

A PRELIMINARY PLAT OF BRIDLEWOOD 2ND ADDITION A 69 LOT SUBDIVISION

LYING IN SECTION 16, TOWNSHIP 1 SOUTH, RANGE 31 WEST,
ESCAMBIA COUNTY, FLORIDA
AND BEING A RESUBDIVISION OF ALL OF PARCELS C-4, C-8 AND D-4
AND A PORTION OF C-3, C-5, C-6 AND D-5
OF BRIDLEWOOD AS RECORDED
IN PLAT BOOK 19, PAGES 21, 21A - 21H OF THE PUBLIC RECORDS
OF ESCAMBIA COUNTY, FLORIDA
June 16, 2021

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SITE INFORMATION

PROPERTY REFERENCE NO'S:	16-15-31-2000-510-005
PROPERTY ADDRESS:	STEEPLECHASE BOULEVARD
TOTAL SITE AREA:	82.87 ACRES
TOTAL UPLAND AREA:	30.01 ACRES
ACREAGE & DENSITY:	TOTAL NUMBER OF LOTS = 69 0.83 LOTS/ACRE
ZONING DISTRICT:	LDR
FUTURE LAND USE:	MU-S
PROPOSED MINIMUM LOT WIDTH:	60.0'
BUILDING SETBACK REQUIREMENTS:	FRONT: 25 FEET REAR: 25 FEET SIDE: 10% OF LOT WIDTH OR 5 FEET MIN. (15' MAX)

UTILITY SERVICE NOTES:

POTABLE WATER/ FIRE PROTECTION:
ALL LOTS WILL BE SERVICED BY 6" POTABLE WATER MAIN. THE POINT OF CONNECTION WILL BE THE EXISTING 10" WATER MAIN ON THE SIDE OF PADDOCK WAY. ALL POTABLE WATER/ FIRE PROTECTION IMPROVEMENTS WILL BE OWNED AND MAINTAINED EQUA.

SANITARY SEWER:
THE DEVELOPMENT WILL BE SERVICED BY A LOW PRESSURE FORCE MAIN SYSTEM. EACH HOME WILL HAVE ITS OWN GRINDER PUMP. ALL SEWER WILL BE CONVEYED TO A GRAVITY SYSTEM ON PADDOCK WAY. THE FORCE MAIN WILL BE OWNED AND MAINTAINED BY EQUA. THE PUMPS AND LATERALS WILL BE PRIVATE AND OWNED BY EACH HOME OWNER.

STORM SEWER:
AFTER RECEIVING ALL NFWFMD/FDEP AND ESCAMBIA COUNTY APPROVALS, THE DEVELOPER WILL INSTALL A STORMWATER SYSTEM COMPRISED OF GRASSED SWALES, INLETS, PIPING, AND STORMWATER PONDS. OUTFALL FROM THE PONDS WILL DISCHARGE TO THE SURROUNDING WETLAND AREAS. THE WETLANDS AREAS REACH AN EVENTUAL OUTFALL IN THE ELEVEN MILE CREEK. ALL STORMWATER IMPROVEMENTS WILL BE OWNED AND MAINTAINED BY ESCAMBIA COUNTY.

ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION:
THESE SERVICES WILL BE INSTALLED AND MAINTAINED BY THE ASSOCIATED UTILITY COMPANY.

SITE ENVIRONMENTAL INFORMATION	
OVERALL SITE AREA	82.87 ACRES
ACOE/NFWFMD/ESCAMBIA COUNTY JURISDICTIONAL WETLANDS	52.86 ACRES
WETLAND BUFFER	3.07 ACRES
WETLAND IMPACT	0.18 ACRES
WETLAND BUFFER IMPACT	0.37 ACRES
CONSERVATION EASEMENTS	29.58 ACRES

EXISTING ACOE DREDGE & FILL PERMIT No. SAJ-2016-02935 (SP-HMM) HAS BEEN OBTAINED FOR THIS PROJECT

UTILITY SERVICE PROVIDERS:

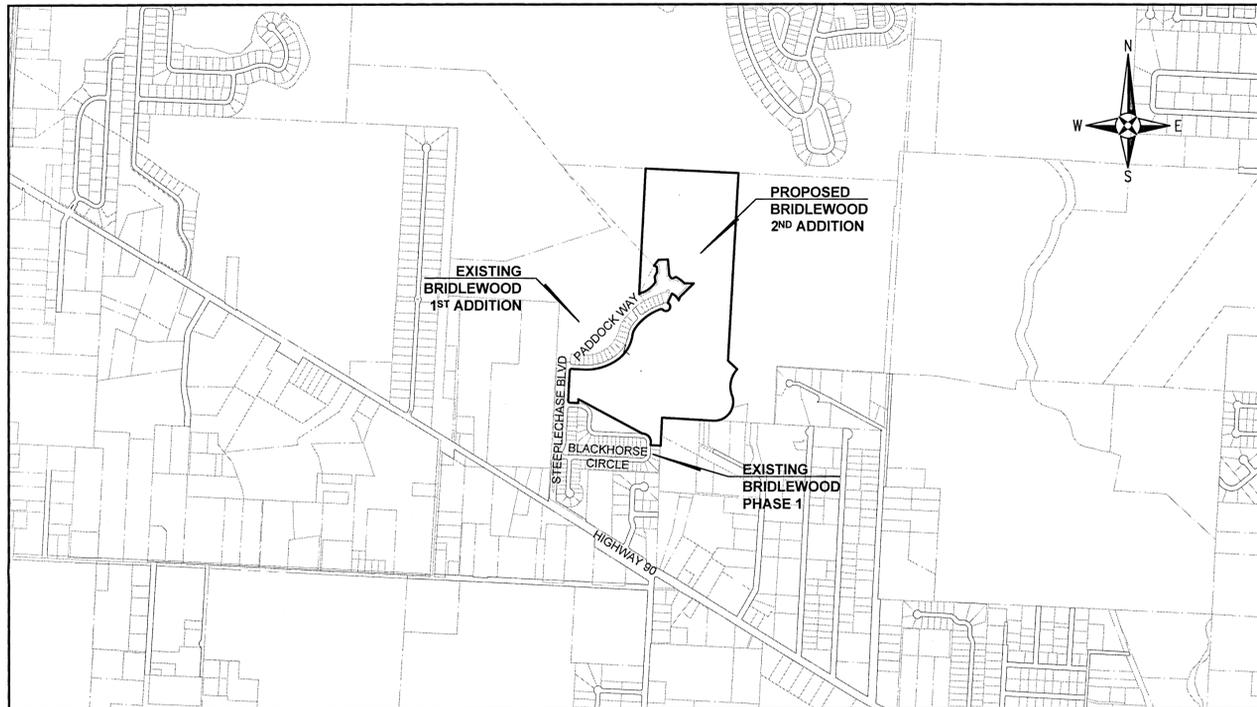
AT&T, INC. 605 W. GARDEN ST. PENSACOLA, FL 32501	PENSACOLA ENERGY 1625 ATWOOD DRIVE PENSACOLA, FLORIDA 32504
GLF POWER ONE ENERGY PLACE PENSACOLA, FL 32520-0047	EQUA ENGINEERING DEPARTMENT 9300 STURDEVANT STREET PENSACOLA, FL 32514-0311

FLOOD ZONE:

THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE AE, BASE FLOOD ELEVATION 37-43 (AREAS SUBJECT TO INUNDATION BY THE 1-PERCENT-ANNUAL-CHANCE FLOOD EVENT DETERMINED BY DETAILED METHODS. BFES ARE SHOWN WITHIN THESE ZONES), AND FLOOD ZONE X, AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBER 12033C02906, MAP REVISION DATED SEPTEMBER 29, 2006.

