

PRELIMINARY PLAT OF
SANCTUARY
 (PHASE 2)

A 116 LOT SUBDIVISION OF A PORTION OF
 SECTION 35, TOWNSHIP 2 NORTH, RANGE 31 WEST,
 ESCAMBIA COUNTY, FLORIDA
 ZONED: HC/LI - FUTURE LAND USE: MU-S
 PROPERTY REFERENCE #35-2N-31-2101-000-000
 AUGUST 2021

SITE DATA:

PARCEL I.D.: #35-2N-31-2101-000-000
 CURRENT ZONING: HC/LI
 FUTURE LAND USE: MU-S, MIXED-USE SUBURBAN
 TOTAL AREA: 24.40 ACRES.

BUILDING SETBACK 'S:

FRONT: 15 FT.
 REAR: 15 FT.
 SIDE: 10 FT. OR 10% OF THE LOT WIDTH
 AT THE STREET RIGHT-OF-WAY
 WHICHEVER IS LESS, BUT AT LEAST
 5 FEET.
 CORNER SIDE: 15 FT. FOR ALL CORNER SIDE STREET.

GEODETIC NOTE:

ALL GEOGRAPHIC COORDINATES (LATITUDES AND LONGITUDES) REFERENCED
 HEREON ARE REFERENCED TO NAD 83 (2011) DATUM. THE ELEVATIONS AS
 SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM
 OF 1988, ESTABLISHED BY RTK GPS SYSTEMS, TOGETHER WITH eGPS
 SOLUTIONS REAL TIME VRS NETWORK.

REQUIREMENTS:

PHASE 2 IMPROVEMENTS INCLUDE STREET LIGHTING AND SIDEWALKS ON
 BOTH SIDES OF STREET.

SPECIAL NOTE:

FENCING RESTRICTION: NO FENCES OR OTHER STRUCTURES SHALL BE CONSTRUCTED IN THE PUBLIC DRAINAGE
 ACCESS EASEMENTS. EASEMENTS SHALL BE ACCESSIBLE AT ALL TIMES.

FIVE FOOT CONCRETE SIDEWALKS WILL BE CONSTRUCTED BY THE INDIVIDUAL HOME BUILDER.

THERE ARE 10-FOOT PRIVATE DRAINAGE EASEMENTS ALONG EACH LOT PROPERTY LINES, BEING 5-FOOT ON EACH
 LOT.

FENCES OR OTHER STRUCTURES IN THESE EASEMENTS SHALL NOT IMPEDED STORMWATER FLOW. ALL WETLANDS,
 WETLAND BUFFERS AND CONSERVATION EASEMENT AREAS SHALL REMAIN UNIMPACTED AND IN THEIR NATURAL
 STATE.

NO GAS IS PLANNED FOR THIS SUBDIVISION.

NO SIGNAGE IS PROPOSED WITH THIS PHASE OF SUBDIVISION.

PRELIMINARY PLAT APPROVAL IS REQUIRED TO MAP THE PROPOSED SUBDIVISION OF LAND AND TO ENSURE THE
 DIVISION OF LAND MEETS THE LAND USE REGULATIONS OF THE LDC. LAND DISTURBANCE ACTIVITIES ARE NOT
 AUTHORIZED UNDER THIS PLAT. CONSTRUCTION OF THE SUBDIVISION INFRASTRUCTURE AREAS ONLY WILL BE
 ALLOWED AS DESIGNATED UNDER THE CONSTRUCTION PLANS, ONCE APPROVED. HOWEVER, NEITHER THE PLAT OR
 PLAN ALLOW ACTIVITIES AND DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS AS BUILDING PERMITS FOR THE
 DWELLINGS WILL BE REQUIRED FOR THESE ACTIVITIES ON INDIVIDUAL LOTS IN THE FUTURE.

SURVEYOR'S NOTES:

- BEARINGS SHOWN HEREON ARE REFERENCED TO FLORIDA STATE PLANE COORDINATES, FLORIDA NORTH ZONE,
 NAD 1983 (2011) U.S. SURVEY FEET, PER FDOT CORS "PCLA", THE BASIS OF BEARINGS IS THE EAST RIGHT
 OF WAY OF STAGE ROAD AS BEING N02°52'27"E ~ S02°52'27"W.
- SOURCE OF INFORMATION: FLORIDA DEPARTMENT OF TRANSPORTATION MAINTENANCE MAP (ROAD P.B. 2,
 PG. 1, 1A, 1B AND 1C); SPECIFIC PURPOSE SURVEY FOR "WEST QUINTETTE ROAD MAINTENANCE MAP" BY
 THE ENGINEERING DEPARTMENT, ESCAMBIA COUNTY, FLORIDA, PROJECT NO. 20170035, DATED APRIL 26TH;
 2017; CERTIFIED CORNER RECORDS 020964, 085627, 085619 AND 048339; DEEDS AND PLATS RECORDED IN
 THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA, AS SHOWN HEREON.
- DEP/ACOE/ESCAMBIA COUNTY JURISDICTIONAL ENVIRONMENTAL WETLAND LINES SHOWN HEREON HAVE BEEN
 DETERMINED BY WETLAND SCIENCES ON JANUARY 2020.
- FLOOD NOTE: BY GRAPHIC PLOTTING ONLY; THE PROPERTY SHOWN HEREON LIES IN ZONE X (UNSHADED), AS PER
 THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE FOR ESCAMBIA COUNTY, FLORIDA; SEE
 COMMUNITY PANEL NO. 120080 0240 G, WHICH BEARS A MAP REVISED DATE OF SEPTEMBER 29, 2006.
- THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE
 PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.
- VERTICAL DATUM SHOWN HEREON IS REFERENCED TO NAVD 1988, PER FDOT CORS "PCLA" USING GEOID18.
- THE DEVELOPER WILL WORK WITH THE UNITED STATES POSTAL SERVICE TO PLACE MAIL KIOSKS IN APPROVED
 LOCATIONS AND BE INSTALLED PER THE USPS REQUIREMENTS.
- DESCRIPTION COMPOSED BY VICTOR L. GERMAIN, P.S.M. #LS 7281.

FLOOD CERTIFICATE:

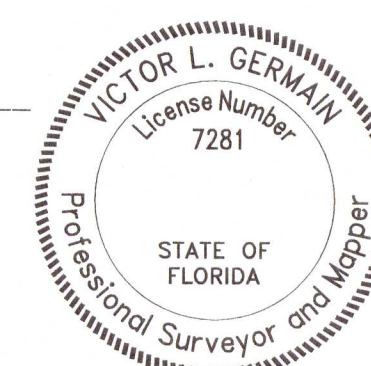
THIS PROPERTY LIES WITHIN ZONE "X" (UNSHADED) AS SCALED FROM THE FEDERAL EMERGENCY MANAGEMENT
 AGENCY'S FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, MAP NUMBER 12033C0240G,
 COMMUNITY NUMBER 120080, PANEL NUMBER 0240, SUFFIX G, MAP REVISED DATE SEPTEMBER 29, 2006.

SURVEYOR'S CERTIFICATE

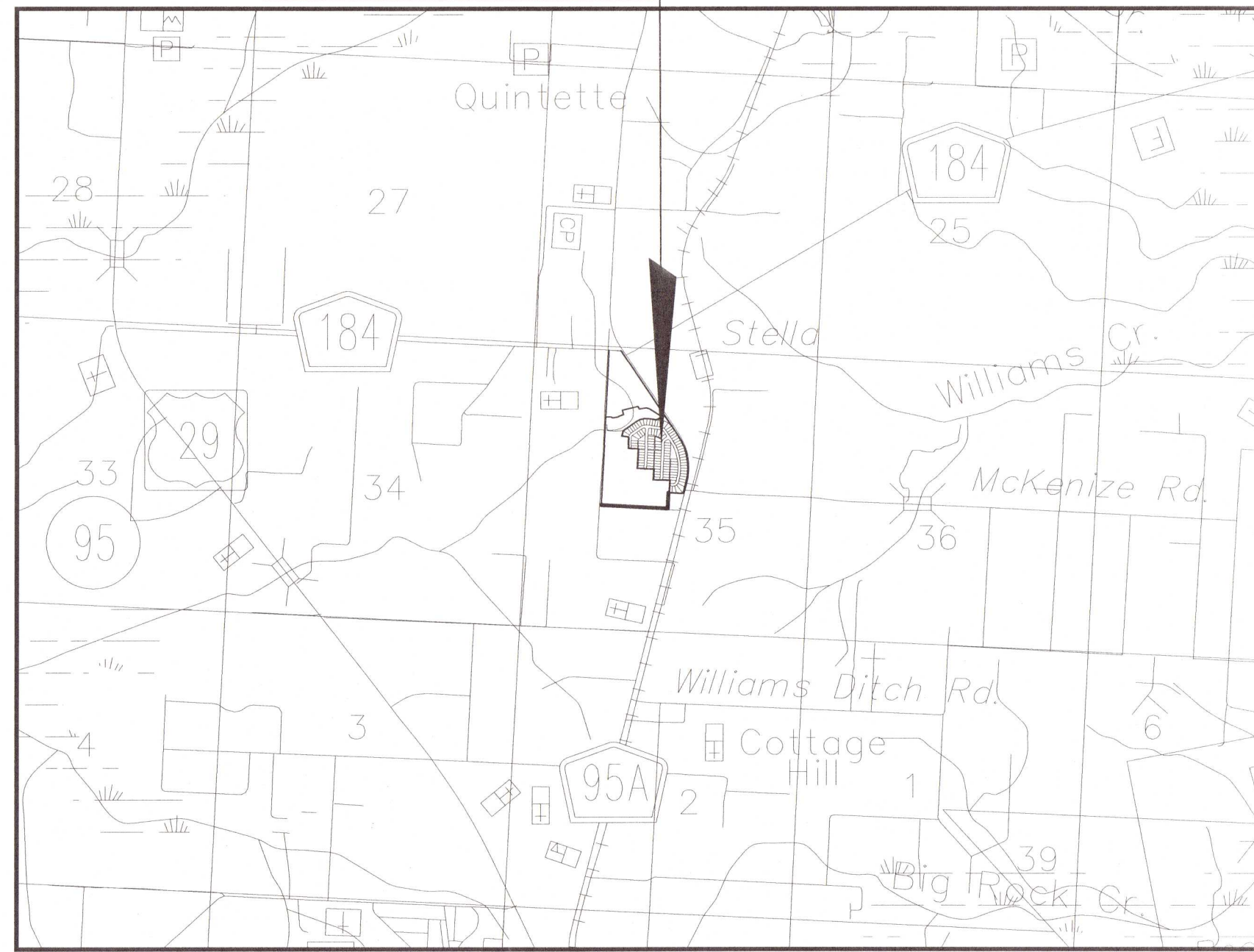
I HEREBY CERTIFY THAT THIS PLAT, "PRELIMINARY PLAT OF SANCTUARY SUBDIVISION PHASE 2",
 IS A TRUE AND CORRECT REPRESENTATION OF THE LANDS SURVEYED, THAT THIS PLAT WAS
 MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION, AND THAT THE SURVEY DATA AND
 THIS PLAT COMPLIES WITH ALL THE REQUIREMENTS OF CHAPTER 177, PART 1 FLORIDA STATUTES,
 AND THAT PERMANENT REFERENCE MONUMENTS AND PERMANENT CONTROL POINTS WILL BE SET
 PRIOR TO RECORDING OF THE PLAT.

