

SITE CONSTRUCTION PLANS FOR BOSARGE WAREHOUSE 3900 NAVY BLVD. PENSACOLA, FL 32507

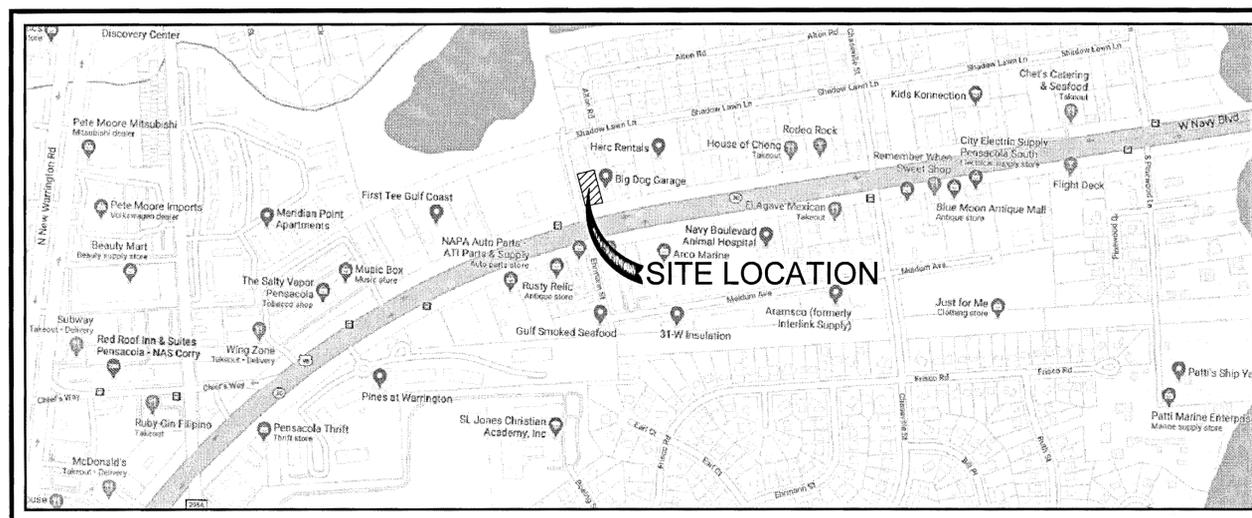
MAY 2021

RBA PROJECT NO.: 2020.147

SITE INFORMATION	
OWNER:	CHRISTOPHER J. & LISA R. BOSARGE 613 ARAGON STREET PENSACOLA, FL 32502
DEVELOPER:	CHRISTOPHER J. & LISA R. BOSARGE 613 ARAGON STREET PENSACOLA, FL 32502
PROPERTY REFERENCE NO:	38-2S-30-1000-042-004
PROPERTY ADDRESS:	3900 W NAVY BLVD 32507
PROPERTY AREA:	0.286 ACRES
PROJECT AREA:	0.25 ACRES
PROPERTY ZONING:	HC/LI
FUTURE LAND USE:	COMMERCIAL
PROPOSED ACTIVITY:	OFFICE/WAREHOUSE
REQUIRED BUILDING SETBACKS C-1:	FRONT YARD - 15 FT. SIDE YARD - 10 FT. REAR YARD - 15 FT.
COMMUNITY REDEVELOPMENT AREA (CRA):	WARRINGTON

FEMA FLOOD INSURANCE RATE MAP INFORMATION					
THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:					
FLOOD ZONE(S)	COMMUNITY No.	MAP No.	PANEL No.	SUFFIX	MAP REVISION DATE
X	120080	12033C	370	G	SEPT 29, 2006

CONTACTS	
GULF POWER 500 BAYFRONT PARKWAY PENSACOLA, FLORIDA 32520	CONTACT: DON SCHOFIELD PHONE: 850.444.6555 FAX: 850.444.6432
COX CABLE 2205 LA VISTA AVE. PENSACOLA, FLORIDA 32504	CONTACT: RICHARD EMMONS PHONE: 850.477.2695 FAX: 850.479.3912
ECUA P.O. BOX 15311 PENSACOLA, FLORIDA 32514	CONTACT: BRANDON KNIGHT PHONE: 850.476.5110
PEOPLE'S WATER SERVICE COMPANY 905 LOWNDE AVE. PENSACOLA, FL 32507	PHONE: 850.455.8552
ENERGY SERVICES GAS 1625 ATWOOD DRIVE PENSACOLA, FLORIDA 32504	CONTACT: JOHN DeMARS PHONE: 850.474.5322 FAX: 850.474.5330
AT&T, INC. 605 W. GARDEN STREET PENSACOLA, FLORIDA 32501	CONTACT: SHARON BLACKMAN PHONE: 850.436.1662
ESCAMBIA COUNTY ENGINEER 1190 W. LEONARD STREET PENSACOLA, FLORIDA 32501	CONTACT: JOY BLACKMON PHONE: 850.595.3434 PHONE: 800.432.4770
MCI	PHONE: 800.624.9675
SUNSHINE UTILITIES	



VICINITY MAP
SCALE: 1" = 400'



REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors

2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400
Fax 850.438.0448
EB 00009657 LB 7916

ECUA REQUIRED PLAN NOTES
(NOTES SHALL BE INSERTED IN THE UPPER RIGHT CORNER OF TITLE SHEET)

A. ECUA ENGINEERING MANUAL INCORPORATED BY REFERENCE

THE ECUA ENGINEERING MANUAL, DATED DECEMBER 18, 2014, ALONG WITH ANY LISTED UPDATES (HEREINAFTER "MANUAL"), LOCATED AT WWW.ECUA.FL.GOV, IS HEREBY INCORPORATED BY REFERENCE INTO THIS PROJECT'S OFFICIAL CONTRACT DOCUMENTS AS IF FULLY SET FORTH THEREIN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE KNOWLEDGEABLE OF THE MANUAL'S CONTENTS AND TO CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE MANUAL. THE CONTRACTOR SHALL PROVIDE ITS EMPLOYEES ACCESS TO THE MANUAL AT ALL TIMES, VIA PROJECT SITE OR OFFICE, VIA DIGITAL OR PAPER FORMAT. IN THE EVENT OF A CONFLICT BETWEEN THE MANUAL AND THE PLANS, CONTRACTOR SHALL CONSULT ENGINEER OF RECORD ON THE APPROPRIATE RESOLUTION.

B. ADDITIONAL DOCUMENTS (TO BE COMPLETED BY THE ENGINEER OF RECORD)

DOES THIS PROJECT HAVE ADDITIONAL TECHNICAL SPECIFICATIONS OR CONSTRUCTION DETAILS THAT SUPERSEDE THE MANUAL LISTED ABOVE?

YES NO

IF YES, CONTRACTOR SHALL CONSTRUCT PROJECT IN ACCORDANCE WITH SAID DOCUMENTS AS LISTED AND LOCATED BELOW:

DOCUMENT NAME	DOCUMENT TYPE		LOCATION	
	SPECIFICATION	DETAIL	PLANS	PROJECT MANUAL*

*PROJECT MANUALS USED ONLY WITH ECUA CIP PROJECTS

C. ENGINEER OF RECORD RESPONSIBILITIES

THE ENGINEERS OF RECORD (EORS) THAT HAVE AFFIXED THEIR SEALS AND SIGNATURES ON THESE PLANS WARRANT THEIR PORTION OF THE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE MANUAL (UNLESS OTHERWISE DIRECTED BY THE ECUA PROJECT ENGINEER). THE EORS SHALL BE KNOWLEDGEABLE OF THE MANUAL'S CONTENTS AND SHALL ASSUME RESPONSIBILITY FOR ITS USE ON THIS PROJECT.

INDEX OF DRAWINGS

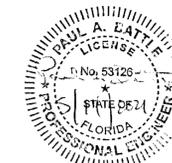
- COVER
- C1.0 EXISTING SITE, DEMOLITION AND EROSION CONTROL PLAN
- C1.1 EROSION CONTROL DETAILS
- C2.0 SITE LAYOUT AND DIMENSION PLAN
- C2.1 SITE CONSTRUCTION DETAILS
- C3.0 GRADING AND DRAINAGE PLAN
- C3.1 GRADING & DRAINAGE DETAILS
- C4.0 UTILITY PLAN
- C4.1 UTILITY DETAILS
- C5.0 LANDSCAPE PLAN

LEGAL DESCRIPTION

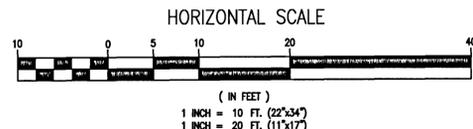
(OFFICIAL RECORDS BOOK 4574, PAGE 509)

LOT 42, BLOCK 4, WESTERLY HEIGHTS SUBDIVISION, ACCORDING TO PLAT RECORDED IN PLAT BOOK 2, AT PAGE 14, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.

Approved ESCAMBIA COUNTY DRC PLAN REVIEW	
DRC Chairman Signature: <i>[Signature]</i>	Date: 6-19-21
Printed Name: <i>[Signature]</i>	Date: _____
This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.	



THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING "RELEASED FOR CONSTRUCTION" DRAWINGS FROM REBOL-BATTLE & ASSOCIATES BEFORE BEGINNING CONSTRUCTION. REBOL-BATTLE & ASSOCIATES WILL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION BASED ON PLANS THAT HAVE NOT BEEN RELEASED FOR CONSTRUCTION.



TREE PROTECTION NOTE:
THERE ARE NO PROTECTION TREES ON SITE.

FLOOD ZONE NOTE:
THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAINS, NO BFEs OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0370G, MAP REVISION DATED SEPTEMBER 29, 2006.