GENERAL NOTES

- NORTH AND THE SURVEY DATUM SHOWN HEREON IS BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM (FLORIDA NORTH ZONE), NORTH AMERICAN DATUM OF 1983 (NAD83)-(2011)-(EPOCH 2010.0000) HAVING A BEARING OF SOUTH 87°10'23" EAST ALONG THE NORTH LINE OF BRIDLEWOOD (PLAT BOOK 19, PAGES 21-21H), AND WERE DERIVED UTILIZING A GLOBAL POSITIONING SYSTEM (GPS) TOPCON HIPER II GEODETIC DUAL FREQUENCY RECEIVER. THE RECEIVER WAS UTILIZED IN A REAL-TIME KINEMATIC (RTK) MODE UTILIZING THE FLORIDA DEPARTMENT OF TRANSPORTATION FLORIDA PERMANENT REFERENCE NETWORK (FPRN), FLORIDA'S GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) REFERENCE STATION NETWORK; RECORDED PLAT OF BRIDLEWOOD (PLAT BOOK 19, PAGES 21-21H), DEEDS OF RECORD AND EXISTING FIELD MONUMENTATION.
- ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88, ELLIPSOID GRS1980) AND WERE DERIVED UTILIZING A GLOBAL POSITIONING SYSTEM (GPS) TOPCON HIPER I GEODETIC DUAL FREQUENCY RECEIVER. THE RECEIVER WAS USED IN A REAL-TIME KINEMATIC (RTK) MODE UTILIZING THE FLORIDA DEPARTMENT OF TRANSPORTATION FLORIDA PERMANENT REFERENCE NETWORK (FPRN), FLORIDA'S GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) REFERENCE STATION NETWORK.
- THE CONTOURS AS SHOWN HEREON WERE TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED FOR THIS FIRM BY SETTIMIO CONSULTING SERVICES INC. (LB 7982 & LS 6619), DATED MARCH 12, 2018, AND ARE RECREATED HEREON. THE ELEVATIONS WERE OBTAINED USING LIDAR METHODOLOGY AND REFERENCED TO NAVD88 USING MULTIPLE AERIAL CONTROL TARGETS SET BY THIS FIRM.
- MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS AND ARE EXPRESSED IN DECIMAL OF FEET.
- VISIBLE UTILITIES WITHIN THE SURVEY LIMITS ARE AS SHOWN HEREON. SUBSURFACE UTILITY LINES WERE LOCATED AND ARE SHOWN AS PER THE RESPECTIVE UTILITY COMPANY'S SPOTTING (PAINTED SPOTS AND FLAGGED LINES). THE FOLLOWING SUNSHINE ONE CALL TICKETS WERE ISSUED FOR THIS PROJECT: 093811543 AND 093811435
- VISIBLE IMPROVEMENTS ARE AS SHOWN HEREON.
- GRAPHIC SYMBOLISM FOR FEATURES SUCH AS MONUMENTATION, FENCES, TREES, TREE LINES, UTILITIES ETCETERA MAY BE EXAGGERATED IN SIZE FOR CLARITY PURPOSES. DIMENSIONS TO EXAGGERATED FEATURES WILL SUPERSEDE SCALED MEASUREMENTS.
- A TITLE SEARCH WAS PERFORMED BY ALLIANT NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. FL2010-1711951, WITH AN EFFECTIVE DATE OF NOVEMBER 14, 2017 AT 6:00 A.M., AND WAS PROVIDED TO THIS FIRM FOR THE SUBJECT PROPERTY.
- THIS SURVEY DOES NOT REPRESENT NOR GUARANTEE OWNERSHIP.
- THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- ALL LOT LINES THAT FALL IN CURVES ARE RADIAL UNLESS OTHERWISE NOTED.



VICINITY MAP
SCALE: 1" = 1000'

PREPARED BY



REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors

2301 N. NINTH AVENUE, SUITE 300
PENSACOLA, FLORIDA 32503
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FAX 850.438.0448
EB 00009657 LB7916

OWNER
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2000 VILLAFANE DR.
PENSACOLA, FL 32503
TELEPHONE 850.474.0313

DEVELOPER
68V BRIDLEWOOD (FL) 2019, LLC
29891 WOODROW LANE SUITE 300
SPANISH FORT, AL 36527

PROFESSIONAL SURVEYOR AND MAPPER

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Approved
ESCAMBIA COUNTY DRC PLAN REVIEW

DRC Chairman Signature: *J. Hampton* Date: *6-25-21*
Printed Name: *Jennifer Hampton*
Development Services Director of Distress

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

GENERAL NOTES:

- THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
- THE DEVELOPER/CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
- RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE DEVELOPER/CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION.
- ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD. IF WINTER RYE SEED IS USED, INCLUDE A BAHIA MIX TO INSURE CONTINUED GROWTH AFTER WINTER MONTHS.
- ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.
- DEVELOPER/CONTRACTOR/HOME OWNERS ASSOCIATION SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND AT THE END OF THE 2 YEAR WARRANTY PERIOD.
- CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW AS-BUILT CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
- THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3475. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/PROVAL.
- NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770.
- ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION.
- NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN COUNTY ACCEPTANCE OF IMPROVEMENTS.
- TO COMPLY WITH NPDES REQUIREMENTS, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH REQUIRED RAINFALL EVENT OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS; INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO FDEP.
- PROTECTED TREES MUST BE PRESERVED UNTIL CONSTRUCTION PLAN APPROVAL. UPON CONSTRUCTION PLAN APPROVAL, PROTECTED TREES MAY BE REMOVED FROM AND CONSTRUCTION ACTIVITIES MAY COMMENCE IN INFRASTRUCTURE AREAS ONLY (RIGHTS-OF-WAY, STORMWATER PARCELS AND DRAINAGE EASEMENTS). ALL RESIDENTIAL LOTS MUST REMAIN UNDISTURBED, INCLUDING PLACEMENT OF FILL, UNTIL EACH INDIVIDUAL BUILDING PERMIT IS ISSUED.
- THERE ARE NO HERITAGE TREES WITHIN THIS PHASE.

DESCRIPTION: (AS PREPARED BY REBOL-BATTLE & ASSOCIATES, INC.) (RBA PROJECT NO. 2017.274.2ND)

