## CIVIL SITE PLANS FOR

# FIRST CHURCH OF CHRIST SCIENTIST PARKING LOT EXPANSION

5994 WEST NINE MILE ROAD PENSACOLA, FLORIDA 32526

# **INDEX OF DRAWINGS**

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C2 - SITE PLAN

C3 - GRADING PLAN

C4 - LANDSCAPE PLAN

C5 - CONSTRUCTION DETAILS

# OWNER INFORMATION/DEVLOPER

OWNER: FIRST CHRUCH OF CHRIST SCIENTIST

5994 WEST NINE MILE ROAD PENSACOLA, FLORIDA 32526

850-607-9605

PROPERTY REFERENCE #: 06-1S-31-4201-112-004

ZONING DESIGNATION: LDR FLUM CATEGORY: MU-S

#### GENERAL NOTES

- 1. All work shall comply with these specifications and applicable standards established by Escambia County. Where these Specifications and the County Standards deviate, the more stringent requirements shall prevail unless approved otherwise by the engineer of record.
- 2. The Contractor shall coordinate the work of the utility subcontractors to ensure that all utility installations proceed in a timely manner and to prevent conflicts in the installation of the water, sewer, electric power, and telephone lines.
- 3. All conditions and stipulations of the construction permits and the approvals issued by the Escambia County and Florida Department of Transportation shall be complied with in every detail.
- 4. This is not a survey, boundary information based upon a survey performed by NORTHWEST FLORIDA LAND SURVEING INC. (850-432-1052) Project #: 24176, dated 11-12-20.

#### GENERAL REQUIREMENTS GRADING AND DRAINAGE CONSTRUCTION

- 1. All areas to be cut or filled shall be cleared and grubbed. All rights-of-ways, easements, and the retention pond areas are to be cleared & grubbed. Clearing and grubbing shall be as per Section 110 of the 2020 FDOT Standard Specifications for Roads and Bridges..
- 2. All disturbed and/or exposed soil/dirt in the FDOT right-of-way shall shall be stabilized with bahia sod.
- 3. The County, its officers, and employees shall be held harmless from any damage to persons or property which might result from work or activity undertaken by the developer and authorized by the County.
- 4. THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988, FROM ESCAMBIA COUNTY GEODETIC CONTROL POINT STAMPED "ESC 4075" HAVING A PUBLISHED ELEVATION OF 109.05 FEET. BASED ON ESCAMBIA COUNTY, FLORIDA GPS NETWORK SURVEY PREFORMED BY BASKERVILLE DONOVAN, INC. DATED 10/15/97. SEE SHEETS C1 & C3 FOR BENCHMARK LOCATIONS.

BENCHMARK DATA:

BM~1 NAIL AND DISK LABELED REBOL/BATTLE ELEVATION= 125.68' (NAVD88)

BM~2 NAIL AND DISK LABELED REBOL/BATTLE ELEVATION= 123.65' (NAVD88)

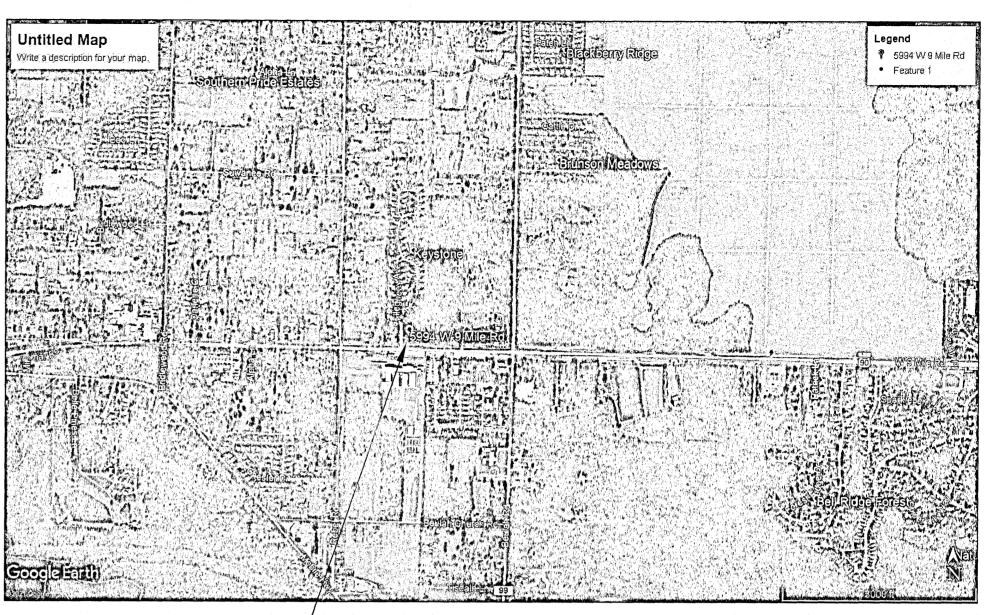
#### GENERAL REQUIREMENT OF GRADING AND DRAINAGE CONSTRUCTION (CONTINUED)

