

HOLSBERY GARDENS

PROPERTY I.D. #08-1S-30-1003-006-007

9906 HOLSBERY ROAD

ESCAMBIA COUNTY, FLORIDA

HOLSBERY GARDENS, LLC

4633 SMOKEY ROAD

GULF BREEZE, FL 32563

EMAIL: tomwaier@gmail.com

ZONED: HDMU

USE: MU-U

SUBMITTED: JANUARY 11, 2021

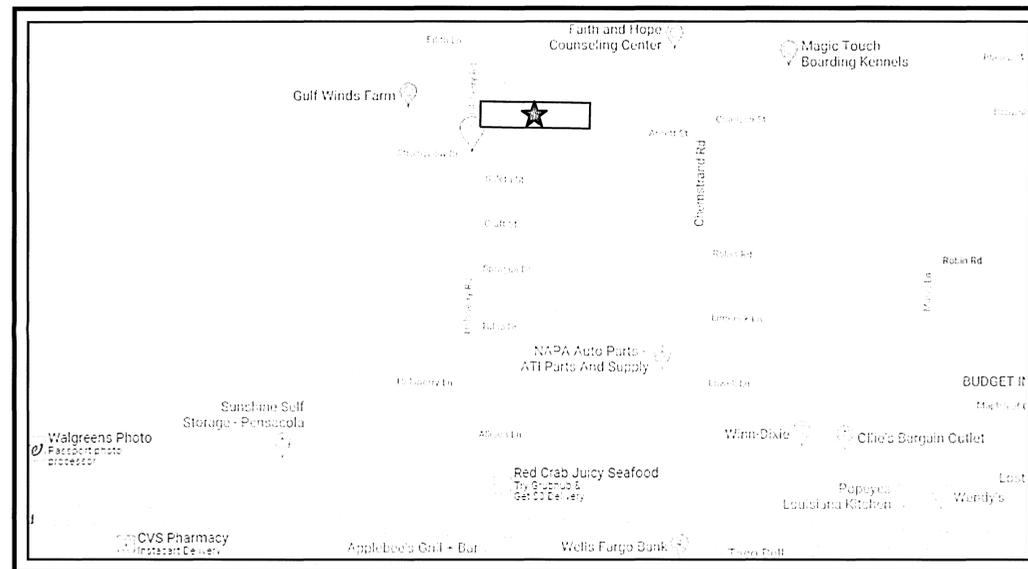
RESUBMITTED: APRIL 22, 2021

Approved ESCAMBIA COUNTY DRC PLAN REVIEW	
DRC Chairman Signature	<i>Lin Hampton</i> 9-9-21 Date
Printed Name:	<i>Sebastian Hampton</i>
Development Services Director of Districts	

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

CONSTRUCTION NOTES

- ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD. PONDS AND SWALES TOPS AND SIDES SHALL BE SODDED.
- THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
- DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW AS-BUILT CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND, OUTLET STRUCTURES, DIMENSIONS, ETC. THESE RECORD DRAWINGS ARE TO BE PROVIDED TO THE PROJECT ENGINEER PRIOR TO REQUESTING FINAL INSPECTION.
- THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY ENGINEER AN INSPECTION OF THE EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO CONSTRUCTION, UNDERGROUND DRAINAGE STRUCTURES PRIOR TO BURIAL, AND THE FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION.
- EROSION SHALL BE CONTROLLED BY THE USE OF A HAY BALE BARRIER/SILT FENCE AS SHOWN ON PLANS AND SHALL BE SETUP PRIOR TO COMMENCING CONSTRUCTION. THE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. AFTER PLACEMENT OF THE EROSION CONTROL BARRIER, THE RETENTION AREA IS TO BE CONSTRUCTED. UPON COMPLETION OF THE PROJECT, THE RETENTION AREA SHALL BE CLEANED OF SILT, STABILIZATION OF ALL DISTURBED AREAS SHALL BE ACCOMPLISHED, AND THE RETENTION AREA IS TO BE RECONFIGURED TO DESIGN CROSS-SECTION, AND GRASSED.
- ALL NEW ROOF DRAINS, DOWNSPOUTS, OR GUTTERS FOR FUTURE RESIDENTIAL STRUCTURES ARE TO BE ROUTED TO CARRY ALL STORM WATER TO RETENTION/DETENTION AREAS.
- FINISHED FLOOR ELEVATION FOR FUTURE BUILDINGS ON LOTS (EXCLUDING BASEMENTS) SHALL BE A MIN. OF 8" (SODDED AROUND BUILDING) OR 10" (UNSODDED) ABOVE FINISHED GRADE OF LOTS, UNLESS OTHERWISE DICTATED BY FLOOD ZONE. FINISHED GRADES SHALL SLOPE FROM FOUNDATION 2 1/2" WITHIN 10 FEET (2% GRADE) OR LESS, EXCLUDING PATIOS, SIDEWALKS, AND DRIVEWAYS THEN SLOPED AT A MIN. OF 1/16" PER FOOT (0.5% GRADE) TO A POSITIVE OUTFALL.
- THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION, OR PROVIDE "AS-BUILT" CERTIFICATION OR THE CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATION. THE "AS-BUILT" CERTIFICATION OR "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED, AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
- CONTRACTOR SHALL NOTIFY SUNSHINE ONE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770.
- ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION.
- NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT THE DESIGN ENGINEER BOTH PRIOR APPROVAL FROM AND THE COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
- RIGHT-OF-WAY SHOULDER STABILIZATION SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST ADDITION).
- RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORM WATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORM WATER DURING CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
- THE DEVELOPER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS. AS-BUILT CERTIFICATION IS REQUIRED PRIOR REQUEST FOR FINAL INSPECTION/APPROVAL.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A UTILITY PERMIT FROM THE COUNTY ROAD AND BRIDGE DEPARTMENT PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES WITHIN THE COUNTY'S RIGHT OF WAY.
- THE CONTRACTOR IS TO PROVIDE IRRIGATION FOR ALL LANDSCAPE AREAS, INCLUDING PARKING ISLANDS AND LANDSCAPE BUFFERS.
- NO POLE LIGHTING IS TO BE INSTALLED WITHOUT REVIEW BY THE PLANNING AND ZONING DEPARTMENT.
- THIS PLAN DOES NOT INCLUDE ANY EXTERIOR LIGHTING. IF POLE LIGHTS ARE PLANNED, THEY MUST BE APPROVED BY THE PLANNING AND ZONING DEPARTMENT UNDER A SEPARATE PERMIT. A LIGHTING PLAN WITH FIXTURE CUT SHEETS AND PHOTOMETRIC PLAN WILL BE REQUIRED. LIGHTING SHALL BE INSTALLED AS NOT TO SHINE DIRECTLY ON ADJACENT PROPERTY, OR ON TO RIGHT-OF-WAY. LIGHTING SHALL AVOID ANNOYANCE FROM BRIGHTNESS AND GLARE. ELECTRICAL AND INSTALLATION PERMITS MUST BE ACQUIRED FROM THE COUNTY BEFORE CONSTRUCTION OF ANY EXTERIOR LIGHTS.
- CONTRACTOR MUST INSTALL AN IRRIGATION SYSTEM TO PROVIDE WATER TO ALL LANDSCAPE MATERIALS THAT ARE INSTALLED.
- A SEPARATE PERMIT IS REQUIRED FOR ALL SIGNAGE.
- ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.



VICINITY MAP

APPROXIMATE SCALE: 1" ~ 500'

LAND CLEARING NOTE:

ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, & ANY OTHER "LAND DISTURBING ACTIVITIES" SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.

LEGAL DESCRIPTION:

DESCRIPTION: (OFFICIAL RECORDS BOOK 7505, PAGE 1905)

COMMENCE AT THE SOUTHEAST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA;
 THENCE GO NORTH 89 DEGREES 40 MINUTES 16 SECONDS WEST FOR A DISTANCE OF 1304.52 FEET TO THE EASTERLY RIGHT OF WAY LINE OF HOLSBERY ROAD (58' FOOT RIGHT-OF-WAY);
 THENCE GO NORTH 00 DEGREES 00 MINUTES 17 SECONDS WEST ALONG SAID EASTERLY RIGHT OF WAY LINE FOR A DISTANCE OF 165.00 FEET TO AN EXISTING 4 INCH CONCRETE MONUMENT WITH A BRASS DISK LABELED KJM #4655, SAID MONUMENT BEING THE NORTHWEST CORNER OF THAT CERTAIN UNRECORDED SUBDIVISION KNOWN AS HOLSBERY MOBILE HOME ESTATES, DATED JANUARY, 2001;
 THENCE CONTINUE NORTH 00 DEGREES 00 MINUTES 17 SECONDS WEST ALONG SAID EASTERLY RIGHT OF WAY FOR A DISTANCE OF 150.00 FEET TO THE POINT OF BEGINNING;
 THENCE CONTINUE NORTH 00 DEGREES 00 MINUTES 17 SECONDS WEST ALONG SAID EASTERLY RIGHT OF WAY LINE A DISTANCE OF 150.00 FEET;
 THENCE DEPARTING SAID RIGHT OF WAY GO SOUTH 89 DEGREES 40 MINUTES 16 SECONDS EAST ALONG THE SOUTH LINE OF THAT CERTAIN PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 3205, PAGE 388, FOR A DISTANCE OF 639.69 FEET;
 THENCE GO SOUTH 00 DEGREES 17 MINUTES 48 SECONDS WEST ALONG THE WEST LINE OF THAT CERTAIN PARCEL AS DESCRIBED IN OFFICIAL RECORDS BOOK 1079, PAGE 134, FOR A DISTANCE OF 150.00 FEET;
 THENCE GO NORTH 89 DEGREES 40 MINUTES 16 SECONDS WEST FOR A DISTANCE OF 638.90 FEET TO THE POINT OF BEGINNING.

POST OFFICE CONTACT NOTES:

IN ORDER FOR THE USPS TO MAKE CONTACT WITH THE BUILDER EARLY IN THE PROCESS, THEIR CONTACT INFORMATION WOULD BE VERY HELPFUL IF PROVIDED. DELIVERY WILL BEGIN IN THE NEWLY DEVELOPED AREA ONLY UPON APPROVAL FROM THE USPS REPRESENTATIVE AND ONLY TO LOCATIONS AND EQUIPMENT PROVIDED BY THE USPS. STREET DELIVERY WILL BE HELD UNTIL SUCH TIME AS AN APPROVED SITE LOCATION IS AGREED UPON.

CONTACT:
 ANDRA BRIDGES
 GROWTH MANAGEMENT COORDINATOR | GFA DISTRICT | JACKSONVILLE FL 32203-9998
 OFFICE HOURS: MON-FRI 8:00 AM - 17:00 PM
 PHONE: 904-366-4924 FAX: 904-359-2979 EMAIL: ANDRA.R.BRIDGES@USPS.GOV

UTILITY CONTACTS

GULF POWER 500 BAYFRONT PARKWAY PENSACOLA, FL 32520-0316	CONTACT: MR. DON SCHOFIELD PHONE: (850) 444-6555 FAX: (850) 444-6432
COX CABLE 2205 LaVISTA AVE. PENSACOLA, FL 32504	CONTACT: RICHARD EMMONS PHONE: (850) 477-2695 FAX: (850) 479-3912
EMERALD COAST UTILITIES AUTHORITY 9500 STURDEVANT STREET 2ND FLOOR PENSACOLA, FL 32514	PHONE: (850) 969-3310
ENERGY SERVICES GAS 1625 ATWOOD DR. PENSACOLA, FL 32504	CONTACT: JOHN DeMARS PHONE: (850) 474-5322 FAX: (850) 474-5330
BELLSOUTH 605 W. GARDEN ST. PENSACOLA, FL 32501	CONTACT: SHARON BLACKMAN PHONE: (850) 436-1662
SPRINT	PHONE: (850) 599-1582
MCI	PHONE: 1-800-624-9675
AT&T	PHONE: 1-800-252-1133
SUNSHINE UTILITIES (ONE CALL)	PHONE: 1-800-432-4770

The parcel shown for development is located within the following flood zone(s) as detailed by FEMA FIRM (Flood Insurance Rate Map) information described below:

Flood zone(s)	Community number	Map number	Panel number(s)	Suffix	Map Revision Date
X	120080	12033C	0295	G	9/29/2006

If site lies within more than one flood zone, please delineate & label each zone & include information in legend. Include all FEMA Panel #'s parcel falls within.

PARKING CALCULATION:

DUPLICES =
 2.0 SPACE PER UNIT (24 PROPOSED)
 24 * 2 = 48 SPACES

TOTAL PARKING REQUIRED: 48 SPACES

TOTAL PROVIDED: 48 SPACES
 46 STANDARD SPACES
 2 HANDICAPPED SPACE

NOTE: HANDICAP PARKING SIGNS SHALL CONFORM TO FDOT ROADWAY AND TRAFFIC DESIGN STANDARD INDEX NUMBER 17355, SHEET 3 OF 8, FTP-25 SIGN.

NOTE: REGULAR PARKING SPACES ARE 9' X 18'.
 HANDICAPPED PARKING SPACES ARE 12' X 18' WITH A 5' AISLE.

NOTE: NON-HANDICAP PARKING SPACES LINES ARE TO BE WHITE.