ALL OF PARCELS C-4, C-8, & D-4 AND A PORTION OF PARCELS C-3, C-5, C-6, & D-5 OF BRIDLEWOOD AS RECORDED IN PLAT BOOK 19 AT PAGES 21, 21A - 21H OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHWEST CORNER OF PARCEL D-5 OF BRIDLEWOOD, AS RECORDED IN PLAT BOOK 19 AT PAGES 21, 21A - 21H OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA; THENCE PROCEED SOUTH 02°50'19" WEST ALONG THE EAST LINE OF SAID BRIDLEWOOD FOR A DISTANCE OF 330.75 FEET; THENCE DEPARTING SAID EAST LINE PROCEED NORTH 87°00'46" WEST ALONG THE SOUTH LINE OF PARCEL C-8 OF SAID BRIDLEWOOD FOR A DISTANCE OF 120.08 FEET TO THE EAST RIGHT-OF-WAY (R/W) LINE OF BLACKHORSE CIRCLE (50' PUBLIC R/W); THENCE PROCEED NORTH 03°06'19" EAST ALONG SAID EAST R/W LINE AND ALONG SAID SOUTH LINE FOR A DISTANCE OF 31.94 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHWEST, SAID CURVE HAVING A RADIUS OF 100.00 FEET; THENCE PROCEED NORTHWESTERLY ALONG THE ARC OF SAID CURVED R/W LINE AND SAID CURVED SOUTH LINE FOR AN ARC DISTANCE OF 157.15 FEET (DELTA ANGLE = 90°02'21", CHORD BEARING = 141.47 FEET, CHORD BEARING = NORTH 42°21'02" WEST) TO THE POINT OF TANGENCY; THENCE PROCEED NORTH 87°18'32" WEST ALONG SAID R/W LINE AND SAID SOUTH LINE FOR A DISTANCE OF 1.66 FEET; THENCE DEPARTING SAID R/W LINE PROCEED NORTH 62°08'25" WEST ALONG SAID SOUTH LINE FOR A DISTANCE OF 868.80 FEET; THENCE PROCEED SOUTH 03°08'48" WEST ALONG SAID SOUTH LINE FOR A DISTANCE OF 47.86 FEET TO THE NORTH R/W LINE OF THE AFORESAID BLACKHORSE CIRCLE; THENCE PROCEED NORTH 86°55'52" WEST ALONG SAID NORTH R/W LINE FOR A DISTANCE OF 94.93 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE NORTHEASTERLY, SAID CURVE HAVING A RADIUS OF 25.00 FEET; THENCE PROCEED NORTHEASTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 39.30 FEET (DELTA ANGLE = 90°04'40", CHORD BEARING = 35.38 FEET, CHORD BEARING = NORTH 41°53'32" WEST) TO THE POINT OF TANGENCY, SAID POINT BEING ON THE EASTERLY R/W LINE OF STEEPLCHASE BOULEVARD (50' PUBLIC R/W); THENCE PROCEED NORTH 03°08'48" EAST ALONG SAID EASTERLY R/W LINE FOR A DISTANCE OF 349.93 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHEASTERLY, SAID CURVE HAVING A RADIUS OF 25.00 FEET; THENCE PROCEED NORTHEASTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 39.27 FEET (DELTA ANGLE = 89°59'32", CHORD BEARING = 35.35 FEET, CHORD BEARING = NORTH 46°08'34" EAST) TO THE POINT OF TANGENCY SAID POINT BEING ON THE SOUTHEASTERLY R/W LINE OF PADDOCK WAY (50' PUBLIC R/W); THENCE PROCEED SOUTH 85°14'00" EAST ALONG SAID SOUTHEASTERLY R/W LINE FOR A DISTANCE OF 139.10 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE NORTHERLY, SAID CURVE HAVING A RADIUS OF 640.00 FEET; THENCE PROCEED EASTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 427.94 FEET (DELTA ANGLE = 38°18'40", CHORD BEARING = 420.01 FEET, CHORD BEARING = NORTH 73°59'00" EAST) TO A POINT OF COMPOUND CURVATURE OF A CIRCULAR CURVE CONCAVE NORTHEASTERLY, SAID CURVE HAVING A RADIUS OF 430.00 FEET; THENCE PROCEED NORTHEASTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 342.86 FEET (DELTA ANGLE = 45°39'29", CHORD BEARING = 333.66 FEET, CHORD BEARING = NORTH 32°03'47" EAST) TO A POINT OF REVERSE CURVATURE OF A CIRCULAR CURVE CONCAVE EASTERLY, SAID CURVE HAVING A RADIUS OF 200.00 FEET; THENCE PROCEED NORTHEASTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 89.63 FEET (DELTA ANGLE = 28°39'58", CHORD BEARING = 88.84 FEET, CHORD BEARING = NORTH 22°04'34" EAST) TO THE POINT OF COMPOUND CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHEASTERLY, SAID CURVE HAVING A RADIUS OF 600.00 FEET; THENCE PROCEED NORTHEASTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 386.10 FEET (DELTA ANGLE = 36°52'11", CHORD BEARING = 379.47 FEET, CHORD BEARING = NORTH 53°17'09" EAST) TO A POINT OF COMPOUND CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHERLY, SAID CURVE HAVING A RADIUS OF 25.00 FEET; THENCE PROCEED EASTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 27.71 FEET (DELTA ANGLE = 63°30'31", CHORD BEARING = 26.31 FEET, CHORD BEARING = SOUTH 78°31'09" EAST) TO A POINT OF REVERSE CURVATURE OF A CIRCULAR CURVE CONCAVE WESTERLY, SAID CURVE HAVING A RADIUS OF 50.00 FEET; THENCE PROCEED NORTHEASTERLY ALONG THE ARC OF SAID CURVED R/W LINE FOR AN ARC DISTANCE OF 174.63 FEET (DELTA ANGLE = 20°06'32", CHORD BEARING = 98.46 FEET, CHORD BEARING = NORTH 35°10'53" EAST); THENCE DEPARTING SAID SOUTHEASTERLY R/W LINE PROCEED NORTH 24°39'21" EAST ALONG THE NORTHWESTERLY LINE OF PARCEL D-5 OF THE AFORESAID BRIDLEWOOD FOR A DISTANCE OF 119.92 FEET TO THE NON-TANGENT POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHWESTERLY, SAID CURVE HAVING A RADIUS OF 170.01 FEET; THENCE PROCEED SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 113.95 FEET (DELTA ANGLE = 38°24'11", CHORD BEARING = 111.83 FEET, CHORD BEARING = SOUTH 46°00'25" EAST); THENCE DEPARTING SAID NORTHWESTERLY LINE PROCEED NORTH 32°02'17" EAST ALONG THE NORTHWESTERLY LINE OF PARCEL C-4 OF SAID BRIDLEWOOD FOR A DISTANCE OF 43.41 FEET; THENCE PROCEED NORTH 43°14'29" EAST ALONG SAID NORTHWESTERLY LINE FOR A DISTANCE OF 226.12 FEET; THENCE DEPARTING SAID NORTHWESTERLY LINE PROCEED NORTH 88°47'38" WEST ALONG THE SOUTHERLY LINE OF PARCEL C-5 OF SAID BRIDLEWOOD FOR A DISTANCE OF 111.83 FEET TO THE NON-TANGENT POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE SOUTHWEST, SAID CURVE HAVING A RADIUS OF 578.32 FEET; THENCE PROCEED NORTHWESTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 125.98 FEET (DELTA ANGLE = 12°28'52", CHORD BEARING = 125.73 FEET, CHORD BEARING = NORTH 52°59'04" WEST); THENCE PROCEED SOUTH 62°45'55" WEST ALONG SAID SOUTHERLY LINE FOR A DISTANCE OF 38.07 FEET; THENCE PROCEED SOUTH 86°53'43" WEST ALONG SAID SOUTHERLY LINE FOR A DISTANCE OF 18.55 FEET; THENCE PROCEED NORTH 36°29'09" WEST ALONG SAID SOUTHERLY LINE FOR A DISTANCE OF 46.21 FEET; THENCE PROCEED NORTH 04°59'08" WEST ALONG SAID SOUTHERLY LINE FOR A DISTANCE OF 189.49 FEET; THENCE PROCEED SOUTH 86°55'18" WEST ALONG SAID SOUTHERLY LINE FOR A DISTANCE OF 111.88 FEET; THENCE PROCEED SOUTH 37°47'09" WEST ALONG SAID SOUTHERLY LINE FOR A DISTANCE OF 85.78 FEET; THENCE DEPARTING SAID SOUTHERLY LINE PROCEED SOUTH 86°52'01" EAST ALONG THE EASTERLY LINE OF PARCEL C-4 OF THE AFORESAID BRIDLEWOOD FOR A DISTANCE OF 35.37 FEET; THENCE PROCEED SOUTH 04°35'21" EAST ALONG SAID EASTERLY LINE FOR A DISTANCE OF 60.98 FEET; THENCE PROCEED SOUTH 27°58'32" WEST ALONG SAID EASTERLY LINE FOR A DISTANCE OF 64.74 FEET; THENCE PROCEED SOUTH 08°16'19" EAST ALONG SAID EASTERLY LINE FOR A DISTANCE OF 63.96 FEET TO THE NON-TANGENT POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE NORTHWESTERLY, SAID CURVE HAVING A RADIUS OF 328.82 FEET; THENCE PROCEED SOUTHWESTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 197.31 FEET (DELTA ANGLE = 34°35'30", CHORD BEARING = 194.33 FEET, CHORD BEARING = SOUTH 50°26'23" WEST); THENCE PROCEED NORTH 66°30'34" WEST ALONG SAID EASTERLY LINE FOR A DISTANCE OF 6.46 FEET; THENCE PROCEED SOUTH 59°48'27" WEST ALONG SAID EASTERLY LINE FOR A DISTANCE OF 43.84 FEET; THENCE DEPARTING SAID EASTERLY LINE PROCEED NORTH 02°49'37" EAST FOR A DISTANCE OF 1486.47 FEET TO THE NORTHERLY LINE OF SAID BRIDLEWOOD AND THE SOUTHERLY LINE NATURE TRAIL SUBDIVISION AS RECORDED IN PLAT BOOK 18 AT PAGES 60, 60A - 60R OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE PROCEED SOUTH 87°10'23" EAST ALONG SAID SOUTHERLY LINE OF NATURE TRAIL SUBDIVISION AND SAID NORTHERLY LINE OF BRIDLEWOOD FOR A DISTANCE OF 1106.99 FEET; THENCE DEPARTING SAID SOUTHERLY LINE OF NATURE TRAIL SUBDIVISION AND SAID NORTHERLY LINE OF BRIDLEWOOD PROCEED SOUTH 03°04'37" WEST FOR A DISTANCE OF 2219.88 FEET; THENCE PROCEED SOUTH 47°11'18" EAST FOR A DISTANCE OF 146.47 FEET TO THE WESTERLY LINE OF PARCEL C-7 OF SAID BRIDLEWOOD ALSO BEING THE NON-TANGENT POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE EASTERLY, SAID CURVE HAVING A RADIUS OF 300.00 FEET; THENCE PROCEED SOUTHERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 331.17 FEET (DELTA ANGLE = 63°14'59", CHORD BEARING = 314.61 FEET, CHORD BEARING = SOUTH 11°22'27" WEST) TO THE POINT OF REVERSE CURVATURE OF A CIRCULAR CURVE CONCAVE NORTHWESTERLY, SAID CURVE HAVING A RADIUS OF 219.99 FEET; THENCE PROCEED SOUTHWESTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 436.41 FEET (DELTA ANGLE = 11°33'46", CHORD BEARING = 368.29 FEET, CHORD BEARING = SOUTH 36°24'43" WEST) TO THE POINT OF TANGENCY; THENCE DEPARTING SAID CURVE PROCEED NORTH 86°32'31" WEST ALONG THE SOUTH LINE OF SAID BRIDLEWOOD FOR A DISTANCE OF 614.10 FEET TO THE POINT OF BEGINNING.

LYING IN AND BEING A PORTION OF SECTION 16, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA, AND CONTAINING 82.87 ACRES MORE OR LESS.

FENCE RESTRICTION NOTE:

NO FENCES OR OTHER STRUCTURES ARE ALLOWED IN PUBLIC OR PRIVATE DRAINAGE/ACCESS EASEMENTS. THESE EASEMENTS SHALL BE ACCESSIBLE AT ALL TIMES. FENCES OR OTHER STRUCTURES IN 10' PRIVATE DRAINAGE EASEMENTS ALONG ALL LOT LINES BEING 5' ON EACH LOT LINE SHALL NOT OBSTRUCT OR IMPEDE STORMWATER FLOW.

SUBDIVISION ENTRANCE MARKER SIGN NOTE:

NO ENTRANCE MARKER SIGN IS PROPOSED.

ENGINEER'S CERTIFICATE

I, JEREMY KING, HEREBY CERTIFY THAT ALL PROPOSED DRAINAGE AND OTHER IMPROVEMENTS WILL BE DESIGNED TO COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL DEVELOPMENT REQUIREMENTS AND THAT I AM THE ENGINEER OF RECORD FOR THE BRIDLEWOOD 2ND ADDITION. I HAVE REVIEWED THE PLANS AND SPECIFICATIONS AND THEY COMPLY WITH THE REQUIREMENTS OF THE FLORIDA PROFESSIONAL ENGINEERING ACT AND THE FLORIDA PROFESSIONAL ENGINEERING BOARD. I HAVE REVIEWED THE PLANS AND SPECIFICATIONS AND THEY COMPLY WITH THE REQUIREMENTS OF THE FLORIDA PROFESSIONAL ENGINEERING ACT AND THE FLORIDA PROFESSIONAL ENGINEERING BOARD.