LEGEND

- FOUND 1/2" DIA CAPPED IRON ROD (NO. 5938)
- ⊙ FOUND 1/2" DIA CAPPED IRON ROD (NO. 6679)
- ▲ FOUND NAIL & DISK (NO. 6679)
- ▨ EXISTING ASPHALT
- ▩ EXISTING CONCRETE
- ▧ EXISTING GRAVEL/BROKEN ASPHALT
- EXISTING DIRT
- ▬ DEMOLITION
- ▭ RIPRAP
- BOUNDARY LINE
- - - EASEMENT LINE
- - - LOT LINE
- RIGHT-OF-WAY LINE
- WATER LINE
- FORCE MAIN
- OHU OVERHEAD UTILITIES
- BT BURIED TELEPHONE LINE
- G GAS LINE
- BE BURIED ELECTRIC LINE
- FOC BURIED FIBER OPTIC CABLE
- BTV BURIED TV LINE
- EXISTING CONTOUR
- 100' STRAW BALE
- SILT FENCE
- EXISTING TREE (SIZE AND TYPE)
- ⊕ FIRE HYDRANT
- ⊞ WATER METER
- ⊞ WATER VALVE
- CLEANOUT
- ↑ SPOT ELEVATION
- ⊙ GUY ANCHOR
- UTILITY POLE
- ⊙ WATER SPIGOT
- ⊞ TELEPHONE BOX
- ⊞ GAS VALVE
- ⊞ MAILBOX
- POST
- ⊕ STREET SIGN
- SIGN
- BM DENOTES BENCHMARK
- C1 DENOTES CURVE NUMBER
- DIA DENOTES DIAMETER
- EOP DENOTES EDGE OF PAVEMENT
- (F) DENOTES FIELD INFORMATION
- NO. DENOTES NUMBER
- (P) DENOTES PLAT INFORMATION
- (PS) DENOTES PREVIOUS SURVEY INFORMATION
- R/W DENOTES RIGHT-OF-WAY

GENERAL NOTES:
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF ALL GOVERNING AUTHORITIES.

2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AGENCIES.

3. THE LOCATION OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS IS BASED ON INFORMATION PROVIDED BY THE UTILITIES AND SHALL BE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.

4. THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENTS OF THE WATER, SANITARY SEWER, GAS, TELEPHONE, CABLE TELEVISION, AND POWER COMPANIES 10 DAYS IN ADVANCE THAT HE INTENDS TO START WORK IN A SPECIFIED AREA. THE OWNER DISCLAIMS ANY RESPONSIBILITY FOR THE SUPPORT AND PROTECTION OF SEWERS, DRAINS, WATER PIPES, GAS PIPES, CONDUITS OF ANY KIND, UTILITIES OR OTHER STRUCTURES OWNED BY THE CITY, COUNTY, STATE OR BY PRIVATE OR PUBLIC UTILITIES LEGALLY OCCUPYING ANY STREET, ALLEY, PUBLIC PLACE OR RIGHT-OF-WAY.

5. ALL SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND STRUCTURES, WHICH ARE NOT IN SERVICE AS NECESSARY FOR THE INSTALLATION OF PROPOSED IMPROVEMENTS. THESE INCLUDE PIPES, VALVES, DRAINAGE STRUCTURES, ETC., AS INDICATED ON THE CONTRACT PLANS. CONTRACTOR SHALL NOTIFY THE PROJECT OWNER AND ENGINEER OF ALL DISCOVERED UNDERGROUND STRUCTURES WHICH ARE IN CONFLICT WITH THE INSTALLATION OF THE PROPOSED IMPROVEMENTS AND ARE NOT INDICATED ON THE CONTRACT PLANS OR LOCATED IN THE FIELD BY UTILITIES IN ACCORDANCE WITH GENERAL NOTES.

6. THE RELOCATION OF OBSTRUCTIONS OWNED BY PRIVATE PROPERTY OWNERS, SUCH AS MAIL BOXES, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WHO MUST COORDINATE WITH THE PROPERTY OWNER.

7. THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS AND GUARDS DURING ALL PHASES OF CONSTRUCTION, IN ACCORDANCE WITH APPLICABLE FDOT INDEX.

8. ALL AREAS NOT PAVED OR DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED BY SEEDING AND MULCHING OR SODDING. SEED AND MULCH OR SOD SHALL BE PLACED, WATERED, FERTILIZED WITH APPROPRIATE SOIL AMENDMENTS IN ACCORDANCE WITH THE FDOT STANDARD SPECIFICATIONS AND THESE CONSTRUCTION DOCUMENTS.

9. ALL EXCESS MATERIAL SHALL BE HAULED AWAY AND DISPOSED OF APPROPRIATELY AT THE CONTRACTOR'S EXPENSE.

10. ALL CONSTRUCTION AROUND TREES SHALL BE DONE IN A MANNER TO MINIMIZE DAMAGE TO THE TREE AND ITS ROOT SYSTEM.

11. THE CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND THE EXTENT OF CLEARING AND GRUBBING REQUIRED.

12. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

13. THE CONTRACTOR IS TO COORDINATE WITH THE RESPONSIBLE UTILITY PROVIDER FOR PROTECTION/HOLDING OF UTILITY POLES, GUY WIRES, GUY ANCHORS IN AREAS OF CONSTRUCTION. THE CONTRACTOR SHALL INCLUDE THE COST OF PROTECTING UTILITY POLES IN THEIR OVERALL PRICE TO THE OWNER.

14. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR PRIOR TO FINAL "AS-BUILT" SIGN-OFF FROM THE COUNTY.

15. THE OPERATION AND MAINTENANCE OF THE FACILITY WILL BE THE RESPONSIBILITY OF THE OWNER, AS IN ACCORDANCE WITH THE APPROVED PERMIT.

16. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHTS-OF-WAY.

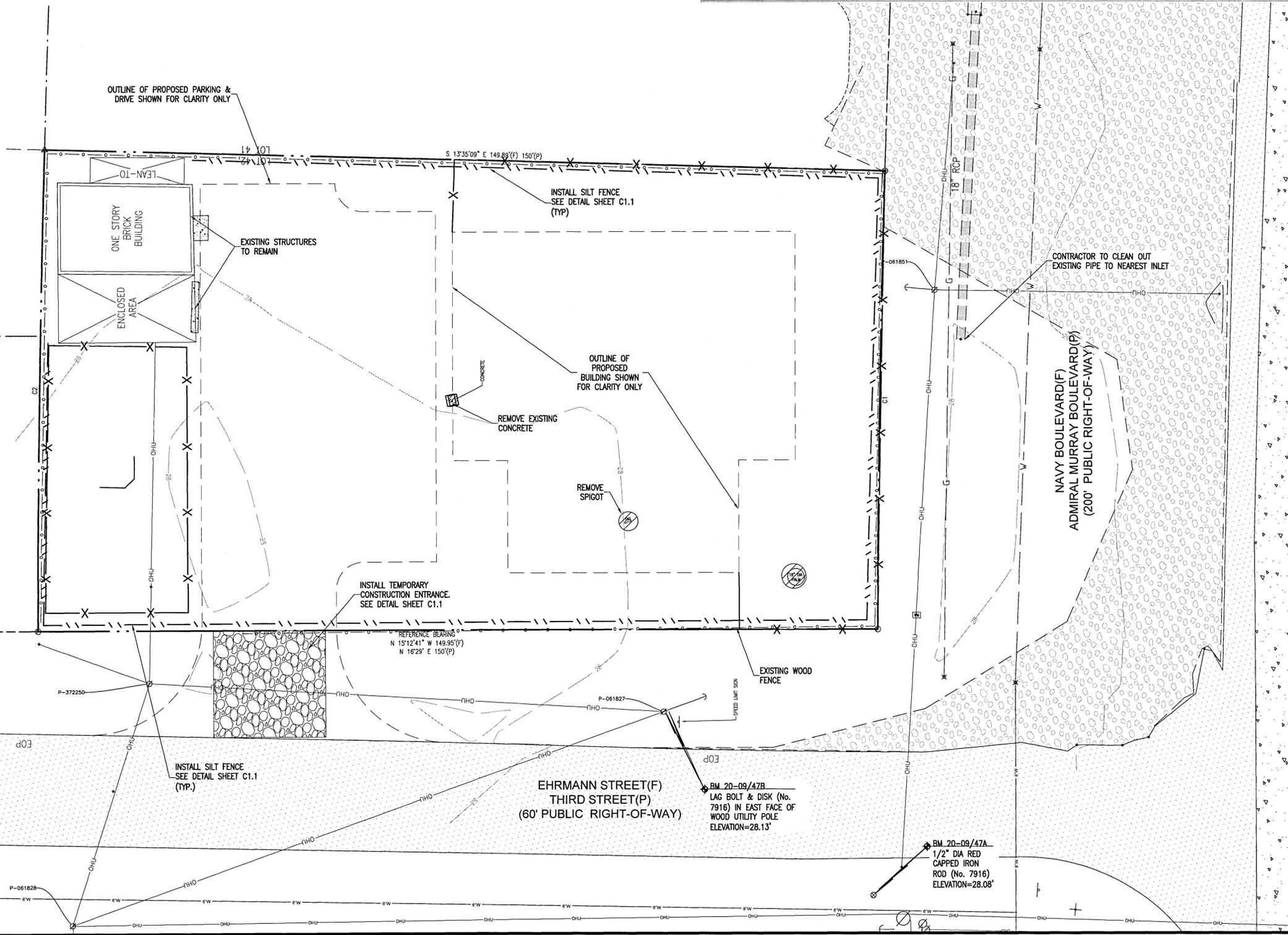
17. HAY BALES SHALL NOT BE PERMITTED WITHIN THE RIGHT-OF-WAY. ONLY SYNTHETIC BALES MAY BE USED.

18. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.

19. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850)595-3472. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.

20. THE LAND SHALL REMAIN VEGETATED (TREES INCLUDED, NO FILL MATERIALS PLACED ONSITE, GRADING, EXCAVATING, ETC.) UNTIL SUCH TIME AS SITE PLAN APPROVAL & PROPER PERMITTING ALLOWS FOR SUCH, PER CODE.

21. ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, OR ANY OTHER "LAND DISTURBING ACTIVITIES" SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION.

