

MASTERPLAN FOR THE RESIDENCE AT NATURE CREEK

A PROPOSED 216 LOT PRIVATE RESIDENTIAL TOWNHOME DEVELOPMENT
SECTION 03, TOWNSHIP 1 SOUTH, RANGE 3 WEST, ESCAMBIA COUNTY, FLORIDA

OWNER/DEVELOPER:
THE RESIDENCE AT NATURE CREEK, LLC.
3838 NORTH PALAFOX ST. PENSACOLA, FL 32505
(850) 324-6601

PREPARED BY:
HAMMOND ENGINEERING, INC.
3802 NORTH 5TH STREET, PENSACOLA, FL 32505
(850) 434-2603

DESCRIPTION OF PROPERTY SURVEYED
OFFICIAL RECORDS BOOK 3797, PAGE 778
HMA PROJECT NO. 221847(MK)
MARCH 3, 2006

A parcel of land lying South of Interstate 10 and West of Eleven Mile Creek, less the Southwest Quarter (SW1/4) of the Southwest Quarter (SW1/4) of Section 3, Township 1 South, Range 3 West, more particularly described as follows: Commencing at the NW corner of the Southwest Quarter (SW1/4) for Point of Beginning, thence on an initial bearing of N 00°15'17" E for 1346.45' to the non-access fence of I-10; thence defect right 126°38'14" along said fence line for 377.96'; thence defect right 43°30'47" for 41.82'; thence defect left 43°30'47" for 289.12'; thence defect left 43°34'59" for 42.89'; thence defect right 43°30'47" for 1842.09' feet; thence defect right 43°30'47" to the waters of Eleven Mile Creek; thence Southwesterly along the West edge of said creek for the approximate distance of 1050 feet to the East line of Southwest (SW1/4) of the Southwest Quarter (SW1/4); thence run parallel to the East line of Section 3 for 879.46' to the Northeast corner of the Southwest Quarter (SW1/4) of the Southwest Quarter (SW1/4); thence defect left 90°08'11" for 1329.08' to the Point of Beginning, being the same property as that property surveyed by Robert Ward & Associates on July 28, 1980, on its job number 333, and being the same property conveyed by deeds recorded in public records of Escambia County, Florida, in Official Records Book 3164 of pages 796 and 797 and in Official Records Book 3029 of pages 227 through 229, LESS AND EXCEPT any portion of such above described property which lies within two hundred (200') of the centerline of Eleven Mile Creek.

OFFICIAL RECORDS BOOK 3164, PAGE 707

A parcel of land lying South of Interstate 10 and West of Eleven Mile Creek, less the Southwest Quarter (SW1/4) of the Southwest Quarter (SW1/4) of Section 3, Township 1 South, Range 3 West, more particularly described as follows: Commencing at the NW corner of the Southwest Quarter (SW1/4) for Point of Beginning, thence on an initial bearing of N 00°15'17" E for 1346.45' to the non-access fence of I-10; thence defect right 126°38'14" along said fence line for 377.96'; thence defect right 43°30'47" for 41.82'; thence defect left 43°30'47" for 289.12'; thence defect left 43°34'59" for 42.89'; thence defect right 43°30'47" for 1842.09' feet; thence defect right 43°30'47" for 1842.09' to the waters of Eleven Mile Creek; thence Southwesterly along the West edge of said creek for the approximate distance of 1050 feet to the East line of Southwest (SW1/4) of the Southwest Quarter (SW1/4); thence run parallel to the East line of Section 3 for 879.46' to the Northeast corner of the Southwest Quarter (SW1/4) of the Southwest Quarter (SW1/4); thence defect left 90°08'11" for 1329.08' to the Point of Beginning, being the same property as that property surveyed by Robert Ward & Associates on July 28, 1980, as its job number 333 and described as follows: This is the same property as that property surveyed by Robert Ward & Associates on July 28, 1980, as its job number 333 and described as follows: This portion of the Southwest 1/4 of Section 3, Township 1 South, Range 3 West, Escambia County, Florida, lying Southwest of State Road No. 8 (U.S. Interstate 10, 300' R/W) and West of Eleven Mile Creek, less and except the Southwest 1/4 of Section 3, more particularly described as follows: Begin at SW corner of the Southwest 1/4 of Section 3 for the Point of Beginning; thence N 02°15'17" E along the West line of Section 3 for a distance of 1346.35' to the Southern right-of-way line of State Road No. 8 (U.S. Interstate 10); thence defect right at an angle of 126°38'14" along the Southern right-of-way line for a distance of 376.22'; thence defect right at an angle of 43°30'47" for a distance of 41.84'; thence defect left at an angle of 43°30'47" for a distance of 289.12' feet; thence defect left at an angle of 43°34'59" for a distance of 42.89'; thence defect right at an angle of 43°30'47" for 1842.09' feet; thence defect right at an angle of 43°30'47" for a distance of 1879.79'; more or less, to the waters edge of Eleven Mile Creek; thence Southwesterly along the waters edge of creek a distance of 1050'; more or less, to the West line of the Southwest 1/4 of the Southwest 1/4 of Section 3; thence Northwesterly along said West line of the Southwest 1/4 of the Southwest 1/4 of Section 3 for a distance of 879.46'; more or less to the Southwest corner of the Southwest 1/4 of the Southwest 1/4 of Section 3; thence West along the South line of the Northwest 1/4 of the Southwest 1/4 of the Southwest 1/4 of Section 3 for a distance of 1329.02' to the Point of Beginning.

HORIZONTAL SCALE

11"x17" SCALE 1" = 200'
22"x34" SCALE 1" = 100'

- ↓ DENOTES COE/NWFWD/ESCAMBIA COUNTY WETLANDS - 11.22 ACRES
- ↗ DENOTES COE/NWFWD/ESCAMBIA COUNTY WETLAND BUFFER - 0.82 ACRES
- CONSERVATION EASEMENT RECORDED IN OR BOOK 6406 PAGE 600-612; 9.60 ACRES REFER TO EASEMENT FOR RESTRICTIONS

- ↗ DENOTES COE/NWFWD/ESCAMBIA COUNTY WETLAND IMPACT - 0.68 ACRES
- ↗ DENOTES COE/NWFWD/ESCAMBIA COUNTY WETLAND BUFFER IMPACT - 0.13 ACRES

Item	On-Site Wetlands Information Table			
	Pre-Project (Acre)	Primary Impact (Acre)	Secondary Impact (Acre)	Post-Project (Acre)
Project Parcels	35.94	0.00	0.00	8.32
Total Corps/DEP/Exc Co Wetlands	11.220	0.661	0.000	10.559
Total Wetlands	24.720	0.661	0.000	24.059
Total Exc. Co. Wetland Buffer	0.820	0.130	0.000	0.690
Conservation Easement Area	9.600	0	0	9.600

DEVELOPMENT DATA:
PARCEL ID #S: 03-15-31-3301-001-001
ZONING: HC/U
FLU: MU-U
FRONT SETBACK = 20' (UTILIZE HDR ZONING SETBACKS)
REAR SETBACKS = 20' (UTILIZE HDR ZONING SETBACKS)
SIDE SETBACKS = 10 FEET ON EACH SIDE OF A GROUP OF TOWNHOUSES, ON EACH SIDE OF ALL STRUCTURES, 10 FEET OR 10% OF LOT WIDTH AT FRONT BUILDING LINE, WHICHEVER IS LESS, BUT NOT LESS THAN 5'.
TOTAL PROJECT AREA = 1,565,720 SQUARE FEET (35.94 ACRES)
TOTAL PROPOSED RIGHT-OF-WAY = 260,869 SQUARE FEET (5.99 ACRES)
TOTAL PROPOSED LOTS = 448,352 SQUARE FEET (10.29 ACRES)
TOTAL PROPOSED RETENTION AREA = 132,223 SQUARE FEET (3.04 ACRES)
TOTAL PROPOSED LOTS IN OVERALL BOUNDARY = 216 LOTS
TOTAL PROPOSED LOTS IN PHASE I = 76 LOTS
TOTAL PROPOSED LOTS IN PHASE II = 140 LOTS
PROPOSED DENSITY OF OVERALL SITE = 8.01 LOTS PER ACRE
WETLAND INFORMATION: TOTAL UPLANDS = 1,076,831 SQ. FT. (24.72 ACRES)
TOTAL CORPS/DEP ESCAMBIA COUNTY JURISDICTIONAL WETLANDS = 488,889 SQ. FT. (11.22 ACRES)

SURVEYOR'S NOTES:
- THIS SURVEY WAS PREPARED FOR THE CLIENT SHOWN AND IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT PRIOR CONSENT FROM THIS SURVEYOR.
- ALL MEASUREMENTS WERE MADE ACCORDING TO UNITED STATES STANDARD FOOT.
- NO TITLE RESEARCH WAS PERFORMED BY THIS SURVEYOR, NOR WERE WE FURNISHED WITH SACS.
- NO INSTRUMENT OF RECORD REFLECTING EASEMENTS, RIGHT-OF-WAY, AND/OR OWNERSHIP WERE FURNISHED TO THIS SURVEYOR EXCEPT AS SHOWN.
- NO UNDERGROUND INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS SHOWN.
- ALL BEARINGS AND DISTANCES ARE RECORD UNLESS OTHERWISE NOTED.
- CORNER OF EGRESS MEETS STANDARDS OF PRACTICE.
- THERE MAY BE ADDITIONAL RESTRICTIONS AFFECTING THIS PROPERTY THAT MAY BE FOUND RECORDED IN THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA THAT DO NOT APPEAR ON THE FACE OF THIS PLAN.
- BASIS OF BEARING: WEST LINE OF SECTION 4 AS INDICATED.
- REFERENCE SOURCE: FIELD WORK AND EXISTING FIELD MONUMENTATION; COPY OF SURVEY BY PITMAN, GLAZE AND ASSOCIATES, INC., JOB #5106-12.
- ENCLOSURES ARE AS SHOWN.
- IT IS THE OPINION OF THE UNDERSIGNED SURVEYOR THAT THE PARCEL OF LAND SHOWN HEREON AS PER THE FLOOD INSURANCE RATE MAP INFORMATION AS FOLLOWS:
ZONE: "X" & "AE"
ELEVATION: 10.00 ANNUAL CHANCE FLOOD & PANEL NUMBER: 1033C-0290 D
AS DATED: 09/29/06
- THE CERTIFICATE OF AUTHORIZATION NUMBER FOR LAND PLANNING, LLC, IS L.B. 7919.
- THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO NAVD83 DATUM.

- LEGEND:**
- FOUND 4"x4" ST. REGIS CONCRETE MONUMENT #783
 - FOUND 4"x4" CONCRETE MONUMENT #2372
 - FOUND PLAIN 4"x4" CONCRETE MONUMENT
 - FOUND 1/2" CAPPED IRON ROD #6783
 - FOUND 1/2" CAPPED IRON ROD #1748
 - FOUND PLAIN 1/2" IRON ROD
 - FOUND 1/2" CAPPED IRON ROD
 - SET 1/2" CAPPED IRON ROD L.B. #7919
 - POWER POLE WITH GUY ANCHOR
 - FIBER OPTIC CABLE MARKER
 - ECUA MARKER
 - CONCRETE LAMP POST
 - WATER METER
 - BACKFLOW PREVENTER
 - WATER VALVE
 - NATURAL GAS VALVE
 - SENSER VALVE
 - FIRE HYDRANT
 - PROFESSIONAL SURVEYOR AND MAPPER
 - LICENSED BUSINESS
 - BUILDING SETBACK LINE
 - RIGHT-OF-WAY
 - FIELD

WETLAND LINE TABLE

Line #/Curve #	Length	Direction/Delta
L1	22.741	S76° 18' 00.77"E
L2	28.760	S65° 46' 14.56"E
L3	31.135	S35° 00' 04.92"E
L4	30.902	S34° 12' 13.70"E
L5	27.981	S37° 23' 31.41"E
L6	26.625	S31° 17' 51.82"E
L7	62.164	S11° 29' 33.70"E
L8	49.708	S15° 41' 00.09"E
L9	26.041	S24° 09' 27.07"E
L10	61.488	N12° 39' 42.54"E
L11	39.272	N33° 22' 09.08"E
L12	34.959	N56° 02' 06.45"E
L13	43.497	S75° 39' 21.96"E
L14	33.570	S53° 51' 09.41"E
L15	30.560	N00° 13' 49.65"W
L16	35.437	N22° 00' 48.77"W
L17	54.699	N50° 29' 17.33"E
L18	41.553	N41° 55' 14.68"E
L19	27.011	N50° 19' 46.73"E
L20	45.485	N14° 09' 00.22"E

WETLAND LINE TABLE

Line #/Curve #	Length	Direction/Delta
L21	35.328	N23° 47' 08.52"W
L22	41.202	S76° 43' 02.64"E
L23	17.258	N82° 23' 52.98"E
L24	61.099	N63° 44' 23.88"W
L25	62.894	N07° 44' 10.99"E
L26	29.383	S61° 39' 43.49"E
L27	35.897	S67° 30' 58.68"E
L28	36.745	S83° 09' 08.61"E
L29	44.660	N40° 25' 11.50"E
L30	32.444	N72° 46' 18.57"E
L31	38.978	N29° 54' 41.94"E
L32	30.992	N46° 13' 27.36"E
L33	63.036	N85° 46' 54.97"E
L34	32.599	N76° 11' 19.13"E
L35	33.436	N06° 14' 16.80"W
L36	47.951	N64° 00' 53.01"W
L37	49.782	N40° 59' 01.14"E
L38	31.508	S85° 38' 42.93"E

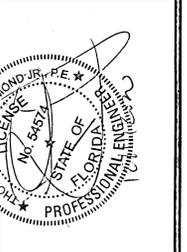
Approved
ESCAMBIA COUNTY DRC PLAN REVIEW
DRC Chairman Signature: *J. Hampton* 12-16-2010
Printed Name: *J. Hampton* Date
Development Services Director or Designee

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

REVISIONS

NO.	DATE	DESCRIPTION

HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH 5TH STREET
PENSACOLA, FLORIDA 32505
850 434-2603
FAX 850-434-2650
TOM@SELANDESIGN.COM



MASTERPLAN FOR RESIDENCES AT NATURE CREEK
DRAWN BY: TWH/AB
DESIGNED BY: TGH
CHECKED BY: TGH
DATE: DECEMBER 2010
SCALE: AS SHOWN
NOT RELEASED FOR CONSTRUCTION
BY: DATE:

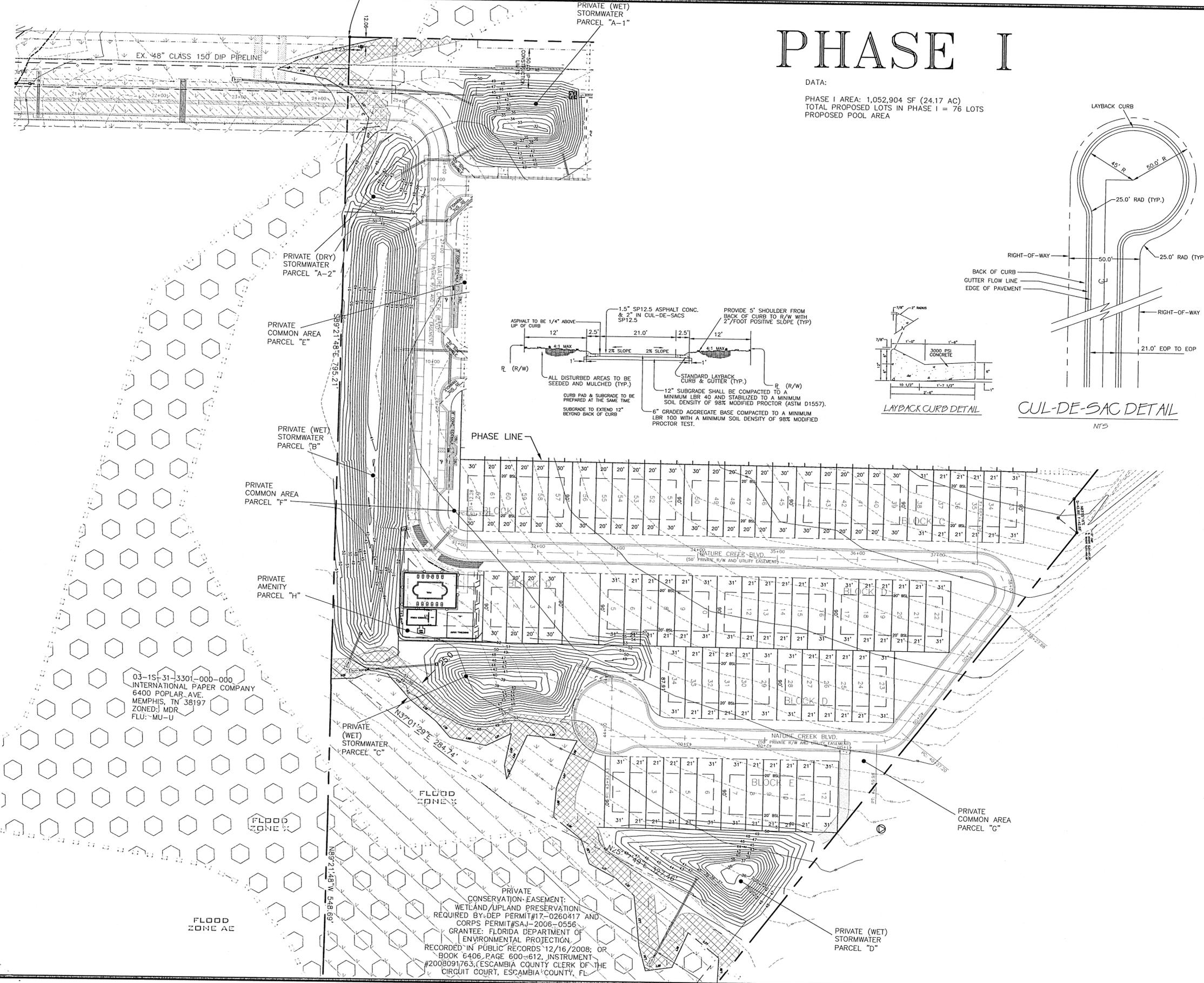
PROJECT NO: 16-028
SHEET: 1 OF 3

HORIZONTAL SCALE

11"x17" SCALE 1" = 120'
 22"x34" SCALE 1" = 60'

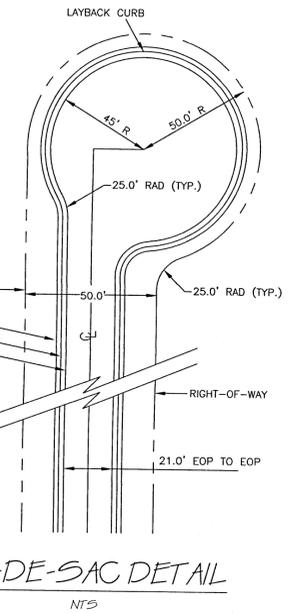
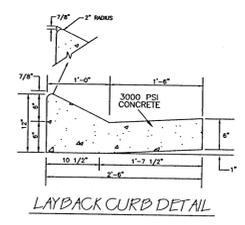
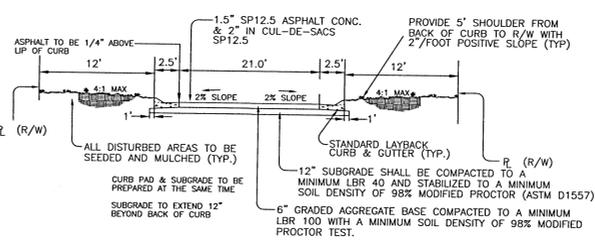


- DENOTES COE/NWFWD/ESCAMBIA COUNTY WETLANDS - 11.22 ACRES
- NWFWD/ESCAMBIA COUNTY 25' WETLAND BUFFER - 0.82 ACRES
- CONSERVATION EASEMENT RECORDED IN OR BOOK 6406 PAGE 600-612; 9.60 ACRES
- DENOTES COE/NWFWD/ESCAMBIA COUNTY WETLAND IMPACT - 0.68 ACRES
- DENOTES COE/NWFWD/ESCAMBIA WETLAND BUFFER IMPACT - 0.13 ACRES



PHASE I

DATA:
 PHASE I AREA: 1,052,904 SF (24.17 AC)
 TOTAL PROPOSED LOTS IN PHASE I = 76 LOTS
 PROPOSED POOL AREA

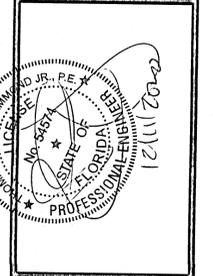


03-1S-31-3301-000-000
 INTERNATIONAL PAPER COMPANY
 6400 POPLAR AVE.
 MEMPHIS, TN 38197
 ZONED: MDR
 FLU: MU-U

PRIVATE CONSERVATION-EASEMENT:
 WETLAND/UPLAND PRESERVATION
 REQUIRED BY DEP PERMIT#17-0260417 AND
 CORPS PERMIT#SAJ-2006-0556
 GRANTEE: FLORIDA DEPARTMENT OF
 ENVIRONMENTAL PROTECTION
 RECORDED IN PUBLIC RECORDS 12/16/2008; OR
 BOOK 6406 PAGE 600-612, INSTRUMENT
 #2008091763, (ESCAMBIA COUNTY CLERK OF THE
 CIRCUIT COURT, ESCAMBIA COUNTY, FL.

