

KIA AUTOSPORTS SITE IMPROVEMENTS

6637 PENSACOLA BLVD, PENSACOLA, FLORIDA 32505

PROJ. NO. 07968-0001
 MARCH 2021
 NOT FOR CONSTRUCTION

Approved
 ESCAMBIA COUNTY DRC PLAN REVIEW
 DRC Chairman Signature: *[Signature]* Date: 3-10-21
 Printed Name: *[Signature]*
 Development Services Director for Escambia
 This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.



VICINITY MAP NOT TO SCALE

PROJECT NAME: KIA AUTOSPORTS SITE IMPROVEMENTS

OWNER/DEVELOPER:
 JOHNSON LENORA CORPORATION
 2755 W TENNESSEE STREET
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PROJECT INFORMATION



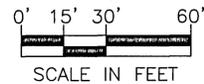
SITE MAP SCALE: 1" = 200'

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SUBMITTAL DATE: MARCH, 2021

PROJ. NO. 07968-0001 KIA AUTOSPORTS SITE IMPROVEMENTS

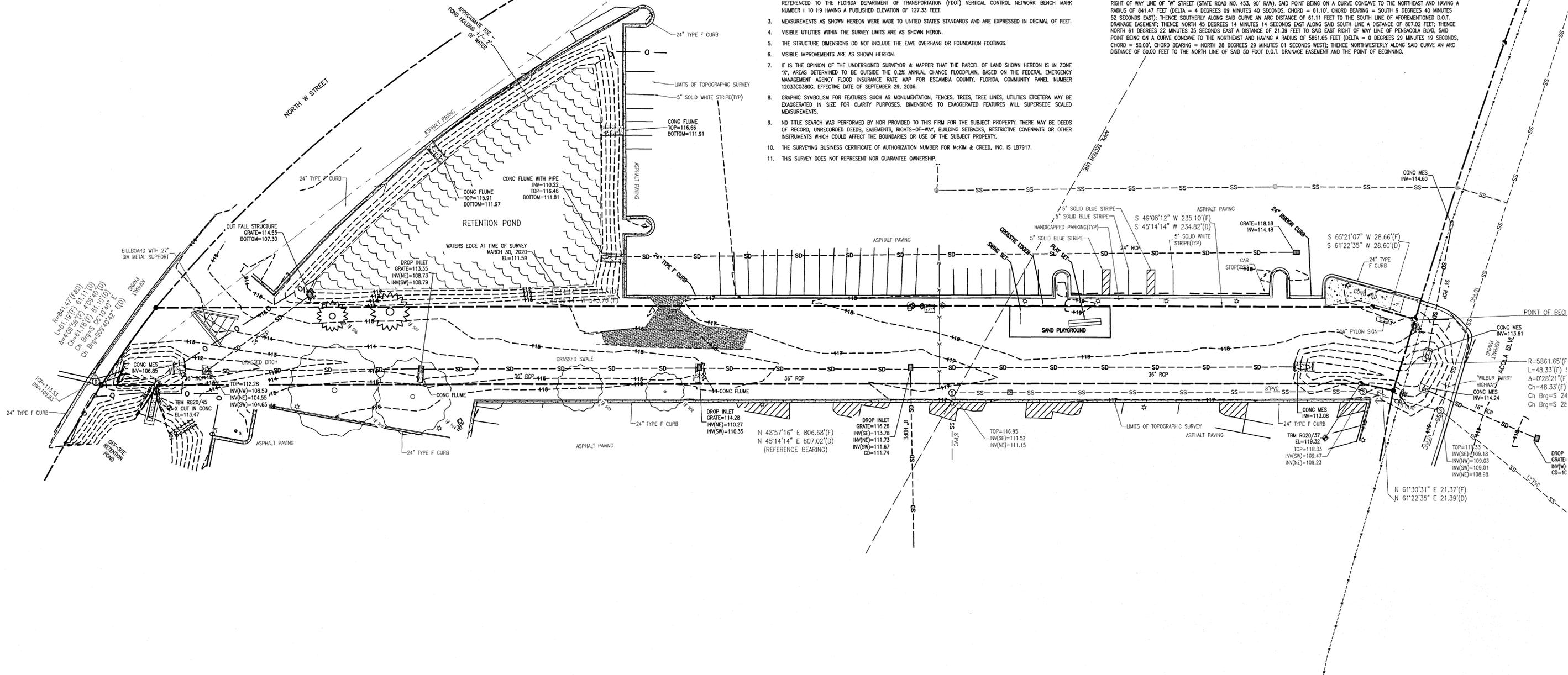


GENERAL NOTES:

- NORTH AND THE SURVEY DATUM SHOWN HEREON IS REFERENCED TO THE GRID BEARING OF N 48°57'16" E ALONG THE SOUTH LINE OF SUBJECT PARCEL AND IS BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM (FLORIDA NORTH ZONE), NORTH AMERICAN DATUM OF 1983 (NAD83)-(2011)-(EPOCH 2010.000) AND WERE DERIVED UTILIZING A GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) TRIMBLE R2 DUAL FREQUENCY RECEIVER, THE RECEIVER WAS UTILIZED IN A REAL-TIME KINEMATIC (RTK) MODE UTILIZING THE FLORIDA DEPARTMENT OF TRANSPORTATION FLORIDA PERMANENT REFERENCE NETWORK (FPRN), FLORIDA'S GLOBAL NAVIGATION SATELLITE SYSTEM (GNSS) REFERENCE STATION NETWORK; DEEDS OF RECORD AND EXISTING FIELD MONUMENTATION.
- ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND ARE REFERENCED TO THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) VERTICAL CONTROL NETWORK BENCH MARK NUMBER 1 10 H9 HAVING A PUBLISHED ELEVATION OF 127.33 FEET.
- MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS AND ARE EXPRESSED IN DECIMAL OF FEET.
- VISIBLE UTILITIES WITHIN THE SURVEY LIMITS ARE AS SHOWN HEREON.
- THE STRUCTURE DIMENSIONS DO NOT INCLUDE THE EAVE OVERHANG OR FOUNDATION FOOTINGS.
- VISIBLE IMPROVEMENTS ARE AS SHOWN HEREON.
- IT IS THE OPINION OF THE UNDERSIGNED SURVEYOR & MAPPER THAT THE PARCEL OF LAND SHOWN HEREON IS IN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR ESCAMBIA COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 12033C03606, EFFECTIVE DATE OF SEPTEMBER 29, 2006.
- GRAPHIC SYMBOLISM FOR FEATURES SUCH AS MONUMENTATION, FENCES, TREES, TREE LINES, UTILITIES ETCETERA MAY BE EXAGGERATED IN SIZE FOR CLARITY PURPOSES. DIMENSIONS TO EXAGGERATED FEATURES WILL SUPERSEDE SCALED MEASUREMENTS.
- NO TITLE SEARCH WAS PERFORMED BY NOR PROVIDED TO THIS FIRM FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, BUILDING SETBACKS, RESTRICTIVE COVENANTS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES OR USE OF THE SUBJECT PROPERTY.
- THE SURVEYING BUSINESS CERTIFICATE OF AUTHORIZATION NUMBER FOR MCKIM & CREED, INC. IS LB7917.
- THIS SURVEY DOES NOT REPRESENT NOR GUARANTEE OWNERSHIP.

DESCRIPTION: (OFFICIAL RECORDS BOOK 5060, PAGE 1880)

PARCEL 2: COMMENCE AT THE INTERSECTION OF THE EASTERLY RIGHT OF WAY LINE OF "M" STREET AND THE EAST LINE OF SECTION 39, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA; THENCE SOUTH 15 DEGREES 06 MINUTES 06 SECONDS EAST A DISTANCE OF 8.38 FEET; THENCE SOUTH 87 DEGREES 10 MINUTES 26 SECONDS EAST A DISTANCE OF 206.95 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF PENSACOLA BLVD (STATE ROAD NO. 95, U.S. HIGHWAY 29, 200' R/W), SAID POINT BEING ON A CURVE CONCAVE TO THE NORTHEAST AND HAVING A RADIUS OF 5861.65 FEET (DELTA = 1 DEGREE 50 MINUTES 06 SECONDS, CHORD = 187.72', CHORD BEARING = SOUTH 27 DEGREES 18 MINUTES 18 SECONDS EAST); THENCE SOUTHEASTERLY ALONG SAID CURVE AN ARC DISTANCE OF 187.73 FEET TO THE NORTH LINE OF A 50 FOOT D.O.T. DRAINAGE EASEMENT AND THE POINT OF BEGINNING; THENCE SOUTH 61 DEGREES 22 MINUTES 35 SECONDS WEST A DISTANCE OF 28.60 FEET; THENCE SOUTH 45 DEGREES 14 MINUTES 14 SECONDS WEST ALONG SAID NORTH LINE A DISTANCE OF 234.82 FEET TO THE AFORESAID EAST LINE OF SECTION 39; THENCE CONTINUE SOUTHWESTERLY ALONG SAID NORTH LINE A DISTANCE OF 544.17 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF "M" STREET (STATE ROAD NO. 453, 90' R/W), SAID POINT BEING ON A CURVE CONCAVE TO THE NORTHEAST AND HAVING A RADIUS OF 841.47 FEET (DELTA = 4 DEGREES 09 MINUTES 40 SECONDS, CHORD = 61.10', CHORD BEARING = SOUTH 9 DEGREES 40 MINUTES 52 SECONDS EAST); THENCE SOUTHERLY ALONG SAID CURVE AN ARC DISTANCE OF 61.11 FEET TO THE SOUTH LINE OF AFORESAID D.O.T. DRAINAGE EASEMENT; THENCE NORTH 45 DEGREES 14 MINUTES 14 SECONDS EAST ALONG SAID SOUTH LINE A DISTANCE OF 807.02 FEET; THENCE NORTH 61 DEGREES 22 MINUTES 35 SECONDS EAST A DISTANCE OF 21.39 FEET TO SAID EAST RIGHT OF WAY LINE OF PENSACOLA BLVD, SAID POINT BEING ON A CURVE CONCAVE TO THE NORTHEAST AND HAVING A RADIUS OF 5861.65 FEET (DELTA = 0 DEGREES 29 MINUTES 19 SECONDS, CHORD = 50.00', CHORD BEARING = NORTH 28 DEGREES 29 MINUTES 01 SECONDS WEST); THENCE NORTHWESTERLY ALONG SAID CURVE AN ARC DISTANCE OF 50.00 FEET TO THE NORTH LINE OF SAID 50 FOOT D.O.T. DRAINAGE EASEMENT AND THE POINT OF BEGINNING.



SITE DATA TABLE

PROPERTY OWNER: JOHNSON LENORA CORPORATION
DEVELOPER: JOHNSON LENORA CORPORATION
PROPERTY LOCATION: 6637 PENSACOLA BLVD
PARCEL NUMBER: 39-1S-30-1105-000-001
LEGAL DESCRIPTION: (SEE ABOVE FOR LEGAL DESCRIPTION)
PARCEL AREA: 5.018 AC
PROPERTY USE:
 EXISTING LAND USE: AUTO SALES
 PROPOSED LAND USE: AUTO SALES
ZONING:
 SITE: HEAVY COMMERCIAL/LIGHT INDUSTRIAL (HC/LI)
 N: RIGHT-OF-WAY
 E: RIGHT-OF-WAY
 S: HEAVY COMMERCIAL/LIGHT INDUSTRIAL (HC/LI)
 W: RIGHT-OF-WAY

