SITE DEVELOPMENT PLANS FOR
FRONTIER MOTORS
PRIVATE STORAGE

SECTION 46 TOWNSHIP 1 SOUTH, RANGE 30 WEST
ESCAMBIA COUNTY, FLORIDA

212 YOAKUM COURT
PENSACOLA, FL 32505

OWNER/DEVELOPER:
IVEN STRECKEL
(850)-436-8080
FRONTIER MOTORS INC.
230 BEVERLY PARKWAY
PENSACOLA, FL 32505

PROPERTY I.D NO: 46-1S-30-2001-017-021
ZONING DESIGNATION: HC/LI
ADJACENT ZONING: HC/LI
FLU DESIGNATION: MU/U
ADJACENT FLU: MU/U

NOTE: A SPECIAL CONDITION WILL BE ADDED TO THE DO TO INCLUDE "THE SUBJECT PROPERTY WILL NOT BE ALLOWED TO HAVE ANY OUTSIDE STORAGE OF ANY KIND INCLUDING THE SALES OF AUTOMOBILE VEHICLES."

GENERAL NOTES:

1. CONTRACTOR IS REQUIRED TO VISIT SITE AND FAMILIARIZE HIM/HERSELF WITH THE PROJECT PRIOR TO BIDDING.

2. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL AND STATE REGULATIONS CONCERNING NOTIFICATION TO THE REGULATORY AUTHORITIES OF ANY AND ALL BUILDING RENOVATIONS AND/OR DEMOLITION.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MONITORING AND NOTIFYING THE ENGINEER OF RECORD AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND CONCLUSION OF CONSTRUCTION, AS WELL AS SUPPLYING CLEAR AND LEGIBLE REVISIONS TO THE CONSTRUCTION PLANS FOR USE DURING AS-BUILT CERTIFICATION.

4. ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER & MULCH, HYDROSEED AND/OR SOD (RECOMMEND CENTIPEDE, PENSACOLA BAHIA OR BERMUDA SOD). POND AND SWALE TOPS AND SIDES SHALL BE SODDED AND PINNED. ALL SOD PLACED ON SIDE SLOPES 4 TO 1 OR GREATER SHALL BE PINNED.

5. WHERE SOD IS BEING INSTALLED, TOPSOIL SHALL BE USED AS A BASE AT LEAST 3" DEEP.

6. AFTER THE SITE HAS BEEN BROUGHT TO PROPER GRADE FOR PLACEMENT OF TOPSOIL AND IMMEDIATELY PRIOR TO DUMPING AND SPREADING THE TOPSOIL, THE SUBGRADE SHALL BE LOOSENED BY DISKING OR SCARIFYING TO A DEPTH OF 2" TO INSURE BONDING OF THE TOPSOIL AND SODDING.

7. TOPSOIL SHALL NOT BE PLACED IN A MUDDY CONDITION, WHEN THE SUBGRADE IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND PROPOSED SODDING.

8. THE TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED TO A MINIMUM COMPACTED DEPTH OF 3".

9. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.

10. COMPACT THE TOPSOIL ENOUGH TO ENSURE GOOD CONTACT WITH THE UNDERLYING SOIL AND TO OBTAIN A LEVEL SEED BED FOR THE ESTABLISHMENT OF HIGH MAINTENANCE TURF. AVOID UNDUE COMPACTION.

11. CONTRACTOR IS TO MAINTAIN SODDING AND GRASSING BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, RE-GRADING AND REPLANTING AS REQUIRED TO ESTABLISH GRASSED/SODDED AREAS FREE OF ERODED OR BARE AREAS AND REPLACE ANY REJECTED MATERIALS PROMPTLY FROM THE SITE. CONTRACTOR IS TO INCLUDE COST OF MAINTAINING SODDING AND GRASSING IN THE BID.

12. CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN A CODE ENFORCEMENT VIOLATION.

13. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE ANY DISTURBED AREAS FOUND IN RETENTION POND AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.

14. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION AND PROVIDE A TOPOGRAPHICAL SURVEY (CERTIFIED BY A STATE OF FLORIDA LICENSED SURVEYOR) OF THE PROJECT AREA WHICH ILLUSTRATES AS-BUILT CONDITIONS OF ALL WORK AND SITE IMPROVEMENTS, INCLUSIVE OF PIPING, DRAINAGE STRUCTURES, STORMWATER POND TOPOGRAPHY, SITE ELEVATIONS AND GRADING, OUTLET STRUCTURES, DIMENSIONS, ETC. THESE RECORD DRAWINGS ARE TO BE PROVIDED TO THE PROJECT ENGINEER PRIOR TO REQUESTING FINAL INSPECTION.

15. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY INSPECTIONS OFFICE (850-595-3569) AN INSPECTION OF THE EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO CONSTRUCTION, UNDERGROUND DRAINAGE STRUCTURES PRIOR TO BURIAL, ALL INTERMEDIATE INSPECTIONS AND THE FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.

16. EROSION SHALL BE CONTROLLED BY THE USE OF A HAY BALE BARRIER/SILT FENCE AS SHOWN ON PLANS AND SHALL BE SETUP PRIOR TO COMMENCING CONSTRUCTION. THE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT, THE DETENTION AREA SHALL BE CLEANED OF SILT & STABILIZATION OF ALL DISTURBED AREAS SHALL BE ACCOMPLISHED.

17. CONTRACTOR SHALL NOTIFY SUNSHINE ONE UTILITIES (1-800-432-4770) TWO FULL BUSINESS DAYS IN ADVANCE PRIOR TO DIGGING WITHIN R/W.

18. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION AND ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.

19. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.

20. RIGHT-OF-WAY SHOULDER STABILIZATION SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).

21. ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR. IF THERE WILL BE TEMPORARY STOCKPILING OF MATERIALS ON THE SITE, THESE AREAS SHOULD CONTAIN EROSION CONTROL BMP'S (e.g. SILT FENCE, HAY BALES, ETC) AS NECESSARY.

22. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.

23. ALL BUILDING ROOF DRAINS, DOWN SPOUTS OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER RUNOFF TO ON-SITE RETENTION BASIN.

24. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES FOR REMOVAL AND RELOCATION OF EXISTING UTILITY POLES, AERIAL LINES, WATER LINES, GAS LINES AND OTHER UTILITIES AS NECESSARY.

25. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.

26. UTILITY LOCATIONS ARE APPROXIMATE BASED ON LOCATION OF ABOVE GROUND APPURTENANCES, AND AS TAKEN FROM THE SURVEY. UNDERGROUND UTILITIES NOT SHOWN HEREIN MAY EXIST.

27. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.

28. CONTRACTOR SHALL COMPLY WITH ANY TESTING REQUIRED BY STATE AND LOCAL GOVERNING AGENCIES SUCH AS ASPHALT CORES AND SUB-BASE/BASE COMPACTION TESTING.

29. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY CONFLICTS BETWEEN VENDOR DRAWINGS, EXISTING CONDITIONS AND THE CONSTRUCTION DOCUMENTS.

30. CONTRACTOR TO PROVIDE PROTECTION TO TREES THAT ARE TO REMAIN VIA TREE PROTECTION BARRIERS. REFER TO EROSION CONTROL PLAN FOR MORE INFORMATION.

31. TRENCHING OR GRADING AROUND TREES TO REMAIN SHALL BE AWAY FROM THE TREE IN A MANNER TO CAUSE NO DAMAGE TO THE TREE'S CRITICAL ROOT ZONE. THE CRITICAL ROOT ZONE IS REPRESENTED BY A CIRCLE, CENTERED ON THE TREE TRUNK AND HAVING A RADIUS OF ONE FOOT FOR EACH ONE INCH OF TRUNK DIAMETER (DBH). REFER TO LANDSCAPING PLAN FOR ADDITIONAL INFORMATION.

SIGNAGE:

FREESTANDING SIGNAGE:
ONE (1) FREESTANDING SIGN STRUCTURE ALLOWED PER PARCEL STREET FRONTAGE (DEVELOPMENT PARCEL IS LESS THAN 2 AC). STRUCTURES SHALL BE PLACED NO LESS THAN 200 LF FROM ANY OTHER NON-EXEMPT SIGN STRUCTURES ON THE SAME PARCEL. THE FREESTANDING SIGN IS LIMITED TO A MINIMUM 10' SETBACK, MEASURED FROM THE FORWARD-MOST EDGE OF THE SIGN, FROM RIGHTS OF WAY AND MUST MAINTAIN VISUAL CLEARANCE ALONG RIGHTS OF WAY AND AT INTERSECTIONS.

YOAKUM STREET (LOCAL STREET):
FREESTANDING SIGNAGE SHALL BE LIMITED TO ONE SIGN A MAXIMUM OF 100 SF IN AREA AND A MAXIMUM OF 12 LF IN HEIGHT (LIMITED BY STREET CLASSIFICATION).

WALL SIGNAGE:

YOAKUM STREET FRONTAGE: TOTAL ALLOWABLE SQUARE FOOTAGE OF WALL SIGNAGE SHALL BE LIMITED TO 135 SF (2.25 SF * 60 LF FRONTAGE)...

A VALID ESCAMBIA COUNTY SIGN PERMIT MUST BE OBTAINED PRIOR TO ERECTING, CONSTRUCTING, ALTERING OR RELOCATING ANY SITE SIGNAGE. FOR SIGNS PLACED ON A CORNER, THE SIDE SETBACK WILL BE DETERMINED BY MEASURING 35' ALONG THE INTERSECTIONS OF THE TWO PUBLIC RIGHTS OF WAY.

ECUA Engineering Manual Reference Note*
**note shall be inserted in the upper right corner of title sheet*
** applicable only to ECUA infrastructure to be constructed in public ROW or in utility easement; not to be applied to private water/sewer facilities on private property (see Building Code)*

A. ECUA Engineering Manual Incorporated by Reference

The ECUA Engineering Manual, dated December 18, 2014, along with Update # 1 dated September 1, 2016 (hereinafter "Manual"), located at www.ecua.fl.gov, is hereby incorporated by reference into this Project's official contract documents as if fully set forth therein. It is the Contractor's responsibility to be knowledgeable of the Manual's contents and to construct the Project in accordance with the Manual. The Contractor shall provide its employees access to the Manual at all times, via Project site or office, via digital or paper format. In the event of a conflict between the Manual and Plans, Contractor shall consult Engineer of Record for proper resolution.

B. Additional Documents (to be completed by the Engineer of Record)

Does this Project have additional technical specifications or construction details that supplement and/or supersede the Manual listed above? ☐YES ☒NO. If yes, Contractor shall construct Project in accordance with said documents as listed and located below:

Document Name	Document Type: Specification	Document Type: Detail	Location: Plans	Location: Project Manual*
	☐	☐	☐	☐
	☐	☐	☐	☐
	☐	☐	☐	☐
	☐	☐	☐	☐

**Project Manuals used only with ECUA CIP Projects*

C. Engineer of Record Responsibilities

The Engineers of Record (EORs) that have affixed their seals and signatures on these plans warrant their portions of the plans have been designed in accordance with the Manual (unless otherwise directed by the ECUA Project Engineer). The EORs shall be knowledgeable of the Manual's contents and shall assume responsibility for its use on this Project.

ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT EDITION OF ECUA'S ENGINEERING MANUAL

INDEX OF DRAWINGS:

JURISDICTIONAL CONTACTS:

ESCAMBIA COUNTY DEVELOPMENT SERVICES
3363 WEST PARK PLACE
PENSACOLA, FL 32505
PHONE NO.: (850)-595-3475
FAX NO.: (850)-595-3481

EMERALD COAST UTILITIES AUTHORITY
9255 STURDEVANT STREET
PENSACOLA, FL 32514
PHONE NO.: (850)-476-5110
FAX NO.: 850-494-7346

NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT
700 US HIGHWAY 331 SOUTH
DEFUNIAK SPRINGS, FL 32435
PHONE NO.: (850)-951-4660
FAX NO.: (850)-892-8007

FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
2600 BLAIR STONE ROAD
TALLAHASSEE, FL 32399
PHONE NO.: (866)-336-6312
FAX NO.: (850)-297-1211

PROJECT DIRECTORY:

CIVIL ENGINEER
HAMMOND ENGINEERING, INC.
3802 NORTH 'S' ST.
PENSACOLA, FL 32505
PHONE NO.: (850)-434-2603
FAX NO.: (850)-434-2650

SURVEYOR
MERRILL PARKER SHAW, INC.
4928 N. DAVIS HWY.
PENSACOLA, FL 32501
PHONE NO.: (850)-478-4923
FAX NO.: (850)-478-4924

HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH "S" STREET
PENSACOLA, FLORIDA 32505
850-434-2603
FAX 850-434-2650
TOM@SELANDDESIGN.COM

NO.	DATE	REVISIONS
1	11/06/20	REVISED PLANS AS PER ESAMBIA COUNTY DRC REVIEW COMMENTS

REVISED NOVEMBER 6, 2020
HEI PROJECT #: 20-035

GENERAL NOTES:

32. CONTRACTOR SHALL CONSTRUCT TEMPORARY MEASURES AND SUPPORT TO ACCESS THE SITE AND SHALL INCLUDE THE COST FOR SAME IN THE BID. CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE SATISFACTION OF THE OWNER AND/OR GOVERNING AGENCY.

33. CONTRACTOR SHALL COORDINATE HIS WORK AND COOPERATE WITH OTHER CONTRACTORS WORKING AROUND THE PROJECT AREA.

34. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (i.e. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ESCAMBIA COUNTY HEALTH DEPT. 850-595-6700) AGENCIES.

35. SOLID WASTE SHALL BE KEPT IN AN APPROVED DUMPSTER THROUGHOUT CONSTRUCTION ACTIVITIES.

36. ALL VALVE BOXES SHALL BE SET FLUSH WITH GRADE(IF APPLICABLE).

37. ADEQUATE PROVISIONS SHALL BE MADE FOR FLOW OF SEWERS, DRAINS, AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.

38. THE CONTRACTOR SHALL FLUSH AND CLEAN ALL STORMWATER PIPES AND STRUCTURES AT END OF CONSTRUCTION AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED.

39. PLACEMENT OF UNDERGROUND SYSTEMS, IRRIGATION, SEWER, WATER, DRAINAGE, ELECTRICAL, GAS, ETC. SHALL BE COMPLETED PRIOR TO LANDSCAPE INSTALLATION.

40. PROPERTY OBSTRUCTIONS WHICH ARE TO REMAIN IN PLACE SUCH AS BUILDINGS, SEWERS, DRAINS, WATER OR GAS PIPES, ELECTRICAL, CONDUITS, POLES, WALLS, POSTS, ETC. ARE TO BE CAREFULLY PROTECTED AND ARE NOT TO BE DISPLACED UNLESS NOTED.

41. THE CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE AND FEDERAL AGENCIES RULES CONCERNING SAFETY.

42. CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS, AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK AND UNTIL IT IS SAFE FOR BOTH PEDESTRIAN AND VEHICULAR TRAFFIC.

43. CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH DE-WATERING AND DE-MUCKING FOR INSTALLATION OF REQUIRED INFRASTRUCTURE (IF APPLICABLE).

44. THE CONTRACTORS MEANS AND METHODS OF GROUNDWATER DE-WATERING SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS FOR THE TEMPORARY DIVERSION OF GROUNDWATER AND ITS DISCHARGE, INCLUDING FAC CHAPTER 62-621.300(2) "GENERIC PERMIT FOR THE DISCHARGE OF PRODUCED GROUNDWATER FROM ANY NON-CONTAMINATED SITE ACTIVITY" (IF APPLICABLE)

45. CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH SELECT BACKFILL FOR INSTALLATION OF ANY INFRASTRUCTURE.

46. CONTRACTOR SHALL CLEAN UP ENTIRE SITE INCLUDING STAGING AREAS AT LEAST TWO TIMES PER WEEK. THIS SHALL INCLUDE LOCATING TRASH/SCRAP RECEPTACLES AT APPROPRIATE LOCATIONS AROUND THE SITE. CONTRACTOR SHALL PICK UP ALL ROCKS, METAL, PIPE, NAILS, NUTS, BOLTS, BOARDS, PAPER, TRASH, ETC. AT LEAST TWICE A WEEK. CONTRACTOR SHALL INCLUDE COST OF SAME IN BID.

47. CONTRACTOR SHALL RESTORE ALL STAGING AREAS TO AS GOOD AS OR BETTER CONDITION THAN EXISTED PRIOR TO CONSTRUCTION. THIS INCLUDES IRRIGATION AND SOD REPLACEMENT OF NECESSARY. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 20 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE.

48. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (i.e. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL.

49. ANY SLOPES RECEIVING INFRASTRUCTURE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (i.e. SLOPES GREATER THAN 3:1)

50. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STANDARDS FOR EROSION CONTROL.

51. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMITS OF DISTURBANCE OR ONTO PUBLIC RIGHT OF WAY WILL BE REMOVED IMMEDIATELY.

52. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

53. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #48 ABOVE.

54. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.

55. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.

56. ANY DIRT THAT RUNS OFF OF THE PROJECT SITE ONTO PUBLIC STREETS SHALL BE REMOVED AND CLEANED IMMEDIATELY. FAILURE TO COMPLY CAN RESULT IN CODE ENFORCEMENT ACTION.

57. ANY AREAS USED FOR THE CONTRACTORS STAGING, INCLUDED BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (i.e. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.) SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.

58. ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT ESCAMBIA COUNTY, FDEP, AND ECUA STANDARDS AND REQUIREMENTS.

59. FOR SITES WITH DISTURBANCE EXCEEDING 1 ACRE...TO COMPLY WITH NPDES REQUIREMENTS, THE CONTRACTOR SHALL SUBMIT AN NPDES NOTICE OF INTENT TO FDEP A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ADDITIONALLY, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. A CERTIFIED STORMWATER MANAGEMENT INSPECTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL EFFORTS. INSPECTION RECORDS SHOULD BE ON HAND AT ALL TIMES AND PROVIDED TO ANY FDEP REPRESENTATIVE THAT MAY VISIT THE SITE DURING CONSTRUCTION.

60. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.

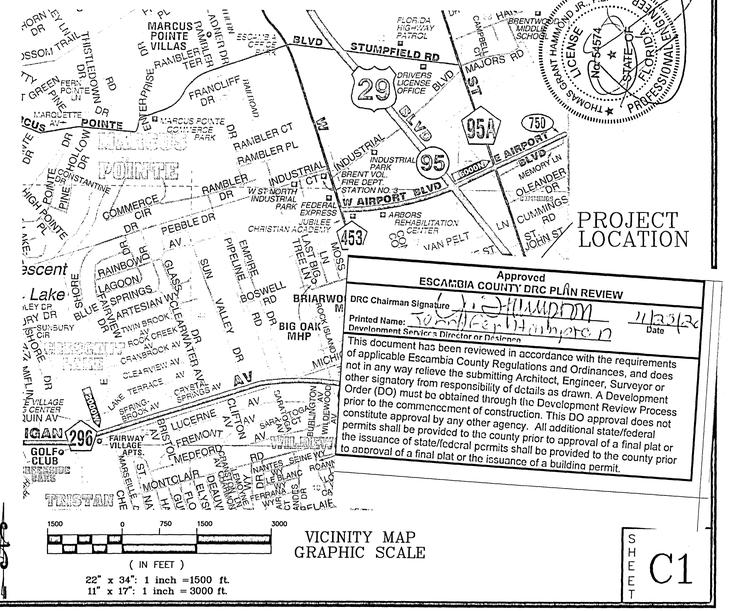
61. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BUNDING DUE TO SEDIMENTS.

62. REFER TO BUILDING PLANS FOR ADDITIONAL INFORMATION.

FLOOD ZONE DATA

THE SUBJECT PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT-ANNUAL-CHANCE FLOODPLAINS. NO BFE'S OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0380G, MAP REVISIONS DATED SEPTEMBER 29, 2006.

FLOOD ZONE(S)	NFIP COMMUNITY NUMBER	MAP NUMBER	PANEL NUMBER(S)	SUFFIX	MAP REVISION DATE
X	120080	12033C	0380	G	SEPTEMBER 29, 2006



VICINITY MAP
GRAPHIC SCALE

Approved
ESCAMBIA COUNTY DRC PLAN REVIEW
DRC Chairman Signature
Printed Name:
Development Services Director or Designee
Date 11/23/20

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

STATE OF FLORIDA
THOMAS GRADY HAMMOND JR., P.E.
LICENSE NO. 54674
PROFESSIONAL ENGINEER

SHEET C1

GRAPHIC SCALE

22"x34" SCALE 1 inch = 20 ft.

20 0 10 20 40 80

11"x17" SCALE 1 inch = 40 ft.

LEGEND:

- ○ ~ 1/2" IRON ROD IN 3" PVC WITH CONCRETE, UNNUMBERED (FOUND)
- ● ~ 1/2" PLAIN IRON ROD, UNNUMBERED (FOUND)
- ⊙ ~ 1/2" CAPPED IRON ROD, NUMBER 3578 (FOUND)
- ⊙ ~ 1/2" CAPPED IRON ROD, NUMBER 7612 (FOUND)
- ⊙ ~ 1/2" CAPPED IRON ROD, ILLEGIBLE (FOUND)
- ⊗ ~ 1/2" RED--CAPPED IRON ROD, NUMBER 7174 (SET)
- P.C. ~ POINT OF CURVATURE
- P.T. ~ POINT OF TANGENCY
- P.R.M. ~ PERMANENT REFERENCE MONUMENT
- R/W ~ RIGHT OF WAY
- B.S.L. ~ BUILDING SETBACK LINE
- (P) ~ PLATTED INFORMATION
- (F) ~ FIELD MEASUREMENT/ INFORMATION
- (D) ~ DEED / INFORMATION
- ~\~\~\~ ~ 6' WOOD PRIVACY FENCE
- ~:~:~ ~ 4' CHAINLINK FENCE
- ~»~»~ ~ OVERHEAD ELECTRICAL LINE
- UTILITY POLE
- GUY ANCHOR
- LIGHT POLE
- TREE
- ~ SPOT ELEVATION
- 92 ~ CONTOUR LINE
- ~ BENCHMARK IN VICINITY

SURVEYOR'S NOTES:

1.) THE NORTH ARROW AND BEARINGS AS SHOWN HEREON ARE REFERENCED TO THE ASSUMED BEARING OF NORTH 00 DEGREES 00 MINUTES 00 SECONDS EAST ALONG THE WEST LINE OF LOT 18, BLOCK 21, BRENTWOOD PARK SUBDIVISON.

2.) SOURCE OF INFORMATION: THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA; AND EXISTING FIELD MONUMENTATION.

3.) NO TITLE SEARCH WAS PERFORMED BY OR FURNISHED TO MERRILL PARKER SHAW, INC. FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, RIGHT-OF-WAYS, EASEMENTS, BUILDING SETBACKS, RESTRICTIVE COVENANTS, GOVERNMENTAL JURISDICTIONAL AREAS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES AND/OR USE OF THE SUBJECT PROPERTY.

4.) ONLY THE ABOVE GROUND VISIBLE ENCROACHMENTS AND IMPROVEMENTS WERE FIELD LOCATED AS SHOWN HEREON, UNLESS OTHERWISE NOTED. UNDERGROUND ENCROACHMENTS AND IMPROVEMENTS, IF ANY, WERE NOT FIELD LOCATED OR VERIFIED, UNLESS OTHERWISE NOTED.

5.) THE DIMENSIONS OF THE BUILDINGS (IF ANY) AS SHOWN HEREON ARE ALONG THE OUTSIDE FACE OF THE BUILDINGS AND DO NOT INCLUDE THE EAVES OVERHANG OR THE FOOTINGS OF THE FOUNDATIONS.

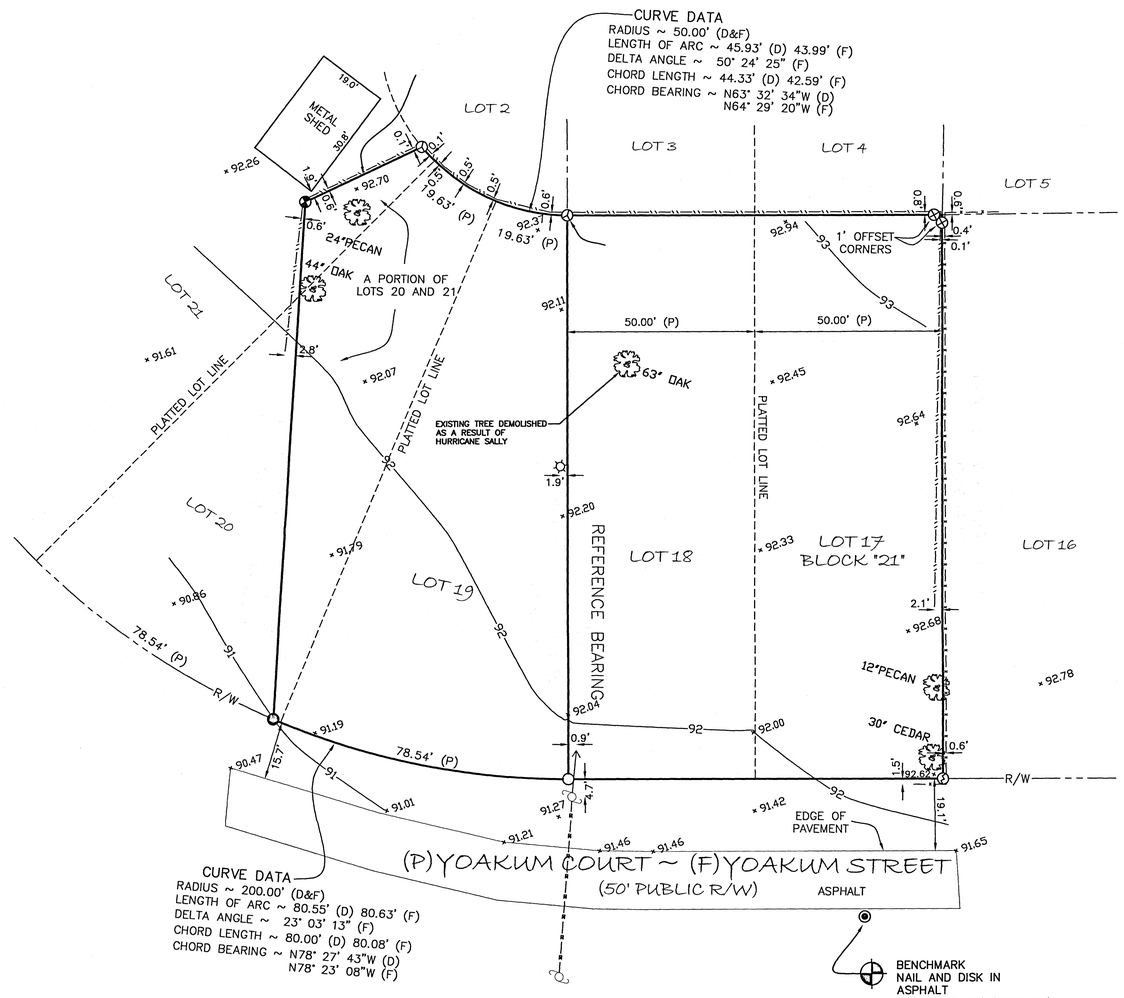
6.) THE SURVEY AS SHOWN HEREON DOES NOT DETERMINE OWNERSHIP.

7.) THE MEASUREMENTS MADE IN THE FIELD, INDICATED THUSLY (F), AS SHOWN HEREON WERE MADE IN ACCORDANCE WITH UNITED STATES STANDARDS.

8.) FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED FOR ANY OTHER TRANSACTION. THIS DRAWING CANNOT BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER AND IS TO BE RETURNED UPON REQUEST.

9.) THE CONTOUR LINES AS SHOWN HEREON ARE AT 1 FOOT INTERVALS OF ELEVATION.

10.) THE ELEVATIONS A SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988, USING THE FLORIDA DEPARTMENT OF TRANSPORTATION G.P.S. NETWORK.



LEGAL DESCRIPTION:

LOTS 17 & 18, BLOCK 21, "BRENTWOOD PARK" SUBDIVISION AND ALSO:

Beginning at the Northeast Corner o,f Lot 19 1 Block 21 of Brentwood Park Subdivision., a subdivision of a portion of. Sections 46 & 4?r TOWnship 1 south, Range 30 West I Escambia County, Florida as recorded in Plat Book 18 at Pages 11A through 11D; thence S.00°00'00"E. for 149.84' to a 1/2" iron rod on the North R/W line of Yoakum Court (said point being on a curve having a radius Of 200.00', a chord bearing of N.78°27'43"W. with a chord distance of 80.00'); thence northwesterly along the arc of said curve for a length of 80.55' to a 1/2" capped iron rod #3578; thence N.03°37'07"E. for 138.08' to a 1/2" capped iron rod #3578; thence N.62°14'17"E. for 33.88' to a 1/2" capped iron rod #3578 (said point being on a curve having a radius of 50.00', a chord bearing of S.63°32'34"E. with a chord distance of 44.33'); thence southeasterly along the arc of said curve for a length of 45.93' to the point of beginning.

SITE SURVEY COMPLETED BY:

MERRILL PARKER SHAW, INC.
PROFESSIONAL LAND SURVEYING SERVICES
4928 N. DAVIS HWY.
PENSACOLA, FL 32503
PH: (850) 478-4923
FAX: (850) 478-4924

NO.	DATE	REVISIONS
1	11/06/2020	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 32777
3802 NORTH "S" STREET
PENSACOLA, FLORIDA 32505
850 434-2603
FAX 850-434-2650
TOM@SELANDDESIGN.COM

THOMAS C. HAMMOND JR., P.E. LICENSE NO. 54574 STATE OF FLORIDA PROFESSIONAL ENGINEER

11/5/2020

SITE DEVELOPMENT PLANS FOR
FRONTIER MOTORS PRIVATE STORAGE
EXISTING CONDITIONS
ESCAMBIA COUNTY FLORIDA

DRAWN BY: CJG
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 9-3-20
SCALE: AS SHOWN
NOT RELEASED FOR CONSTRUCTION
BY: DATE:

PROJECT NO: 20-035

SHEET: C2

GRAPHIC SCALE

22"x34" SCALE 1 inch = 10 ft.

10 0 5 10 20 40

11"x17" SCALE 1 inch = 20 ft.

LEGEND:

- DENOTES EXISTING ASPHALT
- SF — DENOTES PROPOSED SILT FENCE
- DENOTES PROPOSED TREE PROTECTION BARRIER
- DENOTES EXISTING UTILITY POLE
- DENOTES EXISTING LIGHT POLE
- DENOTES EXISTING GUY ANCHOR
- DENOTES EXISTING TREE
- OE — DENOTES EXISTING OVERHEAD ELECTRICAL
- DENOTES EXISTING CHAIN LINK FENCE
- DENOTES EXISTING WOOD PRIVACY FENCE

811 Know what's below Call before you dig

CONTRACTOR TO NOTIFY SUNSHINE 811 A MINIMUM 2 BUSINESS DAYS IN ADVANCE PRIOR TO DIGGING WITHIN THE RIGHT OF WAY; 1-800-432-4770

TREE ID/REMOVAL TABLE			
TREE #	TYPE	SIZE (DBH)	REASON FOR REMOVAL
1	CEDAR	30"	N/A
2	PECAN	12"	N/A
4	PECAN	24"	N/A
5	OAK	44"	N/A

DEMOLITION/EROSION CONTROL NOTES

1. WHERE ASPHALT/CONCRETE TO BE REMOVED EXTENDS PAST PROPERTY LINE, CONTRACTOR TO COORDINATE PROPOSED REMOVAL WITH ADJACENT PROPERTY OWNER TO ASSURE HE/SHE DESIRES MISCELLANEOUS IMPERVIOUS SURFACE TO BE REMOVED.
2. WHERE EXISTING ASPHALT/CONCRETE IS BEING REMOVED ON PROPERTY LINE, REMOVAL SHALL BEGIN AT THE PROPERTY LINE AND WORK TOWARDS THE INTERIOR OF THE PROPERTY. INITIALLY, A 3'± STRIP OF EXISTING ASPHALT/CONC. SHALL BE REMOVED NEXT TO THE PROPERTY LINE TO ALLOW FOR INSTALLATION OF PROPOSED EROSION CONTROL BMP'S.
3. IT IS UNDERSTOOD THAT WHERE SILT FENCING IS ILLUSTRATED ON EXISTING ASPHALT/CONC. THAT THE EXISTING ASPHALT/CONC. SHALL BE REMOVED IN THAT IMMEDIATE AREA PRIOR TO INSTALLATION OF BMP.
4. THE EROSION AND SEDIMENT CONTROL RULES ARE PERFORMANCE ORIENTED. THAT IS, THE MEASURES USED AT A CONSTRUCTION SITE MUST BE EFFECTIVE IN CONTROLLING EROSION AND PREVENTING OFF-SITE SEDIMENTATION FOR THE SITE TO BE IN COMPLIANCE. FOLLOWING AN APPROVED PLAN AND INSTALLING THE CONTROL MEASURES MAY NOT BE ENOUGH FOR A SITE TO BE IN COMPLIANCE WITH THE RULES. IF EROSION AND OFF-SITE SEDIMENTATION OCCUR, THE CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLING ADDITIONAL MEASURES TO CORRECT ANY PROBLEM ASSOCIATED WITH COMPLIANCE OF THE NPDES PERMIT OR ANY OTHER PERMIT REQUIRED FOR THE SITE CONSTRUCTION. THE CONTRACTOR WILL ALSO BE COMPLETELY RESPONSIBLE FOR ANY FINES LEVIED BY ANY GOVERNING AGENCY ON THE PROJECT DURING CONSTRUCTION.
5. EROSION CONTROL MEASURES SHOWN ARE MINIMUM REQUIREMENTS ONLY. CONTRACTOR SHALL REINFORCE AND/OR ADD ADDITIONAL MEASURES AS CONDITIONS WARRANT AND/OR AS DIRECTED BY THE PROPER REGULATORY AUTHORITIES.
6. ON SITES > 1 ACRE, IF > 1 CONTIGUOUS ACRE IS DECLARED, A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED WITHIN 10 WORKING DAYS ON THE PORTION OF THE SITE UPON WHICH FURTHER ACTIVE CONSTRUCTION WILL NOT BE UNDERTAKEN WITHIN 90 DAYS.
7. TO COMPLY WITH NPDES REQUIRMENTS, EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS; INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO FDEP.
8. TREE PROTECTION BARRICADES SHALL BE INSTALLED PRIOR TO ANY SITE DISTURBANCE AND EARTH MOVING IMPACTS (i.e. ROOT RAKING, TRENCHING, GRADING, ETC.) SHOULD TAKE PLACE OUTSIDE OF THE PROTECTION BARRICADE.
9. PROTECTED TREES SHALL REMAIN ONSITE AND ANY PROPOSED LAND CLEARING/"LAND DISTURBING ACTIVITIES", INCLUDING THE PLACEMENT OF FILL/FILL MATERIALS, GRADING, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PERMIT(S) ARE ISSUED FOR SUCH SITE WORK.