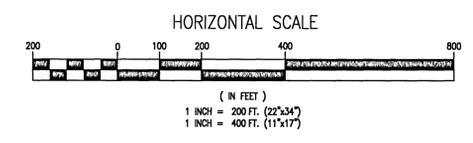
JEREMY KING, P.E.
PROFESSIONAL ENGINEER No. 76144

**A PRELIMINARY PLAT OF
 BRIDLEWOOD 2ND ADDITION
 A 69 LOT SUBDIVISION**

LYING IN SECTION 16, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA AND BEING A RESUBDIVISION OF ALL OF PARCELS C-4, C-8 AND D-4 AND A PORTION OF C-3, C-5, C-6 AND D-5 OF BRIDLEWOOD AS RECORDED IN PLAT BOOK 19, PAGES 21, 21A - 21H OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA

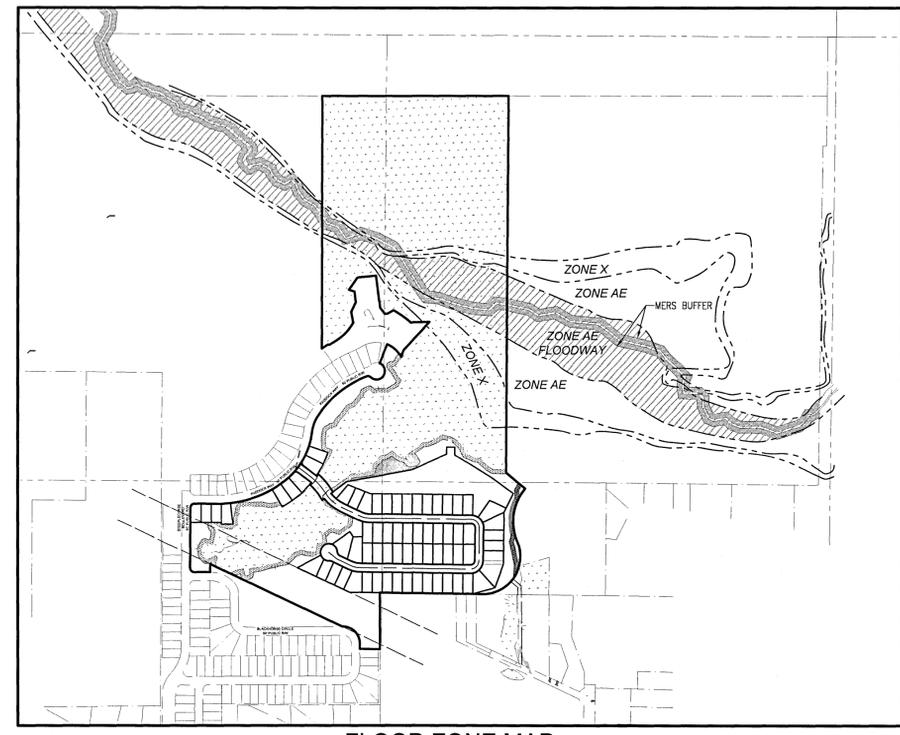
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JEREMY KING, P.E.
 PROFESSIONAL ENGINEER No. 78144



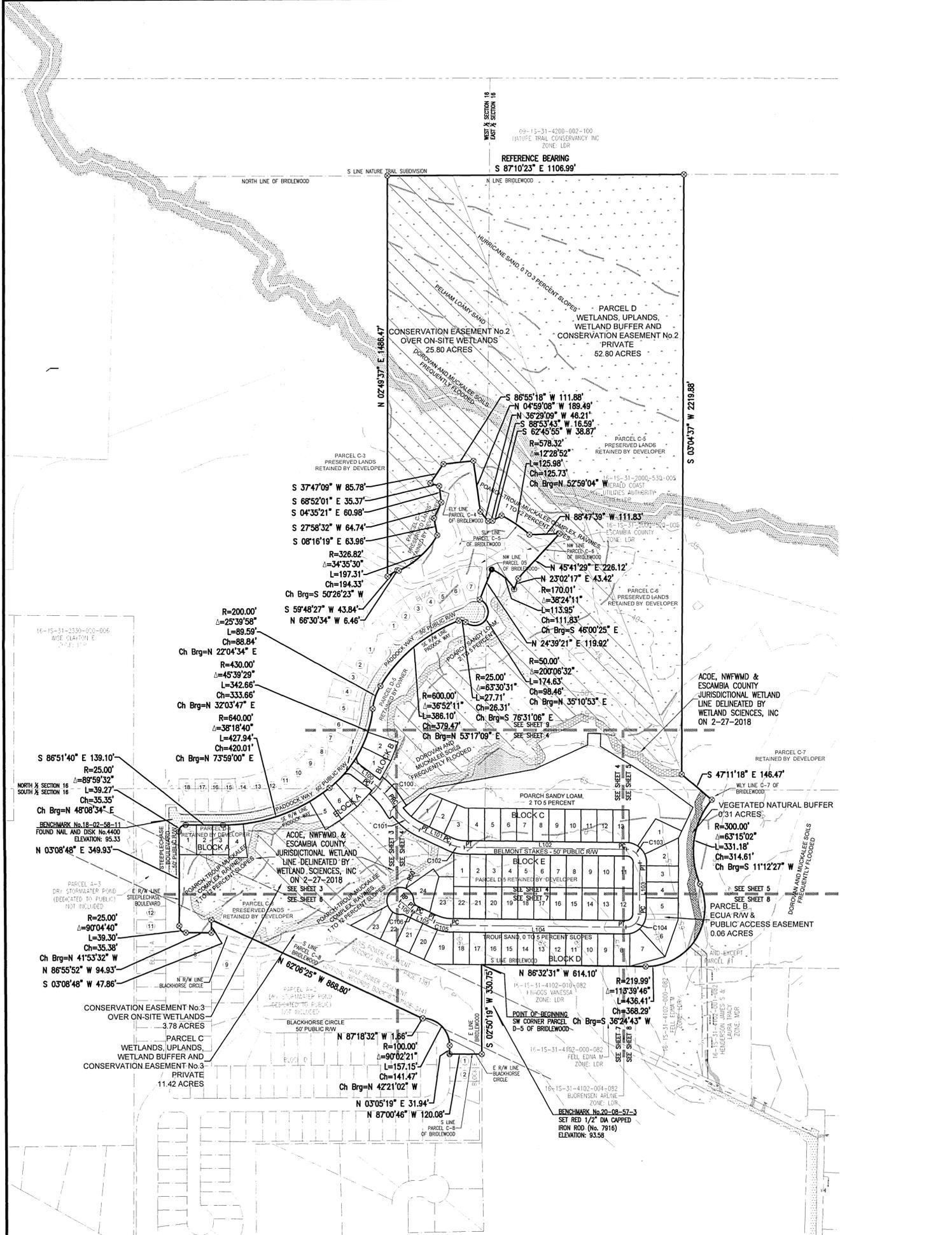
CENTERLINE LINE TABLE		
Line #	Length	Direction
L100	102.25'	S 50°12'38" E
L101	125.35'	S 61°55'48" E
L102	606.42'	S 86°32'31" E
L103	190.00'	S 3°27'29" W
L104	654.34'	N 86°32'31" W
L105	83.14'	N 62°06'25" W
L106	57.65'	N 47°19'13" W

CENTERLINE CURVE TABLE					
Curve #	Radius	Delta	Length	Chord Direction	Chord
C100	325.00	21°22'36"	121.26	S 39°31'20" E	120.55
C101	225.00	33°05'47"	129.97	S 45°22'55" E	128.17
C102	125.00	24°36'42"	53.69	S 74°14'10" E	53.28
C103	50.00	90°00'00"	78.54	S 41°32'31" E	70.71
C104	50.00	90°00'00"	78.54	S 48°27'29" W	70.71
C105	150.00	24°26'06"	63.97	N 74°19'28" W	63.49
C106	37.00	14°47'12"	9.55	N 54°42'49" W	9.52

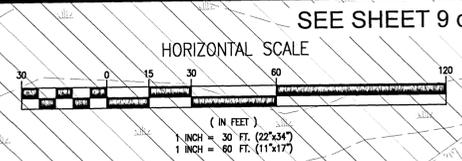


FLOOD ZONE MAP
 SCALE: 1" = 500'

