

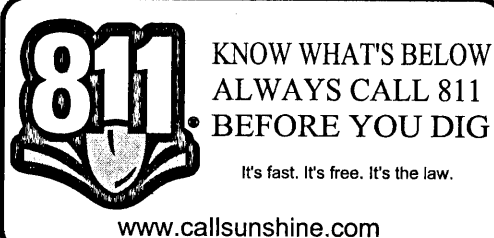
# SITE DEVELOPMENT DRAWINGS FOR ROOMS TO GO PATIO

5827 NORTH DAVIS HWY.  
PENSACOLA, FLORIDA, 32503; ESCAMBIA COUNTY  
SECTIONS 35, TOWNSHIP 1 SOUTH, RANGE 30 EAST  
AUGUST 24, 2020

Approved  
Escambia County RDC Plan Review  
Date  
12-2-2020  
Priced by: *John Hamilton*  
Printed Date: 12-2-2020  
This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of the design. A Developer's Order (DO) must be obtained from the Escambia County Board of Commissioners prior to the issuance of a final plat or the issuance of a building permit. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

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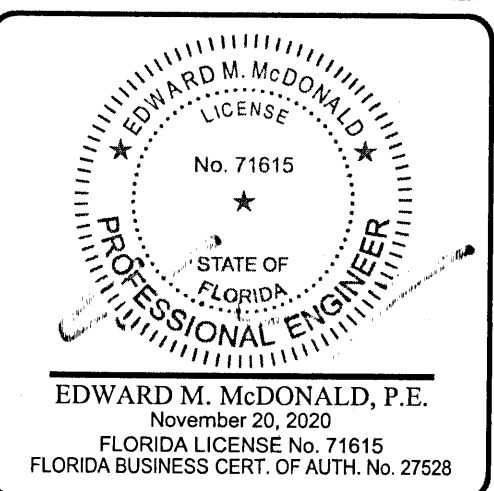
REVISIONS				
REV	DATE	COMMENT	BY	
1	9/11/20	REV PER ECWA COMMENTS DATED 9/10/20	CTD	
2	9/30/20	REV PER COUNTY COMMENTS DATED 9/11/20	CTD	
3	10/7/20	REV PER RTG COMMENTS DATED 10/1/20	CTD	
4	10/23/20	OWNER'S PERMIT 10/23/20	HR	
5	11/10/20	REV PER FOOT DRAINAGE COMMENTS DATED 10/13/20	CTD	
6	11/17/20	REV PER FOOT ACCESS COMMENTS DATED 10/15/20	CTD	



PERMIT SET  
PROJECT No.: FT190076  
DRAWN BY: HR / CTD  
CHECKED BY: EMM  
DATE: 8/24/2020  
SCALE: AS NOTED  
CAD I.D.: FT190076-C-1.0 CVR

PROJECT:  
**ROOMS TO GO PATIO  
PENSACOLA**  
FOR  
5827 N. DAVIS HWY.  
PENSACOLA  
ESCAMBIA COUNTY, FLORIDA

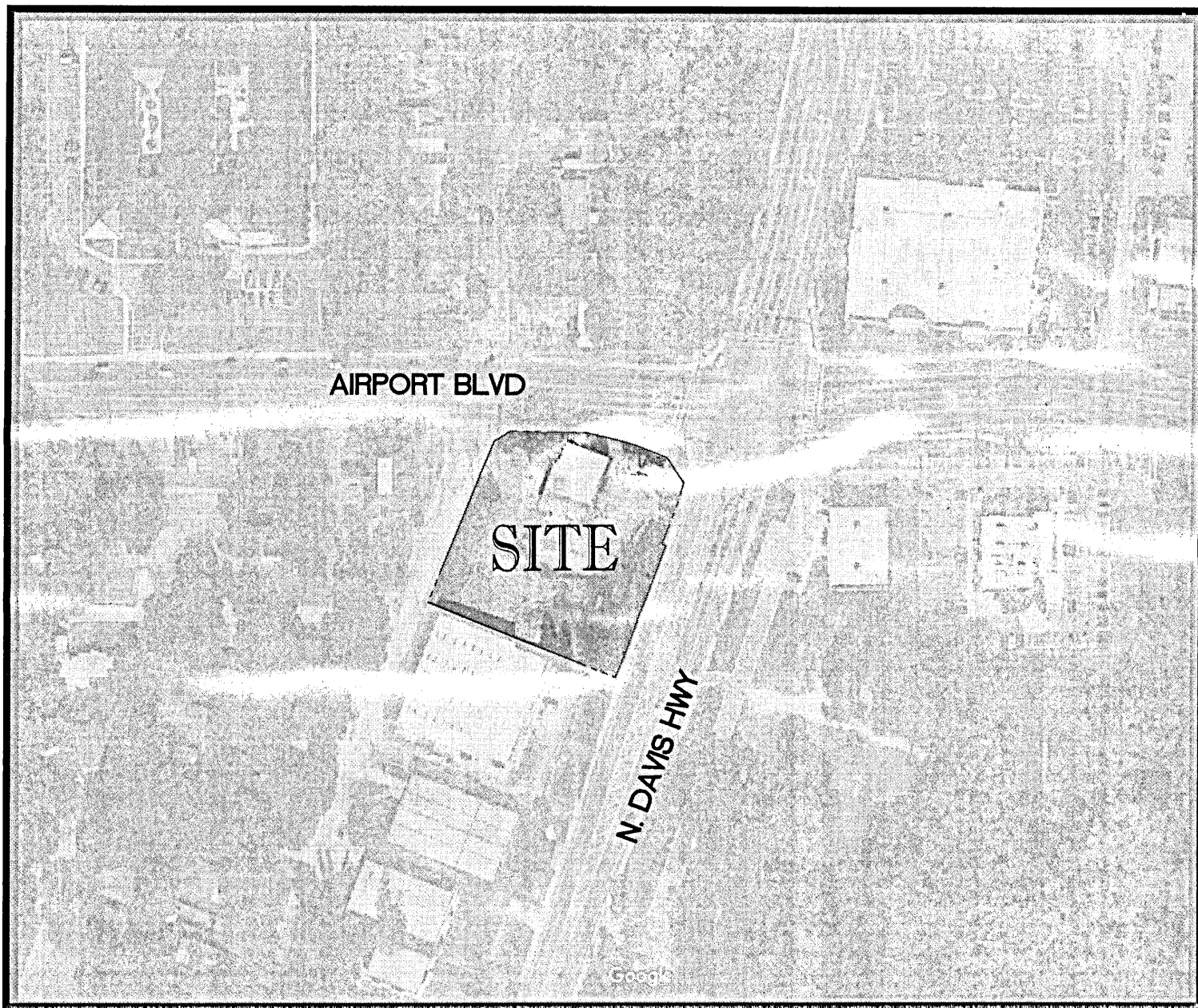
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SHEET TITLE:  
**COVER SHEET**  
SHEET NUMBER:  
**C-1.0**

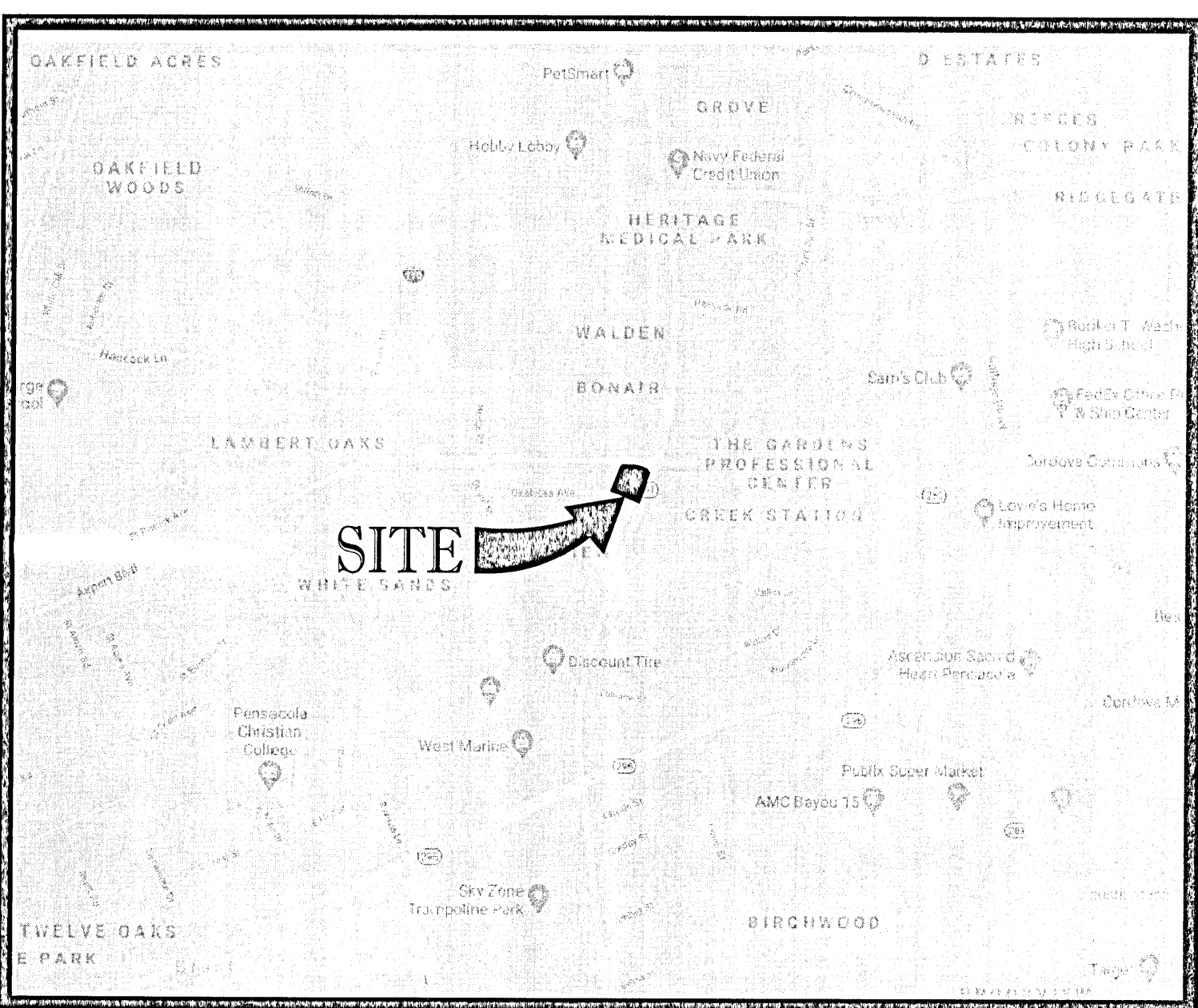
## VICINITY \ AERIAL MAP

SCALE: 1" = 200'



## LOCATION MAP

SCALE: 1" = 300'



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ALTA SURVEY (BY OTHERS)	1 OF 2

## PREPARED BY

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## FEMA MAP INFORMATION:

THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT-ANNUAL-CHANCE FLOODPLAINS, NO BFES OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0380G, MAP REVISION DATED SEPTEMBER 29, 2006.

## DATUM NOTE:

CONTOURS AND SPOT ELEVATIONS SHOWN HEREON ARE BASED ON U.S.G.S. DATUM (NAVD 88 - GEOID 12B). SITE BENCHMARKS ARE SHOWN HEREON.

