECIFICATIONS, AND ADDENDUMS MAY NOT BE COPIED, SCANNED, NOR ELECTRONICALLY DISTRIBUTED OR USED FOR CONSTRUCTION WITHOUT THE EXPRESSED WRITTEN CONSENT OF GRACE HERBERT CURTIS ARCHITECTS, APAC. NO PLAN ROOM, ELECTRONIC PLAN SERVICE, INTERNET PLAN SERVICE, NOR REPRODUCTION COMPANY SHALL BE PERMITTED TO POST THESE DOCUMENTS WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE ARCHITECT. GRACE HERBERT CURTIS ARCHITECTS, APAC

STATUS
04/21/21

Sheet Revisions

#	Date	Description

Sheet Title:
SITE PLAN EXHIBIT

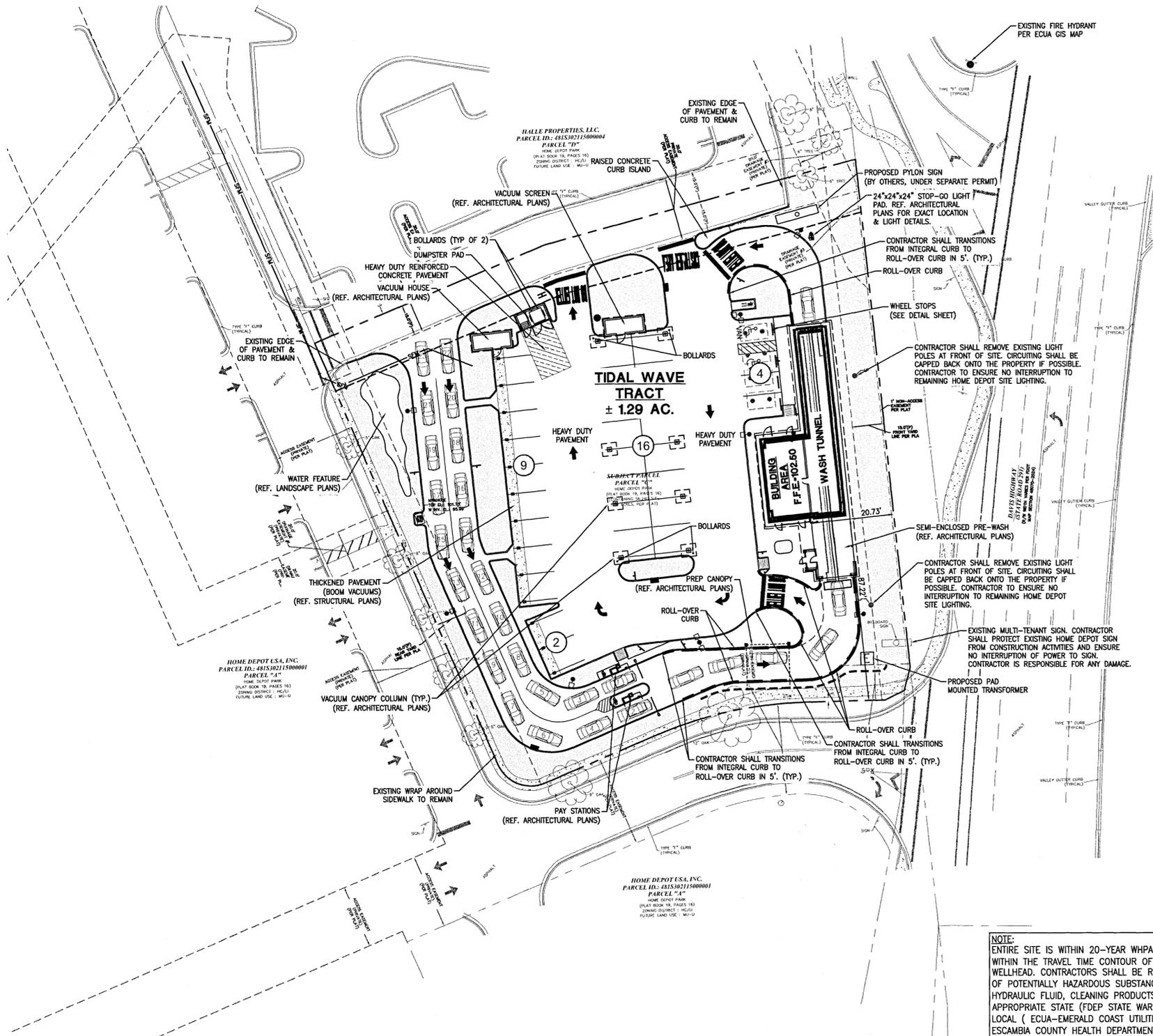
Project Number: 19-595
Sheet Number:

C2.00

J:\CAD\DWG\19-000\19-595\19-595 C2.00 SITE PLAN EXHIBIT.dwg



I:\CAD\DWG\19-000\19-595\19-595 C2.00 SITE PLAN.dwg



NOTE:
ENTIRE SITE IS WITHIN 20-YEAR WHPA. THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOUR OF A PROTECTED (POTABLE) WELLHEAD. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) & LOCAL (ECUA-EMERALD COAST UTILITIES AUTHORITY (850)476-5110 & ESCAMBIA COUNTY HEALTH DEPARTMENT (850)595-6712.

SITE PLAN NOTES:

- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS & DIMENSIONS OF BUILDING, ARCHITECTURE, SIDEWALKS, EXIT PORCHES, RAMPS, TRUCK DOCKS, & EXACT BUILDING UTILITY SERVICE ENTRANCE LOCATIONS AT THE BUILDING. CONTRACTOR SHALL CONTACT NIKOLAS MELANCON WITH DUPLANTIS DESIGN GROUP FOR NECESSARY CAD FILES @ NMELANCON@DDGPC.COM.
- ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH, OR SOD, & WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED AS INDICATED ON THE LANDSCAPING PLAN.
- PROPERTY & TOPOGRAPHIC SURVEY WAS PREPARED ON 10/27/2020 BY EBI SURVEYING.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING BENCHMARK.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVAL FROM THE POWER & TELEPHONE COMPANIES FOR LOCATION & HEIGHT OF PYLON SIGN BEFORE CONDUIT & WIRING IS INSTALLED TO ENSURE PROPER CLEARANCES ARE MET.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO ALL EXISTING UTILITIES, STORM DRAINAGE, SIGNS, ETC. AS REQUIRED FOR WIDENING OF ALL ROADWAYS. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS & SHALL BE APPROVED BY SUCH.
- PRIOR TO THE START OF CONSTRUCTION ACTIVITIES THE CONTRACTOR MUST CALL 811 AND THE LOCAL UTILITY PROVIDERS TO HAVE ALL UTILITIES MARKED WITHIN THE PROJECT AREA. AFTER UTILITIES ARE MARKED, THE CONTRACTOR SHALL PERFORM A PLAN IN HAND WALK THRU OF THE ENTIRE PROJECT AREA AND SHALL CONTACT THE CIVIL ENGINEER IMMEDIATELY IF THERE ARE ANY DEVIATIONS IN THE LOCATIONS OF EXISTING UTILITIES SHOWN IN THE PLANS AND/OR THE PRESENCE OF UTILITIES THAT ARE NOT SHOWN IN THE PLANS.
- CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS & SPECIFICATIONS FOR ENTRY LOCATION OF ALL WATER, SEWER SERVICE, ELECTRICAL, TELEPHONE & GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS & ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO THE LOCATION & TIE-INS/CONNECTIONS TO THEIR FACILITIES.
- ALL DIMENSIONS SHOWN TO BUILDING ARE TO OUTSIDE FACE OF BUILDING.
- THE EARTHWORK FOR ALL BUILDING FOUNDATIONS & SLABS SHALL BE IN ACCORDANCE WITH THE STRUCTURAL SPECIFICATION AND GEOTECHNICAL RECOMMENDATIONS.
- ALL NECESSARY PERMITS & APPROVALS FROM AGENCIES GOVERNING THE CONSTRUCTION OF THIS WORK SHALL BE SECURED PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL AREAS INDICATED TO REMAIN UNDISTURBED OR TO REMAIN AS BUFFERS AND ALL PROPERTY MARKERS. CONTRACTOR SHALL REPLACE ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OR DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC.. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL CONDUIT, IRRIGATION SYSTEMS, & ANY OTHER MISC. UTILITIES) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, & THE PLACEMENT OF ANY APPROPRIATE SOIL STABILIZATION TECHNIQUE.
- CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE & ALIGNMENT.
- ALL WORK SHOWN SHALL BE DONE IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS.
- ANY WORK IN THE RIGHT OF WAY SHALL BE PERFORMED IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION & DEVELOPMENT'S STANDARD DRAWINGS & SPECIFICATIONS.
- CONTRACTOR SHALL REMOVE PAVEMENT & CONCRETE IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
- THE PROPERTIES SHOWN HEREIN LIE WITHIN ZONE X, ACCORDING TO FLOOD AREAS OF INSURANCE RATE MAPS PUBLISHED BY FEMA. LOCAL NO. 12533C0003 DATED 9/29/2006.
- PROTECT CONCRETE PAVING WITH HEAVY DUTY PLASTIC AND/OR SAND, POSSIBLY PLYWOOD IN SOME AREA SUCH AS DRAINS AND GRATES, OR OTHERWISE PRICE FOR SUITABLE CLEANING TO DELIVER LIKE NEW PAVING AT TURNOVER. THIS INCLUDES CAR WASH INSTALLER ABUSE OF PAVING.
- FOR THE SPECIFICATIONS, REFER TO COVER SHEET FOR OWNER REP.(DEVELOPER) CONTACT INFORMATION.
- ALL TREE REMOVAL, LAND CLEARING, REPLACEMENT OF FILL, LAND DISTURBING ACTIVITIES, ETC. SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.

SITE LAYOUT NOTES:

- SITE AREA = +/- 1.29 ACRES.
- DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL RADII ARE 4 FEET UNLESS NOTED OTHERWISE.
- SEE DRAWING C-4 THROUGH C-6 FOR DETAILS.

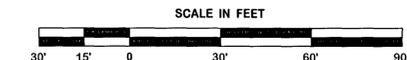
TIDAL WAVE ANALYSIS	
ACCESSIBLE TO PUBLIC	83 SF (ADA RESTROOM)
TOTAL OCCUPIABLE AREA	1,360 SF
TOTAL NON-OCCUPIABLE AREA	1,774 SF
TOTAL FOOTPRINT	3,507 SF

PARKING ANALYSIS	
STANDARD STALLS	3 SPACES
ADA COMPLIANT STALLS	1 SPACES
TOTAL PARKING STALLS	4 SPACES

VACUUM STALL ANALYSIS	
CANOPY VACUUM STALLS	16 SPACES
BOOM VACUUM STALLS	11 SPACES
TOTAL VACUUM STALLS	27 SPACES

LEGEND - NEW IMPROVEMENTS

THICKENED PAVEMENT (BOOM VACUUMS)		BUILDING	
HEAVY DUTY REINFORCED CONCRETE PAVEMENT		CURB & GUTTER	
HEAVY DUTY PAVEMENT		ROLL OVER CURB (MOUNTABLE)	
GRASS AREA		PROPERTY LINE	
CAR QUEUE		PARKING SPACES	
SITE LIGHT		DIRECTIONAL ARROWS	



OLSON LAND PARTNERS, LLC
Real Estate Acquisitions & Development
4300 Legendary Drive, Suite 234
Destin, Florida 32541
T: 850.650.4353 F: 850.650.3881

Project:
TIDAL WAVE
AUTOSPA
5307 N. Davis Hwy
Pensacola, FL 32503

Designer's Information:
DDG
DUPLANTIS DESIGN GROUP
314 E. Bayou Road
Thibodaux, LA 70301
Office: 985.447.0090
Fax: 985.447.7009
www.ddgpc.com

SEAL: **Not For Construction**



4-21-2021

THIS SET OF DOCUMENTS INCLUSIVE OF DRAWINGS, SPECIFICATIONS, AND ADDENDUMS MAY NOT BE COPIED, SCANNED, NOR ELECTRONICALLY DISTRIBUTED OR USED FOR CONSTRUCTION WITHOUT THE EXPRESSED WRITTEN CONSENT OF GRACE HERBERT CURTIS ARCHITECTS, APAC. NO PLAN ROOM, ELECTRONIC PLAN SERVICE, INTERNET PLAN SERVICE, NOR REPRODUCTION COMPANY SHALL BE PERMITTED TO POST THESE DOCUMENTS WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE ARCHITECT, GRACE HERBERT CURTIS ARCHITECTS, APAC.