SIGNED ON THIS THE 10TH DAY OF AUGUST, 2021.

BY: *Victor L. Germain*
 VICTOR L. GERMAIN, PSM
 FLORIDA LIC. NO. 7281
 DEWBERRY ENGINEERS INC. (LB 8011)
 25353 FRIENDSHIP ROAD
 DAPHNE, AL 36526
 PHONE: 251-929-9803

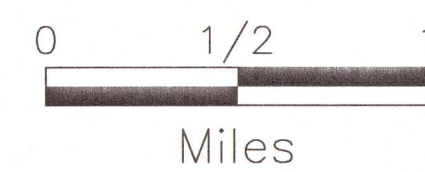


PROJECT SITE



LOCATION MAP

SCALE: 1" = 1/2 MILE



OWNER/DEVELOPER:

D.R. HORTON, INC.
 2450 S HWY 29 #1
 CANTONMENT, FL 32533
 PHONE: 850.937.0445

ENGINEER:

DAVID B. TILLAR, PE
 FLORIDA REG. NO. 86282
 DEWBERRY
 139 EAST GOVERNMENT
 STREET
 PENSACOLA, FL 32502-5801
 850.760.0332

SURVEYOR:

VICTOR L. GERMAIN, PSM
 FLORIDA REG. NO. 7281
 DEWBERRY
 25353 FRIENDSHIP ROAD
 DAPHNE, AL 36526
 PHONE: 251.929.9803

David Tillar 1 SEP 21
 Signature Date

DAVID B. TILLAR, P.E.
 PROJECT ENGINEER REGULATION NO. 86282

NOT APPROVED UNLESS ACCOMPANIED WITH
 A VALID SIGNATURE



DAVID B. TILLAR, P.E.
 FL. No. 86282 CO#AR 8794

Approved
ESCAMBIA COUNTY DRC PLAN REVIEW

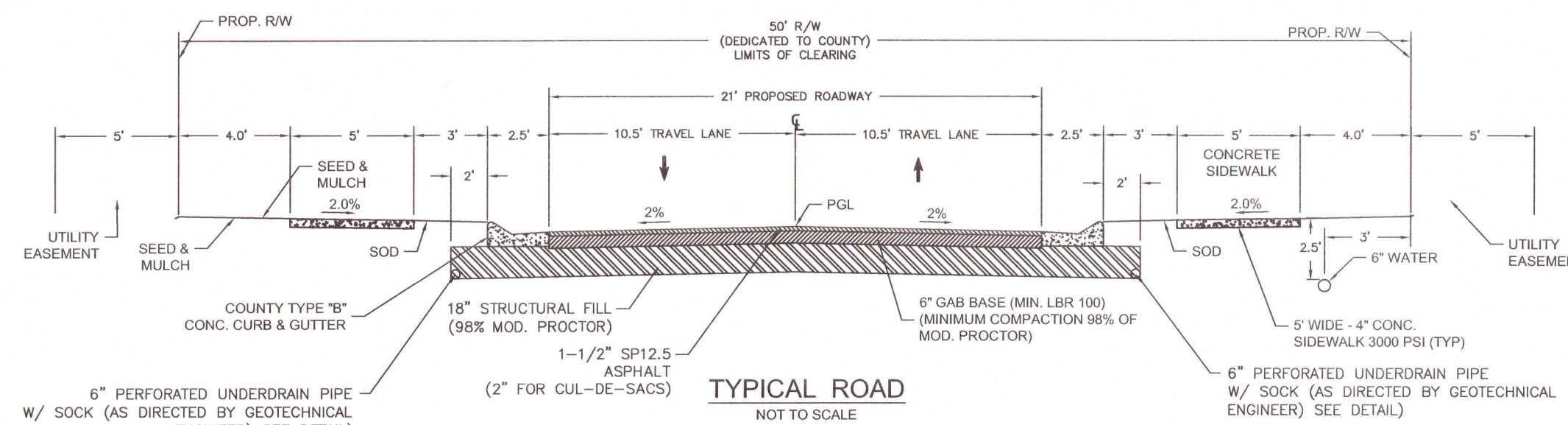
DRC Chairman Signature: *Johnston* 9-1-21 Date

Printed Name: _____
 Development Services Director or Designee

This document has been reviewed in accordance with the requirements
 of applicable Escambia County Regulations and Ordinances, and does
 not in any way relieve the submitting Architect, Engineer, Surveyor or
 other signatory from responsibility of details as drawn. A Development
 Order (DO) must be obtained through the Development Review Process
 prior to the commencement of construction. This DO approval does not
 constitute approval by any other agency. All additional state/federal
 permits shall be provided to the county prior to approval of a final plat or
 the issuance of state/federal permits shall be provided to the county prior
 to approval of a final plat or the issuance of a building permit.

ENGINEERS STATEMENT:

I, DAVID B. TILLAR, ENGINEER OF RECORD FOR SANCTUARY SUBDIVISION,
 PHASE 2, CERTIFY THAT ALL PROPOSED ROADWAYS, DRAINAGE, AND
 OTHER IMPROVEMENTS ARE DESIGNED TO COMPLY WITH ALL APPLICABLE
 FEDERAL, STATE AND LOCAL DEVELOPMENT REQUIREMENTS.



DESCRIPTION:

COMMENCE AT THE SOUTHEAST CORNER OF THE NORTH HALF OF SECTION 35, TOWNSHIP 2 NORTH, RANGE 31 WEST,
 ESCAMBIA COUNTY, FLORIDA AND RUN THENCE NORTH 87°22'02" WEST, ALONG THE SOUTH LINE OF THE NORTH HALF
 OF SAID SECTION 35, A DISTANCE OF 2422.59 FEET TO THE WEST RIGHT-OF-WAY OF COUNTY ROAD 95A TO THE
 POINT OF BEGINNING; THENCE RUN ALONG SAID WEST RIGHT-OF-WAY OF COUNTY ROAD 95A THE FOLLOWING FIVE (5)
 COURSES: (1) NORTH 25°55'40" EAST, A DISTANCE OF 14.90 FEET; (2) NORTH 12°34'33" EAST, A DISTANCE OF 100.04
 FEET; (3) NORTH 14°17'39" EAST, A DISTANCE OF 99.50 FEET; (4) ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF
 1,111.68 FEET, AN ARC LENGTH OF 931.64 FEET (CHORD BEARS NORTH 09°42'51" WEST, A DISTANCE OF 904.62 FEET);
 (5) NORTH 33°43'21" WEST, A DISTANCE OF 387.51 FEET; THENCE RUN SOUTH 64°38'44" WEST, DEPARTING SAID WEST
 RIGHT-OF-WAY, A DISTANCE OF 84.98 FEET; THENCE RUN NORTH 25°21'16" WEST, A DISTANCE OF 50.00 FEET;
 THENCE RUN SOUTH 64°38'44" WEST, A DISTANCE OF 99.54 FEET; THENCE RUN NORTH 80°38'43" WEST, A DISTANCE OF
 137.75 FEET; THENCE RUN ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 325.00 FEET, AN ARC LENGTH OF
 254.26 FEET (CHORD BEARS SOUTH 76°56'34" WEST, A DISTANCE OF 247.82 FEET); THENCE RUN SOUTH 54°31'50"
 WEST, A DISTANCE OF 299.27 FEET; THENCE RUN SOUTH 10°44'39" WEST, A DISTANCE OF 115.83 FEET; THENCE RUN
 SOUTH 80°18'06" EAST, A DISTANCE OF 127.14 FEET; THENCE RUN SOUTH 02°33'57" WEST, A DISTANCE OF 194.11 FEET;
 THENCE RUN SOUTH 81°18'24" EAST, A DISTANCE OF 50.29 FEET; THENCE RUN SOUTH 87°26'03" EAST, A DISTANCE OF
 135.00 FEET; THENCE RUN SOUTH 02°33'57" WEST, A DISTANCE OF 365.00 FEET; THENCE RUN SOUTH 87°26'03" EAST,
 A DISTANCE OF 125.00 FEET; THENCE RUN SOUTH 85°24'18" EAST, A DISTANCE OF 50.03 FEET; THENCE RUN SOUTH
 87°26'03" EAST, A DISTANCE OF 135.00 FEET; THENCE RUN SOUTH 02°33'57" WEST, A DISTANCE OF 200.00 FEET;
 THENCE RUN SOUTH 87°26'03" EAST, A DISTANCE OF 125.00 FEET; THENCE RUN NORTH 88°45'05" EAST, A DISTANCE
 OF 50.11 FEET; THENCE RUN SOUTH 87°22'02" EAST, A DISTANCE OF 135.00 FEET; THENCE RUN SOUTH 02°33'57" WEST,
 A DISTANCE OF 110.00 FEET; THENCE RUN NORTH 87°22'02" WEST, A DISTANCE OF 10.00 FEET; THENCE RUN SOUTH
 02°33'57" WEST, A DISTANCE OF 125.00 FEET; TO THE POINT OF BEGINNING.