SCHEDULE OF DRAWINGS

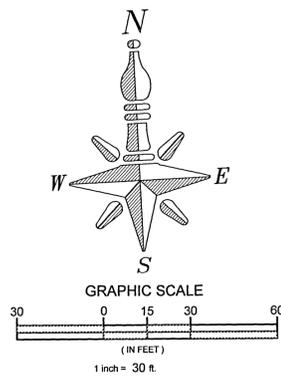
- C0 ~ TITLE PAGE
- C1 ~ EXISTING CONDITION/DEMO PLAN
- C2 ~ DIMENSION PLAN
- C2.1 ~ SITE DETAILS
- C3 ~ GRADING PLAN
- C4 ~ UTILITY PLAN
- C4.1 ~ LIFT STATION DETAILS
- C4.2 ~ ECUA DETAILS (FOR REF)
- C5 ~ LANDSCAPE PLAN



GARY S. BISHOP, P.E.
 CONSULTING ENGINEERING
 6010 JAMESON CIRCLE PACE FL 32571
 PHONE: (850) 712-7618
 E-MAIL: gsbishop@yahoo.com & gsbishop_engineering@gmail.com

HOLSBERY GARDENS
 PROP I.D. #08-1S-30-1003-006-007
 9906 HOLSBERY ROAD
 ESCAMBIA COUNTY, FLORIDA

DESIGNED BY: GSB	CHECKED BY: GSB	DATE: JANUARY 2021	SCALE: AS NOTED
PROJECT NO:			
FILE NO: 2020 HOLSBERY_SITE			
SHEET NO: C1			



LEGEND

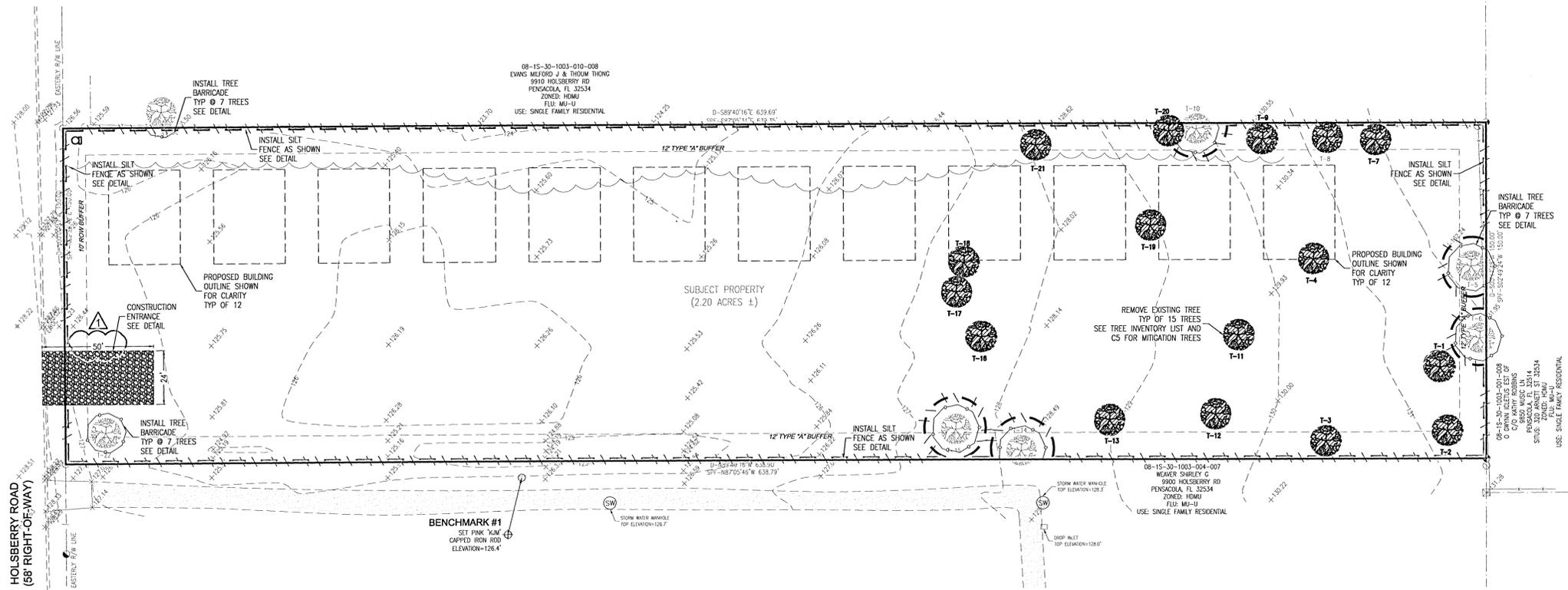
- ⊗ FOUND 4"x4" CONCRETE MONUMENT LS #4655
- ⊗ FOUND UNMARKED 4"x4" CONCRETE MONUMENT WITH DISK
- FOUND 1/2" CAPPED IRON ROD LB #6832
- FOUND 5/8" CAPPED IRON ROD LS #4082
- FOUND ALLOY CAPPED IRON ROD LS #4655
- FOUND ILLEGIBLE 1/2" CAPPED IRON ROD
- FOUND PLAIN 1/2" IRON ROD
- FOUND PLAIN 1/2" "PIG TAIL" IRON ROD
- SET 1/2" CAPPED IRON ROD LB #6298

BENCHMARK DATA:

BM-1 EL=	SET PINK "KJM" CAPPED IRON ROD 126.40'
BM-2 EL=	SET PINK "KJM" CAPPED IRON ROD 127.50'

BENCHMARK #2
SET PINK "KJM" CAPPED IRON ROD
ELEVATION=127.5'

BENCHMARK #1
SET PINK "KJM" CAPPED IRON ROD
ELEVATION=126.4'



LAND CLEARING NOTE:

ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, & ANY OTHER "LAND DISTURBING ACTIVITIES" SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.

ESCAMBIA COUNTY LDC SECTION 2-3 TREE PROTECTION AND PRESERVATION.

2-3.1 APPROVAL REQUIRED. UNLESS EXEMPT FROM PROTECTION AS PROVIDED IN THIS ARTICLE, NO PERSON SHALL REMOVE OR OTHERWISE WILLFULLY CAUSE HARM TO ANY OF THE FOLLOWING TREES ON EITHER PUBLIC OR PRIVATE PROPERTY, INCLUDING RIGHTS-OF-WAY, WITHOUT FIRST OBTAINING APPROPRIATE AUTHORIZATION FROM THE COUNTY:

- (A) 12-INCH DIAMETER. ANY TREE 12 INCHES OR GREATER IN DIAMETER AT BREAST HEIGHT (DBH).
- (B) SAND LIVE OAKS. ANY SAND LIVE OAK (QUERCUS GEMINATA) TREE HAVING FIVE OR MORE TOTAL STEMS (TRUNKS), OR HAVING ANY THREE OR MORE STEMS EACH THREE INCHES OR GREATER IN DIAMETER (DBH), AND LOCATED ON PENSACOLA BEACH OR PERDIDO KEY, OR WITHIN ANY SHORELINE PROTECTION ZONE.
- (C) REQUIRED TREES. ANY TREE PLANTED OR PRESERVED TO MEET TREE REPLACEMENT OR LANDSCAPE REQUIREMENTS OF THE LDC, OR OTHER SPECIFIC CONDITIONS OF COUNTY APPROVAL.
- (D) HERITAGE TREES. A PROTECTED TREE 60 INCHES OR GREATER IN DIAMETER (DBH), SUCH LARGE MATURE TREES PROVIDING PROPORTIONATELY MORE OF THE BENEFITS ASSOCIATED WITH TREES, AND OFTEN DEFINING THE LOCAL LANDSCAPE, SHALL HAVE A GREATER PROTECTED STATUS AS PRESCRIBED IN THIS ARTICLE.

2-3.2 PROTECTION AREAS. THE FOLLOWING AREAS ASSOCIATED WITH PROTECTED TREES ARE AFFORDED ADDITIONAL PROTECTION:

- (A) CRITICAL ROOT ZONE. THE CRITICAL ROOT ZONE (CRZ) IS REPRESENTED BY A CIRCLE, CENTERED ON THE TREE TRUNK AND HAVING A RADIUS OF ONE FOOT FOR EACH ONE INCH OF TRUNK DIAMETER (DBH).
- (B) STRUCTURAL ROOT PLATE. THE STRUCTURAL ROOT PLATE IS REPRESENTED BY A CIRCLE, CENTERED ON THE TREE TRUNK AND HAVING A RADIUS OF ONE-HALF FOOT FOR EACH INCH OF TRUNK DIAMETER (DBH), BUT NO LESS THAN SIX FEET AND NO MORE THAN TEN FEET.

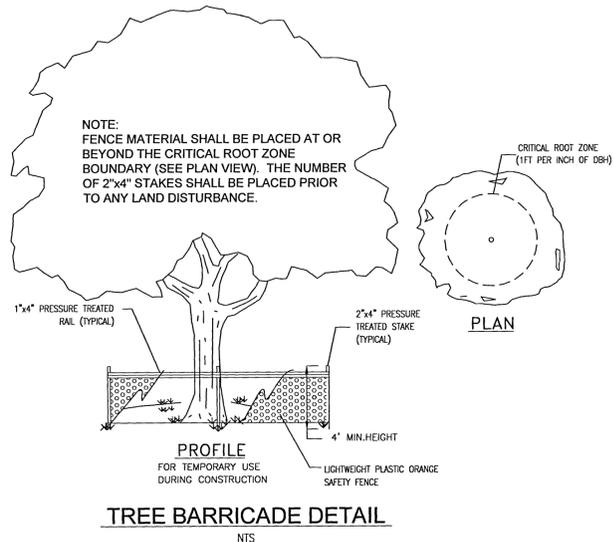
2-3.3 PRESERVATION. FOR THE PURPOSES OF THIS SECTION, A TREE IS NOT CONSIDERED PRESERVED IF THE ROOT ZONE AND CANOPY IMPACT LIMITS ARE EXCEEDED. REMOVAL OF SUCH IMPACTED TREES IS NOT REQUIRED. TREE PRESERVATION SHALL COMPLY WITH THE FOLLOWING IMPACT LIMITS:

- (A) ROOT ZONE. THE CRITICAL ROOT ZONE IS, AND WILL REMAIN, SUBSTANTIALLY UNDISTURBED. ALTHOUGH AN UNDISTURBED CIRCULAR AREA CENTERED ON THE TREE GENERALLY ASSURES LESS CRITICAL ROOT LOSS, MODIFICATIONS TO CRZ PERIMETERS RESULTING IN NON-CONCENTRIC, IRREGULAR, AND/OR SMALLER AREAS ARE ACCEPTABLE FOR TREE PRESERVATION IF EITHER OF THE FOLLOWING CONDITIONS ARE MET:
 1. MAXIMUM DISTURBANCE. THE MODIFIED ROOT ZONE INCLUDES AT LEAST 50 PERCENT OF THE CONCENTRIC CRZ, CONTAINS NO LESS TOTAL CONTIGUOUS AREA THAN THE CONCENTRIC CRZ, AND INCLUDES NO DISTURBANCE OR ENCROACHMENTS BY IMPROVEMENTS WITHIN THE STRUCTURAL ROOT PLATE AREA.
 2. EXISTING CONDITIONS. THE TREE HAS DEMONSTRATED LONG-TERM VIABILITY WITHIN THE SAME SUB-STANDARD ROOT ZONE AND THAT AREA WILL NOT BE FURTHER REDUCED OR ADVERSELY IMPACTED. IN SOME CASES A CERTIFIED ARBORIST MAY BE REQUIRED TO DELINEATE THE FUNCTIONING ROOT ZONE AND CONFIRM AVOIDANCE OF FURTHER IMPACTS.
- (B) CANOPY. NO MORE THAN 25 PERCENT OF THE CANOPY HAS BEEN OR WILL BE REMOVED AND THE PRUNING IS DONE ACCORDING TO ANSI STANDARDS (A300).

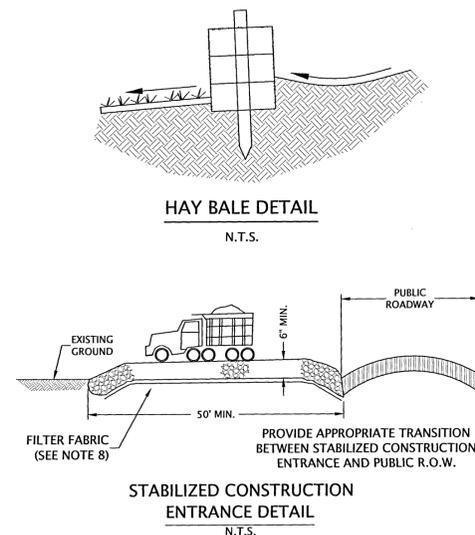
2-3.4 PROTECTIVE BARRIERS. TREES (AND OTHER VEGETATION) DESIGNATED FOR PRESERVATION ACCORDING TO AN APPROVED SITE DEVELOPMENT PLAN SHALL BE PROTECTED FROM ALL POTENTIALLY HARMFUL ACTIVITY DURING DEVELOPMENT BY THE TEMPORARY INSTALLATION OF PROTECTIVE BARRIERS.

(A) CONSTRUCTION BARRIERS SHALL BE CONSTRUCTED OF CHAIN LINK FENCE, ORANGE LAMINATED PLASTIC FENCING, OR WOOD POSTS AND RAILS, CONSISTENT WITH PROFESSIONAL ARBORICULTURAL PRACTICES, AND SHALL BE INSTALLED ALONG THE PERIMETER OF ALL REQUIRED PRESERVE AREAS PRIOR TO ANY LAND CLEARING, DEMOLITION, GRADING, OR CONSTRUCTION.

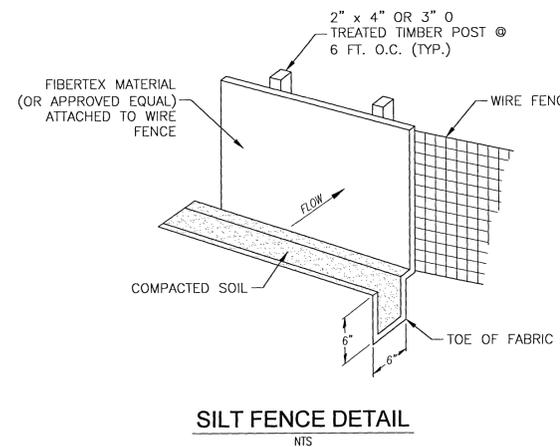
(B) ACTIVITY WITHIN. NO POTENTIALLY HARMFUL ACTIVITY SHALL TAKE PLACE WITHIN THE PROTECTIVE BARRIER. HARMFUL ACTIVITIES INCLUDE BUT NOT LIMITED TO GRADE CHANGE, TRENCHING, COMPACTION, GRUBBING OR ROOT RAKING. ACTIVITIES WITHIN BARRIERS OR CHANGES IN BARRIER LOCATION SHALL BE SPECIFICALLY APPROVED BY THE COUNTY.



TREE BARRICADE DETAIL
N.T.S.



STABILIZED CONSTRUCTION ENTRANCE DETAIL
N.T.S.



SILT FENCE DETAIL
N.T.S.