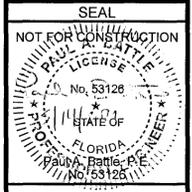


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 EB 0009687 LE1916

EXISTING SITE, DEMOLITION & EROSION CONTROL PLAN

BOSARGE WAREHOUSE
3900 NAVY BLVD 32507
ESCAMBIA COUNTY, FLORIDA

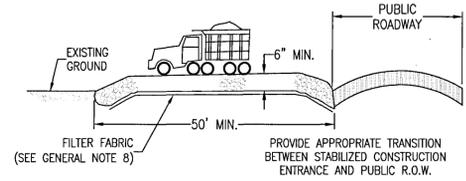
REVISION	DATE	No.



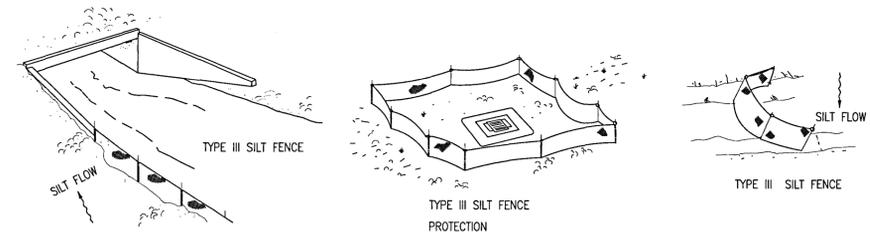
Dr. By: KAE
Ck By: PAB
Job No.: 2020.147
Date: 4/30/2021

DRAWING No.
C1.0
SHEET 2 OF 10

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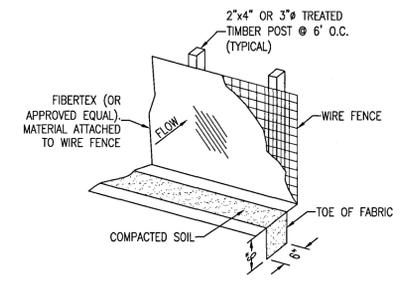


**STABILIZED CONSTRUCTION
ENTRANCE DETAIL**
N.T.S.



SILT FENCE APPLICATIONS
N.T.S.

DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.



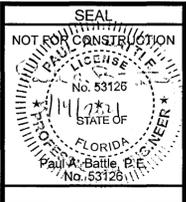
SILT FENCE DETAIL
N.T.S.

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ES 00009657 LE7916

**EROSION CONTROL
DETAILS**

BOSARGE WAREHOUSE
3900 NAVY BLVD 32507
ESCAMBIA COUNTY, FLORIDA

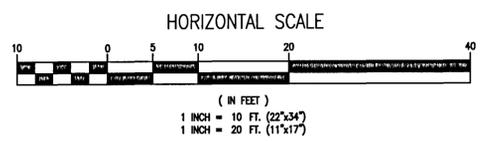
No.	DATE	REVISION



Dr. By: KAE
Ck By: PAB
Job No.: 2020.147
Date: 4/30/2021

DRAWING No.
C1.1
SHEET 3 OF 10

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LEGEND	
	EXISTING ASPHALT
	EXISTING CONCRETE
	EXISTING GRAVEL
	EXISTING DIRT
	PROPOSED ASPHALT
	PROPOSED CONCRETE

- GENERAL NOTES:**
1. ALL PAVEMENT MARKINGS AND STRIPING SHALL BE THERMOPLASTIC AND INSTALLED PER LATEST STANDARD PLANS FOR ROAD CONSTRUCTION.
 2. ALL CONSTRUCTION IN RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH LATEST FDOT STANDARD PLANS FOR ROAD CONSTRUCTION.
 3. ALL DISTURBED AREAS IN THE RIGHT-OF-WAY SHALL BE REGRADED AND SODDED AND/OR SEED AND MULCHED PER LATEST STANDARD PLANS FOR ROAD CONSTRUCTION.
 4. ALL NEEDED STRIPING DESTROYED DURING CONSTRUCTION SHALL BE RE-STRIPED ACCORDING TO LATEST STANDARD PLANS FOR ROAD CONSTRUCTION.
 5. ALL LANES MUST BE OPEN FOR TRAFFIC DURING AN EVACUATION NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT AS DIRECTED BY THE LOCAL MAINTENANCE ENGINEER OR HIS DESIGNEE.
 6. ALL SIGNS SHALL BE INSTALLED PER LATEST STANDARD PLANS FOR ROAD CONSTRUCTION, WIND ZONE No.1.
 7. THE DEPARTMENT WILL REVIEW ALL LANE, DETOUR AND LAND SHIFT REQUESTS SEPARATELY FROM THE PERMIT PROCESS. FDOT APPROVAL IS REQUIRED BEFORE COMMENCEMENT OF WORK INVOLVING THE CLOSURE, DETOUR, OR LANE SHIFT FOR WORK ALONG THE STATE HIGHWAY SYSTEM. IF A LANE CLOSURE IS NEEDED, SUBMIT A WRITTEN REQUEST WITH PROPOSED DATES/TIMES/MOT PLAN. ALLOW AT LEAST 2 WEEKS IN YOUR SCHEDULING FOR THIS SPECIAL REVIEW.
 8. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED, AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
 9. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850)595-3472. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
 10. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHTS-OF-WAY.

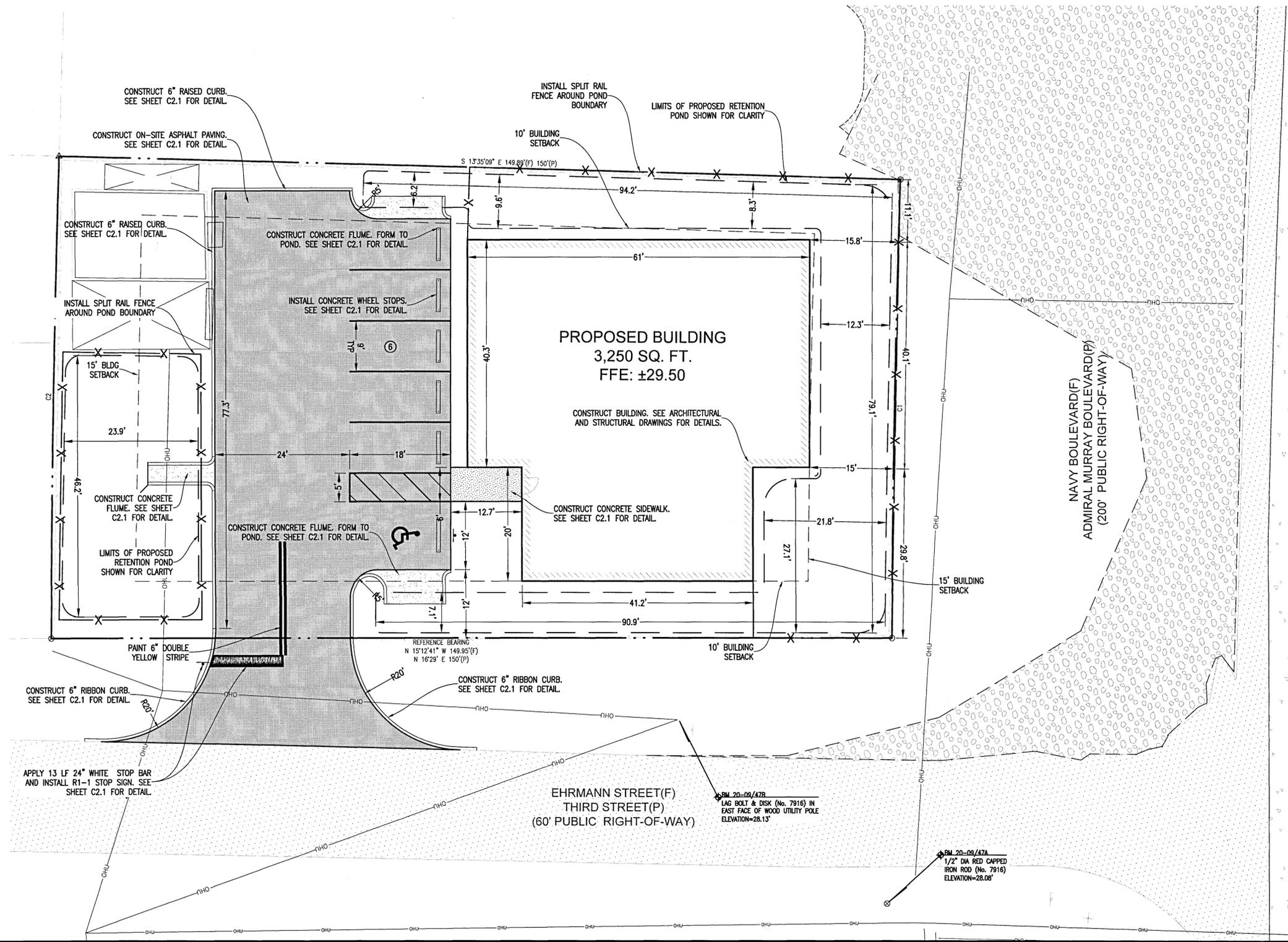
PROJECT NOTE:
 TRASH PICK-UP WILL BE PROVIDED BY RESIDENTIAL TRASH CANS.