TRACT CONTAINS 24.40 ACRES, MORE OR LESS, AND LIES IN SECTION 35, TOWNSHIP 2 NORTH, RANGE 31 WEST,
 ESCAMBIA COUNTY, FLORIDA.

GENERAL NOTES:

- "THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT"
 RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO
 REQUESTING A FINAL INSPECTION, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT
 CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION
 OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA
 PROFESSIONAL ENGINEER."
- "THE DEVELOPER/CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN
 DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON
 THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION."
- "RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETED PRIOR TO ANY CONSTRUCTION
 ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE DEVELOPER/CONTRACTOR SHALL
 CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION."
- "ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND
 MULCH, HYDROSEED AND/OR SOD." IF WINTER RYE SEED IS USED, INCLUDE A BAHIA MIX TO INSURE
 CONTINUED GROWTH AFTER WINTER MONTHS."
- "ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL
 STORMWATER TO RETENTION/DETENTION AREAS."
- "DEVELOPER/CONTRACTOR/HOMEOWNERS ASSOCIATION SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN
 OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION
 WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND AT THE END OF THE 2- YEAR WARRANTY
 PERIOD."
- "CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW AS-BUILT
 CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET
 STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE
 ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION."
- "THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE
 DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595- 3475. AS-BUILT
 CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL."
- "NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432- 4770."
- "ALL ASPECTS OF THE STORMWATER DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS
 SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION"
- "NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT
 PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY
 RESULT IN DELAYS IN COUNTY ACCEPTANCE OF IMPROVEMENTS."
- "THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE
 STATE RIGHTS-OF-WAY."
- "TO COMPLY WITH NPDES REQUIREMENTS, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER
 EACH REQUIRED RAINFALL EVENT OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH
 INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS; INSPECTION RECORDS SHALL BE PROVIDED
 TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO FDEP."

UTILITY PROVIDERS:

- SEWER - EMERALD COAST UTILITIES AUTHORITY
 MR. MIKE HAMLIN
 P.O. BOX 15311
 PENSACOLA, FL 32514 PH: (850) 969-3310
- ELECTRIC - GULF POWER
 MR. CHAD SWAILS
 5120 DOGWOOD DRIVE
 MILTON, FL 32570 PH: (850) 429-2446
- NATURAL GAS - PENSACOLA ENERGY
 MR. SHAWN HARRIS
 1625 ATWOOD DRIVE
 PENSACOLA, FL 32514 PH: (850) 474-5310
- CABLE - SPECTRUM
 MR. JOSEPH PRIDGEN
 94 WALTON ROAD
 DEFUNIAK SPRINGS, FL 32433 PH: (205) 209-2028
- TELEPHONE - AT&T FLORIDA
 MR. HAL HINOTE
 2221 INDUSTRIAL DRIVE
 PANAMA CITY, FL 32405 PH: (850) 913-3709
- SUNSHINE STATE ONE-CALL
 7200 LAKE ELLENOR DRIVE, SUITE 200
 ORLANDO, FL 32809 PH: (800) 432-4770
- TRAFFIC DEPARTMENT - ESCAMBIA COUNTY PUBLIC WORKS
 MRS. JOHNNY COX
 3363 WEST PARK PLACE
 PENSACOLA, FL 32505 PH:(850) 595-3404
- WATER - COTTAGE HILL WATER WORKS
 16 WILLIAMS DITCH ROAD
 CANTONMENT, FL 32533 PH:(850) 968-5485

UTILITY NARRATIVE:

POTABLE WATER:
 AFTER RECEIVING COTTAGE HILL WATER APPROVALS, THE DEVELOPER PLANS TO CONNECT TO
 THE EXISTING ADJACENT SYSTEM CONSTRUCTING ALL NECESSARY UNDERGROUND WATER MAINS,
 VALVES AND FIRE HYDRANTS TO SERVE THIS DEVELOPMENT. UPON COMPLETION, THE ENTIRE
 SYSTEM, WITHIN THE RIGHT OF WAY AND EASEMENTS, WILL THEN BE TURNED OVER TO COTTAGE
 HILL WATER FOR ACCEPTANCE AND MAINTENANCE.

SEWER SYSTEM (SANITARY):
 AFTER RECEIVING ECUA AND ESCAMBIA COUNTY APPROVALS, THE DEVELOPER PLANS TO
 CONNECT TO THE EXISTING ECUA GRAVITY MAIN VIA CONSTRUCTION OF A GRAVITY MAIN
 SYSTEM. UPON COMPLETION THE ENTIRE SYSTEM WILL BE TURNED OVER TO ECUA FOR
 ACCEPTANCE AND MAINTENANCE.

STORM SEWER:
 AFTER RECEIVING ERP AND ESCAMBIA COUNTY APPROVALS, THE DEVELOPER PLANS TO
 CONSTRUCT STORMWATER INFRASTRUCTURE. THE ENGINEER WILL DESIGN THE
 STORM DRAINAGE SYSTEM TO COMPLY WITH ESCAMBIA COUNTY SUBDIVISION AND STORMWATER
 ORDINANCES. UPON COMPLETION, THE ENTIRE SYSTEM WILL BE DEDICATED AS PUBLIC, OWNED
 AND MAINTAINED.

ELECTRIC, GAS, TELEPHONE & TV CABLE:
 THESE SERVICES TO BE INSTALLED AND MAINTAINED BY THE APPROPRIATE UTILITY COMPANY.



CERTIFICATE OF AUTHORIZATION No. LB 8011
 25353 FRIENDSHIP ROAD
 DAPHNE, ALABAMA 36526

SHEET
 NO.

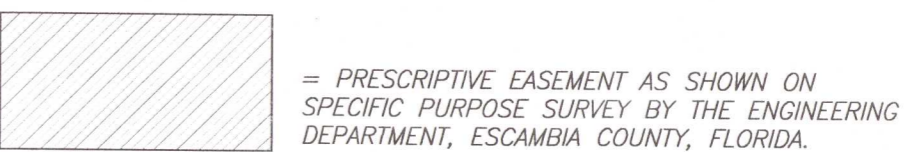
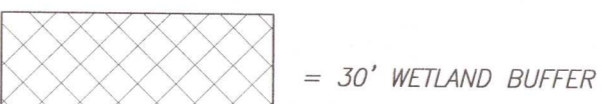
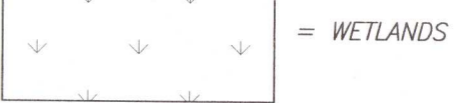
1 of 5

PRELIMINARY PLAT OF
SANCTUARY
 (PHASE 2)

A 116 LOT SUBDIVISION OF A PORTION OF
 SECTION 35, TOWNSHIP 2 NORTH, RANGE 31 WEST,
 ESCAMBIA COUNTY, FLORIDA
 ZONED: HC/L1 - FUTURE LAND USE: MU-S
 PROPERTY REFERENCE #35-2N-31-2101-000-000
 AUGUST 2021

SYMBOLS & ABBREVIATIONS:

- | | |
|--|---|
| No. = NUMBER | D.E.P. = DEPARTMENT OF ENVIRONMENTAL PROTECTION |
| # = NUMBER | ECUA = EMERALD COAST UTILITY AUTHORITY |
| - = DISTANCE NOT TO SCALE | N.T.S. = NOT TO SCALE |
| L.B. = LICENSED BUSINESS | R.P. = RADIUS POINT |
| L.S. = LICENSED SURVEYOR | A.C.O.E. = ARMY CORPS OF ENGINEERS |
| P.S.M. = PROFESSIONAL SURVEYOR AND MAPPER | F.E.M.A. = FEDERAL EMERGENCY MANAGEMENT AGENCY |
| O.R. = OFFICIAL RECORDS | USPS = UNITED STATES POSTAL SERVICE |
| ± = MORE OR LESS | FDOT = FLORIDA DEPARTMENT OF TRANSPORTATION |
| P.C. = POINT OF CURVATURE | D.B. = DEED BOOK |
| P.T. = POINT OF TANGENCY | P.C.P. = PERMANENT CONTROL POINT |
| P.I. = POINT OF INTERSECTION | P.R.M. = PERMANENT REFERENCE MONUMENT |
| P.C.C. = POINT OF COMPOUND CURVE | ID. = IDENTIFICATION |
| P.R.C. = POINT OF REVERSE CURVATURE | INC. = INCORPORATED |
| R/W = RIGHT OF WAY | DWG. = DRAWING |
| CL = CENTERLINE | (RAD) = RADIAL |
| O.R.B. = OFFICIAL RECORDS BOOK | (NR) = NON-RADIAL |
| PG. = PAGE | S.F. = SQUARE FEET |
| B.S.L. = BUILDING SETBACK LINE | AC. = ACRES |
| S.W.M.F. = STORMWATER MANAGEMENT FACILITY | D.E. = DRAINAGE EASEMENT |
| P.C.A. = PRIVATE COMMON AREA | P.D.O.R.O.W. = PUBLIC DRAINAGE RIGHT-OF-WAY |
| U.E. = UTILITY EASEMENT | (C) = CALCULATED BEARING AND DISTANCE |
| P.D.A.E. = PUBLIC DRAINAGE/ACCESS EASEMENT | (P1) = RECORD MAP OR PLAT BEARING AND DISTANCE |
| P.D.E. = PRIVATE DRAINAGE EASEMENT | (FLORIDA DEPARTMENT OF TRANSPORTATION, MAINTENANCE MAP, PLAT BOOK 2 PAGES 1, 1A, 1B AND 1C) |
| H.O.A. = HOMEOWNERS ASSOCIATION | (M) = MEASURED BEARING AND DISTANCE |
| A = ARC DISTANCE | (R) = RECORD DEED BEARING AND DISTANCE |
| R = RADIUS | □ = FOUND 4" X 4" CONCRETE MONUMENT |
| Δ = DELTA ANGLE | ○ = FOUND CAPPED REBAR |
| CB = CHORD BEARING | △ = FOUND NAIL AND DISK |
| CD = CHORD DISTANCE | □ = SET 4" BY 4" CONCRETE MONUMENT STAMPED P.R.M. (L.B. #8011) |
| | ○ = SET NAIL AND DISK (L.B. #8011) |
| | (NAILS AND DISKS SET IN THE CENTERLINE ARE STAMPED P.C.P., ALL OTHERS ARE L.B. #8011) |
| | ● = SET 5/8" CAPPED REBAR (L.B. #8011) |



SOIL SURVEY MAP UNITS:
 (SEE SOIL REPORT FOR COMPLETE DETAILS)

- 25 - POARCH SANDY LOAM, 2 TO 5 PERCENT SLOPES
- 43 - ALBANY SAND, 0 TO 5 PERCENT SLOPES
- 54 - TROUP-POARCH COMPLEX, 8 TO 12 PERCENT SLOPES
- 60 - NOTCHER FINE SANDY LOAM, 2 TO 5 PERCENT SLOPES

NOTE:
 SOURCE OF SOIL DATA: UNITED STATES DEPARTMENT OF AGRICULTURE (USDA) NATURAL RESOURCES CONSERVATION SERVICE (NRCS) CUSTOM SOIL RESOURCE REPORT FOR ESCAMBIA COUNTY, FLORIDA.

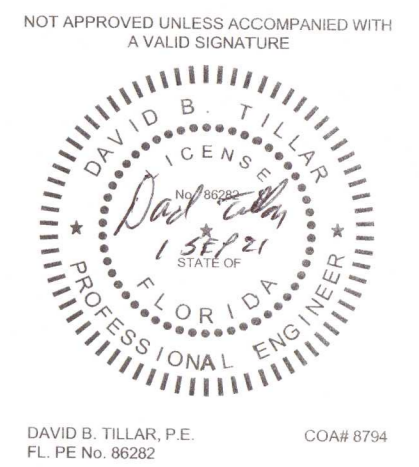
ADJACENT OWNERS:

- 1 TRUITT, MICHAEL P. & LARREN P.
 1999 HIGHWAY 95A NORTH
 CANTONMENT, FL 32533
 (O.R.B. 4526 PG 605)

LINE	BEARING	DISTANCE
L9	S64°39'44"W	99.54'
L10	N80°36'43"W	133.75'
L11	S81°18'24"E	50.29'
L12	S85°24'18"E	50.03'
L13	N88°45'05"E	50.11'
L77	S64°38'44"W	84.98'
L78	N25°21'16"W	50.00'
L79	S02°33'57"W	110.00'
L80	N87°22'02"W	10.00'
L81	S02°33'57"W	128.00'

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C3	254.26'	325.00'	44°49'27"	S76°56'34"W	247.82'

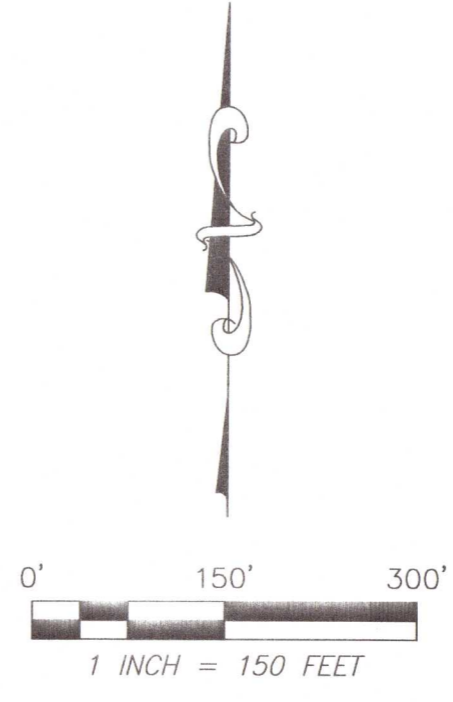
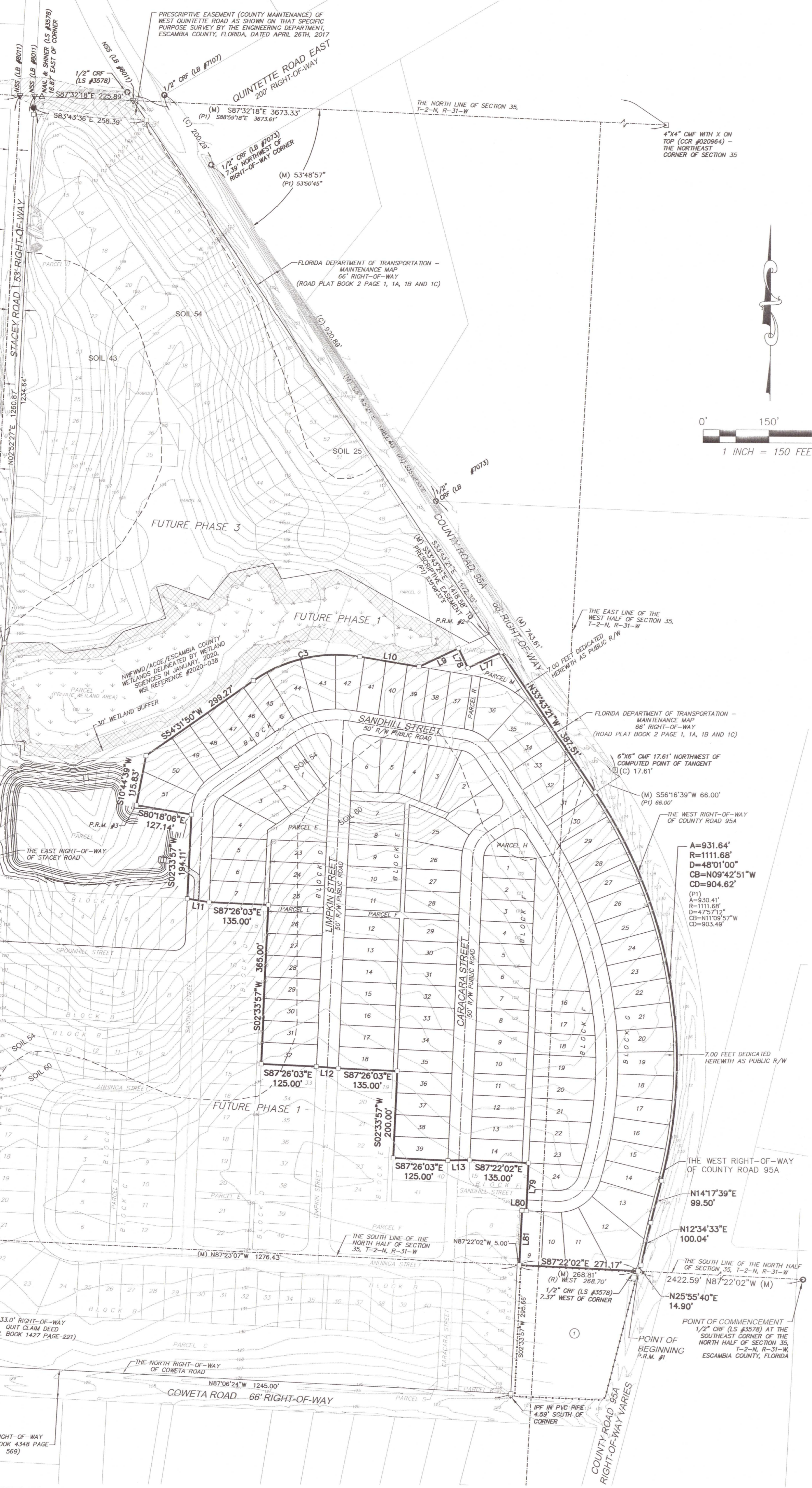
David Tillar
 Signature
 158721
 Date
 DAVID B. TILLAR
 PROJECT ENGINEER
 REGULATION NO. 86282