## OVERALL LEGAL DESCRIPTION

A PARCEL OF LAND SITUATED IN SECTION 35, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND 1/2 INCH CAPPED REBAR LYING AT THE NORTHERLY END OF THE MITERED INTERSECTION BETWEEN THE SOUTHERLY RIGHT OF WAY OF AIRPORT BOULEVARD (HAVING A 100' PUBLIC RIGHT OF WAY) AND THE WESTERLY RIGHT OF WAY OF NORTH DAVIS HIGHWAY (HAVING A VARIABLE WIDTH PUBLIC RIGHT OF WAY), THENCE RUN SOUTH 34 DEGREES 51 MINUTES 14 SECONDS EAST ALONG SAID MITER FOR A DISTANCE OF 38.58 FEET TO A SET 58 INCH CAPPED REBAR, SAID POINT LYING ON THE SOUTHERLY END OF THE MITERED INTERSECTION BETWEEN THE SOUTHERLY RIGHT OF WAY OF AIRPORT BOULEVARD AND THE WESTERLY RIGHT OF WAY OF NORTH DAVIS HIGHWAY, SAID POINT ALSO LYING ON A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 3,849.64 FEET, A CENTRAL ANGLE OF 90 DEGREES 38 MINUTES 45 SECONDS, A CHORD BEARING OF SOUTH 20 DEGREES 12 MINUTES 22 SECONDS WEST, AND A CHORD DISTANCE OF 41.15 FEET, THENCE RUN ALONG THE ARC OF SAID CURVE AND SAID RIGHT OF WAY FOR A DISTANCE OF 41.15 FEET TO A POINT; THENCE RUN SOUTH 20 DEGREES 26 MINUTES 34 SECONDS WEST FOR A DISTANCE OF 38.32 FEET TO A SET 58 INCH CAPPED REBAR, THENCE RUN SOUTH 69 DEGREES 33 MINUTES 28 SECONDS EAST FOR A DISTANCE OF 5.00 FEET TO A SET 58 INCH CAPPED REBAR, THENCE RUN SOUTH 20 DEGREES 26 MINUTES 34 SECONDS WEST FOR A DISTANCE OF 174.46 FEET TO A POINT, SAID POINT BEING NORTH 23 DEGREES 12 MINUTES 16 SECONDS EAST A DISTANCE OF 0.80 FEET FROM A FOUND DISTURBED 1/2" REBAR, THENCE LEAVING SAID WESTERLY RIGHT OF WAY OF NORTH DAVIS HIGHWAY RUN NORTH 67 DEGREES 44 MINUTES 22 SECONDS WEST FOR A DISTANCE OF 27.79 FEET TO A FOUND 1/2 INCH CAPPED REBAR LYING ON THE EASTERLY LINE OF BLOCK 1, CRESTVIEW SUBDIVISION, AS RECORDED IN PLAT BOOK 1, PAGE 13 OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA, SAID LINE ALSO BEING THE WESTERLY LINE OF THE RIGHT OF WAY FORMERLY KNOWN AS FERRY PASS ROAD HAVING A 33' RIGHT OF WAY; THENCE LEAVING SAID EASTERLY LINE OF BLOCK 1, CRESTVIEW SUBDIVISION AND WESTERLY LINE OF THE RIGHT OF WAY FORMERLY KNOWN AS FERRY PASS ROAD RUN NORTH 67 DEGREES 44 MINUTES 22 SECONDS WEST FOR A DISTANCE OF 221.85 FEET TO A FOUND 1 INCH OPEN TOP PIPE LYING ON THE EASTERLY RIGHT OF WAY OF WALTON STREET (HAVING A 50' PUBLIC RIGHT OF WAY), SAID LINE ALSO BEING THE WESTERLY LINE OF BLOCK 1, CRESTVIEW SUBDIVISION, THENCE RUN NORTH 22 DEGREES 05 MINUTES 07 SECONDS EAST ALONG SAID EASTERLY RIGHT OF WAY OF WALTON STREET AND THE WESTERLY LINE OF BLOCK 1, CRESTVIEW SUBDIVISION FOR A DISTANCE OF 213.17 FEET TO A SET 58 INCH CAPPED REBAR LYING AT THE SOUTHERLY END OF THE MITERED INTERSECTION BETWEEN THE EASTERLY RIGHT OF WAY OF WALTON STREET AND THE FOREMENTIONED SOUTHERLY RIGHT OF WAY OF AIRPORT BOULEVARD, THENCE LEAVING SAID WESTERLY LINE OF BLOCK 1, CRESTVIEW SUBDIVISION RUN NORTH 56 DEGREES 36 MINUTES 20 SECONDS EAST ALONG SAID MITER FOR A DISTANCE OF 23.61 FEET TO A FOUND 1/2 INCH CAPPED REBAR LYING AT THE NORTHERLY END OF SAID MITERED INTERSECTION, THENCE RUN SOUTH 89 DEGREES 02 MINUTES 52 SECONDS EAST ALONG SAID SOUTHERLY RIGHT OF WAY OF AIRPORT BOULEVARD FOR A DISTANCE OF 81.29 FEET TO A FOUND 1/2 INCH CAPPED REBAR, THENCE RUN SOUTH 78 DEGREES 09 MINUTES 12 SECONDS EAST FOR A DISTANCE OF 63.47 FEET TO A SET 58 INCH CAPPED REBAR, THENCE RUN SOUTH 67 DEGREES 44 MINUTES 35 SECONDS EAST FOR A DISTANCE OF 42.68 FEET TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS 63,543.34 SQUARE FEET OR 1.458 ACRES.

## PROJECT CONTACTS

DEVELOPER:  
ROOMS TO GO FURNITURE CORP.  
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205.588.5099



## GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE CONFORMANCE TO THESE REQUIREMENTS BY ALL SUBCONTRACTORS.

- THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:

ALTA/NSPS SURVEY - ALLIANCE LAND SURVEYING (ALS), 6/10/2020.  
ROOMS TO GO - DIVISION 2 SPECIFICATIONS

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE.

- ALL HANDICAPPED PARKING SPACES SHALL BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 ET SEQ. AND 42 U.S.C. § 4151 ET SEQ.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THIS PROJECT IS TO BE CONSTRUCTED.

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES. CONTRACTOR SHALL HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

- THE CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE REQUIREMENTS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES HAVING JURISDICTION OVER THIS PROJECT.

- THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

- THE ALTA/NSPS SURVEY BY ALLIANCE LAND SURVEYING (ALS), DATED 6/10/2020 SHALL BE CONSIDERED A PART OF THESE PLANS.

- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO THOMAS ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THOMAS ENGINEERING IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO THE GIVING OF SUCH NOTIFICATION AND THE ENGINEER'S WRITTEN AUTHORIZATION OF SUCH ADDITIONAL WORK.

- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY LOCATIONS.

- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE SITE PLAN AND LATEST ARCHITECTURAL PLANS INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLANS (WHERE APPLICABLE). CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER OF ANY DISCREPANCIES.

- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ALL GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.

- THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT AND CONTIGUOUS STRUCTURES.

- THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, ETC. WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA.

- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY SHALL RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE EXISTING CONDITIONS, AND IN CONFORMANCE WITH APPLICABLE CODES. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

- ALL CONCRETE SHALL HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.

- THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS / MEANS FOR COMPLETION OF THE WORK DEPICTED NEITHER ON THESE PLANS, NOR FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

- THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY NOR HAS THE ENGINEER OF RECORD BEEN RETAINED FOR SUCH PURPOSES.

- ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKERS' COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME THOMAS ENGINEERING, AND ITS SUB-CONSULTANTS AS ADDITIONAL NAMED INSURERS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH THOMAS ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS THOMAS ENGINEERING AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES, OR COSTS, INCLUDING REASONABLE ATTORNEYS' FEES AND THE COSTS OF DEFENSE, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.

- THOMAS ENGINEERING WILL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR'S SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONSTRUCTION DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THOMAS ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT THOMAS ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY WHICH THE ITEM IS A COMPONENT OF. THOMAS ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. THOMAS ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

- NEITHER THE PROFESSIONAL ACTIVITIES OF THOMAS ENGINEERING, NOR THE PRESENCE OF THOMAS ENGINEERING OR ITS EMPLOYEES AND SUB-CONSULTANTS AT A CONSTRUCTION / PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. THOMAS ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY. THOMAS ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.

- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THOMAS ENGINEERING AND THE OWNER FOR SUCH DEVIATIONS, CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS RELATED TO SAME.

- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL. EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM SHOULD BE INCLUDED IN THE CONTRACTOR'S PRICE.

- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM. THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.

- CONTRACTOR SHALL CONFIRM ADA ACCESSIBILITY PRIOR TO INSTALLING FINISHING COURSES OF SIDEWALKS AND PARKING AREAS.

- UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND ARRANGE A PRECONSTRUCTION CONFERENCE TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE OWNER AND THE ENGINEER OF RECORD.

- ALL UTILITY EASEMENTS TO BE SECURED PRIOR TO CONSTRUCTION (IF REQUIRED) PRIOR TO CERTIFICATE OF OCCUPANCY. THESE EASEMENTS SHALL BE SKETCHED, DESCRIBED, AND RECORDED AT THE SOLE COST OF THE OWNER.

- CONTRACTOR SHALL PROVIDE MINIMUM 48 HOUR NOTICE TO THE ENGINEER AND APPLICABLE AGENCIES FOR SCHEDULING INSPECTIONS.

- PRIOR TO THEIR CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS AND SPECIFICATIONS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD AND GOVERNING AGENCY FOR THE FOLLOWING: CATCH BASINS, MANHOLES, FIRE HYDRANTS, VALVES, PIPE, AND ALL REQUIRED ACCESSORIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY APPROVALS IF REQUIRED.

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY.

- MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND APPROVED BY THE GOVERNING AGENCY OR FDOT WHERE APPLICABLE PRIOR TO IMPLEMENTATION.

- ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.

- NO TRENCHES OR HOLES NEAR WALKWAYS, IN ROADWAYS OR SHOULDERS ARE TO BE LEFT OPEN DURING NIGHTTIME HOURS WITHOUT EXPRESS PERMISSION FROM GOVERNING AGENCY.

- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR FOR ANY NECESSARY CONSTRUCTION, PAVEMENT MARKING AND SIGNAGE OR ANY PEDESTRIAN SIGNALIZATION AND/OR SIGNAL MODIFICATION TO ACCOMMODATE AN ALTERNATE SAFE WALK ROUTE, ALL RESTORED TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE GOVERNING AGENCY'S TRAFFIC ENGINEERING STANDARDS.

## SANITARY SEWER NOTES:

(REFER TO RTG DIVISION 2 SPECIFICATION SECTION 02730)

- GENERAL:
  - DISTANCE AND LENGTHS SHOWN ON PLANS REFERENCE THE CENTER OF STRUCTURES.

- MATERIALS:
  - ALL PVC SEWER PIPE AND FITTINGS SHALL BE NON-PRESSURE POLYVINYL CHLORIDE (PVC) PIPE CONFORMING TO ASTM D 3034, SDR 26, WITH PUSH-ON RUBBER GASKET JOINTS.  
(24" SHALL BE DR-25)

- DUCTILE IRON PIPE (DIP) SHALL BE CEMENT OR POLYUNED INSIDE AND SHALL HAVE A COAL TAR EPOXY COATING, MANUFACTURED IN ACCORDANCE WITH ANSI/AWWA C151/A21-51-86 OR LATEST REVISION, MINIMUM WALL THICKNESS CLASS 52 (4'-12") & CLASS 51 (14'-20") UNLESS OTHERWISE SPECIFIED).

- FIRE HYDRANTS SHALL HAVE A 5 1/4" MAIN VALVE OPENING. PUMPER NOZZLE TO BE 18" FROM FINISH GRADE. ALL HYDRANTS TO BE INSTALLED WITH ANCHORING TIE AND CONTROL VALVE. FIRE HYDRANT SHALL COMPLY WITH ANSI/AWWA C202-85 (OR LATEST REVISION). HYDRANTS SHALL BE KENNEDY GUARDIAN K-814 OR APPROVED EQUAL. BLUE REFLECTIVE PAVEMENT MARKER REQUIRED IN CENTER OF NEAREST DRIVING LANE FOR FIRE HYDRANTS.

- FITTINGS AND ACCESSORIES SHALL BE AS MANUFACTURED OR SUPPLIED BY THE PIPE MANUFACTURER OR APPROVED EQUAL.