TREE INVENTORY			
Tree #	Size	Type	Remove/Protect
T-1	31	WATER OAK	REMOVE
T-2	16.5	LAUREL OAK	REMOVE
T-3	27.8	DBL WATER OAK	REMOVE
T-4	26.5	WATER OAK	REMOVE
T-5	37.2	QUAD LIVE OAK	PROTECT
T-6	26	LIVE OAK	PROTECT
T-7	16.5	WATER OAK	REMOVE
T-8	18	WATER OAK	REMOVE
T-9	15	LIVE OAK	REMOVE
T-10	21.5	LIVE OAK	PROTECT
T-11	23.5	WATER OAK	REMOVE
T-12	22	LAUREL OAK	REMOVE
T-13	17.5	WATER OAK	REMOVE
T-14	47.5	LIVE OAK	PROTECT
T-15	52	LIVE OAK	PROTECT
T-16	24	LIVE OAK	REMOVE
T-17	22	LIVE OAK	REMOVE
T-18	17	WATER OAK	REMOVE
T-19	24	LIVE OAK	REMOVE
T-20	22	WATER OAK	REMOVE
T-21	20	WATER OAK	REMOVE
T-22	38.5	LIVE OAK	PROTECT
T-23	40	LIVE OAK	PROTECT

TREE TABLE NOTES:
PROTECT: INDICATES TREE CONSIDERED PROTECTED BY THE LDC AND IS PROPOSED TO REMAIN ONSITE UPON DEVELOPMENT. CONTRACTOR SHALL INSTALL TREE BARRICADES PER TREE BARRICADE DETAIL IN THIS PLAN SET.

MITIGATION REQUIREMENTS:
TOTAL CALIPER OF PROTECTED TREE REMOVAL IS 326" REPLACEMENT RATIO 50% OF INCHES = 326" x 0.5 = 163" PER ESCAMBIA COUNTY LDC SECTION 2.5.2(C) MITIGATION PLANTINGS LIMITED TO 25" PER DEVELOPED ACRE
TOTAL DEVELOPMENT AREA 2.20 AC:
2.20 x 25" = 55" MITIGATION REQ'D
PLANTING OPTIONS:
2.5" TREES = 55" / 2.5" = 22 MITIGATION TREES
REQUIRED W/ MIN 2.5" CALIPER

TREE PROTECTION NOTE:
ALL ADEQUATE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.

REVISIONS

NO.	DATE	DESCRIPTION
1	01-12-2021	

ESCAMBIA COUNTY RESUBMITTALS

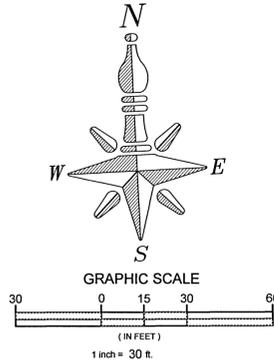
PROF. ENGINEER

GARY S. BISHOP, P.E.
CONSULTING ENGINEERING
6010 JAMESON CIRCLE PACE, FL 32571
PHONE: (850) 712-7618
E-MAIL: gsbishop@yahoo.com & gsbishopengineering@gmail.com

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DRAWN BY: CSL
DESIGNED BY: GSB
CHECKED BY: GSB
DATE: JANUARY 2021
SCALE: AS NOTED

PROJECT NO:

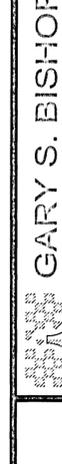
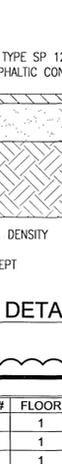
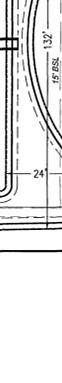
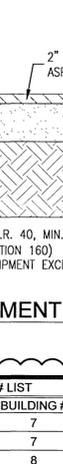
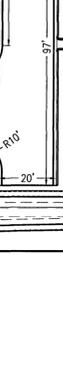
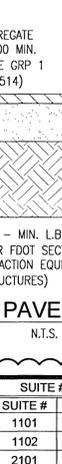
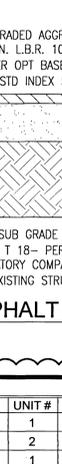
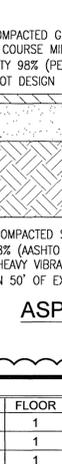
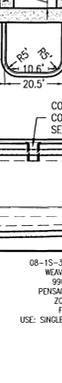
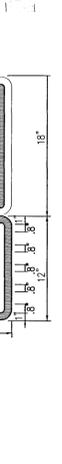
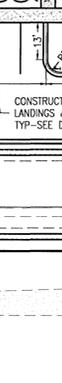
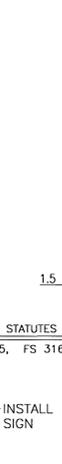
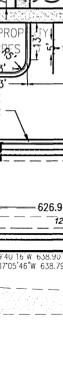
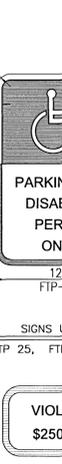
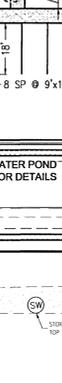
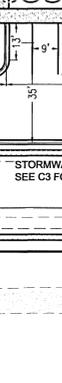
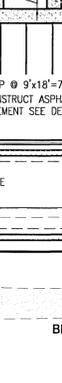
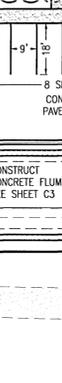
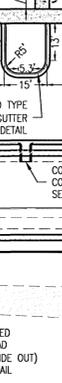
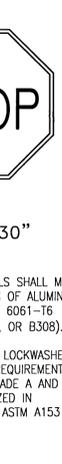
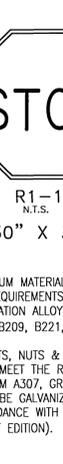
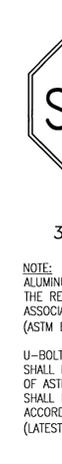
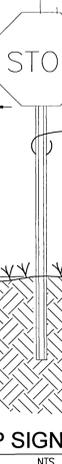
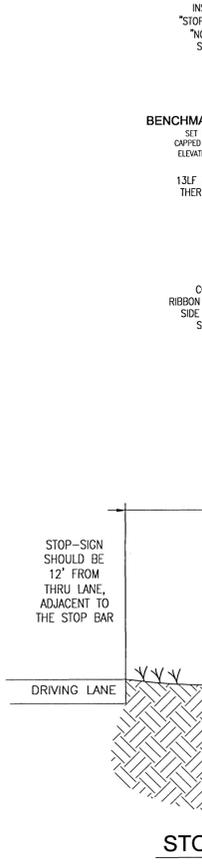


CONSTRUCTION NOTES:

- NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT THE PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE GOVERNING AUTHORITY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
 - THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
 - ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD. PONDS AND SWALES TOPS AND SIDES SHALL BE SOODED.
 - ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER/CONTRACTOR PRIOR TO FINAL COUNTY ACCEPTANCE.
 - ALL NEW ROOF DRAINS, GUTTERS OR DOWNSPOUTS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.
 - THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBA COUNTY ONE WEEK PRIOR TO REQUESTING FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY OR PROVIDE AS-BUILT CERTIFICATION THAT THE PROJECT CONSTRUCTION ADDRESSES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE AS-BUILT CERTIFICATION OR THE RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
 - THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE GOVERNING AUTHORITY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS.
 - CONTRACTOR SHALL NOTIFY SUNSHINE ONE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W, 1-800-432-4770.
 - THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHTS-OF-WAY.
- EXTERIOR LIGHTING:**
EXTERIOR LIGHTING IN AND AROUND BUILDINGS AND IN PARKING LOTS IS PERMITTED IN ALL DISTRICTS. LIGHTING IS TO BE LOCATED FOR SAFETY AND VISUAL EFFECT. WITH THE EXCEPTION OF STREET LIGHTS, IT SHALL BE INSTALLED SO AS TO NOT SHINE DIRECTLY ON ADJACENT PROPERTY. LIGHTING SHALL AVOID ANNOYANCE FROM BRIGHTNESS AND GLARE.
- ILLUMINATIONS:** IN THE CASE OF EXTERNAL LIGHTING SUCH AS FLOODLIGHTS, THIN LINE AND GOOSE NECK REFLECTORS, THESE ARE PERMITTED, PROVIDED THAT THE LIGHT SOURCE IS DIRECTED ON THE FACE OF THE SIGN AND IS EFFECTIVELY SHIELDED SO AS TO PREVENT BEAMS OR RAYS OF LIGHT FROM BEING DIRECTED ONTO ANY PORTION OF ANY RIGHT-OF-WAY. INTERNALLY LIT SIGNS ARE PERMITTED. ALL SIGNS SHALL COMPLY WITH THE PROVISIONS OF THE APPLICABLE ELECTRICAL AND BUILDING CODES AND MUST BE LISTED AND INSTALLED IN CONFORMANCE WITH THAT LISTING.

TOTAL SITE AREAS ~ PRE-DEVELOPMENT			
TOTAL SITE ACREAGE (SF):			95,875
TOTAL SITE ACREAGE (AC):			2.20
DESCRIPTION	SF	%	
TOTAL IMPERVIOUS AREA	0	0.0	
EXISTING BUILDINGS	0		
EXISTING GRAVEL AREA	0		
EXISTING ASPHALT / CONCRETE AREA	0		
TOTAL PERVIOUS / LANDSCAPE AREA	95,875	100.0	

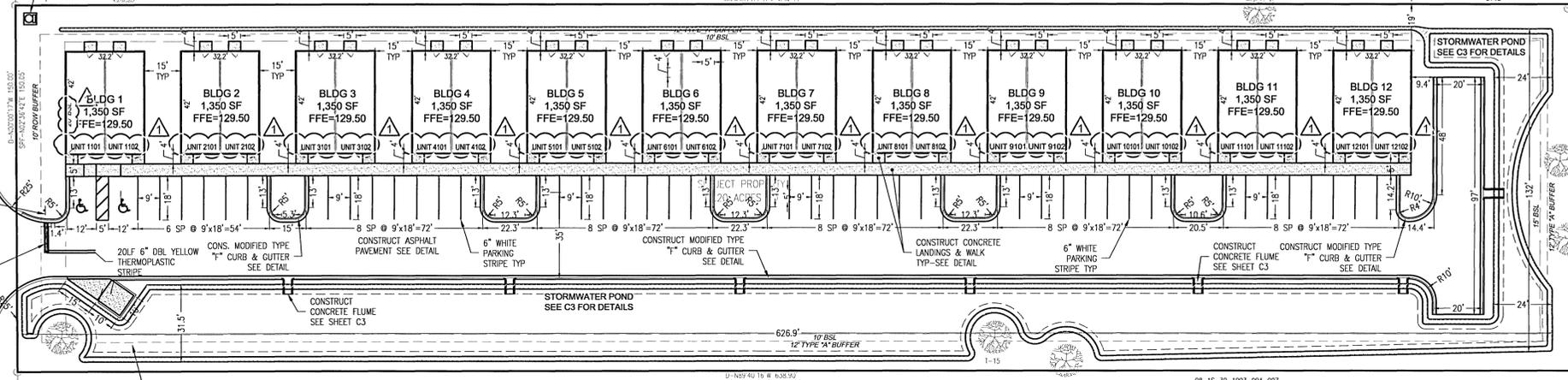
TOTAL SITE AREAS ~ POST-DEVELOPMENT			
TOTAL SITE ACREAGE (SF):			95,875
TOTAL SITE ACREAGE (AC):			2.20
DESCRIPTION	SF	%	
TOTAL IMPERVIOUS AREA	59,097	61.6	
PROPOSED BUILDINGS	32,490		
PROPOSED ASPHALT AREA	23,033		
PROPOSED CONCRETE AREA	3,664		
TOTAL PERVIOUS / LANDSCAPE AREA	36,778	38.4	
PROPOSED PARKING			
NON HANDICAP PARKING	46		
HANDICAP PARKING	2		



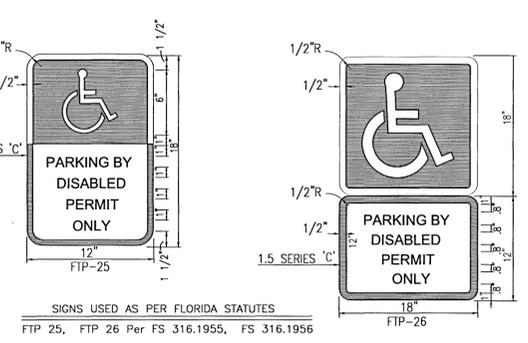
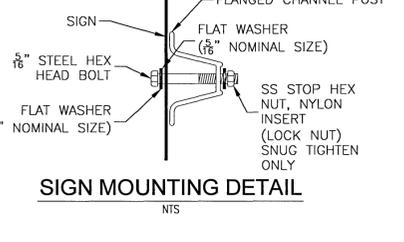
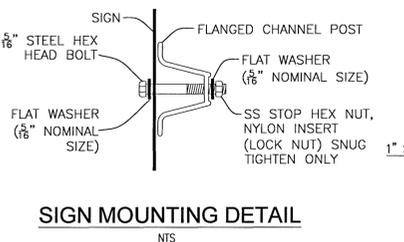
BENCHMARK DATA:

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BM-2 EL=	SET PINK "KJM" CAPPED IRON ROD 127.50'

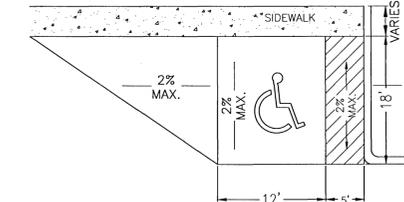
08-15-30-1003-010-008
DUNS WEFORD J & THOM TRUNG
9910 HOLSBERRY RD
PENSACOLA, FL 32534
ZONED: HENR1
FILE: MFD-U
USE: SINGLE FAMILY RESIDENTIAL
D-589740'16" 6.39 69'
CUT-589740'11" 6.39 64'



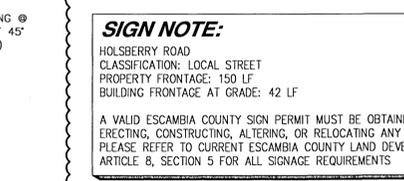
08-15-30-1003-004-007
WALKER SHIPLEY G
9900 HOLSBERRY RD
PENSACOLA, FL 32534
ZONED: HENR1
FILE: MFD-U
USE: SINGLE FAMILY RESIDENTIAL
D-589740'16" 6.39 69'
CUT-589740'11" 6.39 64'



- NOTES:**
- TOP PORTION OF FTP 25 & 26 SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER.
 - BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 - FTP 25 & 26 MAY BE FABRICATED ON ONE PANEL OR TWO.
 - FTP 25 MAY BE SUBSTITUTED FOR THE FTP 26 IN AREAS WHERE SPACE IS LIMITED.
 - SIGNS ARE TO BE MOUNTED AT STANDARD HEIGHT. (7' FROM PAVEMENT TO BOTTOM OF SIGN).