FUTURE LAND USE:
 COMMERCIAL (C)
MAX ALLOWABLE DENSITY:
 ALLOWED: 25 UNITS/ACRE
 PROPOSED: N/A UNITS/ACRE
MAX FLOOR AREA RATIO (FAR):
 ALLOWED: 1.0 FOR C ZONING
 PROPOSED: N/A
BUILDING SETBACKS:
 FRONT: 15'
 SIDE: 10' (PLUS 2' FOR EACH ADD'L 10' ABOVE 35' BLDG HEIGHT)
 SIDE STREET: N/A
 REAR: 15'
 ADJUTING RES: N/A

MAX IMPERVIOUS COVERAGE:
 ALLOWED IMPERVIOUS: 85.0% (INCL IMPERVIOUS & SEMI-PERVIOUS)
 PROPOSED IMPERVIOUS: 41.0%
MAX BUILDING HEIGHT:
 ALLOWED: 150'
 PROPOSED: N/A
 EXIST TOWER: N/A
LANDSCAPE BUFFERS:
 FRONT: 20'
 SIDE: 20'
 SIDE STREET: N/A
 REAR: 20'

VEHICULAR PARKING

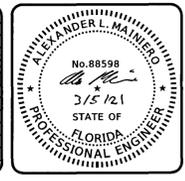
EXISTING STANDARD SPACES	EXISTING ADA SPACES	EXISTING + PROPOSED SPACES	REQUIRED ADA SPACED
52	4	95	4

LOT COVERAGE

COVERAGE TYPE	EXISTING (SF)	EXISTING (%)	PROPOSED (SF)	PROPOSED (%)
IMPERVIOUS	0	0	11,809	33.7
PERVIOUS	35,026	100	20,675	59.0
POND	0	0	2,542	7.3
OVERALL	35,026	100	35,026	100.00

FLOOD ZONE
 THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAINS, NO BFFS OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C03606, MAP REVISION DATED SEPTEMBER 29, 2006.

REV. NO.	DESCRIPTION	DATE

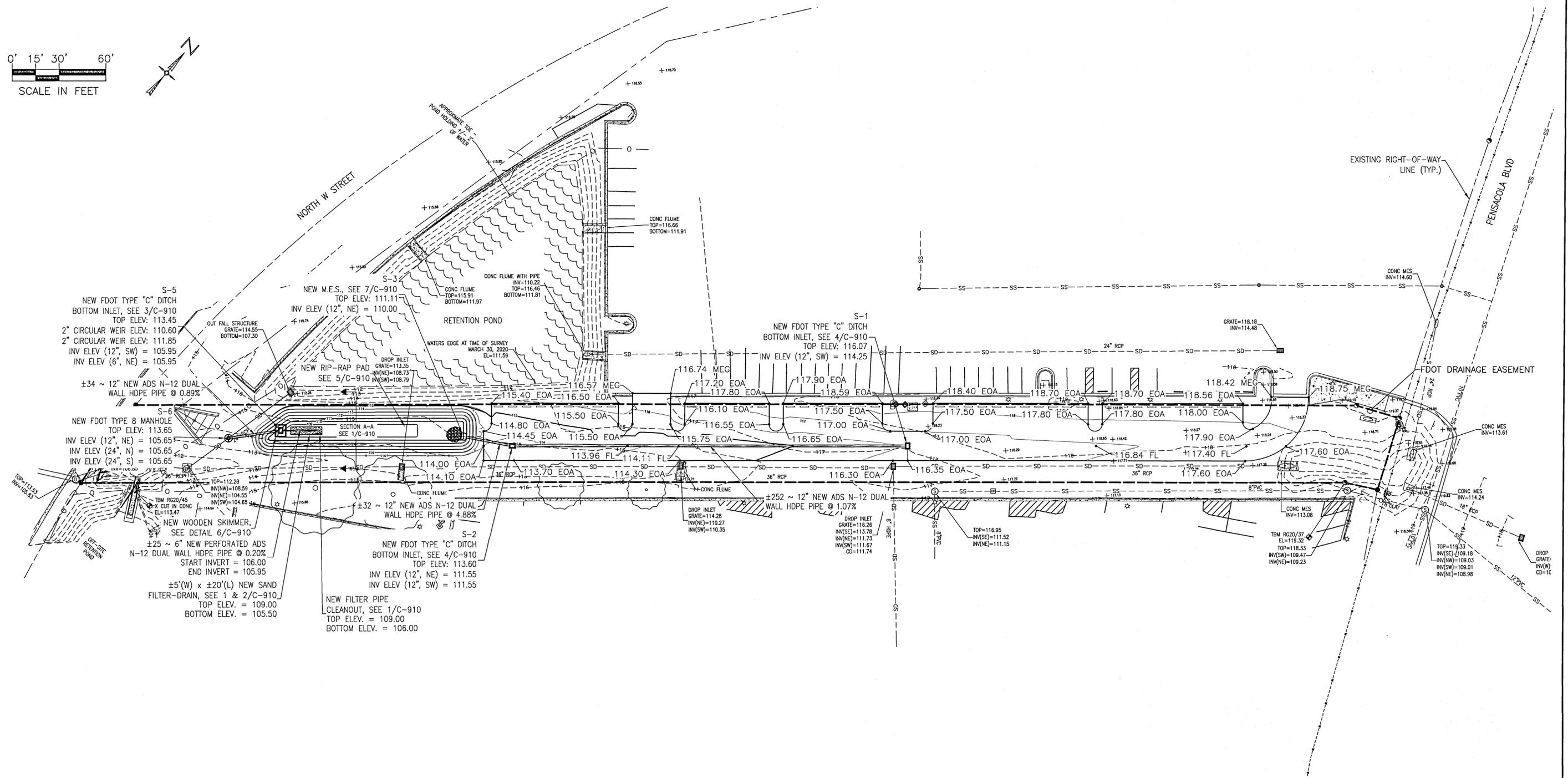
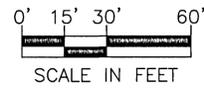