- 5. The project engineer (engineer of record) shall provide to Escambia As-Built record drawings for verification and approval by Escambia County one week prior to requesting a certificate of occupancy, or provide "As-Built Certification" that the project construction adheres to the permitted plans and specifications. As-Built drawings shall include topo of pond verifying volume, outlet structure details, drainage structure modifications, and hydrology study on as-built data." The As-built Certification or the As-Built record drawings must be signed, sealed and dated by a registered Florida Professional Engineer.
- 6. The contractor shall be responsible for installation of sediment control structures prior to the start of construction and maintenance/repairs during construction as required to retain all sediments and erosion on the site of development. Improper sediment control measures may result in Code Enforcement Violation.
- 8. All disturbed areas which are not paved are to be stabilized per note 2 above.
- Contractor shall maintain record drawings during construction which show As-Built
  conditions of all work including piping, drainage structures, topo of pond, outlet structures,
  dimensions, etc. These record drawings are to be provided to the Project Engineer prior
  to requesting final inspection.
- 10. No deviations or revisions from these plans by the contractor shall be allowed without prior approval from both the design engineer and the Escambia County Engineer.
- 11. The contractor shall notify FDOT 48 hours in advance prior to initiating any work in the state rights-of-way.
- 12. The contractor shall obtain a permit from the Escambia Road & Bridge Department and/or Florida Department of Transportation prior to commencing any work in the County or FDOT R/W.
- 13. All aspects of the stormwater/drainage components and/or transportation components shall be completed prior to issuance of a final certificate of occupany.
- 14. The owner or his agent shall arrange/schedule with the County a final inspection of the development upon completion and any intermediate inspections at 850-595-3472. As-built certification is required prior to request for final inspection/approval.
- 15. Any damage to existing roads during construction will be repaired by the developer prior to final "as-built" sign off from the county.

DESIGNED AND DRAWN BY
ENVIRONMENTAL ENGINEERING SERVICES

CERTIFICATE OF AUTHORIZATION #: 6515 GREGORY ALLEN CAMPBELL P.E. FLORIDA LICENSE #: 38572

2120 MARIA CIRCLE PENSACOLA, FL. 32514 (850) 982-8606



PROJECT LOCATION -



#### LAND DISTURBANCE ACTIVITIES

- 1. All trees shall remain onsite and any proposed land clearing or land disturbance activities, including the placement of fill/fill materials, grading, excavating, etc. shall not occur until such time as appropriate permit(s) are issued for such site work.
- 2. All land shall remain vegetated & in its natural state until such time as DRC Site Plan & any additional permitting approvals allow for such, per code. All tree removal, land clearing, placement of fill materials, or other Land Disturbing Activities, etc. shall be permitted or otherwise approved by the County prior to initiation.

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#### UTILITY CONSTRUCTION

- 1. Location of existing utilities shown on plans are approximate only and it shall be the responsibility of the Contractor to verify the location before construction. Failure of the plans to show the existence of any underground utilities, structures, etc., shall not relieve the Contractor from the responsibility of locating, preserving and protecting said utility or structures.
- 2. The Contractor shall notify the superintendents of the water, sewer, telephone and power companies 10 days in advance, that he intends to start work in a specific area. The owner disclaims any responsibility for the support and protection of sewers, drains, water pipes, gas pipes, conduits of any kind, utilities or other structures owned by the City, County, State or by private or public utilities legally occupying any street, alley, public place or right-of-way.
- 3. Notify Sunshine utilities 96 hours in advance prior to digging within right-of-way at 1-800-432-4770.
- 4 All work shall comply with applicable standards established by ECUA, Escambia County Health Department, Florida Department of Environmental Protection.

### FLOOD STATEMENT:

THE PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE "X", OUTSIDE 0.2% ANNUAL CHANCE OF FLOOD, AS DETERMINED FROM FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA (UNINCORPORATED AREAS), MAP NUMBER 12033C 0270 G, REVISED COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0270G, MAP REVISION DATED SEPTEMBER 29, 2006.