PARKING CALCULATIONS:
 TOTAL REQUIRED PARKING SPACES
 WAREHOUSE (0.5 SPACES / 1,000 SF)
 3,250 SF * 0.5/1000 = 2 SPACES

TOTAL PARKING SPACES REQUIRED = 2
 TOTAL PARKING SPACES PROVIDED = 6
 STANDARD PARKING SPACES = 5
 H.C. PARKING SPACES = 1

AREA CALCULATIONS:
EXISTING CONDITIONS:
 TOTAL EXISTING IMPERVIOUS AREA = 706 SF (6%)
 TOTAL EXISTING PERVIOUS AREA = 11,748 SF (94%)
 TOTAL SITE AREA = 12,454 SF

PROPOSED CONDITIONS:
 TOTAL PROPOSED IMPERVIOUS AREA = 6,388 SF (51%)
 TOTAL PROPOSED PERVIOUS AREA = 6,066 SF (49%)
 TOTAL SITE AREA = 12,454 SF

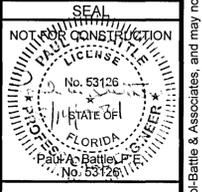


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 EB 00009857

SITE LAYOUT & DIMENSION PLAN

BOSARGE WAREHOUSE
 3900 NAVY BLVD 32507
 ESCAMBIA COUNTY, FLORIDA

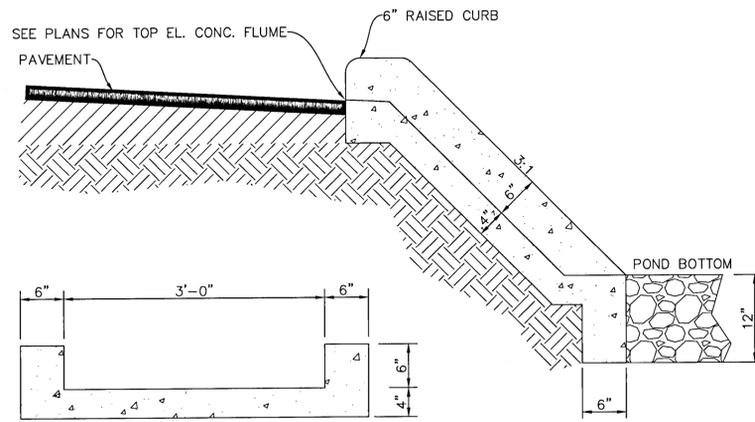
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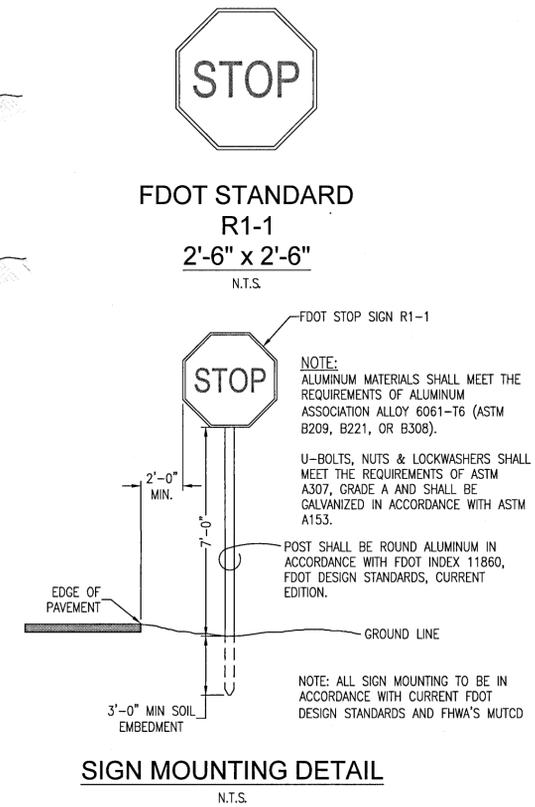
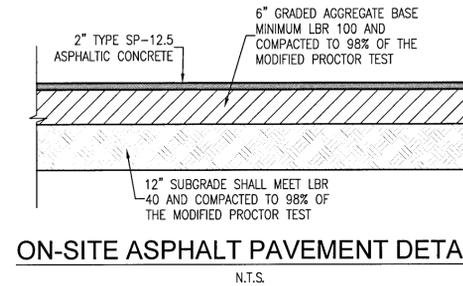
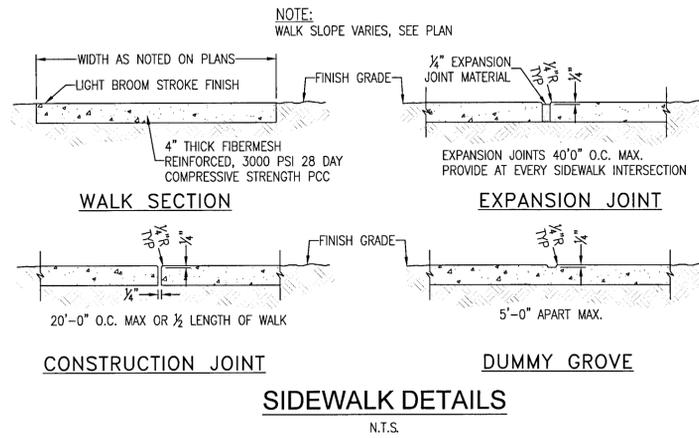
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DRAWING No.
C2.0
 SHEET 4 OF 10

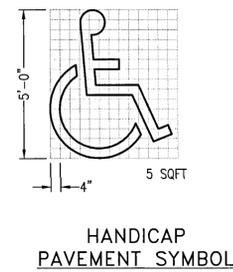
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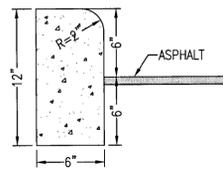
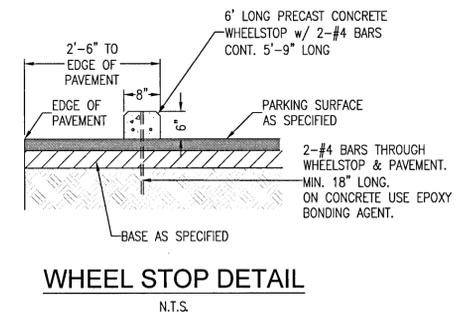
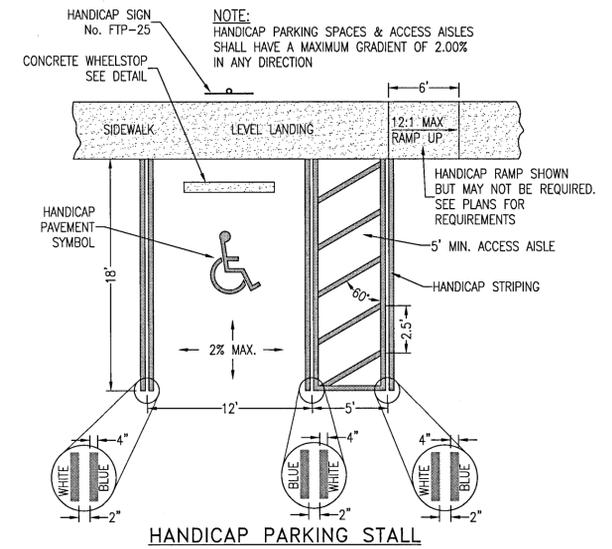
TYPICAL SECTIONS THROUGH CONC. FLUME
N.T.S.



- NOTES:
1. TOP PORTION OF FTP 25 SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER.
2. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
3. FTP 25 MAY BE FABRICATED ON ONE PANEL OR TWO.
4. SIGNS ARE TO BE MOUNTED AT STANDARD HEIGHT, (7' FROM PAVEMENT TO BOTTOM OF SIGN).
5. SIGN COLUMN TO BE AS PER F.D.O.T. STANDARD PLAN, INDEX 700-010.
SIGN USED AS PER FLORIDA STATUTES
FTP 25 Per FS 316.1955, FS 316.1956

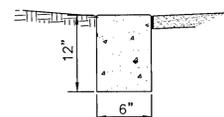


HANDICAP PARKING STALL DETAILS
N.T.S.



- NOTES:
1. ALL CURB TO HAVE DUMMY JOINT AT 10' ON CENTER. MIN. DEPTH OF JOINT TO BE 2".
2. EXPANSION JOINTS ARE TO BE 30' ON CENTER. TYPICAL FOR ALL CURB.

6" RAISED CURB
N.T.S.



6" RIBBON CURB
N.T.S.

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Civil Engineers and Surveyors
2809 N. North Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0448
EB 00009657 LB7916

SITE
CONSTRUCTION
DETAILS

BOSARGE WAREHOUSE
3900 NAVY BLVD 32507
ESCAMBIA COUNTY, FLORIDA

REVISION	DATE	NO.

SEAL
NOT FOR CONSTRUCTION
PAUL A. BATTLE
LICENSE
No. 53128
STATE OF FLORIDA
Paul A. Battle, P.E.
No. 53128

Dr. By: KAE
Ck By: PAB
Job No.: 2020.147
Date: 4/30/2021

DRAWING No.
C2.1
SHEET 5 OF 10

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LEGEND

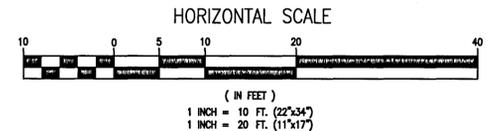
	EXISTING ASPHALT
	EXISTING CONCRETE
	EXISTING GRAVEL
	EXISTING DIRT
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	WATER
	RIPRAP
	EXISTING CONTOUR
	PROPOSED CONTOUR
	BENCHMARK
	FLOW ARROW
	100.00 (BACK OF CURB)
	99.50 (EDGE OF PAVEMENT)
	100.00 PROPOSED SPOT ELEVATION

GENERAL NOTES:

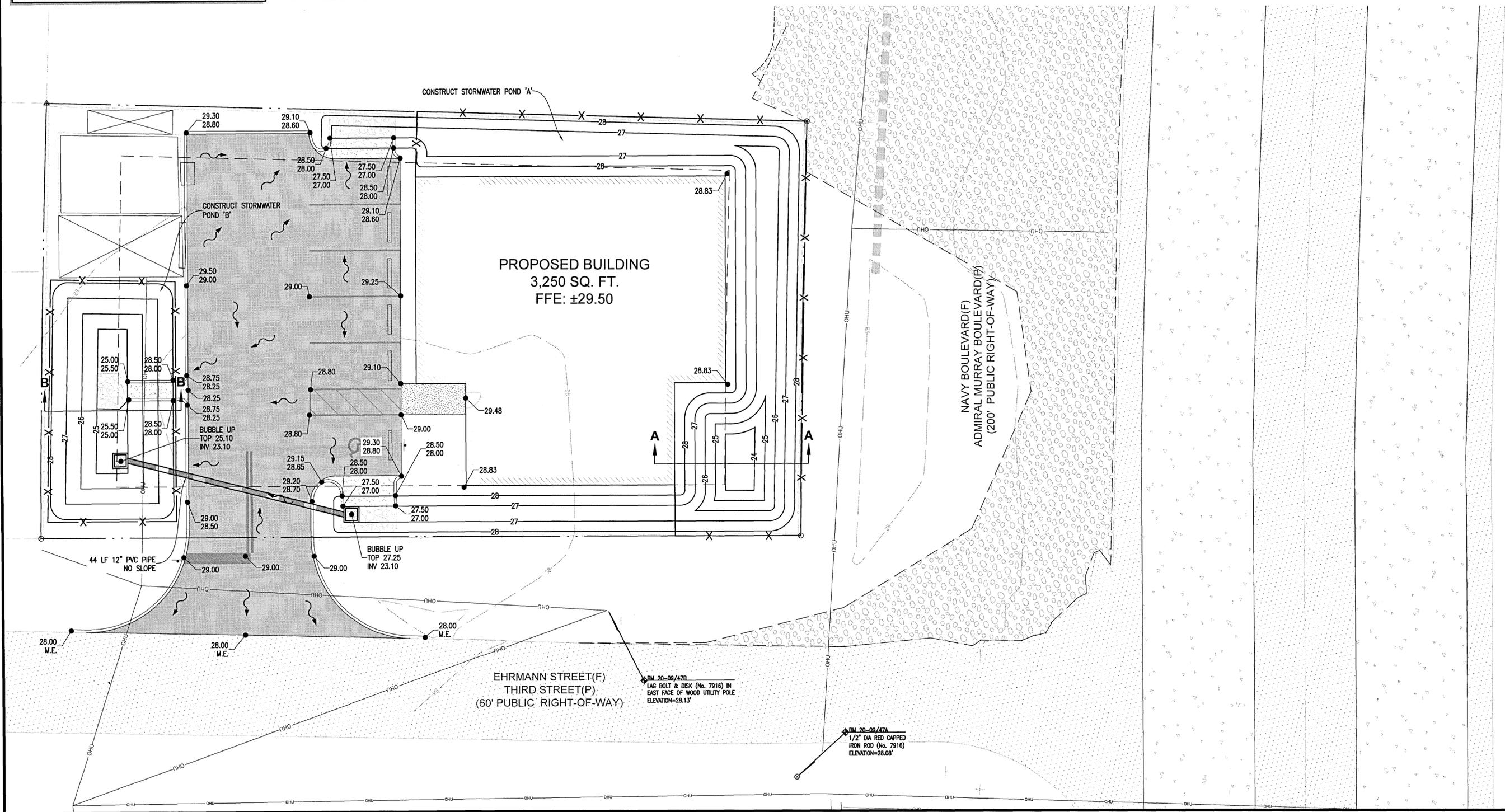
1. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION.
2. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. THE RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING A FINAL INSPECTION.
3. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
4. ALL DISTURBED AREAS NOT SHOWN TO BE SODED OR PAVED SHALL BE SEEDED, MULCHED AND FERTILIZED.
5. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.
6. ALL RIP-RAP FLUMES SHALL BE INSTALLED WITH FILTER FABRIC INSTALLED UNDERNEATH FOR THE ENTIRE AREA OF THE RIP-RAP.
7. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.

8. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL INSTALL, PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION, ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION(S).
10. ALL RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
11. NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RIGHT-OF-WAY. (1-800-432-4770)
12. THE OPERATION AND MAINTENANCE OF THE FACILITY WILL BE THE RESPONSIBILITY OF THE OWNER, AS IN ACCORDANCE WITH THE APPROVED PERMIT.
13. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.

14. THE LAND SHALL REMAIN VEGETATED (TREES INCLUDED, NO FILL MATERIALS PLACED ONSITE, GRADING, EXCAVATING, ETC.) UNTIL SUCH TIME AS SITE PLAN APPROVAL AND PROPER PERMITTING ALLOWS FOR SUCH, PER CODE.
15. ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, OR ANY OTHER "LAND DISTURBING ACTIVITIES" SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION.



TREE PROTECTION NOTE:
 THERE ARE NO PROTECTION TREES ON SITE.

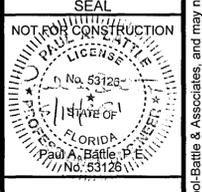


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GRADING & DRAINAGE PLAN

BOSARGE WAREHOUSE
 3900 NAVY BLVD 32507
 ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION

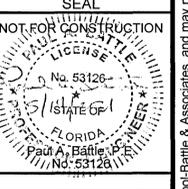


Dr. By: KAE
 Ck By: PAB
 Job No.: 2020.147
 Date: 4/30/2021

DRAWING No.
C3.0
 SHEET 6 OF 10

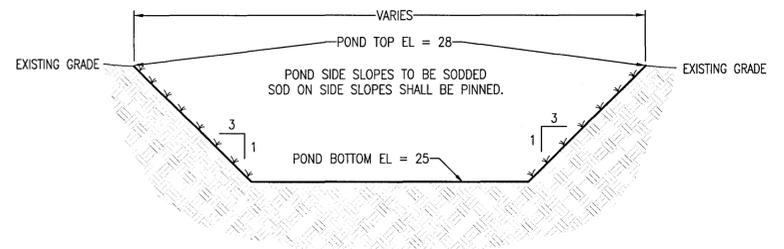
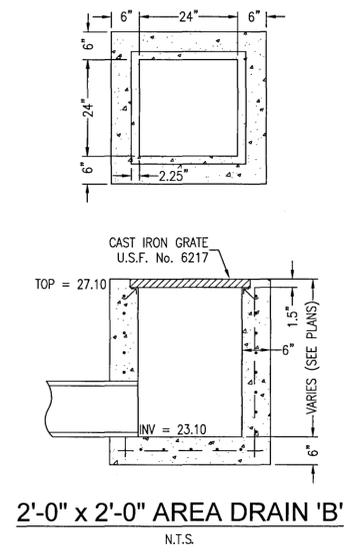
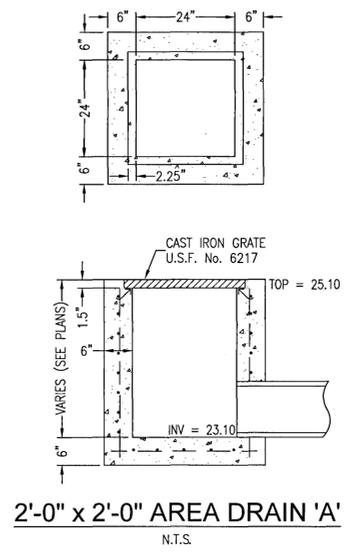
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No.	DATE	REVISION

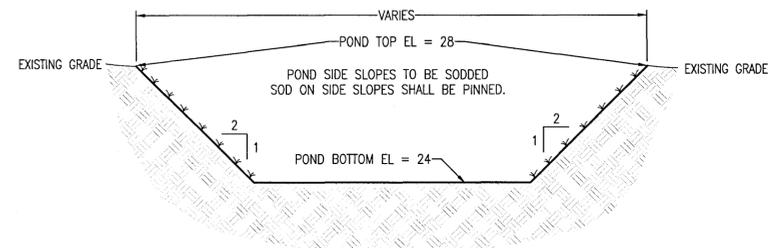


Dr. By: KAE
 Ck By: PAB
 Job No.: 2020.147
 Date: 4/30/2021

DRAWING No.
C3.1
 SHEET 7 OF 10



NOTE:
 THE ENTIRE BANK SLOPE SHALL BE SODDED IN A MANNER TO GUARANTEE HEALTHY GRASS GROWTH (FREE FROM NOXIOUS WEEDS) SUCH AS ST. AUGUSTINE, CENTIPEDE OR OTHER SUITABLE GRASS.

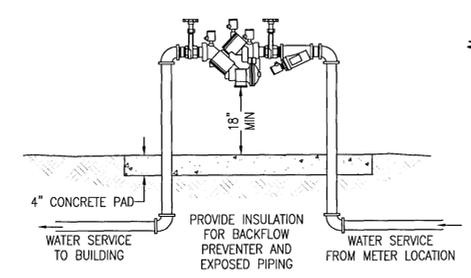


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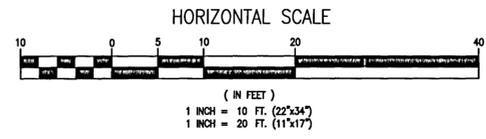
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- UTILITY NOTES:**
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES AND TO DETERMINE IF OTHER UTILITIES WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK AND TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION.
 - THE CONTRACTOR SHALL COORDINATE WITH ECUA, GULF POWER, OR ANY OTHER UTILITY COMPANIES HAVING JURISDICTION FOR REMOVAL/RELOCATION AND/OR PROTECTION OF EXISTING UTILITY POLES, AERIAL LINES, FIRE HYDRANTS, AND OTHER UTILITIES AS NECESSARY TO COMPLETE CONSTRUCTION.
 - ALL NEW WATER LINES SHALL BE CLEANED, DISINFECTED, PRESSURE TESTED, AND BACTERIOLOGICALLY CLEANED FOR SERVICE IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION RULES AND REGULATIONS.
 - ALL WATER MAINS SHALL BE NSF APPROVED FOR POTABLE WATER USE.
 - MAINTAIN 18 INCH MINIMUM VERTICAL SEPARATION BETWEEN ALL POTABLE WATER MAINS AND SANITARY SEWER GRAVITY LINES. (WATER ABOVE SEWER).
 - THE TOP OF ALL CLEANOUTS SHALL BE FLUSH WITH THE PAVEMENT OR, WHEN NOT IN THE PAVEMENT, FLUSH WITH THE FINISH GRADE. CONNECTION POINTS FOR UTILITIES SHALL BE CLEARLY MARKED FOR FUTURE BUILDING CONNECTION. COORDINATE WITH THE PLUMBING CONTRACTOR.