Dewberry
 CERTIFICATE OF AUTHORIZATION No. LB 8011
 25353 FRIENDSHIP ROAD
 DAPHNE, ALABAMA 36526

4"x4" C.M.F. WITH 3/4" PIPE (CCR #085627 - NOT HELD)
 NORTH 152°27'E 8.37' OF MONUMENT HELD FOR THE
 NORTHWEST CORNER OF SECTION 35

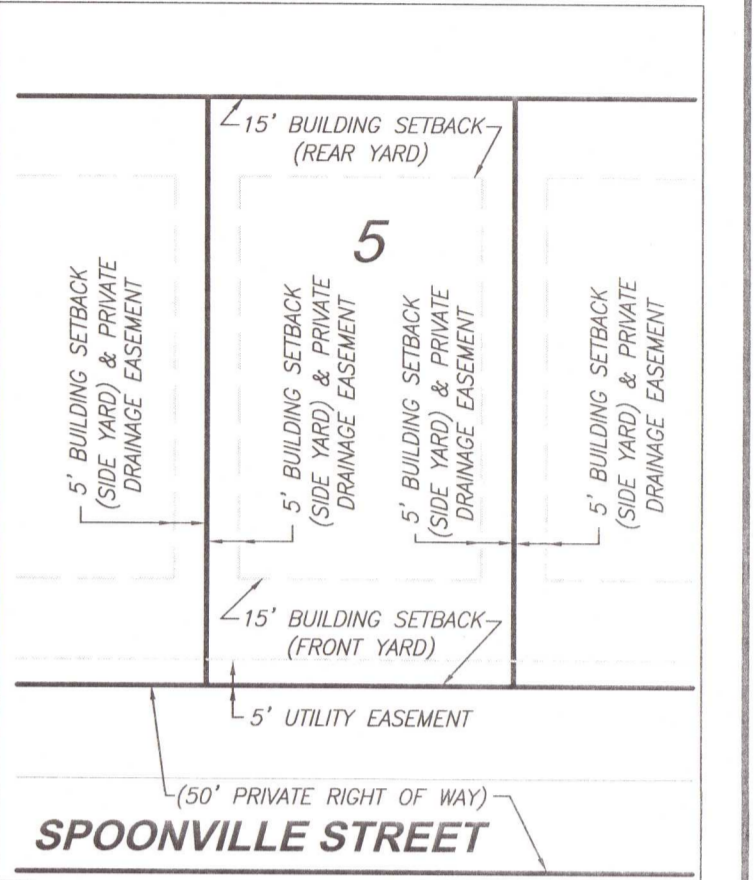
4"x4" C.M.F. AT THE NORTHWEST CORNER OF SECTION 35,
 T-2-N, R-31-W (WITNESSED BY THAT SPECIFIC PURPOSE
 SURVEY BY THE ENGINEERING DEPARTMENT, ESCAMBIA
 COUNTY, FLORIDA, DRAWING E-5009 AND THE FLORIDA
 DEPARTMENT OF TRANSPORTATION MAINTENANCE MAP FOR
 STATE ROAD 95A, W.P.L. NO. 3121559)



SEE SHEET 4 OF 4 FOR CONTINUATION NORTH

PRELIMINARY PLAT OF SANCTUARY (PHASE 2) A 116 LOT SUBDIVISION OF A PORTION OF SECTION 35, TOWNSHIP 2 NORTH, RANGE 31 WEST, ESCAMBA COUNTY, FLORIDA PROPERTY REFERENCE #35-2N-31-2101-000-000 AUGUST 2021

TYPICAL LOT SETBACK AND UTILITY DETAIL N.T.S.



SYMBOLS & ABBREVIATIONS:

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= NUMBER
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L.S. = LICENSED SURVEYOR
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□ = FOUND 4" x 4" CONCRETE MONUMENT
△ = FOUND CAPPED REBAR
▲ = FOUND NAIL AND DISK
□ = SET 4" BY 4" CONCRETE MONUMENT STAMPED P.R.M. (L.B. #8011)
○ = SET NAIL AND DISK (L.B. #8011) (NAILS AND DISKS SET IN THE CENTERLINE ARE STAMPED P.C.P., ALL OTHERS ARE L.B. #8011)
● = SET 5/8" CAPPED REBAR (L.B. #8011)

- WETLANDS
30' WETLAND BUFFER
PROPOSED DRAINAGE MANHOLE
PROPOSED SANITARY MANHOLE
BUILDING SETBACK LINES
TYPE "A" SILT FENCING
PROPOSED WATER LINE
PROPOSED SANITARY SEWER LINE
PROPOSED SEWER FORCEMAIN
INLET PROTECTION
STABILIZED CONSTRUCTION ENTRANCE

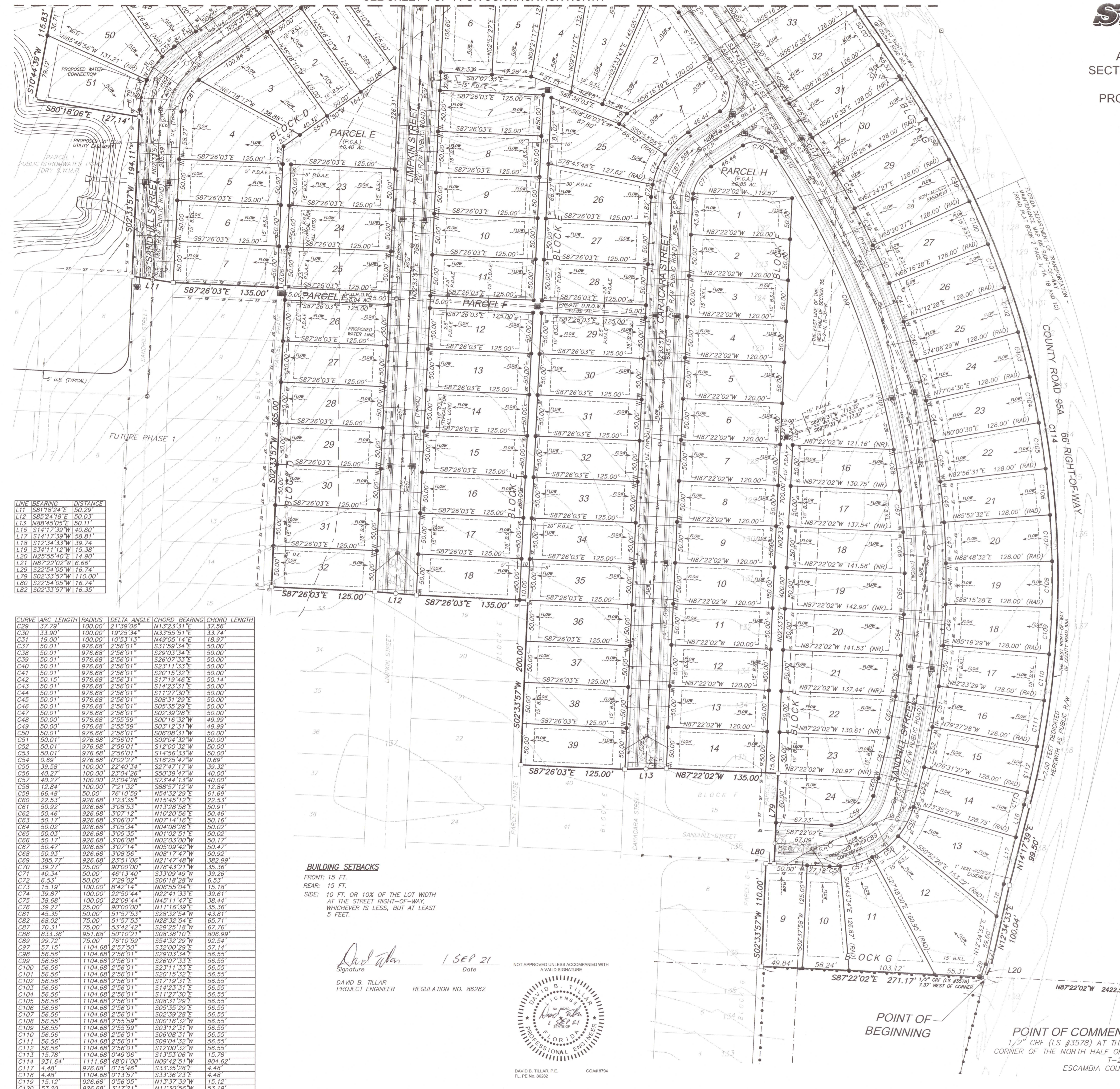
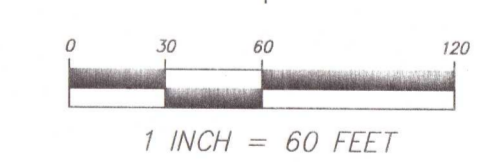


Table with columns: LINE BEARING, DISTANCE. Lists bearings and distances for various lines.

Table with columns: CURVE, ARC LENGTH, RADIUS, DELTA ANGLE, CHORD BEARING, CHORD LENGTH. Lists curve data for various points.