NO.	DATE	REVISIONS

HAMMOND ENGINEERING, INC.
 FLORIDA AUTHORIZATION NO. 9130
 ALABAMA AUTHORIZATION NO. 3277
 3802 NORTH 5TH STREET
 PENSACOLA, FLORIDA 32505
 850 434-2603
 FAX 850-434-2650
 TOM@SELANDESIGN.COM



**MASTER PLAN
 FOR
 RESIDENCES AT NATURE
 CREEK
 PHASE I**
 ESCAMBIA COUNTY FLORIDA

DRAWN BY: TGHARS
 DESIGNED BY: TGH
 CHECKED BY: TGH
 DATE: DECEMBER 2020
 SCALE: AS SHOWN
 NOT RELEASED FOR
 CONSTRUCTION
 BY: DATE:

PROJECT NO: 16-02B
 SHEET: 2 OF 3

THIS DRAWING IS THE PROPERTY OF HAMMOND ENGINEERING, INC. AND IS NOT
 TO BE REPRODUCED IN WHOLE OR IN PART. IT IS NOT TO BE USED ON ANY
 OTHER PROJECT AND IS TO BE RETURNED UPON REQUEST.

HORIZONTAL SCALE

11"x17" SCALE 1" = 120'
22"x34" SCALE 1" = 60'

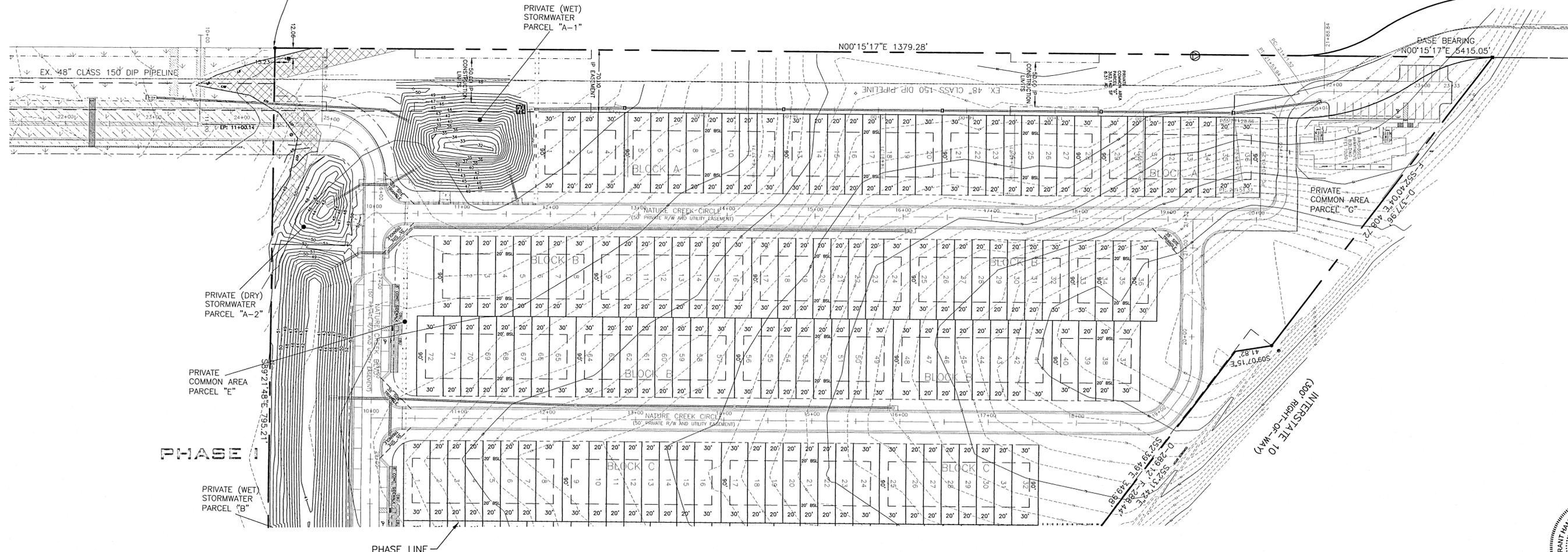


PHASE II

POINT OF COMMENCEMENT
NORTHWEST CORNER OF THE SOUTHWEST
1/4 OF SECTION 3, TOWNSHIP 1 SOUTH,
RANGE 31 WEST

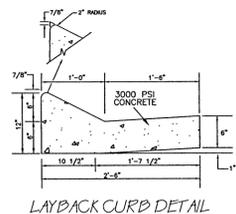
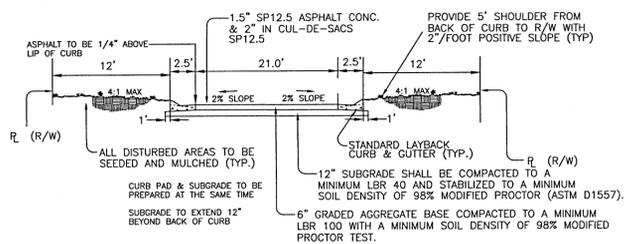
04-1S-31-1101-000-000
NAVY FEDERAL CREDIT UNION
820 FOLLIN LANE
VIENNA, VA 22180
ZONED: HC/LI
FLU: MU-U

04-1S-31-1101-000-001
STATE OF FLORIDA
1651 E NINE MILE ROAD
PENSACOLA, FL 32514
ZONED: N/A
FLU: MU-S



- DENOTES COE/NWFWD/ESCAMBIA COUNTY WETLANDS - 11.22 ACRES
- DENOTES COE/NWFWD/ESCAMBIA COUNTY WETLAND IMPACT - 0.68 ACRES
- NWFWD/ESCAMBIA COUNTY 25' WETLAND BUFFER - 0.82 ACRES
- DENOTES COE/NWFWD/ESCAMBIA WETLAND BUFFER IMPACT - 0.13 ACRES
- CONSERVATION EASEMENT RECORDED IN OR BOOK 6406 PAGE 600-612; 9.60 ACRES

DATA:
PHASE II AREA: 512,816 SF (11.77 AC)
TOTAL PROPOSED LOTS IN PHASE II = 140 LOTS
PROPOSED 16 UNIT APARTMENT BUILDING



NO.	DATE	REVISIONS

HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH "S" STREET
PENSACOLA, FLORIDA 32505
850 434-2603
FAX 850-434-2650
TOM@SELANDESIGN.COM



MASTERPLAN
FOR
RESIDENCES AT NATURE
CREEK
PHASE II
ESCAMBIA COUNTY FLORIDA

DRAWN BY: TGH/ARS
DESIGNED BY: TGH
CHECKED BY: TGH
DATE: DECEMBER 2020
SCALE: AS SHOWN
NOT RELEASED FOR
CONSTRUCTION
BY: DATE:

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WOODLANDS PLACE APARTMENTS PHASE 1

8221 PITTMAN AVENUE, PENSACOLA, FL 32534

PROJ. NO. 07952-0001

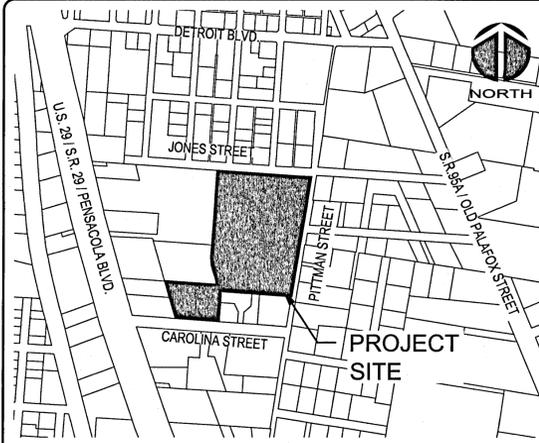
NOVEMBER 2020

FINAL DRC SUBMITTAL - NOT FOR CONSTRUCTION

WOODLANDS PLACE APARTMENTS

PROJ. NO. 07952-0001

SUBMITTAL DATE: NOVEMBER 13, 2020



VICINITY MAP NOT TO SCALE

PROJECT NAME: WOODLANDS PLACE APARTMENTS

OWNER/DEVELOPER:
SWEET BAY PROPERTIES, LLC
297 COBALT LANE (ERIC SAWYER)
MIRAMAR BEACH, FLORIDA
ESAWYER@SWEETBAY-PROPERTIES.COM

Approved
ESCAMBIA COUNTY DRC PLAN REVIEW

DRC Chairman Signature: *[Signature]* Date: *11/10/20*

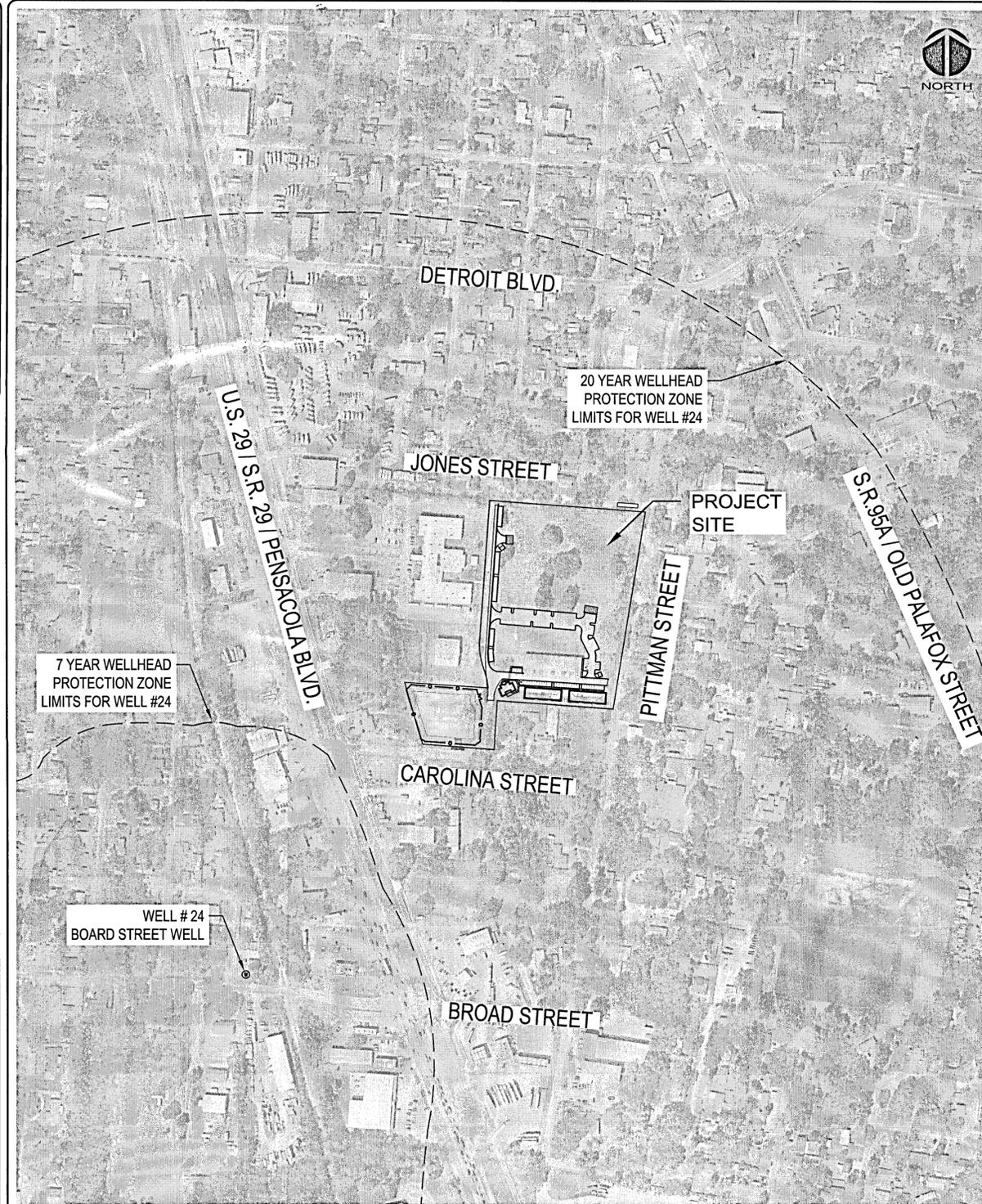
Printed Name: *Sandra Hampton*
Development Services Director/Assistant

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

1206 N. Palafox St.
Pensacola, Florida 32501
Phone: (850) 994-9503

FL Certificate of Authorization# 29588
www.mckimcreed.com

PROJECT INFORMATION



SITE MAP SCALE: 1" = 250'

LEGAL DESCRIPTION

(AS FURNISHED BY CHICAGO TITLE INSURANCE COMPANY)

PARCEL I (TOWNHOUSE PARCEL) COMMENCE AT THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF CAROLINA STREET (66 FOOT R/W) AND THE EAST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 29 (S.R. #95, 200 FOOT R/W, AKA PENSACOLA BOULEVARD); THENCE NORTH 89°31'17" EAST ALONG SAID NORTH RIGHT-OF-WAY OF CAROLINA STREET FOR A DISTANCE OF 512.14 FEET; THENCE NORTH 01°16'15" WEST FOR A DISTANCE OF 178.50 FEET TO THE POINT OF BEGINNING; THENCE NORTH 89°29'04" EAST FOR A DISTANCE OF 414.34 FEET TO THE WEST RIGHT-OF-WAY OF PITTMAN AVENUE (50 FOOT R/W); THENCE NORTH 04°14'36" EAST ALONG SAID RIGHT-OF-WAY FOR A DISTANCE OF 727.19 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF JONES STREET (50 FOOT R/W); THENCE SOUTH 89°19'31" WEST ALONG SAID SOUTH RIGHT-OF-WAY FOR A DISTANCE OF 511.77 FEET; THENCE SOUTH 00°40'29" EAST FOR A DISTANCE OF 533.80 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE EAST HAVING A RADIUS OF 250.52 FEET AND A DELTA OF 20°04'29"; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 90.40 FEET (CHD. = 89.91 FEET, C.B. = SOUTH 11°00'43" EAST) TO THE POINT OF REVERSE CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 294.67 FEET AND A DELTA OF 20°04'43"; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 103.26 FEET (CHD. = 102.74 FEET, C.B. = SOUTH 11°18'37" EAST) TO THE POINT OF TANGENCY OF SAID CURVE AND THE POINT OF BEGINNING, ALL LYING AND BEING IN SECTION 22, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA.

PARCEL II (RETENTION POND PARCEL) COMMENCE AT THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF CAROLINA STREET (66 FOOT R/W) AND THE EAST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 29 (S.R. #95, 200 FOOT R/W, A.K.A. PENSACOLA BOULEVARD); THENCE NORTH 89°31'17" EAST FOR A DISTANCE OF 250.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 21°15'36" WEST FOR A DISTANCE OF 188.08 FEET; THENCE NORTH 20°36'00" WEST FOR A DISTANCE OF 49.46 FEET; THENCE NORTH 89°27'57" EAST FOR A DISTANCE OF 302.91 FEET TO A POINT ON THE ARC OF CIRCULAR CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 258.67 FEET AND A DELTA OF 09°55'24"; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 44.87 FEET (CHD. = 44.82 FEET, C.B. = SOUTH 00°14'29" EAST) TO THE POINT OF TANGENCY OF SAID CURVE; THENCE SOUTH 88°43'45" WEST FOR A DISTANCE OF 6.00 FEET; THENCE SOUTH 01°16'15" EAST FOR A DISTANCE OF 177.92 FEET; THENCE SOUTH 89°31'17" WEST FOR A DISTANCE OF 220.14 FEET TO THE POINT OF BEGINNING, ALL LYING AND BEING IN SECTION 22, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA.

PARCEL III (ROAD PARCEL) COMMENCE AT THE INTERSECTION OF THE NORTH RIGHT-OF-WAY LINE OF CAROLINA STREET (66 FOOT R/W) AND THE EAST RIGHT-OF-WAY LINE OF U.S. HIGHWAY 29 (S.R. #95, 200 FOOT R/W, A.K.A. PENSACOLA BOULEVARD); THENCE NORTH 89°31'17" EAST ALONG SAID NORTH RIGHT-OF-WAY OF CAROLINA STREET FOR A DISTANCE OF 470.14 FEET FOR THE POINT OF BEGINNING; THENCE CONTINUE NORTH 89°31'17" EAST ALONG SAID RIGHT-OF-WAY FOR A DISTANCE OF 42.00 FEET; THENCE NORTH 01°16'15" WEST FOR A DISTANCE OF 178.50 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 294.67 FEET AND A DELTA OF 20°04'43"; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 103.26 FEET (CHD. = 102.74 FEET, C.B. = NORTH 11°18'37" WEST) TO THE POINT OF REVERSE CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE EAST HAVING A RADIUS OF 205.52 FEET AND A DELTA OF 20°04'29"; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 90.40 FEET (CHD. = 89.91 FEET, C.B. = NORTH 11°00'43" WEST) TO THE POINT OF TANGENCY OF SAID CURVE; THENCE NORTH 00°40'29" WEST FOR A DISTANCE OF 533.80 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF JONES STREET (50 FOOT R/W); THENCE SOUTH 89°19'31" WEST ALONG SAID RIGHT-OF-WAY LINE A DISTANCE OF 36.00 FEET; THENCE SOUTH 00°40'29" EAST FOR A DISTANCE OF 533.80 FEET TO THE POINT OF CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE EAST HAVING A RADIUS OF 286.52 FEET AND A DELTA OF 20°04'29"; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 103.39 FEET (CHD. = 102.83 FEET, C.B. = SOUTH 11°00'43" EAST) TO THE POINT OF REVERSE CURVATURE OF A CIRCULAR CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 258.67 FEET AND A DELTA OF 20°04'43"; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE FOR AN ARC DISTANCE OF 90.65 FEET (CHD. = 90.18 FEET, C.B. = SOUTH 11°18'37" EAST) TO THE POINT OF TANGENCY OF SAID CURVE; THENCE SOUTH 88°43'45" WEST FOR A DISTANCE OF 6.00 FEET; THENCE SOUTH 01°16'15" EAST FOR A DISTANCE OF 177.92 FEET TO THE POINT OF BEGINNING, ALL LYING AND BEING IN SECTION 22, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA.