STATUS
04/21/21

Sheet Revisions

#	Date	Description

Sheet Title: **SITE PLAN**

Project Number: 19-595
Sheet Number: **C2.00**



OLSON LAND PARTNERS, LLC
 Real Estate Acquisitions & Development
 4300 Legendary Drive, Suite 234
 Destin, Florida 32541
 T: 850.650.4353 F: 850.650.3881



5307 N. Davis Hwy
 Pensacola, FL 32503

Designer's Information:



314 E. Bayou Road
 Thibodaux, LA 70301
 Office: 985.447.0090
 Fax: 985.447.7029
 www.ddgpc.com

Not For Construction



4-21-2021

THIS SET OF DOCUMENTS INCLUSIVE OF DRAWINGS, SPECIFICATIONS AND ADDENDUMS MAY NOT BE COPIED, SCANNED, NOR ELECTRONICALLY DISTRIBUTED OR USED FOR CONSTRUCTION WITHOUT THE EXPRESSED WRITTEN CONSENT OF GRACE HERBERT CURTIS ARCHITECTS, APAC. NO PLAN ROOM, ELECTRONIC PLAN SERVICE, INTERNET PLAN SERVICE, NOR REPRODUCTION COMPANY SHALL BE PERMITTED TO POST THESE DOCUMENTS WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE ARCHITECT, GRACE HERBERT CURTIS ARCHITECTS, APAC.

STATUS
 04/21/21

Sheet Revisions

#	Date	Description

Sheet Title:
UTILITY PLAN

Project Number: 19-595
 Sheet Number:

C6.00

UTILITY NOTES:

- CONTRACTOR SHALL COORDINATE UTILITIES WITH OWNER-OPERATOR REFS: KORI BROUSSARD (225) 454-2629 (CELL PHONE) KORNOLSONLANDPARTNERS.COM BRENT DANIEL (709) 975-6159 (CELL PHONE) BRENT@TIDALWAVEAUTOSPA.COM
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES & NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION &/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES &, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL VERIFY HORIZONTAL & VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, & ALL UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR TO REMOVE OR RELOCATE WHEN APPLICABLE, ALL EXISTING BUILDINGS, FOUNDATIONS, EASEMENTS, & CONNECTING IMPROVEMENTS, DRAIN PIPES, SANITARY SEWER PIPE, POWER POLES & GUY WIRES, WATER METERS & WATER LINES, WELLS, SIDEWALKS, SIGN POLES, UNDERGROUND GAS, SEPTIC TANKS, & ASPHALT, SHOWN & NOT SHOWN, WITHIN CONSTRUCTION LIMITS & WHERE NEEDED, TO ALLOW FOR FILL MATERIAL, UNLESS OTHERWISE DENOTED, TO BE REMOVED AS UNCLASSIFIED EXCAVATION. IN COORDINATION WITH EMERALD COAST UTILITIES CONTRACTORS ARE NOT ALLOWED TO OPERATE VALVES OR REMOVE ANY EMERALD COAST OWNED EQUIPMENT SERVING POWER, CABLE, GAS, WATER AND WASTEWATER TO OUR CUSTOMERS.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
- CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS & SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC & FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE, CABLE T.V., & GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS & ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH CITY UTILITY REQUIREMENTS AS TO LOCATIONS & SCHEDULING FOR TIE-INS/CONNECTIONS PRIOR TO CONNECTING EXISTING FACILITIES.
- CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS, POWER COMPANY, & TELEPHONE COMPANY FOR ACTUAL ROUTING OF POWER & TELEPHONE SERVICE TO BUILDING.
- CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES & BE CONSTRUCTED TO SAME.
- SEE SPECIFICATIONS & DETAIL SHEETS FOR BACKFILLING & COMPACTION REQUIREMENTS ON UTILITY TRENCHES.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARD OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION & TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, & OTHER MEANS OF PROTECTION. THIS TO INCLUDE, BUT NOT LIMITED TO, ACCESS & EGRESS FROM ALL EXCAVATION & TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
- SITING FOR THIS PROJECT SHALL MEET OR EXCEED THE PROJECT ISSUED STANDARD SITING SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE WITH OTHER UTILITIES TO ASSURE PROPER DEPTH & PREVENT ANY CONFLICT OF UTILITIES.
- THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER & SEWER LINE IS TEN (10) FEET, OR MINIMUM VERTICAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER & SEWER LINE IS EIGHTEEN (18) INCHES.
- CONTRACTOR SHALL GROUT AROUND ALL PIPE ENTRANCES TO SANITARY SEWER MANHOLES WITH NON-SHRINKING GROUT TO ASSURE CONNECTION IS WATER TIGHT.
- CONTRACTOR SHALL ON ALL UTILITIES, COORDINATE INSPECTION WITH THE APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES AT INSTALLATION.
- CONTRACTOR SHALL COMPLY WITH ALL GOVERNING CODES & REQUIREMENTS. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES & OWNERS INSPECTING AUTHORITIES.
- SITE CONTRACTOR TO COORDINATE PROPOSED RECONNECTION OF ALL UTILITIES WITH ARCHITECTURAL PLANS AS WELL AS UTILITY COMPANIES & BUILDING CONTRACTOR.
- FOR GENERAL NOTES SEE DRAWING C1.00.
- ALL NECESSARY INSPECTIONS &/OR CERTIFICATIONS REQUIRED BY CODES &/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION & THE FINAL CONNECTION OF SERVICES.

WATER NOTES:

- ALL WORK SHALL BE DONE TO THE CITY OF PENSACOLA/EMERALD COAST UTILITY AUTHORITY STANDARD SPECIFICATIONS.
- REFERENCE ARCHITECT'S PLANS FOR ALL BUILDING FIRE SERVICE & DOMESTIC SERVICE CONNECTION LOCATIONS.
- CONTRACTOR SHALL CONSTRUCT WATER SERVICES AS SHOWN, & CONSTRUCT METERS, PITS, & INSTALL CHECK VALVE.
- ALL SPRINKLER & DOMESTIC LEADS TO BUILDING SHALL END AT THE FACE OF BUILDING WALL, UNLESS NOTED, & SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END (FOR OTHERS TO REMOVE & EXTEND AS NECESSARY).
- ALL VERTICAL BENDS ON WATER MAIN SHALL BE RESTRAINED WITH A MECHANICAL JOINT FITTING SUPPLIED WITH THE RETAINER GLANDS. ANY JOINTS 25 FEET OR LESS FROM EITHER SIDE OF VERTICAL BEND SHALL BE RESTRAINED WITH A RETAINER GLAND.
- DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR FITTING.
- ALL VALVES SHALL BE INSTALLED IN A CAST IRON VALVE BOX WITH COVER.
- THRUST BLOCKS SHALL BE PROVIDED AT ALL HORIZONTAL BENDS, TEES, & FIRE HYDRANTS. SEE DETAIL.
- THE MINIMUM COVER ON WATER MAINS SHALL BE 3 FEET.
- PIPE SIZES 3" & SMALLER SHALL BE PVC, RATED AT 200 PSI, SDR 21.
- PIPE SIZES 4" & LARGER SHALL BE DUCTILE IRON, MECHANICAL JOINT FITTING.
- GATE VALVES 3/4" THROUGH 3" SHALL BE BRONZE WEDGE TYPE GATE VALVE. VALVES SHALL HAVE NON-RISING STEM WITH SOLID TEE HEAD OPERATING NUT UNLESS NOTED OTHERWISE.
- GATE VALVES 4" & LARGER SHALL BE CAST IRON GATE VALVE WITH PARALLEL DOUBLE DISC. VALVES SHALL HAVE MECHANICAL JOINT ENDS & NON-RISING STEM WITH SQUARE OPERATING NUT.