- INSTALLATION:
  - PIPE AND FITTINGS:
    - SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, AND THE UNI-BELL PLASTICS PIPE ASSOCIATION'S "RECOMMENDED PRACTICE FOR THE INSTALLATION OF PVC SEWER PIPE".

- D.I.P. SHALL BE INSTALLED IN ACCORDANCE WITH ANSI/AWWA C600-93 OR LATEST REVISION.

- BEDDING AND INITIAL BACKFILL (12 INCHES) OVER SEWER MAINS AND SERVICES SHALL BE SAND WITH NO ROCK LARGER THAN 1" IN DIAMETER. PEA ROCK OR 3/4" WASHED ROCK WILL BE USED IN WATER OR WHERE UNSUITABLE BEDDING EXISTS AT THE DISCRETION OF THE GOVERNMENTAL AGENCY. ALL OTHER FILL SHALL NOT HAVE ROCK LARGER THAN 6" IN DIAMETER.

- SERVICE LATERALS:
  - MINIMUM SLOPE OF ALL SERVICE LINES SHALL BE AS INDICATED IN THE FLORIDA BUILDING CODE.

- SERVICE LATERALS SHALL TERMINATE AT A DEPTH 30" BELOW FINISHED GRADE OR AS INDICATED ON PLUMBING PLAN.

- EACH SERVICE CONNECTION SHALL BE PLUGGED WATER-TIGHT WITH AN APPROVED PLUG.

- THE END OF EACH SERVICE CONNECTION SHALL BE MARKED WITH A 2"x4" TREATED STAKE PAINTED RED, EXTENDING 18"(MIN) ABOVE GRADE.

- CONTRACTOR SHALL ROUGH IN RISER TO 1 FOOT ABOVE FINISHED GRADE AND PLUG, AT PROJECT COMPLETION, CUT BACK TO FINISHED GRADE.

- CONNECTION OF SERVICES TO BUILDING'S PLUMBING SHALL BE COORDINATED WITH THE GOVERNMENTAL AGENCY'S BUILDING AND ZONING DEPARTMENT, PLUMBING SECTION.

- TESTING:
  - AFTER CONSTRUCTION OF THE SEWER SYSTEM, THE ENGINEER MAY REQUIRE A VISUAL INFILTRATION AND/OR EXFILTRATION TEST TO BE PERFORMED ON THE ENTIRE SYSTEM OR ANY PART THEREOF.

- AN AIR TEST MAY BE SUBSTITUTED FOR THE WATER EXFILTRATION TEST, UPON APPROVAL OF THE ENGINEER.

- MANHOLE LEAKAGE TEST SHALL NOT EXCEED FOUR GALLONS PER DAY PER UNIT. NO VISIBLE LEAKAGE ALLOWED.

- SEWER PIPE LEAKAGE ALLOWABLE SHALL NOT EXCEED 150 GALLONS PER DAY PER INCH DIAMETER PER MILE IN A 2 HOUR TEST PERIOD FOR ANY SECTION TESTED. NO VISIBLE LEAKAGE SHALL BE ALLOWED AND ALL LINES SHALL BE T.V. INSPECTED.

- SANITARY SEWER SHALL BE TELEVIEWED AND LAMPED AT DEVELOPER'S EXPENSE, PRIOR TO FINAL ACCEPTANCE. OWNER / CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES PRIOR TO CERTIFICATION TO ANY AGENCY.

- VISIBLE INFILTRATION LEAKAGE INTO MANHOLES AND SEWER PIPE SHALL NOT BE PERMITTED.

## WATER DISTRIBUTION AND/OR SANITARY SEWER FORCE MAIN SYSTEM

(REFER TO RTG DIVISION 2 SPECIFICATION SECTION 02660)

- GENERAL:
  - NO CONNECTIONS TO THE EXISTING LINES SHALL BE MADE UNTIL PRESSURE TESTS, FOR THE WATER AND SEWER FORCE MAINS, AND BACTERIOLOGICAL TESTS HAVE BEEN PERFORMED AND THE SYSTEM IS ACCEPTABLE TO THE GOVERNMENTAL AGENCY'S UTILITIES DEPARTMENT.

- BEDDING AND INITIAL BACKFILL FOR MAINS SHALL BE SAND WITH NO ROCKS LARGER THAN 1" IN DIAMETER.

- USE DETECTOR TAPE ON ALL PVC MAINS (18" ABOVE), AND USE NON-DETECTOR TAPE ON ALL D.I.P. MAINS (18" ABOVE).

- A THREE (3) FOOT HORIZONTAL SEPARATION IS REQUIRED BETWEEN WATER MAINS AND OBSTRUCTIONS (I.E. CATCH BASINS, POWER POLES, ETC.). FIVE (6) FEET OF SEPARATION IS REQUIRED BETWEEN WATER MAINS AND TREES.

- MATERIALS:
  - DUCTILE IRON PIPE (DIP) SHALL BE CLASS 52 UP TO 12" SIZE & CLASS 51 FOR 14" & LARGER WITH INTERIOR CEMENT LINING AND BITUMINOUS COATED OUTSIDE. WATER MAIN & EPOXY LINED & COATED FORCE MAIN MANUFACTURED IN ACCORDANCE WITH ANSI/AWWA C151/A21-51-91 OR LATEST REVISION. THE PIPE SHALL WITHSTAND A WORKING PRESSURE OF 350 PSI. THE JOINTS SHALL BE BELL AND SPIGOT PUSH-ON TYPE UNLESS OTHERWISE NOTED ON THE PLANS.

- ALL PVC MAINS SHALL BE SERIES 1120, CLASS 150 (DR 18) PRESSURE PIPE CONFORMING TO ANSI/AWWA C900-89 OR LATEST REVISION, AND SHALL HAVE PUSH-ON JOINTS, AND IRON PIPE O.D. (PVC ON-SITE ONLY)

- FITTINGS FOR MAINS 4" & LARGER SHALL BE DUCTILE IRON MECHANICAL JOINT CONFORMING TO ANSI/AWWA C110/A21-10-93 OR LATEST REVISION, COMPLETE WITH GLANDS, GASKETS, BOLTS AND NUTS. ALL FITTINGS SHALL BE CEMENT LINED AND SEAL COATED WITH THE SAME MATERIALS AS THE PIPE & USE MEGALUG SERIES 1100 RESTRAINED JOINT ADAPTERS.

- VALVES SHALL BE GATE VALVES, IRON BODY, FULLY RESILIENT SEAT BRONZE MOUNTED NON-RISING STEM, RATED AT 200 PSI AND CONFORMING TO ANSI/AWWA C500-89 OR LATEST REVISION, AND SHALL HAVE MECHANICAL JOINTS.

- GATE VALVES 4" & LARGER SHALL BE MUELLER A-2860-20, INSTANTIALLY SEATED GATE VALVES SHALL BE AMERICAN 5000/2500 LINE OR CLOW F-6100, CONFORMING TO ANSI/AWWA C509-87.

- TAPPING VALVES SHALL BE MUELLER H667 OR APPROVED EQUAL.

- GATE VALVES 3" OR LESS SHALL BE NIBCO T-133 OR T-136 WITH MALLEABLE IRON WHEELS. NO SUBSTITUTIONS ALLOWED.

- TAPPING SLEEVES SHALL BE MUELLER H615 OR APPROVED EQUAL.

- VALVE BOXES SHALL BE TYLER/UNION 461-S OR APPROVED EQUAL.

- RETAINER GLANDS SHALL CONFORM TO ANSI/AWWA C111/A21-11-90 OR LATEST REVISION. ALL GLANDS SHALL BE MANUFACTURED FROM DUCTILE IRON AS LISTED BY UNDERWRITERS LABORATORIES FOR 250 PSI MINIMUM WATER PRESSURE RATING. CLOW CORPORATION MODEL F-1058 OR STANDARD FIRE PROTECTION EQUIPMENT COMPANY OR APPROVED EQUAL.

- DRESSER COUPLINGS SHALL BE REGULAR BLACK COUPLINGS WITH PLAIN GASKETS FOR GALVANIZED STEEL PIPE. THEY SHALL BE DRAINER STYLE 90. NO SUBSTITUTIONS ALLOWED.

- FIRE HYDRANTS SHALL HAVE A 5 1/4" MAIN VALVE OPENING. PUMPER NOZZLE TO BE 18" FROM FINISH GRADE. ALL HYDRANTS TO BE INSTALLED WITH ANCHORING TIE AND CONTROL VALVE. FIRE HYDRANT SHALL COMPLY WITH ANSI/AWWA C202-85 (OR LATEST REVISION). HYDRANTS SHALL BE KENNEDY GUARDIAN K-814 OR APPROVED EQUAL. BLUE REFLECTIVE PAVEMENT MARKER REQUIRED IN CENTER OF NEAREST DRIVING LANE FOR FIRE HYDRANTS.

- SERVICE CONNECTION:
  - CORPORATION STOPS SHALL BE MANUFACTURED OF BRASS ALLOY IN ACCORDANCE WITH ASTM B-62 WITH THREADED ENDS, AS MANUFACTURED BY MUELLER OR APPROVED EQUAL.

- CURB STOPS SHALL BE MUELLER OR APPROVED EQUAL.

- METER STOPS SHALL BE 90° LOCK WING TYPE AND SHALL BE OF BRONZE CONSTRUCTION IN ACCORDANCE WITH ASTM B-62. METER STOPS SHALL BE CLOSED BOTTOM DESIGN AND RESILIENT "O" RING SEALED AGAINST EXTERNAL LEAKAGE AT THE TOP. STOPS SHALL BE EQUIPPED WITH A METER COUPLING NUT ON THE OUTLET SIDES, AS MANUFACTURED BY MUELLER OR APPROVED EQUAL.

- SERVICE PIPING SHALL BE TYPE "K" DRAWN COPPER.

- INSTALLATION:
  - GENERAL: CONNECTION OF ALL NEW SYSTEMS TO EXISTING MAINS SHALL BE DONE BY USING ONE OF THE FOLLOWING METHODS:

- METHOD A, WHICH INVOLVES A REDUCED SIZE TEMPORARY CONNECTION BETWEEN THE EXISTING MAIN AND THE NEW ONE.

- METHOD B, WHICH INVOLVES A DIRECT CONNECTION BETWEEN THE NEW AND EXISTING MAINS USING TWO GATE VALVES SEPARATED BY A SLEEVE WITH A VENT PIPE.

- METHOD C, WHICH INVOLVES A TAP WITH ONE GATE VALVE REQUIRING DISINFECTION OF THE NEW SYSTEM PRIOR TO CONDUCTING THE PRESSURE TEST.

- BEDDING:
  - BEDDING AND INITIAL BACKFILL (12 INCHES ABOVE PIPE) FOR ALL PIPE SHALL BE SAND WITH NO ROCK LARGER THAN 1" IN DIAMETER. PEA ROCK OR 3/4" WASHED ROCK WILL BE USED IN WATER OR WHERE UNSUITABLE BEDDING EXISTS AT THE DISCRETION OF THE GOVERNMENTAL AGENCY. ALL OTHER FILL SHALL NOT HAVE ROCK LARGER THAN 6" IN DIAMETER.

- PVC PIPE:
  - PVC PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE UNI-BELL PLASTIC PIPE ASSOCIATION'S GUIDE FOR INSTALLATION OF PVC PRESSURE PIPE FOR MUNICIPAL WATER DISTRIBUTION SYSTEMS.

- PVC PIPE SHALL BE INSTALLED WITH A MINIMUM OF 36" COVER.

- DETECTOR TAPE SHALL BE INSTALLED THE FULL LENGTH OF ALL PVC MAINS APPROXIMATELY 18" ABOVE THE PIPE, COLOR SIDE UP.

- DUCTILE PIPE:
  - D.I.P. SHALL BE INSTALLED IN ACCORDANCE WITH ANSI/AWWA C600-93 OR LATEST REVISION.