NOTE: THERE ARE MULTIPLE OMISSIONS/ERRORS IN THE LEGAL DESCRIPTION FOR PARCEL 2. THE CALL "A RADIUS OF 258.67" SHOULD READ "A RADIUS OF 258.67 FEET" THE CALL "C.B. = SOUTH 00°14'29" EAST" SHOULD READ "C.B. = SOUTH 06°14'29" EAST" AND THE CALL "THENCE SOUTH 89°31'17" WEST" SHOULD READ "THENCE SOUTH 89°31'17" WEST". THE DESCRIPTION FOR PARCEL III CONTAINS AN ERROR IN THE CALL "A RADIUS OF 205.52 FEET". THE CALL SHOULD READ "A RADIUS OF 250.52 FEET".

- NOTES:**
- ECUA REQUIRES A MINIMUM GRINDER OPERATING POINT OF 21 GPM @ 50 PSI.
 - THE SUBJECT PARCELS FALLS WITHIN SEVERAL TRAVEL TIME CONTOURS OF PROTECTED (POTABLE) WELLHEADS. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ECUA-EMERALD COAST UTILITY AUTHORITY 850-476-5100 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 850-595-6712) AGENCIES.

SHEET LIST

SHEET No.	DRAWING TITLE
C-000	COVER AND SHEET INDEX
C-001	GENERAL NOTES
C-002	LEGEND AND ABBEVIATIONS
C-010	PHASING PLAN
C-011	OVERALL KEY PLAN
C-101	DEMOLITION AND EROSION CONTROL PLAN
C-102	DEMOLITION AND EROSION CONTROL PLAN
C-110	TREE PROTECTION AND REMOVAL SUMMARY
C-111	UTILITY SITE DEMOLITION
C-112	UTILITY SITE DEMOLITION
C-201	SITE LOCATION PLAN
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C-920	SITE DETAILS
C-930	DRAINAGE DETAILS
C-931	DRAINAGE DETAILS
C-940	UTILITY DETAILS

ECUA NOTES

ECUA Engineering Manual Reference Note*
**Note shall be inserted in the upper right corner of title sheet*

** applicable only to ECUA infrastructure to be constructed in public ROW or in utility easement; not to be applied to private water/sewer facilities on private property (see Building Code)*

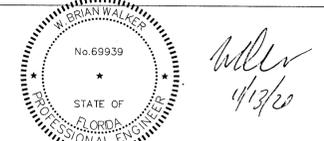
A. ECUA Engineering Manual Incorporated by Reference
The ECUA Engineering Manual, dated December 18, 2014, along with Update # 1 dated September 1, 2016 (hereinafter "Manual"), located at www.ecua.fl.gov, is hereby incorporated by reference into this Project's official contract documents as if fully set forth therein. It is the Contractor's responsibility to be knowledgeable of the Manual's contents and to construct the Project in accordance with the Manual. The Contractor shall provide its employees access to the Manual at all times, via Project site or office, via digital or paper format. In the event of a conflict between the Manual and Plans, Contractor shall consult Engineer of Record for proper resolution.

B. Additional Documents (to be completed by the Engineer of Record)
Does this Project have additional technical specifications or construction details that supplement and/or supersede the Manual listed above? YES NO. If yes, Contractor shall construct Project in accordance with said documents as listed and located below:

Document Name	Document Type	Location
	Specification	Detail Plans Project Manual*
	<input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>

**Project Manuals used only with ECUA CIP Projects*

C. Engineer of Record Responsibilities
The Engineers of Record (EORs) that have affixed their seals and signatures on these plans warrant their portions of the plans have been designed in accordance with the Manual (unless otherwise directed by the ECUA Project Engineer). The EORs shall be knowledgeable of the Manual's contents and shall assume responsibility for its use on this Project.



SHEET INDEX

GENERAL NOTES

- 1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SITE WORK SPECIFICATIONS AND SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES AND OSHA STANDARDS.
2. REFERENCE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, TRUCK DOCKS, SIDEWALKS, STEPS, TRANSFORMER PADS, UTILITY ENTRANCE LOCATIONS, EXACT LOCATIONS AND DIMENSIONS OF ENTRIES, SIDEWALKS, DOWNSPOUTS, ETC.
3. IN THE CASE OF DISCREPANCY ON THESE DRAWINGS AND THE DRAWINGS OF OTHER DISCIPLINES OR CONDITIONS IN THE FIELD, THE MORE STRINGENT REQUIREMENT SHALL BE MET. REPORT ANY DISCREPANCY TO THE ENGINEER PRIOR TO ACTION.
4. LOCATIONS AND ELEVATIONS OR UTILITIES SHOWN ON THE PLANS ARE TO BE CONSIDERED APPROXIMATE ONLY. THE CONTRACTOR MUST EMPLOY THE USE OF GROUND PENETRATING RADAR (GPR) EQUIPMENT BY A QUALIFIED COMPANY AND PERSONNEL TO LOCATE, IDENTIFY, AND PROTECT EXISTING UNDERGROUND UTILITIES IN THE AREA OF WORK. ANY UTILITIES SPOTTED MUST BE DRAWN ON THE SITE PLAN PROVIDED BY THE ARCHITECT/ENGINEER AND SUBMITTED AS PART OF THE AS-BUILT DRAWINGS. NOTIFY UTILITY AND ARCHITECT/ENGINEER OF CONFLICTS BETWEEN EXISTING AND PROPOSED FACILITIES.
5. ALL HANDICAP ACCESSIBLE PARKING SIGNS AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICAN WITH DISABILITY ACT (ADA) REQUIREMENTS AND STATE CODE.
6. SIGNS AND BARRICADES SHALL BE IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION'S MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE FDOT'S ROADWAY AND TRAFFIC DESIGN STANDARD PLANS.
7. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE PUBLIC AGENCY(IES) PRIOR TO COMMENCING WORK WITHIN THEIR JURISDICTION(S).
8. THE CONTRACTOR SHALL MAINTAIN COPIES OF ALL APPLICABLE PERMITS ON-SITE AND SHALL BE RESPONSIBLE TO ADHERE TO ALL PERMIT CONDITIONS DURING CONSTRUCTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PENALTIES/FINES LEVIED DUE TO WORK THAT IS NOT IN ACCORDANCE WITH PERMIT CONDITIONS.
10. THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE PROVISIONS OF THE TRENCH SAFETY ACT (FLORIDA STATUTES, SECTION 553.60 ET. SEQ.) AND THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATIVE SAFETY STANDARDS (29 C.F.R. SECTION 1926.650, SUBPART P) WHICH SHALL APPLY TO THIS WORK.
11. REQUIRED EROSION CONTROL MEASURES MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. FAILURE TO INSTALL OR PROPERLY MAINTAIN THESE BARRICADES WILL RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS, AS PROVIDED BY ORDINANCE #91-17, AND CHAPTERS 400-4 AND 400-40, F.A.C. WHICH CAN RESULT IN A PENALTY NOT TO EXCEED \$10,000 PER OFFENSE WITH EACH DATE DURING WHICH SUCH VIOLATIONS OCCURS CONSTITUTING A SEPARATE OFFENSE.
12. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO ANY EXISTING IMPROVEMENTS, ON-SITE OR OFF SITE, SUCH AS PAVEMENT, UTILITIES, STORM DRAINAGE, ETC. THE REPAIR MUST BE APPROVED BY QUALIFIED PROFESSIONAL ENGINEER AND PROPERTY OWNER AND BE EQUAL OR BETTER THAN EXISTING CONDITIONS.
13. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS.
14. SITE CONTRACTOR SHALL SUPPLY AS-BUILT PLANS INDICATING ALL CHANGES AND DEVIATIONS.
15. ANY DEVIATION FROM THESE PLANS MAY CAUSE THE WORK TO BE UNACCEPTABLE.
16. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL OFF-SITE EASEMENTS NOT DELINEATED ON PLANS OR KNOWN OF AT TIME OF PLAN ISSUANCE.
17. THE CONTRACTOR SHALL IMMEDIATELY REPORT IN WRITING WITH ADEQUATE SUPPORTING DOCUMENTATION TO THE OWNER AND ENGINEER ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING WITH WORK.
18. CONTRACTOR AGREES TO REPAIR ANY DAMAGE TO THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE STANDARDS OF THE FDOT.

SURVEYOR NOTES

- 1. TOPOGRAPHIC BOUNDARY SURVEY, PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED ON APRIL 19, 2020 BY THE FOLLOWING COMPANY:
McKim & CREED, INC.
2. VERTICAL ELEVATIONS SHOWN ARE BASED ON NGS BENCHMARK #672 9511 C TIDAL, HAVING A PUBLISHED ELEVATION OF 30.00 (NAVD 88). HORIZONTAL COORDINATES BASED ON NAD27 FLORIDA STATE PLANES, NORTH ZONE, US FOOT.
3. THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
4. THERE MAY BE EASEMENTS AND RESTRICTIONS OF RECORDS AND/OR PRIVATE AGREEMENTS NOT FURNISHED TO THE SURVEYOR THAT MAY AFFECT PROPERTY RIGHTS AND/OR LAND USE RIGHTS OF THE LANDS SHOWN HEREON.
5. NO UNDERGROUND INSTALLATIONS, FOUNDATION FOOTINGS OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS NOTED.

EROSION CONTROL NOTES

- 1. TEMPORARY STABILIZATION IS REQUIRED OF ALL SOIL LEFT BARE FOR GREATER THAN 14 DAYS.
2. PERMANENT SOIL STABILIZATION REQUIRED. SEE LANDSCAPE PLANS FOR SOD AND OTHER IMPROVEMENT LOCATIONS.
3. STORMWATER RETENTION AREAS SHOULD BE CONSTRUCTED FIRST TO PREVENT DISCHARGE FROM THE SITE DURING CONSTRUCTION.
4. REQUIRED INSPECTIONS BY CONTRACTOR DURING CONSTRUCTION:
a. ONCE EACH WEEK OR WITHIN 24 HRS OF A STORM EVENT (GREATER THAN 1/2 IN.) INSPECT ALL CONTROL MEASURES.
b. REPAIR ALL DAMAGED AREAS WITHIN 24 HRS OF DISCOVERY.
c. REMOVE ANY BUILT-UP SEDIMENT AROUND FENCES THAT REACHES 1/3 OF THE SILT FENCE HEIGHT.
d. SILT FENCES SHOULD BE INSPECTED FOR DEPTH OF SEDIMENT AND TEARS TO INSURE FABRIC HAS NOT PULLED AWAY FROM POSTS.
e. INSPECT ALL TEMPORARY AND PERMANENT SOIL STABILIZATION FOR WASHOUTS OR BARE SPOTS.
f. INSPECTION REPORTS MUST BE AVAILABLE FOR INSPECTION AT ALL TIMES. THE SITE SUPERINTENDENT SHALL CONDUCT ALL INSPECTIONS AND MAINTAIN RECORDS.
g. DATES OF ALL MAJOR GRADING ACTIVITIES MUST BE RECORDED AND MAINTAINED WITH SITE INSPECTIONS WHEN MAJOR GRADING HAS CEASED IN ANY AREA, THE DATE MUST ALSO BE RECORDED.
5. THE SITE SHOULD BE KEPT IN AN ORDERLY FASHION, THE CONTRACTOR SHALL ENSURE THE FOLLOWING ITEMS ARE ADDRESSED:
a. AN EFFORT TO STORE ONLY WHAT IS NEEDED ON THE SITE.
b. KEEP ALL STORED MATERIALS IN A NEAT AND ORDERLY FASHION IN THE ORIGINAL CONTAINERS WHEN POSSIBLE.
c. FOLLOW ALL MANUFACTURERS RECOMMENDED PROCEDURES FOR DISPOSAL OF WASTE MATERIAL.
d. INSPECT DAILY TO INSURE WASTE MATERIAL IS DISPOSED OF PROPERLY.
e. COUNTY RESERVES THE RIGHT TO TERMINATE ALL CONSTRUCTION ACTIVITIES UNTIL CONTRACTOR ADEQUATELY INSTALLS, MAINTAINS, AND/OR REPLACES EROSION CONTROL MEASURES TO CONDITION ACCEPTED BY THE COUNTY AT NO ADDITIONAL COST.
6. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.

SPILL CONTROL NOTES

- 1. IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE EROSION CONTROL NOTES OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:
a. MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
b. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
c. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF SIZE.
d. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.
e. THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.

DEMOLITION NOTES

- 1. CONTRACTOR SHALL OBTAIN NECESSARY PERMITS AND LICENSES FOR PERFORMING THE DEMOLITION WORK AND SHALL FURNISH A COPY OF SAME TO THE ENGINEER PRIOR TO COMMENCING THE WORK. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE PERMITS.
2. NO WORK WITHIN THE RIGHT-OF-WAY IS AUTHORIZED UNTIL A RIGHT-OF-WAY PERMIT IS OBTAINED.
3. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES OR LOCAL AUTHORITIES FURNISHING GAS, WATER, ELECTRICAL, TELEPHONE, OR SEWER SERVICE SO THEY CAN REMOVE, RELOCATE, DISCONNECT, CAP OR PLUG THEIR EQUIPMENT IN ORDER TO FACILITATE DEMOLITION.
4. CONTRACTOR SHALL PROTECT ALL UTILITIES AND OTHER IMPROVEMENTS SHOWN ON THESE PLANS AND UTILITIES AND OTHER IMPROVEMENTS DAMAGED DURING CONSTRUCTION AND SHALL MAINTAIN SUFFICIENT PROTECTION FOR ALL UTILITIES REQUIRED TO PROTECT THEM FROM DAMAGE AND TO PROTECT THE PUBLIC DURING CONSTRUCTION. CONTRACTOR SHALL ALSO SUPPORT EXISTING UTILITIES AS REQUIRED FOR INSTALLATION OF ALL PROPOSED IMPROVEMENTS. ALL COSTS ASSOCIATED WITH PROTECTING, SUPPORTING, REPAIRING, AND OTHER ACTIVITIES RESULTING FROM CONTRACTOR DAMAGING UTILITIES SHALL BE THE CONTRACTORS RESPONSIBILITY AT NO ADDITIONAL COST TO THE OWNER OR LOCAL UTILITY.
5. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL TREES, STRUCTURES, AND UTILITIES NOT MARKED FOR REMOVAL OR DEMOLITION AND SHALL PROMPTLY REPAIR ANY DAMAGE AS DIRECTED BY THE ENGINEER AT NO COST TO THE OWNER. TREES NOT MARKED FOR REMOVAL SHALL BE PROTECTED IN ACCORDANCE WITH FDOT PLAN NO. 580-001 TREE PROTECTION BARRICADE.
6. CONTRACTOR SHALL CLEAR AND GRUB THE SITE AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS. REMOVE TREES MARKED FOR REMOVAL WHICH INCLUDES THE ROOTS ASSOCIATED WITH THE TREE.
7. ALL UNSUITABLE MATERIALS, INCLUDING ORGANICS AND MUCK, MUST BE EXCAVATED AND REMOVED FROM THE SITE AND REPLACED WITH CLEAN SAND PRIOR TO GRADING THE SITE.
8. CONTRACTOR SHALL TAKE PROPER MEASURES TO ENSURE EXCAVATED OR UNSALVAGEABLE MATERIAL STORED ON-SITE ARE PROTECTED FROM EROSION AND SEDIMENTATION. CONTRACTOR SHALL REMOVE UNSALVAGEABLE MATERIALS AND YARD WASTE FROM THE SITE IN A TIMELY MANNER AND DISPOSE OF IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.
9. CONTRACTOR SHALL REMOVE BUILDING STRUCTURES MARKED FOR DEMOLITION WHICH INCLUDES FOOTERS ASSOCIATED WITH THE STRUCTURE, WATER LINES TO THE STRUCTURE LOCATION, LATERALS TO THE RIGHT-OF-WAY LINE (CAP PRIOR TO BACKFILLING THE TRENCH), AND UNDERGROUND ELECTRICAL WIRING NOT ASSOCIATED WITH THE APPROPRIATE POWER COMPANY.
10. UNLESS OTHERWISE NOTED, ALL DEMOLISHED MATERIALS (PAVING, CURB, UTILITY PIPE, ETC.) SHALL BE REMOVED AND DISPOSED OF OFF SITE. NOTHING IDENTIFIED FOR DEMOLITION SHALL BE ABANDONED IN PLACE.
11. CONTRACTOR SHALL SAW-CUT A SMOOTH STRAIGHT EDGE ON ANY PAVEMENT PROPOSED FOR DEMOLITION PRIOR TO ITS REMOVAL. PRIOR TO CONNECTING PROPOSED PAVEMENT TO EXISTING PAVEMENT, THE CONTRACTOR SHALL ENSURE THAT THE EDGE OF THE EXISTING PAVEMENT IS STRAIGHT AND UNIFORM.
12. CONTRACTOR SHALL REMOVE PAVING MARKED FOR DEMOLITION WHICH INCLUDES ALL ASPHALT, CONCRETE, BASE, AND RETAINING WALLS (INCLUDING THE FOOTERS).
13. FULL DEPTH PAVEMENT SECTION REMOVAL INCLUDES ANY ASSOCIATED ASPHALT OR CONCRETE PAVEMENT, BASE MATERIAL, AND COMPACTED SUBGRADE TO A DEPTH TO REACH OF NATURAL SOIL.