BUILDING SETBACKS FRONT: 15 FT. REAR: 15 FT. SIDE: 10 FT. OR 10% OF THE LOT WIDTH AT THE STREET RIGHT-OF-WAY, WHICHEVER IS LESS, BUT AT LEAST 5 FEET.

Signature of David B. Tillar, dated 1 SEP 21.

DAVID B. TILLAR PROJECT ENGINEER REGULATION NO. 86282



DAVID B. TILLAR, P.E. FL. PE. NO. 86282 COAR 8794

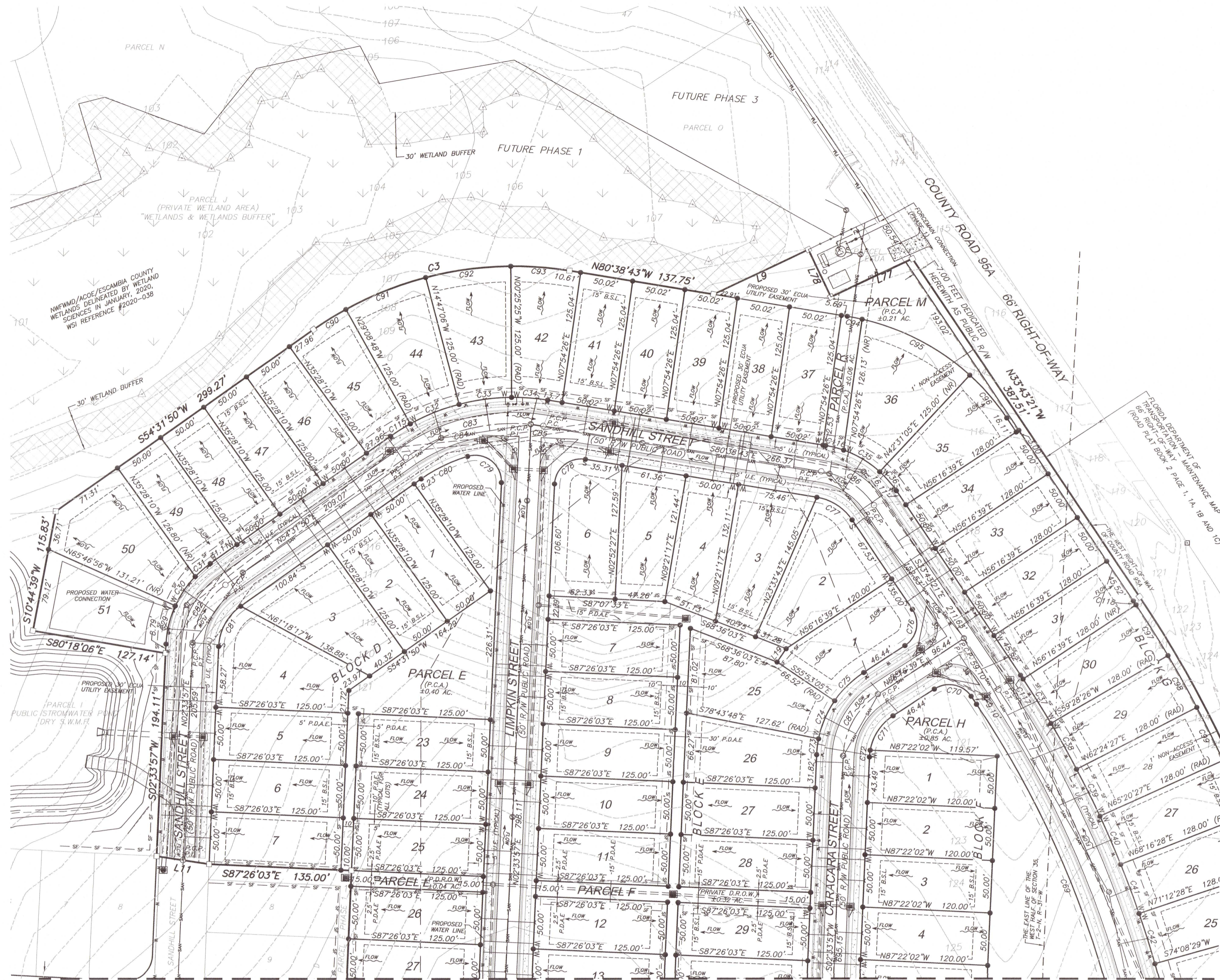
POINT OF BEGINNING

POINT OF COMMENCEMENT 1/2" CRF (LS #3578) AT THE SOUTHEAST CORNER OF THE NORTH HALF OF SECTION 35, T-2-N, R-31-W, ESCAMBA COUNTY, FLORIDA.

Dewberry CERTIFICATE OF AUTHORIZATION NO. LB 8011 25353 FRIENDSHIP ROAD DAPHNE, ALABAMA 36526

PRELIMINARY PLAT OF
SANCTUARY
 (PHASE 2)

A 116 LOT SUBDIVISION OF A PORTION OF
 SECTION 35, TOWNSHIP 2 NORTH, RANGE 31 WEST,
 ESCAMBIA COUNTY, FLORIDA
 ZONED: HC/LI - FUTURE LAND USE: MU-S
 PROPERTY REFERENCE #35-2N-31-2101-000-000
 AUGUST 2021



SEE SHEET 3 OF 4 FOR CONTINUATION SOUTH

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C3	254.26	325.00	44.43°	S76°56'34"W	247.82
C9	37.79	100.00	21°39'06"	N13°23'31"E	37.56
C30	33.90	100.00	19°25'34"	N33°55'51"E	33.74
C31	19.00	100.00	10°53'11"	N49°05'14"E	18.91
C32	50.13	200.00	14°21'41"	N68°02'03"E	50.00
C33	50.13	200.00	14°21'41"	N82°23'45"E	50.00
C34	34.13	200.00	9°46'42"	S85°32'04"E	34.09
C35	40.27	100.00	23°04'26"	S59°01'08"E	40.00
C36	24.01	100.00	13°45'34"	S40°36'08"E	23.96
C37	50.01	976.68	2°56'01"	S31°59'34"E	50.00
C38	50.01	976.68	2°56'01"	S39°03'54"E	50.00
C39	50.01	976.68	2°56'01"	S26°07'33"E	50.00
C40	50.01	976.68	2°56'01"	S23°11'33"E	50.00
C41	50.01	976.68	2°56'01"	S20°15'32"E	50.00
C42	50.15	976.68	2°56'31"	S17°19'46"E	50.14
C69	385.77	926.68	23°51'06"	N21°47'48"W	382.99
C70	39.27	25.00	90°00'00"	N78°43'21"W	35.36
C71	40.34	50.00	46°11'40"	S33°09'49"W	35.26
C72	6.53	50.00	7°29'02"	S06°18'28"W	6.53
C73	15.19	100.00	8°42'14"	N06°55'04"E	15.18
C74	39.87	100.00	22°50'44"	N22°41'33"E	39.81
C75	38.68	100.00	22°09'44"	N45°11'47"E	38.44
C76	39.27	25.00	90°00'00"	N11°16'39"E	35.36
C77	40.95	50.00	46°55'22"	N57°11'02"W	39.81
C78	42.23	25.00	98°43'26"	S50°25'57"W	37.39
C79	47.69	25.00	109°12'11"	N52°04'58"W	40.78
C80	49.08	150.00	18°44'56"	S63°54'18"W	48.87
C81	45.35	50.00	51°57'53"	S29°32'64"W	43.81
C82	68.02	75.00	51°52'53"	N28°32'54"E	65.71
C83	136.91	175.00	44°49'22"	N76°56'34"E	133.44
C84	124.89	175.00	40°53'22"	N74°58'31"E	122.26
C85	12.02	175.00	3°56'05"	S82°36'45"E	12.02
C86	61.42	75.00	46°55'22"	S57°11'02"E	59.72
C87	70.31	75.00	53°42'42"	S29°25'18"W	67.76
C89	35.87	325.00	6°19'22"	N57°41'31"E	35.85
C91	81.46	325.00	14°21'41"	N68°02'03"E	81.25
C92	81.46	325.00	14°21'41"	N82°23'45"E	81.25
C93	55.47	325.00	9°46'42"	S85°32'04"E	55.40
C94	14.34	225.00	3°39'08"	S78°49'03"E	14.34
C95	115.89	225.00	29°30'40"	S62°14'15"E	114.61
C96	54.03	225.00	13°45'34"	S40°36'08"E	53.90
C97	57.15	1104.68	2°57'50"	S32°00'29"E	57.14
C98	56.56	1104.68	2°56'01"	S29°03'54"E	56.55
C99	56.56	1104.68	2°56'01"	S26°07'33"E	56.55
C115	22.07	200.00	6°19'22"	N57°41'31"E	22.06
C116	17.61	100.00	10°03'22"	S75°36'02"E	17.59
C117	4.49	976.68	0°15'46"	S33°35'28"E	4.48
C118	4.49	1104.68	0°13'57"	S33°36'23"E	4.48

LINE BEARING	DISTANCE
L11	S81°18'24"E 50.28
L19	S34°11'12"W 15.38

BUILDING SETBACKS

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 REAR: 15 FT.
 SIDE: 10 FT. OR 10% OF THE LOT WIDTH
 AT THE STREET RIGHT-OF-WAY,
 WHICHEVER IS LESS, BUT AT LEAST
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Signature: *David B. Tillar* Date: 1 SEP 21
 DAVID B. TILLAR PROJECT ENGINEER REGULATION NO. 86282