- D.I.P. SHALL BE INSTALLED WITH A MINIMUM OF 30" COVER.

- NON-DETECTOR TAPE SHALL BE INSTALLED THE FULL LENGTH OF ALL D.I.P. MAINS APPROXIMATELY 18" ABOVE THE MAIN COLOR SIDE UP.

- VALVES:
  - ALL VALVES SHALL BE INSTALLED WITH ADJUSTABLE CAST IRON VALVE BOXES WITH THE WORD "WATER" OR "SEWER" CAST IN THE COVER, A BRASS DISK INDICATING, SIZE, TYPE, KIND & OPERATOR INSTRUCTIONS. VALVE LOCATIONS IN NON-PAVED AREAS OR IN PARKING STALLS REQUIRE A REFLECTIVE PAVEMENT MARKER ON THE CENTER OF THE NEAREST LANE OF ROAD PAVEMENT. WHITE REFLECTORS FOR THE WATER MAIN VALVES, GREEN REFLECTORS FOR FORCE MAIN VALVES.

- MAIN VALVES SHALL BE LOCATED ON AN EXTENSION OF THE RIGHT-OF-WAY LINE UNLESS DIMENSIONED OTHERWISE.

- MAIN VALVES SHALL BE INSTALLED AWAY FROM PARKING AREAS. IF THIS IS UNAVOIDABLE, PROPER MEASURES SHALL BE TAKEN TO AVOID THE PARKING OF VEHICLES OVER THE VALVES. HYDRANT VALVES SHALL BE INSTALLED AS CLOSE TO THE MAIN AS POSSIBLE. VALVES LOCATED IN NON-PAVED AREAS OR IN PARKING STALLS REQUIRE A REFLECTIVE PAVEMENT MARKER ON THE CENTER OF THE NEAREST LANE OF ROAD PAVEMENT. WHITE REFLECTORS FOR THE WATER MAIN VALVES, GREEN REFLECTORS FOR FORCE MAIN VALVES.

- THE DISTANCE FROM THE TOP OF THE VALVE ACTUATOR NUT TO FINISH GRADE SHALL BE A MINIMUM OF 12 INCHES AND A MAXIMUM OF 18 INCHES.

- SERVICE:
  - COVER OVER SERVICE LINES SHALL BE 18" MINIMUM, 36" MAXIMUM BELOW FINISHED GRADE AND 36" UNDER PAVEMENT.

- SERVICES UP TO 2" SHALL BE TYPE "K" COPPER.

- METER STOPS SHALL HAVE 8" TO 10" COVER AS REQUIRED FOR PROPER METERBOX INSTALLATION.

- WATER SERVICES UNDER PAVEMENT SHALL BE ENCASED IN A SCHEDULE 80 PVC SLEEVE FOR THE FULL LENGTH OF THE PAVEMENT AND FOR 2' BEYOND THE EDGE. SLEEVE DIAMETER SHALL BE TWICE THE DIAMETER OF THE SERVICE PIPE.

- THE END OF EACH SERVICE CONNECTION SHALL BE MARKED WITH A 2"x4" TREATED STAKE, PAINTED BLUE EXTENDING 18" (MINIMUM) ABOVE GRADE UNLESS INDICATED OTHERWISE.

- TESTING:
  - BEFORE ANY PHYSICAL CONNECTIONS TO THE EXISTING WATER MAINS ARE MADE, THE COMPLETE WATER SYSTEM SHALL BE PRESSURE TESTED AND DISINFECTED. HYDROSTATIC TESTING OF NEW MAINS SHALL BE PERFORMED AT A MINIMUM STARTING PRESSURE OF 150 PSI FOR TWO HOURS IN ACCORDANCE WITH ANSI/AWWA C600-93 OR LATEST REVISION. THE PRESSURE TEST SHALL NOT VARY MORE THAN ± 5 P.S.I. DURING THE TEST.

- THE PRESSURE TEST SHALL BE WITNESSED BY A REPRESENTATIVE OF THE GOVERNMENTAL AGENCY AND THE ENGINEER OF RECORD.

- BEFORE ACCEPTANCE FOR OPERATION, THE WATER SYSTEM SHALL BE DISINFECTED IN ACCORDANCE WITH ANSI/AWWA C600-93, 150 PSI MINIMUM STARTING TEST PRESSURE, WITH BACTERIOLOGICAL SAMPLES APPROVED BY THE GOVERNMENTAL AGENCY.

- SAMPLING POINTS SHALL BE PROVIDED AT THE LOCATIONS SHOWN ON THE PLANS. IF NOT SPECIFIED, SAMPLING POINTS SHALL BE PROVIDED AT INTERVALS OF 1500' MAXIMUM FOR LINES GREATER THAN 1500' IN LENGTH PROVIDE A MINIMUM OF TWO SAMPLING POINTS FOR ALL OTHER TEST SEGMENTS. SAMPLE POINTS MUST BE APPROVED BY THE GOVERNMENTAL AGENCY.

- THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA:
$$L = \frac{SD}{P} \times 0.5$$
$$L = \frac{133200}{133200}$$

- IN WHICH:
  - E QUALS THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR.
  - S EQUALS LENGTH OF PIPE (LINEAR FEET).
  - D EQUALS NOMINAL DIAMETER OF PIPE (INCHES) AND
  - P EQUALS THE MINIMUM TEST PRESSURE (POUNDS PER SQUARE INCH).

## SEPARATION OF WATER AND SEWER MAINS

- SANITARY SEWERS, STORM SEWERS, AND FORCE MAINS SHOULD CROSS UNDER WATER MAINS WHENEVER POSSIBLE. SANITARY SEWERS, STORM SEWERS, AND FORCE MAINS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE WHENEVER POSSIBLE.

- WHERE SANITARY SEWERS, STORM SEWERS, OR FORCE MAINS MUST CROSS A WATER MAIN WITH LESS THAN 18 INCHES VERTICAL DISTANCE, BOTH THE SEWER AND THE WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING.

- SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM SEPARATION OF 10 FEET BETWEEN ANY TWO JOINTS. ALL JOINTS ON THE WATER MAIN WITHIN 20 FEET OF THE CROSSING MUST BE MECHANICALLY RESTRAINED. A MINIMUM VERTICAL CLEARANCE OF 6 INCHES MUST BE MAINTAINED AT ALL CROSSINGS.

- ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING (PIPES CENTERED ON THE CROSSING).

- WHERE A NEW PIPE CONFLICTS WITH AN EXISTING PIPE WITH LESS THAN 18 INCHES VERTICAL CLEARANCE, THE NEW PIPE SHALL BE CONSTRUCTED OF DIP, AND THE CROSSING SHALL BE ARRANGED TO MEET THE REQUIREMENTS ABOVE.

- A MINIMUM 10-FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHENEVER POSSIBLE. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN MUST BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.

- WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE CONSTRUCTED OF DIP AND THE SANITARY SEWER OR THE FORCE MAIN SHALL BE CONSTRUCTED OF DIP WITH A MINIMUM VERTICAL DISTANCE OF 6 INCHES. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGGERED JOINTS).

- ALL DIP SHALL BE CLASS 50 OR HIGHER. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED AS DETERMINED BY THE ENGINEER.

## STORM DRAINAGE:

(REFER TO RTG DIVISION 2 SPECIFICATION SECTION 02711)

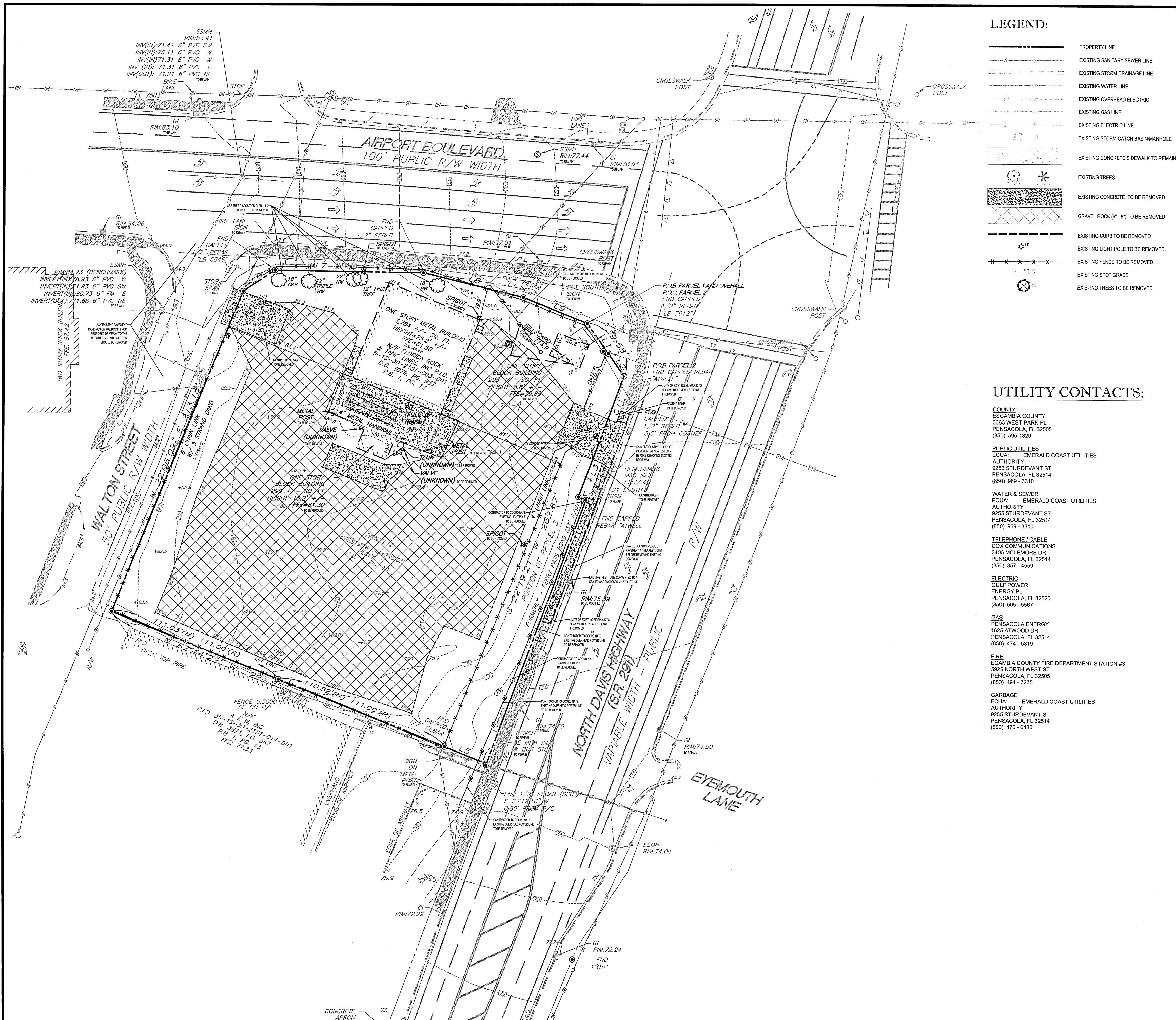
- GENERAL:
  - CATCH BASIN GRATES AND RIM ELEVATIONS AS SHOWN ON PLANS SHALL BE ADJUSTED TO CONFORM TO NEW OR EXISTING GRADES.

- DISTANCES AND LENGTHS SHOWN ON PLANS REFERENCE THE CENTER OF STRUCTURES.

- MATERIALS:
  - ALL HIGH DENSITY POLYETHYLENE PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF AASHTO M - 284 LATEST REVISIONS. ALL PIPING TO BE NON-PERFORATED TUBING.