EARTHWORK, GRADING, AND STABILIZATION NOTES

- 1. INFORMATION CONCERNING SITE SOIL CONDITIONS WILL BE PROVIDED BY THE GEOTECH REPORT.
2. COMPACT ALL UTILITY TRENCHES WITHIN ROADWAYS TO 98% OF THE MODIFIED PROCTOR MAXIMUM DENSITY (AASHTO T - 180) AND TO 95% WITHIN OTHER AREAS.
3. ALL EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL PLANS AND SPECIFICATIONS.
4. ALL ON-SITE AREAS DISTURBED BY THE CONSTRUCTION SHALL BE STABILIZED IN ACCORDANCE WITH LANDSCAPE PLANS OR WITH SOD (SAME AS SURROUNDING AREA OR BETTER) OR APPROVED EQUAL.
5. ALL DEWATERING COSTS ASSOCIATED WITH THE PERMITTING, INSTALLATION, MAINTENANCE, AND CONSTRUCTION OF THE UNDERGROUND UTILITIES; STORM WATER PIPES AND MANHOLES; SANITARY SEWER MAINS, FORCE MAINS, MANHOLES, AND LIFT STATIONS; AND STORM WATER MANAGEMENT SYSTEMS SHALL BE INCLUDED AS PART OF THE CONSTRUCTION BID COSTS. THE CONTRACTOR SHALL SUBMIT FOR WATER USE PERMITS IF REQUIRED FOR DEWATERING ACTIVITIES.
6. PLANS AND SPECIFICATIONS REQUIRE THAT COMPACTED BACKFILL BE PLACED ALONG SIDE OF AND OVER ALL UTILITIES. ENGINEER MAY REQUIRE THAT COMPACTION TESTS BE TAKEN TO VERIFY BACKFILL COMPACTION. COST OF SUCH COMPACTION TESTS WILL BE BORNE BY THE CONTRACTOR.
7. UNLESS SHOWN OTHERWISE ON THE PLANS, CONTRACTOR SHALL APPLY 4" OF TOP SOIL TO ALL DISTURBED AREAS OF THE SITE, PLANT GRASS SEED OR SOD, APPLY STRAW, AND WATER. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A HEALTHY STAND OF GRASS ON ALL SEEDED OR SODDED AREAS. IF A HEALTHY STAND OF GRASS CAN NOT BE ESTABLISHED BY THE TIME THE BUILDING BECOMES OCCUPIED, THEN SOD SHALL BE INSTALLED AND WATERED UNTIL GRASS IS ESTABLISHED.
8. THE CONTRACTOR MUST INSTALL AND MAINTAIN GRASS OR SOD ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETED FINAL GRADES, AS NOTED ON PLANS, AND AT ANY OTHER TIME AS NECESSARY TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES TO ANY DOWNSTREAM WATER BODY, WETLAND, OR OFF-SITE PROPERTY. SODDING ON SLOPES 3:1 AND STEEPER SHALL BE STAKED.
9. CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO CONTROL TURBIDITY AND SEDIMENT INCLUDING, BUT NOT LIMITED TO, THE INSTALLATION OF TURBIDITY BARRIERS AND SILT FENCES AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY AND SEDIMENT BARRIERS MUST BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND MAINTAINED AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR REMOVING THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFFSITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS IN CHAPTERS 62-302 AND 62-4, FAC.

GENERAL NOTES

THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2 PERCENT-ANNUAL-CHANGE FLOODPLAIN, NO BFES OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0285G, MAP REVISION DATED SEPTEMBER 29, 2006.

ENVIRONMENTAL & WELLHEAD PROTECTION

- 17. THE SUBJECT PARCEL FALLS WITHIN SEVERAL TRAVEL TIME CONTOURS OF PROTECTED (POTABLE WELLHEADS, CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POND 1-800-320-0519) AND LOCAL (ECUA- EMERALD COAST UTILITIES AUTHORITY (850) 476-5110 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 595-6712) AGENCIES.

PAVING, GRADING, AND DRAINAGE NOTES

- 1. CONTRACTOR SHALL FIELD VERIFY THE EXISTING CONDITIONS ALONG THE ALIGNMENT OF ALL PROPOSED SIDEWALKS AND NOTIFY THE OWNER OF ALL DISCREPANCIES. CONTRACTOR SHALL ALSO HAVE VERTICAL AND HORIZONTAL CONTROL POINTS FIELD MARKED BY HIS SURVEY CREW AND SHALL HAVE THE MARKERS REVIEWED AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. EXISTING GRADES SHOWN ON THE DRAWINGS (IN PLACE OR IN SECTION) ARE APPROXIMATE ONLY. CONTRACTOR IS RESPONSIBLE FOR GRADING, INCLUDING PLACEMENT OR REMOVAL OF FILL MATERIAL, AS APPROPRIATE, TO PROVIDE PROPER RELATIONSHIP BETWEEN WALKS/RAMPS AND ADJACENT ROADWAYS, CURBS, LOTS, UTILITIES, AND OTHER APPURTENANCES, AS INDICATED.
3. SAWCUT EXISTING PAVEMENT AT THE CONNECTIONS TO THE EXISTING ROADWAYS TO FORM A SMOOTH TRANSITION.
4. HORIZONTAL GEOMETRY REFERS TO ROADWAY OR PARKING LOT EDGE OF PAVEMENT.
5. ALL CURBS (EXISTING OR NEW) SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE. ANY CHIPPED OR CRACKED PORTIONS OF CURB SHALL BE REPLACED AT CONTRACTOR'S EXPENSE. IN ADDITION, ANY MORTAR, CONCRETE, SOIL AND OTHER DEPOSITS OR STAINS SHALL BE CLEANED TO RETURN THE CURBS TO THEIR ORIGINAL CONDITION.
6. ALL ISLANDS WITH CURB SHALL BE LANDSCAPED. THOSE ISLANDS ARE TO HAVE CURB AS SHOWN ON THE CONSTRUCTION DRAWINGS.
7. UPON COMPLETION OF FINAL ASPHALT PAVING, TOOL AND CLEAN ALL MANHOLE AND VALVE COVERS OF DIRT, DEBRIS AND ASPHALT. ALL MANHOLE AND VALVE COVERS SHALL BE CLEAN AND OPERABLE PRIOR TO OWNER'S ACCEPTANCE.
8. IN ADDITION TO THE REQUIREMENTS IN THE ENGINEER'S TECHNICAL SPECIFICATIONS, ALL ROADWAY CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH APPLICABLE STATE OR LOCAL GOVERNMENT SPECIFICATIONS.
9. CONTRACTOR TO PROVIDE MAINTENANCE OF TRAFFIC (MOT) PLAN FOR REVIEW AND APPROVAL TO THE APPLICABLE STATE OR LOCAL GOVERNMENT PRIOR TO WORK IN THE RIGHT-OF-WAY. CONTRACTOR SHALL EXECUTE AND IMPLEMENT THE MOT PLAN IN ACCORDANCE WITH FDOT STANDARDS.
10. STABILIZED SUBGRADE TO BE F.D.O.T. TYPE "B".
11. ASPHALTIC CONCRETE TO FDOT STANDARD SPECIFICATION (LATEST EDITION) SECTION 916.1.
12. ALL CONCRETE STRUCTURES, SUCH AS, BUT NOT LIMITED TO: FLUMES, WALKS, CURBS AND DRAINAGE STRUCTURES, SHALL BE TO FDOT STANDARD SPECIFICATIONS (LATEST EDITION).
13. NON-STRUCTURAL CONCRETE SHALL BE MINIMUM COMPRESSIVE STRENGTH 3,000 PSI AT 28 DAY COMPRESSIVE STRENGTH. ALL STRUCTURAL CONCRETE SHALL BE A MINIMUM OF 4,000 PSI AT 28 DAY COMPRESSIVE STRENGTH.
14. COMPLETE CONSTRUCTION WITHOUT IMPACTING THE NORMAL OPERATION OF PEDESTRIAN AND VEHICULAR TRAFFIC.
15. LEADING EDGE OF RAMP SHALL ALIGN WITH SIDEWALK OR RAMP ON OPPOSITE SIDE OF INTERSECTION.
16. WHERE A CURB CUT RAMP IS CONSTRUCTED WITHIN AN EXISTING CURB, CURB AND GUTTER AND/OR SIDEWALK, THE EXISTING CURB OR CURB AND GUTTER SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE DROP CURB OR TO THE EXTENT THAT NO REMAINING SECTION OF CURB OR GUTTER IS LESS THAN 5' LONG. THE EXISTING SIDEWALK SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE TRANSITION SLOPE OR TO THE EXTENT THAT NO REMAINING SECTION OF SIDEWALK IS LESS THAN 5' LONG.
17. THE EXISTING GRADES SHOWN ON THE DRAWINGS (IN PLAN OR IN SECTION) ARE APPROXIMATE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR GRADING, INCLUDING PLACEMENT OR REMOVAL OF FILL MATERIAL, AS APPROPRIATE, TO PROVIDE PROPER RELATIONSHIP BETWEEN WALKS/RAMPS AND ADJACENT ROADWAYS, CURBS, LOTS, UTILITIES, AND OTHER APPURTENANCES, AS INDICATED.
18. SIDEWALK/RAMP CONSTRUCTION AND EXISTING CURB REMOVAL NECESSARY TO CONSTRUCT THE HANDICAP RAMPS (IF APPLICABLE) ARE INCLUDED IN THIS CONTRACT.
19. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY PROVIDER FOR THE ADJUSTMENT OF ANY EXISTING OR PROPOSED UTILITY BOXES OR COVERS WITHIN SIDEWALK CONSTRUCTION LIMITS SHOWN ON THE DRAWINGS.
20. CONTRACTOR SHALL MAINTAIN CLEAR, SAFE WALKWAYS AND WALKING DETOURS FOR NORMAL PEDESTRIAN AND GUEST TRAFFIC AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PEDESTRIAN AND GUEST MOT PLANS.
21. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.
22. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED IN DRAWINGS. IF CURBING IS REQUIRED, SPOT ELEVATIONS WILL BE SHOWN AT THE EDGE OF ALL PAVEMENT.
23. IT MAY BE NECESSARY TO FIELD ADJUST PAVEMENT ELEVATIONS TO PRESERVE THE ROOT SYSTEM OF TREES SHOWN TO BE SAVED. CONTRACTOR TO COORDINATE WITH ENGINEER PRIOR TO ANY ELEVATION CHANGES.
24. THE INTENT OF THE GRADING DESIGN IS TO BALANCE THE EARTHWORK OF THE SITE SUCH THAT NO OFF-SITE FILL NOR SPOIL REMOVAL IS REQUIRED. AS CONSTRUCTION PROCEEDS THE OWNER RESERVES THE RIGHT TO ALTER THE PROPOSED SITE GRADES TO ENSURE THE EARTHWORK IS BALANCED. ANY GRADE CHANGES PROPOSED TO MEET THIS GRADING INTENT SHALL BE ACCOMMODATED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
25. ANY FILL USED TO INCREASE THE ELEVATION OF THE FLOOR SLAB OR ANY FILL TO BE USED AS BACKFILL, SHALL BE CLEAN, GRANULAR MATERIAL. PRIOR TO THE USE OF ANY GRANULAR FILL, GRADATION ANALYSIS SHALL BE PERFORMED ON REPRESENTATIVE SAMPLES OF THE FILL MATERIAL TO DETERMINE WHETHER THE MATERIAL IS SUITABLE AS FILL. COMPACTED FILL SHALL BE PLACED IN LAYERS OF NOT MORE THAN 8-INCHES IN THICKNESS, AT MOISTURE CONTENTS WITHIN 3-PERCENT OF OPTIMUM, AND COMPACTED TO MINIMUM DENSITY OF 95% OF THE MAXIMUM DRY DENSITY OR AS REQUIRED BY CONTOUR ENGINEERING AS DETERMINED BY THE MODIFIED PROCTOR METHOD, ASTM D-1557.
26. ON-SITE STORMWATER MANAGEMENT AND DRAINAGE SYSTEM WILL BE PRIVATELY OWNED AND MAINTAINED.
27. ALL PIPES SHALL HAVE 3-FEET MINIMUM COVER UNLESS OTHERWISE SPECIFIED IN PLANS, CONTRACTOR SHALL TAKE CARE TO PROVIDE PROPER GRADE ELEVATIONS AND ALIGNMENTS.
28. ALL DRAINAGE PIPE 36" AND LARGER IN DIAMETER SHALL BE REINFORCED CONCRETE PIPE CLASS III (ASTM C-76), OR CLASS IV AT LOCATIONS WITH LESS THAN 2-FT OF COVER TO FINISHED SURFACE, UNLESS OTHERWISE NOTED.
29. ALL STORM DRAINAGE INLETS AND PIPES SHALL BE PROTECTED FROM SILT, SAND AND DEBRIS DURING CONSTRUCTION. ANY ACCUMULATION WITHIN THE STORM DRAINAGE PIPE SYSTEM SHALL BE REMOVED WITHOUT PUMPING OR FLUSHING INTO THE PONDS. STORM DRAINAGE SYSTEM SHALL BE CLEANED AND FREE OF DEBRIS PRIOR TO CONSTRUCTION MANAGER'S ACCEPTANCE.
30. PROVIDE SOCK DRAIN OR SEDIMENT FILTER IN FRONT OF ALL DRAINAGE CURB INLETS AND PROVIDE FILTER FABRIC UNDER THE GRATE OF ALL DITCH BOTTOM INLETS AFTER INITIAL COMPLETION OF THE DRAINAGE STRUCTURES. MAINTAIN THESE MEASURES DAILY (WHICH MAY INCLUDE FULL REPLACEMENT AT THE DISCRETION OF THE CONSTRUCTION MANAGER) TO MINIMIZE SILT ACCUMULATION IN THE STORM DRAINAGE SYSTEM.
31. TOP ELEVATION OF ALL CURB INLETS ARE SHOWN WHERE THE EDGE OF PAVEMENT ELEVATION MEETS THE THROAT APRON OF THE CURB INLET.
32. ALL PIPE CALL OUTS ARE MEASURED CENTER LINE TO CENTER LINE FOR MANHOLES AND INLETS AND FROM THE END OF THE PIPE FOR MITERED END SECTIONS.
33. ALL DRAINAGE PIPE JOINTS TO BE WRAPPED WITH FILTER FABRIC CLOTH PER FDOT PLAN 430-001.
34. CONTRACTOR TO PROTECT MANHOLE COVERS FROM DAMAGE THROUGHOUT PROJECT CONSTRUCTION.

SIGNING AND MARKING NOTES

- 1. ALL FINAL TRAFFIC PAVEMENT MARKINGS IN THE RIGHT-OF-WAY SHALL BE SOLID, REFLECTIVE, ALKYD THERMOPLASTIC 100 MILS IN THICKNESS IN ACCORDANCE WITH FDOT SPECIFICATIONS SECTION 701. ALL FINAL TRAFFIC PAVEMENT MARKINGS ON PRIVATE PROPERTY, EXCEPT PARKING STALLS, SHALL BE ALKYD THERMOPLASTIC. ALL TEMPORARY PAVEMENT MARKINGS SHALL BE PAINTED.
2. PARKING STALLS SHALL BE STRIPED WITH A 4" WHITE PAINT UNLESS OTHERWISE NOTED IN THESE PLANS. PARKING LOT STRIPING SHALL HAVE TWO (2) COATS OF PAINTS (MIN). ALL PAINTED STRIPING SHALL BE LATEX PAINT APPLIED PER MANUFACTURER'S RECOMMENDATIONS. PAINT SHALL BE APPLIED IN TWO COATS, WITH THE SECOND COAT APPLIED 30 DAYS AFTER THE FIRST.
3. ALL PAVEMENT MARKINGS SHALL BE SLIP-RESISTANT PAINT.
4. SIGNING AND PAVEMENT MARKINGS ARE TO BE PLACED IN ACCORDANCE WITH MUTCD, FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS, FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND LOCAL GOVERNMENT STANDARDS.
5. REFLECTIVE PAVEMENT MARKERS (RPM) ARE NOT SHOWN BUT ARE REQUIRED ALONG ALL NEW STRIPING IN ACCORDANCE WITH FDOT PLAN 706-001.
6. PAVEMENT MARKINGS AT ALL EXISTING/PROPOSED INTERFACE LOCATIONS ARE TO MATCH IN TERMS OF ALIGNMENT AND COLOR.
7. CAUTION SHOULD BE EXERCISED IN THE INSTALLATION OF POST MOUNTED SIGNS IN ORDER TO PREVENT POSSIBLE DAMAGE TO BURIED UTILITIES.
8. SIGN ASSEMBLY LOCATIONS SHOWN ON THE DRAWINGS WHICH ARE IN CONFLICT WITH LIGHTING, DRIVEWAYS, WELCHBAR RUMPS, ETC., MAY BE ADJUSTED SLIGHTLY AS DIRECTED BY THE ENGINEER. EXTREME LOCATION CHANGES MUST BE APPROVED BY THE ENGINEER OF RECORD AND OWNER.
9. ALL EXISTING SIGNS ARE TO REMAIN UNLESS OTHERWISE NOTED. ANY SIGNS TO REMAIN THAT ARE DAMAGED DURING THE CONSTRUCTION PROCESS SHALL BE REPLACED IN KIND AT THE CONTRACTOR'S EXPENSE.
10. ANY EXISTING PAVEMENT MARKINGS SCHEDULED TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT HIS EXPENSE.

GENERAL UTILITY NOTES

- 1. ALL UTILITY WORK SHALL CONFORM TO AND SHALL BE INSTALLED, TESTED AND CLEARED FOR SERVICE IN ACCORDANCE WITH THE WORK SHALL ALSO CONFORM TO THE APPROVED PROJECT SPECIFICATIONS, AND/OR FDEP PERMIT.
2. WHEN POSSIBLE, THE CONTRACTOR SHALL PLACE GATE VALVES OUTSIDE OF PAVEMENT.
3. PROTECT THE UTILITY SYSTEMS AT ALL TIMES DURING CONSTRUCTION. SHOULD A SYSTEM BECOME DAMAGED, ALTERED OR EXTENDED AFTER THE INITIAL TESTING, THE AFFECTED PORTION OF THE SYSTEM SHALL BE RESTORED AS NECESSARY AND RETESTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
4. ALL POTABLE WATER MAINS MUST BEAR "N5E" "PW" LOGO.
5. UNDERGROUND FIRE LINES SHALL MEET NFPA 24 REQUIREMENTS.
6. ALL UNDERGROUND UTILITIES MUST BE INSTALLED BEFORE THE ROADWAY BASE AND SURFACE ARE CONSTRUCTED.
7. ALL UNDERGROUND UTILITY PIPING SHALL HAVE A MINIMUM OF 3-FEET OF COVER UNLESS SHOWN OTHERWISE ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
8. ALL RIGHT-OF-WAY INSTALLATIONS WILL BE IN ACCORDANCE WITH PRACTICES REFERENCED IN THE STATE OF FLORIDA UTILITIES ACCOMMODATION MANUAL.
9. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITY FOR UTILITY LOCATE TICKETS, ELECTRICAL PERMITS OR OTHER PERMITS AS APPLICABLE. CONTRACTOR IS TO COORDINATE FULLY WITH LOCAL UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION. THE UTILITY COMPANIES LISTED IN THE TABLE BELOW SHALL BE CONTACTED BY THE CONTRACTOR AT LEAST 3 FULL WORK DAYS IN ADVANCE.
10. LOCATIONS OF ALL EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER OR ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. PRIOR TO THE START OF CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE UTILITY COMPANY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY. EXISTING UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED AS DIRECTED ON THE PLANS.
11. CONTRACTOR SHALL LOCATE AND VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
12. ALL UTILITY LINES ARE TO BE CAPPED TEMPORARILY AT THEIR OPEN ENDS UNTIL CONNECTIONS ARE CONSTRUCTED.
13. ALL PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTED UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
14. A 48-HOUR NOTICE WILL BE GIVEN TO THE ENGINEER OF RECORD AND LOCAL UTILITY INSPECTORS PRIOR TO TESTING ANY UTILITY SHOWN ON THESE PLANS.
15. WHEN TRENCH EXCAVATION EXCEEDS 5-FEET IN DEPTH:
a. CONTRACTOR SHALL CONFORM TO OSHA STANDARDS (29CFR SECTION 1926.650)
b. CONTRACTOR SHALL PROVIDE WRITTEN ASSURANCE OF COMPLIANCE WITH ALL APPLICABLE LAWS.
c. TRENCH SAFETY SYSTEM SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
16. CONTRACTOR SHALL MAINTAIN A RECORD SET OF DRAWINGS AT THE JOB SITE. MONTHLY PROGRESS AS-BUILTS AND A FINAL SET SHALL BE SUBMITTED TO THE OWNER UPON THE COMPLETION OF EACH PHASE.
17. UTILITY MAINS DESIGNATED TO BE OWNED AND MAINTAINED BY LOCAL UTILITY IN THE PLANS SHALL CONFORM TO THE FOLLOWING NOTES AND "ECUA ENGINEERING MANUAL 2016, UPDATE #1".
18. PROPOSED FIRE LINE PIPING FOR THE FIRE PROTECTION SYSTEM, INCLUDING BACKFLOW PREVENTER SHALL BE INSTALLED BY A CLASS I, II, OR V CONTRACTOR PER CHAPTER 633.102 F.S. THE UNDERGROUND FIRE RISER SHALL EXTEND TO 1-FOOT ABOVE FINISH FLOOR (AFF) OR FINISH GRADE.