LEGEND	
	EXISTING ASPHALT PAVEMENT
	WETLAND
	EXISTING 25' WETLAND BUFFER
	PROPOSED ASPHALT
	PROPOSED ADDITIONAL WETLAND BUFFER
	VEGETATED NATURAL BUFFER
	CONSERVATION EASEMENT
	30' MERS BUFFER
	ECUA EASEMENT
	BOUNDARY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	BUILDING SETBACK LINE
	WETLAND LINE
	MERS LINE
	WATER LINE
	GRAVITY SEWER LINE
	SEWER FORCE MAIN
	EXISTING CONTOURS
	SET 1/2" DIA CAPPED IRON ROD (No.7916)
	4" x 4" CONCRETE MONUMENT (NO I.D.)
	FOUND 1/2" DIA IRON ROD (UNNUMBERED)
	FOUND 1/2" DIA CAPPED IRON ROD (No. 7312)
	STORMWATER MANHOLE
	SEWER MANHOLE
	WATER VALVE
	FIRE HYDRANT
	GAS VALVE
	TELEPHONE BOX
	FIBER OPTIC CABLE MARKER
	TELEPHONE VAULT
	FIBER OPTIC CABLE STUBOUT
	SEWER STUBOUT
	WATER STUBOUT
	FLOW ARROW
	DROP INLET
	CURB INLET
	JUNCTION BOX
	MITERED END SECTION
	SILT FENCE
	SILT FENCE/STRAW BALES
	ACOE DENOTES ARMY CORPS OF ENGINEERS
	C1 DENOTES CURVE IDENTIFICATION (SEE CURVE TABLE)
	CH DENOTES CHORD
	CH BRG DENOTES CHORD BEARING
	Δ DENOTES CENTRAL ANGLE
	DIA DENOTES DIAMETER
	ECUA DENOTES EMERALD COAST UTILITIES AUTHORITY
	I.D. DENOTES IDENTIFICATION
	L DENOTES ARC LENGTH
	L1 DENOTES LINE IDENTIFICATION (SEE LINE TABLE)
	± DENOTES MORE OR LESS
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	N/A DENOTES NOT APPLICABLE
	No. DENOTES NUMBER
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	R DENOTES RADIUS
	RP DENOTES RADIUS POINT
	R/W DENOTES RIGHT-OF-WAY
	△ DENOTES 35' SIGHT TRIANGLE



PARCEL CURVE TABLE					PARCEL CURVE TABLE					PARCEL LINE TABLE				
Curve #	Length	Radius	Central Angle	Chord	Chord Bearing	Curve #	Length	Radius	Central Angle	Chord	Chord Bearing	Line #	Length	Direction
C12	28.71	265.00	6°12'25"	28.69	S 31°56'14" E	C133	8.41	25.00	19°17'06"	8.37	N 72°36'14" W	L100	5.21	S 11°50'14" W
C13	117.33	250.00	26°53'22"	116.25	S 46°29'08" E	C134	20.11	25.00	46°05'17"	19.57	N 39°55'03" W			
C14	25.41	150.00	9°42'23"	25.38	S 66°47'00" E	C135	3.38	25.00	7°44'10"	3.37	S 67°14'27" W			
C15	39.02	150.00	14°54'19"	38.91	S 79°05'21" E	C136	7.14	25.00	16°22'08"	7.12	S 79°17'36" W			
C16	39.27	25.00	90°00'00"	35.36	S 41°32'31" E	C137	2.03	25.00	4°39'29"	2.03	S 57°22'09" W			
C19	27.48	25.00	62°59'21"	26.12	N 30°36'45" W	C138	8.87	25.00	20°20'11"	8.83	S 38°44'44" E			
C20	56.48	50.00	64°43'09"	53.52	N 31°28'39" W	C139	48.80	25.00	111°50'21"	41.41	S 27°20'32" W			
C21	31.37	50.00	35°56'32"	30.85	N 81°48'29" W	C140	26.07	25.00	59°44'27"	24.90	N 66°52'04" W			
C22	69.49	50.00	79°38'03"	64.03	S 40°24'13" W	C141	7.83	25.00	17°56'24"	7.80	N 62°49'09" W			
C23	9.79	50.00	11°12'56"	9.77	S 05°01'17" E	C142	4.22	25.00	9°40'26"	4.22	N 49°00'44" W			
C35	34.44	75.00	26°18'26"	34.13	N 66°03'20" W	C143	11.61	25.00	26°36'01"	11.50	S 70°27'11" W			
C36	9.60	75.00	7°19'58"	9.59	N 82°52'32" W	C144	7.02	25.00	16°04'58"	6.99	S 43°10'27" W			
C37	42.98	100.00	24°36'42"	42.63	N 74°14'10" W	C145	28.51	25.00	65°20'50"	26.99	S 49°20'56" W			
C38	50.14	200.00	14°21'55"	50.01	N 54°44'51" W	C146	1.69	25.00	3°52'15"	1.69	S 83°57'32" W			
C39	43.72	200.00	12°31'26"	43.63	N 41°18'10" W	C147	9.31	25.00	21°19'57"	9.25	S 22°30'12" W			
C40	20.74	185.00	6°25'19"	20.72	N 32°02'41" W	C148	4.75	25.00	10°53'42"	4.75	N 73°57'53" W			
C41	120.87	365.00	18°58'23"	120.31	N 38°19'13" W	C149	7.30	25.00	16°44'13"	7.28	S 01°06'59" E			
C49	26.56	180.00	8°27'19"	26.54	N 69°56'13" W	C150	90.52	60.00	86°26'14"	82.17	S 39°20'48" W			
C109	26.41	25.00	60°31'37"	25.20	N 30°15'49" W									



ACOE, NWFWD & ESCO JURISDICTIONAL WETLAND LINE DELINEATED BY WETLAND SCIENCES, INC. ON 2-19-2018

CONSERVATION EASEMENT No.2 OVER ON-SITE WETLANDS 25.80 ACRES

PARCEL D WETLANDS, UPLANDS, WETLAND BUFFER AND CONSERVATION EASEMENT No.2 PRIVATE 52.80 ACRES

PARCEL A DRY STORMWATER POND PUBLIC 3.54 ACRES

BLOCK B

BLOCK C

BLOCK E

SEE SHEET 3 of 10

SEE SHEET 5 of 10

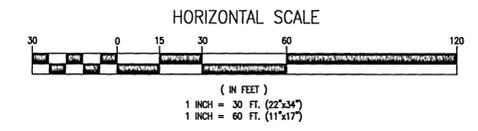
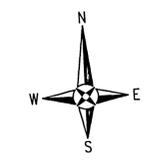
SEE SHEET 7 of 10

RBA
REBOL-BATTLE & ASSOCIATES
 Civil Engineers and Surveyors
 2301 N. Ninth Avenue, Suite 900
 Pensacola, Florida 32303
 Telephone 850.438.0400 Fax 850.438.0408
 EB 0006957

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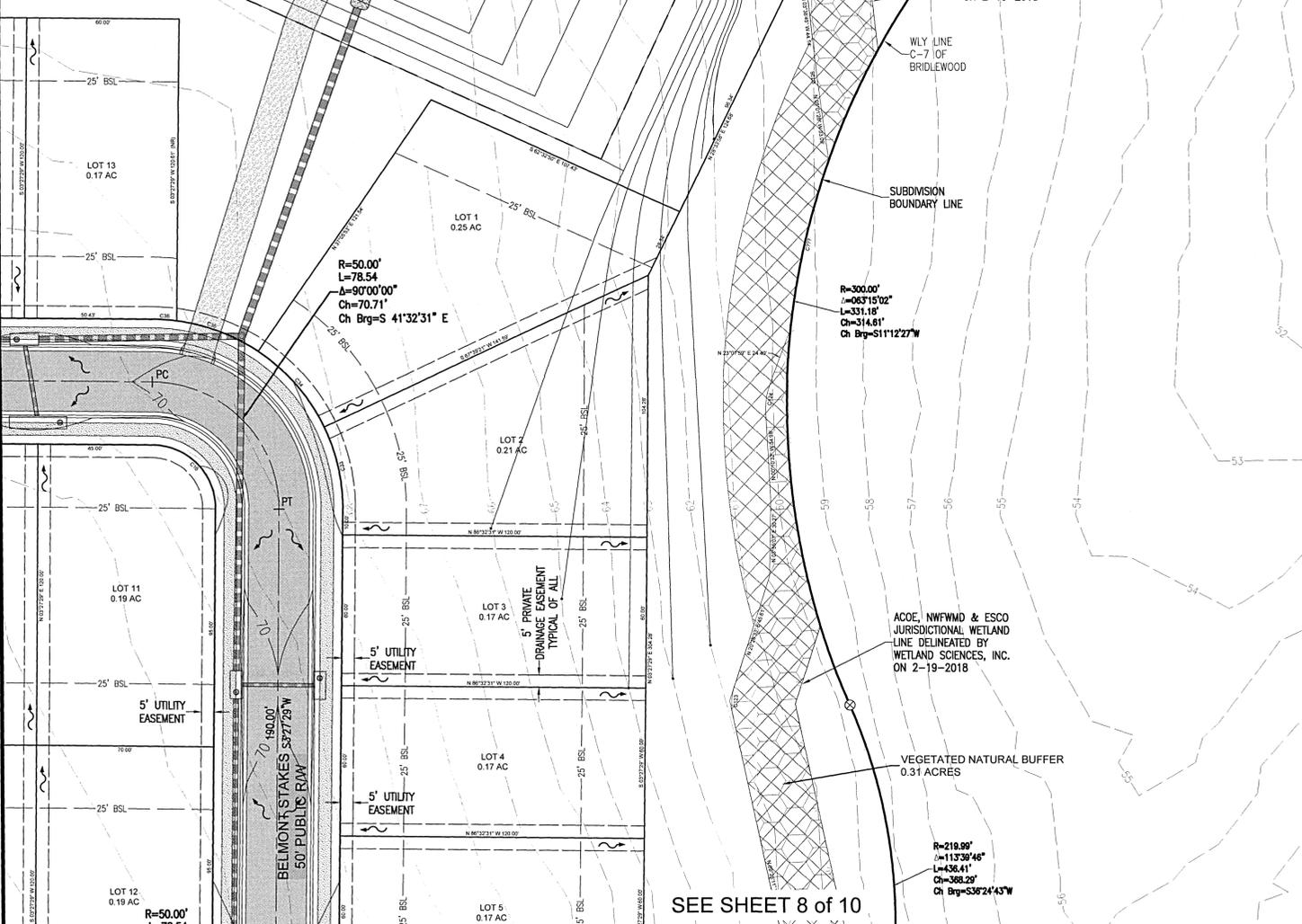
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 JEREMY KING, P.E.
 PROFESSIONAL ENGINEER No. 76144
 6/17/24