NOT APPROVED UNLESS ACCOMPANIED WITH A VALID SIGNATURE

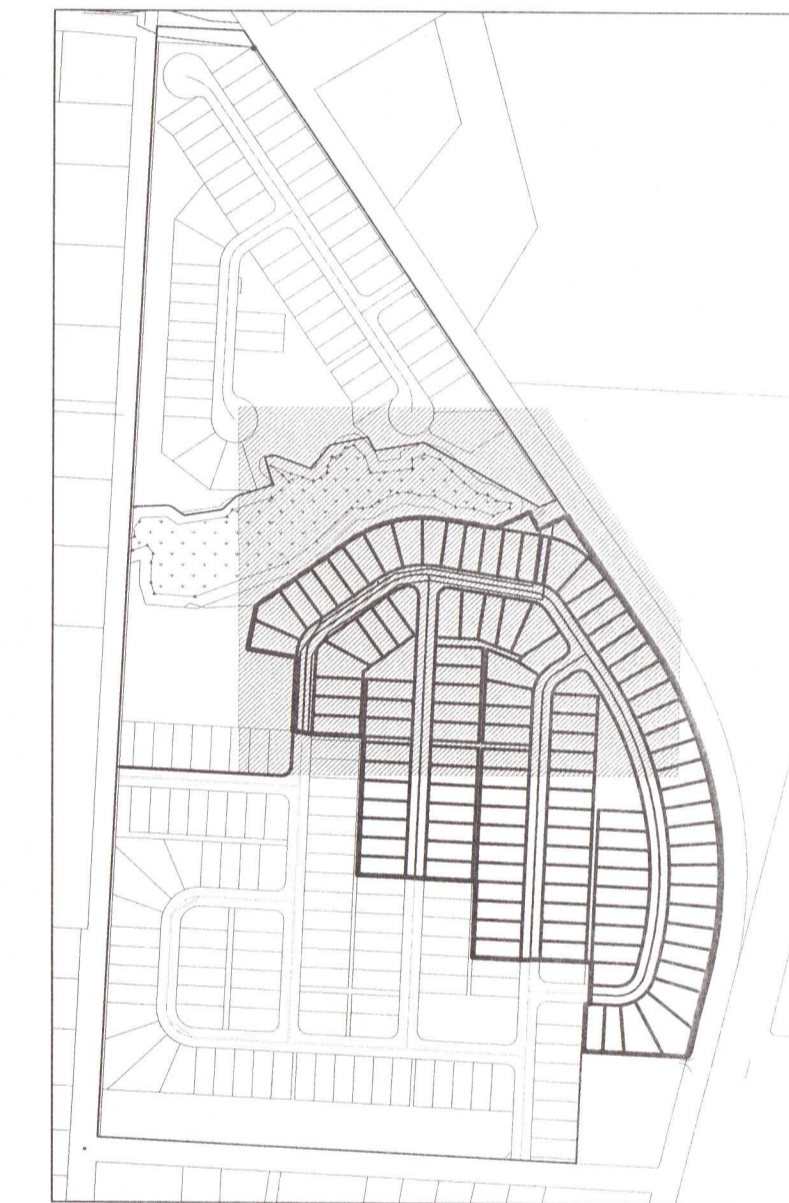
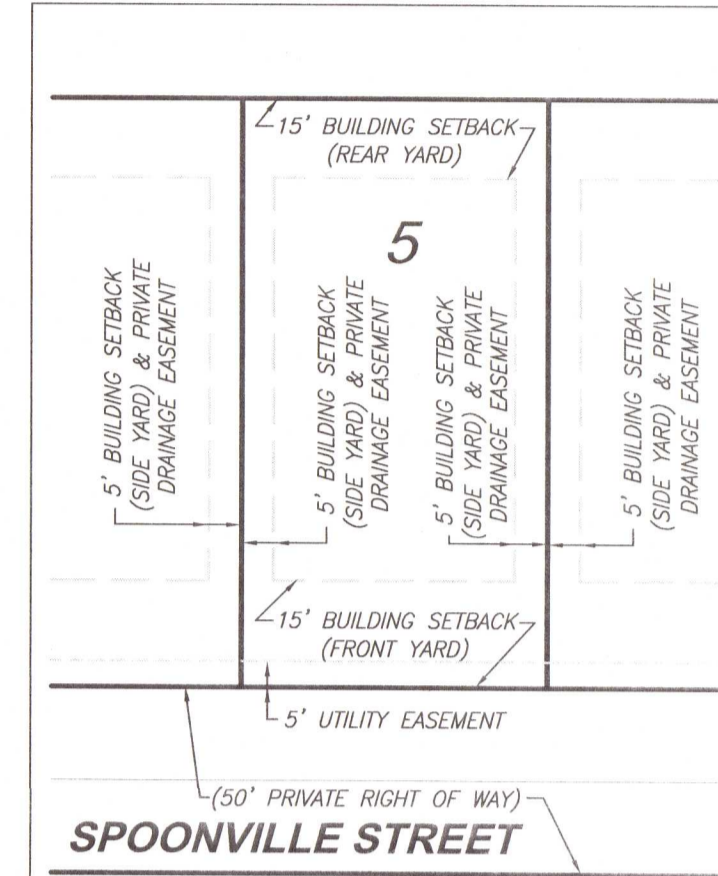


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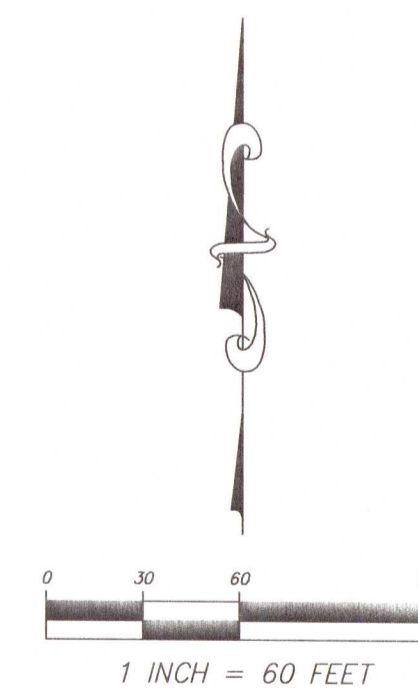
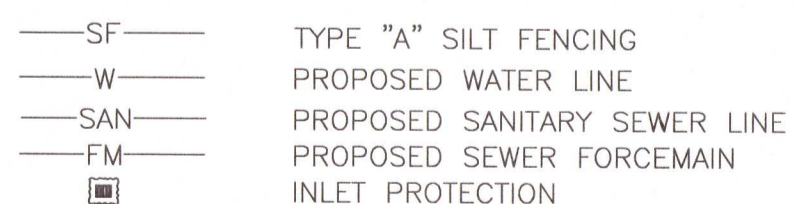
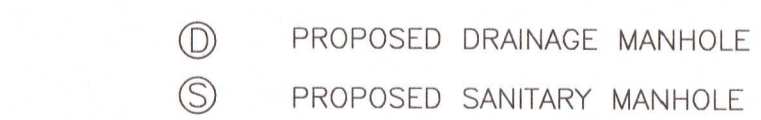
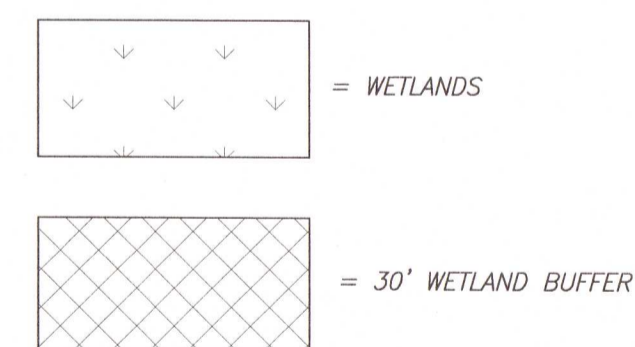
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LOT SETBACK AND UTILITY DETAIL
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KEY MAP
 N.T.S.