TELEPHONE NOTES:

- ALL PHONE LINE LOCATIONS ARE APPROXIMATE & SHOWN FOR COORDINATION PURPOSES ONLY. REFERENCE ARCHITECT'S PLANS FOR ALL BUILDING SERVICE CONNECTIONS.
- LOCATE POC & SEND SERVICE CONDUIT IN THAT DIRECTION.

SANITARY SEWER NOTES:

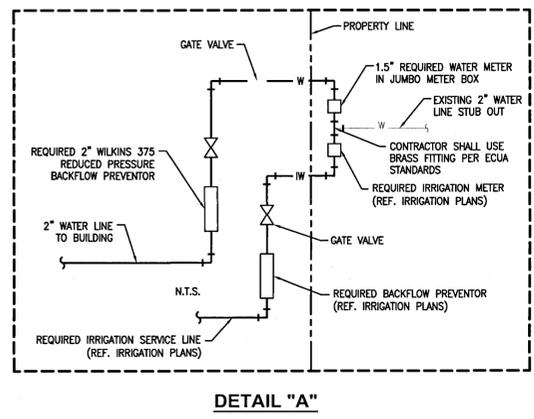
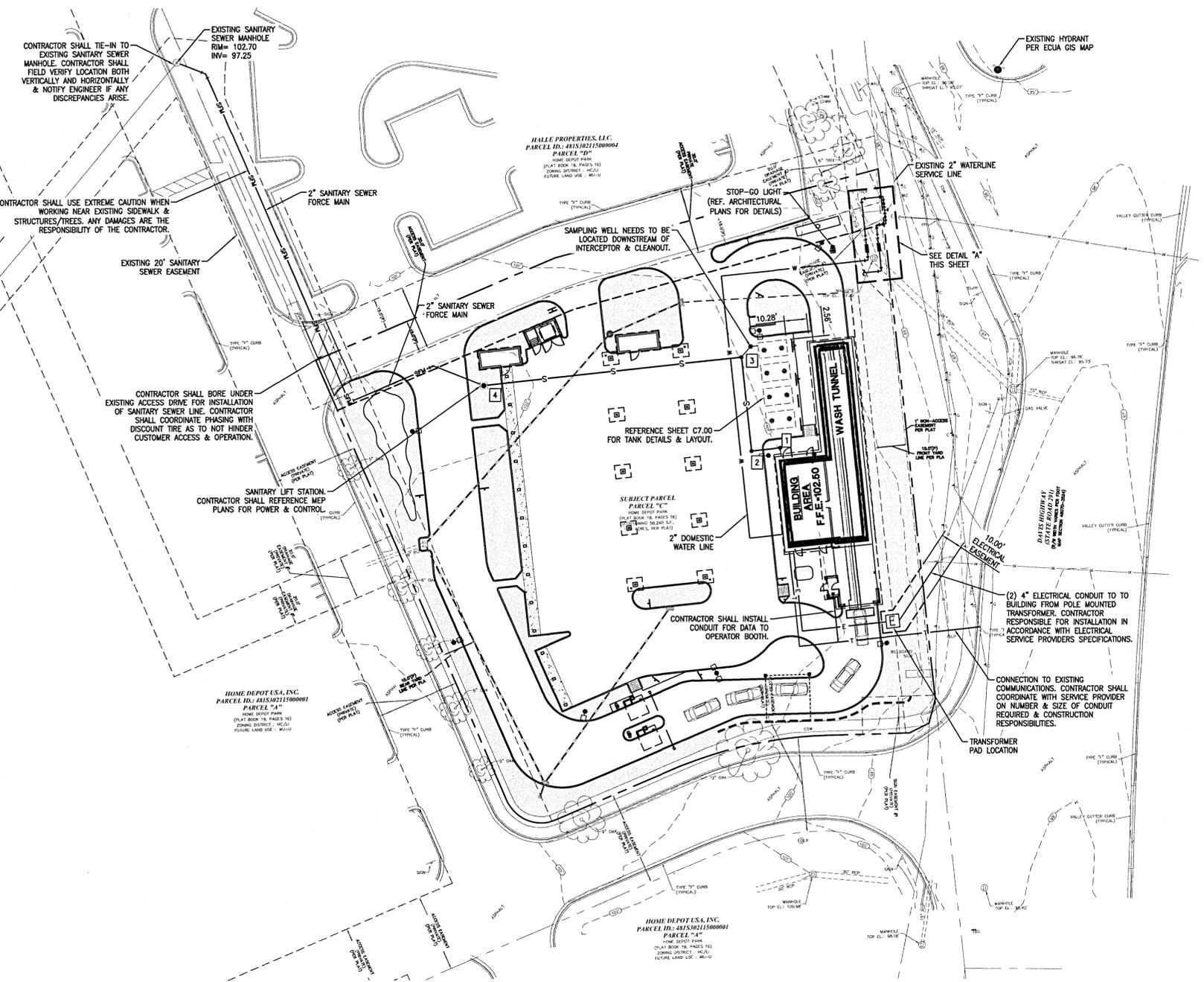
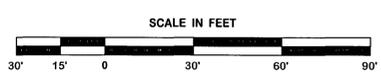
- ALL WORK SHALL BE DONE TO THE CITY OF PENSACOLA/EMERALD COAST UTILITY AUTHORITY STANDARD SPECIFICATIONS.
- REFERENCE ARCHITECT'S PLANS FOR ALL BUILDING SERVICE CONNECTIONS.
- CONTRACTOR SHALL PAY ALL FEES & CHARGES PERTINENT TO SANITARY SEWER CONSTRUCTION & SHALL COORDINATE WITH CITY OF PENSACOLA/EMERALD COAST UTILITY AUTHORITY PRIOR TO COMMENCING WITH CONSTRUCTION.
- ALL STUB-OUTS & WYE LATERALS SHALL BE PLUGGED WITH A STANDARD TYPE PLUG.
- SANITARY SEWER PIPE OF DIFFERENT MATERIAL SHALL BE JOINED BY A RUBBER SLEEVE WITH STAINLESS STEEL COUPLING, MADE FOR TRANSITIONS FROM ONE MATERIAL TO ANOTHER.
- DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE OR TO CENTERLINE OF MANHOLE.
- THE SANITARY SEWER PIPE MATERIAL SHALL BE PVC, SDR 26, SEWER PIPE UNLESS OTHERWISE NOTED ON PLAN.