SEE SHEET 9 of 10



Curve #	Length	Radius	Central Angle	Chord	Chord Bearing
C16	39.27	25.00	90°00'00"	35.36	S 41°32'31" E
C33	33.78	75.00	25°48'08"	33.49	N 09°26'35" W
C34	40.00	75.00	30°33'28"	39.53	N 37°37'23" W
C35	34.44	75.00	28°18'26"	34.13	N 66°03'20" W
C38	9.60	75.00	7°19'58"	9.59	N 82°52'32" W
C123	13.04	25.00	29°53'44"	12.90	N 05°31'41" E
C124	10.17	25.00	23°18'31"	10.10	N 11°28'43" E
C126	0.60	25.00	1°22'41"	0.60	N 04°20'06" W
C127	15.22	25.00	34°53'18"	14.99	N 13°47'54" E
C128	7.25	25.00	16°36'40"	7.22	S 83°37'30" W
C129	1.68	25.00	3°50'33"	1.68	N 86°08'53" W
C130	12.69	25.00	29°04'43"	12.55	N 69°41'15" W
C131	3.54	25.00	8°07'05"	3.54	N 51°05'21" W
C132	6.07	25.00	13°54'05"	6.05	N 40°04'46" W
C133	8.41	25.00	19°17'06"	8.37	N 72°36'14" W
C134	20.11	25.00	46°05'17"	19.57	N 39°55'03" W

SEE SHEET 4 of 10



SEE SHEET 8 of 10

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 BRIDLEWOOD 2ND ADDITION
 A 69 LOT SUBDIVISION**
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 STATE OF FLORIDA
 JEREMY KING
 PROFESSIONAL ENGINEER No. 78144
 6/17/22

SEE SHEET 3 of 10

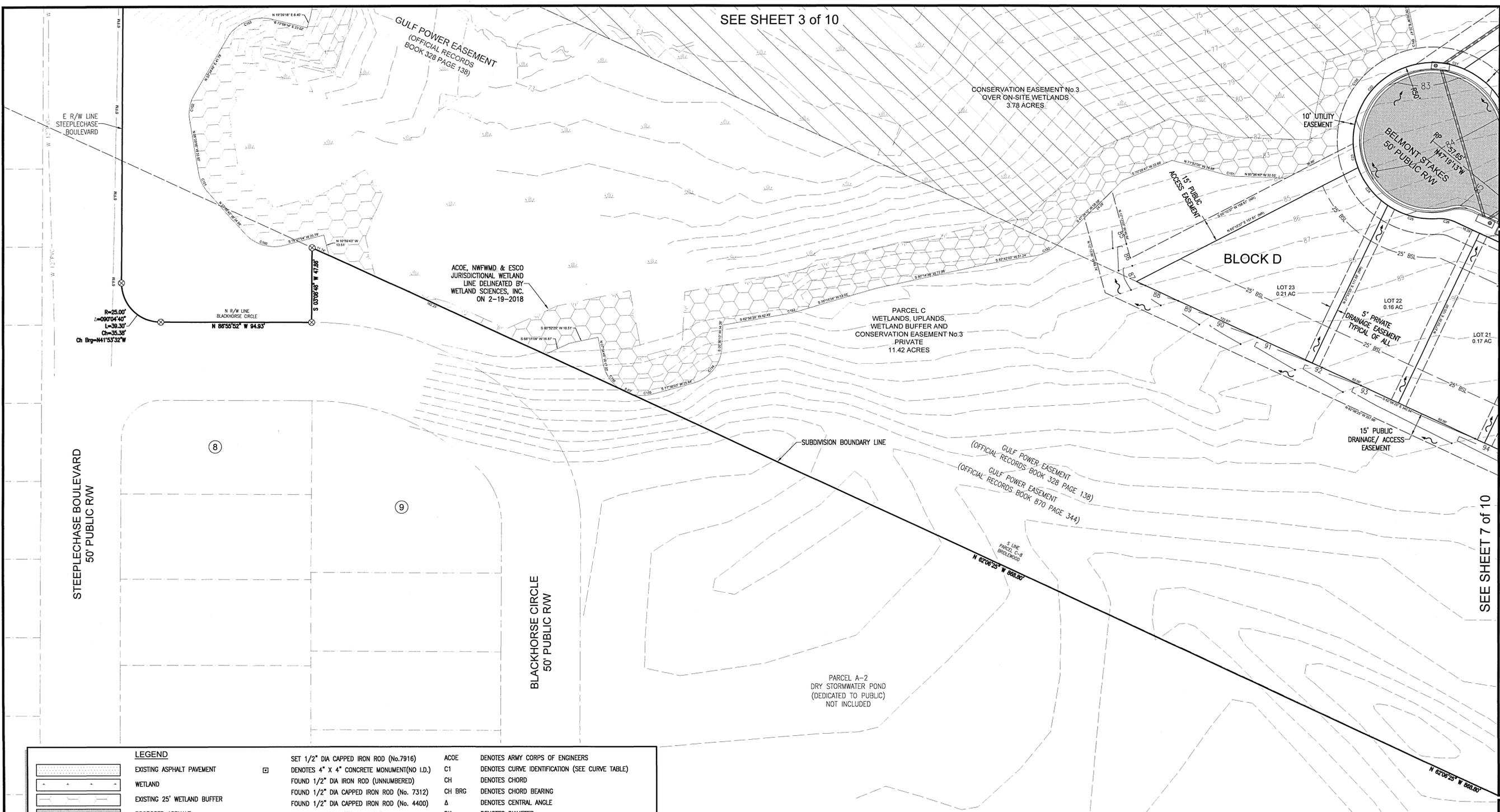
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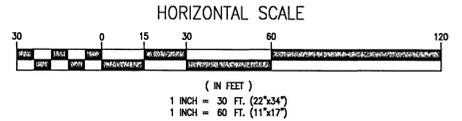
SHEET 6 of 10

SEE SHEET 7 of 10



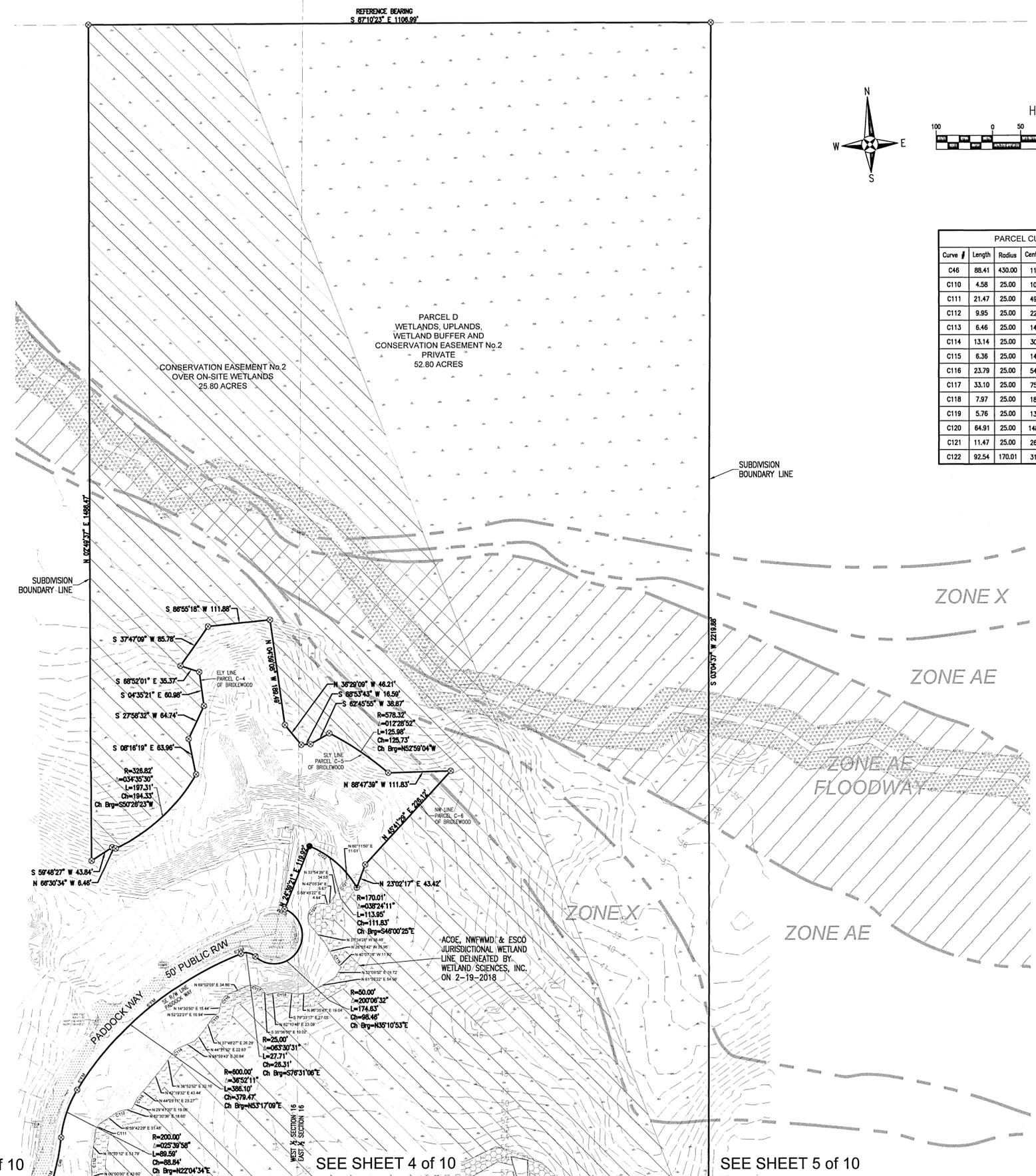
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C21	31.37	50.00	35°56'32"	30.85	N 81°48'29" W
C22	69.49	50.00	79°38'03"	64.03	S 40°24'13" W
C23	9.79	50.00	11°12'56"	9.77	S 05°01'17" E
C24	31.00	50.00	35°31'29"	30.51	S 35°10'07" E
C25	32.84	50.00	37°37'59"	32.25	S 71°44'51" E
C26	12.42	25.00	28°27'25"	12.29	S 76°20'08" E
C100	27.88	25.00	63°53'21"	28.45	N 69°55'26" W
C101	13.74	25.00	31°28'49"	13.56	N 22°14'21" W
C102	17.05	25.00	39°04'45"	16.72	N 13°02'28" E
C103	32.41	25.00	74°16'58"	30.19	N 69°43'17" E
C149	7.30	25.00	16°44'13"	7.28	S 01°06'59" E
C150	90.52	60.00	86°26'14"	82.17	S 39°20'48" W
C151	5.78	25.00	13°14'41"	5.77	N 78°29'20" W
C152	15.29	25.00	35°02'51"	15.06	S 65°10'37" W
C153	2.92	25.00	6°41'09"	2.92	S 78°35'58" W
C154	31.46	25.00	72°05'53"	29.42	S 41°33'06" W
C155	13.55	25.00	31°03'07"	13.38	N 86°52'23" W
C156	19.76	25.00	45°17'11"	19.25	N 30°13'25" W