FIRST CHURCH OF CHRIST SCIENTI PARKING LOT EXPANSION 5994 W NINE MILE ROAD

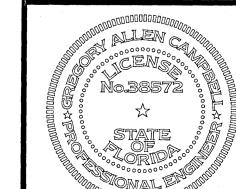
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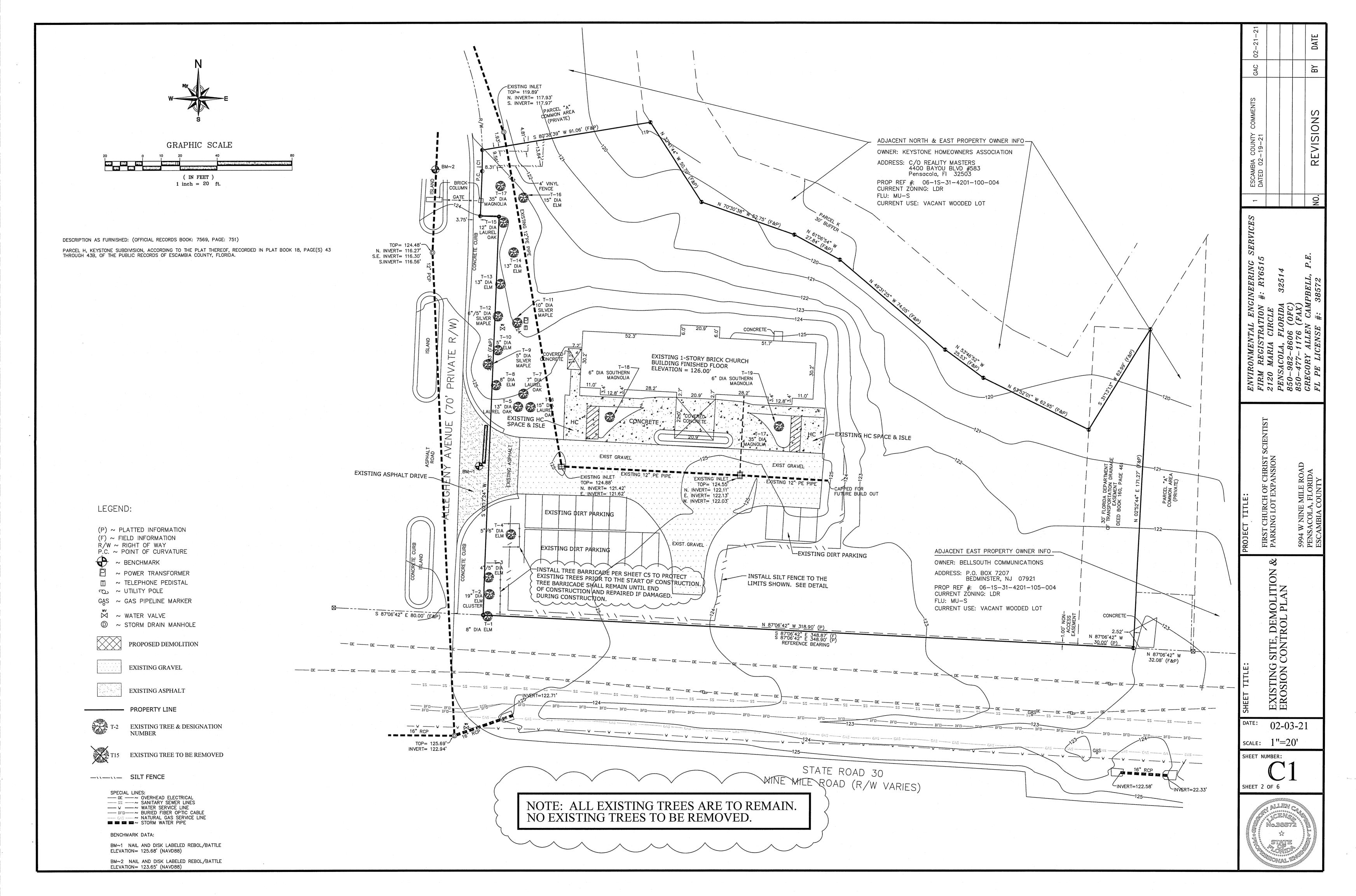
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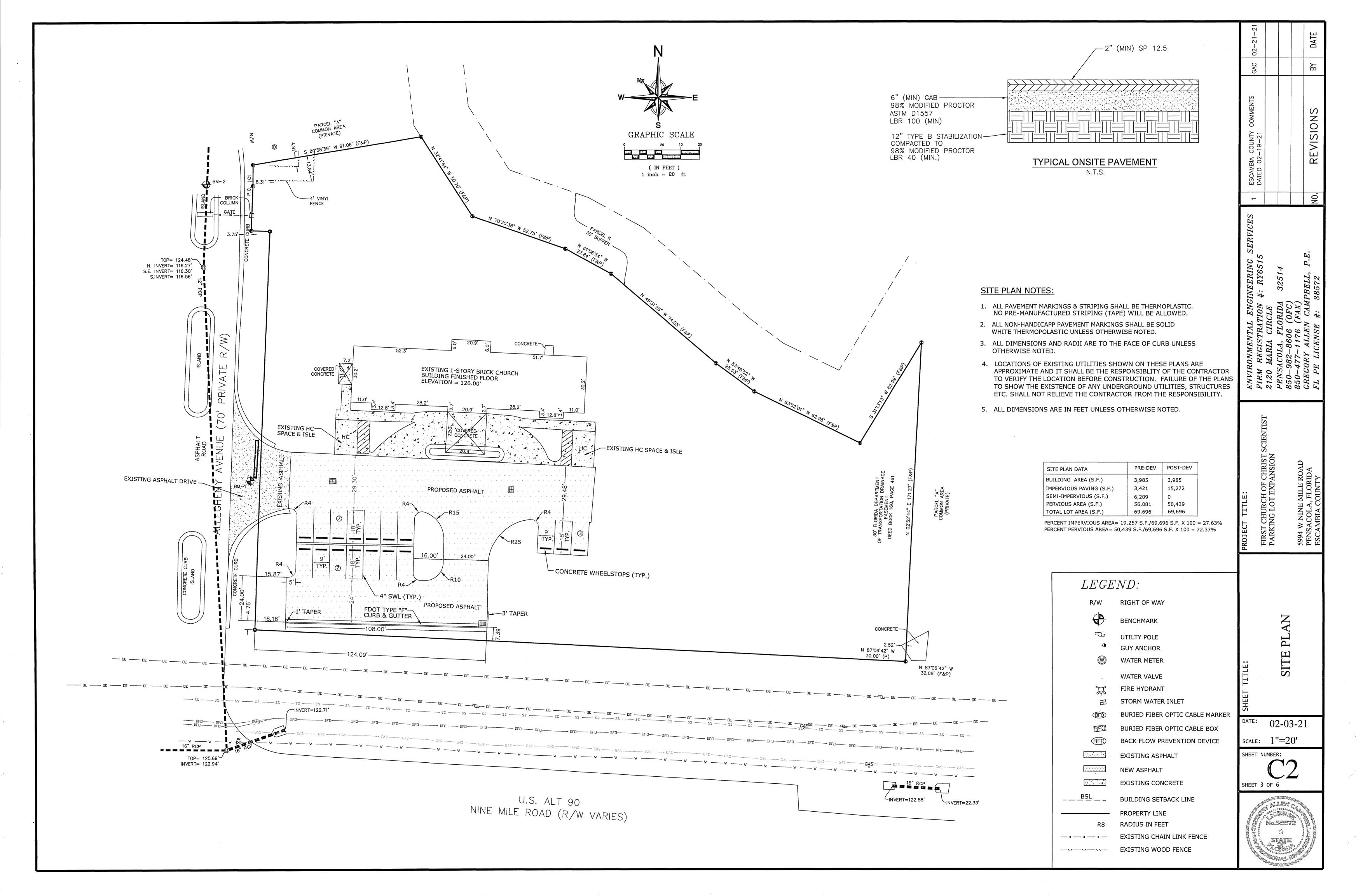
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