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KIA AUTOSPORTS SITE IMPROVEMENTS
6637 PENSACOLA BLVD,
PENSACOLA, FLORIDA 32505
 GENERAL
EXISTING SITE CONDITIONS

DATE: MARCH 2021
 MCE PROJ. #: 07968-0001
 DRAWN: GTP
 DESIGNED: ALM
 CHECKED: DPJ
 PROJ. MGR: ALM
 SCALE: HORIZONTAL: AS SHOWN, VERTICAL: N/A
C-002
 DRAWING NUMBER
 REVISION
 STATUS: **NOT FOR CONSTRUCTION**



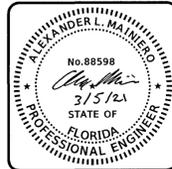
LEGEND:

- | | | | | | |
|--------|---------------------|---|--------------------------|---|-----------------|
| — SF — | SILTATION FENCE | ⊗ | GAS MARKER | ← | GUY WIRE ANCHOR |
| — SD — | STORM LINE | ⊕ | ELECTRIC VAULT | ■ | WOOD POST |
| — SS — | SANITARY SEWER LINE | ⊗ | GAS VALVE | | |
| — O — | CHAINLINK FENCE | ⊗ | SINGLE SUPPORT SIGN | | |
| — W — | WATER LINE | ⊗ | DROP INLET | | |
| | | ⊗ | FIBER OPTIC CABLE MARKER | | |
| | | ⊗ | TELEPHONE PEDESTAL | | |
| | | ⊗ | COMMUNICATION VAULT | | |
| | | ⊗ | STORM MANHOLE | | |
| | | ⊗ | SANITARY SEWER MANHOLE | | |
| | | ⊗ | CONCRETE LIGHT POLE | | |
| | | ⊗ | WATER VALVE | | |
| | | ⊗ | WOOD UTILITY POLE | | |

GRADING AND DRAINAGE NOTES:

- THE FOLLOWING ABBREVIATIONS APPLY:
MEG = MATCH EXISTING GRADE
EOA = EDGE OF ASPHALT MILLINGS
FL = FLOW LINE
- EXISTING DRAINAGE STRUCTURES (INLETS, MANHOLES, ETC.) INVERTS AND TOP ELEVATIONS SHOULD BE FIELD VERIFIED PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR GRADING SITE TO ACHIEVE PROPOSED SURFACE FLOW PATTERNS INDICATED BY PROPOSED SPOT ELEVATIONS. IN ALL CASES RUNOFF MUST BE DIRECTED AWAY FROM BUILDINGS, WALKS, PADS, AND EXISTING FDOT DRAINAGE INLETS AND TOWARDS PROPOSED COLLECTION INLETS.
- PER COUNTY COMMENTS EXISTING STORMWATER POND IS TO BE DEWATERED AND THE OVERBURDEN OF FILTER SAND SHOULD BE SCRAPPED TO REMOVE THE SEDIMENT AND REPLACED SUCH THAT IT CAN BE SCRAPPED AGAIN BY FUTURE MAINTENANCE OPERATIONS.

REV. NO.	DESCRIPTION	DATE



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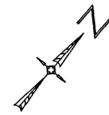
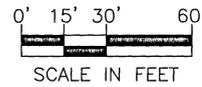
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KIA AUTOSPORTS SITE IMPROVEMENTS
6637 PENSACOLA BLVD,
PENSACOLA, FLORIDA 32505
CIVIL
SITE GRADING AND DRAINAGE
PLAN

DATE:	MARCH 2021
MCE PROJ. #	07968-0001
DRAWN:	GTP
DESIGNED:	ALM
CHECKED:	DPJ
PROJ. MGR.	ALM

SCALE	C-300
HORIZONTAL:	AS SHOWN
VERTICAL:	N/A
REVISION	

STATUS: **NOT FOR CONSTRUCTION**



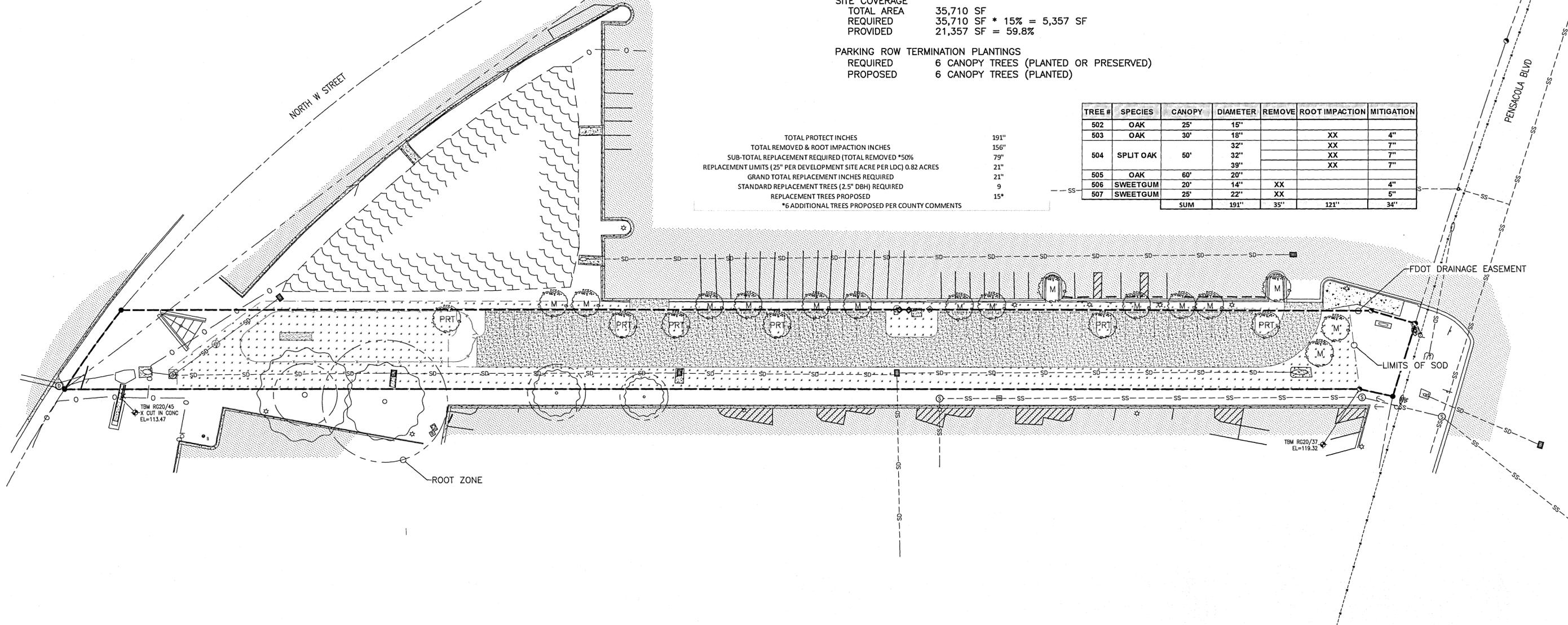
LANDSCAPE REQUIREMENTS SUMMARY:

SITE COVERAGE
 TOTAL AREA 35,710 SF
 REQUIRED 35,710 SF * 15% = 5,357 SF
 PROVIDED 21,357 SF = 59.8%

PARKING ROW TERMINATION PLANTINGS
 REQUIRED 6 CANOPY TREES (PLANTED OR PRESERVED)
 PROPOSED 6 CANOPY TREES (PLANTED)

TOTAL PROTECT INCHES 191"
 TOTAL REMOVED & ROOT IMPACTION INCHES 156"
 SUB-TOTAL REPLACEMENT REQUIRED (TOTAL REMOVED *50% 79"
 REPLACEMENT LIMITS (25" PER DEVELOPMENT SITE ACRE PER LDC) 0.82 ACRES 21"
 GRAND TOTAL REPLACEMENT INCHES REQUIRED 21"
 STANDARD REPLACEMENT TREES (2.5" DBH) REQUIRED 9
 REPLACEMENT TREES PROPOSED 15*
 *6 ADDITIONAL TREES PROPOSED PER COUNTY COMMENTS

TREE #	SPECIES	CANOPY	DIAMETER	REMOVE	ROOT IMPACTION	MITIGATION
502	OAK	25'	15"			
503	OAK	30'	18"		XX	4"
			32"		XX	7"
504	SPLIT OAK	50'	39"		XX	7"
505	OAK	60'	20"			
506	SWEETGUM	20'	14"	XX		4"
507	SWEETGUM	25'	22"	XX		5"
	SUM		191"	35"	121"	34"



- LEGEND:**
- SF — SILTATION FENCE
 - SD — STORM LINE
 - SS — SANITARY SEWER LINE
 - O — CHAINLINK FENCE
 - W — WATER LINE
 - ⊕ GAS MARKER
 - ⊕ ELECTRIC VAULT
 - ⊕ GAS VALVE
 - ⊕ SINGLE SUPPORT SIGN
 - ⊕ DROP INLET
 - ⊕ COMMUNICATION VAULT
 - ⊕ GUY WIRE ANCHOR
 - ⊕ WOOD POST
 - ⊕ STORM MANHOLE
 - ⊕ SANITARY SEWER MANHOLE
 - ⊕ CONCRETE LIGHT POLE
 - ⊕ WATER VALVE
 - ⊕ WOOD UTILITY POLE

- ⊕ FIBER OPTIC CABLE MARKER
- ⊕ TELEPHONE PEDESTAL
- ▨ EXISTING PAVEMENT
- ▨ NEW GRAVEL

CIVIL LANDSCAPING NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR SODDING ALL AREAS INDICATED ON THE PLANS AND ALL OTHER AREAS WHICH ARE DISTURBED AS A RESULT OF CONSTRUCTION ACTIVITIES, WHETHER SUCH AREAS AND OR ACTIVITIES ARE INDICATED ON THE PLANS OR NOT.
2. NO ONE SPECIES CAN MAKE UP MORE THAN 40% OF NEW TREES PLANTED
3. ALL PLANTS REQUIRED BY THIS SECTION SHALL CONFORM TO THE STANDARDS FOR FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
4. ALL LANDSCAPING SHALL UTILIZE NATIVE PLANT SPECIES OR THOSE SPECIES LISTED IN THE FLORIDA-FRIENDLY LANDSCAPING GUIDE TO PLANT SELECTION AND LANDSCAPE DESIGN. IT IS RECOMMENDED THE CONTRACTOR/OWNER CONSULT A LANDSCAPE ARCHITECT FOR TREE SPECIES DETERMINATION OF NEW PLANTINGS.
5. NEW CANOPY TREES TO BE SOUTHERN LIVE OAK, SOUTHERN RED OAK, BALD CYPRESS OR APPROVED EQUAL.
6. ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED AROUND ALL PROTECTED TREES PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.
7. TREE MITIGATION PLANTINGS NOT LIMITED TO PROJECT AREA AND CAN BE PLANTED ANYWHERE WITHIN PARCEL THAT MEETS ESCAMBIA COUNTY REQUIREMENTS PER COUNTY COMMENTS

TREE LEGEND

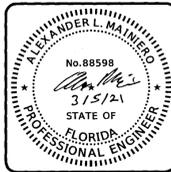
- ⊕ PARKING ROW TERMINATION TREE (CANOPY)
- ⊕ MITIGATION TREE (CANOPY):

A PLANT SPECIES HAVING A MATURE HEIGHT OF OVER 30 FEET, CANOPY TREES EXAMPLES: AMERICAN HOLLY, SHUMARD OAK, LIVE OAK, OR APPROVED VARIANT.