POWER NOTES:

- REFERENCE MEY ENGINEERS PROVIDED ELECTRICAL SITE PLAN; REFERENCE E0.01 PLANS FOR ALL BUILDING SERVICE CONNECTIONS.
- ALL PRIMARY & SECONDARY SERVICE LOCATIONS ARE APPROXIMATE & ARE SHOWN FOR COORDINATION PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE POWER COMPANY, TO DETERMINE EXACT LOCATION & RESPONSIBILITIES INCLUDING COST.

LEGEND - NEW IMPROVEMENTS

- WATERLINE _____
- DOMESTIC WATERLINE _____
- IRRIGATION WATERLINE _____
- FIRE WATERLINE _____
- SANITARY SEWERLINE _____
- GAS LINE _____
- OVERHEAD TELEPHONE & ELECTRIC _____
- SEWER FORCE MAIN _____
- UNDERGROUND TELEPHONE _____
- UNDERGROUND ELECTRIC _____
- STORM DRAIN SYSTEM _____
- FIRE HYDRANT _____
- POWER POLE _____
- SEWER MANHOLE & STRUCTURE # _____



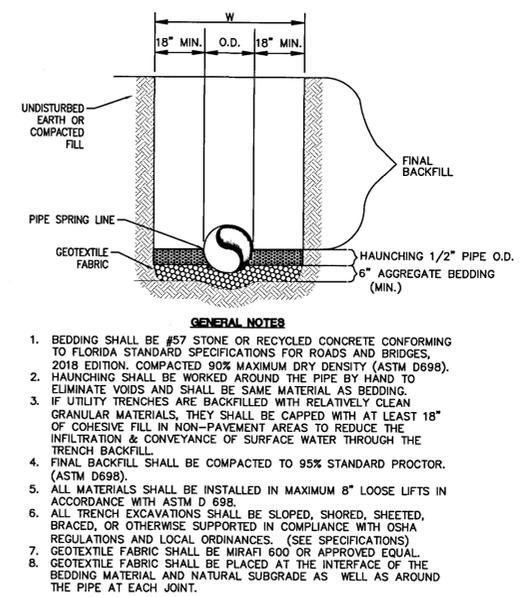
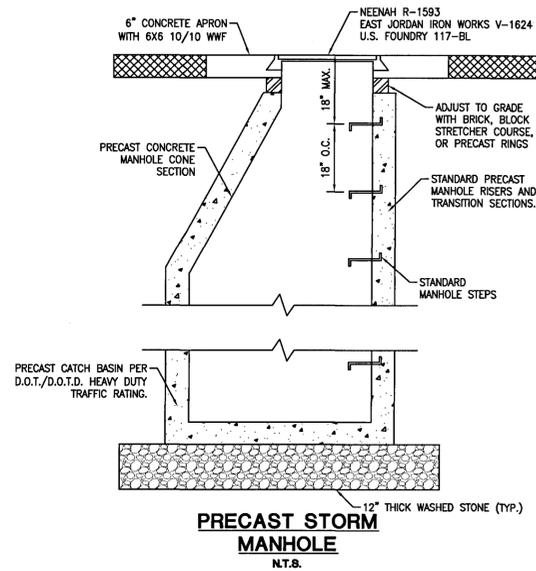
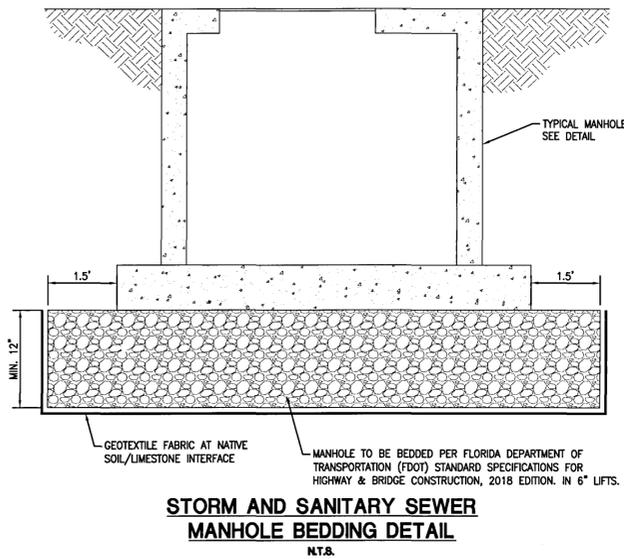
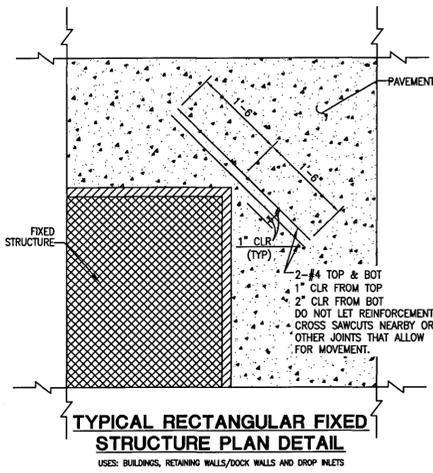
NOTE:
 ENTIRE SITE IS WITHIN 20-YEAR WHPA. THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOUR OF A PROTECTED (POTABLE) WELLHEAD. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (i.e. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) & LOCAL (ECUA-EMERALD COAST UTILITIES AUTHORITY (850)476-5110 & ESCAMBIA COUNTY HEALTH DEPARTMENT (850)595-6712.