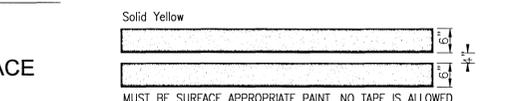


PLAN VIEW OF HANDICAPPED SPACE WITH SLOPES & STRIPING



HANDICAPPED PARKING & PAVEMENT DETAIL

HANDICAPPED PARKING SIGN DETAIL

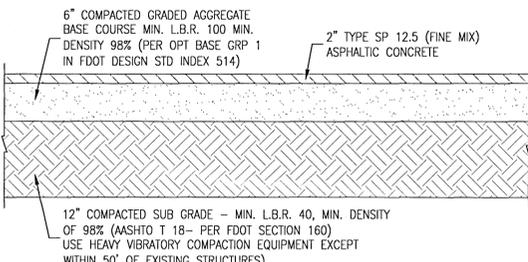


LANE STRIPING DETAIL



LANE STOP BAR DETAIL

LAND CLEARING NOTE:
ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, & ANY OTHER "LAND DISTURBING ACTIVITIES" SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.



ASPHALT PAVEMENT DETAIL

SUITE # LIST

BUILDING #	FLOOR	UNIT #	SUITE #	BUILDING #	FLOOR	UNIT #	SUITE #
1	1	1	1101	7	1	1	7101
1	1	2	1102	7	1	2	7102
2	1	1	2101	8	1	1	8101
2	1	2	2102	8	1	2	8102
3	1	1	3101	9	1	1	9101
3	1	2	3102	9	1	2	9102
4	1	1	4101	10	1	1	10101
4	1	2	4102	10	1	2	10102
5	1	1	5101	11	1	1	11101
5	1	2	5102	11	1	2	11102
6	1	1	6101	12	1	1	12101
6	1	2	6102	12	1	2	12102

DENSITY CALCULATIONS:

DENSITY REQUIREMENT:	MAXIMUM DENSITY OF TWENTY-FIVE DWELLING UNITS PER ACRE
DENSITY PROVIDED:	24 UNITS / 2.20 AC SITE = 10.90 UNITS PER AC

BUILDING SETBACK REQUIREMENTS

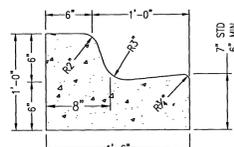
LOCATION	REQUIREMENT
FRONT	20
REAR	15
SIDES	15

A UTILITY PERMIT FROM THE ESCAMBA COUNTY ROAD AND BRIDGE DEPT WILL BE REQUIRED FOR OFFSITE WORK WITHIN THE PUBLIC RIGHT OF WAY.

DIMENSION PLAN

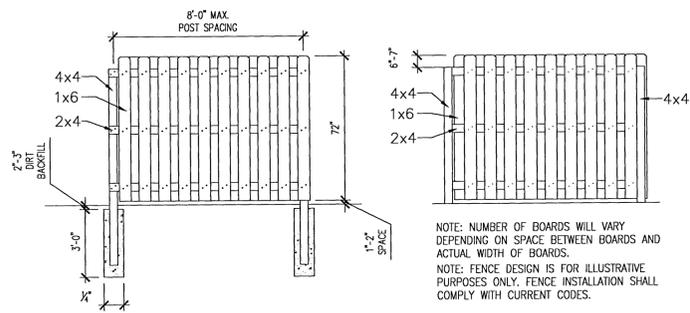
REVISIONS

NO.	DATE	DESCRIPTION
1	01-12-2021	ESCAMBA COUNTY REVIEW COMMENTS



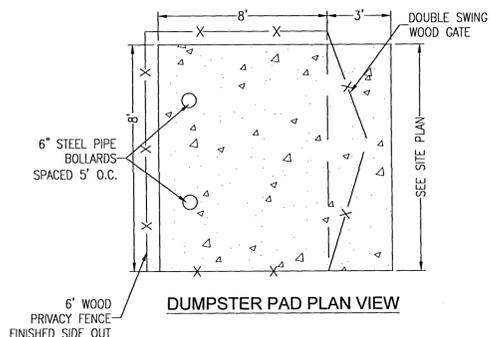
- NOTES:**
1. WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.
 2. ALL CURB TO HAVE DUMMY JOINT AT 10' ON CENTER. MIN. DEPTH OF JOINT TO BE 2".
 3. EXPANSION JOINTS ARE TO BE 30' ON CENTER. TYPICAL FOR ALL CURB.

MODIFIED TYPE 'F' CURB & GUTTER
N.T.S.

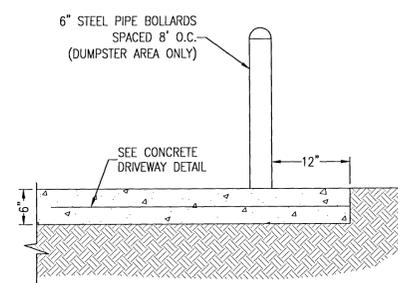


6' PRIVACY FENCE AND DUMPSTER ENCLOSURE
N.T.S.

NOTE: NUMBER OF BOARDS WILL VARY DEPENDING ON SPACE BETWEEN BOARDS AND ACTUAL WIDTH OF BOARDS.
NOTE: FENCE DESIGN IS FOR ILLUSTRATIVE PURPOSES ONLY. FENCE INSTALLATION SHALL COMPLY WITH CURRENT CODES.

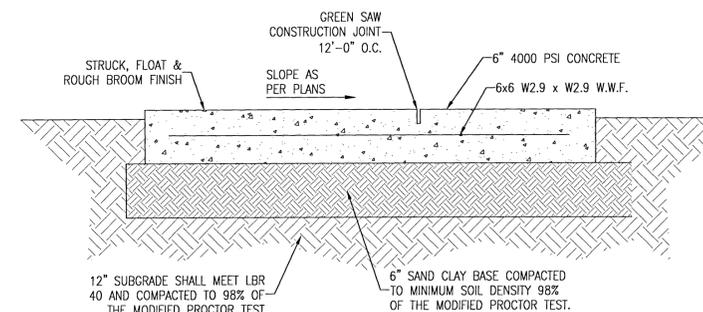


DUMPSTER PAD PLAN VIEW



DUMPSTER PAD SECTION

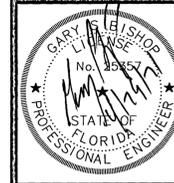
DUMPSTER PAD DETAIL
N.T.S.



CONCRETE PAVEMENT DETAIL

N.T.S.

A UTILITY PERMIT FROM THE ESCAMBIA COUNTY ROAD AND BRIDGE DEPT WILL BE REQUIRED FOR OFFSITE WORK WITHIN THE PUBLIC RIGHT OF WAY.



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6010 JAMESON CIRCLE PACE, FL 32571
PHONE: (850) 712-7618
E-MAIL: gsbishop@yahoo.com & gsbishop-engineering@gmail.com

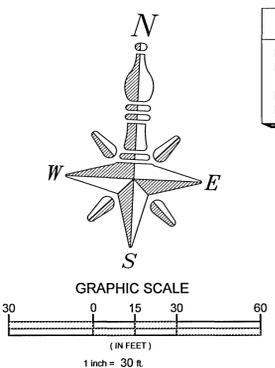
HOLS BERRY GARDENS
PROP. I.D. #08-1S-30-1003-006-007
9906 HOLS BERRY ROAD
ESCAMBIA COUNTY, FLORIDA

DRAWN BY: CSL
DESIGNED BY: GSB
CHECKED BY: GSB
DATE: JANUARY 2021
SCALE: AS NOTED

PROJECT NO:
FILE NO: 2020 HOLS BERRY SITE

NO.	DATE	REVISIONS
1	01-12-2021	ESCAMBIA COUNTY UTILITY PERMIT COMMENTS

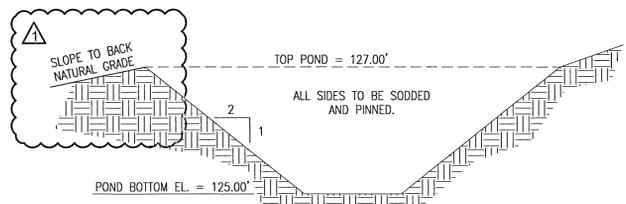
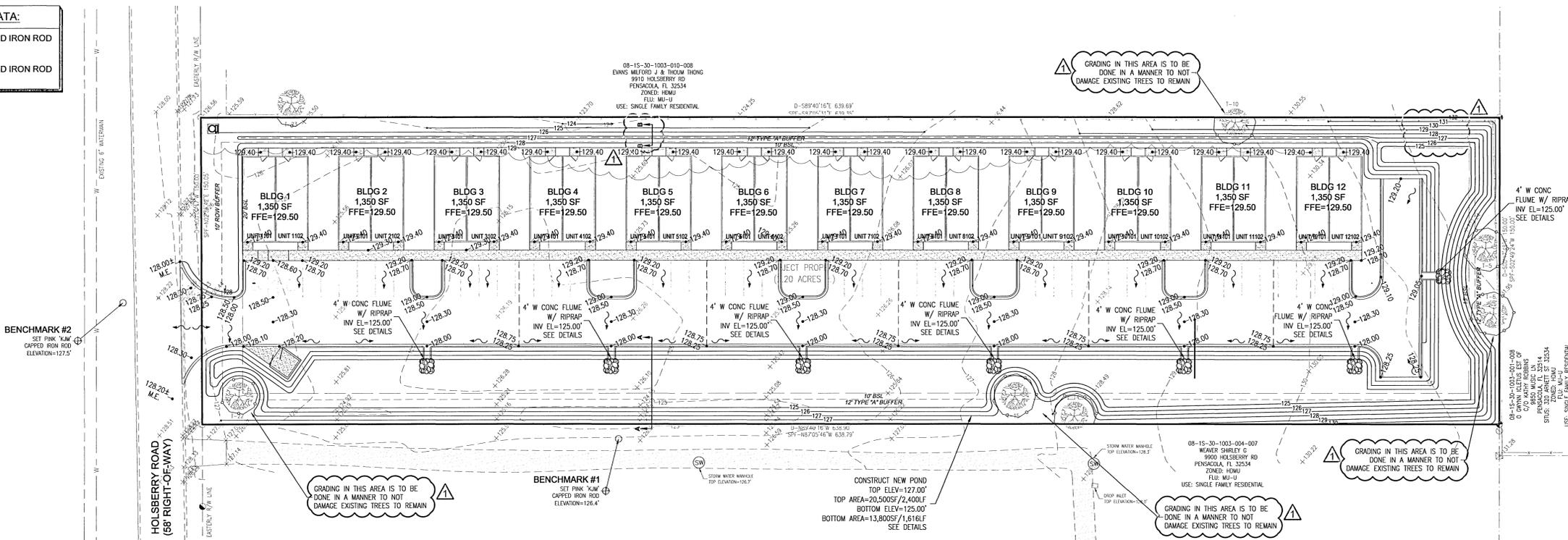
THIS DRAWING IS THE PROPERTY OF GARY S. BISHOP, P.E. AND IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.



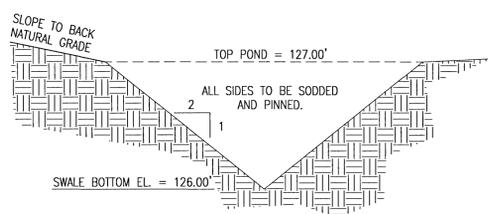
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BM-2 EL=	SET PINK "KJM" CAPPED IRON ROD 127.50'

GRADING NOTES:

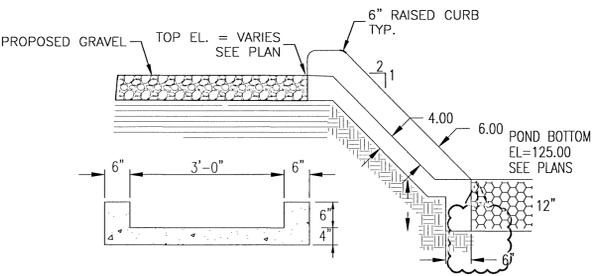
- ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD. PONDS AND SWALES TOPS AND SIDES SHALL BE SODDED.
 - THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
 - DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
 - CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW AS-BUILT CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND, OUTLET STRUCTURES, DIMENSIONS, ETC. THESE RECORD DRAWINGS ARE TO BE PROVIDED TO THE PROJECT ENGINEER PRIOR TO REQUESTING FINAL INSPECTION.
 - THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY ENGINEER AN INSPECTION OF THE EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO CONSTRUCTION, UNDERGROUND DRAINAGE STRUCTURES PRIOR TO BURIAL, AND THE FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION.
 - EROSION SHALL BE CONTROLLED BY THE USE OF A HAY BALE BARRIER/SILT FENCE AS SHOWN ON PLANS AND SHALL BE SETUP PRIOR TO COMMENCING CONSTRUCTION. THE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. AFTER PLACEMENT OF THE EROSION CONTROL BARRIER, THE RETENTION AREA IS TO BE CONSTRUCTED. UPON COMPLETION OF THE PROJECT, THE RETENTION AREA SHALL BE CLEANED OF SILT, STABILIZATION OF ALL DISTURBED AREAS SHALL BE ACCOMPLISHED, AND THE RETENTION AREA IS TO BE RECONFIGURED TO DESIGN CROSS-SECTION, AND GRASSED.
 - ALL NEW ROOF DRAINS, DOWNSPOUTS, OR GUTTERS FOR FUTURE RESIDENTIAL STRUCTURES ARE TO BE ROUTED TO CARRY ALL STORM WATER TO RETENTION/DETENTION AREAS.
 - FINISHED FLOOR ELEVATION FOR FUTURE BUILDINGS ON LOTS (EXCLUDING BASEMENTS) SHALL BE A MIN. OF 8" (SODDED AROUND BUILDING) OR 10" (UNSODDED) ABOVE FINISHED GRADE OF LOTS, UNLESS OTHERWISE DICTATED BY FLOOD ZONE. FINISHED GRADES SHALL SLOPE FROM FOUNDATION 2 1/2" WITHIN 10 FEET (2% GRADE) OR LESS, EXCLUDING PATIOS, SIDEWALKS, AND DRIVEWAYS THEN SLOPED AT A MIN. OF 1/16" PER FOOT (0.5% GRADE) TO A POSITIVE OUTFALL.
 - THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION, OR PROVIDE "AS-BUILT" CERTIFICATION OR THE CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATION. THE "AS-BUILT" CERTIFICATION OR "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED, AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
 - CONTRACTOR SHALL NOTIFY SUNSHINE ONE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W, 1-800-432-4770.
 - ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION.
 - NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT THE DESIGN ENGINEER BOTH PRIOR APPROVAL FROM AND THE ESCAMBIA COUNTY.
- RIGHT-OF-WAY SHOULDER STABILIZATION SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST ADDITION).
- RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORM WATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORM WATER DURING CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
 - THE DEVELOPER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3434. AS-BUILT CERTIFICATION IS REQUIRED PRIOR REQUEST FOR FINAL INSPECTION/APPROVAL.
 - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A UTILITY PERMIT FROM THE COUNTY ROAD AND BRIDGE DEPARTMENT PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES WITHIN THE COUNTY'S RIGHT OF WAY.
 - THE CONTRACTOR IS TO PROVIDE IRRIGATION FOR ALL LANDSCAPE AREAS, INCLUDING PARKING ISLANDS AND LANDSCAPE BUFFERS.
- NO POLE LIGHTING IS TO BE INSTALLED WITHOUT REVIEW BY THE PLANNING AND ZONING DEPARTMENT.
- THIS PLAN DOES NOT INCLUDE ANY EXTERIOR LIGHTING. IF POLE LIGHTS ARE PLANNED, THEY MUST BE APPROVED BY THE PLANNING AND ZONING DEPARTMENT UNDER A SEPARATE PERMIT. A LIGHTING PLAN WITH FIXTURE CUT SHEETS AND PHOTOMETRIC PLAN WILL BE REQUIRED. LIGHTING SHALL BE INSTALLED AS NOT TO SHINE DIRECTLY ON ADJACENT PROPERTY, OR ON TO RIGHT-OF-WAY. LIGHTING SHALL AVOID ANNOYANCE FROM BRIGHTNESS AND REAR. ELECTRICAL AND INSTALLATION PERMITS MUST BE ACQUIRED FROM THE COUNTY BEFORE CONSTRUCTION OF ANY EXTERIOR LIGHTS.
 - CONTRACTOR MUST INSTALL AN IRRIGATION SYSTEM TO PROVIDE WATER TO ALL LANDSCAPE MATERIALS THAT ARE INSTALLED.
 - A SEPARATE PERMIT IS REQUIRED FOR ALL SIGNAGE.