TREES THAT SHALL ATTAIN A MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES OR GREATER MEASURED AT FOUR INCHES ABOVE ROOT BALL AT PLANTING. NON-NATIVE SPECIES ARE LIMITED TO 25 PERCENT OR LESS OF THE TOTAL REQUIRED TREES PLANTED. PALMS DO NOT COMPLY WITH DEFINITION OF TREE FOR THE PURPOSES OF THESE LANDSCAPING PROVISIONS. HOWEVER, WIND-RESISTANT SPECIES MAY BE SUBSTITUTED AT THE RATIO OF TWO PALMS FOR ONE REQUIRED TREE FOR UP TO 50 PERCENT OF TREES REQUIRED FOR DEVELOPMENT IN ESCAMBIA COUNTY, EXCLUDING ANY TREES REQUIRED SPECIFICALLY FOR BUFFERING OR REPLACEMENTS FOR PROTECTED TREE REMOVAL. SUCH PALMS INCLUDE: DATE PALM (PHOENIX SPP. EXCEPT P RECLINATA) AND CABBAGE OR SABAL, (SABAL PALMETTO). THE DIVERSITY OF ANY TREES REQUIRED TO BE PLANTED ON A SITE SHALL COMPLY WITH THE FOLLOWING LIMITS TO AVOID UNIFORM SITE TREE DECLINE FROM PESTS OR DISEASE:

Number of new trees planted on site	Maximum percentage of any one species planted
5-19	67%
20-49	40%
50 or more	30%

REV. NO.	DESCRIPTION	DATE



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6637 PENSACOLA BLVD,
PENSACOLA, FLORIDA 32505

CIVIL
CIVIL LANDSCAPING PLAN

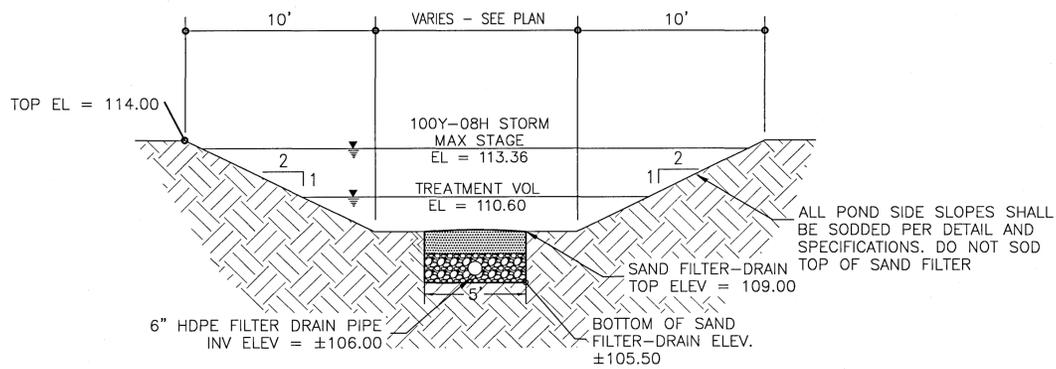
DATE: MARCH 2021	SCALE: AS SHOWN
MCE PROJ. # 07968-0001	HORIZONTAL: N/A
DRAWN: GTP	VERTICAL: N/A
DESIGNED: ALM	
CHECKED: DPJ	
PROJ. MGR. ALM	

C-400

DRAWING NUMBER

REVISION

NOT FOR CONSTRUCTION



- NOTES:**
- RETENTION/DETENTION AREAS MUST BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORM WATER RUNOFF RATES. THE CONTRACTOR MUST CONTROL STORM WATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
 - SIDES AND BOTTOM OF STORM WATER POND MUST BE IMMEDIATELY STABILIZED UPON CONSTRUCTION WITH SODDED SLOPES AND BOTTOM, EXCLUSIVE OF PROPOSED FILTER-DRAIN TRENCH AREA.
 - UPON FINAL COMPLETION OF CONSTRUCTION AND STABILIZATION OF ALL UPSTREAM AREAS, POND MUST BE RE-SHAPED AS NECESSARY TO REMOVE ACCUMULATED SEDIMENT AND TO MATCH THE PROPOSED GRADING ON THE PLANS. ALL DISTURBED AREAS SHALL BE RE-STABILIZED.
 - BASIN BOTTOM MUST BE SMOOTHLY SLOPED TO FILTER DRAIN.

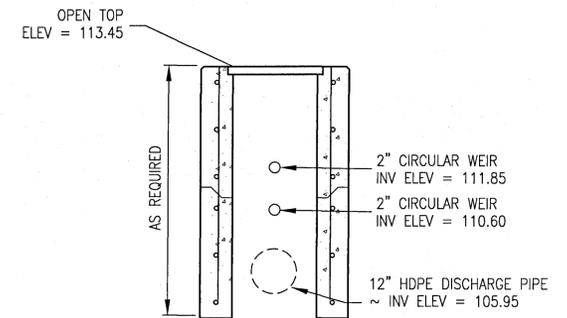
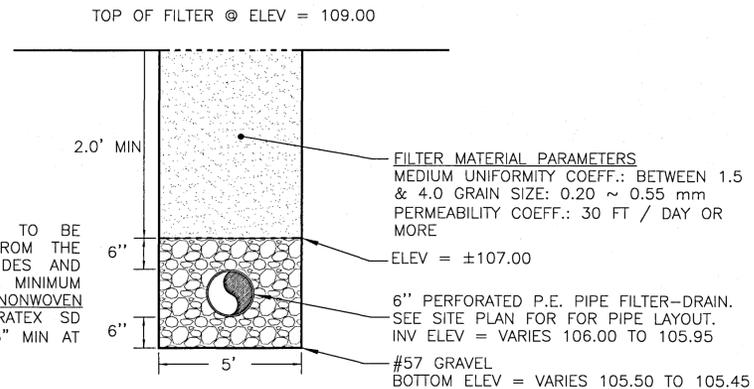
DETENTION BASIN W/ SAND FILTER 1
NOT TO SCALE C-910