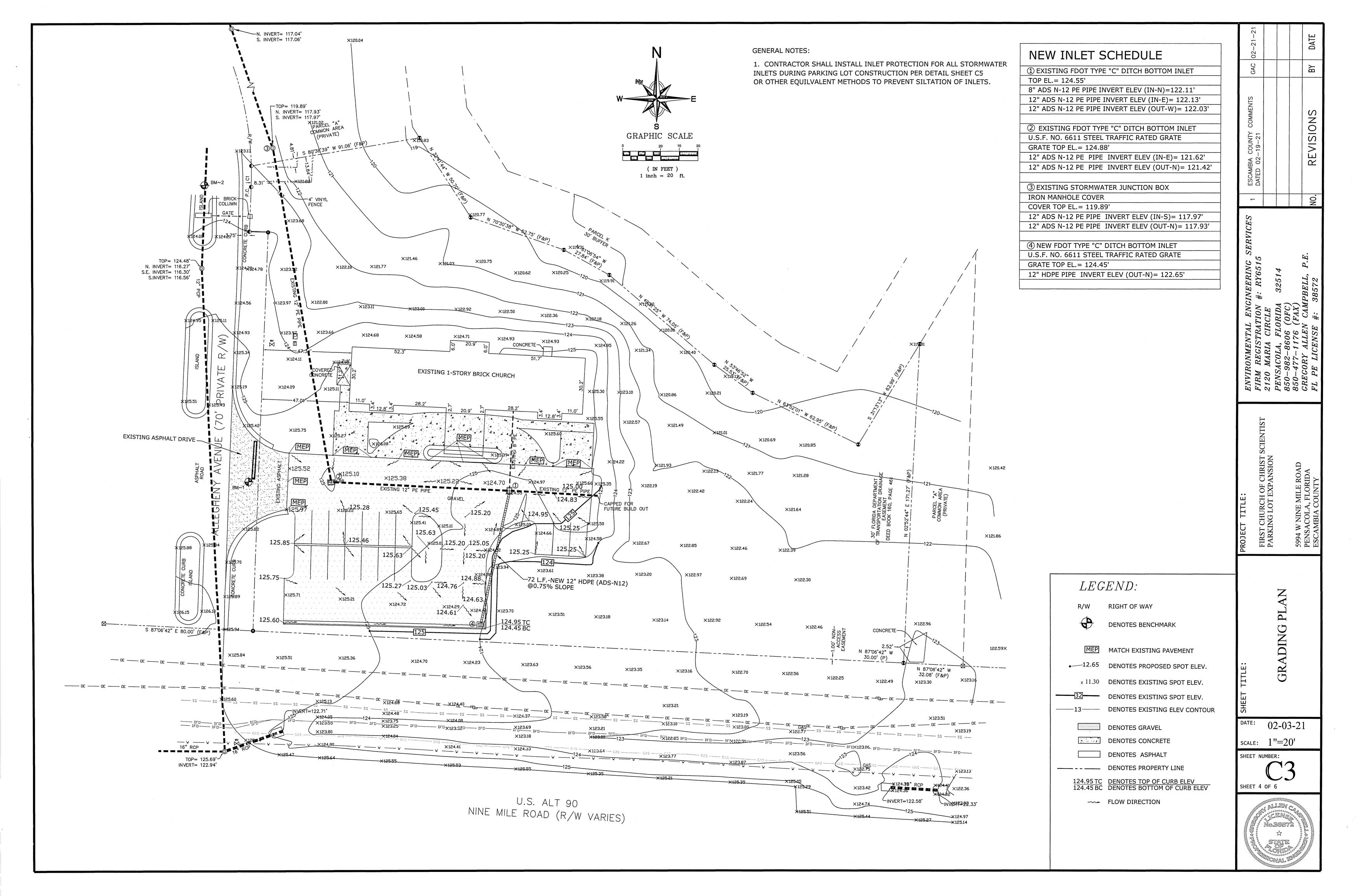
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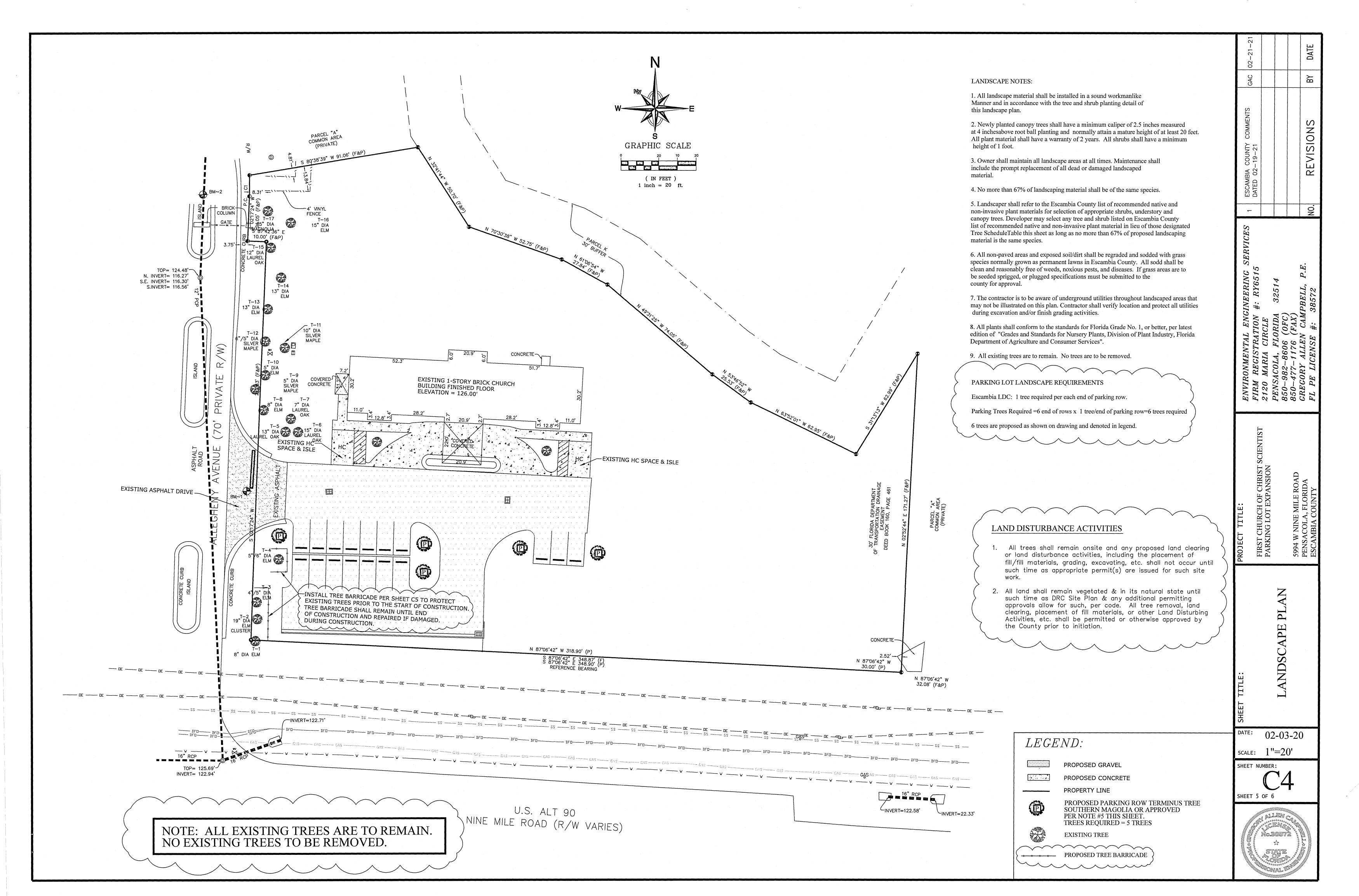
SHEET 1 OF 6