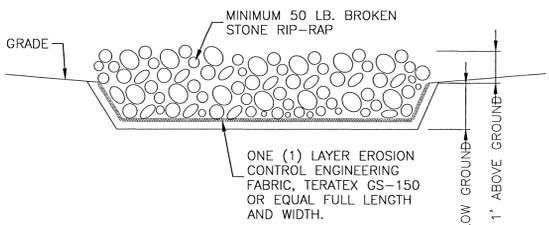
POND CROSS-SECTION A-A
NTS



SHALLOW SWALE CROSS-SECTION B-B
NTS



CONCRETE FLUME DETAIL
NTS

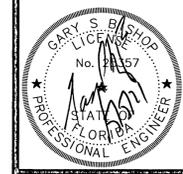


RIP-RAP PAD DETAIL
NTS

LAND CLEARING NOTE:
ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, & ANY OTHER "LAND DISTURBING ACTIVITIES" SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.

A UTILITY PERMIT FROM THE ESCAMBIA COUNTY ROAD AND BRIDGE DEPT WILL BE REQUIRED FOR OFFSITE WORK WITHIN THE PUBLIC RIGHT OF WAY.

NO.	DATE	REVISIONS
1	01-12-2021	ESCAMBIA COUNTY PROJECT COMMENTS

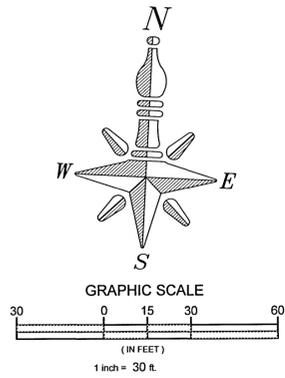


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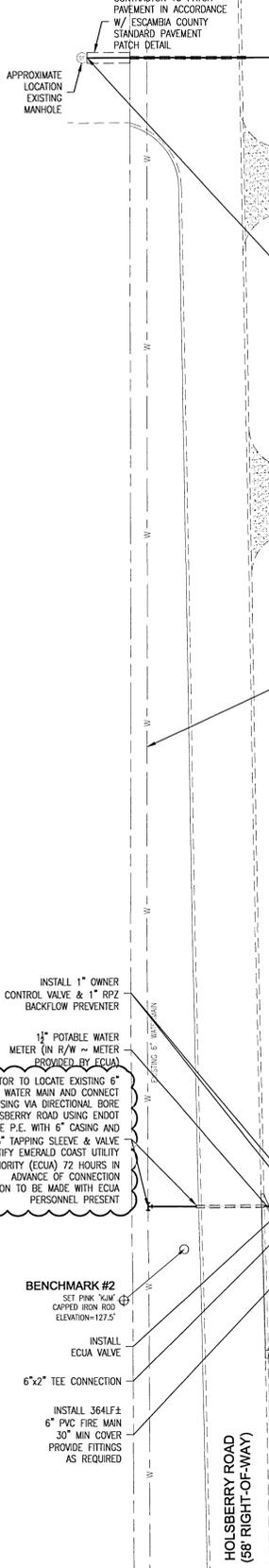
HOLSBERY GARDENS
PROP I.D. # 08-1S-30-1003-006-007
9906 HOLSBERY ROAD
ESCAMBIA COUNTY, FLORIDA

DRAWN BY: CSL	PROJECT NO:
DESIGNED BY: GSB	FILE NO: 2020 HOLSBERY SITE
CHECKED BY: GSB	SHEET NO: C3
DATE: JANUARY 2021	
SCALE: AS NOTED	

GRADING PLAN



- UTILITY NOTES:**
- CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION COMMENCEMENT AND TO DETERMINE IF OTHER UTILITIES WILL BE IMPACTED DURING THE COURSE OF THE WORK. IT IS CONTRACTOR'S RESPONSIBILITY TO REPORT ANY POTENTIAL CONFLICTS NOT NOTED WITHIN THESE PLANS TO THE ENGINEER OF RECORD (EOR) & ECUA AND TO PROTECT ANY EXISTING UTILITIES IMPACTED BY THIS CONSTRUCTION.
 - THE CONTRACTOR SHALL COORDINATE WITH ECUA, GULF POWER, OR ANY OTHER UTILITY COMPANIES HAVING JURISDICTION FOR REMOVAL/RELOCATION AND/OR PROTECTION OF EXISTING UTILITY POLES, AERIAL LINES, FIRE HYDRANTS, AND OTHER UTILITIES AS NECESSARY TO COMPLETE CONSTRUCTION.
 - THE TOP OF ALL CLEANOUTS SHALL BE FLUSH WITH THE PAVEMENT OR, WHEN NOT IN THE PAVEMENT, FLUSH WITH THE FINISH GRADE. CONNECTION POINTS FOR UTILITIES SHALL BE CLEARLY MARKED FOR FUTURE BUILDING CONNECTION. COORDINATE WITH THE PLUMBING CONTRACTOR.
 - ADEQUATE PROVISIONS SHALL BE MADE FOR THE FLOW OF SEWERS, DRAINS AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL NOTIFY ECUA AT LEAST 48 HOURS PRIOR TO CONNECTION OF PROPOSED FACILITIES TO EXISTING ECUA FACILITIES. ECUA PERSONNEL SHALL BE PRESENT FOR ALL TAPS.
 - THE CONTRACTOR IS TO RESTORE ALL DISTURBED RIGHTS-OF-WAY IN ACCORDANCE WITH ESCAMBIA COUNTY COUNTY, FDOT AND ECUA CONSTRUCTION GUIDELINES.
 - THE CONTRACTOR SHALL COORDINATE WITH THE PLUMBING CONTRACTOR FOR BUILDING UTILITY CONNECTIONS.
 - ANY REMOVAL OR RELOCATION OF UTILITIES MUST BE APPROVED IN WRITING PRIOR TO THE WORK BEING DONE.
 - NO SITE WORK ACTIVITIES SHALL TAKE PLACE WITHOUT THE ESCAMBIA COUNTY SITE REVIEW/APPROVAL OF PROPOSED EROSION CONTROL MEASURES. ADVANCED NOTIFICATION OF THE REQUESTED INSPECTION IS REQUIRED.
 - ALL ONSITE WATER AND SEWER FACILITIES SHALL BE PRIVATELY OWNED, OPERATED, AND MAINTAINED.
 - THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTMENT OF EXISTING UTILITIES IF PROPOSED IMPROVEMENTS IMPACT EXISTING UTILITIES.
 - CONTRACTOR SHALL HAVE AT LEAST ONE SET OF PLANS APPROVED BY ECUA ON THE JOB SITE AT ALL TIMES.
 - SUBMITTALS ON ALL MATERIALS LOCATED IN THE RIGHT-OF-WAY SHALL BE SUBMITTED TO ECUA FOR APPROVAL PRIOR TO CONSTRUCTION.
 - A UTILITY PERMIT FROM THE COUNTY ROAD & BRIDGE DEPARTMENT IS REQUIRED BEFORE COMMENCING WORK IN A COUNTY R/W.



UTILITY CONSTRUCTION NOTES
(TAKEN DIRECTLY FROM ECUA ENGINEERING MANUAL SECTION 576, PART 1 (GENERAL), SECTION 1.3.)

1.3.1 ALL WASTEWATER FORCE MAIN SYSTEM WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST ECUA DESIGN STANDARDS, ALL APPLICABLE LOCAL AND STATE REGULATORY RULES AND REGULATIONS, AND OTHER APPLICABLE ECUA RULES.

1.3.2 ALL WASTEWATER FORCE MAIN SYSTEM CONSTRUCTION WORK SHALL BE PROVIDED BY A CONTRACTOR QUALIFIED AS REQUIRED UNDER THE CURRENT FLORIDA STATUTE OR BY AN UNDERGROUND UTILITY CONTRACTOR, LICENSED UNDER THE PROVISIONS OF CHAPTER 489 FS, 12/18/14 EDITION; SECTION 576 - WASTEWATER FORCE MAIN SYSTEMS PAGE 1 OF 4 INCLUDING UPDATE #1: (9/7/16) ENGINEERING MANUAL.

1.3.3 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CITY OR COUNTY RIGHT-OF-WAY (R/W) PERMITS FOR WORK IN THE CITY R/W, COUNTY R/W OR A FDOT PERMIT FOR WORK IN THE FDOT R/W.

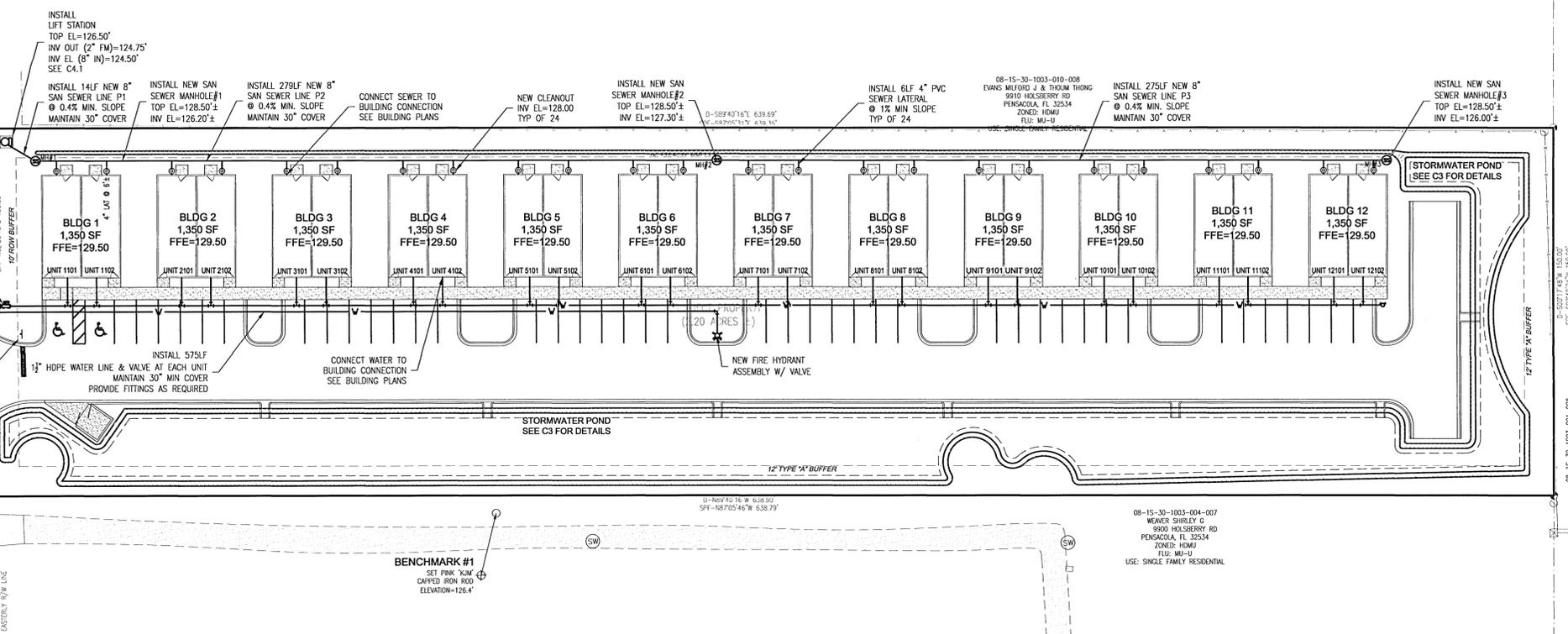
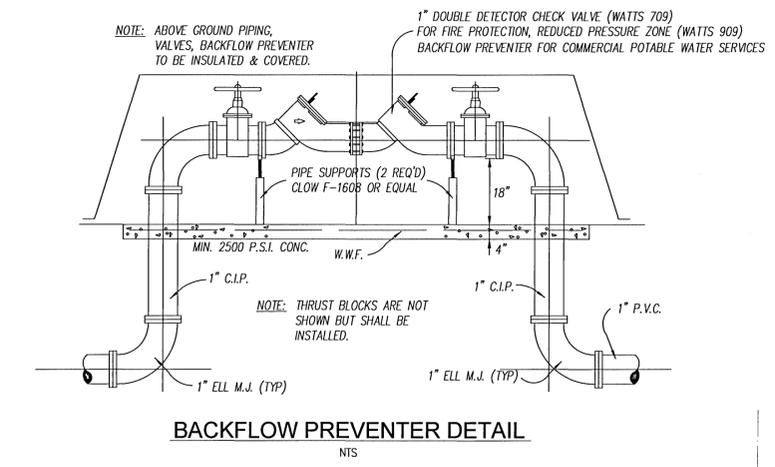
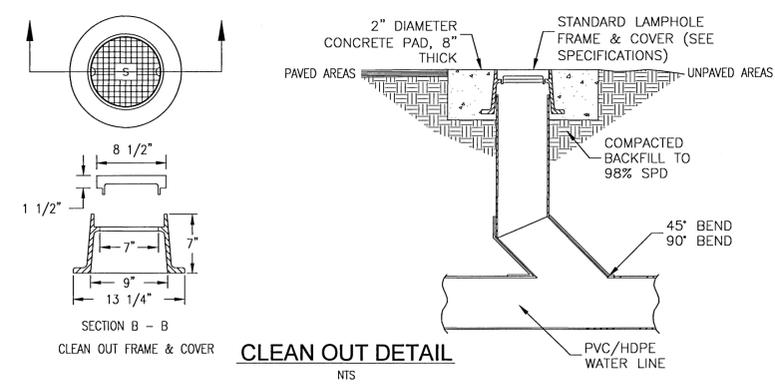
1.3.4 THE CONTRACTOR SHALL CONTACT ECUA'S FIELD INSPECTOR A MINIMUM 48 HOURS PRIOR TO INITIATING THE WASTEWATER FORCE MAIN SYSTEM WORK, INCLUDING ALL UTILITY MAIN TAPS BY THE CONTRACTOR.