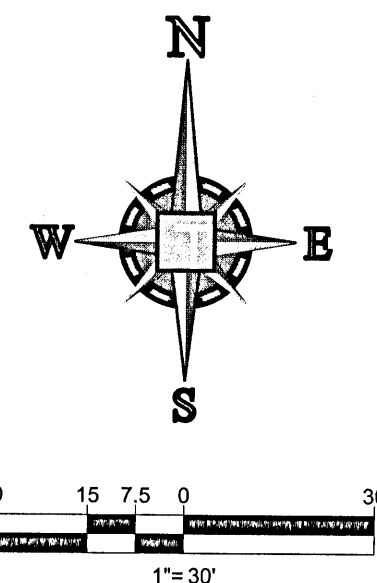
- ALL YARD DRAIN BASINS ARE TO BE HIGH DENSITY POLYETHYLENE PRODUCT AND SHALL MEET ASTM LATEST MINIMUM STANDARDS.





#### LEGEND:

- PROPERTY LINE
- EXISTING SANITARY SEWER LINE
- EXISTING STORM DRAINAGE LINE
- EXISTING WATER LINE
- EXISTING OVERHEAD ELECTRIC
- EXISTING GAS LINE
- EXISTING ELECTRIC LINE
- EXISTING STORM CATCH BASIN/MANHOLE
- EXISTING CONCRETE SIDEWALK TO REMAIN
- EXISTING TREES
- EXISTING CONCRETE TO BE REMOVED
- GRAVEL ROCK (6" - 8") TO BE REMOVED
- EXISTING CURB TO BE REMOVED
- EXISTING LIGHT POLE TO BE REMOVED
- EXISTING FENCE TO BE REMOVED
- EXISTING SPOT GRADE
- EXISTING TREES TO BE REMOVED



#### DEMOLITION NOTES:

(REFER TO RTG DIVISION 2 SPECIFICATION SECTION 02050)

- THOMAS ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO THOMAS ENGINEERING GROUP, LLC IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.
- PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR/TO:
  - THE CONTRACTOR SHALL OBTAIN A SUNSHINE STATE ONE CALL LOCATION CERTIFICATION PRIOR TO ANY EXCAVATION OR DEMOLITION. THE NUMBER IS 1-800-432-4770.
  - ENSURING COPIES OF ALL PERMITS AND APPROVALS MUST BE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW.
  - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
  - LOCATE/CAP ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE.
  - PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE SYSTEM THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
  - FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING THE DEMOLITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
  - COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
  - A COMPLETE INSPECTION OF CONTAMINANTS BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED. SAME SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ANY/ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS THE SOLE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
- THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
- IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE PROPERTY LIMITS IN ACCORDANCE WITH DIRECTION BY OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
- CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL" AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS-OF-WAY.
- CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENT AUTHORITY.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
- USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- CONTRACTOR IS RESPONSIBLE TO SAFEGUARD SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL TOWN, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
- ALL EXISTING UTILITIES BEING REMOVED SHALL BE DONE SO BY THE CONTRACTOR IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- SIDEWALK, CURB, AND GUTTER PAVEMENT REMOVED IN THE ROW SHOULD BE SAW CUT AT THE NEAREST JOINT.

CONTRACTOR SHALL REFER TO LANDSCAPE PLANS FOR TREE REMOVAL/RELOCATION.

#### FEMA MAP INFORMATION:

THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT ANNUAL-CHANCE FLOOD PLAINS. NO DEFS OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0380G, MAP REVISION DATED SEPTEMBER 29, 2006.

#### DATUM NOTE:

CONTOURS AND SPOT ELEVATIONS SHOWN HEREON ARE BASED ON U.S.G.S. DATUM (NAVD 88 - GEOID 12B), SITE BENCHMARKS ARE SHOWN HEREON.

**THOMAS ENGINEERING GROUP**  
CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS  
1500 W. FLETCHER AVE. SUITE 205  
TAMPA, FL 33612  
P: 813-379-4100  
F: 813-379-4040  
www.ThomasEngineeringGroup.com

REVISIONS			
REV	DATE	COMMENT	BY
1	9/11/20	REV PER ECIA COMMENTS DATED 9/10/20	CTD
2	9/30/20	REV PER COUNTY COMMENTS DATED 9/11/20	CTD
3	10/7/20	REV PER RTG COMMENTS DATED 10/1/20	CTD
4	10/23/20	OWNER PERMIT 1022320	HR
5	11/10/20	REV PER FOOT DRAINAGE COMMENTS DATED 10/13/20	CTD
6	11/17/20	REV PER FOOT ACCESS COMMENTS DATED 10/15/20	CTD

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PROJECT No.:	FT190076
DRAWN BY:	HR / CTD
CHECKED BY:	EMM
DATE:	8/24/2020
SCALE:	AS NOTED
CAD L.D.:	FT190076-C-3.0 DM

**ROOMS TO GO PATIO PENSACOLA**

FOR \_\_\_\_\_

5827 N. DAVIS HWY.  
PENSACOLA  
ESCAMBIA COUNTY, FLORIDA

**THOMAS ENGINEERING GROUP**

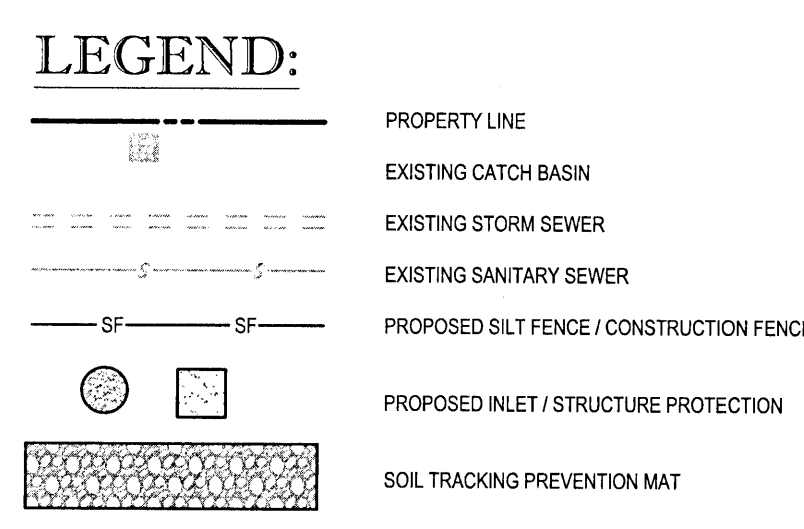
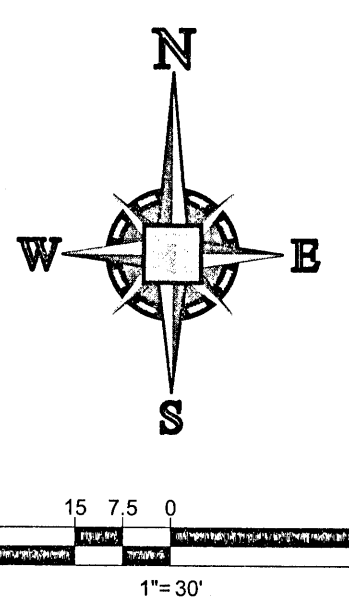
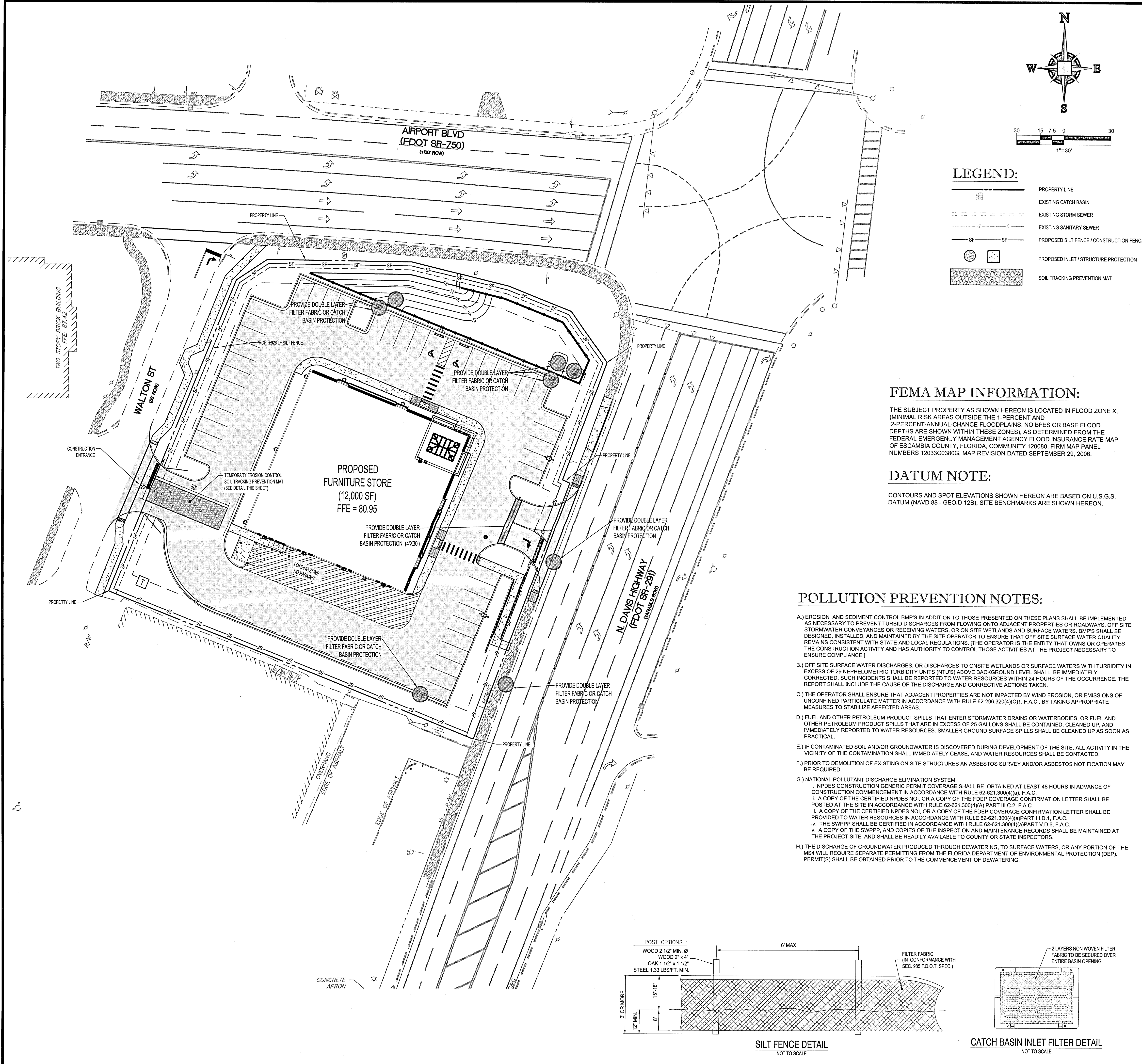
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**EDWARD M. McDONALD, P.E.**  
Professional Engineer  
No. 71615  
November 20, 2020  
FLORIDA LICENSE NO. 71615  
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

SHEET TITLE:  
**DEMOLITION PLAN**

SHEET NUMBER:  
**C-3.0**





**FEMA MAP INFORMATION:**

THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT ANNUAL-CHANCE FLOODPLAINS. NO BFES OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGEN. Y MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0380G, MAP REVISION DATED SEPTEMBER 29, 2006.

**DATUM NOTE:**

CONTOURS AND SPOT ELEVATIONS SHOWN HEREON ARE BASED ON U.S.G.S. DATUM (NAVD 88 - GEOID 12B), SITE BENCHMARKS ARE SHOWN HEREON.