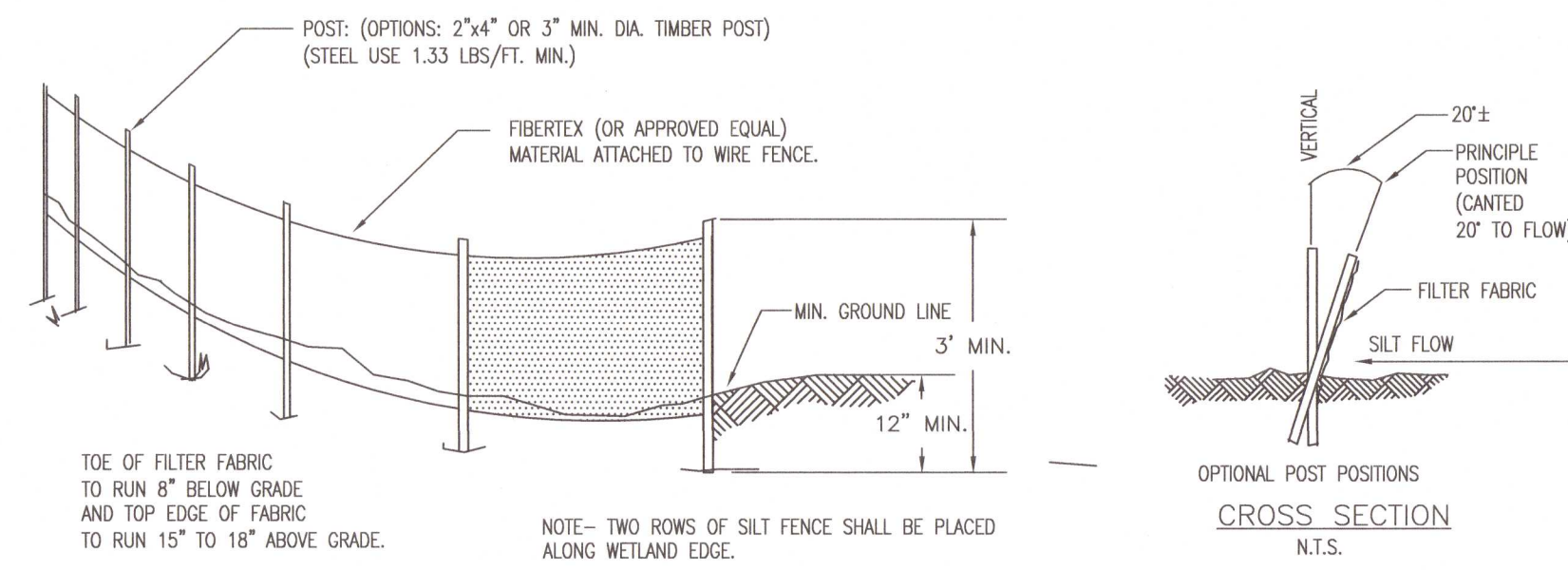
CERTIFICATE OF AUTHORIZATION No. LB 8011
 25353 FRIENDSHIP ROAD
 DAPHNE, ALABAMA 36526

SHEET NO.

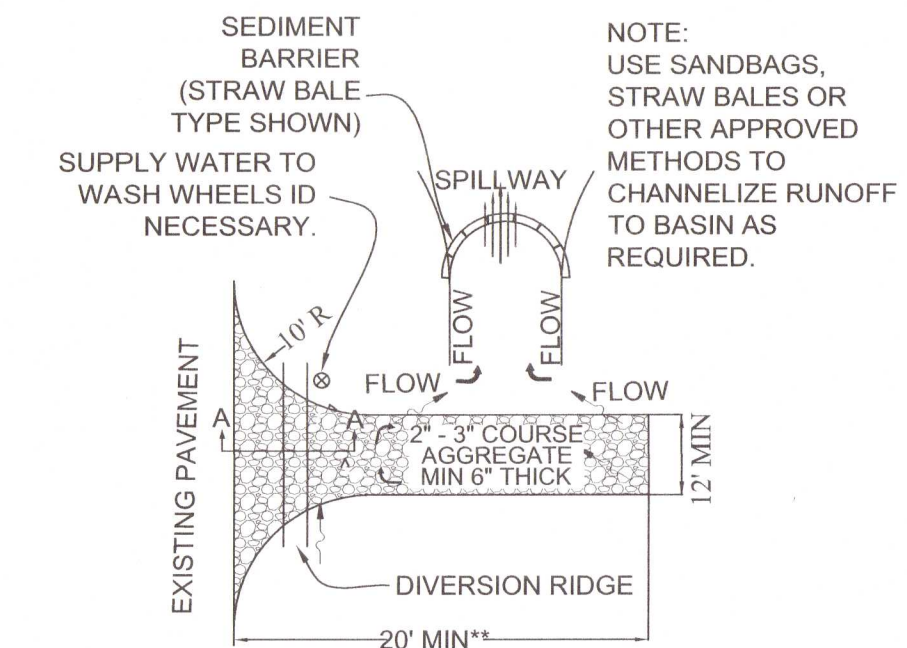
4 of 5

PRELIMINARY PLAT OF
SANCTUARY
 (PHASE 2)

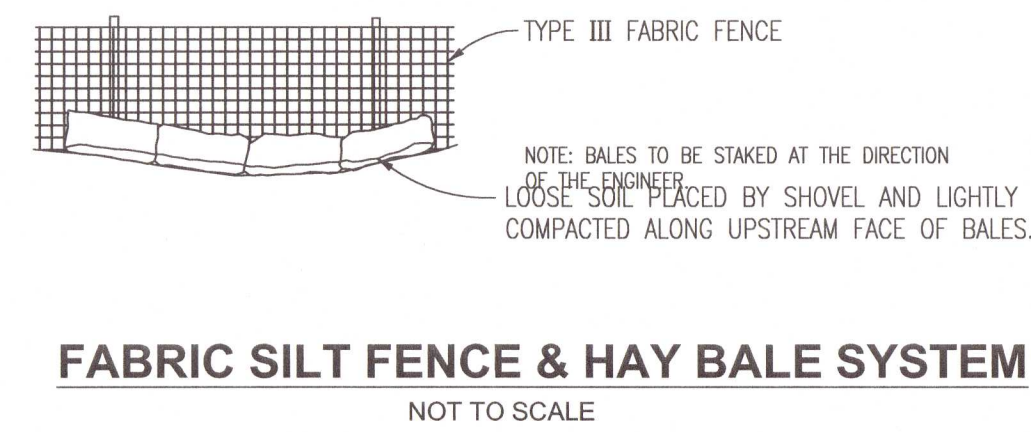
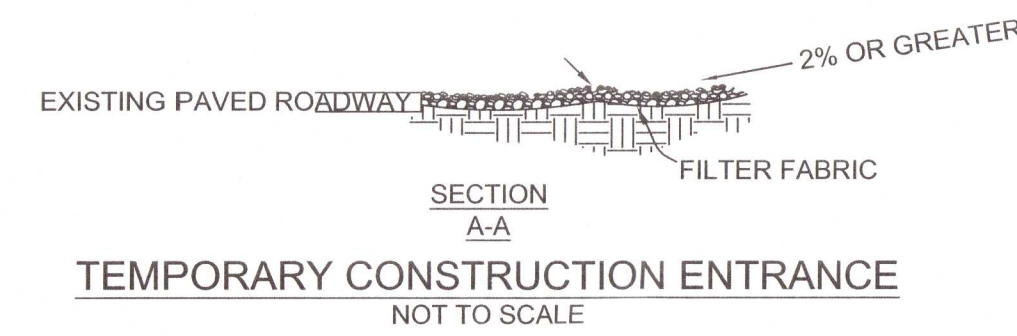
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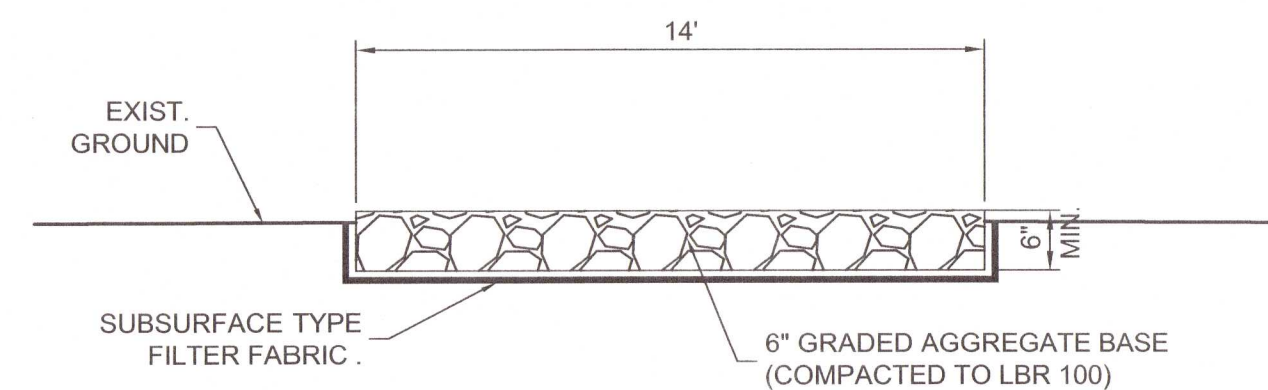
TYPE III SILT FENCE DETAIL
 NOT TO SCALE



PLAN VIEW
 TEMPORARY GRAVEL CONSTRUCTION ENTRANCE TO BE
 CONSTRUCTED
 AT ALL DESIGNATED CONSTRUCTION ENTRANCES AND EXITS.
 DIVERSION RIDGE REQUIRED WHERE GRADE EXCEEDS 2%
 **50 FEET REQUIRED AT DEVELOPMENT ENTRANCE

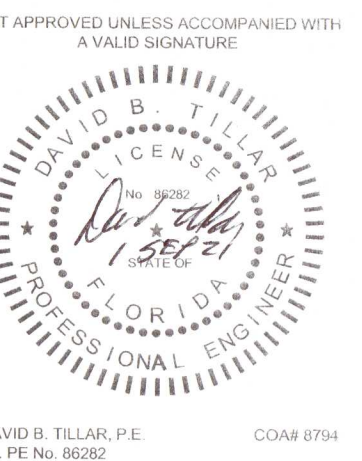


FABRIC SILT FENCE & HAY BALE SYSTEM
 NOT TO SCALE



**POND ACCESS ROAD
 TYPICAL SECTION**
 NOT TO SCALE

David Tillar 1 SEP 21
 Signature Date
 DAVID B. TILLAR
 PROJECT ENGINEER REGULATION NO. 86282



Dewberry
 CERTIFICATE OF AUTHORIZATION No. LB 8011
 25353 FRIENDSHIP ROAD
 DAPHNE, ALABAMA 36526

SHEET
 NO.

5 of 5