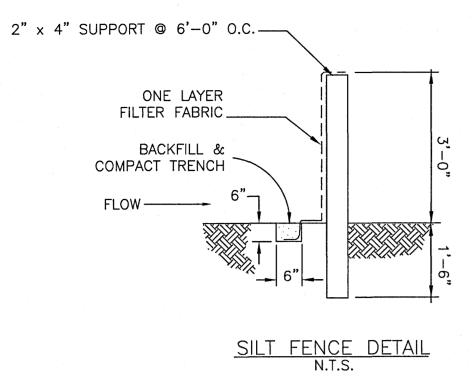










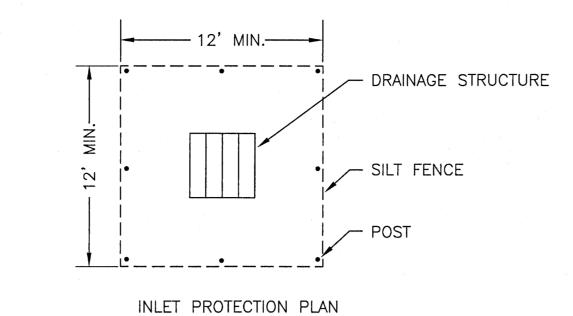


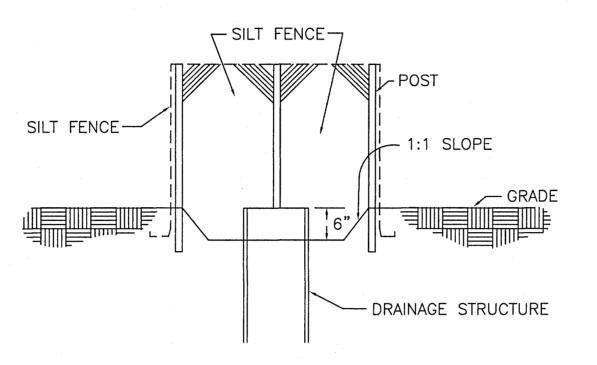
#### SILT FENCE NOTES

1. SILT FENCE SHALL BE ERECTED
AND MAINTAINED AROUND ALL DRAINAGE
STRUCTURES UNTIL DRAINAGE AREAS ARE
PAVED OR STABILIZED TO PREVENT EROSION.
SILT FENCE SHALL BE IN ACCORDANCE WITH
DETAILS, AS SHOWN ON THIS SHEET.

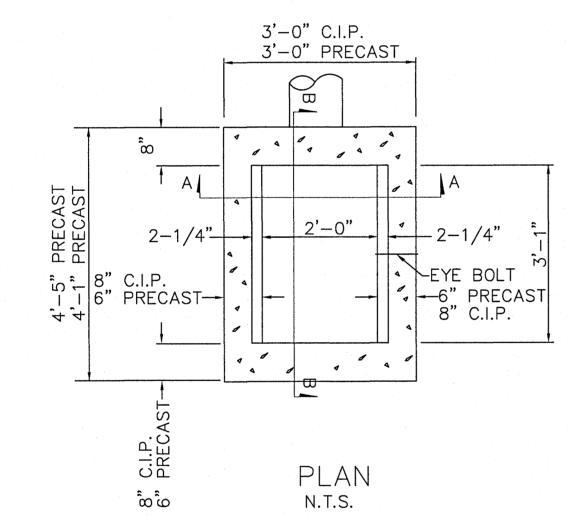
2. FABRIC MAY BE ATTACHED TO POSTS BY STAPLES, NAILS, WIRE, CORD OR POCKETS. MINIMUM NUMBER OF FASTENERS SHALL BE 5, EQUALLY SPACED. NAILS SHALL BE 14 GAUGE, 1" LONG, 3/4" BUTTON HEADS. STAPLES SHALL BE 17 GAUGE, 3/4" WIDE, 1/2" LONG LEGS.