SAND AND GRAVEL SECTIONS TO BE SEPARATED INTERNALLY AND FROM THE NATIVE SOILS AROUND THE SIDES AND BOTTOM OF THE TRENCH BY A MINIMUM OF TWO LAYERS OF NONWOVEN GEOTEXTILE FILTER FABRIC, TERATEX SD OR EQUIV., OVERLAPPING BY 36" MIN AT ALL EDGES

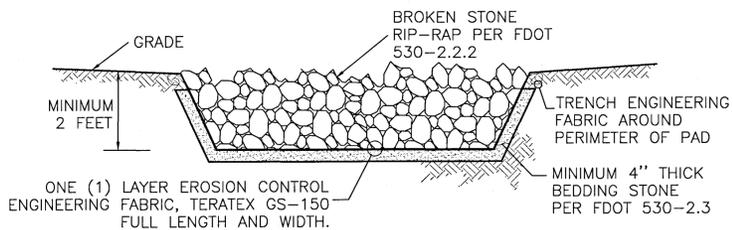
NOTES:

- 6" FILTER-DRAIN PIPE TO BE INSTALLED AT A MINIMUM 0.20% GRADE. SEE PLAN FOR DETAILED INVERT ELEVATIONS.
- CONTRACTOR MUST PROVIDE ANALYTICAL TEST RESULTS TO THE ENGINEER FOR THE PURPOSE OF DEMONSTRATING COMPLIANCE TO SAND FILTER MATERIAL CRITERIA PRIOR TO STARTING THIS PHASE OF CONSTRUCTION.
- AFTER INSTALLATION THE PROPOSED FILTER-DRAIN TRENCH SHALL BE SURROUNDED BY SILT FENCE AND BE COVERED BY AN OVERBURDEN OF SIX INCHES OF CLEAN SAND IMMEDIATELY UPON INSTALLATION. THESE PROTECTIVE MEASURES ARE TO BE MAINTAINED UNTIL SUCH TIME THE SURROUNDING POND EMBANKMENTS HAVE BEEN FULLY STABILIZED, AT WHICH POINT IN TIME THE OVERBURDEN SHALL BE SCRAPPED CLEAN AND THE FILTER-DRAIN LEFT IN ITS FINAL CONDITION DETAILED ABOVE.

SAND FILTER-DRAIN SECTION 2
NOT TO SCALE C-910

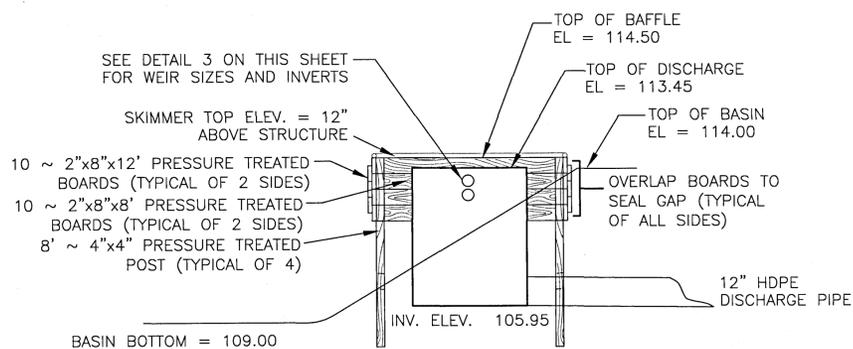


CONTROL STRUCTURE S-5 3
NOT TO SCALE C-910

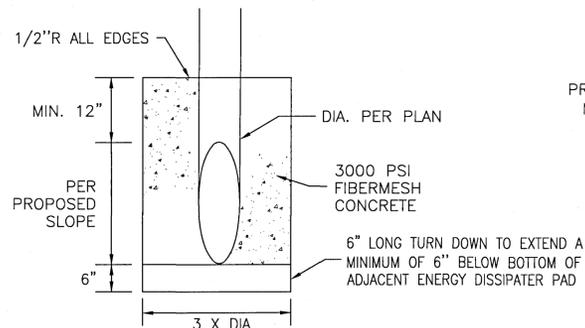


- NOTES:**
- RIP-RAP PAD SHALL NOT BE BROKEN CONCRETE, BROKEN STONE SHALL BE ROUGHLY ANGULAR AND FREE FROM THIN OR ELONGATED PIECES.
 - TOP OF RIP-RAP SHALL BE FLUSH WITH FINISHED GRADES.