DENOTES LIMITS OF PROPOSED STORMWATER BASIN

EXISTING LIGHT POLE TO BE RELOCATED ONSITE

DENOTES LIMITS OF PROPOSED BUILDING

DENOTES LIMITS OF PROPOSED IMPROVEMENTS

DENOTES LIMITS OF PROPOSED STORMWATER BASIN

CONSTRUCT TEMPORARY ROCK CONSTRUCTION ENTRANCE SEE DETAIL SHT C8

INSTALL 490 LF± TYPE III SILT FENCE SEE DETAIL SHT C8

PROTECT EXISTING UTILITY POLE & GUY WIRE

DENOTES LIMITS OF PROPOSED STORMWATER BASIN

DENOTES PROTECTED TREE CRITICAL ROOT ZONE-TYP.

DENOTES PROTECTED TREE STRUCTURAL ROOT PLATE-TYP.

1 INSTALL PRIOR TO COMMENCEMENT OF ANY SITE WORK ACTIVITIES, AND MAINTAIN IN GOOD WORKING ORDER. TREE PROTECTION BARRIERS AROUND EXISTING TREES TO REMAIN WITHIN THE LIMITS OF CONSTRUCTION. THE TREE PROTECTION BARRIER SHALL BE INSTALLED ALONG THE OUTER LIMITS OF THE TREE'S CRITICAL ROOT ZONE WHICH IS REPRESENTED BY A CIRCLE, CENTERED ON THE TREE TRUNK AND HAVING A RADIUS OF ONE FOOT FOR EACH ONE INCH OF TRUNK DIAMETER (DBH) SEE DETAIL SHT C8

T-1 T-2 T-4 T-5

(P)YOAKUM COURT ~ (F)YOAKUM STREET
(50' PUBLIC R/W)

NO.	DATE	REVISIONS
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HAMMOND ENGINEERING, INC.
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TOM@SELANDDESIGN.COM

THOMAS L. HAMMOND LICENSE NO. 54574 STATE OF FLORIDA PROFESSIONAL ENGINEER

SITE DEVELOPMENT PLANS FOR
FRONTIER MOTORS
PRIVATE STORAGE
DEMOLITION & EROSION CONTROL PLAN
ESCAMBIA COUNTY FLORIDA

DRAWN BY: CJG
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 9-3-20
SCALE: AS SHOWN
NOT RELEASED FOR CONSTRUCTION
BY: DATE:

PROJECT NO: 20-035

SHEET: C3

GRAPHIC SCALE

22"x34" SCALE 1 inch = 10 ft.

10 0 5 10 20 40

11"x17" SCALE 1 inch = 20 ft.

LEGEND:

- DENOTES EXISTING ASPHALT
- DENOTES PROPOSED GRAVEL
- DENOTES PROPOSED CONCRETE
- DENOTES EXISTING UTILITY POLE
- DENOTES EXISTING LIGHT POLE
- DENOTES EXISTING GUY ANCHOR
- DENOTES EXISTING TREE
- OE — DENOTES EXISTING OVERHEAD ELECTRICAL
- x — x — DENOTES EXISTING CHAIN LINK FENCE
- DENOTES EXISTING WOOD PRIVACY FENCE
- X — DENOTES PROPOSED TIMBER PRIVACY FENCE

PROTECTED TREE NOTE:

1. PROTECTED TREES SHALL REMAIN ONSITE AND ANY PROPOSED LAND CLEARING/"LAND DISTURBING ACTIVITIES", INCLUDING THE PLACEMENT OF FILL/FILL MATERIALS, GRADING, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PERMIT(S) ARE ISSUED FOR SUCH SITE WORK.

PARKING CALCULATIONS:

3,600 SF PRIVATE STORAGE

AS PER 3-1.2 ESCAMBIA COUNTY DESIGN STANDARDS MANUAL:
1.5 PER 100 UNITS + 2 REQUIRED
(1.5/100*9)+2 ~ 3 STALLS REQUIRED

GIVEN THAT THE USE IS SELF-STORAGE IN CHARACTER BUT NOT THE TYPICAL MULTI-UNIT FACILITY ANTICIPATED BY THE CODE, NO PARKING STALLS PROPOSED.

NOTE: HANDICAP PARKING SIGNS SHALL CONFORM TO FDOT ROADWAY AND TRAFFIC DESIGN STANDARD INDEX NUMBER 17355, SHEET 2 OF 11, FTP-20-06, FTP-21-06, FTP-22-06

SITE DATA:

212 YOAKUM STREET 32505
PARCEL ZONING: HC/LI
FLU: MU/U

BUILDING SETBACKS REQUIRED (HC/LI ZONED PARCEL):
FRONT SETBACK =15'
REAR SETBACK =15'
SIDE SETBACK =10'

MAXIMUM IMPERVIOUS SURFACE: 85%
MAXIMUM BUILDING HEIGHT: 150'
MAXIMUM FLOOR AREA RATIO: 2.0 (MU/U)

PROPOSED FLOOR AREA RATIO:
TOTAL GROSS FLOOR AREA = 3,600 SF
GROSS LOT AREA = 26,323 SF
FLOOR AREA RATIO = 3,600 SF/26,323 SF = 0.14

SOLID WASTE NOTE:

SOLID WASTE TO BE DISPOSED OF VIA 55 GAL. TRASH CAN AND PRIVATE HAULER

PARKING STALL NOTES:

- ALL HANDICAP PARKING STALLS ARE TO MEASURE 12' x 18' WITH AN ADJACENT 5' WIDE AISLE
- ALL STANDARD PARKING STALLS ARE TO MEASURE 9' x 18'
- ALL PARKING STALLS ARE TO BE DEMARCATED WITH 4" SOLID WHITE LINES UNLESS OTHERWISE NOTED

FIRE SAFETY NOTES

1. FIRE DEPT. ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 20'
2. FIRE DEPT. ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED VERTICAL CLEARANCE OF 13'-6"
3. THE REQUIRED WIDTH OF A FIRE DEPT. ACCESS ROAD SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING BY THE PARKING OF VEHICLES.

TREE ID TABLE		
TREE #	TYPE	SIZE (DBH)
1	CEDAR	30"
2	PECAN	12"
4	PECAN	24"
5	OAK	44"

EXISTING SITE AREA: 26,332 SF - 0.60 ACRES

IMPERVIOUS and PERVIOUS AREA	EXISTING	REMOVE	NEW	POST-CONSTRUCTION	NET CHANGE
BUILDINGS	0 SF	0 SF	3,600 SF	3,600 SF	+3,600 SF
ASPHALT/CONCRETE	0 SF	0 SF	38 SF	38 SF	+38 SF
TOTAL IMPERVIOUS AREA	0 SF	0 SF	3,638 SF	3,638 SF	+3,638 SF
ROCK AREA	0 SF	0 SF	2,478 SF	2,478 SF	+2,478 SF
LANDSCAPE AREA	26,332 SF	6,116 SF	0 SF	20,216 SF	(-6,116 SF)
PERCENTAGE OF LANDSCAPE	100%			77%	(-23%)
PARKING DATA	EXISTING	REMOVE	NEW	POST-CONSTRUCTION	NET
NON-HANDICAPPED SPACES	0	0	0	0	N/A
HANDICAPPED SPACES	0	0	0	0	N/A

46-1S-30-2001-020-021
TESTON DONALD L &
TESTON TAMARA K
1125 HARBOR LANE
GULF BREEZE, FL 32563
ZONING: HC/LI
FLU: MU-U
USE: MOBILE HOME

46-1S-30-2001-002-021
GONZALEZ JOSE A
GONZALEZ MARIA E
215 MICHIGAN AVE
PENSACOLA, FL 32505
ZONING: HC/LI
FLU: MU-U
USE: SINGLE FAMILY RESIDENCE

46-1S-30-2001-015-021
INGRAM RENTAL PROPERTIES LLC
6012 WYNDI WAY
PAGE, FL 32571
ZONING: HC/LI
FLU: MU-U
USE: MULTI-FAMILY

N64°59'57"E 34.33'(C)
N62°14'17"E 33.88'(D)
19.63' (P) 19.63' (P)
S89°57'14"E ~ 100.00'(F) 100.00'(P)
T-4
T-5
T-1
T-2
TIE PROPOSED FENCE TO EXISTING
CONSTRUCT 140 LF± 6' HIGH TIMBER PRIVACY FENCE SEE DETAIL SHT C9
REFERENCE BEARING N00°00'00"E ~ 149.92'(F) 149.84'(D)
RELOCATED LIGHT POLE
15' BSL
10' BSL
N00°20'53"W ~ 137.92'(F) 138.08'(D)
N00°20'53"W ~ 150.00'(F) 150.00'(P)
36.00'
PROPOSED 3,600 SF PRIVATE STORAGE BUILDING FFE: 93.35
60'
DENOTES CRA FRONTAGE LINE FOR ADJACENT PARCELS THAT FALL WITHIN THE CRA DISTRICT
CONSTRUCT 7'x5' CONCRETE STOOP @ DOORWAY SEE DETAILS SHT C8
CONSTRUCT 45 LF± 6' HIGH TIMBER PRIVACY FENCE SEE DETAIL SHT C9
16.00'
11.00'
R5.00'
20.00'
25.00'
78.54' (P)
N89°54'36"E ~ 100.12'(F) 100.00'(P)
R20.00' TYP.
30'
INSTALL STOP SIGN (R1-1), 24" WHITE THERMOPLASTIC STOP BAR
CURVE DATA
RADIUS ~ 200.00' (D&F)
LENGTH OF ARC ~ 80.55' (D) 80.63' (F)
DELTA ANGLE ~ 23° 03' 13" (F)
CHORD LENGTH ~ 80.00' (D) 80.08' (F)
CHORD BEARING ~ N78° 27' 43"W (D) N78° 23' 08"W (F)

(P)YOAKUM COURT - (F)YOAKUM STREET

(50' PUBLIC R/W)

NO.	DATE	REVISIONS
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HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 32771
3802 NORTH "S" STREET
PENSACOLA, FLORIDA 32505
850 434-2603
FAX 850-434-2650
TOM@SELANDDESIGN.COM

THOMAS G. HAMMOND LICENSE NO. 54574 STATE OF FLORIDA PROFESSIONAL ENGINEER

SITE DEVELOPMENT PLANS FOR
FRONTIER MOTORS PRIVATE STORAGE
SITE PLAN
ESCAMBIA COUNTY FLORIDA

DRAWN BY: CJG
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 9-3-20
SCALE: AS SHOWN
NOT RELEASED FOR CONSTRUCTION
BY: DATE:

PROJECT NO: 20-035

SHEET: C4

GRAPHIC SCALE

22"x34" SCALE 1 inch = 10 ft.

10 0 5 10 20 40

11"x17" SCALE 1 inch = 20 ft.

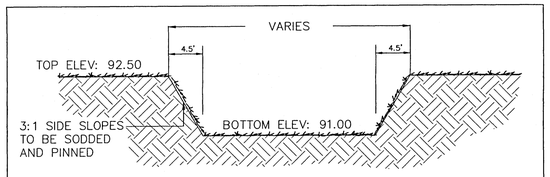
LEGEND:

- DENOTES EXISTING ASPHALT
- DENOTES PROPOSED GRAVEL
- DENOTES PROPOSED CONCRETE
- DENOTES EXISTING UTILITY POLE
- DENOTES EXISTING LIGHT POLE
- DENOTES EXISTING GUY ANCHOR
- DENOTES EXISTING TREE
- OE — DENOTES EXISTING OVERHEAD ELECTRICAL
- — x — x — DENOTES EXISTING CHAIN LINK FENCE
- DENOTES EXISTING WOOD PRIVACY FENCE
- DENOTES PROPOSED TIMBER PRIVACY FENCE
- — X — DENOTES PROPOSED 4' CHAIN LINK FENCE
- DENOTES BENCHMARK LOCATION
- 19.66 DENOTES EXISTING SPOT ELEVATION
- M.E.G. MATCH EXISTING GRADE
- 20.00 DENOTES PROPOSED SPOT ELEVATION
- DENOTES PROPOSED STORM PIPE

TREE ID TABLE		
TREE #	TYPE	SIZE (DBH)
1	CEDAR	30"
2	PECAN	12"
4	PECAN	24"
5	OAK	44"

1 PROTECTED TREE NOTE:

1. PROTECTED TREES SHALL REMAIN ONSITE AND ANY PROPOSED LAND CLEARING/"LAND DISTURBING ACTIVITIES", INCLUDING THE PLACEMENT OF FILL/FILL MATERIALS, GRADING, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PERMIT(S) ARE ISSUED FOR SUCH SITE WORK.



STORMWATER RETENTION POND #1
TYPICAL CROSS SECTION
NTS

DETENTION BASIN CONSTRUCTION

1. INITIALLY INSTALL ALL EROSION AND SEDIMENT CONTROL BMP'S AS ILLUSTRATED ON THE EROSION CONTROL PLAN PROVIDED AS PART OF THESE PLANS (SHEET C3)

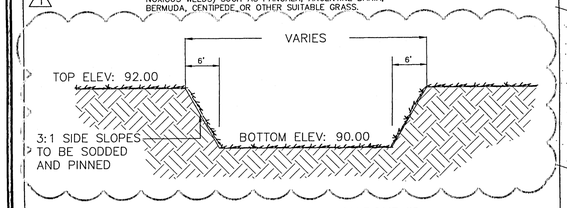
2. CONSTRUCT THE DETENTION BASIN TO ROUGH GRADE BY UNDER-EXCAVATING THE BASIN BOTTOM AND SIDES BY ABOUT 6 INCHES.

3. AFTER THE DRAINAGE AREA CONTRIBUTING TO THE BASIN HAS BEEN FULLY STABILIZED, THE INTERIOR SIDE SLOPES AND BASIN BOTTOM SHALL BE EXCAVATED TO FINAL DESIGN SPECIFICATIONS. THE EXCESS SOIL AND UNDESIRABLE MATERIAL MUST BE CAREFULLY EXCAVATED AND REMOVED FROM THE POND SO THAT ALL ACCUMULATED SILTS, CLAYS, ORGANICS, AND OTHER FINE SEDIMENT MATERIAL HAS BEEN REMOVED FROM THE POND AREA. THE EXCAVATED MATERIAL SHALL BE DISPOSED OF BEYOND THE LIMITS OF THE DRAINAGE AREA OF THE BASIN.

4. ONCE THE BASIN HAS BEEN EXCAVATED TO FINAL GRADE, THE ENTIRE BASIN BOTTOM MUST BE DEEP RAKED AND LOOSENED FOR OPTIMAL FILTRATION.

5. FINALLY, THE ENTIRE BANK SLOPE AND POND BOTTOM SHALL BE PERMANENTLY STABILIZED IN A MANNER THAT GUARANTEES HEALTHY GROWTH OF GRASS (FREE FROM NOXIOUS WEEDS) SUCH AS PANGALA, ARGENTINE BAHIA, BERMUDA, CENTIPEDE, OR OTHER SUITABLE GRASS.

1



STORMWATER RETENTION POND #2
TYPICAL CROSS SECTION
NTS

CONSTRUCT STORMWATER RETENTION POND #1 W/3:1 SIDE SLOPES TOP ELEV=92.50 BOTTOM ELEV=91.00 SEE DETAIL SHT C5

NORTH ROOF DOWNSPOUTS TO DIRECT RUNOFF TO STORMWATER POND #1

PROPOSED 3,600 SF PRIVATE STORAGE BUILDING FFE: 93.35

SOUTH ROOF DOWNSPOUTS TO DIRECT RUNOFF TO STORMWATER POND #2

CONSTRUCT 12" CONC. END TREATMENT INV ELEV=90.00 SEE DETAIL SHT C9

CONSTRUCT STORMWATER RETENTION POND #2 W/3:1 SIDE SLOPES TOP ELEV=92.00 BOTTOM ELEV=90.00 SEE DETAIL SHT C5

CONSTRUCT 12" CONC. END TREATMENT INV ELEV=90.00 SEE DETAIL SHT C9

CONSTRUCT 40 LF± 12" ADS N-12 WT HDPE PIPE @ 0.00%

BENCHMARK NAIL AND DISK IN ASPHALT ELEV. = 91.46' (NAVD 88)

(P)YOAKUM COURT ~ (F)YOAKUM STREET
(50' PUBLIC R/W)

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PENSACOLA, FLORIDA 32505
850 434-2603
FAX 850-434-2650
TOM@SELANDDESIGN.COM

THOMAS HAMMOND JR. P.E. LICENSE No. 54574 STATE OF FLORIDA PROFESSIONAL ENGINEER SWROHL

SITE DEVELOPMENT PLANS FOR
FRONTIER MOTORS PRIVATE STORAGE
GRADING & DRAINAGE PLAN
ESCAMBIA COUNTY FLORIDA

DRAWN BY: CJG
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 9-3-20
SCALE: AS SHOWN
NOT RELEASED FOR CONSTRUCTION
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PROJECT NO: 20-035

SHEET: C5

GRAPHIC SCALE

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10 0 5 10 20 40

11"x17" SCALE 1 inch = 20 ft.