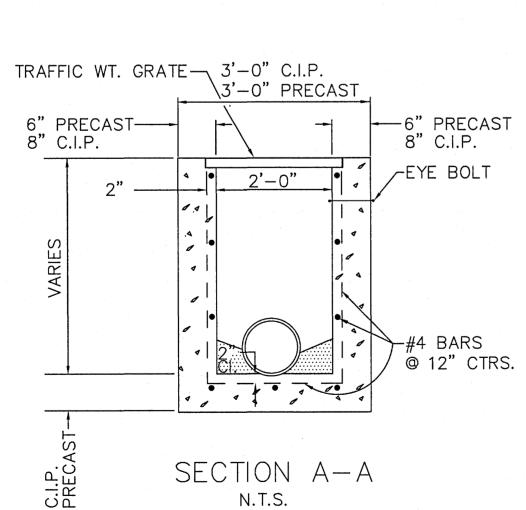
3. EROSION CONTROL IS TO BE CONSTRUCTED FIRST, STORMWATER POND IS SECOND, AND BOTH ARE TO BE IN-PLACE BEFORE ANY OTHER CONSTRUCTION IS BEGUN.

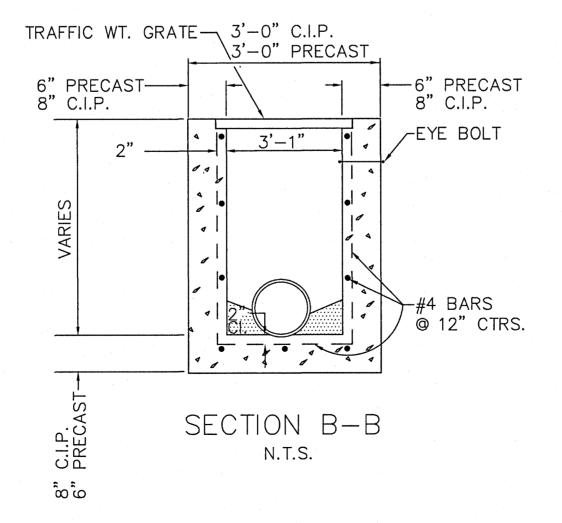