1.3.5 THE MINIMUM HORIZONTAL AND VERTICAL SEPARATION REQUIREMENTS FOR THE WASTEWATER FORCE MAIN SYSTEM OR SEWER IMPROVEMENTS SHALL CONFORM TO THE LATEST ECUA AND FDEP RULES. THE MINIMUM HORIZONTAL SEPARATION REQUIREMENTS BETWEEN THE PROPOSED SEWER UTILITIES AND PONDS OR STRUCTURES SHALL CONFORM TO THE LATEST ECUA DESIGN STANDARDS.

1.3.6 TYPICALLY, WASTEWATER FORCE MAIN SYSTEM PIPES SHALL BE CONSTRUCTED WITH A MINIMUM OF 30 INCHES OF COVER IN UNPAVED AREAS AND A MINIMUM OF 36 INCHES OF COVER IN PAVED AREAS. THE MAXIMUM COVER FOR UTILITIES UTILIZING HORIZONTAL DIRECTIONAL DRILL METHODS SHALL COMPLY WITH THE LATEST ECUA DESIGN STANDARDS.

1.3.7 THE CONTRACTOR SHALL MINIMIZE SERVICE INTERRUPTIONS TO EXISTING ECUA CUSTOMERS. IF ECUA APPROVES A SERVICE INTERRUPTION, THEN THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING THE NOTIFICATION OF IMPACTED CUSTOMERS IN ACCORDANCE WITH THE LATEST ECUA RULES.

NOTE: CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES IN THE RIGHT OF WAY PRIOR TO ANY CONSTRUCTION ACTIVITIES



LAND CLEARING NOTE:
ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, & ANY OTHER 'LAND DISTURBING ACTIVITIES' SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.

BENCHMARK DATA:

BM-1 EL=	SET PINK "KJM" CAPPED IRON ROD 126.40'
BM-2 EL=	SET PINK "KJM" CAPPED IRON ROD 127.50'

AT COMPLETION OF CONSTRUCTION, ALL EXPOSED DIRT SHALL BE STABILIZED WITH SOD, HYDRO-SEED, OR HAY/SEED. ONLY BAHIA SOD ALLOWED IN COUNTY RIGHT-OF-WAY.

REVISIONS
DATE
NO. 1
01-12-2021

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HOLSBERY GARDENS
PROP I.D. # 08-1S-30-1003-006-007
9906 HOLSBERY ROAD
ESCAMBIA COUNTY, FLORIDA

DRAWN BY: CSB
DESIGNED BY: GSB
CHECKED BY: GSB
DATE: JANUARY 2021
SCALE: AS NOTED

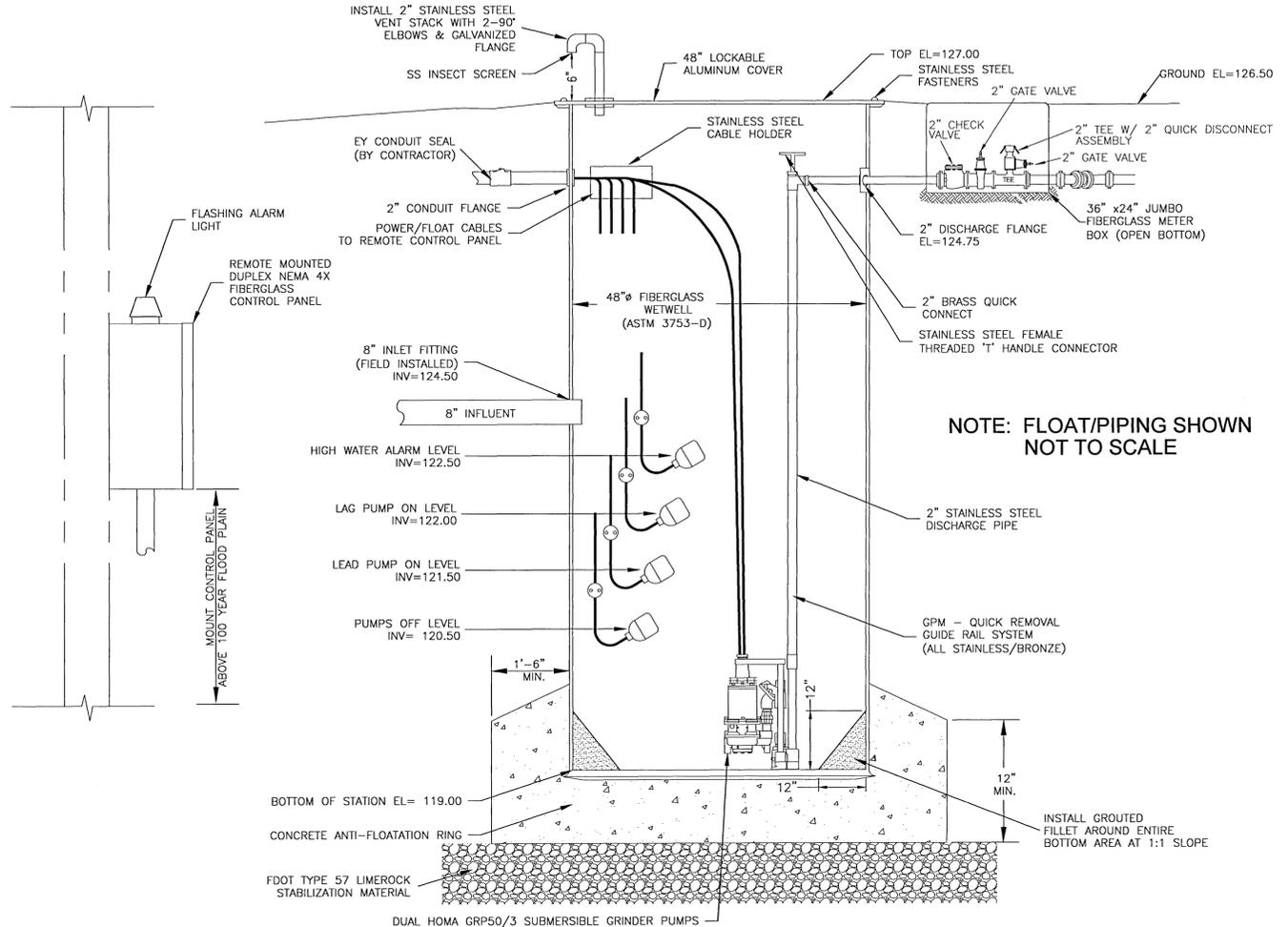
PROJECT NO:
FILE NO: 2020 HOLSBERY_SITE
SHEET NO: C4

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UTILITY PLAN

LIFT STATION AND GENERAL UTILITY NOTES:

1. THE LOCATION OF THE INFLUENT LINES, OVERFLOW CONTROL LINES, WATER SUPPLY, ETC., ARE DRAWN OUT OF ORIENTATION ON SECTIONAL VIEW. SEE PLAN VIEW FOR ORIENTATION.
2. ALL BREAKS IN WET WELL WALL FOR PIPING, ELECTRICAL, ETC. SHALL BE SEALED & SLEEVED AS NOTED.
3. TO PROTECT STANDPIPE FROM SWAY BRACE, EITHER WRAP PIPE WITH RUBBER OR INSERT ALL U-BOLTS THROUGH RUBBER HOSE.
4. PVC FORCE MAIN TO MEET ASTM D-2241, SDR 26 BELL TYPE JOINTS WITH RING TYPE NEOPRENE GASKETS. FORCE MAIN TO BE TESTED TO AWWA PRESSURE TESTING STANDARDS.
5. THE LIFT STATION SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE MANUFACTURER TO HAVE A REPRESENTATIVE ONSITE DURING INSTALLATION.
6. THE LIFT STATION SHALL HAVE A LIGHTNING ARRESTER INSTALLED BETWEEN EACH INCOMING POWER PHASE & GROUND.
7. THE LIFT STATION SHALL BE EQUIPPED WITH A RISER, GATE VALVE, QUICK-COUPLING & CAP FOR STANDBY PUMPING CAPABILITIES.
8. ALL ELECTRICAL EQUIPMENT SHALL BE MANUFACTURED & INSTALLED IN ACCORDANCE WITH NEMA REQUIREMENTS & LOCAL LAWS.
9. FLOATS SHALL BE MERCURY FREE.
10. LIFT STATION AND FORCE MAIN TO BE INSTALLED IN ACCORDANCE WITH ALL LOCAL AND STATE PLUMBING CODE BY A LICENSED PLUMBER. ALL WORK IN FOOT RIGHT OF WAY SHALL BE PERFORMED BY A CERTIFIED UNDERGROUND UTILITY CONTRACTOR AND SHALL BE INSTALLED TO LOCAL UTILITY PROVIDER STANDARDS.
11. CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR THE LAYOUT OF THE LIFT STATION, GRAVITY SEWER, AND FORCE MAIN. ANY DEVIATION FROM THE PRESCRIBED ALIGNMENT NECESSARY TO AVOID CONFLICTS SHALL NOT BE PERMITTED WITHOUT WRITTEN PERMISSION FROM THE ENGINEER.
12. INSTALLATION SHALL BE IN COMPLIANCE WITH THE LATEST EDITION OF THE FLORIDA PLUMBING CODE.
13. PVC FORCE MAIN PIPE SHALL BE DR25 PER AWWA C900 OR SDR26 PER ASTM D2241 AND COLORED GREEN WITH 12 GREEN INSULATED TRACER WIRE, UNLESS OTHERWISE NOTED.
14. FORCE MAIN SHALL BE PRESSURE TESTED TO 100 PSI PRIOR TO CONNECTING TO EXISTING SYSTEM.
15. THE CONTRACTOR WILL USE RESTRAINING DEVICES AT ALL MECHANICAL JOINTS INCLUDING FITTINGS, VALVES OR DEAD ENDS. IN-LINE VALVES SHALL BE RESTRAINED AT THE VALVE BODY ONLY. OTHER FITTINGS OR DEAD ENDS SHALL RECEIVE ADDITIONAL RESTRAINT AT ADJACENT PIPE JOINTS, IN BOTH DIRECTIONS, IN ACCORDANCE WITH THE PIPE JOINT RESTRAINT TABULATION IN THE PLANS. ALL RESTRAINT COST WILL BE INCLUDED IN THE UNIT PRICE PER FOOT OF THE PIPE.
16. A MINIMUM SEPARATION OF 10 FEET HORIZONTALLY OR 18 INCHES VERTICALLY MUST BE MAINTAINED BETWEEN WATER AND SEWER LINES. IF THIS SEPARATION IS NOT POSSIBLE, REFER TO THE SEPARATION/CONFLICT DETAIL.
17. THE UTILITY CONTRACTOR SHALL PROVIDE "AS-BUILT" DRAWINGS OF THE SAME SCALE AS THESE CONTRACT DRAWINGS, ONE COPY TO THE ENGINEER AND ONE COPY TO THE LOCAL UTILITIES AUTHORITIES. THESE DRAWINGS SHALL LOCATE ALL SEWER APPURTENANCES CONSTRUCTED AS PART OF THIS PROJECT. FINAL "AS-BUILT" DRAWINGS TO BE SUBMITTED TO THE ENGINEER WITHIN 30 DAYS AFTER SUBSTANTIAL COMPLETION OF WORK.
18. CONTRACTOR TO MAINTAIN ACCESS TO ALL PROPERTIES WITHIN PROJECT AREA AT ALL TIMES.
19. CONTRACTOR SHALL LOCATE, PROTECT AND SUPPORT ALL UTILITIES AND SERVICE LATERALS.
20. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH REQUIRED INSPECTIONS, BY COUNTY AND/OR UTILITY AUTHORITY, ASSOCIATED WITH UTILITY INSTALLATIONS.



48" DUPLEX GRINDER PUMP PACKAGE W/ REMOTE MOUNTED CONTROL PANEL DETAIL

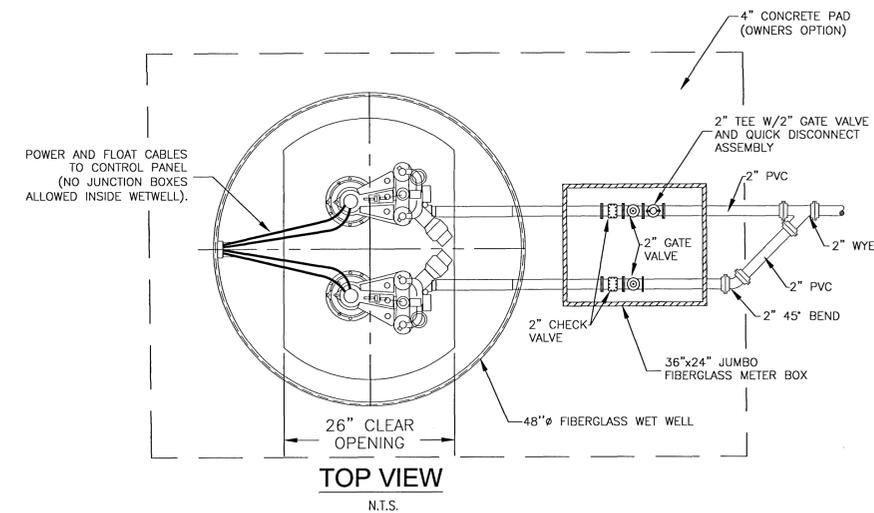
N.T.S.