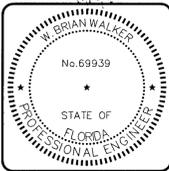
TESTING AND INSPECTION

- 17. CONTRACTOR TO TAKE BACTERIOLOGICAL SAMPLES AS INDICATED ON THE DRINKING WATER PERMIT OR AS DIRECTED BY THE PERMITTING AGENCY. SAMPLES SHALL BE TAKEN AT A MINIMUM OF 2 LOCATIONS ALONG THE WATER SYSTEM.
18. CONTRACTOR SHALL DISINFECT ALL SECTIONS OF THE WATER DISTRIBUTION SYSTEM AND RECEIVE APPROVAL THEREOF FROM THE PERMITTING AGENCY AND ENGINEER OF RECORD, PRIOR TO PLACING IN SERVICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN COPIES OF THE WATER PERMIT FROM THE OWNER AND MAINTAIN ON THE JOB SITE AT ALL TIMES. DISINFECTION OF THE WATER DISTRIBUTION SYSTEM SHALL BE PERFORMED IN ACCORDANCE WITH AWWA 651 "DISINFECTION WATER MAINS".

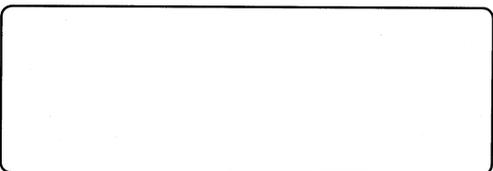
LOCAL UTILITIES

Table with 5 columns: UTILITY, STREET ADDRESS, CITY, STATE, ZIP, PHONE, POINT OF CONTACT. Includes entries for ECUA, GULF POWER, AT&T, COX COMMUNICATIONS, PENSACOLA ENERGY, and LEVEL 3 COMMUNICATIONS.

Table with 3 columns: REV. NO., DESCRIPTION, DATE. Includes a REVISIONS section at the bottom.

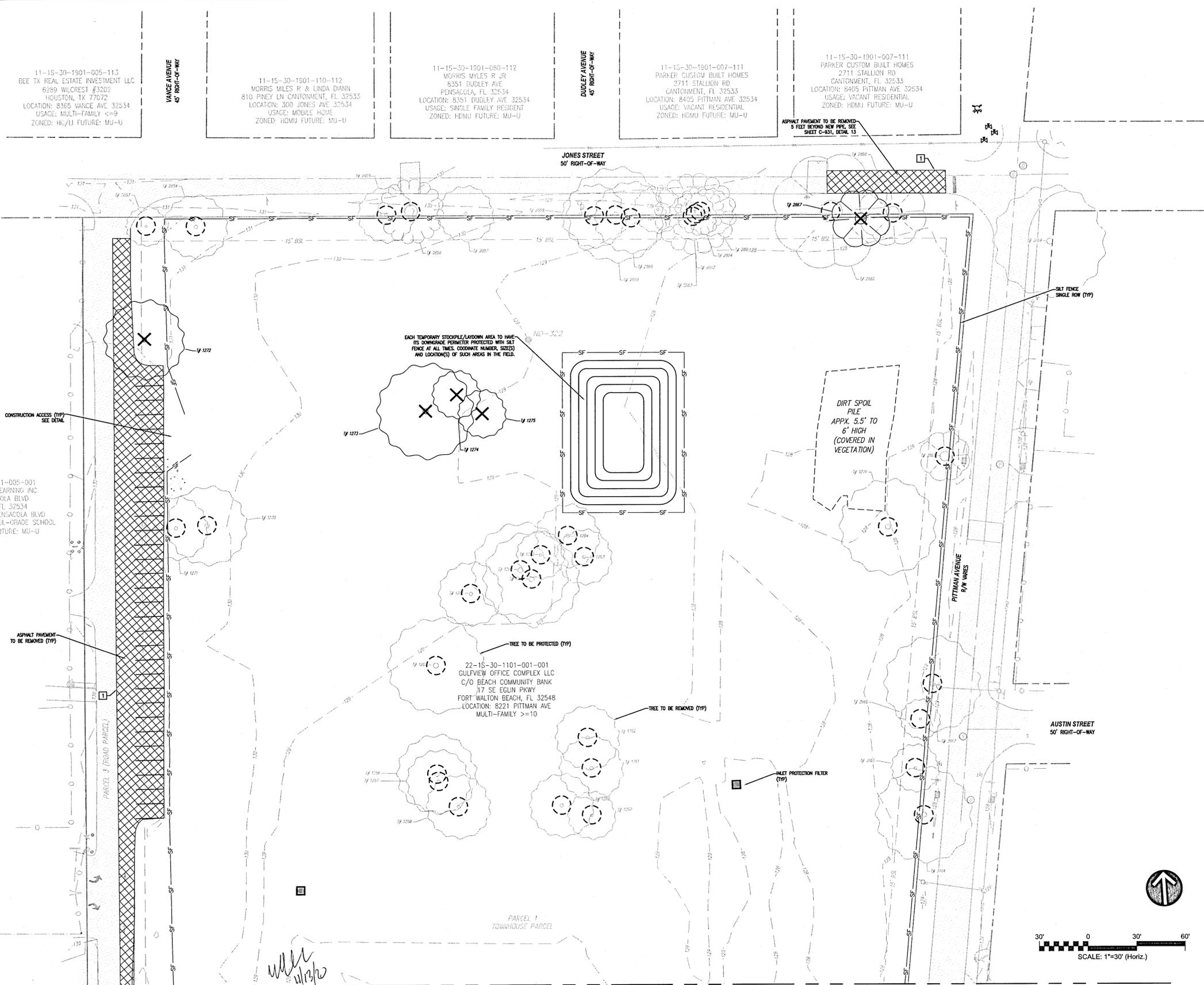


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WOODLANDS PLACE APARTMENTS PHASE 1 CIVIL GENERAL NOTES

Project information: PROJ. START DATE: OCT 23, 2020, MCE PROJ. # 07952-0001, DRAWN: GTP, DESIGNED: AMM, CHECKED: DJLJ, PROJ. MGR.: WBW. SCALE: HORIZONTAL: AS SHOWN, VERTICAL: N/A. C-001 DRAWING NUMBER. STATUS: FINAL DRC SUBMITTAL NOT FOR CONSTRUCTION



- LEGEND**
- PROPERTY BOUNDARY
 - RIGHT-OF-WAY LINE
 - LIMITS OF WORK
 - EASEMENT LINE
 - SITE ELEMENTS TO REMAIN
 - SITE ELEMENTS TO BE REMOVED
 - SF-SF- SILT FENCE - SINGLE ROW
 - X-X- SILT FENCE - DOUBLE ROW
 - ▭ EXISTING BUILDING TO REMAIN
 - ▭ GRAVEL CONSTRUCTION ENTRANCE/ LAYDOWN AREA
 - ▭ INLET PROTECTION FILTER
 - ⊕ SIGN TO BE REMOVED/RELOCATED
 - ⊕ TREE TO BE PROTECTED
 - ⊕ TREE TO BE RELOCATED
 - ⊕ TREE TO BE REMOVED
 - ⊕ LIMITS OF CLEARING AND GRUBBING
 - ⊕ LIGHT POLE TO BE REMOVED

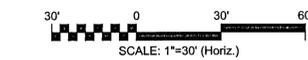
- KEYNOTES**
- 1 SAW CUT PAVEMENT PRIOR TO REMOVAL FOR SMOOTH TRANSITION
 - 2 SAW CUT AND REMOVE EXISTING CONCRETE CURB
 - 3 EXISTING SIGN TO BE REMOVED AND SALVAGED FOR RELOCATION
 - 4 PROVIDE SEDIMENT FILTER TO PROTECT EXISTING DRAINAGE INLET

- EROSION CONTROL NOTES**
1. SEE SHEET C-001 FOR ADDITIONAL NOTES RELATED TO EROSION CONTROL MEASURES ASSOCIATED WITH THIS PLAN.
 2. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL FOR ALL EXISTING DRAINAGE STRUCTURES TO REMAIN UNLESS OTHERWISE NOTED.
 3. CONTRACTOR SHALL TAKE DUE CARE WHEN INSTALLING SILT FENCE ACROSS EXISTING UNDERGROUND UTILITIES.
 4. CONTRACTOR MAY ADJUST SILT FENCE LOCATIONS WITHIN INDICATED LIMITS OF CONSTRUCTION AS NEEDED TO PERFORM WORK.
 5. A TURBIDITY CONTROL PLAN/MEANS AND METHODS PLAN SHALL BE SUBMITTED BY THE CONTRACTOR IN ADDITION TO THE SWPPP PLAN FOR REVIEW AND APPROVAL BY RCID COMPLIANCE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 6. EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIRED. CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY. ADDITIONAL TURBIDITY BARRIERS AND EROSION CONTROL MEASURES MAY BE REQUIRED.
 7. IN DISTURBED AREAS, INSTALL SILT FENCE ALONG PERIMETER PRIOR TO COMMENCEMENT OF DEMOLITION.
 8. ALL DISTURBED AREAS SHALL BE STABILIZED WITH ARGENTINE BAHIA GRASS UNLESS SPECIFIED OTHERWISE.
 9. DEMOLISHED SITE WILL REQUIRE STABILIZATION WITHIN 7 DAYS OF COMPLETION.
 10. ANY FILL REMOVED FOR UNDERGROUND UTILITY CONSTRUCTION WILL BE PLACED ON PLASTIC AND COVERED TO PREVENT WASHOUT DURING RAIN EVENTS.

- DEMOLITION NOTES**
1. NO WORK WITHIN THE RIGHT-OF-WAY IS AUTHORIZED UNTIL A RIGHT-OF-WAY PERMIT IS OBTAINED.
 2. DEMOLITION AREAS SHOWN ON THIS PLAN ARE NOT PHASED, BUT SHOWN IN THEIR ENTIRETY.
 3. FULL DEPTH PAVEMENT SECTION REMOVAL INCLUDES ANY ASSOCIATED ASPHALT OR CONCRETE PAVEMENT, BASE MATERIAL, AND COMPACTED SUBGRADE TO A DEPTH TO REACH OF NATURAL SOIL.
 4. ALL UNSUITABLE MATERIALS, INCLUDING ORGANICS AND MUCK, MUST BE EXCAVATED AND REMOVED FROM THE SITE AND REPLACED WITH CLEAN SAND PRIOR TO GRADING THE SITE.
 5. ALL EXCAVATED MATERIALS THAT ARE NOT UTILIZED ELSEWHERE ON THE PROJECT SITE SHALL BE PERMANENTLY DISPOSED OF OFF-SITE IN A LEGAL MANNER.

BENCHMARK TABLE

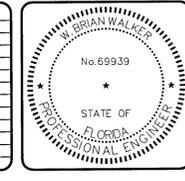
NUMBER	DESCRIPTION	ELEV (FT)
TBM 321	SET NAIL & DISK (LB7917)	129.78
TBM 319	SET NAIL & DISK (LB7917)	127.71
TBM 322	SET NAIL & DISK (LB7917)	129.55



MATCHLINE: SHEET C-102

REV NO.	DESCRIPTION	DATE

REVISIONS



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**WOODLANDS PLACE APARTMENTS
PHASE 1**

CIVIL

DEMOLITION AND EROSION CONTROL PLAN

PROJ. START DATE: NOV 13, 2020
MCE PROJ. # 07952-0001
DRAWN: GTP
DESIGNED: AMM
CHECKED: DPJJ
PROJ. MGR.: WBW

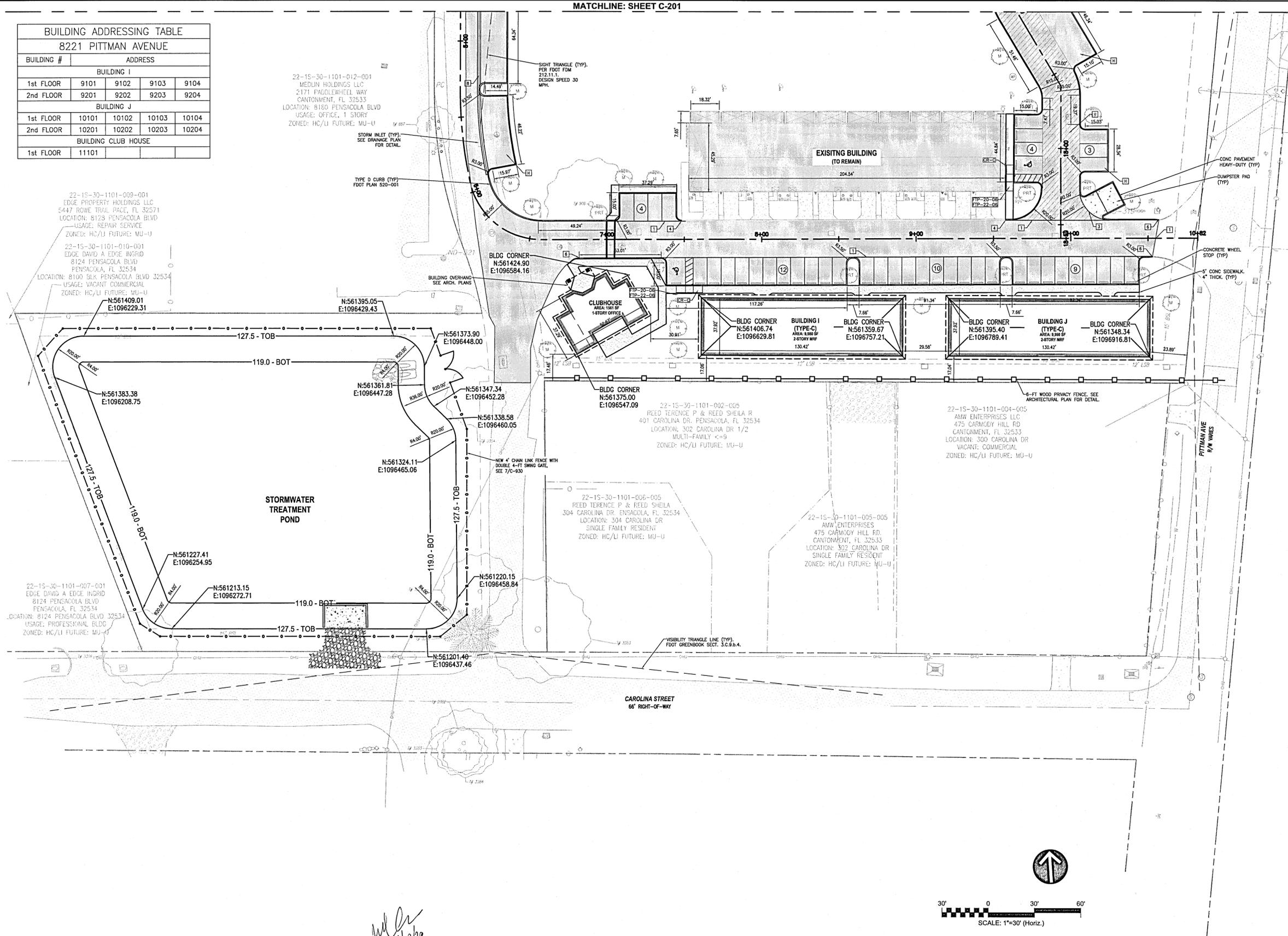
SCALE
HORIZONTAL: AS SHOWN
VERTICAL: N/A

C-101
DRAWING NUMBER

REVISION

STATUS: **FINAL DRC SUBMITTAL
NOT FOR CONSTRUCTION**

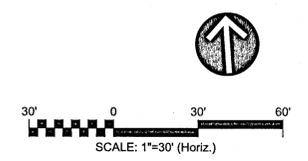
BUILDING ADDRESSING TABLE				
8221 PITTMAN AVENUE				
BUILDING #	ADDRESS			
BUILDING I				
1st FLOOR	9101	9102	9103	9104
2nd FLOOR	9201	9202	9203	9204
BUILDING J				
1st FLOOR	10101	10102	10103	10104
2nd FLOOR	10201	10202	10203	10204
BUILDING CLUB HOUSE				
1st FLOOR	11101			



- LEGEND**
- PROPERTY BOUNDARY
 - - - RIGHT-OF-WAY LINE
 - LIMITS OF WORK
 - - - EASEMENT LINE
 - SITE ELEMENTS TO REMAIN
 - SITE ELEMENTS
 - SITE RETAINING WALL
 - CHAIN-LINK FENCE
 - WOOD POST FENCE
 - METAL FENCE/ SCREEN WALL
 - EXISTING BUILDING TO REMAIN
 - ASPHALT-LIGHT DUTY
 - ASPHALT-HEAVY DUTY
 - CONCRETE PAVEMENT HEAVY DUTY (8" THICK)
 - PEDESTRIAN HARDSCAPE
 - EXISTING LIGHT POLE
 - LIGHT POLE
 - LIGHTED BOLLARD
 - VEHICULAR SIGNAGE
 - WHEEL STOP
 - PERMANENT BOLLARD

- KEYNOTES**
- 1 CONNECT TO EXISTING ASPHALT PAVEMENT
 - 2 CONNECT TO EXISTING HARDSCAPE PAVEMENT
 - 3 ASPHALT TO CONCRETE EDGE CONNECTION
 - 4 TIE INTO EXISTING CONCRETE RIBBON CURB
 - 5 3' CURB TRANSITION CR-C CURB RAMP TYPE CR-C FDOT PLAN 522-002
 - 6 3' CURB TRANSITION: TYPE D TO RIBBON CURB FTP-20-06 18"x12"
 - 7 3' CURB TRANSITION: TYPE F TO RIBBON CURB
 - 8 3' CURB TRANSITION: TYPE F TO TYPE D
 - 8 VALLEY GUTTER: FDOT PLAN 520-001
 - C CURB RAMP TYPE CR-C FDOT PLAN 522-002
 - D CURB RAMP TYPE CR-D FDOT PLAN 522-002
 - E CURB RAMP TYPE CR-E FDOT PLAN 522-002
 - G CURB RAMP TYPE CR-G FDOT PLAN 522-002
 - H ASPHALT PARKING LIGHT DUTY PAVEMENT SECTION (TYP)
 - I ASPHALT DRIVE, HEAVY DUTY PAVEMENT SECTION (TYP)

- SITE LAYOUT NOTES**
1. ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 2. ALL RADII ARE 5' UNLESS NOTED OTHERWISE.
 3. CURB ON HIGH SIDE OF ROADWAYS SHALL BE A "SPILL" CURB WITH CROSS SLOPE OF GUTTER MATCHING THE SLOPE OF THE ADJACENT PAVEMENT PER FDOT PLAN 520-001.
 4. PAVEMENT MARKINGS NOT SHOWN FOR CLARITY. SEE SHEET SIGNING AND MARKING PLAN SERIES FOR SIGNAGE, STRIPING AND PAVEMENT MARKINGS.
 5. SIGNS, STORM INLETS, AT-GRADE UTILITIES, LIGHT POLES, AND TREES THAT MAY AFFECT THE SITE DESIGN ARE SHOWN ON THIS PLAN FOR REFERENCE. SEE THE RESPECTIVE DRAWING PLAN SERIES FOR DETAIL.
 6. SEE THE DETAIL FOR PLACEMENT OF MARKERS AND POSTS ALONG THE FIRE LANE PATH. FIRE LANE MARKERS OR POSTS SHALL BE PLACED NO GREATER THAN 50' O.C. IN NON-PAVEMENT AREAS.
 7. THIS SITE PLAN ILLUSTRATES THE LAYOUT AND DETAILS THROUGH THE BACK OF CURB AND CURB RAMPS. SEE THE AREA DEVELOPMENT PLANS FOR DETAIL BEYOND THESE LOCATIONS.
 8. SEE AREA DEVELOPMENT PLANS FOR CONCRETE TYPES AND SPACING IN PEDESTRIAN AREAS; DETAILS FOR DETECTABLE WARNING SURFACE MATERIAL AND COLOR ADJACENT TO PEDESTRIAN CROSSWALKS; AND PLANTING DETAILS.
 9. SEE THE ELECTRICAL PLAN FOR LIGHTING AND ELECTRICAL UTILITY DETAIL. SEE THE STRUCTURAL PLAN FOR WALL AND FOUNDATION DETAIL.