T-4

LEGEND:

- DENOTES EXISTING ASPHALT
- DENOTES PROPOSED GRAVEL
- DENOTES PROPOSED CONCRETE
- DENOTES EXISTING UTILITY POLE
- DENOTES EXISTING LIGHT POLE
- DENOTES EXISTING GUY ANCHOR
- DENOTES EXISTING TREE
- OE — DENOTES EXISTING OVERHEAD ELECTRICAL
- x — x — DENOTES EXISTING CHAIN LINK FENCE
- \ \ — DENOTES EXISTING WOOD PRIVACY FENCE
- X — DENOTES PROPOSED TIMBER PRIVACY FENCE
- DENOTES PROPOSED STORM PIPE
- W — DENOTES EXISTING WATER LINE
- W — DENOTES PROPOSED WATER LINE
- SS — DENOTES PROPOSED SANITARY SEWER LINE
- FM — DENOTES EXISTING FORCE MAIN
- FM — DENOTES PROPOSED FORCE MAIN

TREE ID TABLE		
TREE #	TYPE	SIZE (DBH)
1	CEDAR	30"
2	PECAN	12"
4	PECAN	24"
5	OAK	44"

1

PROTECTED TREE NOTE:

1. PROTECTED TREES SHALL REMAIN ONSITE AND ANY PROPOSED LAND CLEARING/LAND DISTURBING ACTIVITIES", INCLUDING THE PLACEMENT OF FILL/FILL MATERIALS, GRADING, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PERMIT(S) ARE ISSUED FOR SUCH SITE WORK.

1

LEGEND:

- DENOTES EXISTING ASPHALT
- DENOTES PROPOSED GRAVEL
- DENOTES EXISTING GRASS
- DENOTES EXISTING FIRE HYDRANT
- DENOTES PROPOSED CONCRETE

EXISTING ECUA HYDRANT #1968 LOCATED WITHIN 500 LF OF FURTHEST BUILDING CORNER AS HOES LIES

INSET A

SCALE: 1" = 60'

GENERAL UTILITY NOTES

1. All potable water and sanitary sewer work shall be done in accordance with ECUA'S engineering manual.
2. Contractor shall notify ECUA and the County Engineer 48 hours prior to the commencement of this project.
3. Contractor shall make sewer service connections and potable water connections with an ECUA inspector present.
4. All work shall comply with applicable standards and codes established by ECUA and the Florida Department of Environmental Protection and written specifications.
5. Contractor shall notify Sunshine One Utilities two business days in advance prior to digging within R/W; 1-800-432-4770.
6. The Contractor shall notify the superintendents of the water, gas, sewer, telephone and power companies 10 days in advance, that he intends to start work in a specific area. The Owner disclaims any responsibility for the support and protection of sewers, drains, water pipes, gas pipes, conduits of any kind, utilities or other structures owned by the City, County, State or by private or public utilities legally occupying any street, alley, public place or right-of-way.
7. Florida State Statute 553.851 requires that all excavators notify gas companies of their intention to perform any excavation at least two business days (excluding Sat., Sun. & holidays) prior to beginning work.
8. Locations of existing utilities shown on plans are approximate only and it shall be the responsibility of the Contractor to verify the location and sizes before construction. Failure of the plans to show the existence of any underground utilities, structures, etc., shall not relieve the Contractor from the responsibility of locating, preserving and protecting said utility or structures.
9. Property obstructions which are to remain in place, such as buildings, sewer, storm drains, water or gas pipes, electrical conduits, poles, walls, posts, etc., are to be carefully protected and are not to be displaced, unless noted.
10. Relocation of the obstructions owned by private property Owner, such as mailboxes, shall be the responsibility of the Contractor who must coordinate with the property Owner.
11. Control of sedimentation and erosion shall be the Contractor's responsibility.
12. Contractor shall dispose of by hauling away all excess material.
13. The Utility Contractor shall make connections to the sanitary sewer as shown and shall verify locations and elevations of all utility lines prior to beginning work. The Utility Contractor shall include the cost of protection and/or relocation of other utilities in his bid and shall coordinate his work with other utility sub-contractors to prevent conflicts with other utility lines.
14. Contractor shall be responsible for and comply with any testing required by the local governing agency in addition to the testing requirements outlined in the specifications.
15. Proposed water line shall have a minimum cover of 30" and a maximum cover of 36" below finished grade unless otherwise noted.
16. "As-built" drawings showing all service lines, laterals, mains and valve locations measured from permanent reference points shall be furnished to the Engineer prior to acceptance.
17. Grading around trees which are to remain shall be away from the tree in a manner to cause no damage to the tree.
18. Contractor shall be responsible for the seeding and mulching and/or sodding of street and road shoulder areas in accordance with FDOT and applicable county requirements and standards.
19. Water supply facilities, including mains, shall be installed, cleaned, disinfected and bacteriologically cleared for service in accordance with the latest applicable AWWA Standards and coordinated with the designated ECUA Inspector and Quality Control Supervisor.
20. All onsite water and sewer facilities shall be privately owned, operated and maintained.
21. Contractor is responsible for adjustment of existing utilities if proposed improvements impact existing utilities.
22. All work to take place within the right of way or to be owned and maintained by ECUA post-construction shall be performed by a certified underground utility contractor.
23. Contractor must locate existing water main and sanitary sewer force main line to be tied into and verify configuration to establish the best location for connection.
24. Contractor shall obtain an Escambia County right of way permit prior to working within the county R/W.
25. Contractor to video/document all right of way areas to be impacted prior to construction.
26. Reference utility details provided on sheet C9.
27. Contractor to coordinate power supply to building with Gulf Power...850-429-2861
28. Contractor to coordinate proposed natural gas service with Energy Services of Pensacola...850-983-5434.

23. NOTE: THERE ARE TWO EXISTING 6" FIRE/POTABLE WATER METERS FOR THIS SITE ACCORDING TO THE ECUA MAPS. EXISTING WATER METERS MAY BE ORDERED TO ENSURE FUTURE WATER SERVICE TO PROPOSED STRUCTURE. WATER METERS (IF EXISTING) THAT ARE NOT USED SHOULD BE CAPPED AT THE FACILITY LINE.

PROPOSED
3,600 SF
PRIVATE STORAGE
BUILDING
FFE: 93.35

60'

INSTALL 5 LF± 4" PVC (SDR 26) @ 1.04%

SEWER LATERAL TO BLDG. INSTALL CLEANOUT INV ELEV=91.15

INSTALL 1" PE DOMESTIC WATER LINE TO BUILDING

INSTALL 36"ø LIFT STATION TOP ELEV=92.50 INV ELEV IN=91.10

INSTALL 80 LF± 2" PVC (SDR 21) FORCE MAIN COLOR CODED GREEN W/TRACER WIRE

REF. IRRIGATION PLANS FOR IRRIGATION LINE CONTINUATION

INSTALL 1" REDUCED PRESSURE BACKFLOW ASSEMBLY SEE DETAIL SHT C9

INSTALL OWNER'S 1" GATE VALVE & VALVE BOX (OWNERS CONTROL VALVE)

INSTALL 1" METER ASSEMBLY (BY ECUA) IN METER BOX

INSTALL 6"x1" CC THREADED SADDLE TAP W/CORP STOP ECUA INSPECTOR TO BE PRESENT FOR WET TAP

EXISTING 6" PVC WATER LINE

HORIZONTAL DIRECTIONAL DRILL 40 LF± 4" HDPE CASING

INSTALL 2"x2" TAPPING SLEEVE & VALVE & 2" FLAPPER CHECK VALVE ECUA INSPECTOR TO BE PRESENT FOR WET TAP

EXISTING 2" PRIVATE FORCE MAIN

EXISTING 2" PUBLIC FORCE MAIN

(P)YOAKUM COURT - (F)YOAKUM STREET
(50' PUBLIC R/W)

NO.	DATE	REVISIONS
1	11/06/2020	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH "S" STREET
PENSACOLA, FLORIDA 32505
850-434-2603
FAX 850-434-2650
TOM@SELANDDESIGN.COM

THOMAS G. HAMMOND, P.E. LICENSE No. 54574 STATE OF FLORIDA PROFESSIONAL ENGINEER

SITE DEVELOPMENT PLANS FOR
FRONTIER MOTORS PRIVATE STORAGE
UTILITY PLAN
ESCAMBIA COUNTY FLORIDA

DRAWN BY: CJG
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 9-3-20
SCALE: AS SHOWN
NOT RELEASED FOR CONSTRUCTION
BY: DATE:

PROJECT NO: 20-035

SHEET: C6

GRAPHIC SCALE

22"x34" SCALE 1 inch = 10 ft.

10 0 5 10 20 40

11"x17" SCALE 1 inch = 20 ft.

LEGEND:

- DENOTES EXISTING ASPHALT
- DENOTES PROPOSED GRAVEL
- DENOTES PROPOSED CONCRETE
- DENOTES PROPOSED SOD (BAHAI RECOMMENDED)
- DENOTES EXISTING UTILITY POLE
- DENOTES EXISTING LIGHT POLE
- DENOTES EXISTING GUY ANCHOR
- DENOTES EXISTING TREE
- OE — DENOTES EXISTING OVERHEAD ELECTRICAL
- DENOTES SOUTHERN MAGNOLIA (OR APPROVED EQUAL CANOPY TREE) TO BE PLANTED TYPICAL OF 5
- DENOTES RED MAPLE (OR APPROVED EQUAL CANOPY TREE) TO BE PLANTED TYPICAL OF 4
- DENOTES INDIAN HAWTHORNE SHRUB (OR APPROVED EQUAL) TO BE PLANTED TYPICAL OF 94
- DENOTES WAX MYRTLE UNDERSTORY TREE TO BE PLANTED (OR APPROVED EQUAL) TYPICAL OF 10
- — X — DENOTES PROPOSED TIMBER PRIVACY FENCE
- — x — x — DENOTES EXISTING CHAIN LINK FENCE
- DENOTES EXISTING WOOD PRIVACY FENCE
- DENOTES PROPOSED STORM PIPE

TREE ID/REMOVAL TABLE			
TREE #	TYPE	SIZE (DBH)	REASON FOR REMOVAL
1	CEDAR	30"	N/A
2	PECAN	12"	N/A
4	PECAN	24"	N/A
5	OAK	44"	N/A

ESCAMBIA COUNTY LANDSCAPING REQUIREMENTS:

- 15 PERCENT OF THE TOTAL DEVELOPABLE SITE SHALL BE DEVOTED TO LANDSCAPING/GREEN SPACE.
- QUALITY. ALL PLANTS REQUIRED BY THIS SECTION SHALL CONFORM TO THE STANDARDS FOR FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- SPECIES. ALL LANDSCAPING SHALL UTILIZE NATIVE PLANT SPECIES OR THOSE SPECIES LISTED IN THE FLORIDA-FRIENDLY LANDSCAPING GUIDE TO PLANT SELECTION AND LANDSCAPE DESIGN.
- TREES. TREES PLANTED TO FULFILL THE MINIMUM LANDSCAPE REQUIREMENTS OF THIS ARTICLE SHALL NORMALLY ATTAIN A MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES OR GREATER MEASURED AT FOUR INCHES ABOVE ROOT BALL AT PLANTING. THE FOLLOWING ADDITIONAL CRITERIA APPLY:

  1. NON-NATIVE SPECIES. NON-NATIVE SPECIES ARE LIMITED TO 25 PERCENT OR LESS OF THE TOTAL REQUIRED TREES PLANTED.

  2. DIVERSITY. THE DIVERSITY OF ANY TREES REQUIRED TO BE PLANTED ON A SITE SHALL COMPLY WITH THE FOLLOWING LIMITS TO AVOID UNIFORM SITE TREE DECLINE FROM PESTS OR DISEASE:

- A MAXIMUM OF 67% OF THE TOTAL TREES TO BE PLANTED MAY BE OF THE SAME SPECIES.
- USE OF PALMS. PALMS DO NOT COMPLY WITH DEFINITION OF TREE FOR THE PURPOSES OF THESE LANDSCAPING PROVISIONS. HOWEVER, WIND-RESISTANT SPECIES MAY BE SUBSTITUTED AT THE RATIO OF TWO PALMS FOR ONE REQUIRED TREE FOR UP TO 50 PERCENT OF TREES REQUIRED FOR DEVELOPMENT ON SANTA ROSA ISLAND OR PERDIDO KEY, EXCLUDING ANY TREES REQUIRED SPECIFICALLY FOR BUFFERING OR REPLACEMENTS FOR PROTECTED TREE REMOVAL. SUCH PALMS INCLUDE: DATE PALM (PHOENIX SPP. EXCEPT P RECLINATA) AND CABBAGE OR SABAL, (SABAL PALMETTO).
- ALL SHRUBS SHALL BE A MINIMUM OF 12 INCHES IN HEIGHT AT TIME OF PLANTING.
- TURF GRASS. CONSISTENT WITH FLORIDA-FRIENDLY PRACTICES, DEVELOPMENT SHOULD CONSOLIDATE AND LIMIT THE USE OF MOST TURF GRASSES TO ESSENTIAL AREAS. WHEN USED, GRASS SHALL BE SPECIES NORMALLY GROWN AS PERMANENT LAWNS IN ESCAMBIA COUNTY. ALL SOD SHALL BE CLEAN AND REASONABLY FREE OF WEEDS, NOXIOUS PESTS, AND DISEASES. WHEN GRASS AREAS ARE TO BE SEEDED, SPRIGGED, OR PLUGGED, SPECIFICATIONS MUST BE SUBMITTED. SUBSTANTIAL COVERAGE MUST BE ACHIEVED WITHIN 180 DAYS AND NURSE GRASS SHALL BE SOWN FOR IMMEDIATE EFFECTS AND PROTECTION UNTIL COVERAGE IS OTHERWISE ACHIEVED.
- ALL PLANTS SHALL CONFORM TO THE STANDARDS OF FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF "GRADES AND STANDARDS OF NURSERY PLANTS", DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- ANY PROPOSED REMOVAL OF PROTECTED TREES IN THE FUTURE SHALL REQUIRE PRIOR PERMIT APPLICATION & REVIEW BY ESCAMBIA COUNTY ENVIRONMENTAL PERMITTING STAFF PRIOR TO REMOVAL.
- PROTECTED TREES SHALL REMAIN ONSITE AND ANY PROPOSED LAND CLEARING/"LAND DISTURBING ACTIVITIES", INCLUDING THE PLACEMENT OF FILL/FILL MATERIALS, GRADING, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PERMIT(S) ARE ISSUED FOR SUCH SITE WORK.

1

LANDSCAPING NOTES:

1. THE CONTRACTOR IS TO BE AWARE OF UNDERGROUND UTILITIES THROUGHOUT LANDSCAPED AREAS THAT MAY NOT BE ILLUSTRATED ON THIS PLAN. CONTRACTOR SHALL VERIFY LOCATION AND PROTECT ALL UTILITIES DURING EXCAVATION AND/OR FINISH GRADING ACTIVITIES.
2. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGE TO EXISTING UTILITIES, WALKWAYS, PAVING OR OTHER ELEMENTS IN PLACE AT THE COMMENCEMENT OF HIS WORK, AT NO ADDITIONAL COST TO THE OWNER.
3. ANY ADJUSTMENT TO THIS PLAN DUE TO EXISTING CONDITIONS NOT REFLECTED ON THIS PLAN WILL BE RESOLVED AT THE TIME OF INSTALLATION.
4. FINISH GRADES FOR ALL PLANTING, SOD AND SEED AREAS SHALL BE ESTABLISHED AND APPROVED BY THE OWNER/DEVELOPER PRIOR TO PLANTING, SODDING OR SEEDING.
5. ALL TRASH AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE PRIOR TO ESTABLISHMENT OF FINISH GRADES.
6. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTED HORTICULTURE PRACTICES. THIS SHALL INCLUDE PROPER PLANTING SOIL MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING, FERTILIZATION AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY OWNER/DEVELOPER.
7. ALL PLANT MATERIALS USED SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1 OR BETTER AS GIVEN IN "GRADES AND STANDARDS FOR NURSERY PLANTS", CURRENT EDITION, STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRY, TALLAHASSEE, FLORIDA. IN ADDITION, ALL PLANT MATERIAL SHALL BE FREE FROM INSECT AND DISEASE.
8. PLANT CONTAINERS SHALL BE REMOVED PRIOR TO PLANTING. IF PLANTS ARE NOT CONTAINER GROWN, REMOVE A MINIMUM OF THE TOP 1/3 OF BURLAP, FABRIC OR WIRE MESH.
9. ROOT BALLS SHALL BE FLUSH WITH FINISHED GRADE.
10. BACKFILL SHALL BE LOOSENED EXISTING SOIL. REMOVE ROCKS, STICKS OR OTHER DELETERIOUS MATERIAL GREATER THAN 1" IN ANY DIRECTION PRIOR TO BACKFILLING. WATER AND TAMP TO REMOVE AIR POCKETS. IF EXISTING SOILS CONTAIN EXCESSIVE SAND, CLAY OR OTHER EXTRANEOUS MATERIAL NOT CONDUCIVE TO PROPER PLANT GROWTH CONTACT LANDSCAPE ARCHITECT PRIOR TO PLANTING.
11. SOIL RINGS SHALL BE CONSTRUCTED OF EXISTING SOIL AT THE OUTER EDGE OF THE TREE PLANTING PIT WITH A HEIGHT AND WIDTH OF 4".
12. STRAPPING SHALL BE MINIMUM 1" WIDE NYLON OR POLYPROPYLENE. GUYING MATERIAL IN CONTACT WITH TREE SHALL BE SOFT, PLIABLE, FLEXIBLE RUBBER.
13. SABAL PALMS (IF PLANTED) MAY BE HURRICANE CUT. ALL OTHERS MUST HAVE FRONDS TIED WITH BIODEGRADABLE STRAP. TRUNKS SHALL HAVE NO SCARS OR SANDING.
14. ALL GREEN AREAS FOUND WITHIN THE PROJECT BOUNDARIES ARE TO BE FULLY STABILIZED PRIOR TO REQUESTING FINAL INSPECTION. AREAS NOT ILLUSTRATED AS SODDED OR CONTAINING CYPRESS MULCH MUST BE SEEDED.