- ALL WATER AND SEWER WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ECUA ENGINEERING MANUAL.
- ADEQUATE PROVISIONS SHALL BE MADE FOR THE FLOW OF SEWERS, DRAINS AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANIES 72 HOURS (3 BUSINESS DAYS) PRIOR TO BEGINNING CONSTRUCTION.
- ALL NEW WATER AND SEWER SERVICE LINES SHALL HAVE A MINIMUM COVER OF 30 INCHES (MAXIMUM 36"), UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS TO RESTORE ALL DISTURBED RIGHTS-OF-WAY IN ACCORDANCE WITH CITY OF PENSACOLA AND THE ECUA GUIDELINES.
- THE CONTRACTOR SHALL COORDINATE WITH THE PLUMBING CONTRACTOR FOR BUILDING UTILITY CONNECTIONS.
- ALL CONNECTIONS TO THE ECUA WATER AND SEWER SYSTEM SHALL BE MADE WITH ECUA PERSONNEL PRESENT.
- ANY REMOVAL OR RELOCATION OF ECUA WATER/SEWER UTILITIES MUST BE APPROVED IN WRITING PRIOR TO THE WORK BEING DONE.

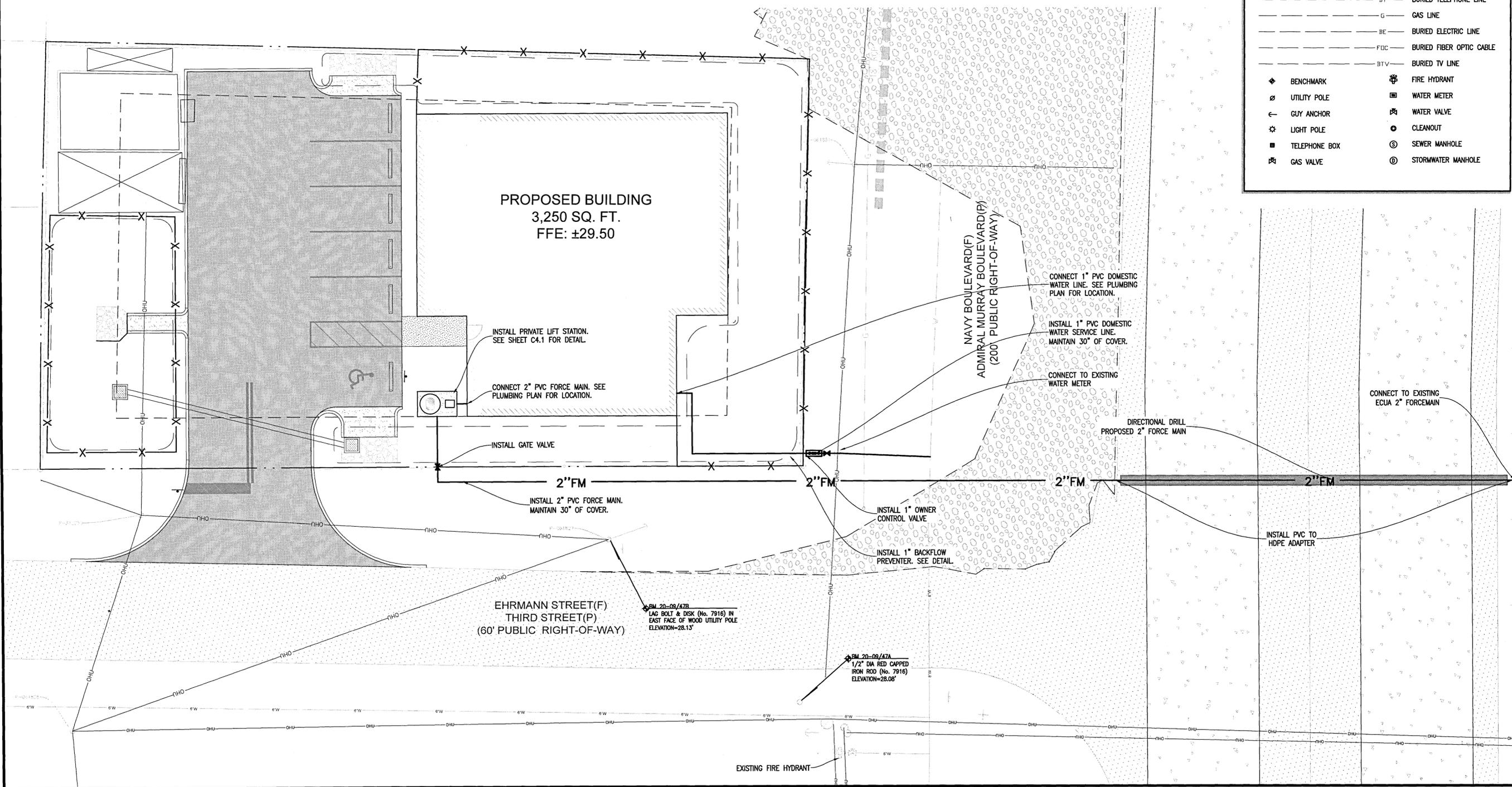


**ECUA APPROVED
REDUCED PRESSURE PRINCIPLE
BACKFLOW PREVENTION ASSEMBLY**
N.T.S.



LEGEND

[Symbol]	EXISTING ASPHALT
[Symbol]	EXISTING CONCRETE
[Symbol]	PROPOSED ASPHALT
[Symbol]	PROPOSED CONCRETE
[Symbol]	EXISTING CHAIN LINK FENCE
[Symbol]	EXISTING WOODEN FENCE
[Symbol]	BOUNDARY LINE
[Symbol]	EASEMENT LINE
[Symbol]	LOT LINE
[Symbol]	RIGHT-OF-WAY LINE
[Symbol]	WATER LINE
[Symbol]	SEWER LINE (GRAVITY)
[Symbol]	FORCE MAIN
[Symbol]	OVERHEAD UTILITIES
[Symbol]	BURIED TELEPHONE LINE
[Symbol]	GAS LINE
[Symbol]	BURIED ELECTRIC LINE
[Symbol]	BURIED FIBER OPTIC CABLE
[Symbol]	BURIED TV LINE
[Symbol]	BENCHMARK
[Symbol]	UTILITY POLE
[Symbol]	GUY ANCHOR
[Symbol]	LIGHT POLE
[Symbol]	TELEPHONE BOX
[Symbol]	GAS VALVE
[Symbol]	FIRE HYDRANT
[Symbol]	WATER METER
[Symbol]	WATER VALVE
[Symbol]	CLEANOUT
[Symbol]	SEWER MANHOLE
[Symbol]	STORMWATER MANHOLE