REV. NO.	DESCRIPTION	DATE

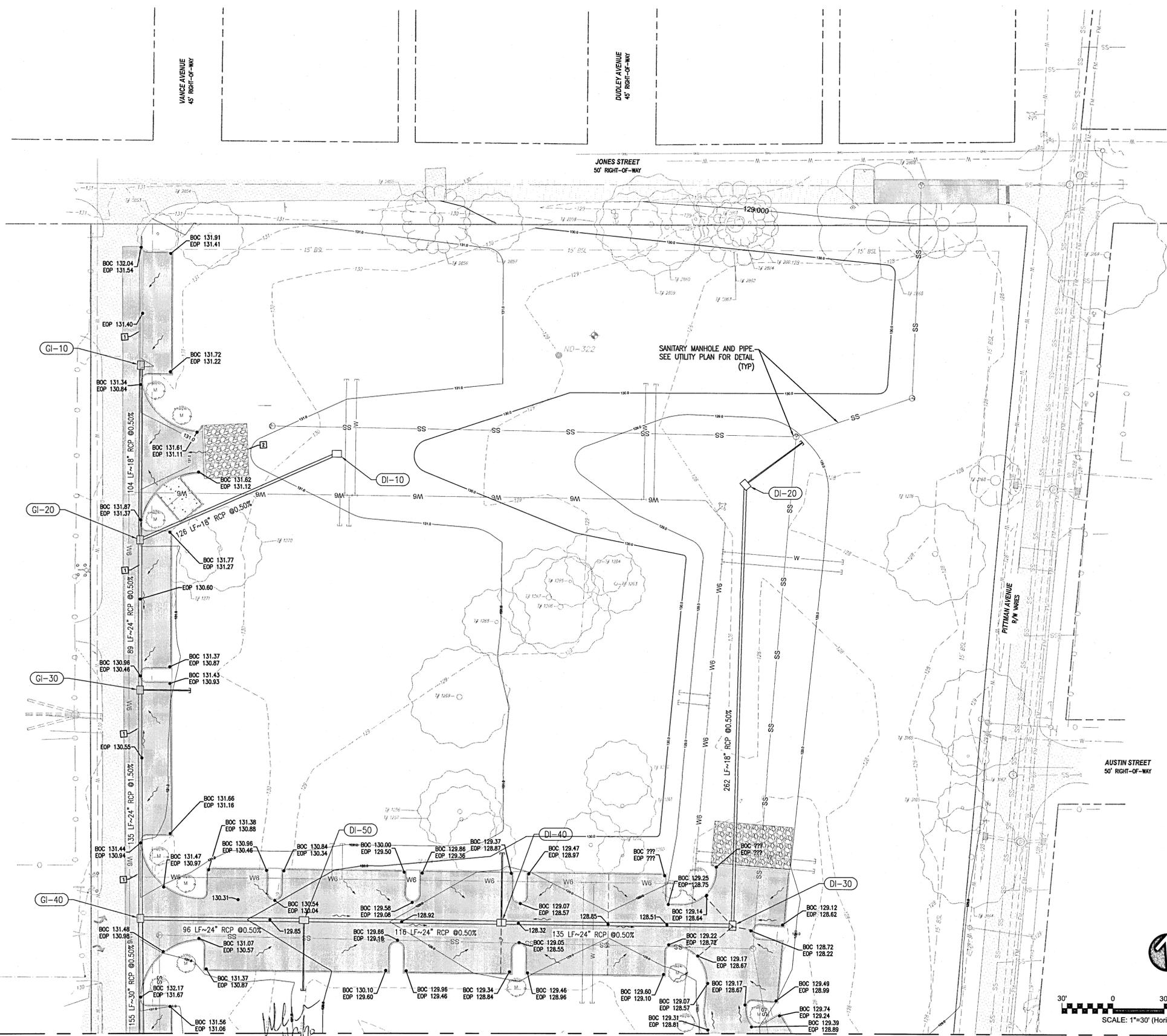


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WOODLANDS PLACE APARTMENTS
PHASE 1
 CIVIL
SITE LOCATION PLAN

PROJ. START DATE: NOV 13, 2020	SCALE	C-202
MCE PROJ. # 07952-0001	HORIZONTAL: AS SHOWN	
DRAWN: GTP	VERTICAL: N/A	REVISION
DESIGNED: AMM		
CHECKED: DPJJ		
PROJ. MGR.: WBJ		
STATUS: FINAL DRC SUBMITTAL NOT FOR CONSTRUCTION		



- LEGEND**
- PROPERTY BOUNDARY
 - - - RIGHT-OF-WAY LINE
 - - - LIMITS OF WORK
 - - - EXISTING CONTOUR
 - - - PROPOSED CONTOUR
 - GB - GRADE BREAK LINE
 - HP - GRADE BREAK LINE-HIGH POINT
 - LP - GRADE BREAK LINE-LOW POINT
 - - - SWALE TOE OF SLOPE
 - - - EXISTING STORM PIPE
 - - - AREA DRAIN PIPE
 - - - STORM PIPE
 - - - UNDER DRAIN PIPE
 - █ EXISTING BUILDING TO REMAIN
 - █ BANK AND SHORE RIP RAP FOOT SECTION 530
 - █ DITCH LINING RIP RAP FOOT SECTION 530
 - SURFACE FLOW ARROW
 - 1:00% SURFACE FLOW GRADE
 - 4:1 SIDE SLOPE GRADE
 - CURB INLETS
 - DITCH BOTTOM INLET
 - STORM MANHOLE
 - MITERED END SECTION
 - EXISTING STORM STRUCTURE LABEL
 - STORM STRUCTURE LABEL
 - CLEANOUT LABEL

KEYNOTES

- 1 MATCH EXIST. PAVEMENT GRADE
- 2 MATCH PROPOSED GRADE

GRADING AND DRAINAGE NOTES

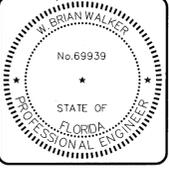
1. EXISTING DRAINAGE STRUCTURES (INLETS, MANHOLES, ETC.) INVERTS AND TOP ELEVATIONS SHOULD BE FIELD VERIFIED PRIOR TO START OF CONSTRUCTION.
2. ALL UTILITIES SHOWN ON THIS PLAN FOR REFERENCE ONLY. SEE THE C-400 DRAWING SERIES FOR UTILITY INFORMATION.
3. ALL DOWNSPOUTS AND ROOF DRAINS MUST BE TIED TO ON-SITE STORM WATER CONVEYANCE PIPING WITH MANUFACTURED PIPE, BENDS AND FITTINGS. COORDINATE ROOF DRAIN QUANTITY, SIZE AND LOCATION WITH ARCHITECTURAL ROOF PLAN.
4. ALL COLLECTION INLETS MUST BE IMMEDIATELY PROTECTED WITH PERIMETER AND OPEN TOP PROTECTION MEASURES TO PREVENT SEDIMENT FROM ENTERING THE INSTALLED SYSTEM. MAINTAIN INLET PROTECTION UNTIL ALL UPSTREAM CONTRIBUTING AREAS ARE PERMANENTLY STABILIZED.
5. A REGISTERED GEOTECHNICAL PROFESSIONAL MUST BE PRESENT ON-SITE TO VERIFY THAT THE BOTTOMS OF EACH OF THE CHIMNEYS ARE KEYING INTO THE MORE PERMEABLE LAYER THAT IS UTILIZED IN THE DESIGN CALCULATIONS.
6. A REGISTERED GEOTECHNICAL PROFESSIONAL MUST BE PRESENT ON-SITE TO VERIFY THAT THE LESS-PERMEABLE MATERIAL HAS BEEN REMOVED TO AN APPROPRIATE DEPTH IN THE BOTTOM OF THE CHIMNEYS, PRIOR TO INSTALLING THE CHIMNEY MATERIAL.

DRAINAGE STRUCTURE TABLE				
STRUCTURE NAME	STRUCTURE DESCRIPTION	NORTHING EASTING	RIM/GRADE ELEVATION	PIPE INVERT
DI-10	Index No. 232 - Ditch Bottom Inlet - Type E	N:561939.73 E:1096637.54	130.42	18" INV OUT=127.41 W RCP
DI-20	Index No. 232 - Ditch Bottom Inlet - Type E	N:561905.59 E:1096875.35	127.98	18" INV OUT=124.90 S RCP
DI-30	Index No. 232 - Ditch Bottom Inlet - Type E	N:561644.39 E:1096850.07	128.00	18" INV IN=123.59 N RCP 24" INV OUT=123.59 W RCP
DI-40	Index No. 232 - Ditch Bottom Inlet - Type E	N:561655.23 E:1096715.03	128.23	24" INV IN=122.91 E RCP 24" INV OUT=122.91 W RCP
DI-50	Index No. 232 - Ditch Bottom Inlet - Type E	N:561664.51 E:1096599.40	129.61	24" INV IN=122.33 E RCP 24" INV OUT=122.33 W RCP
GI-10	INDEX NO. 220- GUTTER INLET-TYPE S	N:561999.84 E:1096526.43	130.94	18" INV OUT=127.30 S RCP
GI-20	INDEX NO. 220- GUTTER INLET-TYPE S	N:561896.29 E:1096519.20	130.44	18" INV IN=126.78 N RCP 18" INV IN=126.78 E RCP 24" INV OUT=126.28 S RCP
GI-30	Index No. 220 - Gutter Inlet - Type S	N:561807.33 E:1096513.08	130.45	24" INV IN=125.83 N RCP 24" INV OUT=125.83 S RCP
GI-40	Index No. 220 - Gutter Inlet - Type S	N:561672.19 E:1096503.71	130.75	24" INV IN=123.80 N RCP 24" INV IN=121.85 E RCP 30" INV OUT=121.35 S RCP



MATCHLINE: SHEET C-302

REVNO.	DESCRIPTION	DATE



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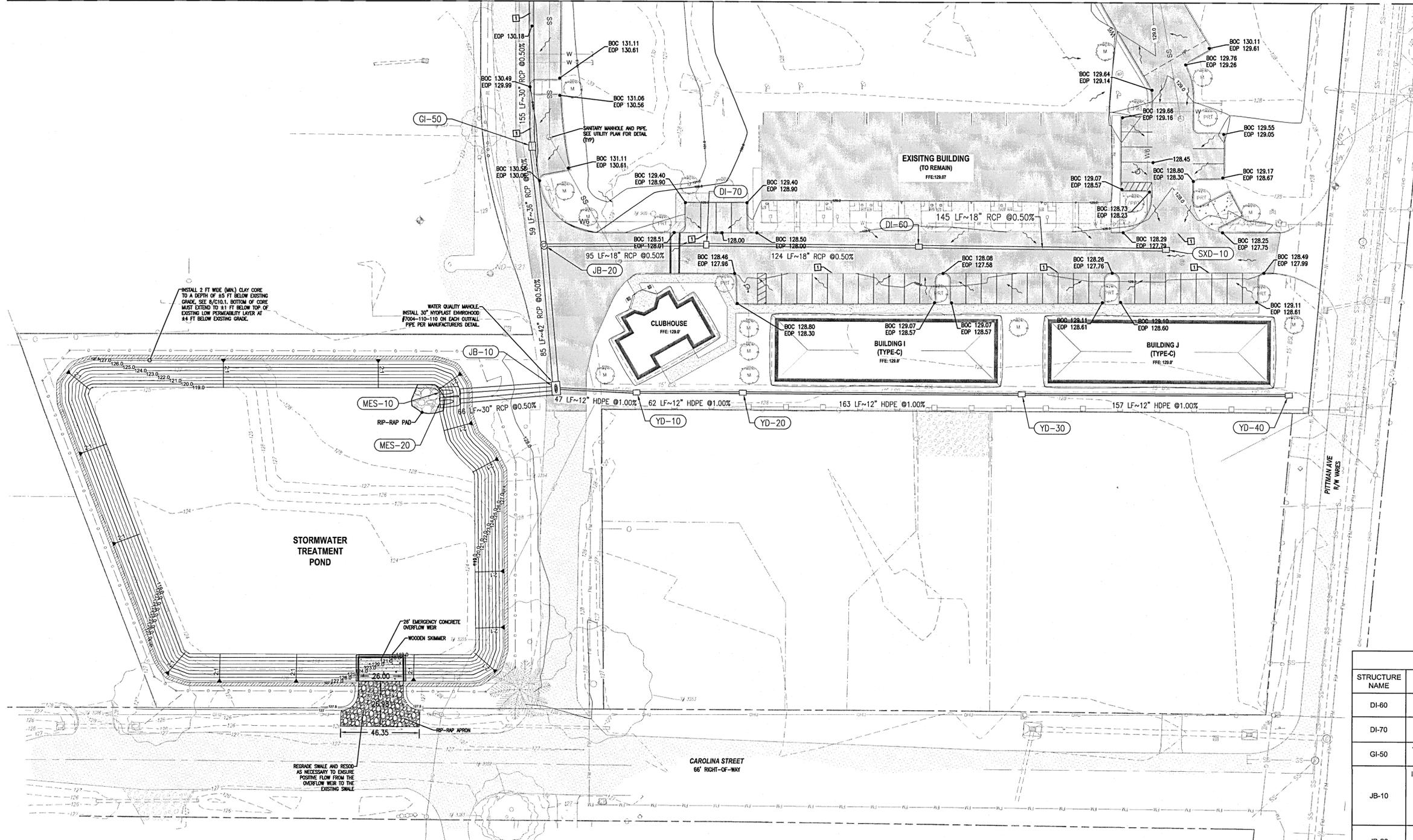
**WOODLANDS PLACE APARTMENTS
PHASE 1**
CIVIL
GRADING AND DRAINAGE PLAN

PROJ. START DATE: NOV 13, 2020
MCE PROJ. # 07952-0001
DRAWN: GTP
DESIGNED: AMM
CHECKED: DPJJ
PROJ. MGR: WWB

SCALE: HORIZONTAL: AS SHOWN VERTICAL: N/A

C-301
DRAWING NUMBER

STATUS: **FINAL DRC SUBMITTAL NOT FOR CONSTRUCTION**



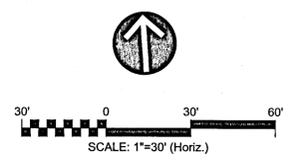
- LEGEND**
- PROPERTY BOUNDARY
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 - LIMITS OF WORK
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- KEYNOTES**
- 1 MATCH EXIST. PAVEMENT GRADE
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DRAINAGE STRUCTURE TABLE

STRUCTURE NAME	STRUCTURE DESCRIPTION	NORTHING EASTING	RIM/GRATE ELEVATION	PIPE INVERT
DI-60	EXISTING DITCH BOTTOM INLET	N:561443.57 E:1096716.51	127.78	18" INV IN=124.47 E RCP 18" INV OUT=124.47 W RCP
DI-70	Index No. 232 - Ditch Bottom Inlet - Type C	N:561452.73 E:1096592.44	127.76	18" INV IN=123.85 E RCP 18" INV OUT=123.85 W RCP
GI-50	TYPE S GUTTER INLET FDOT PLAN 425-040	N:561517.92 E:1096494.54	129.96	30" INV IN=120.58 N RCP 36" INV OUT=120.08 S RCP
JB-10	INDEX NO. 201 - TYPE B MANHOLE (CONCENTRIC CONE WITH RECTANGULAR BOTTOM 48X84)	N:561373.15 E:1096498.97	128.47	42" INV IN=119.33 N RCP 12" INV IN=122.01 E HDPE 30" INV OUT=119.33 W RCP 30" INV OUT=119.33 W RCP
JB-20	EXISTING JUNCTION BOX	N:561458.60 E:1096497.44	130.00	36" INV IN=119.78 N RCP 18" INV IN=123.37 E RCP 42" INV OUT=119.76 S RCP
MES-10	MITERED END SECTION	N:561375.24 E:1096430.96	121.79	30" INV IN=119.00 E RCP
MES-20	MITERED END SECTION	N:561369.06 E:1096430.72	121.79	30" INV IN=119.00 E RCP
SXD-10	EXISTING DITCH BOTTOM INLET	N:561432.25 E:1096860.85	127.82	18" INV OUT=125.19 W RCP
YD-10	ZERN FD2283 SQUAR YARD INLET	N:561367.68 E:1096545.93	128.98	12" INV IN=122.48 E HDPE 12" INV OUT=122.48 W HDPE
YD-20	ZERN FD2283 SQUAR YARD INLET	N:561363.48 E:1096608.21	128.98	12" INV IN=123.10 E HDPE 12" INV OUT=123.10 W HDPE
YD-30	ZERN FD2283 SQUAR YARD INLET	N:561351.92 E:1096771.03	128.95	12" INV IN=124.73 E HDPE 12" INV OUT=124.73 W HDPE
YD-40	ZERN FD2283 SQUAR YARD INLET	N:561341.07 E:1096927.30	128.86	12" INV OUT=126.30 W HDPE

- GRADING AND DRAINAGE NOTES**
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REV. NO.	DESCRIPTION	DATE

REVISIONS



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**WOODLANDS PLACE APARTMENTS
PHASE 1**

CIVIL
GRADING AND DRAINAGE PLAN

PROJ. START DATE: NOV 13, 2020	SCALE	C-302 DRAWING NUMBER
MCE PROJ. # 07952-0001	HORIZONTAL:	
DRAWN: GTP	AS SHOWN	
DESIGNED: AMM	VERTICAL:	
CHECKED: DPJJ	N/A	
PROJ. MGR. WBW	REVISION	

STATUS: **FINAL DRC SUBMITTAL
NOT FOR CONSTRUCTION**

TREE LEGEND

PRT PARKING ROW TERMINATION TREE (CANOPY)

M MITIGATION TREE (CANOPY): TREES PLANTED TO FULFILL THE REQUIREMENTS OF ESCAMBIA COUNTY'S LAND DEVELOPMENT CODE SHALL NORMALLY ATTAIN MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF 2.5 INCHES OR GREATER MEASURED AT 4 INCHES ABOVE ROOT BALL AT PLANTING.