REQUIRED LANDSCAPE PLANTING DATA

NORTH BOUNDARY LINE: PROVIDE TYPE 'B' BUFFER AS PER 2-2.3(c) DESIGN STANDARDS MANUAL (NON-RESIDENTIAL ABUTTING SINGLE FAMILY RESIDENTIAL) SUPPLEMENTED W/6' TIMBER PRIVACY FENCE: 16' WIDE x 145' LONG BUFFER

2.5 CANOPY TREES REQ'D/100 LF
(145/100)*2.5 ~ 3.63 CANOPY TREES REQ'D
PLANT 4 CANOPY TREES
2.0 UNDERSTORY TREES REQ'D/100 LF
(145/100)*2.0 ~ 2.9 UNDERSTORY TREES REQ'D
PLANT 3 UNDERSTORY TREES
20 SHRUBS REQ'D/100 LF
(145/100)*20 ~ 29 SHRUBS REQ'D
PLANT 29 SHRUBS

REQUIRED MITIGATION: NO PROTECTED TREES EXISTING TO BE REMOVED AS PART OF THIS PROJECT.

EAST BOUNDARY LINE: PROVIDE TYPE 'B' BUFFER AS PER 2-2.3(c) DESIGN STANDARDS MANUAL (GENERAL COMMERCIAL USE ABUTTING MULTI-FAMILY RESIDENTIAL)
16' WIDE x 150' LONG BUFFER

2.5 CANOPY TREES REQ'D/100 LF
(150/100)*2.5 ~ 3.75 CANOPY TREES REQ'D
2 EXISTING CANOPY TREES TO REMAIN (T-1 & T-2)
PLANT 2 CANOPY TREES
2.0 UNDERSTORY TREES REQ'D/100 LF
(150/100)*2.0 ~ 3 UNDERSTORY TREES REQ'D
PLANT 3 UNDERSTORY TREES
20 SHRUBS REQ'D/100 LF
(150/100)*20 ~ 30 SHRUBS REQ'D
PLANT 30 SHRUBS

WEST BOUNDARY LINE: PROVIDE TYPE 'B' BUFFER AS PER 2-2.3(c) DESIGN STANDARDS MANUAL (NON-RESIDENTIAL ABUTTING SINGLE FAMILY RESIDENTIAL) SUPPLEMENTED W/6' TIMBER PRIVACY FENCE: 16' WIDE x 175' LONG BUFFER

2.5 CANOPY TREES REQ'D/100 LF
(175/100)*2.5 ~ 4.38 CANOPY TREES REQ'D
2 EXISTING CANOPY TREES TO REMAIN (T-4 & T-5)
PLANT 3 CANOPY TREES
2.0 UNDERSTORY TREES REQ'D/100 LF
(175/100)*2.0 ~ 3.5 UNDERSTORY TREES REQ'D
PLANT 4 UNDERSTORY TREES
20 SHRUBS REQ'D/100 LF
(175/100)*20 ~ 35 SHRUBS REQ'D
PLANT 35 SHRUBS

SOUTH BOUNDARY LINE: NO BUFFER REQUIRED, YOAKUM STREET RIGHT OF WAY. PROVIDE 5' LANDSCAPE STRIP AS PER. CH. 2, ART. 2, SEC. 2-2.2(b) DESIGN STANDARDS MANUAL

46-1S-30-2001-020-021
TESTON DONALD L &
TESTON TAMARA K
1125 HARBOR LANE
GULF BREEZE, FL 32563
ZONING: HC/LI
FLU: MU-U
USE: MOBILE HOME

46-1S-30-2001-002-021
GONZALEZ JOSE A
GONZALEZ MARIA E
215 MICHIGAN AVE
PENSACOLA, FL 32505
ZONING: HC/LI
FLU: MU-U
USE: SINGLE FAMILY RESIDENCE

46-1S-30-2001-015-021
INGRAM RENTAL PROPERTIES LLC
6012 WYNDI WAY
PACE, FL 32571
ZONING: HC/LI
FLU: MU-U
USE: MULTI-FAMILY

T-1 T-2 T-4 T-5

PLANT SOUTHERN MAGNOLIA TYP. OF 5

PLANT WAX MYRTLE TYP. OF 10

PLANT RED MAPLE TYP. OF 4

PLANT INDIAN HAWTHORN SHRUB TYP. OF 94

16.00'

PROVIDE A MINIMUM 50' SEPARATION BETWEEN CANOPY TREES TO BE PLANTED AND EXISTING OVERHEAD UTILITES

PROPOSED
3,600 SF
PRIVATE STORAGE
BUILDING
FFE: 93.35

60'

50.00'

30

50.00' TYP.

(P)YOAKUM COURT ~ (F)YOAKUM STREET
(50' PUBLIC R/W)

REQUIRED MITIGATION:

NO PROTECTED TREES TO BE REMOVED AS PART OF THIS DEVELOPMENT, NO MITIGATION REQUIRED.

NO.	DATE	REVISIONS
1	11/06/2020	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH "S" STREET
PENSACOLA, FLORIDA 32505
850 434-2603
FAX 850-434-2650
TOM@SELANDDESIGN.COM

THOMAS SELLERS HAMMOND JR., P.E. NO. 54574 STATE OF FLORIDA REGISTERED PROFESSIONAL ENGINEER

SITE DEVELOPMENT PLANS FOR
FRONTIER MOTORS
PRIVATE STORAGE

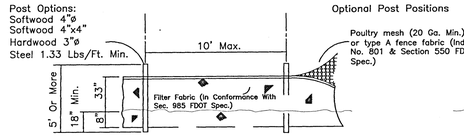
LANDSCAPING PLAN

ESCAMBIA COUNTY FLORIDA

DRAWN BY: CJG
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 9-3-20
SCALE: AS SHOWN
NOT RELEASED FOR CONSTRUCTION
BY: DATE:

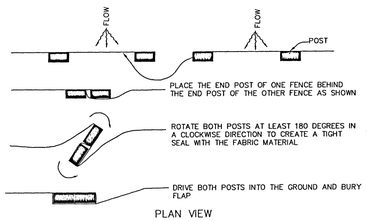
PROJECT NO: 20-035

SHEET: C7



TYPE IV SILT FENCE

NTS



JOINING TWO SILT FENCES

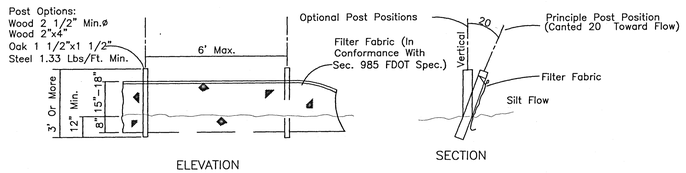
NTS

NOTES FOR SILT FENCES:
1. TYPE III SILT FENCE TO BE USED AT MOST LOCATIONS. WHERE USED IN DITCHES, THE SPACING FOR TYPE III SILT FENCE SHALL BE IN ACCORDANCE WITH CHART 1 (FOUND BELOW)

2. TYPE IV SILT FENCE TO BE USED WHERE LARGE SEDIMENT LOADS ARE ANTICIPATED. SUGGESTED USE IS WHERE FILL SLOPE IS 1:2 OR STEEPER AND LENGTH OF SLOPE EXCEEDS 25'. AVOID USE WHERE THE DETAINED WATER MAY BACK INTO TRAVEL LANES OR ADJACENT PROPERTY.

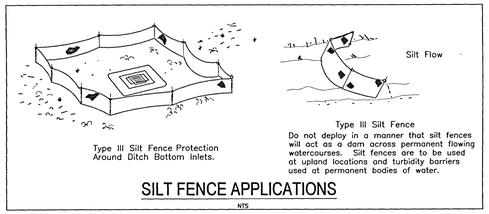
3. DO NOT CONSTRUCT SILT FENCES ACROSS PERMANENT FLOWING WATER COURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMENENT BODIES OF WATER.

4. WHERE USED AS SLOPE PROTECTION, SILT FENCE IS TO BE CONSTRUCTED ON 0% LONGITUDINAL GRADE TO AVOID CHANNELIZING RUNOFF ALONG THE LENGTH OF THE FENCE.



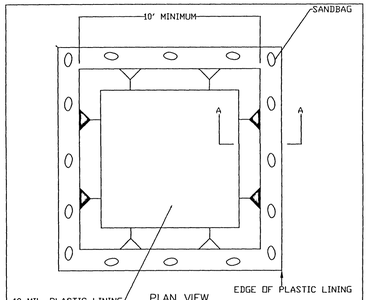
TYPE III SILT FENCE

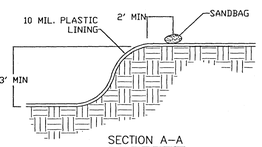
NTS



SILT FENCE APPLICATIONS

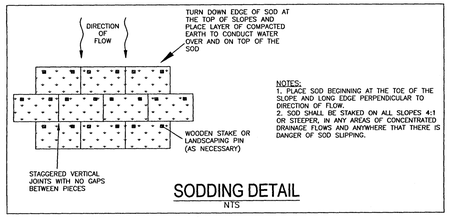
NTS





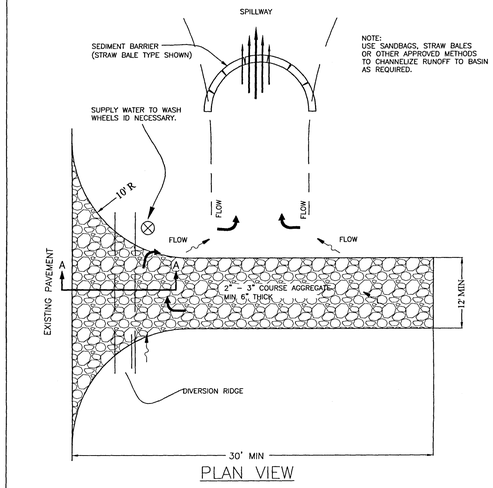
CONCRETE WASHOUT DETAIL

NTS

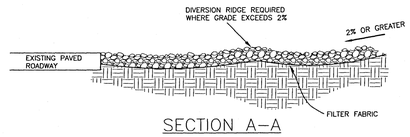


SODDING DETAIL

NTS



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE TO BE CONSTRUCTED AT ALL DESIGNATED CONSTRUCTION ENTRANCES AND EXITS.



TEMPORARY CONSTRUCTION ENTRANCE

NTS

NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.

3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

Offsite vehicle tracking of sediments and geration of dust shall be minimized. A stabilized construction access road shall be utilized to reduce off-site tracking. Offsite sediment removal should be conducted at a frequency necessary to minimize impacts. Vehicle wash area should be considered if offsite tracking becomes excessive.

NO.	DATE	REVISIONS
1	11/06/2020	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

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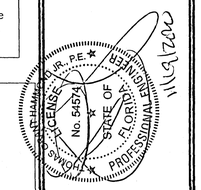


SITE DEVELOPMENT PLANS FOR
FRONTIER MOTORS PRIVATE STORAGE
CONSTRUCTION DETAILS
ESCAMBIA COUNTY FLORIDA

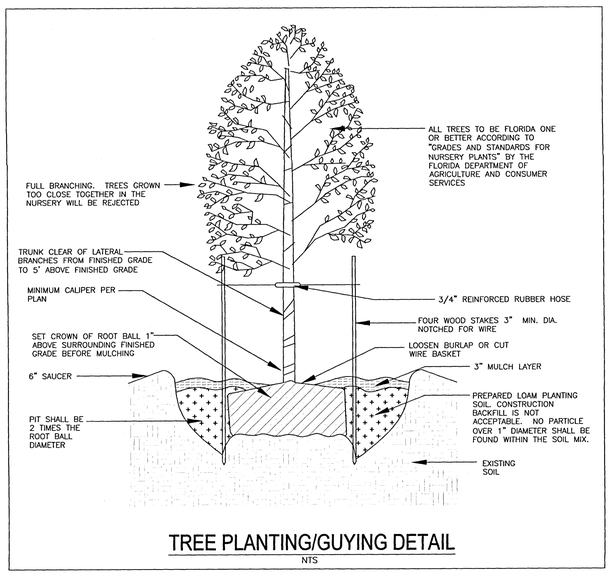
DRAWN BY: CJG
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 9-3-20
SCALE: AS SHOWN
NOT RELEASED FOR CONSTRUCTION
BY: DATE:

PROJECT NO: 20-035

SHEET: C8

List of Recommended Native and Non-Invasive Plants

Shrubs (mature height 36" min.)	Understory Trees (mature height 15-29 feet)	Canopy Trees (mature height over 30 feet)
Abelia *Abelia grandiflora*	Flowering Dogwood *Cornus florida*	Red Maple *Acer rubrum*
Aucuba japonica *Aucuba*	Loblolly Bay *Gordonia lasianthus*	Silver Maple *Acer saccharum*
Barberry *Berberis sp.*	American Holly *Nex opaca*	American Hornbeam *Carpinus caroliniana*
Japenese Boxwood *Buxus microphylla*	Dahoon Holly *Nex cassine*	Southern Red Cedar *Juniperus silicicola*
Beauty Berry *Callicarpa Americana*	Crape Myrtle *Lagerstroemia indica*	Leyland Cypress *Cupressocyparis leylandii*
Japanese Plum-Yew *Cephalotaxus harringtonia*	Glossy Privet *Ligustrum lucidum*	River Birch *Betula nigra*
Silverhorn Elaeagnus *Elaeagnus pungens*	Saucer Magnolia *Magnolia x soulangiana*	Pignut Hickory *Carya glabra*
Fatsia *Fatsia japonica*	Sweetbay Magnolia *Magnolia virginiana*	Green Ash *Fraxinus pennsylvanica*
Gardenia *Gardenia jasminoides*	Southern Crab Apple *Malus angustifolia*	Maidenhair Tree *Gingko biloba (male)*
Burford Holly *Nex cornuta*	Wax Myrtle *Myrica cerifera*	Sweetgum *Liquidambar styraciflua*
Japenese Privet *Ligustrum japonicum*	Bradford Pear *Pyrus calleryana*	Tulip Poplar *Liriodendron tulipifer*
Southern Wax Myrtle *Myrica cerifera*	Youpon Holly *Nex vomitoria*	Southern Magnolia *Magnolia grandiflora*
Firethorn *Pyracantha coccin*	Loquat *Eriobotrya japonica*	Tupelo/Sour Gum *Nyssa sylvatica*
Dwarf Japanese Holly *Nex crenata*	Eastern Redbud *Cercis canadensis*	Slash Pine *Pinus elliottii*
Chinese Holly *Nex Cornuta*	Fringe Tree *Chionanthus virginicus*	Longleaf Pine *Pinus palustris*
Dwarf Youpon Holly *Nex vomitoria 'Nana'*	Hawthorn *Crateagus spp.*	Sycamore *Plantanus occidentalis*
Chinese Juniper *Juniperus chinensis*	Silverbell *Halesia caroliniana*	White Oak *Quercus alba*
Indian Hawthorn *Rhaphiolepsis sp.*		Live Oak *Quercus virginiana*
Red-Tip Photinia *Photinia*		Shumard Oak *Quercus shumardii*
Rhododendron/Azalea *Rhododendron sp.*		Southern Red Oak *Quercus falcate*

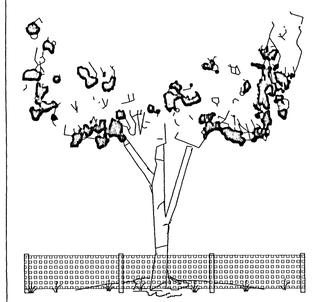


TREE PLANTING/GUYING DETAIL

NTS

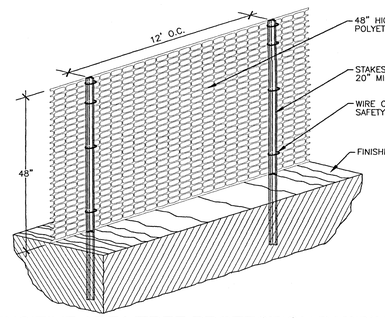
TREE PROTECTION BARRICADES SHOULD BE PLACED AT THE PERIMETER OF EACH PROTECTED TREE'S CRITICAL ROOT ZONE. THE CRITICAL ROOT ZONE (CRZ) IS REPRESENTED BY A CIRCLE, CENTERED ON THE TREE TRUNK AND HAVING A RADIUS OF ONE FOOT FOR EACH ONE INCH OF TRUNK DIAMETER (DBH)

NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD HAPPEN UNDER THE CRITICAL ROOT ZONE OF PROTECTED TREES TO REMAIN ON THE SITE. STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE CRITICAL ROOT ZONE OF PROTECTED TREES ON SITE.