**POLLUTION PREVENTION NOTES:**

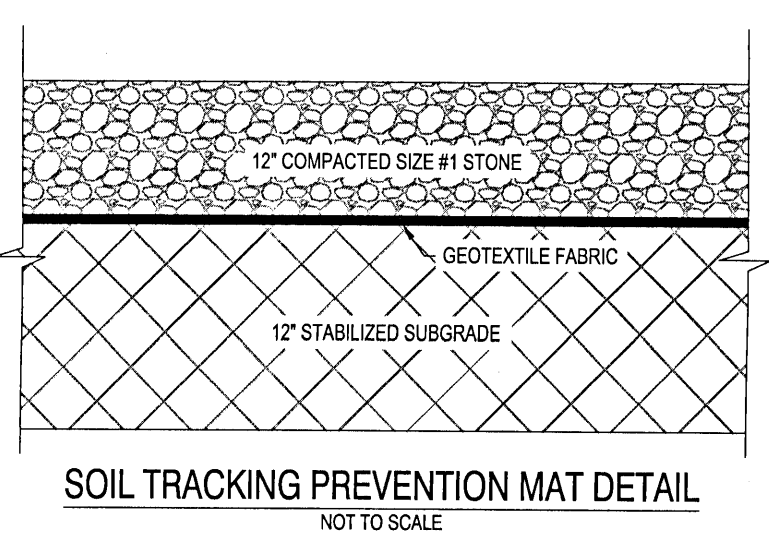
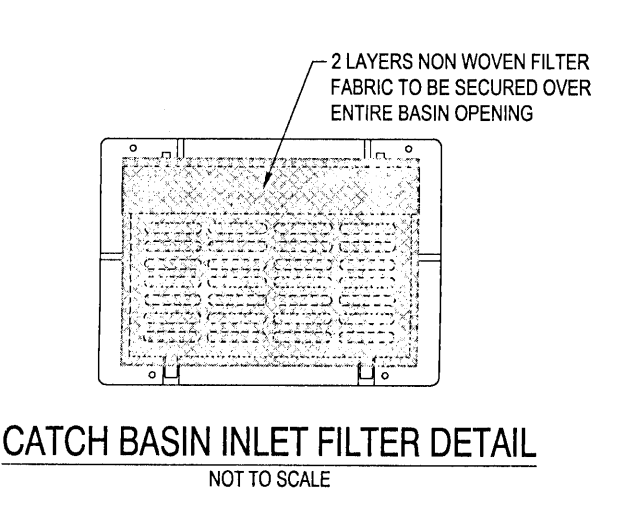
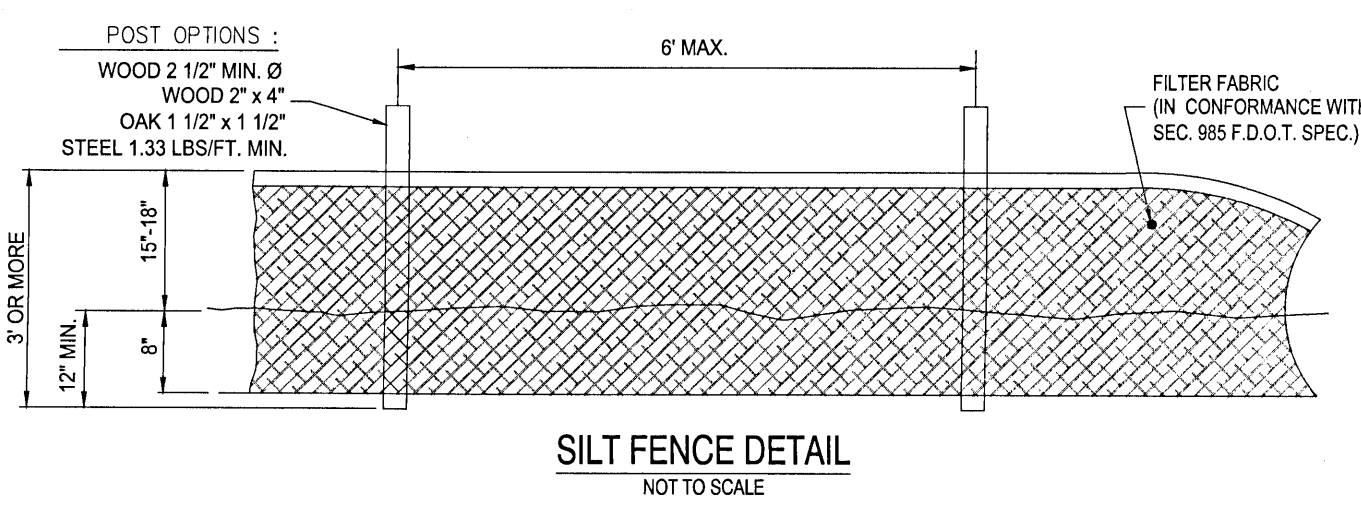
- A) EROSION AND SEDIMENT CONTROL BMP'S IN ADDITION TO THOSE PRESENTED ON THESE PLANS SHALL BE IMPLEMENTED AS NECESSARY TO PREVENT TURBID DISCHARGES FROM FLOWING ONTO ADJACENT PROPERTIES OR ROADWAYS, OFF SITE STORMWATER CONVEYANCES OR RECEIVING WATERS, OR ON SITE WETLANDS AND SURFACE WATERS. BMP'S SHALL BE DESIGNED, INSTALLED, AND MAINTAINED BY THE SITE OPERATOR TO ENSURE THAT OFF SITE SURFACE WATER QUALITY REMAINS CONSISTENT WITH STATE AND LOCAL REGULATIONS. [THE OPERATOR IS THE ENTITY THAT OWNS OR OPERATES THE CONSTRUCTION ACTIVITY AND HAS AUTHORITY TO CONTROL THOSE ACTIVITIES AT THE PROJECT NECESSARY TO ENSURE COMPLIANCE.]
- B) OFF SITE SURFACE WATER DISCHARGES, OR DISCHARGES TO ONSITE WETLANDS OR SURFACE WATERS WITH TURBIDITY IN EXCESS OF 29 NEPHELOMETRIC TURBIDITY UNITS (NTU'S) ABOVE BACKGROUND LEVEL, SHALL BE IMMEDIATELY CORRECTED. SUCH INCIDENTS SHALL BE REPORTED TO WATER RESOURCES WITHIN 24 HOURS OF THE OCCURRENCE. THE REPORT SHALL INCLUDE THE CAUSE OF THE DISCHARGE AND CORRECTIVE ACTIONS TAKEN.
- C) THE OPERATOR SHALL ENSURE THAT ADJACENT PROPERTIES ARE NOT IMPACTED BY WIND EROSION, OR EMISSIONS OF UNCONFINED PARTICULATE MATTER IN ACCORDANCE WITH RULE 62-266.320(4)(C), F.A.C., BY TAKING APPROPRIATE MEASURES TO STABILIZE AFFECTED AREAS.
- D) FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ENTER STORMWATER DRAINS OR WATERBODIES, OR FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ARE IN EXCESS OF 25 GALLONS SHALL BE CONTAINED, CLEANED UP, AND IMMEDIATELY REPORTED TO WATER RESOURCES. SMALLER GROUND SURFACE SPILLS SHALL BE CLEANED UP AS SOON AS PRACTICAL.
- E) IF CONTAMINATED SOIL AND/OR GROUNDWATER IS DISCOVERED DURING DEVELOPMENT OF THE SITE, ALL ACTIVITY IN THE VICINITY OF THE CONTAMINATION SHALL IMMEDIATELY CEASE, AND WATER RESOURCES SHALL BE CONTACTED.
- F) PRIOR TO DEMOLITION OF EXISTING ON SITE STRUCTURES AN ASBESTOS SURVEY AND/OR ASBESTOS NOTIFICATION MAY BE REQUIRED.
- G) NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM:
  - i. NPDES CONSTRUCTION GENERIC PERMIT COVERAGE SHALL BE OBTAINED AT LEAST 48 HOURS IN ADVANCE OF CONSTRUCTION COMMENCEMENT IN ACCORDANCE WITH RULE 62-621.300(4)(a), F.A.C.
  - ii. A COPY OF THE CERTIFIED NPDES NOI, OR A COPY OF THE FDEP COVERAGE CONFIRMATION LETTER SHALL BE POSTED AT THE SITE IN ACCORDANCE WITH RULE 62-621.300(4)(a) PART III.C.2, F.A.C.
  - iii. A COPY OF THE CERTIFIED NPDES NOI, OR A COPY OF THE FDEP COVERAGE CONFIRMATION LETTER SHALL BE PROVIDED TO WATER RESOURCES IN ACCORDANCE WITH RULE 62-621.300(4)(a) PART III.D.1, F.A.C.
  - iv. THE SWPPP SHALL BE CERTIFIED IN ACCORDANCE WITH RULE 62-621.300(4)(a) PART V.D.6, F.A.C.
  - v. A COPY OF THE SWPPP, AND COPIES OF THE INSPECTION AND MAINTENANCE RECORDS SHALL BE MAINTAINED AT THE PROJECT SITE, AND SHALL BE READILY AVAILABLE TO COUNTY OR STATE INSPECTORS.
- H) THE DISCHARGE OF GROUNDWATER PRODUCED THROUGH DEWATERING, TO SURFACE WATERS, OR ANY PORTION OF THE MSA WILL REQUIRE SEPARATE PERMITTING FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (DEP). PERMIT(S) SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF DEWATERING.