M TREE (UNDERSTORY): A PLANT SPECIES SMALL AND TOLERANT THAT TYPICALLY GROWS BENEATH CANOPY TREES AND HAVE A MATURE HEIGHT OF 20 FEET. UNDERSTORY TREE EXAMPLES: DAHOON HOLLY, WAXMYRTLE, OR APPROVED VARIANT.

TREES THAT SHALL ATTAIN A MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES OR GREATER MEASURED AT FOUR INCHES ABOVE ROOT BALL AT PLANTING. NON-NATIVE SPECIES ARE LIMITED TO 25 PERCENT OR LESS OF THE TOTAL REQUIRED TREES PLANTED. PALMS DO NOT COMPLY WITH DEFINITION OF TREE FOR THE PURPOSES OF THESE LANDSCAPING PROVISIONS. HOWEVER, WIND-RESISTANT SPECIES MAY BE SUBSTITUTED AT THE RATIO OF TWO PALMS FOR ONE REQUIRED TREE FOR UP TO 50 PERCENT OF TREES REQUIRED FOR DEVELOPMENT IN ESCAMBIA COUNTY, EXCLUDING ANY TREES REQUIRED SPECIFICALLY FOR BUFFERING OR REPLACEMENTS FOR PROTECTED TREE REMOVAL. SUCH PALMS INCLUDE: DATE PALM (PHOENIX SPP. EXCEPT P RECLINATA) AND CABBAGE OR SABAL (SABAL PALMETTO). THE DIVERSITY OF ANY TREES REQUIRED TO BE PLANTED ON A SITE SHALL COMPLY WITH THE FOLLOWING LIMITS TO AVOID UNIFORM SITE TREE DECLINE FROM PESTS OR DISEASE:

NOTE:

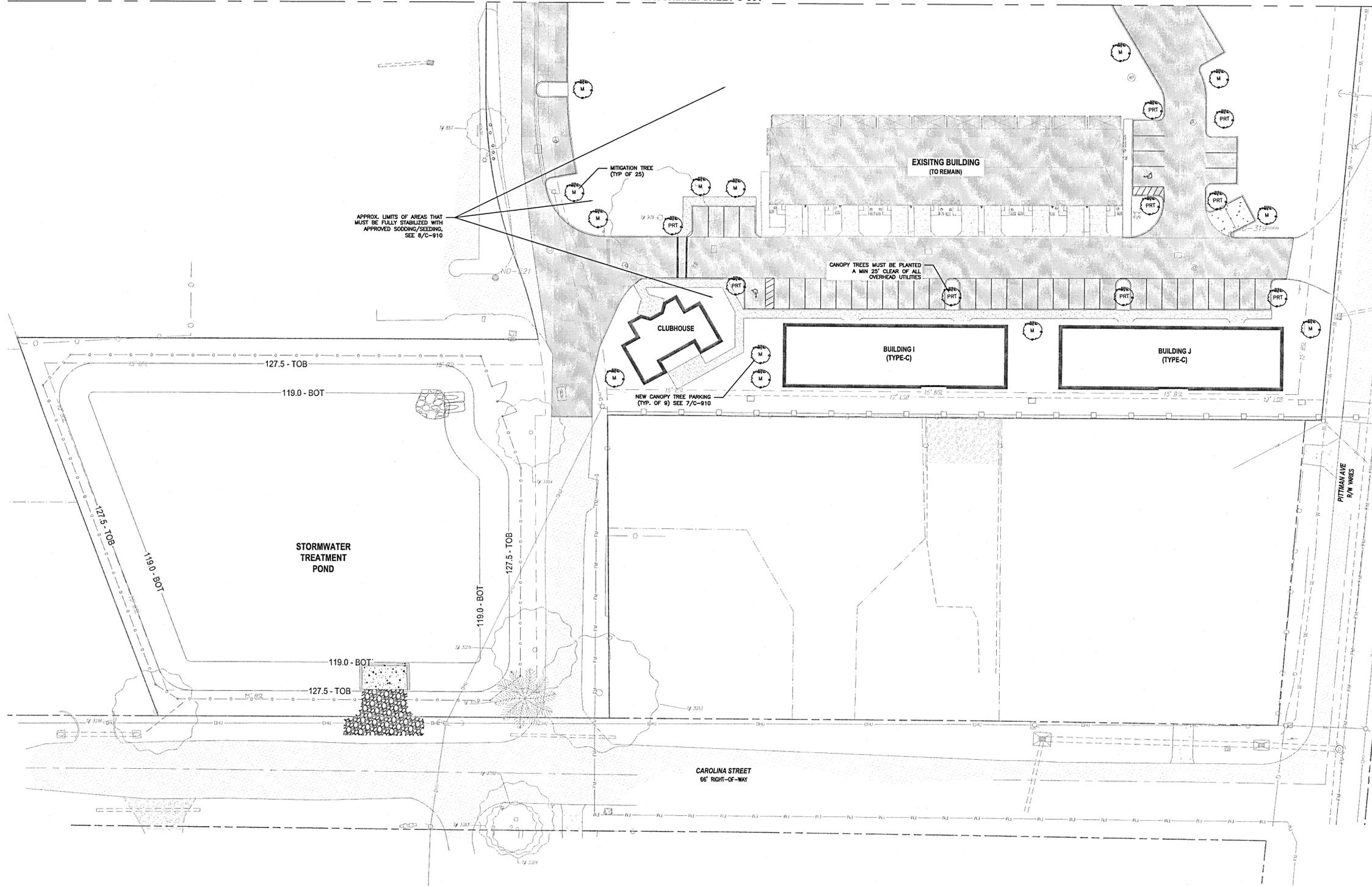
1. THE CONTRACTOR IS RESPONSIBLE FOR SODDING ALL AREAS INDICATED ON THE PLANS AND ALL OTHER AREAS WHICH ARE DISTURBED AS A RESULT OF CONSTRUCTION ACTIVITIES, WHETHER SUCH AREAS AND OR ACTIVITIES ARE INDICATED ON THE PLANS OR NOT.
2. NO ONE SPECIES CAN MAKE UP MORE THAN 40% OF NEW TREES PLANTED.
3. ALL PLANTS REQUIRED BY THIS SECTION SHALL CONFORM TO THE STANDARDS FOR FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
4. ALL LANDSCAPING SHALL UTILIZE NATIVE PLANT SPECIES OR THOSE SPECIES LISTED IN THE FLORIDA-FRIENDLY LANDSCAPING GUIDE TO PLANT SELECTION AND LANDSCAPE DESIGN. IT IS RECOMMENDED THE CONTRACTOR/OWNER CONSULT A LANDSCAPE ARCHITECT FOR TREE SPECIES DETERMINATION OF NEW PLANTINGS.
5. NEW TREE PLANTING MUST CONTAIN A 6' RADIUS CLEAR ZONE FOR ROOTING.

PLANT PLACEMENT
THE INSTALLATION OF PLANTS IN APPROPRIATE LOCATIONS IS ESSENTIAL TO THEIR LONG-TERM SURVIVAL. LOCATIONS SHOULD MATCH MATURE PLANT SIZE TO AVAILABLE SOIL VOLUME AND OTHER CONDITIONS FOR GROWTH. APPROPRIATE SEPARATION FROM PAVEMENT AND STRUCTURES, INCLUDING STREETS, DRIVEWAYS, CURBS, SIDEWALKS, SIGNS, LIGHTS AND UTILITIES MUST BE PROVIDED.

SIGHT DISTANCES
LANDSCAPING WITHIN THE SIGHT DISTANCE AREAS PRESCRIBED IN ARTICLE 5 FOR STREETS AND SITE ACCESS SHALL BE DESIGNED, INSTALLED AND MAINTAINED TO ALLOW VISIBILITY BETWEEN THREE FEET AND NINE FEET ABOVE GRADE. THE TRUNKS OF MATURE TREES TRIMMED OF FOLIAGE TO NINE FEET, AND NEWLY PLANTED TREES WITH IMMATURE CROWN DEVELOPMENT ALLOWING VISIBILITY ARE GENERALLY ACCEPTABLE WITHIN SUCH AREAS. 2. MINIMUM TREE AREA. EACH NEW TREE SHALL BE PLANTED AT THE CENTER OF A MINIMUM PERMANENT PERVIOUS ROOTING AREA CLEAR OF ALL OBSTRUCTIONS TO ALLOW GROWTH TO MATURITY. THE MINIMUM RADIUS OF THE ROOTING AREA SHALL BE FOUR FEET FOR AN UNDERSTORY TREE AND SIX FEET FOR A CANOPY TREE. THIS MINIMUM CIRCULAR AREA SHALL CONTAIN NO SIDEWALKS, CURBS OR PAVEMENT AND NO STRUCTURES, INCLUDING LIGHT OR UTILITY POLES, SIGNS, MANHOLES, STORMWATER INLETS, VAULTS, TRANSFORMERS, FIRE HYDRANTS OR BACKFLOW PREVENTERS.

MINIMUM TREE SPACING
EACH NEW CANOPY AND UNDERSTORY TREE SHALL BE PLANTED AT LEAST 12 FEET FROM ANY OTHER TREE. ADDITIONALLY, ANY TREES TO BE PLANTED WITHIN THE CRITICAL ROOT ZONES OF PRESERVED CANOPY TREES ARE LIMITED TO UNDERSTORY TREES.

OVERHEAD UTILITIES
WHERE OVERHEAD UTILITIES EXIST, ONLY PLANTS THAT WILL NOT CREATE PERSISTENT UTILITY MAINTENANCE OR INTERFERENCE PROBLEMS MAY BE INSTALLED. TO PREVENT TREES FROM BECOMING ENERGIZED OR DISRUPTING ELECTRICAL SERVICE TREE PLANTING DIRECTLY BELOW POWER LINES SHALL BE AVOIDED AND ONLY UNDERSTORY TREES PLANTED NEAR POWER LINES. WITHIN AN ESTABLISHED ELECTRIC UTILITY RIGHT-OF-WAY NO VEGETATION SHALL BE PLANTED THAT WILL ACHIEVE A HEIGHT GREATER THAN 14 FEET OR INTRUDE FROM THE SIDE CLOSER THAN TEN FEET TO POWER LINES, OR EXCEED CLEARANCES OTHERWISE REQUIRED BY APPLICABLE ANSI STANDARDS. ANY CANOPY TREES PLANTED SHALL BE AT LEAST 25 FEET FROM POWER LINES, AND LARGE MATURING SPECIES SHOULD BE PLANTED AT LEAST 50 FEET AWAY.



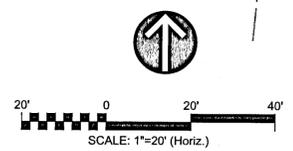
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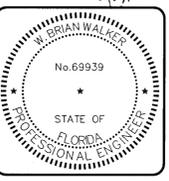
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TOTAL PROTECT INCHES	1116"
TOTAL REMOVED & ROOT IMPACTION INCHES	122"
SUB-TOTAL REPLACEMENT REQUIRED (TOTAL REMOVED *50%)	61
REPLACEMENT LIMITS (25" PER DEVELOPMENT SITE ACRE PER LDC) 10.53 ACRES	264
GRAND TOTAL REPLACEMENT INCHES REQUIRED	61
STANDARD REPLACEMENT TREES (2.5" DBH) REQUIRED	25
REPLACEMENT TREES PROPOSED	25



REV. NO.	DESCRIPTION	DATE



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WOODLANDS PLACE APARTMENTS
PHASE 1

CIVIL
LANDSCAPE PLAN

PROJ. START DATE: NOV 13, 2020
MCE PROJ. # 07952-0001
DRAWN: GTP
DESIGNED: AMM
CHECKED: DPJJ
PROJ. MGR: WBW

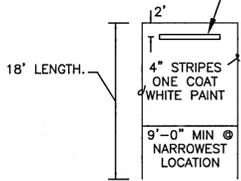
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C-802
DRAWING NUMBER

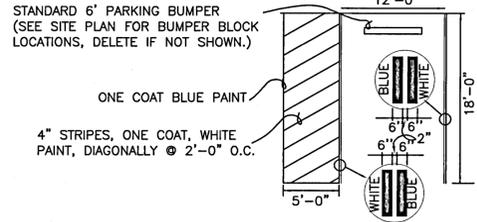
REVISION

STATUS: **FINAL DRC SUBMITTAL NOT FOR CONSTRUCTION**

STANDARD 6' WHEEL STOP
(SEE SITE PLAN FOR WHEEL STOP LOCATIONS)

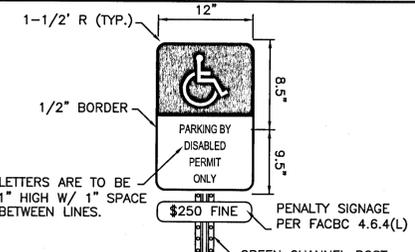


STANDARD PARKING STALL 1
NOT TO SCALE C-920



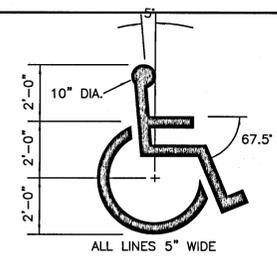
- NOTES:
1. MAXIMUM SLOPES OF ADJOINING GUTTERS, ROAD SURFACE IMMEDIATELY ADJACENT TO THE CURB RAMP, OR ACCESSIBLE ROUTE SHALL NOT EXCEED 1:20.
 2. THE MAXIMUM SLOPE OF A RAMP IN NEW CONSTRUCTION SHALL BE 1:12.
 3. THE CROSS SLOPE OF RAMP SURFACES SHALL BE NO GREATER THAN 1:50.
 4. EACH H.C. PARKING SPACE MUST BE SIGNED AND MARKED IN ACCORDANCE WITH THE STANDARDS ACCEPTED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION AND FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION.
 5. MAINTAIN MAXIMUM 2% CONSTANT SLOPE ON THE ACCESS AISLE.

ADA PARKING STALL 2
NOT TO SCALE C-920



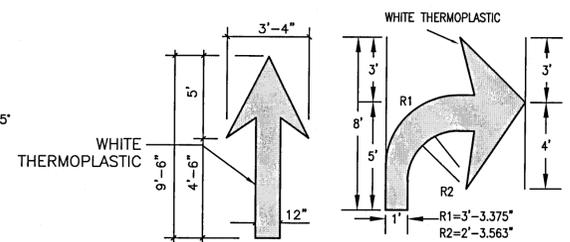
- NOTES:
1. TOP PORTION OF SIGN SHALL HAVE A REFLECTIVE BLUE BACKGROUND W/ WHITE REFLECTIVE SYMBOL & BORDER.
 2. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND W/ BLACK OPAQUE LEGEND & BORDER.
 3. SIGN CAN BE FABRICATED ON ONE PANEL OR TWO
 4. SIGNS USED AS PER FLORIDA STATUTES 316.1955 AND 316.1956.
 5. THE BOTTOM OF THE SIGN IS TO BE MOUNTED 84" (7') ABOVE GRADE.
 6. HANDICAP PARKING SIGNS SHALL CONFORM WITH F.D.O.T. DESIGN STANDARDS PER "ROADWAY AND TRAFFIC DESIGN STANDARDS".