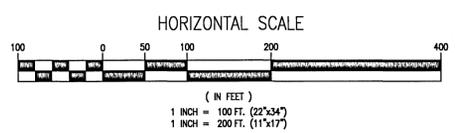


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 JERRY KING, P.E. 6/17/2021
 PROFESSIONAL ENGINEER No. 76144



REFERENCE BEARING
 S 87°10'23" E 1106.99'



PARCEL CURVE TABLE

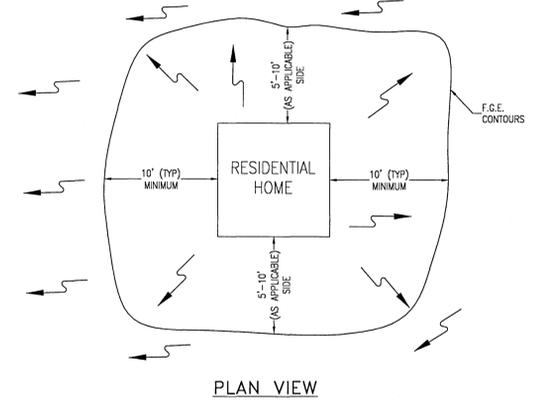
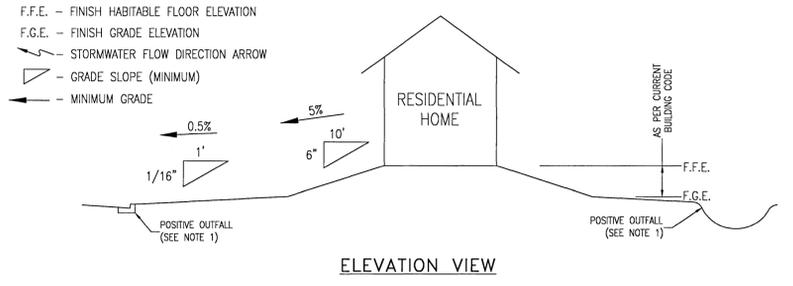
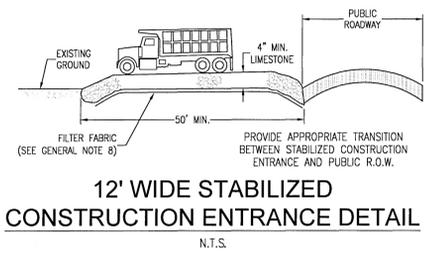
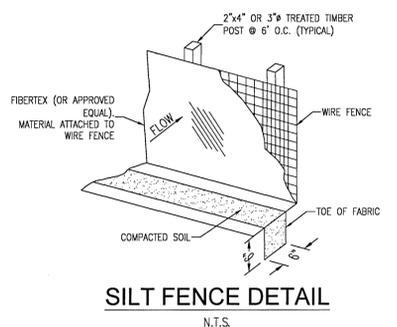
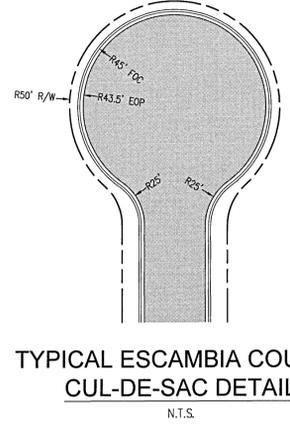
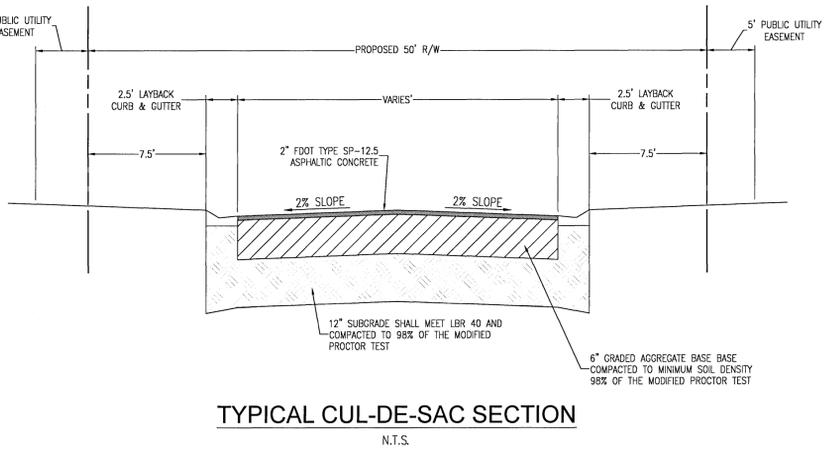
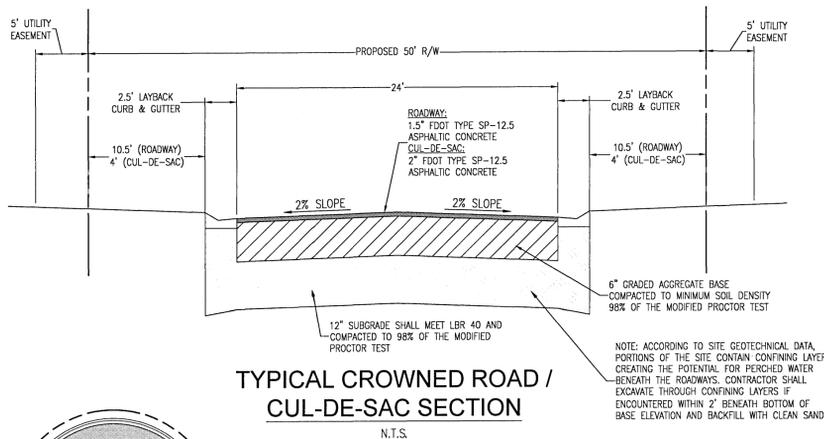
Curve #	Length	Radius	Central Angle	Chord	Chord Bearing
C46	88.41	430.00	11°46'48"	88.25	N 15°07'27" E
C110	4.58	25.00	10°30'12"	4.58	N 05°15'06" E
C111	21.47	25.00	49°12'16"	20.82	N 35°06'20" E
C112	9.95	25.00	22°48'07"	9.88	N 71°08'32" E
C113	6.46	25.00	14°47'41"	6.44	N 37°05'20" E
C114	13.14	25.00	30°06'50"	12.99	N 53°56'17" E
C115	6.36	25.00	14°33'54"	6.34	N 45°05'24" E
C116	23.79	25.00	54°31'14"	22.90	N 41°46'26" E
C117	33.10	25.00	75°51'51"	30.74	S 73°02'01" E
C118	7.97	25.00	18°15'57"	7.94	S 88°41'15" E
C119	5.76	25.00	13°11'36"	5.74	N 33°31'30" W
C120	64.91	25.00	148°45'06"	48.15	N 36°48'05" E
C121	11.47	25.00	26°17'11"	11.37	N 47°03'15" E
C122	92.54	170.01	31°11'12"	91.40	N 49°36'55" W