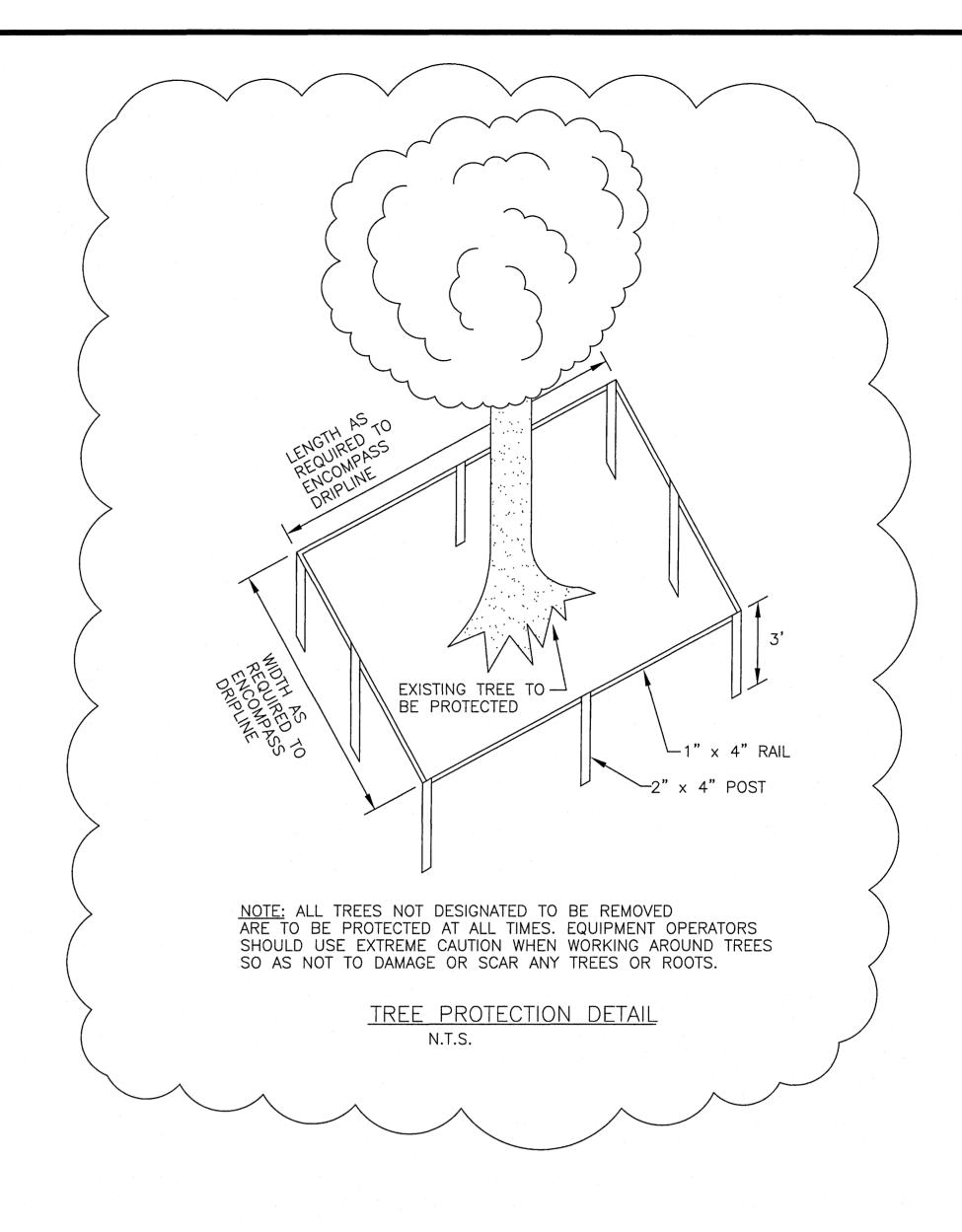
INLET PROTECTION DETAIL SECTION

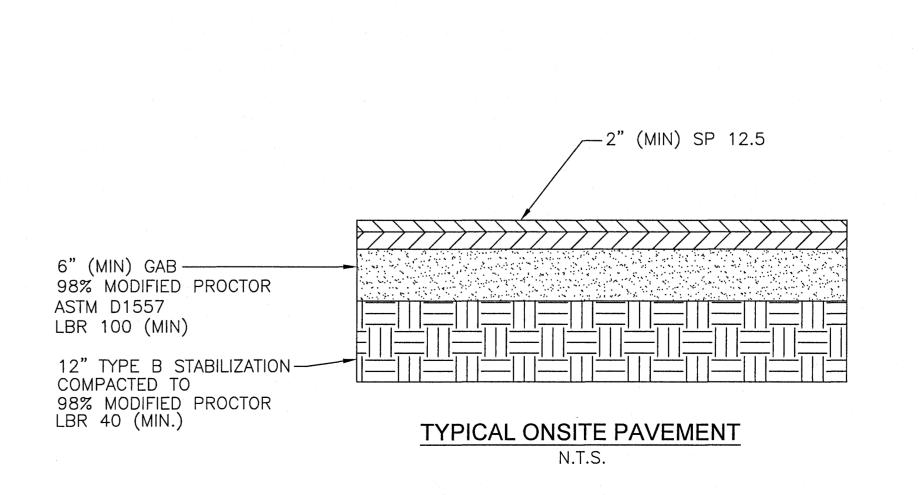


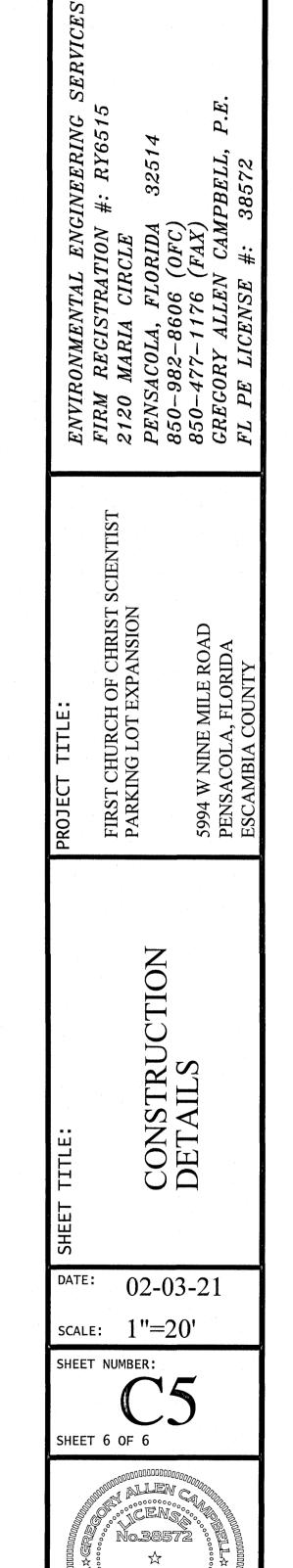




TYPE 'C' INLET N.T.S.







DATE

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REVISIONS