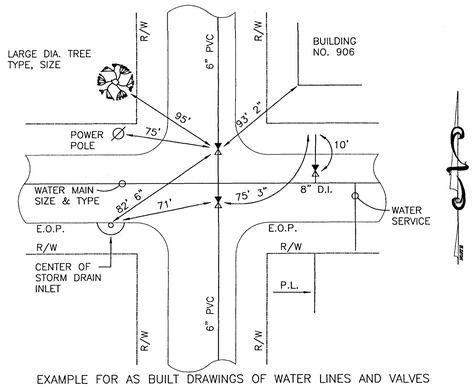
PROPERLY CONSTRUCTED BARRICADE PROTECTS THE TOTAL AREA WITHIN THE CRITICAL ROOT ZONE. CRITICAL ROOT ZONE OF A TREE IS REPRESENTED BY A CIRCLE, CENTERED ON THE TRE TRUNK AND HAVING A RADIUS OF ONE FOOT FOR EACH ONE INCH OF TRUNK DIAMETER (DBH

TREE PROTECTION BARRIER



SENSITIVE AREA/TREE PROTECTION BARRIER

NOTES:
1. ALL SENSITIVE AREAS SHALL BE PROTECTED INCLUDING DEEP EXCAVATIONS AND AS INDICATED ON PLANS.
2. ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED AND PROTECTED WITH HIGH VISIBILITY FENCE AS PER PLAN.
3. TREE PROTECTION BARRIER SHOULD BE PLACED, **AND MAINTAINED IN GOOD WORKING ORDER,** AROUND THE PERIMETER OF EACH PROTECTED TREE'S CRITICAL ROOT ZONE (CRZ) OF ALL PROTECTED TREES MARKED FOR PRESERVATION PRIOR TO ANY LAND DISTURBANCE CONSISTENT WITH THE DEVELOPMENT PERMIT.
4. SAFETY FENCE SHOULD BE FASTENED SECURELY TO THE T-POSTS.
5. THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION; ANY CHANGE OF THE PROTECTIVE FENCING MUST BE APPROVED.
6. NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD OCCUR UNDER THE CRITICAL ROOT ZONE OF PROTECTED TREES TO REMAIN ON THE SITE. STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE CRITICAL ROOT ZONE OF PROTECTED TREES ON SITE.
7. ALL DAMAGED ROOTS ARE TO BE EXPOSED TO SOUND TISSUE AND SEVERED CLEANLY (NOT TORN). ROOTS SHALL BE PRUNED CLEANLY TO A DEPTH OF 18 INCHES BELOW THE EXISTING GRADE OR TO THE DEPTH OF DISTURBANCE IF LESS THAN 18 INCHES FROM EXISTING GRADE.

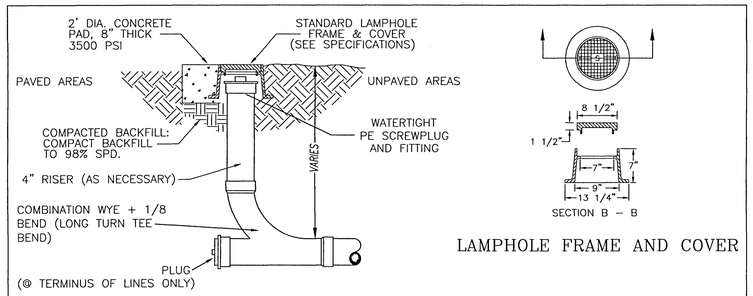


EXAMPLE FOR AS BUILT DRAWINGS OF WATER LINES AND VALVES

1. AS BUILT DRAWINGS WILL BE PREPARED INDICATING LOCATIONS OF ALL SERVICES, LOCATIONS AND TYPES OF ALL FITTINGS, WITH RESPECT TO LOT CORNERS, LOCATIONS OF ALL VALVE AND DEAD END RUNS WITH THREE (3) TIES TO PHYSICAL FEATURES (BUILDING CORNERS, MANHOLES, EXISTING STRUCTURES, POWER POLES, STORM DRAIN INLETS, CENTER OF FIRE HYDRANTS, FACE OF LARGE DIAMETER TREES > 18").
2. AS BUILT DRAWINGS MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL BEFORE A LETTER OF ACCEPTANCE WILL BE ISSUED.
3. CONTRACTOR SHALL ALSO PROVIDE CERTIFIED AS-BUILTS BY A P.S.M. REGISTERED IN THE STATE OF FLORIDA IN DIGITAL AND HARD COPY SIGNED AND SEALED. THE AS-BUILTS SHALL BE IN STATE PLANE COORDINATES.

AS-BUILT REQUIREMENTS

N.T.S.

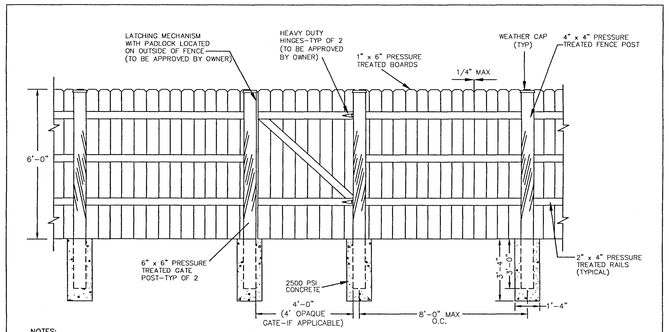


SANITARY CLEANOUT DETAIL

NTS

LAMPHOLE FRAME AND COVER

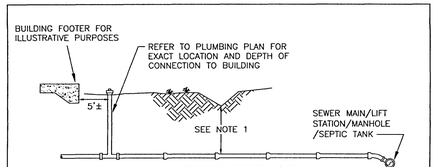
NOTE: ALL DETAILS ILLUSTRATED PERTAIN TO ONSITE WORK ONLY. ALL WORK WITHIN PUBLIC R/W SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE ECUA ENGINEERING MANUAL. CONTRACTOR TO REFERENCE ECUA ENGINEERING MANUAL FOR CONSTRUCTION DETAILS AND PROCEDURES.



NOTES:
1. ALL FENCES INSTALLED SHALL HAVE FINISHED SIDE FACING OUT.
2. GATE MAY NOT BE APPLICABLE FOR ALL PROJECTS

6.0' HEIGHT PRIVACY FENCE DETAIL

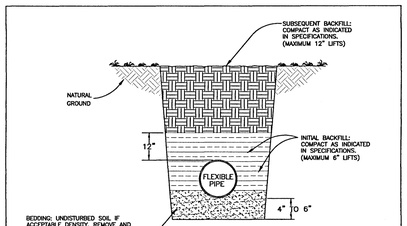
NTS



TYPICAL LATERAL SEWER SERVICE

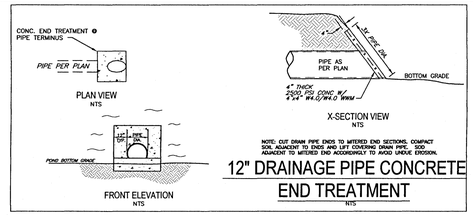
NTS

NOTES:
1. MAINTAIN 18" MINIMUM COVER OR USE 6 L.F. CONCRETE ENCASEMENT
2. ALL LATERALS TO BE 4" Ø PVC 3034 DR SEWER PIPE UNLESS FLOW DICTATES A LARGER DIAMETER.
3. A CLEAN OUT SHALL BE PROVIDED WITHIN 5 FT OF BUILDING WHERE THE SEWER LATERAL EXITS



FLEXIBLE PIPE BEDDING DETAIL

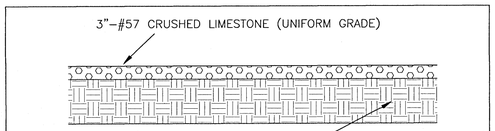
NTS



NOTE: CUT DRAIN PIPE ENDS TO MITERED END SECTIONS. COMPACT SOIL ADJACENT TO ENDS AND LIFT COVERING DRAIN PIPE. SOD ADJACENT TO MITERED END ACCORDINGLY TO AVOID UNDUE EROSION.

12" DRAINAGE PIPE CONCRETE END TREATMENT

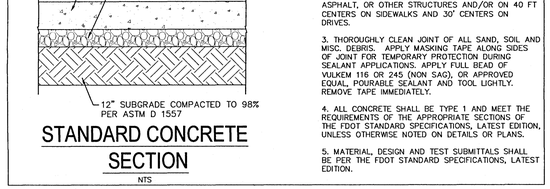
NTS



TYPICAL ROCK PARKING LOT SECTION

NTS

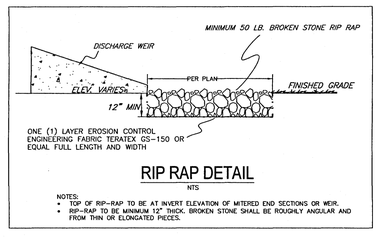
*NOTE: FINISHED SURFACE MUST WITHSTAND A MINIMUM OF 40 TONS



STANDARD CONCRETE SECTION

NTS

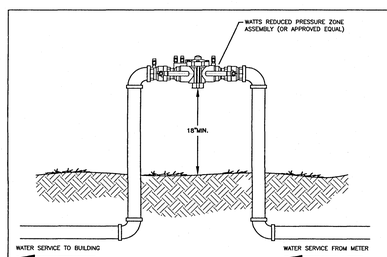
NOTES:
1. SAWED OR SCORED CONTROL JOINTS SHALL BE SPACED AT 5 FT MAXIMUM FOR SIDEWALKS AND 12 FT FOR DRIVES.
2. CONSTRUCT EXPANSION JOINTS WHERE NEW CONCRETE ABUTS NEW OR EXISTING CONCRETE CURBS, ASPHALT, OR OTHER STRUCTURES AND/OR ON 40 FT CENTERS ON SIDEWALKS AND 30' CENTERS ON DRIVES.
3. THOROUGHLY CLEAN JOINT OF ALL SAND, SOIL AND MISC. DEBRIS. APPLY MASKING TAPE ALONG SIDES OF JOINT FOR TEMPORARY PROTECTION DURING SEALANT APPLICATIONS. APPLY FULL BEAD OF VULKEM 116 OR 245 (NON SAG), OR APPROVED EQUAL, POURABLE SEALANT AND TOOL LIGHTLY. REMOVE TAPE IMMEDIATELY.
4. ALL CONCRETE SHALL BE TYPE 1 AND MEET THE REQUIREMENTS OF THE APPROPRIATE SECTIONS OF THE FDOT STANDARD SPECIFICATIONS, LATEST EDITION, UNLESS OTHERWISE NOTED ON DETAILS OR PLANS.
5. MATERIAL, DESIGN AND TEST SUBMITTALS SHALL BE PER THE FDOT STANDARD SPECIFICATIONS, LATEST EDITION.



RIP RAP DETAIL

NTS

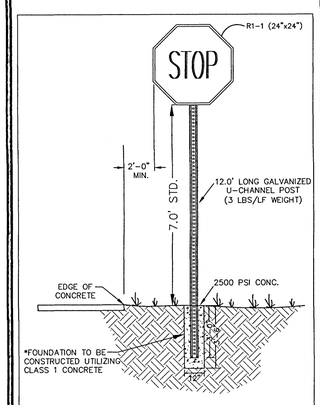
NOTES:
* TOP OF RIP-RAP TO BE AT INVERT ELEVATION OF MITERED END SECTIONS OR WEIR.
* RIP-RAP TO BE MINIMUM 12" THICK. BROKEN STONE SHALL BE ROUGHLY ANGULAR AND FROM THIN OR ELONGATED PIECES.



REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION DEVICE

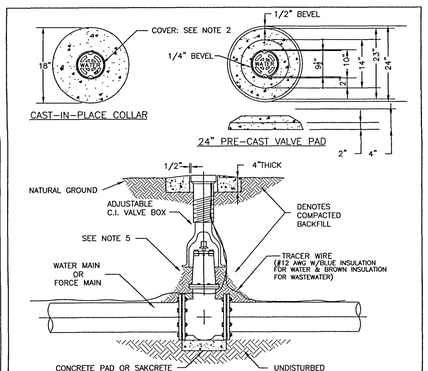
NTS

NOTES:
1. WHERE ABOVE GROUND WATER-FILLED SUPPLY PIPES, RISERS, SYSTEM RISERS, OR FEED MAINS PASS THROUGH OPEN AREAS, COLD ROOMS, PASSAGEWAYS, OR OTHER AREAS EXPOSED TO FREEZING TEMPERATURES, THE PIPE SHALL BE PROTECTED AGAINST FREEZING BY THE FOLLOWING:
   A. INSULATING COVERINGS
   B. FROSTPROOF CASINGS
   C. OTHER RELIABLE MEANS CAPABLE OF MAINTAINING A MINIMUM TEMPERATURE BETWEEN 40°F AND 120°F (4°C AND 48.9°C)
2. BACKFLOW PREVENTION DEVICE TO BE INSTALLED AS PER 2014 FLORIDA BUILDING CODE.
3. LOCATE BACKFLOW PREVENTER ON THE DEVELOPER SIDE OF THE METER BOX.
4. BACKFLOW PREVENTER TO BE TESTED AFTER INSTALLATION AND PRIOR TO SERVICE BEING TURNED ON.
5. THRUST BLOCKS NOT ILLUSTRATED BUT SHALL BE INSTALLED AS NECESSARY.



STOP SIGN/POST DETAIL

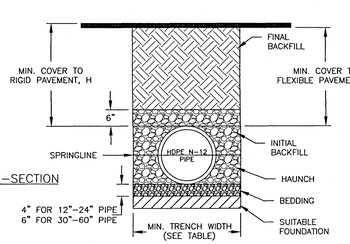
NTS



TYPICAL VALVE & BOX INSTALLATION

NTS

NOTES:
1. VALVE BOX AND BOOT SHALL BE CAST IRON.
2. VALVE COVER SHALL BE MARKED "WATER". OR "SEWER" AS APPLICABLE.
3. VALVE BOX TOP SHALL BE FLUSH WITH FINISHED GRADE OR 1/2" ABOVE NATURAL GROUND LEVEL.
4. GATE VALVE SHALL BE RESILIENT SEAT WITH MECHANICAL JOINT ENDS OR APPROVED EQUIVALENT.
5. EARTH UNDER FLANGE OF VALVE BOX & COLLAR TO BE FIRM AND WELL TAMPED TO ENSURE AGAINST VALVE BOX SETTLING.



TYPICAL TRENCH CROSS-SECTION
(N.T.S.)

NOTES:

1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST ADDITION
2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-60" (750mm-900mm).
5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
6. MINIMUM COVER MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIA.	MIN. TRENCH WIDTH
4"	21"
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
42"	72"
48"	80"
54"	88"
60"	96"

MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

	SURFACE LIVE LOADING CONDITION	
PIPE DIAM.	H-25	HEAVY CONSTRUCTION (75T AXLE LOAD) *
12"-48"	12"	48"
54"-60"	24"	60"

* VEHICLES IN EXCESS OF 75T MAY REQUIRE ADDITIONAL COVER

MINIMUM RECOMMENDED COVER BASED ON RAILWAY LOADING CONDITIONS

PIPE DIAM.	COOPER E-80**
UP TO 24"	24"
30"-36"	36"
42"-60"	48"

** COVER IS MEASURED FROM TOP OF PIPE TO BOTTOM OF RAILWAY TIE.
*** E-80 COVER REQUIREMENTS, ARE ONLY APPLICABLE TO ASTM F 2306 PIPE.

HDPE PIPE-TYPICAL TRENCH INSTALLATION DETAIL

NTS

OTHER PIPE	HORIZONTAL SEPARATION	CROSSINGS (1)	JOINT SPACING CROSSINGS (FULL JOINT CENTERED)
STORM SEWER, STORMWATER FORCE MAIN	WATER MAIN, 3 FT. MINIMUM, OTHER PIPE	WATER MAIN, 12 INCHES IS THE MINIMUM, EXCEPT FOR STORM SEWER, THEN 6 INCHES IS THE MINIMUM AND 12 INCHES IS PREFERRED, OTHER PIPE	ALTERNATE 3 FT. MINIMUM, WATER MAIN
GRAVITY OR PRESSURE SANITARY SEWER, SANITARY SEWER FORCE MAIN	WATER MAIN, 10 FT. PREFERRED 6 FT. MINIMUM (2), OTHER PIPE	WATER MAIN, 12 INCHES IS THE MINIMUM, EXCEPT FOR GRAVITY SEWER, THEN 6 INCHES IS THE MINIMUM AND 12 INCHES IS PREFERRED, OTHER PIPE	ALTERNATE 6 FT. MINIMUM, WATER MAIN

(1) WATER MAIN SHOULD ACROSS ABOVE OTHER PIPE. WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
(2) 3 FT. GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.