STRUCTURE TABLE

STRUCTURE NUMBER	TYPE	GUTTER/CASTING ELEV	INVERT IN	ELEVATION OUT	PIPE LENGTH	PIPE TYPE	PIPE SLOPE
1	CLEANOUT	101.92		97.56 (2)	13	6" PVC	1.00%
1-2	CLEANOUT	101.92		97.56 (2)	13	6" PVC	1.00%
2	CLEANOUT	101.90	97.43 (1)	97.43 (3)	43	6" PVC	1.00%
2-3	CLEANOUT	101.90	97.43 (1)	97.43 (3)	43	6" PVC	1.00%
3	CLEANOUT	101.67	97.00 (2)	97.00 (4)	118	6" PVC	1.00%
3-4	CLEANOUT	101.67	97.00 (2)	97.00 (4)	118	6" PVC	1.00%
4	SEWER LIFT STATION	101.22	95.82 (3)				

J:\CAD\DWG\19-000\19-595\19-595-06.00 UTILITY PLAN.dwg





OLSON LAND PARTNERS, LLC
Real Estate Acquisitions & Development
4300 Legendary Drive, Suite 234
Destin, Florida 32541
T: 850.650.4353 F: 850.650.3881

Project:
TIDAL WAVE
AUTO SPA
5307 N. Davis Hwy
Pensacola, FL 32503

Designer's Information:
DDG
DUPLANTIS DESIGN GROUP
314 E. Bayou Road
Thibodaux, LA 70301
Office: 985.447.0090
Fax: 985.447.7009
www.ddgpc.com



4-21-2021

THIS SET OF DOCUMENTS INCLUSIVE OF DRAWINGS, SPECIFICATIONS, AND ADDENDUMS MAY NOT BE COPIED, SCANNED, NOR ELECTRONICALLY DISTRIBUTED OR USED FOR CONSTRUCTION WITHOUT THE EXPRESSED WRITTEN CONSENT OF GRACE HERBERT CURTIS ARCHITECTS, APAC. NO PLAN ROOM, ELECTRONIC PLAN SERVICE (INTERNET PLAN SERVICE), NOR REPRODUCTION COMPANY SHALL BE PERMITTED TO POST THESE DOCUMENTS WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE ARCHITECT, GRACE HERBERT CURTIS ARCHITECTS, APAC.

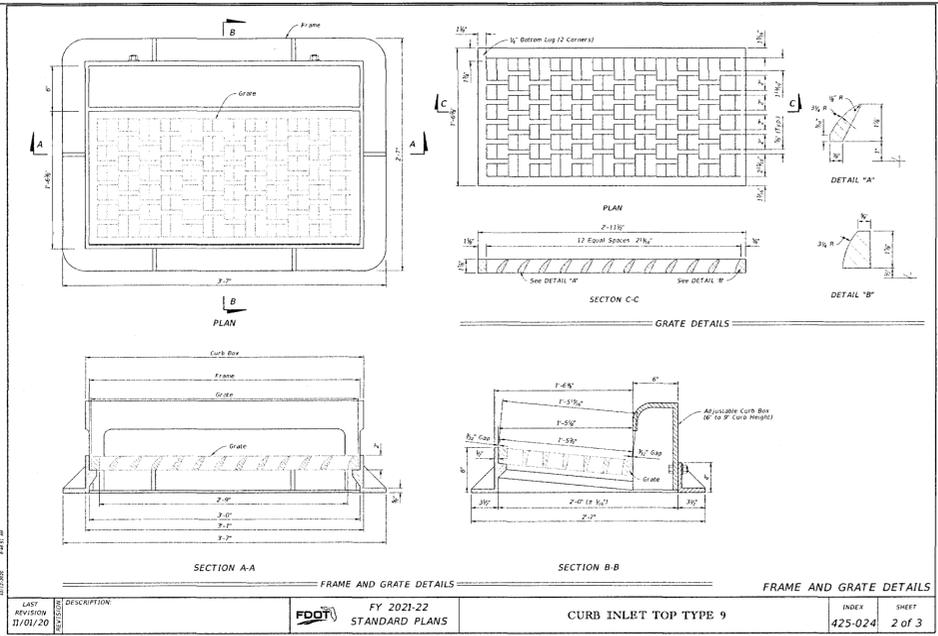
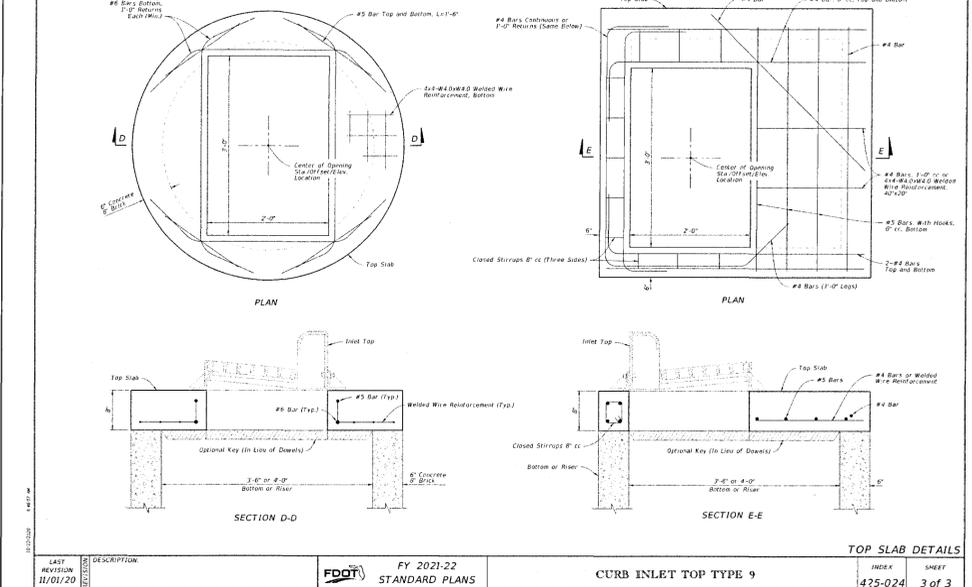
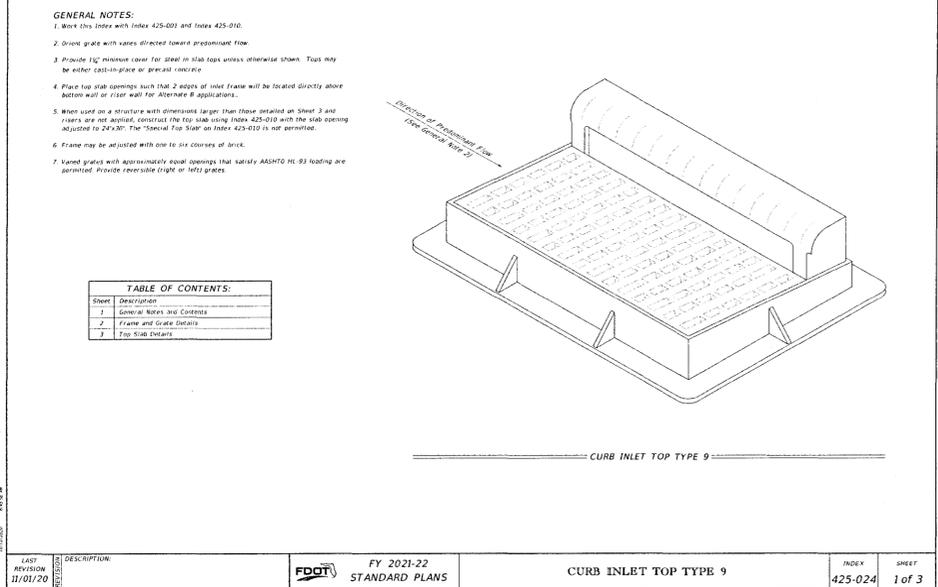
STATUS
04/21/21