ADA PARKING SIGNAGE 3
NOT TO SCALE C-920

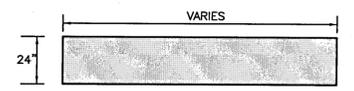


PROVIDE PAINTED WHEELCHAIR SYMBOL AT EACH DESIGNATED HANDICAP PARKING STALL CENTER SYMBOL IN STALL ONE COAT WHITE PAINT

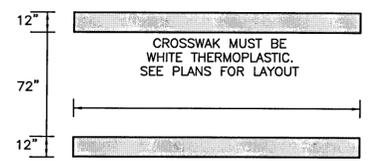
ADA WHEELCHAIR MARKING 4
NOT TO SCALE C-920



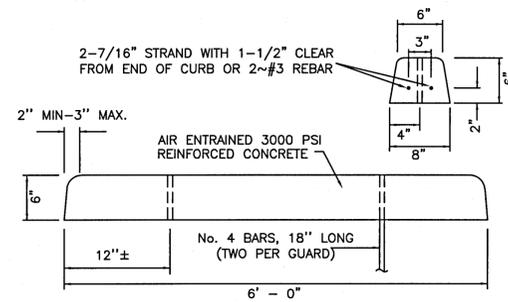
PAVEMENT ARROW DETAIL 5
NOT TO SCALE C-920



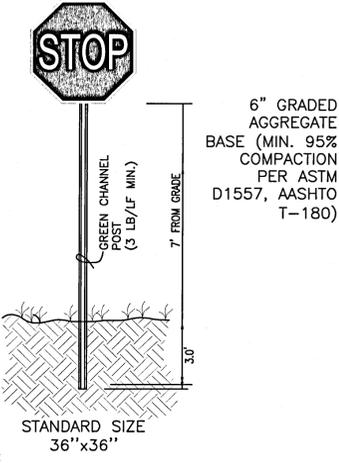
VEHICLE STOP BAR 6
NOT TO SCALE C-920



PEDESTRIAN CROSSWALK 7
NOT TO SCALE C-920

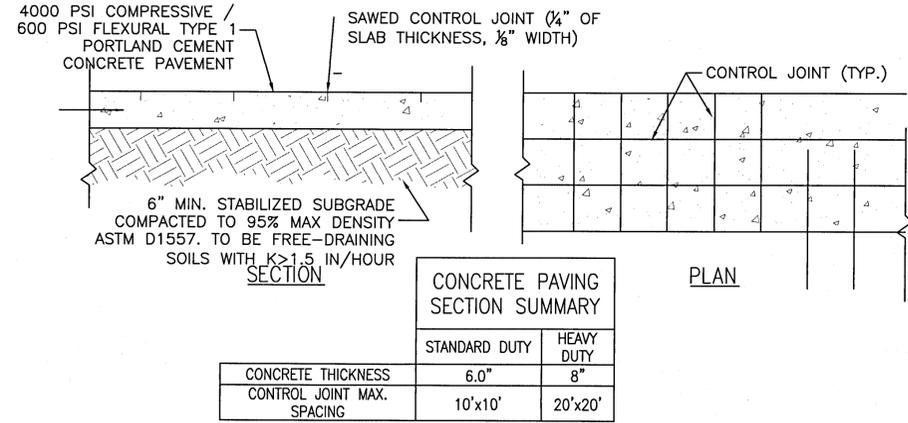


WHEEL STOP 8
NOT TO SCALE C-920



- NOTES:
1. SIGNS SHALL MEET DESIGN, SIZE & INSTALLATION REQUIREMENTS OF THE MUTCD. (R1-1)
 2. POST TO BE ALUMINUM OR PAINTED GALVANIZED
 3. LEGEND ~ WHITE (RETROREFLECTIVE); BACKGROUND ~ RED (RETROREFLECTIVE)

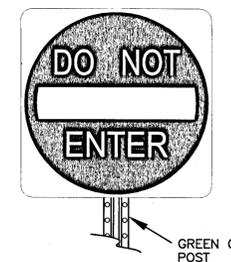
STOP SIGN 9
NOT TO SCALE C-920



CONCRETE PAVING SECTION SUMMARY		
	STANDARD DUTY	HEAVY DUTY
CONCRETE THICKNESS	6.0"	8"
CONTROL JOINT MAX. SPACING	10'x10'	20'x20'

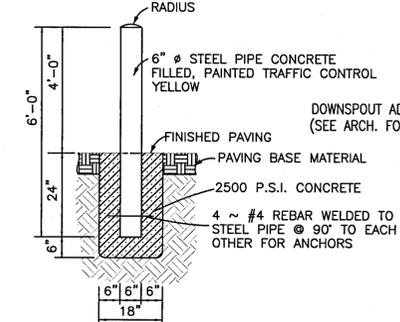
- NOTES:
1. LONGITUDINAL AND TRANSVERSE JOINTS SHALL BE SAWED AS INDICATED.
 2. THE JOINT SEAL MANUFACTURER'S SPECIFICATIONS MUST BE COMPATIBLE WITH THE JOINT CONFIGURATION.
 3. CONTRACTOR MUST SUBMIT DETAILED PLAN FOR CONSTRUCTION AND EXPANSION JOINTS FOR ENGINEER'S APPROVAL.
 4. FOR ALL JOINTS THE BACKER ROD MATERIAL MUST BE COMPATIBLE WITH THE COLD POURED SEALANT AND SLIGHTLY OVERSIZED TO PREVENT MOVEMENT DURING THE JOINT SEALANT OPERATION.
 5. THE WIDTH OF ALL JOINTS MUST BE CORRECTED FOR 68 DEGREE F.
 6. EXPANSION JOINTS MUST BE USED AT ALL LOCATIONS WHERE PAVEMENT ABUTS A PERMANENT STRUCTURE, CURB OR OTHER PAVEMENT

CONCRETE PAVING 10
NOT TO SCALE C-920

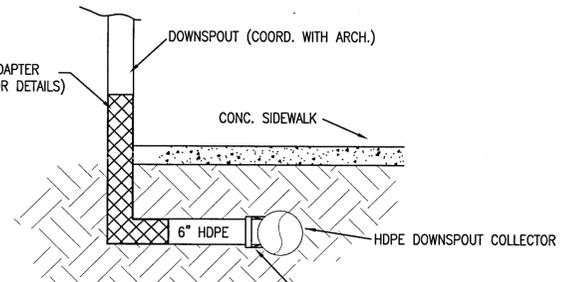


- NOTES:
1. SIGN R5-1
 2. STANDARD SIZE 30"x30"
 3. BACKGROUND ~ WHITE (REFLECTORIZED)
MESSAGE ~ WHITE (REFLECTORIZED)
CIRCLE ~ RED (REFLECTORIZED)

DO NOT ENTER SIGN 14
NOT TO SCALE C-920

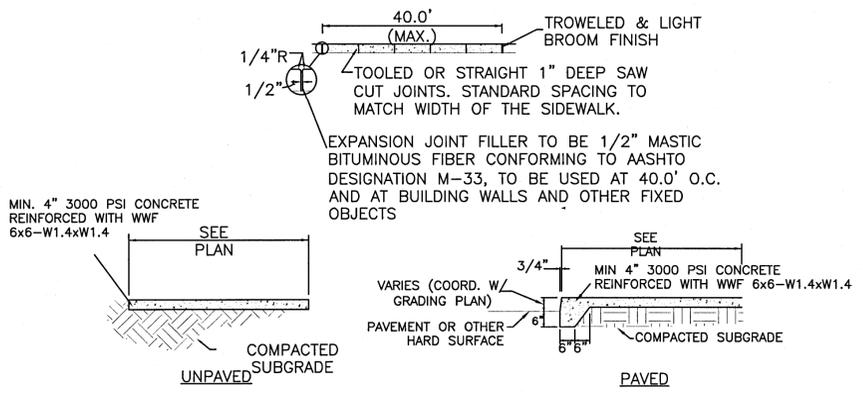


PERMANENT BOLLARD 15
NOT TO SCALE C-920



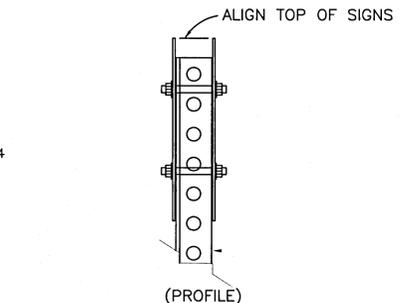
NOTE: SEE ARCH. PLANS FOR EXACT NUMBER AND LOCATION OF DOWNSPOUTS

DOWNSPOUT CONNECTION 16
NOT TO SCALE C-920



1. MAXIMUM CROSS SLOPE OF 2%.
2. GRADE DROPS ADJACENT TO SIDEWALKS MUST NOT EXCEED 10 INCHES IN THE FIRST 2 FEET.
3. SEE WRITTEN SPECIFICATIONS FOR DETAILED REINFORCEMENT AND JOINT REQUIREMENTS.

CONCRETE SIDEWALK 12
NOT TO SCALE C-920



BACK TO BACK SIGN DETAIL 13
NOT TO SCALE C-920

REV. NO.	DESCRIPTION	DATE



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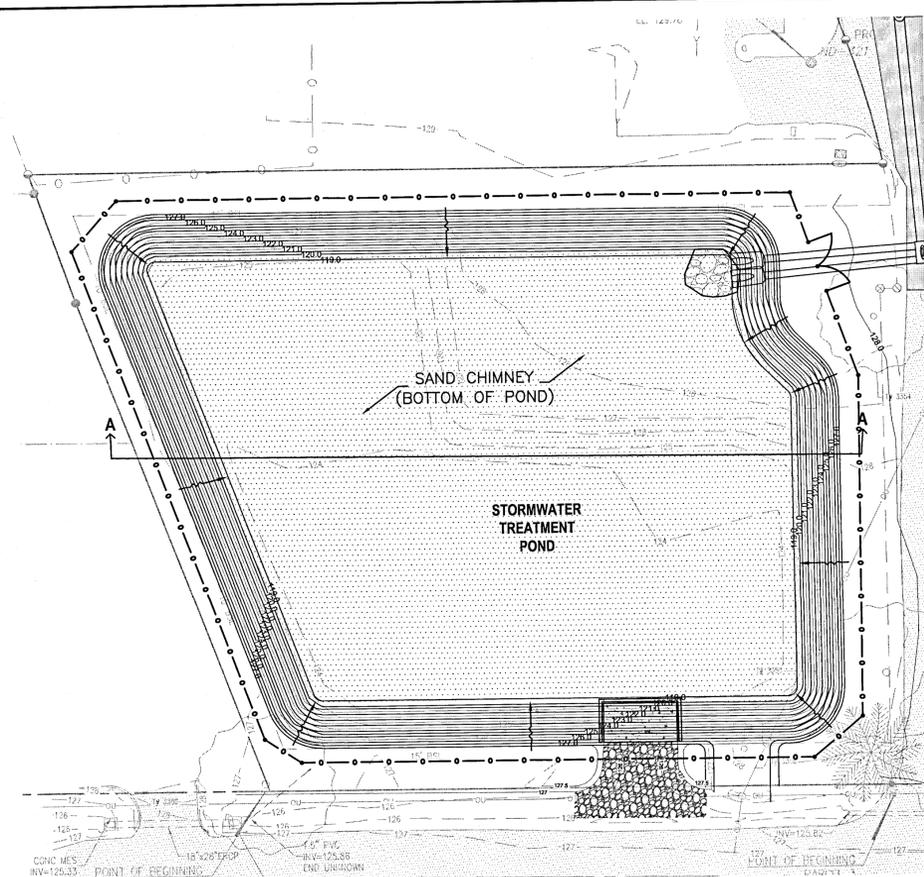
WOODLANDS PLACE APARTMENTS
PHASE 1
DETAILS
SITE DETAILS

PROJ. START DATE: NOV 13, 2020
MCE PROJ. #: 07952-0001
DRAWN: GTP
DESIGNED: AMM
CHECKED: DPJJ
PROJ. MGR.: WBJ

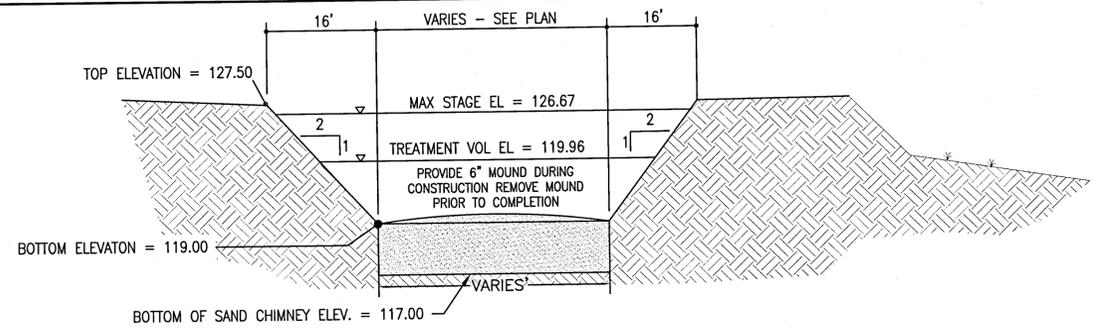
SCALE: AS SHOWN
HORIZONTAL: N/A
VERTICAL: N/A

DRAWING NUMBER: C-920
REVISION: A

STATUS: FINAL DRC SUBMITTAL
NOT FOR CONSTRUCTION

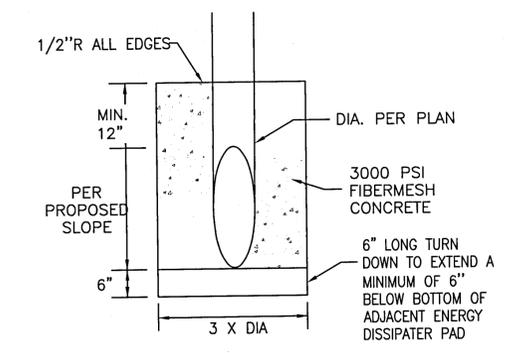


STORMWATER POND ENLARGEMENT (P-1)
NOT TO SCALE C-930

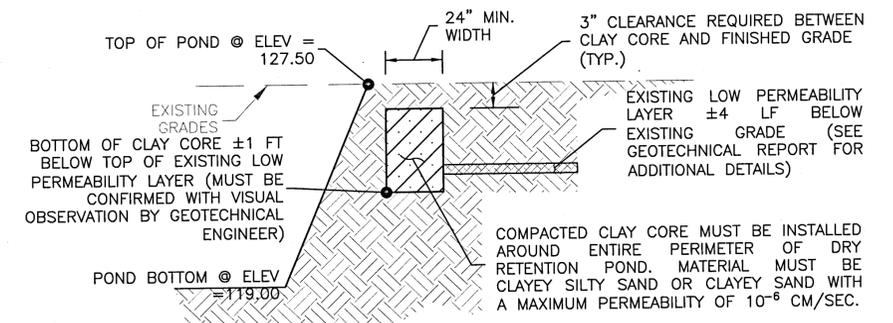


- NOTES:**
- CONTRACTOR MUST SUBMIT TEST REPORTS FOR PROPOSED CHIMNEY BACKFILL MATERIAL, DEMONSTRATING COMPLIANCE WITH THE FOLLOWING MATERIAL REQUIREMENTS:
 - CLEAN, COARSE SAND WITH LESS THAN 5% FINES
 - MINIMUM VERTICAL PERMEABILITY OF 30 FT/DAY AT 100% STANDARD DENSITY
 - UNIFORMITY COEFFICIENT BETWEEN 1.5 - 4.0
 - GRAIN SIZE BETWEEN 0.20 - 0.55 mm
 - RETENTION/DETENTION AREAS MUST BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORM WATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORM WATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
 - SIDES AND BOTTOM OF STORM WATER POND MUST BE IMMEDIATELY STABILIZED WITH SOD UPON CONSTRUCTION, EXCLUSIVE OF SAND CHIMNEY AREA.
 - UPON FINAL COMPLETION OF CONSTRUCTION AND STABILIZATION OF ALL UPSTREAM AREAS, POND MUST BE RE-SHAPED AS NECESSARY TO REMOVE ACCUMULATED SEDIMENT AND TO MATCH THE PROPOSED GRADING ON THE PLANS. ALL DISTURBED AREAS MUST BE RE-STABILIZED.
 - THE GEOTECHNICAL ENGINEER OF RECORD MUST BE ON-SITE TO VERIFY THAT THE CHIMNEY IS KEYED INTO THE LOWER PERMEABLE ZONE AND THAT ALL LESS-PERMEABLE MATERIAL HAS BEEN REMOVED FROM THE CHIMNEY ZONE.
 - BASIN BOTTOM MUST BE SMOOTHLY SLOPED TO THE SAND CHIMNEY

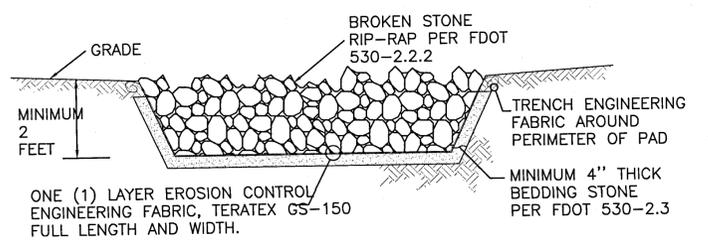
STORM WATER POND W/ SAND CHIMNEY (1)
NOT TO SCALE C-930



CONCRETE MITERED END SECTION (2)
NOT TO SCALE C-930

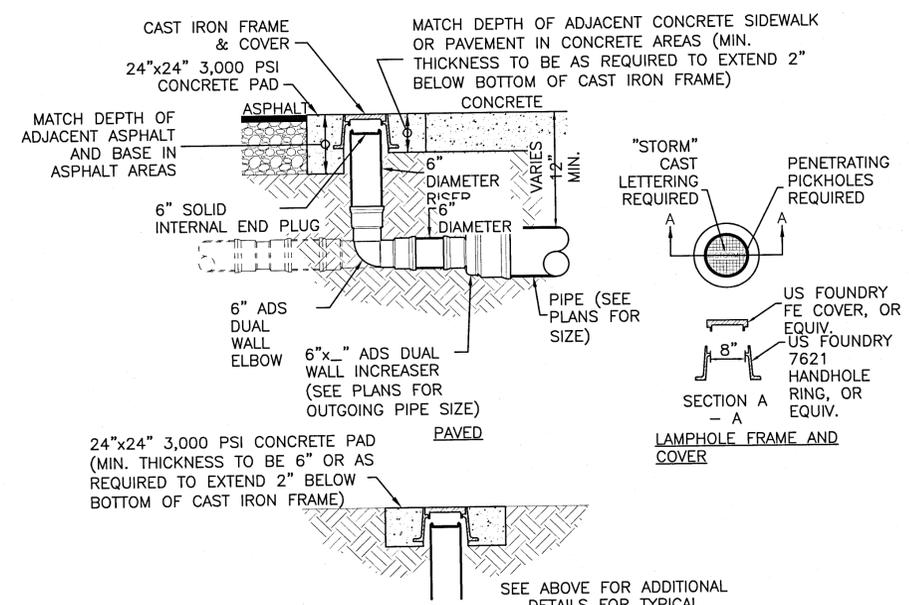


POND PERIMETER CLAY CORE (6)
NOT TO SCALE C-930

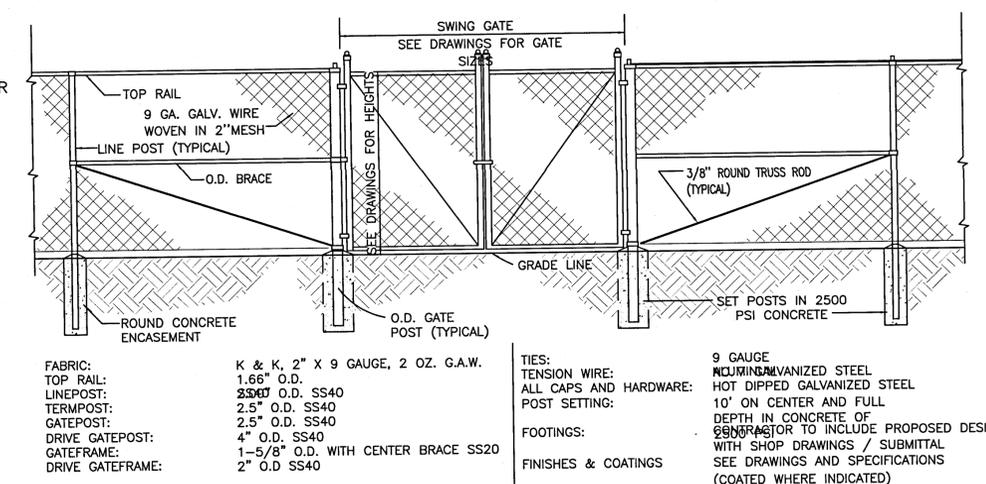


- NOTES:**
- RIP-RAP PAD SHALL NOT BE BROKEN CONCRETE, BROKEN STONE SHALL BE ROUGHLY ANGULAR AND FREE FROM THIN OR ELONGATED PIECES.
 - TOP OF RIP-RAP SHALL BE FLUSH WITH FINISHED GRADES.

RIP-RAP PAD (3)
NOT TO SCALE C-930

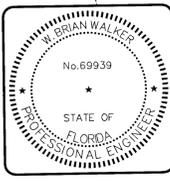


UNPAVED STORM WATER LAMPHOLE (5)
NOT TO SCALE C-930



CHAIN LINK FENCE AND GATES (7)
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REV. NO.	DESCRIPTION	DATE



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WOODLANDS PLACE APARTMENTS
PHASE 1
DETAILS
DRAINAGE DETAILS

PROJ. START DATE: NOV 13, 2020
MCE PROJ. # 07952-0001
DRAWN: GTP
DESIGNED: AMM
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PROJ. MGR: WBW

SCALE: HORIZONTAL: AS SHOWN VERTICAL: N/A

STATUS: **FINAL DRC SUBMITTAL NOT FOR CONSTRUCTION**