DESIGN DATA

MANUFACTURER	HCP PUMPS OF AMERICA
TYPE PUMP	GRINDER
MODEL NUMBER	32GF22.2H
CAPACITY (GPM-THD)	16 GPM @ 175' TDH
DISCHARGE PIPE SIZE	1-1/4"
HP.-RATED RPM	5HP/3440 RPM
VOLT/PHASE	230/3

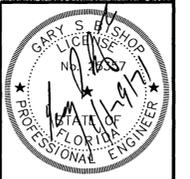
WETWELL DATA

WET WELL DIAMETER	4'
WET WELL DEPTH	8.00'
INFLUENT DIA-EL (IN)	8"/124.50'
FORCE MAIN DIAMETER-EL (OUT)	2"/124.75'
BOTTOM OF STATION EL	119.00'
PUMPS OFF EL	120.50'
LEAD PUMP ON EL	121.50'
LAG PUMP ON EL	122.00'
HIGH WATER ALARM EL	122.50'
GROUND EL	126.50'
TOP EL	127.00'



REVISIONS

NO.	DATE	DESCRIPTION
1	01-12-2021	ESCAMBIA COUNTY EXISTING CONDITIONS



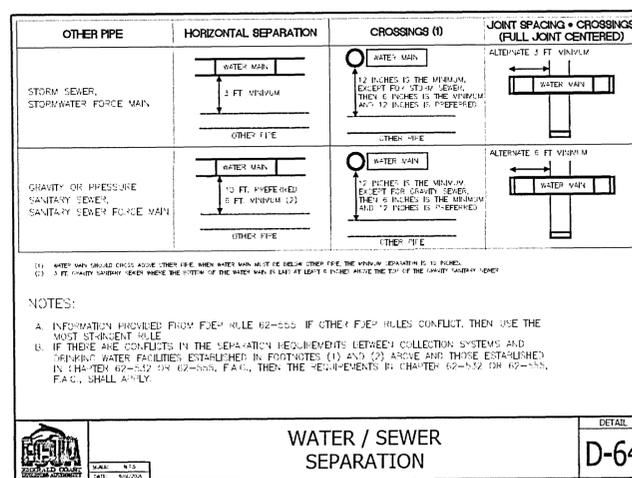
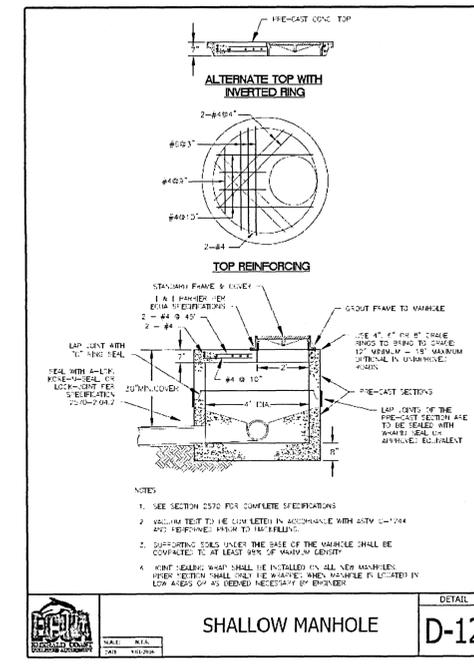
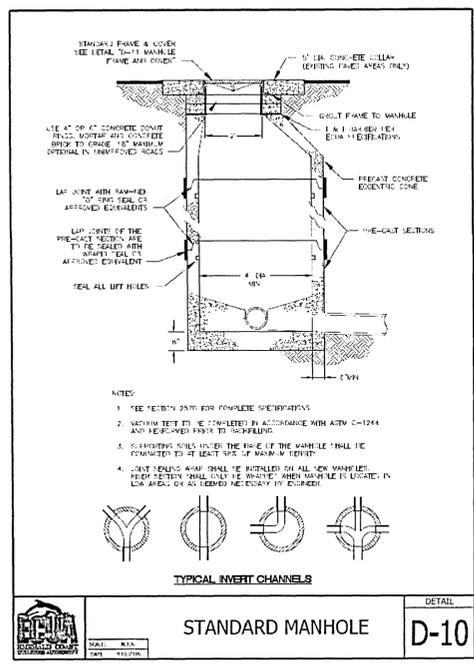
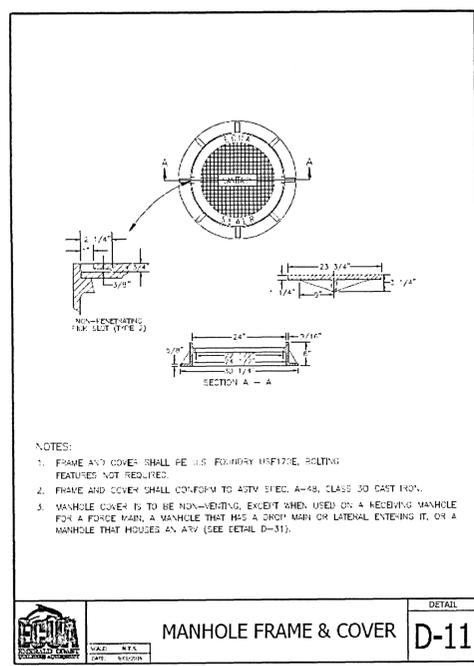
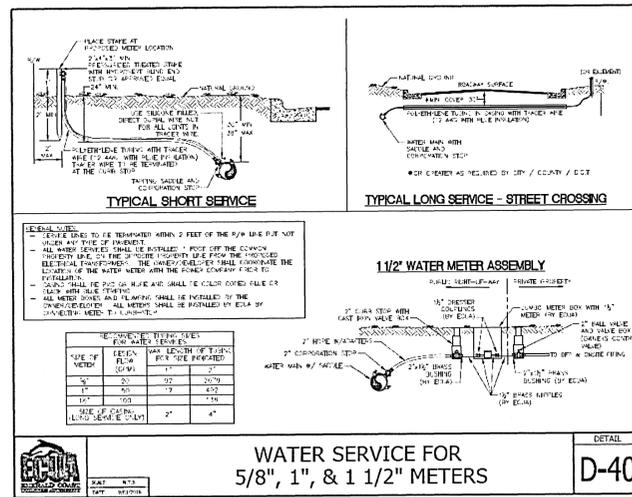
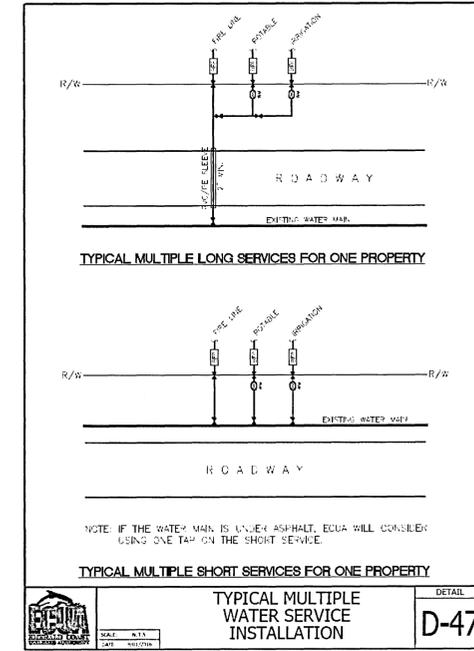
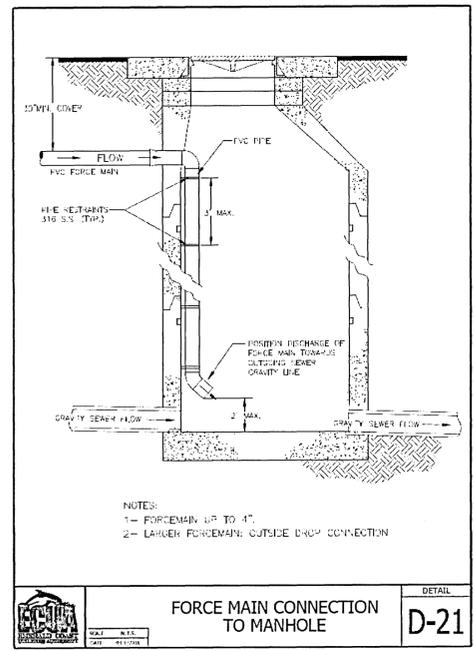
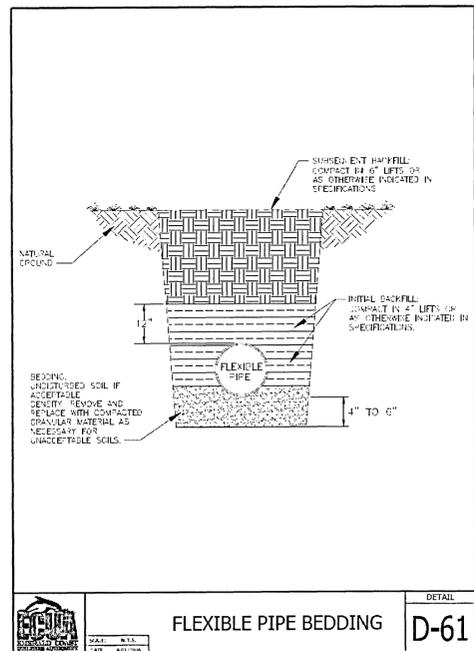
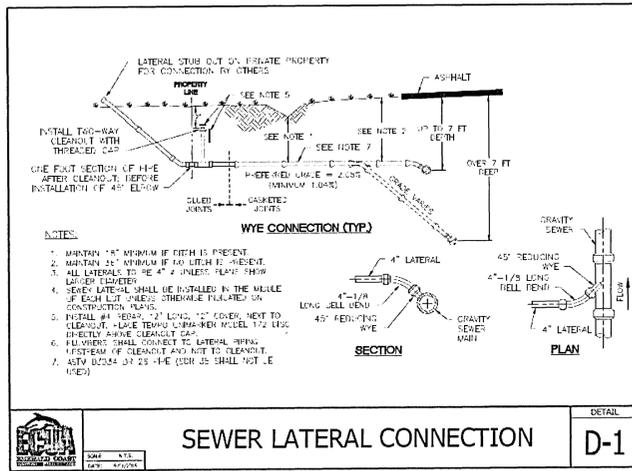
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HOLSBERY GARDENS
 PROP I.D. # 08-1S-30-1003-006-007
 9906 HOLSBERY ROAD
 ESCAMBIA COUNTY, FLORIDA

DRAWN BY: CSL
 DESIGNED BY: GSB
 CHECKED BY: GSB
 DATE: JANUARY 2021
 SCALE: AS NOTED

PROJECT NO:
 FILE NO: 2020 HOLSBERY_SITE
 SHEET NO: C4.1

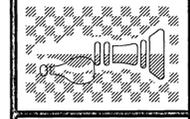
LIFTSTATION DETAILS



REVISIONS
 NO. DATE
 1 01-12-2021
 ESCAMBIA COUNTY FACILITY COMMENTS



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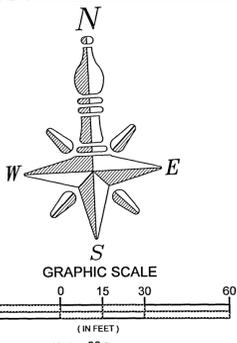


HOLSBERRY GARDENS
 PROP. I.D. # 08-1S-30-1003-006-007
 9906 HOLSBERRY ROAD
 ESCAMBIA COUNTY, FLORIDA

DRAWN BY: GSB
 DESIGNED BY: GSB
 CHECKED BY: GSB
 DATE: JANUARY 2021
 SCALE: AS NOTED

PROJECT NO:
 FILE NO: 2020 HOLSBERRY SITE
 SHEET NO: C4.2

(FOR REFERENCE ONLY)
 ECUA DETAILS



- TREE LEGEND**
- DENOTES MITIGATION CANOPY TREE = PLANT 19 (CYPRESS OR APPROVED EQUAL)
 - DENOTES MITIGATION CANOPY TREE = PLANT 3 (LIVE OAK OR APPROVED EQUAL)
 - DENOTES CANOPY TREE = PLANT 14 (MAPLE OR APPROVED EQUAL)
 - DENOTES CANOPY TREE = PLANT 14 (RIVER BIRCH OR APPROVED EQUAL)
 - DENOTES UNDERSTORY TREE = PLANT 8 (DOGWOOD TREE OR APPROVED EQUAL)
 - DENOTES UNDERSTORY TREE = PLANT 8 (FRINGE TREE OR APPROVED EQUAL)
 - DENOTES SHRUB = PLANT 71 (BOTTLE BRUSH OR APPROVED EQUAL)
 - DENOTES SHRUB = PLANT 72 (AZALEA OR APPROVED EQUAL)

- LANDSCAPE NOTES:**
- NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD HAPPEN UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
 - STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
 - NO PROTECTED TREES INDICATED FOR PRESERVATION SHALL BE REMOVED, DESTRUCTIVELY DAMAGED, MUTILATED, RELOCATED, DISFIGURED, DESTROYED, CUT DOWN OR EXCESSIVELY PRUNED.
 - ROOT PRUNING SHALL OCCUR WHERE THE GRADE IS LOWERED OR INSTALLING BASE MATERIAL WITHIN DRIP LINE OF A PROTECTED TREE. THE CONTRACTOR SHALL SEVER THE ROOTS CLEANLY WITH A SHARP INSTRUMENT TO A DEPTH OF 18". ROOTS SHALL NOT BE TORN AS WITH THE USE OF A BACK HOE.
 - AT COMPLETION OF CONSTRUCTION, ALL EXPOSED DIRT SHALL BE STABILIZED WITH SOD, A HAY/SEED MIX OR HYDROSEED.
 - SOD SHALL BE WATERED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
 - PLANTING DIVERSITY (PER DSM, CHAPTER 2, ARTICLE 2, SECTION 2-6.1(C)).