Sheet Revisions		
#	Date	Description

Sheet Title:
STORMWATER DETAILS

Project Number: 19-595
Sheet Number:

C6.21



J:\CAD\DWG\19-000\19-595\19-595 C6.21 STORMWATER DETAILS.dwg

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	WIRE	PSI	PSI @ POC	PRECIP
1	Rain Bird PEB	1"	Turf Rotary	17.10	163.2	33.63	41.07	0.54 in/h
2	Rain Bird PEB	1"	Turf Rotary	17.49	163.2	33.75	41.87	0.55 in/h
3	Rain Bird XCZ-LF-100-PRF	1"	Area for Dnpline	13.32	353.8	43.58	49.91	0.43 in/h
4	Rain Bird PEB	1"	Turf Rotary	18.23	455.5	34.09	42.76	1.39 in/h
5	Rain Bird PEB	1"	Turf Rotary	17.53	517.9	34.04	42.37	1.15 in/h
6	Rain Bird XCZ-LF-100-PRF	1"	Area for Dnpline	19.67	344.2	46.42	55.74	0.43 in/h
	Common Wire				871.3			

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
○ ○ ○	Rain Bird R-VAN-STRIP 180G-SAM-P30 Turf Rotary, 5'x15' (LCS and RCS), 5'x30' (SST) Hand Adjustable Multi-Stream Rotary w/ 1800 turf spray body on 6.0" pop-up, with check valve and 30 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	4	30
○ ○ ○	Rain Bird R-VAN14 180G-SAM-P30 Turf Rotary, 8'-14' 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/1800 turf spray body on 6.0" pop-up, with check valve and 30 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	67	30
○ ○ ○	Rain Bird R-VAN18 180G-SAM-P30 Turf Rotary, 13'-18' 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/1800 turf spray body on 6.0" pop-up, with check valve and 30 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	14	30
○ ○ ○	Rain Bird R-VAN24 180G-SAM-P30 Turf Rotary, 17'-24' 45-270 degrees and 360 degrees. Hand Adjustable Multi-Stream Rotary w/1800 turf spray body on 6.0" pop-up, with check valve and 30 psi in-stem pressure regulator. 1/2" NPT Female Threaded Inlet.	17	30

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
■	Rain Bird XCZ-LF-100-PRF Low Flow Drip Control Kit, 1" Low Flow Valve, 3/4" Pressure Regulating RBY Filter, and 30psi Pressure Regulator. 0.2gpm-5gpm.	2
○	Pipe Transition Point in Drip Box Pipe transition point from PVC lateral to drip tubing with nser in 6" (150mm) drip box.	13
○	Rain Bird OPERIND Drip System Operation Indicator, stem rises 6" for clear visibility when drip system is charged to a minimum of 20psi. Includes 16' of 1/4" distribution tubing with connection fitting pre-installed.	2
▨	Area to Receive Dnpline Rain Bird XFS-06-18 XFS Sub-Surface Pressure Compensating Dnpline w/Copper Shield Technology. 0.6 GPH emitters at 18" O.C. Laterals spaced at 18" apart, with emitters offset for triangular pattern. UV Resistant. Specify XF insert fittings.	4,949 l.f.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
○	Rain Bird PEB 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration.	4
○	Rain Bird EFB-CP 1" 1", 1-1/4", 1-1/2", 2" Brass Master Valve, that is Contamination Proof w/Self-Flushing Filter Screen. Globe Configuration, Reclaimed Water Compatible, and Purple Handle Cover Designates Non-Potable Water Use.	1
○	Febco 765 1" Pressure Vacuum Breaker, brass with ball valve SOV. Install 12" (305MM) above highest downstream outlet and the highest point in the downstream piping.	1
○	Rain Bird ESP4ME with (2) ESP-SM3 I/O Station, Hybrid Modular Outdoor Controller. For Residential or Light Commercial Applications.	1
○	Rain Bird WR2-RFC Wireless Rain and Freeze Sensor Combo, includes 1 receiver and 1 rain/freeze sensor transmitter.	1
○	Water Meter 1" Assumed Static Water Pressure G5 PSI, unless otherwise noted. Contact Landscape Architect immediately if different.	1

---	Irrigation Lateral Line: PVC Class 200 SDR 21 All lateral pipes are 3/4" unless labeled on plan.	1,777 l.f.
---	Irrigation Mainline: PVC Class 200 SDR 21	871.3 l.f.
---	Pipe Sleeve: PVC Schedule 40	406.3 l.f.
○	Valve Gallet	
○	Valve Number	
○	Valve Flow	
○	Valve Size	

CRITICAL ANALYSIS

Generated: 2021-04-21 13:46

P.O.C. NUMBER: 01
Water Source Information: Assumed Static Water Pressure G5 PSI, unless otherwise noted. Contact Landscape Architect immediately if different.