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UTILITY PLAN

BOSARGE WAREHOUSE
3900 NAVY BLVD 32507
ESCAMBIA COUNTY, FLORIDA

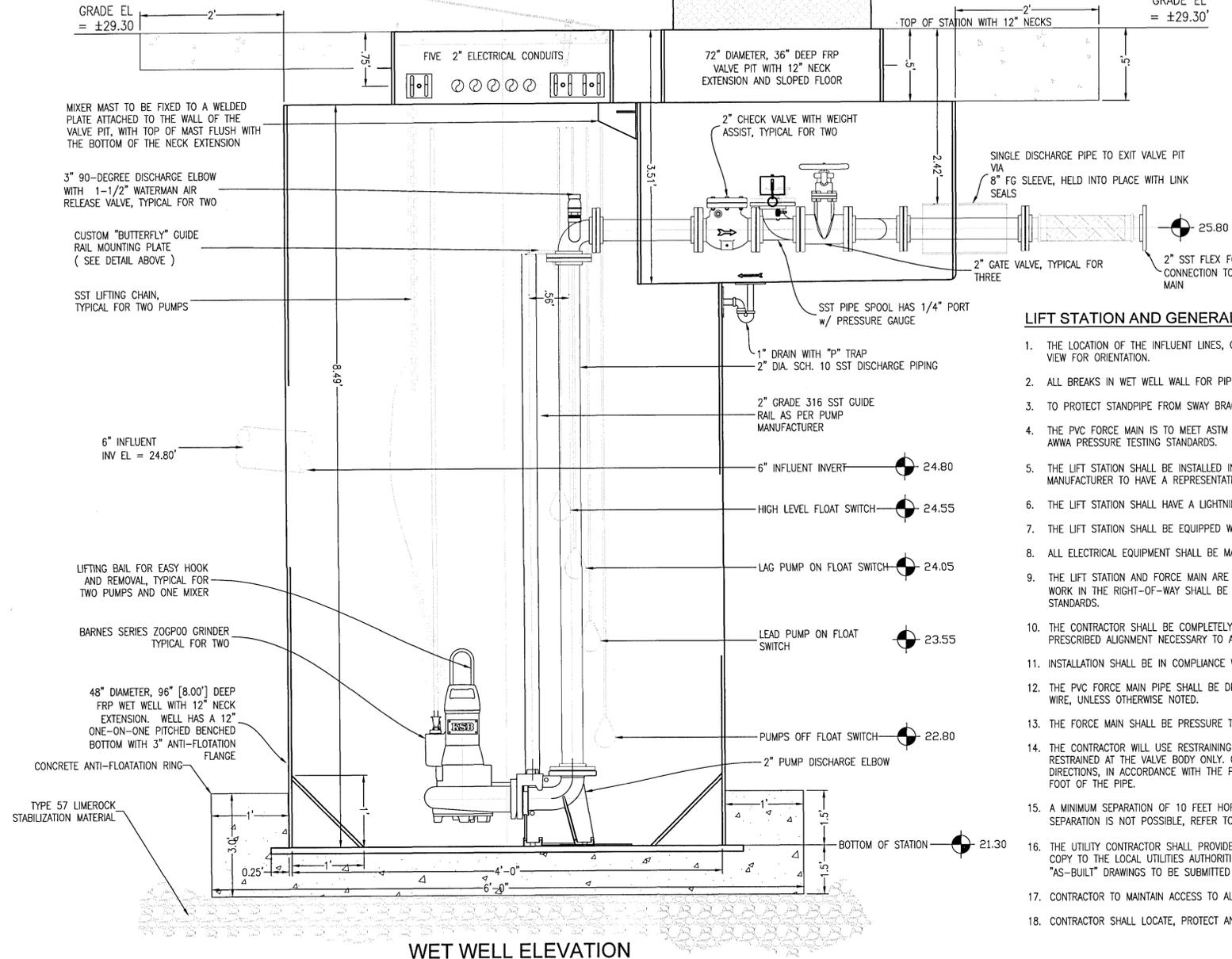
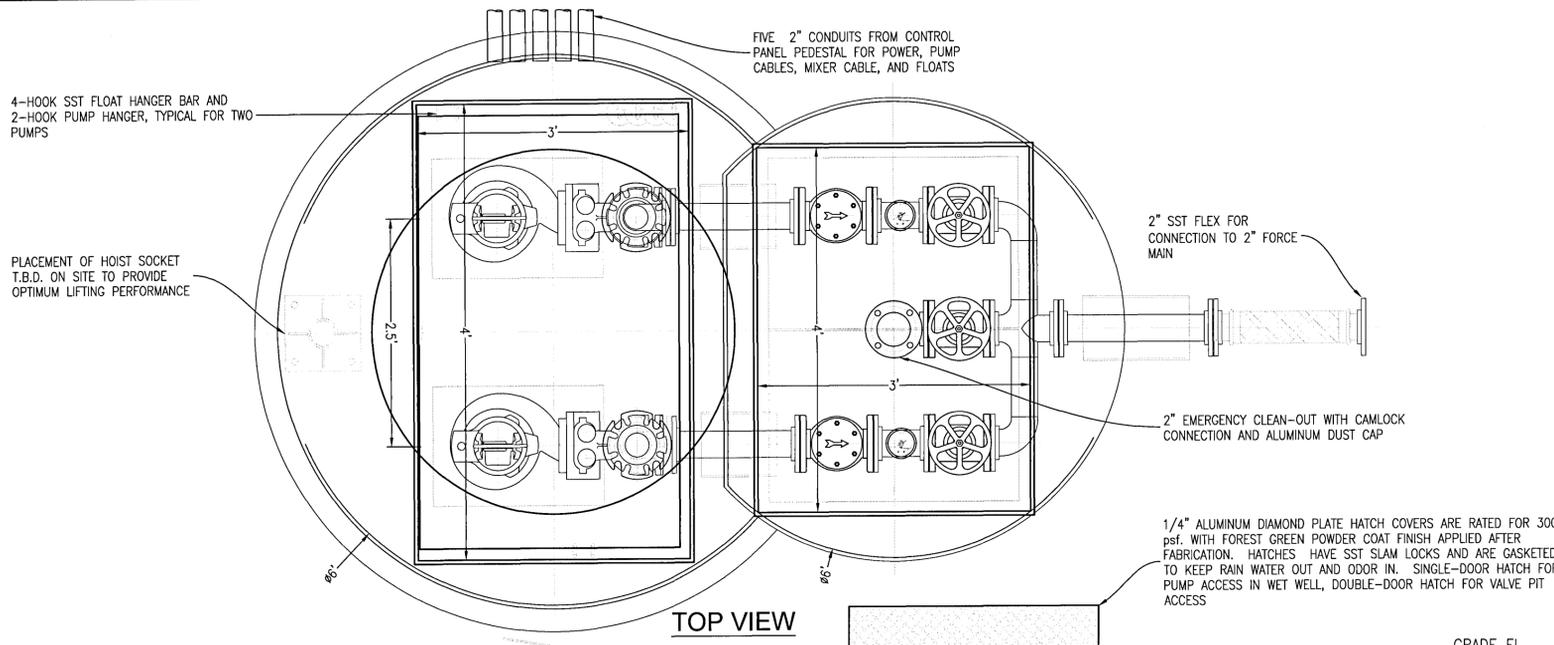
NO.	DATE	REVISION

SEAL
NOT FOR CONSTRUCTION
PUBLIC LICENSE
No. 53126
STATE OF FLORIDA
Professional Engineer
RBA

Dr. By: KAE
Ck By: PAB
Job No.: 2020.147
Date: 4/30/2021

DRAWING No.
C4.0
SHEET 8 OF 10

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NOTE: PUMP CONTROL PANEL MUST MEET DEP STANDARDS

NEMA 4X TYPE 304 STAINLESS STEEL DUPLEX PUMP CONTROL PANEL (36"H x 30"W x 10"D)

NEMA 4X TYPE 304 STAINLESS STEEL JUNCTION BOX (24"H x 30"W x 10"D)

ALUMINUM PEDESTAL HAS EXPANDED METAL DOOR FOR VENTILATION AND SST SLAM LOCK (DOOR SHOWN OPEN)

ALUMINUM PEDESTAL (18"H x 24"W x 10"D)

6" CONCRETE SLAB TO BE POURED AROUND THE ELECTRICAL CONDUITS

1" CONDUIT FOR THREE-WIRE SHIELDED CABLE TO FLOW METER

NOTES:

THE CONTROL PANEL SHALL BE MOUNTED ON A CONCRETE PAD LOCATED ADJACENT TO WET WELL, APPROX. 5 FT. FROM EDGE OF WET WELL.

THE CONTROL PANEL AND JUNCTION BOX SHALL BE CONSTRUCTED FROM TYPE 304 STAINLESS STEEL WITH FOREST GREEN POWDER-COAT FINISH APPLIED AFTER FABRICATION.

THE PEDESTAL SHALL BE CONSTRUCTED FROM ALUMINUM WITH FOREST GREEN POWDER-COAT FINISH APPLIED AFTER FABRICATION.

FIVE 2" CONDUITS TO WET WELL FOR POWER, PUMP CABLES, MIXER CABLE, AND FLOATS

CONTROL PANEL / JUNCTION BOX / PEDESTAL DETAIL

BUTTERFLY MOUNTING PLATE DETAIL

LIFT STATION AND GENERAL UTILITY NOTES:

1. THE LOCATION OF THE INFLUENT LINES, OVERFLOW CONTROL LINES, WATER SUPPLY, ETC. ARE DRAWN OUT OF ORIENTATION ON SECTIONAL VIEW. SEE PLAN VIEW FOR ORIENTATION.
2. ALL BREAKS IN WET WELL WALL FOR PIPING, ELECTRICAL, ETC. SHALL BE SEALED AND SLEEVED AS NOTED.
3. TO PROTECT STANDPIPE FROM SWAY BRACE, EITHER WRAP PIPE WITH RUBBER OR INSERT ALL U-BOLTS THROUGH RUBBER HOSE.
4. THE PVC FORCE MAIN IS TO MEET ASTM D-2241, SDR 26 BELL TYPE JOINTS WITH RING TYPE NEOPRENE GASKETS. THE FORCE MAIN IS TO BE TESTED TO AWWA PRESSURE TESTING STANDARDS.
5. THE LIFT STATION SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE MANUFACTURER TO HAVE A REPRESENTATIVE ONSITE DURING INSTALLATION.
6. THE LIFT STATION SHALL HAVE A LIGHTNING ARRESTER INSTALLED BETWEEN EACH INCOMING POWER PHASE AND GROUND.
7. THE LIFT STATION SHALL BE EQUIPPED WITH A RISER, GATE VALVE, QUICK-COUPLING AND CAP FOR STANDBY PUMPING CAPABILITIES.
8. ALL ELECTRICAL EQUIPMENT SHALL BE MANUFACTURED AND INSTALLED IN ACCORDANCE WITH NEMA REQUIREMENTS AND LOCAL LAWS.
9. THE LIFT STATION AND FORCE MAIN ARE TO BE INSTALLED IN ACCORDANCE WITH ALL LOCAL AND STATE PLUMBING CODES BY A LICENSED PLUMBER. ALL WORK IN THE RIGHT-OF-WAY SHALL BE PERFORMED BY A LICENSED UTILITY CONTRACTOR AND SHALL BE INSTALLED TO THE LOCAL UTILITY AUTHORITY'S STANDARDS.
10. THE CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR THE LAYOUT OF THE LIFT STATION, GRAVITY SEWER, AND FORCE MAIN. ANY DEVIATION FROM THE PRESCRIBED ALIGNMENT NECESSARY TO AVOID CONFLICTS SHALL NOT BE PERMITTED WITHOUT WRITTEN PERMISSION FROM THE ENGINEER OF RECORD.
11. INSTALLATION SHALL BE IN COMPLIANCE WITH THE LATEST EDITION OF THE STATE PLUMBING CODE.
12. THE PVC FORCE MAIN PIPE SHALL BE DR25 PER AWWA C900 OR SDR26 PER ASTM D2241 AND COLORED GREEN WITH 12 GAUGE GREEN INSULATED TRACER WIRE, UNLESS OTHERWISE NOTED.
13. THE FORCE MAIN SHALL BE PRESSURE TESTED TO 100 PSI PRIOR TO CONNECTING TO EXISTING SYSTEM.
14. THE CONTRACTOR WILL USE RESTRAINING DEVICES AT ALL MECHANICAL JOINTS INCLUDING FITTINGS, VALVES OR DEAD ENDS. IN-LINE VALVES SHALL BE RESTRAINED AT THE VALVE BODY ONLY. OTHER FITTINGS OR DEAD ENDS SHALL RECEIVE ADDITIONAL RESTRAINT AT ADJACENT PIPE JOINTS, IN BOTH DIRECTIONS, IN ACCORDANCE WITH THE PIPE JOINT RESTRAINT TABULATION IN THE PLANS. ALL RESTRAINT COST WILL BE INCLUDED IN THE UNIT PRICE PER FOOT OF THE PIPE.
15. A MINIMUM SEPARATION OF 10 FEET HORIZONTALLY OR 18 INCHES VERTICALLY MUST BE MAINTAINED BETWEEN WATER AND SEWER LINES. IF THIS SEPARATION IS NOT POSSIBLE, REFER TO THE SEPARATION/CONFLICT DETAIL.
16. THE UTILITY CONTRACTOR SHALL PROVIDE "AS-BUILT" DRAWINGS OF THE SAME SCALE AS THESE CONTRACT DRAWINGS, ONE COPY TO THE ENGINEER AND ONE COPY TO THE LOCAL UTILITIES AUTHORITIES. THESE DRAWINGS SHALL LOCATE ALL SEWER APPURTENANCES CONSTRUCTED AS PART OF THIS PROJECT. FINAL "AS-BUILT" DRAWINGS TO BE SUBMITTED TO THE ENGINEER WITHIN 30 DAYS AFTER SUBSTANTIAL COMPLETION OF WORK.
17. CONTRACTOR TO MAINTAIN ACCESS TO ALL PROPERTIES WITHIN THE PROJECT AREA AT ALL TIMES.
18. CONTRACTOR SHALL LOCATE, PROTECT AND SUPPORT ALL UTILITIES AND SERVICE LATERALS.