**EROSION AND SEDIMENT CONTROL NOTES:**

- 1. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING SILT FROM SITE IF NOT REUSABLE ON-SITE AND ASSURING PLAN ALIGNMENT AND GRADE IN ALL DITCHES AND SWALES AT COMPLETION OF CONSTRUCTION.
- 2. THE SITE CONTRACTOR IS RESPONSIBLE FOR REMOVING THE TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER COMPLETION OF CONSTRUCTION AND ONLY WHEN AREAS HAVE BEEN STABILIZED.
- 3. ADDITIONAL PROTECTION - ON-SITE PROTECTION IN ADDITION TO THE ABOVE MUST BE PROVIDED THAT WILL NOT PERMIT SILT TO LEAVE THE PROJECT CONFINES DUE TO UNSEEN CONDITIONS OR ACCIDENTS.
- 4. CONTRACTOR SHALL INSURE THAT ALL DRAINAGE STRUCTURES, PIPES, ETC. ARE CLEANED OUT AND WORKING PROPERLY AT TIME OF ACCEPTANCE.
- 5. WIRE MESH SHALL BE LAID OVER THE DROP INLET SO THAT THE WIRE EXTENDS A MINIMUM OF 1 FOOT BEYOND EACH SIDE OF THE INLET STRUCTURE. HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2 INCH OPENINGS SHALL BE USED. IF MORE THAN ONE STRIP OF MESH IS NECESSARY, THE STRIPS SHALL BE OVERLAPPED.
- 6. FDOT NO. 1 COARSE AGGREGATE SHALL BE PLACED OVER THE WIRE MESH AS INDICATED IN D-303. THE DEPTH OF STONE SHALL BE AT LEAST 12 INCHES OVER THE ENTIRE INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 18 INCHES ON ALL SIDES.
- 7. IF THE STONE FILTER BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONES MUST BE PULLED AWAY FROM THE INLET, CLEANED AND REPLACED.
- 8. BALES SHALL BE EITHER WIRE-BOUND OR STRING-TIED WITH THE BINDINGS ORIENTED AROUND THE SIDES RATHER THAN OVER AND UNDER THE BALES.
- 9. BALES SHALL BE PLACED LENGTHWISE IN A SINGLE ROW SURROUNDING THE INLET, WITH THE ENDS OF ADJACENT BALES PRESSED TOGETHER.
- 10. THE FILTER BARRIER SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED TO A MINIMUM DEPTH OF 8 INCHES. AFTER THE BALES ARE STAKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AND COMPACTED AGAINST THE FILTER BARRIER.
- 11. EACH BALE SHALL BE SECURELY ANCHORED AND HELD IN PLACE BY AT LEAST TWO STAKES OR REBARS DRIVEN THROUGH THE BALE.
- 12. LOOSE STRAW SHOULD BE WEDGED BETWEEN BALES TO PREVENT WATER FROM ENTERING BETWEEN BALES.
- 13. STRAW BALE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
- 14. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RUNS AND UNDERCUTTING BENEATH BALES.
- 15. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY.
- 16. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE STRAW BALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.
- 17. SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- 18. SHOULD THE FABRIC ON A SILT FENCE OR FILTER BARRIER DECOMPOSE OR BECOME INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE AND THE BARRIER STILL BE NECESSARY, THE FABRIC SHALL BE REPLACED PROMPTLY.
- 19. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE-THIRD THE HEIGHT OF THE BARRIER.
- 20. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE OR FILTER BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED AND SEEDED.
- 21. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
- 22. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/3 THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- 23. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE BEST EROSION AND SEDIMENT CONTROL PRACTICES AS OUTLINED IN THE PLANS, SPECIFICATIONS AND ST. JOHNS RIVER WATER MANAGEMENT DISTRICT SPECIFICATIONS AND CRITERIA.
- 24. FOR ADDITIONAL INFORMATION ON SEDIMENT AND EROSION CONTROL REFER TO "THE FLORIDA DEVELOPMENT MANUAL - A GUIDE TO SOUND LAND AND WATER MANAGEMENT" FROM THE STATE OF FLORIDA DEPARTMENT OF ENVIRONMENTAL REGULATION (F.D.E.R.) CHAPTER 6.
- 25. EROSION AND SEDIMENT CONTROL BARRIERS SHALL BE PLACED ADJACENT TO ALL WETLAND AREAS WHERE THERE IS POTENTIAL FOR DOWNSTREAM WATER QUALITY DEGRADATION. SEE DETAIL SHEET FOR TYPICAL CONSTRUCTION.
- 26. ALL DISTURBED AREAS SHALL BE GRASSED, FERTILIZED, MULCHED AND MAINTAINED UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED. ALL DISTURBED AREAS IN THE FOOT RIGHT OF WAY SHALL BE SODDED.
- 27. SOD SHALL BE PLACED IN AREAS WHICH MAY REQUIRE IMMEDIATE EROSION PROTECTION TO ENSURE WATER QUALITY STANDARDS ARE MAINTAINED.
- 28. ANY DISCHARGE FROM DEWATERING ACTIVITY SHALL BE FILTERED AND CONVEYED TO THE OUTFALL IN A MANNER WHICH PREVENTS EROSION AND TRANSPORTATION OF SUSPENDED SOLIDS TO THE RECEIVING OUTFALL.
- 29. DEWATERING PUMPS SHALL NOT EXCEED THE CAPACITY OF THAT WHICH REQUIRES A CONSUMPTIVE USE PERMIT FROM THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.
- 30. ALL DISTURBED AREAS TO BE STABILIZED THROUGH COMPACTION, SILT SCREENS, HAY BALES, AND GRASSING. ALL FILL SLOPES 3:1 OR STEEPER TO RECEIVE STAKED SOLID SOD.
- 31. ALL DEWATERING, EROSION, AND SEDIMENT CONTROL TO REMAIN IN PLACE AFTER COMPLETION OF CONSTRUCTION AND REMOVED ONLY WHEN AREAS HAVE BEEN STABILIZED.
- 32. THIS PLAN INDICATES THE MINIMUM EROSION AND SEDIMENT MEASURES REQUIRED FOR THIS PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL APPLICABLE RULES, REGULATIONS AND WATER QUALITY GUIDELINES AND MAY NEED TO INSTALL ADDITIONAL CONTROLS.
- 33. THE CONTRACTOR SHALL BE REQUIRED TO RESPOND TO ALL WATER MANAGEMENT DISTRICT INQUIRIES, RELATIVE TO COMPLIANCE OF SJRWMD FOR EROSION AND SEDIMENTATION CONTROL. THE COST OF THIS COMPLIANCE SHALL BE PART OF THE CONTRACT.

**MAINTENANCE NOTES:**

- N.P.D.E.S. PERMIT COMPLIANCE REQUIRES INSPECTIONS EVERY 7 CALENDAR DAYS BY AN NPDES QUALIFIED INSPECTOR AND PERIODIC INSPECTIONS WITHIN 24 HOURS OF ANY RAINFALL EVENT OF 0.5 INCHES OR GREATER. THESE INSPECTIONS MAY RESULT IN RECOMMENDATIONS FOR ROUTINE MAINTENANCE OF THE SOIL EROSION CONTROL DEVICES, AS WELL AS FURTHER MAINTENANCE AS OUTLINED BELOW.
- 1. THROUGHOUT THE CONSTRUCTION PERIOD, ALL MUD/SILT TRACKED ONTO EXISTING FDOT ROADS FROM THE SITE DUE TO CONSTRUCTION SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR.
  - 2. CATCH BASIN INLET AND CONCRETE FLUME FILTERS SHALL BE MAINTAINED CLEAN AT ALL TIMES THROUGHOUT THE CONSTRUCTION PERIOD. WEEKLY INSPECTIONS WILL BE PERFORMED EVERY 7 CALENDAR DAYS. IF A FILTER HAS HOLES OR IS INUNDATED WITH SEDIMENT, THE FILTER WILL REQUIRE REPLACEMENT.
  - 3. CONSTRUCTION ACCESS AND TRACKING MAT MUST BE MAINTAINED AS NECESSARY. REPLENISH CRUSHED AGGREGATE IF PRESENT LAYER IS FILLED WITH SEDIMENT, POOLING WATER OR HAS RUTS. A NEW LAYER MAY BE ADDED IF OLD LAYERS BECOME COMPACTED.
  - 4. SILT FENCE IS TO BE INSPECTED DAILY BY CONTRACTOR AND EVERY 7 CALENDAR DAYS BY NPDES QUALIFIED INSPECTOR. IF REPAIRS OR REPLACEMENT IS NECESSARY, IT SHALL BE PERFORMED IMMEDIATELY. THE SILT FENCE SHOULD BE TRENCHED IN, BACK-FILLED, AND STAPLED OR STAKED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. MAINTENANCE INCLUDES THE REMOVING OF BUILT-UP SEDIMENT, WHEN THE SEDIMENT ACCUMULATES TO 1/3 OF THE HEIGHT OF THE FENCE. CONTRACTOR MAY HAVE TO REMOVE, REPLACE, RETRENCH, OR RE-BACKFILL THE FENCE IF IT FAILS. IT WOULD ALSO BE NECESSARY TO REINSTALL IF ANY PORTION OF THE FENCING WAS DAMAGED BY CONSTRUCTION MACHINERY.
  - 5. SEEDING OR RESEEDING MAY BE REQUIRED IMMEDIATELY TO AREAS WHICH HAVE BEEN DAMAGED BY RUNOFF.
  - 6. REMOVE ANY VISIBLE SEDIMENT FROM THE POND BOTTOM TO KEEP THE BASIN DESIGNED INFILTRATION PERFORMANCE.
  - 7. THE CONTRACTOR SHALL CONTINUOUSLY ENSURE THAT THE PERIMETER OF THE SITE, INCLUDING CONSTRUCTION ENTRANCES, IS SECURED FROM ALLOWING DEBRIS TO LEAVE THE SITE DUE TO CONSTRUCTION ACTIVITY OR RAINFALL EVENTS. A WEEKLY LOG SHALL BE UPDATED AND KEPT ON-SITE IN ACCORDANCE WITH THE NPDES PERMIT. BY BIDDING DOCUMENTS CONTRACTOR ACKNOWLEDGES HE/SHE IS AWARE OF NPDES GUIDELINES AND POLICIES AS WELL AS BEST MANAGEMENT PRACTICES AND ASSUMES SOLE RESPONSIBILITY FOR FINES IMPOSED BY GOVERNMENTAL AGENCIES DUE TO VIOLATIONS.



**THOMAS ENGINEERING GROUP**  
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REVISIONS				
REV	DATE	COMMENT	BY	
1	9/11/20	REV PER ECIA COMMENTS DATED 9/10/20	CTD	
2	9/30/20	REV PER COUNTY COMMENTS DATED 9/11/20	CTD	
3	10/7/20	REV PER RTG COMMENTS DATED 10/1/20	CTD	
4	10/23/20	OWNER PERMIT 10/23/20	HR	
5	11/10/20	REV PER FDOT DRAINAGE COMMENTS DATED 10/13/20	CTD	
6	11/17/20	REV PER FDOT ACCESS COMMENTS DATED 10/15/20	CTD	

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**PERMIT SET**

PROJECT No.:	FT190076
DRAWN BY:	HR / CTD
CHECKED BY:	EMM
DATE:	9/24/2020
SCALE:	AS NOTED
CAD I.D.:	FT190076-C-4.0 ECP

PROJECT:

**ROOMS TO GO PATIO PENSACOLA**

FOR

5827 N. DAVIS HWY.  
PENSACOLA  
ESCAMBIA COUNTY, FLORIDA

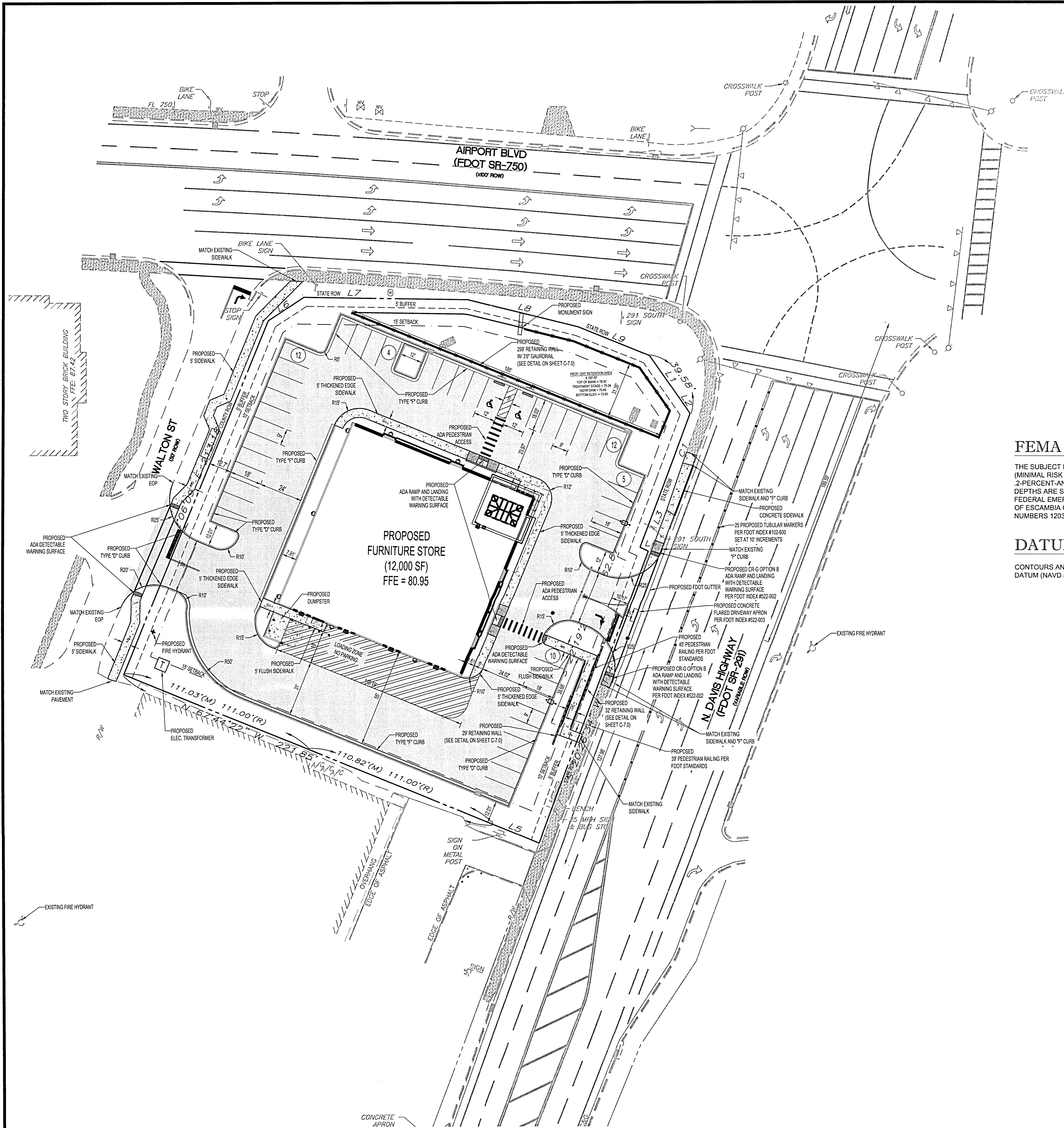
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EDWARD M. McDONALD, P.E.  
November 20, 2020  
FLORIDA LICENSE NO. 71615  
FLORIDA BUSINESS CERT. OF AUTH. NO. 27528