THE DIVERSITY OF ANY TREES REQUIRED TO BE PLANTED ON A SITE SHALL COMPLY WITH THE FOLLOWING LIMITS TO AVOID UNIFORM SITE TREE DECLINE FROM PESTS OR DISEASE:

DIVERSITY TABLE		
# OF NEW TREES PLANTED ONSITE	MAX % OF ANY ONE SPECIES	
5-19	67%	
20-49	40%	
50+	30%	

- THE CONTRACTOR/OWNER SHOULD COORDINATE WITH THE PLANNING, ZONING & DEVELOPMENT DIVISION PRIOR TO PURCHASING OR INSTALLING LANDSCAPING TO DETERMINE CREDIT FOR EXISTING VEGETATION TO (PARTIALLY) MEET THE LANDSCAPING REQUIREMENTS SHOWN ON THIS PLAN.
- ALL DISTURBED AREAS IN THE R/W SHALL BE REGRADED AND SODDED AND/OR SEED AND MULCHED. OTHER DISTURBED AREAS MAY BE REPAIRED BY SEEDING OR HYDROSEEDING. ALL SOD IN THE COUNTY R/W SHALL BE BAHIA.
- ALL SITE FENCING SHALL BE INSTALLED FINISHED SIDE OUT TO CONFORM TO COUNTY FENCE INSTALLATION REQUIREMENTS.
- ANY SPECIES SELECTED FOR TREE PLANTINGS DIFFERENT THAN THOSE INDICATED ON THIS PLAN, SHALL BE FROM THE "NATIVE TREES APPROPRIATE FOR ESCAMBIA COUNTY SITE DEVELOPMENT" FROM THE ESCAMBIA COUNTY'S DEVELOPMENT SERVICES DEPARTMENT. CHANGES MUST BE SUBMITTED TO THE EOR PRIOR TO INSTALLATION FOR APPROVAL, IN WRITING. NO MORE THAN 40% OF REQUIRED LANDSCAPING MATERIAL MAY BE OF THE SAME SPECIES.
- REQUIRED (NATIVE) CANOPY TREES SHALL BE A MINIMUM 2.5" CALIPER AT TIME OF PLANTING.
- MINIMUM TREE PLANTING SPACING IS 12 FEET O.C. W/ A 6 FOOT RADIUS (MIN) AREA FREE OF OBSTRUCTIONS.

- SITE CLEARING NOTES:**
- REFER TO LDC STANDARDS FOR "LAND DISTURBANCE ACTIVITIES", & "TREE PROTECTED & PRESERVATION" FOR GUIDANCE. THE LAND SHALL REMAIN VEGETATED (TREES INCLUDED, NO FILL MATERIALS PLACED ONSITE OR GRADING, ETC.) UNTIL SUCH TIME AS BUILDING PERMITS ARE ISSUED FOR THE DEVELOPMENT, PER CODE.
 - ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, "LAND DISTURBING ACTIVITIES", ETC. SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PER CODE & PRIOR TO INITIATION OF SITE WORK.

BENCHMARK DATA:

BM-1 EL=	SET PINK "KJM" CAPPED IRON ROD 126.40'
BM-2 EL=	SET PINK "KJM" CAPPED IRON ROD 127.50'

TREE INVENTORY

Tree #	Size	Type	Remove/Protect
T-1	31	WATER OAK	REMOVE
T-2	16.5	LAUREL OAK	REMOVE
T-3	27.8	DBL WATER OAK	REMOVE
T-4	26.5	WATER OAK	REMOVE
T-5	37.2	QUAD LIVE OAK	PROTECT
T-6	26	LIVE OAK	PROTECT
T-7	16.5	WATER OAK	REMOVE
T-8	18	WATER OAK	REMOVE
T-9	15	LIVE OAK	REMOVE
T-10	21.5	LIVE OAK	PROTECT
T-11	23.5	WATER OAK	REMOVE
T-12	22	LAUREL OAK	REMOVE
T-13	17.5	WATER OAK	REMOVE
T-14	47.5	LIVE OAK	PROTECT
T-15	52	LIVE OAK	PROTECT
T-16	24	LIVE OAK	REMOVE
T-17	22	LIVE OAK	REMOVE
T-18	17	WATER OAK	REMOVE
T-19	24	LIVE OAK	REMOVE
T-20	22	WATER OAK	REMOVE
T-21	20	WATER OAK	REMOVE
T-22	38.5	LIVE OAK	PROTECT
T-23	40	LIVE OAK	PROTECT

TREE TABLE NOTES:
PROTECT: INDICATES TREE CONSIDERED PROTECTED BY THE LDC AND IS PROPOSED TO REMAIN ONSITE UPON DEVELOPMENT. CONTRACTOR SHALL INSTALL TREE BARRICADES PER TREE BARRICADE DETAIL IN THIS PLAN SET.

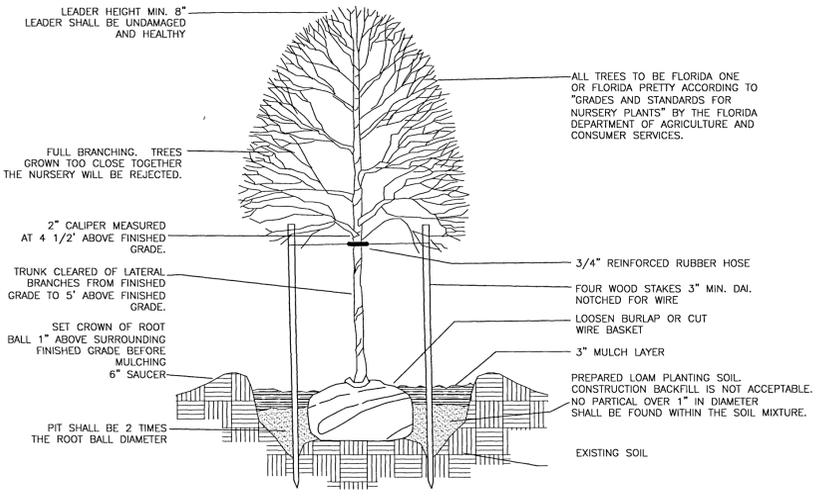
MITIGATION REQUIREMENTS:
TOTAL CALIPER OF PROTECTED TREE REMOVAL IS 326"
REPLACEMENT RATIO 50% OF INCHES = 326" X 0.5 = 163"
PER ESCAMBIA COUNTY LDC SECTION 2.5.2(C) MITIGATION PLANTINGS LIMITED TO 25' PER DEVELOPED ACRE
TOTAL DEVELOPMENT AREA 2.20 AC:
2.20 X 25' = 55' MITIGATION REQ'D
PLANTING OPTIONS:
2.5" TREES = 55' / 2.5" = 22 MITIGATION TREES
REQUIRED W/ MIN 2.5" CALIPER

Native Trees Appropriate for Escambia County Site Development

Greatest Wind Resistance	Scientific Names	Drought Tolerant	Salt Tolerant	Mature Height
Live Oak	<i>Quercus virginiana</i>	High	High	40 to 80 feet
American Holly	<i>Ilex opaca</i>	High	Moderate	30 to 50 feet
Ball Cypress	<i>Casipitum distichum</i>	High	Poor	60 to 80 feet
Black Tupelo	<i>Nyssa sibirica</i>	High	Moderate	65 to 75 feet
Dogwood	<i>Cornus florida</i>	Moderate	Poor	20 to 50 feet
Fringe Tree	<i>Chionochloa virginiana</i>	Moderate	Poor	12 to 20 feet
Red Bud	<i>Cercis canadensis</i>	High	Poor	20 to 50 feet
Sand Oak	<i>Quercus geminata</i>	High	High	30 to 50 feet
Southern Magnolia	<i>Magnolia grandiflora</i>	Moderate	High	60 to 80 feet
Swamp Chestnut Oak	<i>Quercus michauxii</i>	Low	Poor	60 to 90 feet
Sweetgum	<i>Liquidambar styraciflua</i>	High	Moderate	40 to 100 feet

Intermediate Wind Resistance	Scientific Names	Drought Tolerant	Salt Tolerant	Mature Height
Wax Myrtle	<i>Myrica caroliniana</i>	Moderate	High	15 to 30 feet
Silver Maple	<i>Acer saccharinum</i>	High	Moderate	60 to 80 feet
Dahoon Holly	<i>Ilex cassine</i>	Moderate	Moderate	20 to 30 feet
White Cedar	<i>Chamaecyparis thyoides</i>	Moderate	Poor	50 to 75 feet
River Birch	<i>Betula nigra</i>	Low	Poor	50 to 50 feet
Crabapple	<i>Malus spp.</i>	Moderate	Moderate	10 to 25 feet
Florida Sugar Maple	<i>Acer barbatum</i>	High	Poor	20 to 60 feet

Per Escambia County Land Development Code. All plant material used shall conform to the current Florida #1 Grades and Standards for Nursery Plants". Trees should be 2.5 inch caliper measured 4" above grade. (List compiled by J. Jarama from 1978 AS Florida Yards and Neighborhoods, Florida-friendly plant list) List is not all-inclusive.



ESCAMBIA COUNTY TREE PLANTING DETAIL
NOT TO SCALE

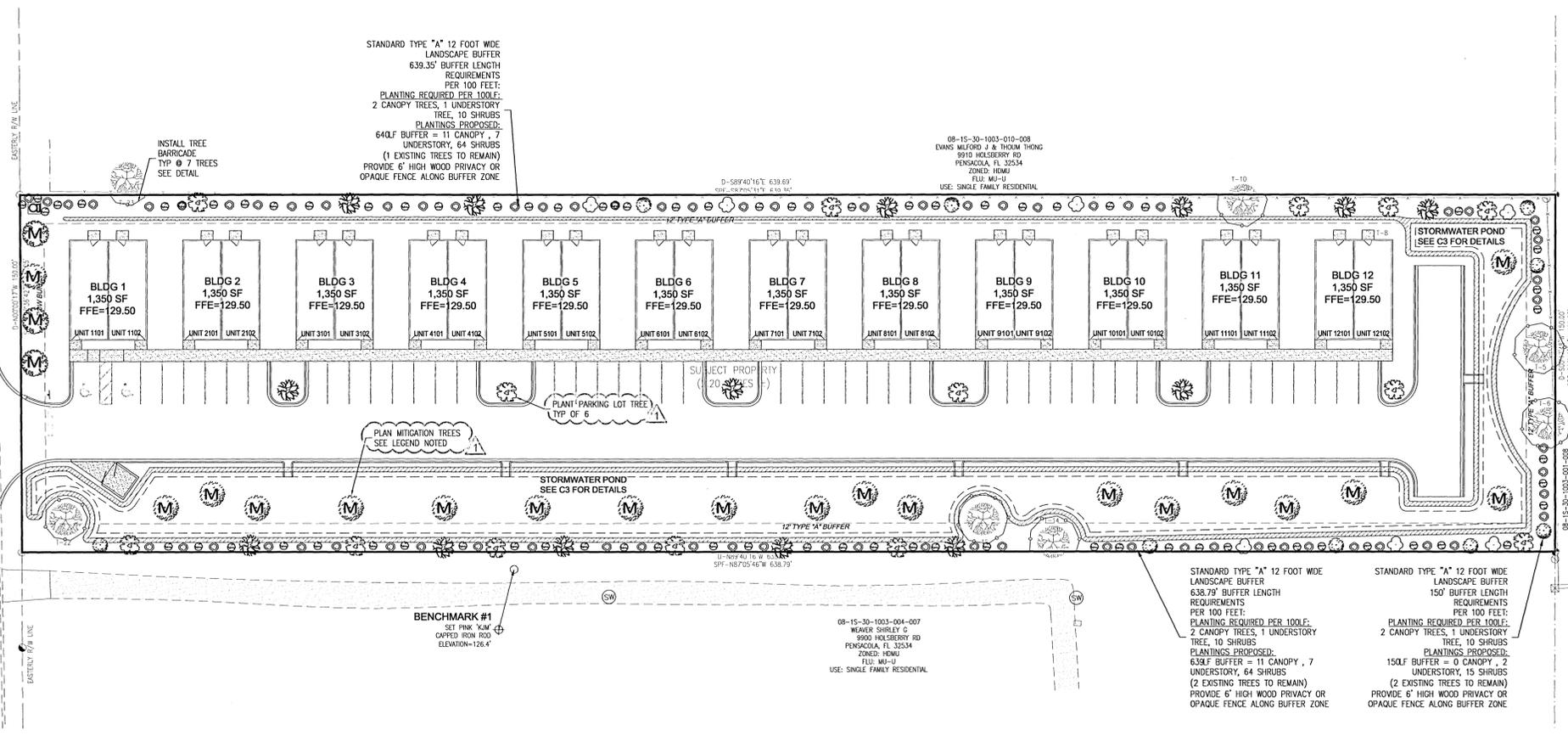
LANDSCAPE PLANTING:
AVOID PLANTING REQUIRED LANDSCAPE TREES UNDER THE FOLLOWING CONDITIONS:

- UNDER THE SHADE OF EXISTING TREES TO REMAIN ONSITE (TO AVOID COMPETITION, SLOW OR REACHING GROWTH, ETC.),
- UNDER PARKING LOT LIGHTING OR OTHER SITE OR SAFETY LIGHTING FEATURES,
- OVER, AROUND OR NEAR SITE SIGNAGE (EXISTING OR PROPOSED),
- ALONG STEEP SLOPES OF STORMWATER PONDS, ATOP NARROW BERMS FOR SUCH OR ON ANY OTHER UNLEVEL &/OR NARROW LAND AREAS, IN OR NEAR SWALES, DITCHES, OR OTHER AREAS OF POTENTIAL CONFLICT WITH/IN PLANTING TREES, THEIR ROOTS, OR OTHER VEGETATION.

(HOWEVER, IF COMPATIBLE MITIGATION TREES (CYPRESS, OTHERS) CAN BE PLANTED WITHIN SW POND(S) OR AT A SAFE, CODE-COMPLIANT DISTANCE FROM SW OUTFALLS, ETC. TO HELP ABSORB WATER, NUTRIENTS & PROVIDE A MUTUAL BENEFIT IN THE FUTURE, PLEASE CONSIDER DOING SO.)

TREE PROTECTION NOTE:
ALL ADEQUATE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.

AT COMPLETION OF CONSTRUCTION, ALL EXPOSED DIRT SHALL BE STABILIZED WITH SOD, HYDRO-SEED, OR HAY/SEED. ONLY BAHIA SOD ALLOWED IN COUNTY RIGHT-OF-WAY.



REVISIONS

NO.	DATE	DESCRIPTION
1	6-12-2021	ESCAMBIA COUNTY FENCE COMMENTS

DRAWN BY: CSB
DESIGNED BY: GSB
CHECKED BY: GSB
DATE: JANUARY 2021
SCALE: AS NOTED

PROJECT NO:
FILE NO: 2020 HOLSBERRY_SITE
SHEET NO: C5

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HOLSBERRY GARDENS
PROP I.D. # 08-1S-30-1003-006-007
9906 HOLSBERRY ROAD
ESCAMBIA COUNTY, FLORIDA

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LANDSCAPE PLAN