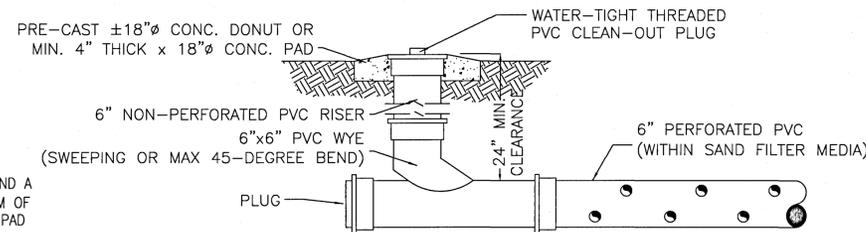
RIP-RAP PAD 5
NOT TO SCALE C-910



SKIMMER STRUCTURE DETAIL 6
NOT TO SCALE C-910

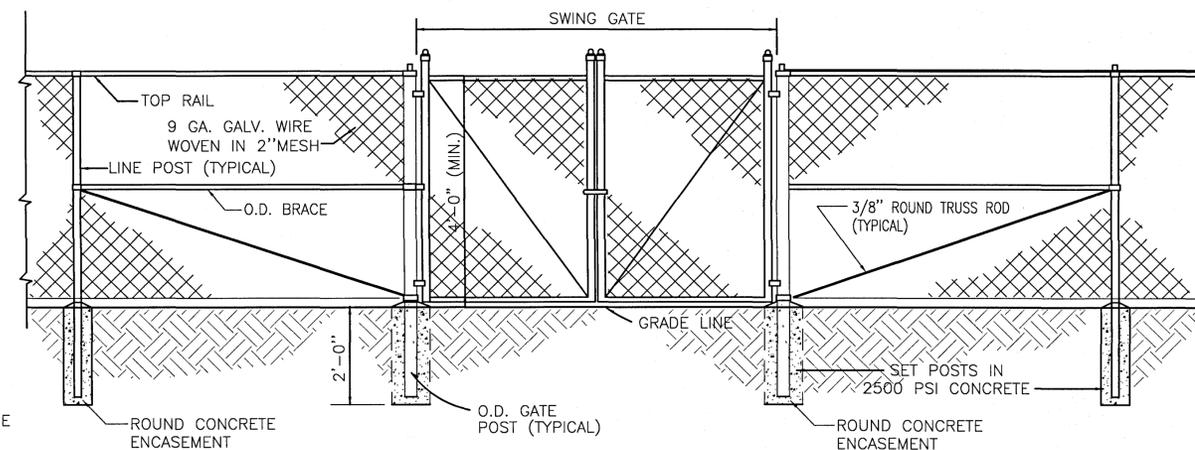


CONCRETE MITERED END SECTION 7
NOT TO SCALE C-910



- NOTES:**
- CLEAN-OUTS MUST BE PROVIDED AT THE ORIGIN OF EACH FILTER-DRAIN LINE.
 - SEE PLAN FOR CLEAN-OUT INVERT DEPTH.

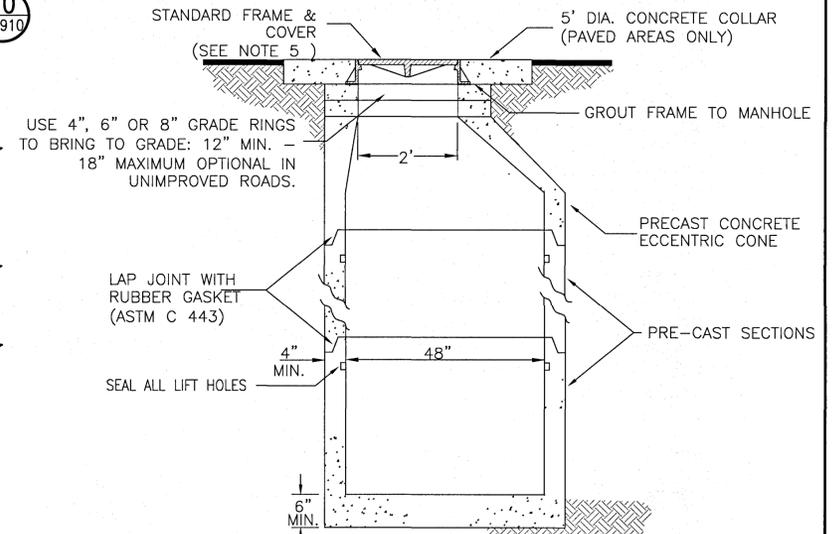
FILTER-DRAIN CLEAN-OUT DETAIL 10
NOT TO SCALE C-910



- FABRIC:** K & K, 2" X 9 GAUGE, 2 OZ. G.A.W.
TOP RAIL: 1-5/8" O.D. SS20
LINEPOST: 2" O.D. SS20
TERMPPOST: 3" O.D. SS20
GATEPOST: 3" O.D. SS20
DRIVE GATEPOST: 4" O.D. SS20
GATEFRAME: 1-5/8" O.D. WITH CENTER BRACE SS20
DRIVE GATEFRAME: 2" O.D. SS20

- TIES:** 9 GAUGE ALUMINUM NO. 7 GAUGE SPRING STEEL GALVANIZED STEEL
ALL CAPS AND HARDWARE: 10' ON CENTER AND FULL DEPTH CONCRETE OF 2500 PSI
POST SETTING: LINEPOST, 6" x 36"; CORNERS, 8" x 36"; GATES, 12" x 36"
FOOTINGS: SET POSTS IN 2500 PSI CONCRETE

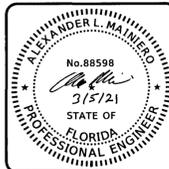
STORM WATER SECURITY FENCE 8
NOT TO SCALE C-910



- MANHOLE SHALL CONFORM TO A.S.T.M. C 478 SPECIFICATIONS.
- JOINTING COMPOUND SHALL BE RAM NECK, TYPE 1, ROPE FORM PLASTIC
- CONCRETE TO BE 3000 P.S.I., REINFORCING STEEL TO BE A.S.T.M.
- SEAL WITH A-LOK, KORE-N-SEAL OR LOCK-JOINT PER SPECIFICATIONS.
- FRAME AND COVER SHALL BE U.S. FOUNDRY MODEL 170, TYPE 'E', WITH "STORM SEWER" CAST INTO COVER, (ASTM A 48, CLASS 30 CAST IRON) OR APPROVED EQUAL.

STORM WATER MANHOLE 9
NOT TO SCALE C-910

REV NO	DESCRIPTION	DATE



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KIA AUTOSPORTS SITE IMPROVEMENTS
 6637 PENSACOLA BLVD,
 PENSACOLA, FLORIDA 32505
DETAILS
DRAINAGE DETAILS

DATE: MARCH 2021
 MCE PROJ. #: 07968-0001
 DRAWN: GTP
 DESIGNED: ALM
 CHECKED: DPJ
 PROJ. MGR: ALM
 SCALE: AS SHOWN
 HORIZONTAL: N/A
 VERTICAL: N/A
 DRAWING NUMBER: C-910
 REVISION:

STATUS: NOT FOR CONSTRUCTION