FLOW AVAILABLE
Water Meter Size: 1"
Flow Available: 20.23 gpm

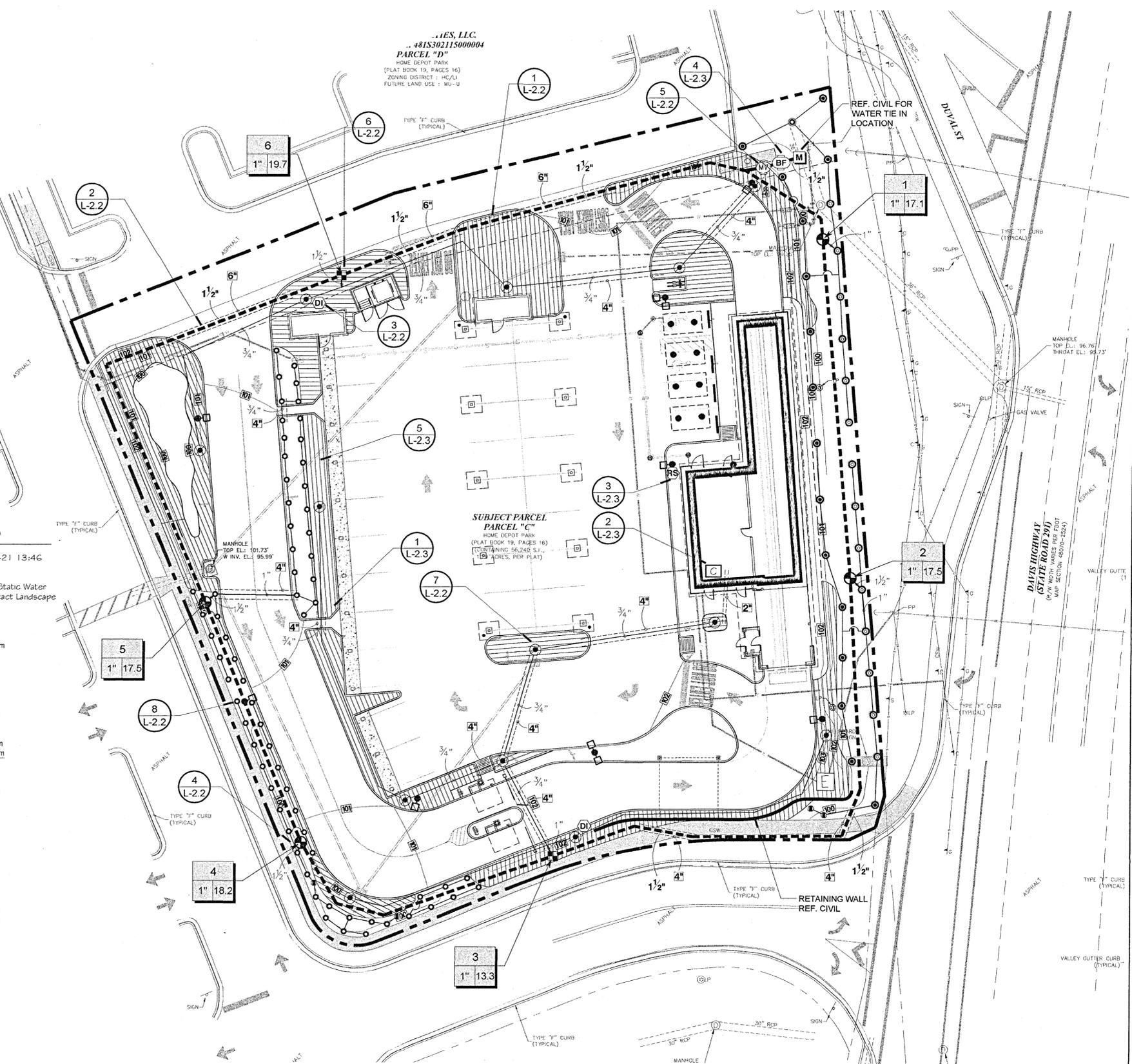
PRESSURE AVAILABLE
Static Pressure at POC: 65.00 psi
Elevation Change: 0.00 ft
Service Line Size: 1"
Length of Service Line: 0.00 ft
Pressure Available: 65.00 psi

DESIGN ANALYSIS
Maximum Station Flow: 19.67 gpm
Flow Available at POC: 20.23 gpm
Residual Flow Available: 0.56 gpm

Critical Station: 6
Design Pressure: 30.00 psi
Friction Loss: 4.02 psi
Fittings Loss: 0.40 psi
Elevation Loss: 0.00 psi
Loss through Valve: 12.00 psi
Pressure Req. at Critical Station: 46.42 psi
Loss for Fittings: 0.09 psi
Loss for Main Line: 0.89 psi
Loss for POC to Valve Elevation: 0.00 psi
Loss for Backflow: 4.17 psi
Loss for Master Valve: 2.04 psi
Loss for Water Meter: 2.13 psi
Critical Station Pressure at POC: 55.74 psi
Pressure Available: 65.00 psi
Residual Pressure Available: 9.26 psi

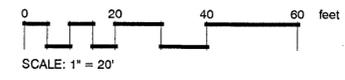
LEGEND

- BUILDING
- CURB & GUTTER
- BLOCK RETAINING WALL
- PROPERTY LINE
- PARKING SPACES
- DIRECTIONAL ARROWS
- SITE LIGHT
- FIRE HYDRANT
- POWER POLE
- SEWER MANHOLE & STRUCTURE #



CONTRACTOR IS RESPONSIBLE TO ENSURING THAT ANY DISTURBED AREAS ARE RE-SODDED

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.



**Not For Construction
IRRIGATION
PLAN**



L:\PROJECT\19-000\19-696 CarWash, Pensacola, FL\103-SD\19-696 L-2 Irrigation Plan V2.dwg



4300 Legendary Drive, Suite 234
Destin, Florida 32541
T: 850.650.4353 F: 850.650.3881

Project:
TIDAL WAVE
AUTO SPA
5307 N. Davis Hwy
Pensacola, FL 32503

Designer's Information:
DDG
DUPLANTIS DESIGN GROUP
8532 Bluebonnet Blvd.
Baton Rouge, LA 70810
Office: 225-751-4490
Fax: 225-751-4495
www.ddgpc.com

SEAL: **Not For Construction**



THIS SET OF DOCUMENTS INCLUSIVE OF DRAWINGS, SPECIFICATIONS, AND ADDENDUMS MAY NOT BE COPIED, SCANNED, NOR ELECTRONICALLY DISTRIBUTED OR USED FOR CONSTRUCTION WITHOUT THE EXPRESSED WRITTEN CONSENT OF GRACE HERBERT CURTIS ARCHITECTS, APAC. NO PLAN ROOM, ELECTRONIC PLAN SERVICE, INTERNET PLAN SERVICE, NOR REPRODUCTION COMPANY SHALL BE PERMITTED TO POST THESE DOCUMENTS WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE ARCHITECT, GRACE HERBERT CURTIS ARCHITECTS, APAC.

STATUS
04/21/21

Sheet Revisions

#	Date	Description

Sheet Title:

Project Number: 19-595
Sheet Number:

L-2.1