PUMP DESIGN DATA

MANUFACTURER	BARNES
TYPE PUMP	GRINDER
MODEL NUMBER	ZOGP
CAPACITY (GPM-THD)	28 GPM @32.2'
IMPELLER SIZE AND NUMBER	N/A
DISCHARGE PIPE SIZE	1.25"
HP.-RATED RPM	2 HP / 3450 RPM
VOLT/PHASE	230 / 1 OR 3 (OWNER CHOICE)

WETWELL DATA

MANUFACTURER	AK INDUSTRIES
WET WELL DIAMETER	48"
WET WELL DEPTH	8.00'
INFLUENT DIA-EL	6"/24.80
FORCE MAIN DIAMETER-EL	2"/25.80
BOTTOM OF STATION EL	21.30
PUMPS OFF EL	22.80
LEAD PUMP ON EL	23.55
LAG PUMP ON EL	24.05
HIGH WATER ALARM EL	24.55
GROUND EL	28.80
TOP EL (WETWELL)	29.30

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UTILITY PLAN

BOSARGE WAREHOUSE
 3900 NAVY BLVD 32507
 ESCAMBIA COUNTY, FLORIDA

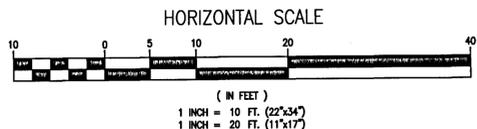
REVISION	DATE
No.	

NOT FOR CONSTRUCTION
 No. 53126
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 Paul A. Battle, P.E.
 No. 53126

Dr. By: KAE
 Ck By: PAB
 Job No.: 2020.147
 Date: 4/30/2021

DRAWING No.
C4.1
 SHEET 9 OF 10

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LEGEND

[Pattern]	EXISTING ASPHALT
[Pattern]	EXISTING CONCRETE
[Pattern]	EXISTING GRAVEL
[Pattern]	EXISTING DIRT
[Pattern]	PROPOSED ASPHALT
[Pattern]	PROPOSED CONCRETE
[Pattern]	WATER
[Pattern]	RIPRAP
[Pattern]	SOD OR SEED AND MULCH

DENOTES PROPOSED CANOPY TREE
 LIVE OAK
 (MIN. 2.5" AT BREAST HEIGHT)
 (MATURE HEIGHT > 30 FEET)
 DENOTES PROPOSED UNDERSTORY TREE
 FRINGE TREE
 (MIN. 2.5" AT BREAST HEIGHT)
 (MATURE HEIGHT < 30 FEET)
 DENOTES PROPOSED UNDERSTORY TREE
 RED BUD
 (2.5" AT BREAST HEIGHT)
 (MATURE HEIGHT < 30 FEET)
 DENOTES PROPOSED SHRUB
 HAWTHORN
 (MIN. 12" HEIGHT AT TIME OF PLANTING)

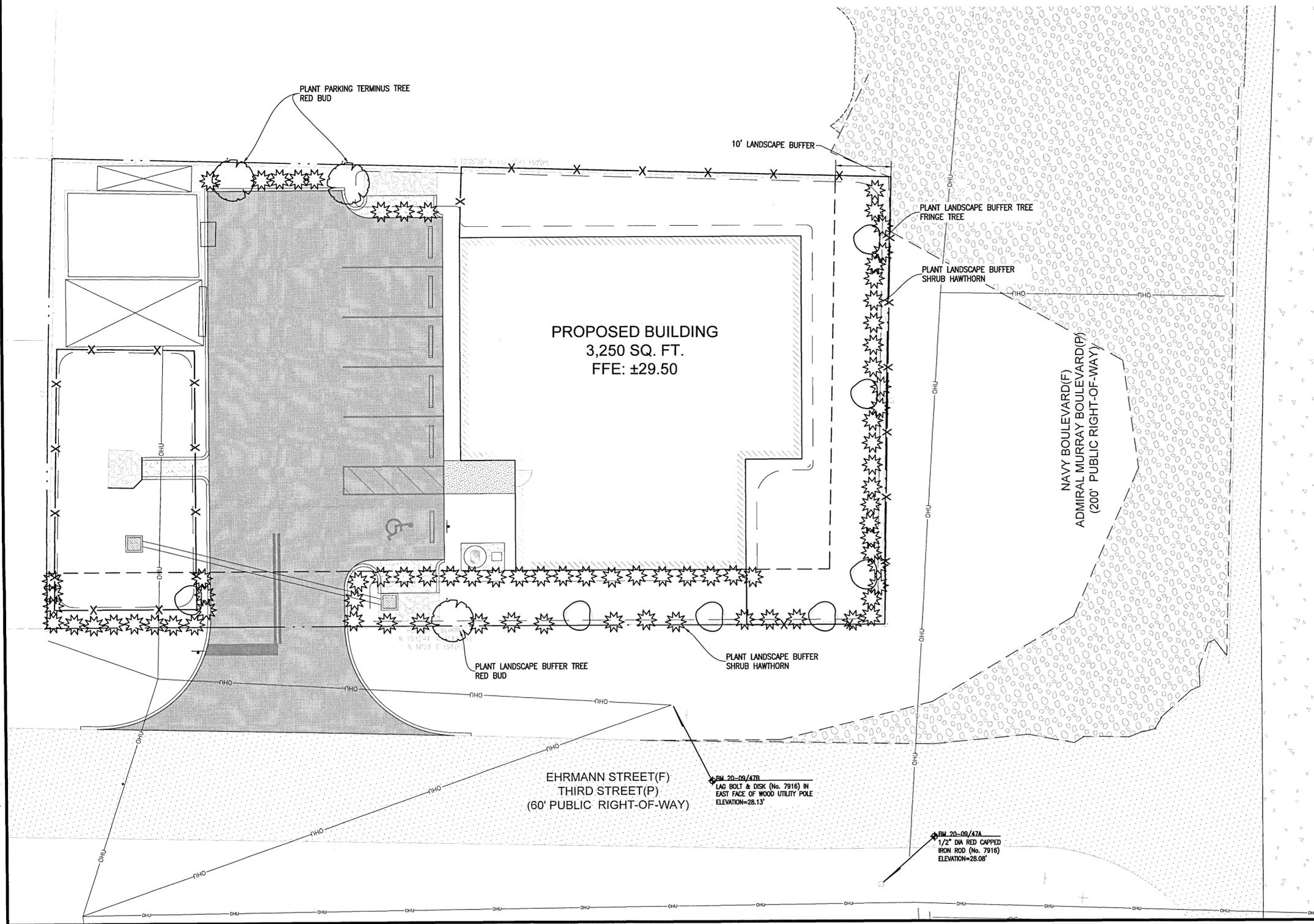
- LANDSCAPING NOTES**
- PER THE ESCAMBIA COUNTY LAND DEVELOPMENT CODE, SITES THAT EXIST WITHIN THE WARRINGTON OVERLAY AND ARE ZONED HC/LI ARE REQUIRED TO HAVE A 10-FOOT LANDSCAPE BUFFER ALONG ALL ROAD FRONTAGES.
 - AN IRRIGATION SYSTEM SHALL BE INSTALLED FOR ALL LANDSCAPED AREAS OF THE SITE. ALL SYSTEMS SHALL INCLUDE RAIN SENSORS AND ALL SYSTEM MATERIALS USED SHALL BE ASTM APPROVED.
 - ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED & MULCH AND/OR SOD.
 - MAXIMUM OF ANY ONE SPECIES IS 67%.
 - ALL TREES SHALL BE OF THE APPROVED SPECIES FOUND IN THE NATIVE, COMPATIBLE, FL GRADE 1 OR BETTER AND HAVE A MINIMUM SIZE OF 2.5 CALIPER INCHES AT THE TIME OF PLANTING.
 - THE LAND SHALL REMAIN VEGETATED (TREES INCLUDED, NO FILL MATERIALS PLACED ON SITE, GRADING, EXCAVATING, ETC.) UNTIL SUCH TIME AS SITE PLAN APPROVAL & PROPER PERMITTING ALLOWS FOR SUCH, PER CODE.
 - ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, OR ANY OTHER "LAND DISTURBING ACTIVITIES" SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION.

LANDSCAPING BUFFER CALCULATIONS

1 TREE & 10 SHRUBS PER 35 LF OF FRONTAGE

NAVY BOULEVARD
FRONTAGE: 81 LF
REQUIRED: 3 TREES, 24 SHRUBS
PROVIDED: 3 TREES, 24 SHRUBS

EHRMANN STREET
FRONTAGE: 150 LF
REQUIRED: 5 TREES, 43 SHRUBS
PROVIDED: 5 TREES, 43 SHRUBS



NO.	DATE	REVISION

SEAL

NOT FOR CONSTRUCTION

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 Ck By: PAB
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