NOTES:
A. INFORMATION PROVIDED FROM FDEP RULE 62-555. IF OTHER FDEP RULES CONFLICT, THEN USE THE MOST STRINGENT RULE.
B. IF THERE ARE CONFLICTS IN THE SEPARATION REQUIREMENTS BETWEEN COLLECTION SYSTEMS AND DRINKING WATER FACILITIES ESTABLISHED IN FOOTNOTES (1) AND (2) ABOVE THOSE ESTABLISHED IN CHAPTER 62-532 OR 62-555, F.A.C., THEN THE REQUIREMENTS IN CHAPTER 62-532 OR 62-555, F.A.C., SHALL APPLY

WATER SEWER/SEPARATION

NO.	DATE	REVISIONS
1	11/06/2020	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH 15TH STREET
PENSACOLA, FLORIDA 32505
850 434-2603
FAX 850-434-2650
TOM@SELANDDESIGN.COM

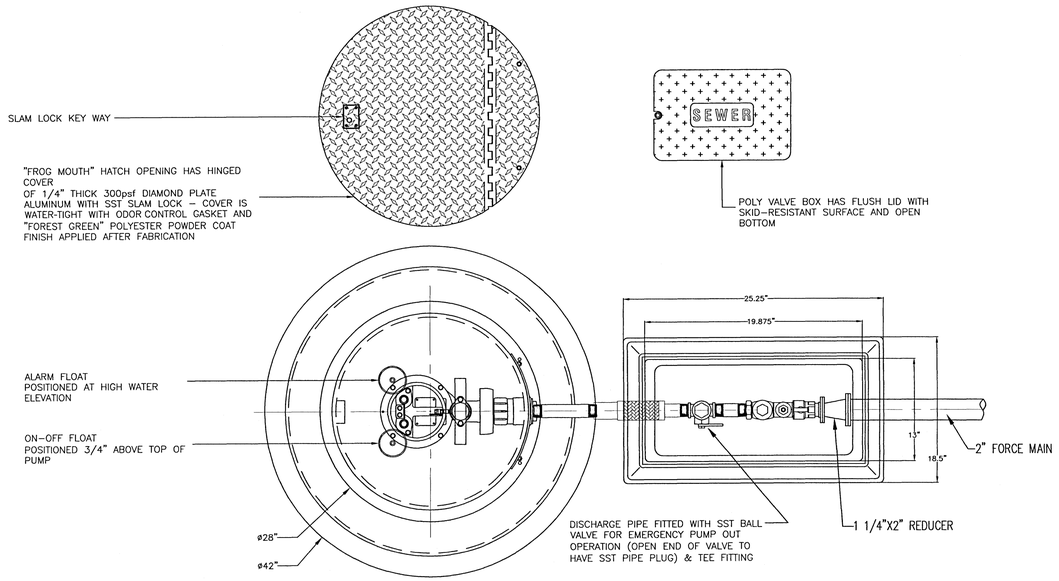
THOMAS E. HAMMOND JR. LICENSE 54574 STATE OF FLORIDA PROFESSIONAL ENGINEER

SITE DEVELOPMENT PLANS FOR
FRONTIER MOTORS
PRIVATE STORAGE
CONSTRUCTION DETAILS
ESCAMBIA COUNTY FLORIDA

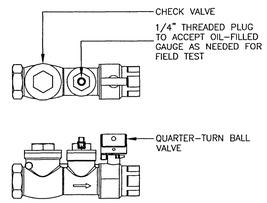
DRAWN BY: CJG
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 9-3-20
SCALE: AS SHOWN
NOT RELEASED FOR CONSTRUCTION
BY: DATE:

PROJECT NO: 20-035

SHEET: C9



TOP VIEW



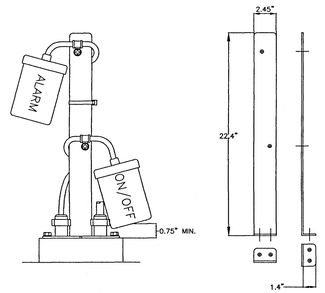
BARNES #140774 1-1/4" SST
CURBSTOP/CHECK VALVE ASSEMBLY
DETAIL 3

PUMP DATA TABLE	
MANUFACTURER	
MODEL	32GF22.2H
VOLTAGE	230
PHASE	1
HP	3
FLA	14.2
RPM	3440
GPM	21
TDH (FEET)	116

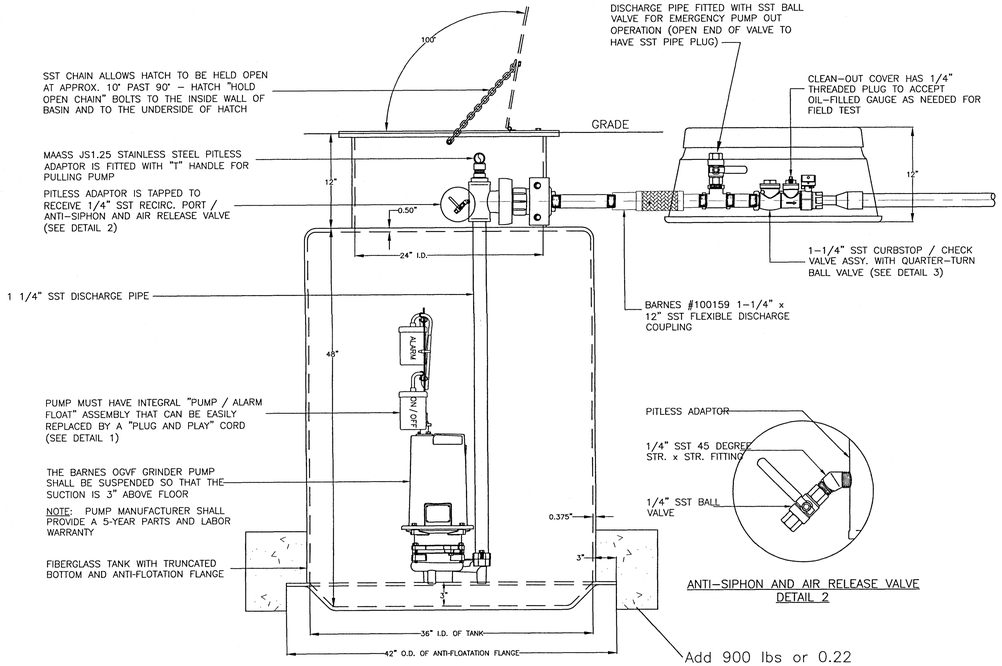
WET WELL DATA	
WET WELL DIAMETER	36"
WET WELL DEPTH	48"
INFLUENT ELEV.	91.10
FORCE MAIN DIAMETER	2"
BOTTOM ELEV.	87.50
PUMP OFF ELEV.	89.00
PUMP ON ELEV.	90.20
HIGH LEVEL ALARM ELEV.	91.00
TOP ELEV.	92.50

PUMP AND WET WELL REQUIREMENTS:

PUMP SHALL BE MODEL 32GF22.2H SUBMERSIBLE GRINDER PUMP AS MANUFACTURED BY HCP PUMPS AMERICA. PUMP SHALL BE RATED AT 3 HP, 230 VOLT/1-PHASE. PUMP SHALL DELIVER 21 GPM @ 116 FT. TOTAL DYNAMIC HEAD. IMPELLER SHALL BE CAST IRON NON-OVERLOADING DESIGN. THE PUMP SHALL BE MOUNTED IN A 36 INCH BY 60 INCH DEEP FIBERGLASS BASIN. BASIN SHALL BE COMPLETELY ASSEMBLED AND AND SHALL INCLUDE ANTI-FLOATATION FLANGES, NON-MERCURY FLOAT SWITCHES, STAINLESS STEEL HOOK SWITCH BRACKET, PULTRUDED GUIDE RAIL SYSTEMS AND PUMP LIFT CHAINS. BASIN COVER SHALL BE SPLIT HINGED ALUMINUM WITH LOCKING ACCESS DOOR. BASIN WILL HAVE DISCHARGE WITH VALVES INSTALLED AND READY TO ACCEPT PUMP.
CONTROL PANEL SHALL INCLUDE A GENERATOR RECEPTACLE FOR BACK UP POWER DURING EMERGENCY SITUATIONS. ALARM SHALL ACTIVATE WHEN LIQUID LEVEL RISES TO THE HIGH LEVEL ALARM SWITCH. UNDER NORMAL OPERATION THE LEAD PUMP ON SWITCH SHALL ACTIVATE THE LEAD PUMP (IN THIS CASE THE ONLY PUMP) AND THE PUMP OFF SWITCH SHALL STOP THE PUMP WHEN THE LEVEL DROPS TO THAT POINT. NON-MERCURY FLOAT SWITCHES SHALL BE PROVIDED. FLOATS SHALL BE POLYPROPYLENE CASED. FLOAT SWITCH BRACKET SHALL BE STAINLESS STEEL AND SHALL HAVE 4 INCH HOOKS. ALL HARDWARE SHALL BE 304 STAINLESS STEEL.

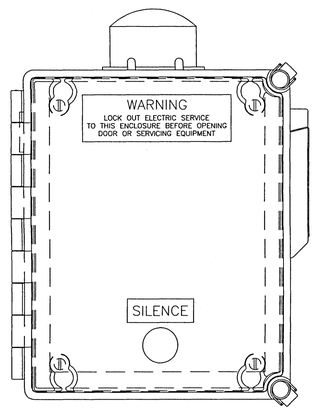


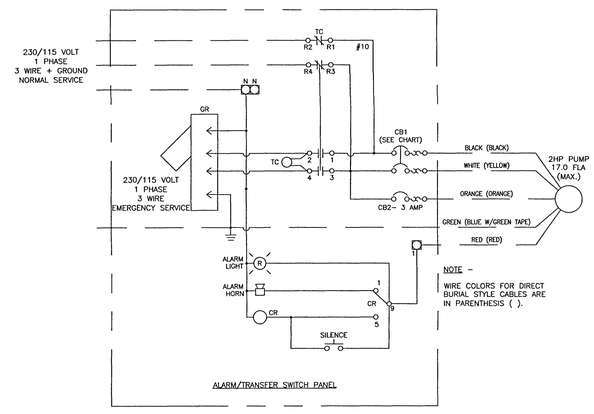
SST FLOAT BRACKET ASSEMBLY
DETAIL 1



WET WELL ELEVATION

ANTI-SIPHON AND AIR RELEASE VALVE
DETAIL 2





ALARM/TRANSFER SWITCH PANEL

PART NO.	STYLE	CB1 BREAKER SIZE
111666	OGP,OGV,SGPC	25 AMP DOUBLE POLE
111583	SGV	30 AMP DOUBLE POLE

NOTES:
1. PANEL GROUND TERMINAL MUST BE CONNECTED TO EARTH GROUND
2. FIELD WIRING SHOWN AS ——— ——— ———
3. FACTORY WIRING SHOWN AS ———
4. GENERATOR RECEPTACLE NEMA CODE L14-30.

NO.	DATE	REVISIONS
1	11/06/2020	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH "S" STREET
PENSACOLA, FLORIDA 32505
850 434-2603
FAX 850-434-2650
TOM@SELANDDESIGN.COM

THOMAS G. HAMMOND, JR. LICENSE NO. 54574 STATE OF FLORIDA PROFESSIONAL ENGINEER
11/9/2020

SITE DEVELOPMENT PLANS FOR
FRONTIER MOTORS PRIVATE STORAGE
LIFT STATION DETAILS
ESCAMBIA COUNTY FLORIDA

DRAWN BY: CJG
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 9-3-20
SCALE: AS SHOWN
NOT RELEASED FOR CONSTRUCTION
BY: DATE:

PROJECT NO: 20-035

SHEET: C10

GRAPHIC SCALE

22"x34" SCALE 1 inch = **10 ft.**

10 0 5 10 20 40

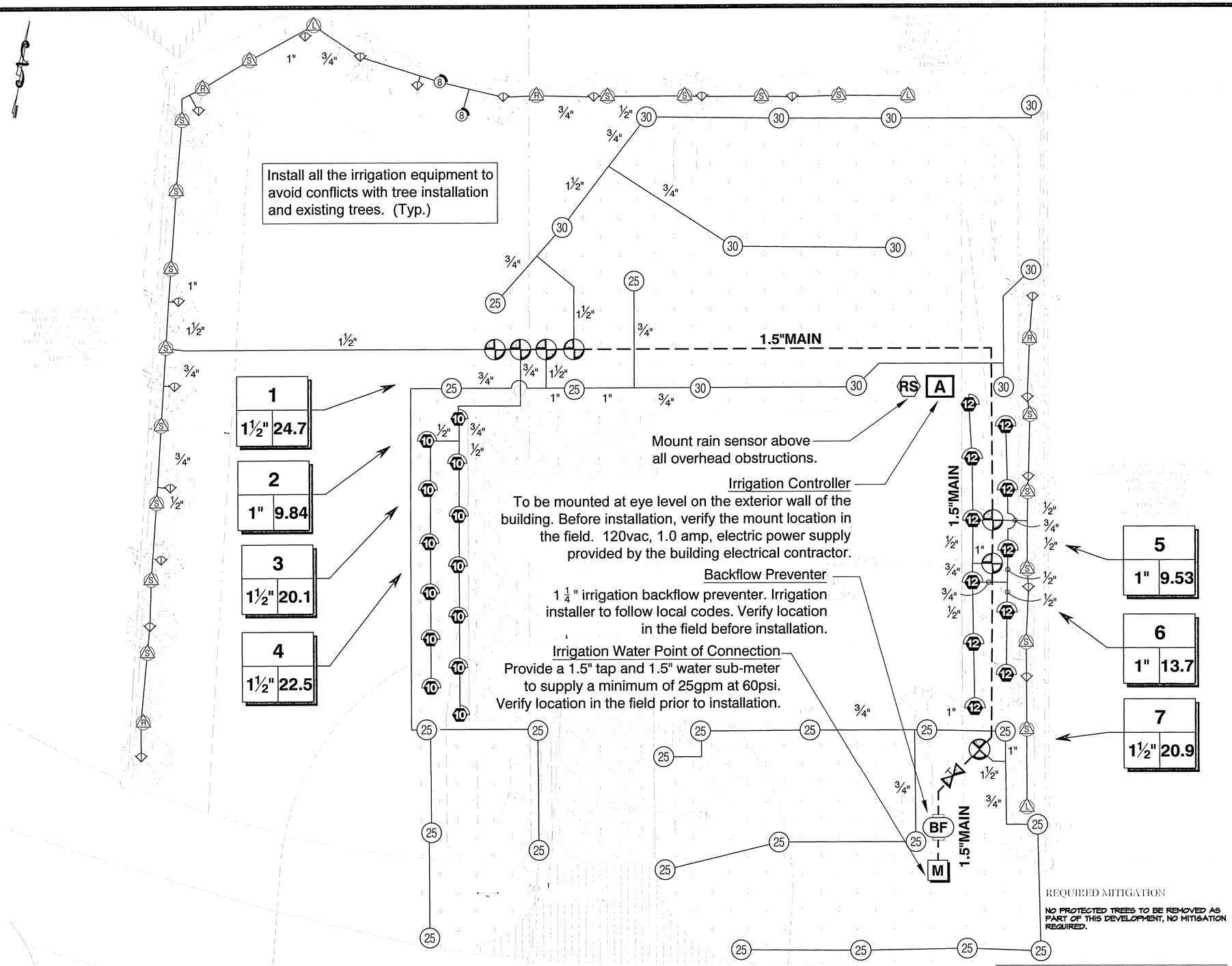
11"x17" SCALE 1 inch = **20 ft.**

811 TWO DAYS BEFORE YOU DIG
CALL: TOLL FREE
1.800.422.4133
UNDERGROUND SERVICE ALERT

IDS
IRRI DESIGN STUDIO
IRRIGATION DESIGN & CONSULTING
WWW.IRRIDESIGNSTUDIO.COM

IRRIGATION NOTES

1. The plans and drawings are diagrammatic of the work to be performed. some components may be shown outside the work area for clarity. The work shall be executed in a manner to avoid conflicts with utilities and other elements of construction, including landscape materials. All deviations from the plans shall be approved by the owner's representative before being installed.
2. The irrigation system shall be installed in accordance with the plans, irrigation system specifications and all contract documents. The contractor shall comply with all current local codes, ordinances, and regulations.
3. All irrigation mainline and lateral lines are to not exceed a velocity of 5FPS.
4. The contractor shall not willfully install any aspect of the irrigation system as shown on the plans and drawings, when it is obvious in the field that obstructions, grade differences, or discrepancies exist that might not have been known during the design of the irrigation system. In the event that notification of the conflict is not approved by the owner's representative, the contractor will assume full responsibility for all revisions.
5. Refer to the landscape plans when trenching to avoid tree root balls when installing irrigation equipment. Call 811 and refer to utility plans prior to trenching.
6. Irrigation contractor shall verify all site conditions, including utility locations before installation of the irrigation system. The contractor is responsible for coordinating installation with all other construction on site, especially landscape installation. The Irrigation system shall be relocated at no additional cost for any conflict with landscape installation or any other site construction or existing conditions.
7. Sixty (60) psi minimum static water pressure is required for the efficient operation of the irrigation system as designed. Verify the minimum static water pressure is available at the project site prior to beginning the irrigation installation. Notify the irrigation design consultant and landscape architect in writing if the minimum static water pressure or water volume is not available.
8. Where existing or new trees, light fixtures, signs, electronic controllers and/or other objects are an obstruction to an irrigation sprinkler's pattern, the component and piping shall be relocated as necessary to obtain proper coverage of an irrigation sprinkler's pattern. The component and piping shall be relocated as necessary to obtain the proper coverage without damaging the obstruction.
9. 100% head to head coverage is required. Assure that any modified spacing does not exceed the spacing shown in the plans.
11. Irrigation contractor shall adjust all sprinklers to avoid over spray onto impervious areas.
12. All materials and equipment shown shall be new and installed as shown on the plans. If the drawings do not thoroughly describe the techniques to be used, the installer shall follow the installation methods and instructions recommended by the product manufacturer.
13. The location of the irrigation mainline shall be identified in the field and approved by the owner's representative before installation.
14. Contractor is to submit product specification sheets for all irrigation equipment to be used for approval by the landscape architect prior to installation.
15. The quantities shown in the legend sheets shall not be used for bidding purposes. The contractor will be responsible for conducting a comprehensive materials takeoff to determine the actual quantities of material necessary to execute the work described in the documents.
16. All trenches shall be backfilled with clean debris-free materials.
17. Irrigation contractor is to install christy zone tags with the corresponding controller zone number at each control valve.
18. As built documents are to be provided to the owner upon completion of the project. The mainline, control valves, isolation valves, ground rods and splice boxes shall be located with a measurement from two fixed points.
19. Irrigation contractor shall secure any and all necessary permits for the work prior to commencement of on-site operations.
20. A mainline pressure test is to be conducted before backfilling. All findings are to be reported to the landscape architect within twenty four hours post test.
21. Bahia turf is to be irrigated until established. The owner will then determine wether to continue irrigating the Bahia. Shrub zones are to be irrigated per the county allowance.