SEE SHEET 3 of 10

SEE SHEET 4 of 10

SEE SHEET 5 of 10

- NOTES:
1. A POSITIVE DRAINAGE OUTFALL IS A CONVEYANCE SYSTEM (DRAINAGE EASEMENT, ROADWAY WITH A DRAINAGE SYSTEM -- CURB & GUTTER, OR DITCH) WHICH CONTAINS, CONTROLS, AND TRANSMITS STORMWATER RUNOFF TO A CREEK, STREAM, RIVER, BAY, GULF, OCEAN, OR OTHER WATERS OF THE STATE, OR WATERS OF THE UNITED STATES, OR TO ANY FUNCTIONING ESCAMBIA COUNTY OR STATE DRAINAGE SYSTEM.
 2. FINISH FLOOR ELEVATION SHALL BE AS SPECIFIED BY BUILDING CODE.
 3. THESE ARE MINIMAL REQUIREMENTS AND DO NOT RELIEVE THE BUILDER FROM PROVIDING ADDITIONAL GRADING TO DIRECT STORMWATER TO A POSITIVE OUTFALL DRAINAGE SYSTEM AND ELIMINATE NEGATIVE IMPACTS TO ADJACENT LOTS AND PROPERTIES.
 4. DISTURBED AREAS SHALL BE COMPLETELY STABILIZED WITH SOD. IF THE HOME IS CONSTRUCTED, STABILIZE THE FIRST 10' WITH SOD AND SOD AND/OR SEED AND MULCH THE REMAINDER OF THE LOT.
 5. THE HOMEOWNER SHALL COMPLY WITH STATE PERMITTING REQUIREMENTS FOR LARGE AND SMALL CONSTRUCTION SITES, SPECIFICALLY THE NPDES PERMITS WHICH REQUIRE A DETAILED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING AVAILABLE ONLINE FOR REVIEW DURING ALL PHASES OF CONSTRUCTION.
 6. LOT CLEARING ACTIVITIES SHALL NOT PROCEED WITHOUT BUILDING PERMITS FOR THOSE LOTS EXCLUDING CLEARING REQUIRED FOR CONSTRUCTION OF CONVEYANCE SWALES OR DRAINAGE FEATURES DESIGNATED AS THE DEVELOPER'S RESPONSIBILITY.
 7. ALL NEW RUNOFF, DOWNSPOUTS AND GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO THE ROADS OR SWALES THAT LEAD TO THE RETENTION POND OR APPROVED DRAINAGE SYSTEM.
 8. PROVIDE EROSION CONTROL MEASURES TO ENSURE ALL SEDIMENTS SHALL BE RETAINED ON EACH INDIVIDUAL LOT.
 9. WETLANDS SHALL BE PROTECTED WITH FABRIC SILT FENCE AND BURIED HAYBALE SYSTEMS (DOUBLE ROWS ARE NECESSARY).



NOTES:

TYPICAL DRIVEWAY CONNECTION STANDARDS FOR EXISTING ROADWAY CONDITIONS

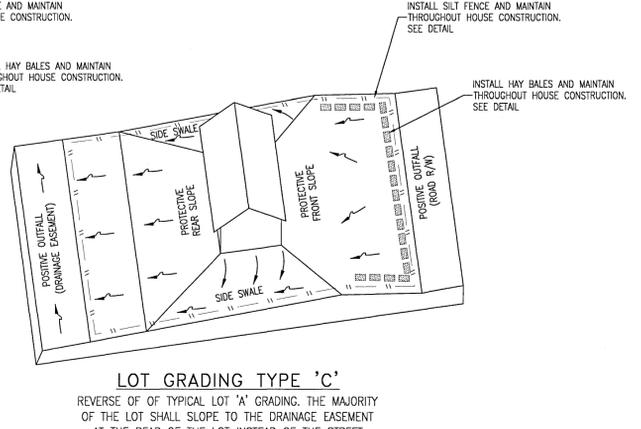
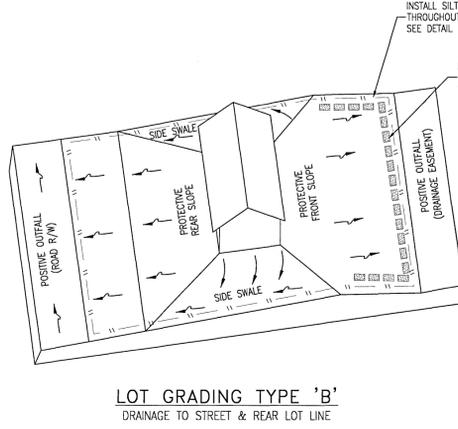
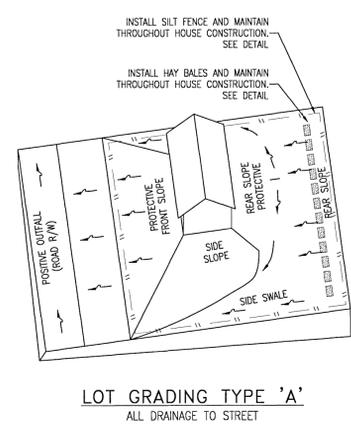
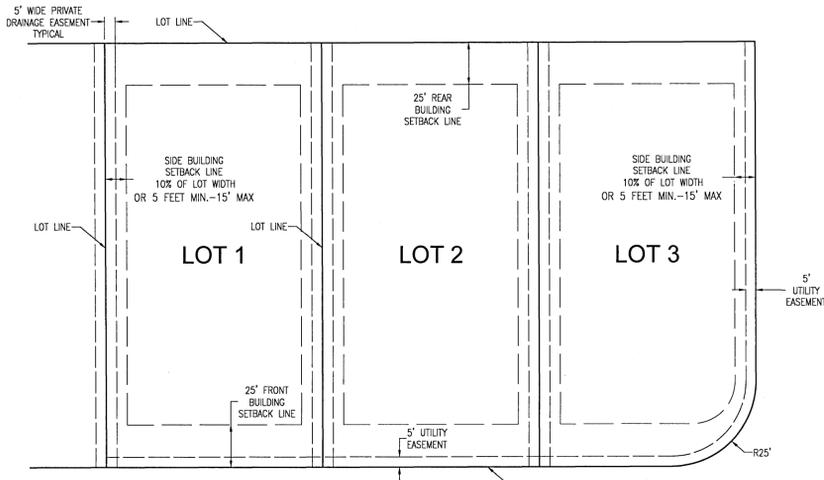
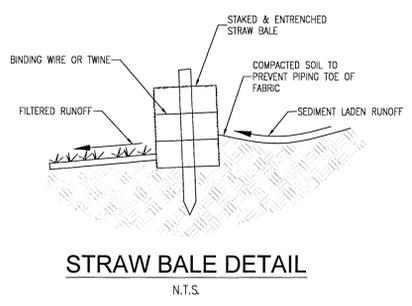
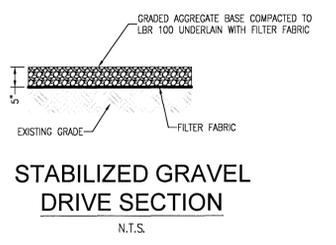
- 1) ALL MATERIALS AND LABOR FOR INSTALLATION WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER/CONTRACTOR.
- 2) DRIVEWAYS ABUTTING PAVED ROADS SHALL BE 1" - 3" ASPHALT WITH 6" STABILIZED SUB GRADE OR 4" TO 6" CONCRETE WITH 4" STABILIZED SUB GRADE - 90% COMPACTION (MODIFIED PROCTOR) WITH LBR 40 BETWEEN EDGE OF ROADWAY AND R/W LINE. COMPACTION AND TESTING IF NECESSARY, THIS WILL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.
- 3) DRIVEWAYS ABUTTING A DIRT ROAD SHALL BE MILLED ASPHALT, GRADED AGGREGATE BASE, OR WASHED CONCRETE (4" IN DEPTH) ON THE COUNTY MAINTAINED PORTION OF DRIVEWAY.
- 4) IF NECESSARY, REFER TO FOOT INDEX DETAILS AS REFERENCED BELOW.
- 5) RADII OR FLARE IS REQUIRED FOR TYPE II OR TYPE III CONNECTIONS. SEE DETAIL.
- 6) PARKING SPACES WITHIN COUNTY RIGHT-OF-WAY SHALL PROVIDE A MINIMUM OF 2 PARKING SPACES.
- 7) TYPICAL DRIVEWAY SECTIONS ARE TO BE 12' WIDE MINIMUM.

TYPE I CURB CUT DRIVEWAY FOR COUNTY TYPE "B" LAYBACK CURBS.

NOTES:

- 1.) SEE STANDARD COUNTY CURB DETAILS FOR REFERENCE.
- 2.) SEE F.O.D.T. INDEX NO. 515 FOR OTHER CONNECTIONS.

* FOR OTHER TYPE CURBS, DIMENSIONS MAY BE ADJUSTED TO FIT.



NOTE: VARIATIONS IN GRADING ARE ACCEPTABLE IF GRADING DRAINS TO A POSITIVE OUTFALL.

MINIMUM STANDARDS FOR TYPICAL RESIDENTIAL GRADING CONTROL PLAN
 NOT TO SCALE