NO.	DATE	REVISIONS
1	11/06/2020	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH "S" STREET
PENSACOLA, FLORIDA 32505
850 434-2603
FAX 850-434-2650
TOM@SELANDDESIGN.COM

LANDSCAPE ARCHITECT
REGISTERED
WILLIAM S. HAMMOND
970
STATE OF FLORIDA

SITE DEVELOPMENT PLANS FOR
FRONTIER MOTORS PRIVATE STORAGE
IRRIGATION PLAN
ESCAMBIA COUNTY FLORIDA

DRAWN BY: CJG
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 9-3-20
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PROVENCE
LAND PLANNING
SITE DESIGN
LANDSCAPE ARCHITECTURE
Destin, Florida
Pensacola/Gulf Breeze, Florida
(850) 723-4282

PROJECT NO: 20-035

SHEET: C7.1

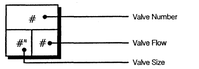
IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
Q T H (10) F	Rain Bird 1806-U-PRS U10 Series Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. Pressure Regulating.	13	30
Q T H TT TQ (12) F	Rain Bird 1806-U-PRS U12 Series Turf Spray 6.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. Pressure Regulating.	11	30
EST LCS RCS CST SST	Rain Bird 1812-PRS-U 15 Strip Series Shrub Spray, 12.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. With Pressure Regulating Device.	25	30
Q T H F	Rain Bird 1812-PRS-U U8 Series Shrub Spray, 12.0" Pop-Up Sprinkler with Co-Molded Wiper Seal. Side and Bottom Inlet. 1/2" NPT Female Threaded Inlet. With Pressure Regulating Device.	2	30
1401 1402 1404 1408	Rain Bird 1800-1400 Flood 1401 Fixed flow rate (0.25-2.0GPM), full circle bubbler, 1/2" FIPT.	19	30

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	GPM	RADIUS
(25)	Rain Bird 5006-R-PC,FC-MPR Turf Rotor, 6.0" Pop-Up, Plastic Riser, Matched Precipitation Rotor (MPR nozzle). Arc and Radius as per Symbol. 25 ft=red, 30 ft=green, 35ft=beige. Pressure Regulating.	22	35		24'
(30)	Rain Bird 5006-R-PC,FC-MPR Turf Rotor, 6.0" Pop-Up, Plastic Riser, Matched Precipitation Rotor (MPR nozzle). Arc and Radius as per Symbol. 25 ft=red, 30 ft=green, 35ft=beige. Pressure Regulating.	11	35		30'

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird PEB-PRS-D 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Pressure Regulator Module.	7
	Landscape Products Inc. CWV Slip Socket 1/2", 3/4", 1", 1-1/4", 1-1/2",2" Slip Socket Plastic Ball Valve. Quarter-turn shutoff designed for irrigation, spas, pools and other general cold water applications. 125 psi rating. Same size as mainline.	1
BF	Watts LF909M1 1-1/4" Lead Free Reduced Pressure Backflow Preventer.	1
A	Rain Bird ESP4ME3 with (2) ESP-SM3 10 Station, Hybrid Modular Outdoor Controller. For Residential or Light Commercial Use. LNK WiFi Module and Flow Sensor Ready.	1
RS	Rain Bird RSD-BEx Rain Sensor, with metal latching bracket, extension wire.	1
M	Water Meter 1-1/2" Rainbird FMD Series sub-meter	1
	Irrigation Lateral Line: PVC Class 200 SDR 21	1,558 l.f.
	Irrigation Mainline: PVC Class 200 SDR 21	202.2 l.f.

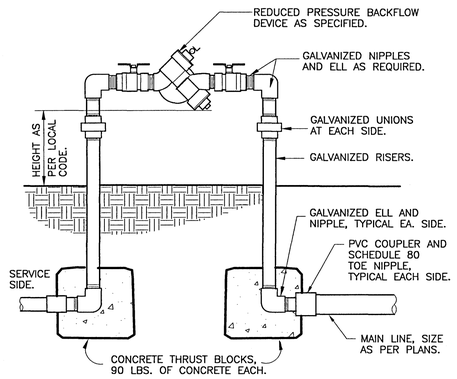
Valve Callout



*The quantities shown in the legend sheets shall not be used for bidding purposes. The contractor will be responsible for conducting a comprehensive materials takeoff to determine the actual quantities of material necessary to execute the work described in the documents.

VALVE SCHEDULE

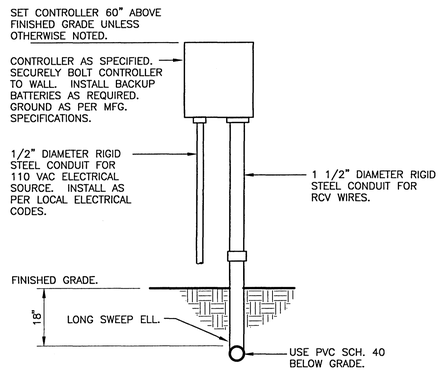
NUMBER	MODEL	SIZE	TYPE	GPM	WIRE	PSI	PRECIP
1	Rain Bird PEB-PRS-D	1-1/2"	Shrub Spray	24.70	108.9	39.65	1.94 in/h
2	Rain Bird PEB-PRS-D	1"	Turf Spray	9.84	103.9	34.44	1.46 in/h
3	Rain Bird PEB-PRS-D	1-1/2"	Turf Rotor	20.08	98.9	41.01	0.60 in/h
4	Rain Bird PEB-PRS-D	1-1/2"	Turf Rotor	22.51	93.5	41.06	0.59 in/h
5	Rain Bird PEB-PRS-D	1"	Shrub Spray	9.53	126.9	33.20	2.06 in/h
6	Rain Bird PEB-PRS-D	1"	Turf Spray	13.65	135.3	33.16	1.44 in/h
7	Rain Bird PEB-PRS-D	1-1/2"	Turf Rotor	20.94	172.4	40.55	0.71 in/h
	Common Wire				202.2		



1 REDUCED PRESSURE BACKFLOW DEVICE

1" = 1'-0"

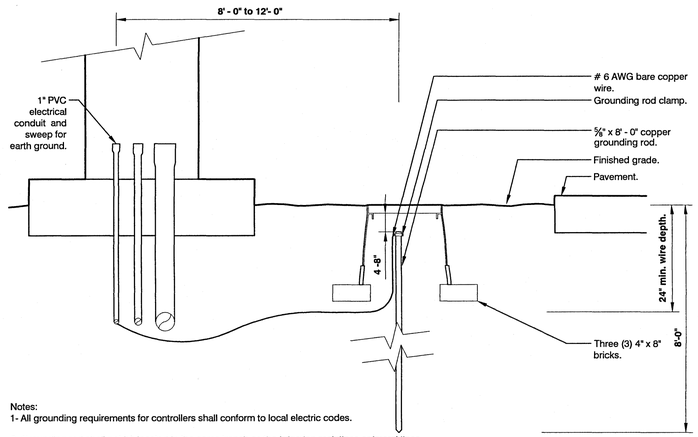
FX-IR-FX-BACK-03



2 WALL MOUNT CONTROLLER

1" = 1'-0"

FX-IR-FX-CONT-07



Notes:
1- All grounding requirements for controllers shall conform to local electric codes.

2- Grounding rod shall not be located in the same trench as the irrigation mainlines or lateral lines.

3- Valve box shall be wrapped with a minimum 3 mil thick plastic and secured to the valve box using duct tape or electrical tape.

4- Install grounding rod per the controller manufacturer's specifications and recommendations.

3 GROUNDING ROD

1 1/2" = 1'-0"

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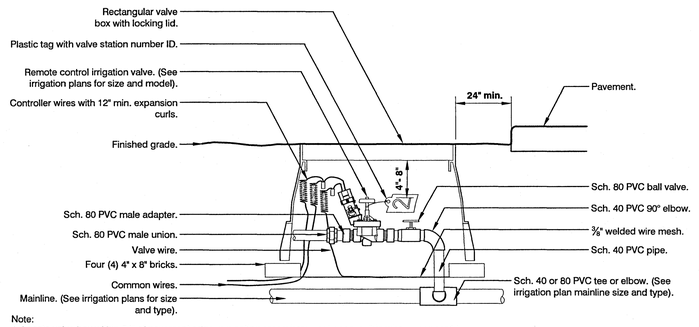
FX-IR-FX-AUXEQ-01



Note:
1- Locate valve box within 24" of pavement edge in planting area where easily accessible whenever possible.

2- Common wire and controller wire shall be direct burial 14 AWG or larger. Color: Common (white), controller wire for turf (blue), and controller wire for shrubs (red). (See specifications for 2-wire controllers).

3- All wire runs shall be continuous without any splices unless approved by the Owner's Representative. See splice box detail. Wire connections shall be made using DBR/Y-6 connectors or approved equal.

4-Valve box shall be wrapped with min. 3 mil thick plastic and secure it using duct tape or electrical tape.

5- Mainlines 4" or larger shall use saddles at the connections points to the irrigation valve. (See specifications for irrigations saddles).

6- All Sch. 80 PVC to Sch. 40 PVC threaded connections shall be made using teflon tape.

7- Valve boxes shall be located in planting areas.

4 REMOTE CONTROL IRRIGATION VALVE

1 1/2" = 1'-0"

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FX-IR-FX-RCV-02

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PENSACOLA, FLORIDA 32505
850 434-2603
FAX 850-434-2650
TOM@SELANDDESIGN.COM

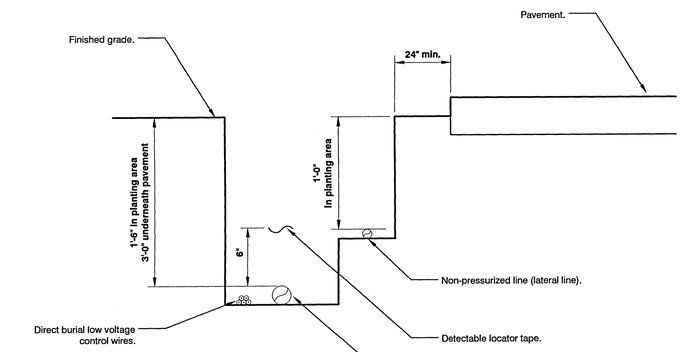
LANDSCAPE ARCHITECT
CHARLES J. WILLIAMS
REGISTERED 2370 STATE OF FLORIDA

SITE DEVELOPMENT PLANS FOR
FRONTIER MOTORS PRIVATE STORAGE
IRRIGATION LEGEND & DETAILS
ESCAMBIA COUNTY FLORIDA

DRAWN BY: CJS
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 9-3-20
SCALE: AS SHOWN
NOT RELEASED FOR CONSTRUCTION
BY: DATE:

PROJECT NO: 20-035

SHEET: C7.2



NOTES:
1- See irrigation legend for mainline and lateral line pipe size and type.

2- Direct burial control wires shall be installed in Sch. 40 PVC electrical conduit if required.

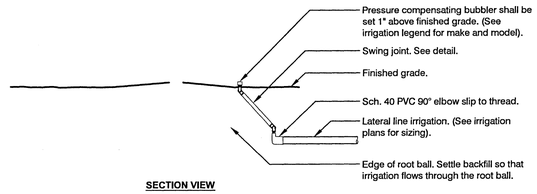
3- 2-wire irrigation wire shall be installed in Sch. 40 PVC electrical conduit.

4- Detectable locator tape shall be located six inches (6") above the entire mainline run.

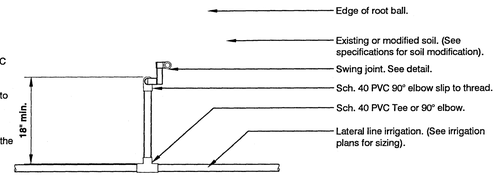
1 IRRIGATION TRENCHING

1 1/2" = 1'-0"

FX-IR-FX-AUXEQ-08



SECTION VIEW



PLAN VIEW

Notes:
1- All irrigation fittings shall be Sch. 40 PVC unless specified otherwise.

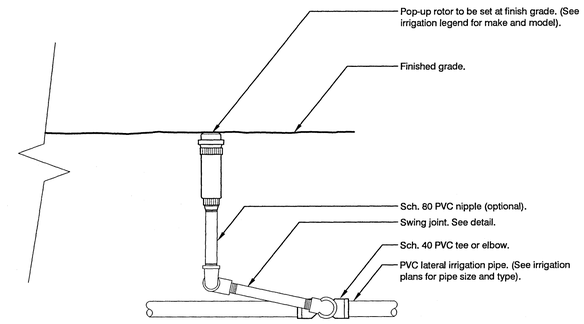
2- All threaded connections from Sch. 40 to Sch. 80 PVC shall be made using teflon tape.

3- Contractor shall settle the area around the bubbler and edge of the root ball so that all irrigation flows through the root ball.

2 IRRIGATION BUBBLER W/ LAYOUT

3/4" = 1'-0"

FX-IR-FX-BUBB-04



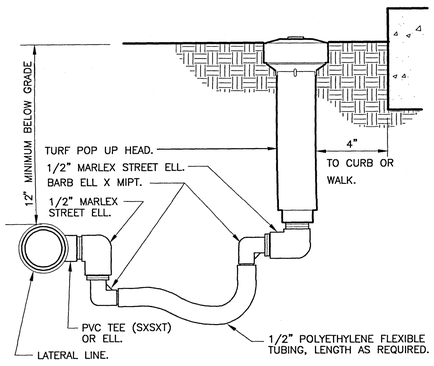
Notes:
1- All threaded connection points between Sch. 40 PVC and Sch. 80 PVC fitting shall be installed using teflon tape.

2- Contractor shall compact soil around rotor and riser prior to planting, plugging, seeding, or laying of sod.

3 ROTOR SPRAYHEAD

1 1/2" = 1'-0"

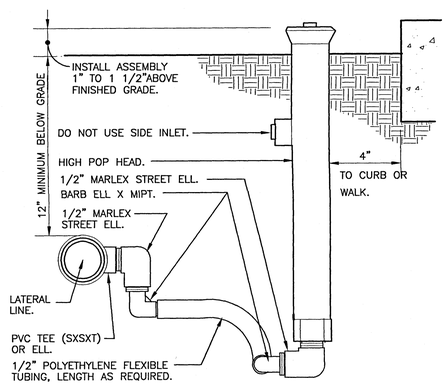
FX-IR-FX-HEAD-02



4 TURF SPRAY FLEX ASSEMBLY

3" = 1'-0"

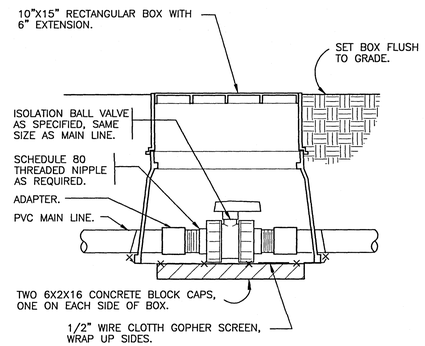
FX-IR-FX-HEAD-05



5 SHRUB SPRAY HIGHPOP W/FLEX ASSEMBLY

3" = 1'-0"

FX-IR-FX-HEAD-09



6 TRUE UNION BALL ISOLATION VALVE

1 1/2" = 1'-0"

FX-IR-FX-ISOV-04

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REGISTERED LANDSCAPE ARCHITECT
PHILLIP WILLIAMS
LA 1282
STATE OF FLORIDA

SITE DEVELOPMENT PLANS FOR
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