**SOIL EROSION CONTROL PLAN**

SHEET NUMBER:  
**C-4.0**



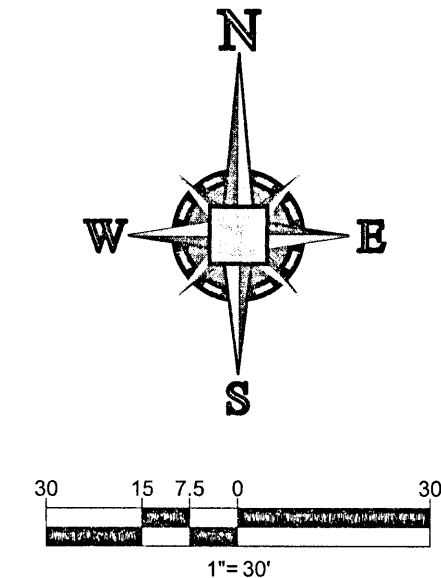


### FEMA MAP INFORMATION:

THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT ANNUAL-CHANCE FLOODPLAINS. NO BFES OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12035C0380G, MAP REVISION DATED SEPTEMBER 29, 2006.

### DATUM NOTE:

CONTOURS AND SPOT ELEVATIONS SHOWN HEREON ARE BASED ON U.S.G.S. DATUM (NAVD 88 - GEOID 12B). SITE BENCHMARKS ARE SHOWN HEREON.



### LEGEND:

	PROPERTY LINE
	PROPOSED BUILDING
	PROPOSED MEDIUM DUTY ASPHALT PAVEMENT
	EXISTING SIDEWALK
	PROPOSED CONCRETE SIDEWALK
	PROPOSED PARKING SPACE COUNT
	PROPOSED LIGHT POLE
	PROPOSED 12\"/>
	PROPOSED 3\"/>

### SITE DATA TABLE

#### 1. BOUNDARY AND TOPOGRAPHIC SURVEY BY:

ALS ALLIANCE LAND SURV-VEYING,  
8095 ATLANTA HWY, SUITE 100,  
FLOWERY BRANCH, GA 30542  
DAVID ANDERSON (P) (770) 228.4730

#### 2. APPLICANT:

ROOMS TO GO FURNITURE CORP.

#### 3. DATA TABLE:

##### ADDRESS:

5827 N. DAVIS HWY,  
PENSACOLA, FLORIDA 32503

##### CURRENT USE:

VACANT

##### PROPOSED USE:

ROOMS TO GO FURNITURE

##### ZONING DISTRICT:

COMMERCIAL

##### FUTURE LAND USE:

MU-U (MIXED-USE URBAN)

##### REFERENCE#

35-1S-30-2101003001

##### ACCOUNT#

040023000

##### SITE AREA:

1.46 PER SURVEY AC ± (63,510 S.F.)

##### LOT COVERAGE ALLOWED:

MAX. 85%

##### FLOOR AREA RATIO (FAR):

1.0

#### 4. EXISTING PERVIOUS AREA:

19,512 S.F. (0.45 ACRES) - 31%

#### 5. EXISTING SEMI IMPERVIOUS AREA:

35,155 S.F. (0.81 ACRES) - 55%

#### 6. EXISTING IMPERVIOUS AREA:

8,843 S.F. (0.20 ACRES) - 14%

#### 7. PROPOSED PERVIOUS AREA:

20,269 S.F. (0.47 ACRES) - 32%

#### 8. PROPOSED IMPERVIOUS AREA:

43,241 S.F. (0.99 ACRES) - 68%

#### PROPOSED BUILDING AREA:

12,000 S.F. (0.27 ACRES) - 19%

#### PROPOSED PAVED AREA:

29,041 S.F. (0.67 ACRES) - 46%

#### PROPOSED SIDEWALK:

2,200 S.F. (0.05 ACRES) - 3%

#### 6. BUILDING HEIGHT:

REQUIRED  
TBA

ACTUAL  
32'9"

#### 7. PARKING REQUIRED:

(RETAIL GENERAL)  
3/1000 X 12,000 S.F.

= 36 SPACES

#### BICYCLE PARKING (5% OF TOTAL SPACES)

= N/A

#### 8. PARKING PROVIDED:

REGULAR SPACES  
HANDICAPPED SPACES  
TOTAL SPACES

= 41 SPACES  
= 2 SPACES  
= 43 SPACES

#### 9. BUILDING SETBACKS:

REQUIRED  
PROVIDED

##### SIDE (W):

10'  
59'7"

##### SIDE (E):

10'  
30'9"

##### FRONT (N):

15'  
103'5"

##### REAR (S):

15'  
388'6"

#### 10. LANDSCAPE BUFFERS

SIDE (W):  
SIDE (E):  
FRONT (N):  
REAR (S):

5'  
5'  
5'  
0'

7'  
10'  
25'  
12'

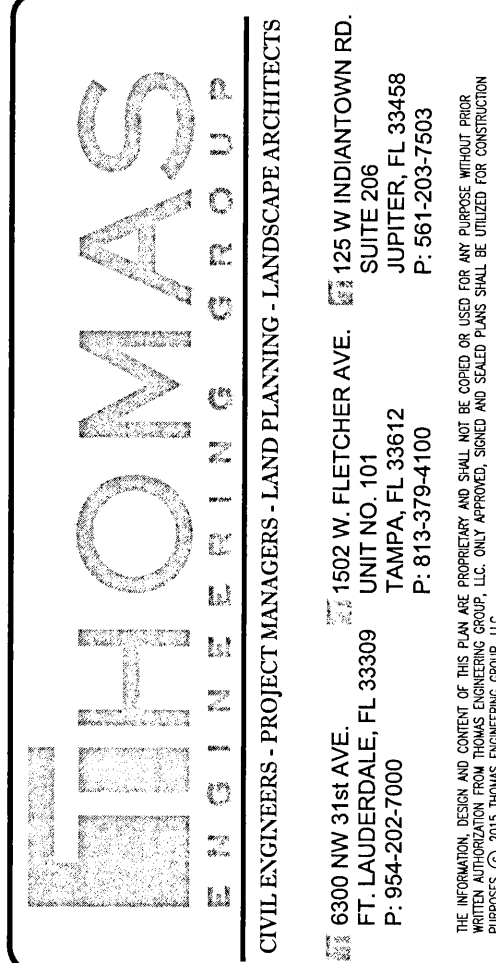
### SITE NOTES:

- ALL DIMENSIONS SHOWN ARE SHOWN AT FACE OF CURB, UNLESS OTHERWISE NOTED. B/C INDICATES DIMENSION IS TO BACK OF CURB.
- ALL RADII DIMENSIONS ARE 3' TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS," LATEST EDITION, AND ESCAMBIA COUNTY LAND DEVELOPMENT CODE.
- RETENTION PONDS AND WETLAND AREAS ARE TO BE FENCED WHEN SLOPE EXCEEDS 4:1.
- ALL WORK WITHIN THE FDOT R.O.W. SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2020/21 EDITION) AND STANDARD PLANS (2020/21 EDITION).
- MAINTENANCE OF TRAFFIC PLAN FOR WORK ZONES SHALL BE IN CONFORMANCE WITH ALL APPLICABLE INDICES OF THE FDOT DESIGN STANDARDS INDEX 600 SERIES ACCORDING TO THE TYPE OF ROADWAY AND TYPE OF WORK BEING PERFORMED. REFER TO FDOT STANDARD PLANS INDEX #102-660 FOR PEDESTRIAN CONTROL FOR CLOSURE OF SIDEWALKS.
- ANY SIDEWALK OR CURB DAMAGED DURING CONSTRUCTION WITHIN THE FDOT R.O.W. SHALL BE REMOVED AND REPLACED.
- ALL SIDEWALKS WITHIN THE FDOT R.O.W. SHALL COMPLY WITH FDOT STANDARD PLANS INDEX #522-001 AND BE CONSTRUCTED OF A MINIMUM 4" THICK FDOT CLASS I NON-STRUCTURAL 3,000 PSI CONCRETE WITH FIBER MESH. ALL TRUNCATED DOMES SHALL BE INSTALLED PER FDOT STANDARD PLANS INDEX #522-002.
- THE FDOT DEPARTMENT WILL REVIEW ALL LANE / SIDEWALK CLOSURES, DETOUR, AND LAND SHIFT REQUESTS SEPARATELY FROM THE PERMIT PROCESS. FDOT APPROVAL IS REQUIRED BEFORE COMMENCEMENT OF WORK INVOLVING THE CLOSURE, DETOUR, OR LANE SHIFT FOR WORK ALONG THE STATE HIGHWAY SYSTEM. IF A LANE CLOSURE IS NEEDED, SUBMIT A WRITTEN REQUEST WITH PROPOSED DATES / TIMES / NOT INDICES OR PLAN. ALLOW AT LEAST 2 WEEKS IN YOUR SCHEDULING FOR THIS SPECIAL REVIEW.
- ALL DISTURBED AREAS WITHIN THE FDOT R.O.W. WILL BE SODED.
- ON SITE SIDEWALK, AROUND BUILDING, TO BE PAINTED YELLOW ALONG 6" RETURN OF SIDEWALK (NORTH AND EAST FACING SIDEWALK ONLY)
- VERTICAL FACE OF TRAFFIC SEPARATOR ISLAND TO BE PAINTED YELLOW
- BUSINESS SIGNAGE TO BE DESIGNED BY OTHERS. ALL SIGNAGE WILL REQUIRE A VALID ESCAMBIA COUNTY SIGNAGE PERMIT AND MUST ADHERE TO ESCAMBIA COUNTY SIGNAGE REGULATIONS.

### ADA ACCESSIBILITY NOTES:

- ALL HANDICAPPED PARKING SPACES AND ACCESS AISLES ADJACENT TO THE HANDICAP PARKING SPACES SHALL HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE).
- AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR SIDEWALK TO ALL BUILDING ENTRANCES MUST BE PROVIDED. THIS ACCESSIBLE ROUTE SHALL BE A MINIMUM OF 60" WIDE. THE RUNNING SLOPE OF AN ACCESSIBLE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
- SLOPES EXCEEDING 5% BUT LESS THAN 8% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURBS, LANDINGS). NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE.
- IN THE CASE THAT A NEW SIDEWALK WILL BE CONSTRUCTED IN THE RW OF A SITE THE RUNNING SLOPE OF THE SIDEWALK SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES TO CROSS WALKS IN THE DRIVEWAY AS WELL AND WILL REQUIRE SPECIAL ATTENTION DURING STAKING TO MAKE SURE THE 2% CROSS SLOPE IS MET IN THE CROSS WALK.
- IT WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND SIDEWALKS/CROSSWALKS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS.
- ANY REQUIREMENTS LISTED ABOVE THAT CAN NOT BE MET SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY. ANYTHING NOT BUILT TO THE ABOVE STANDARDS WILL REQUIRE REMOVAL AND REPLACEMENT OF THE NON COMPLIANT AREAS AT THE GENERAL CONTRACTORS COST.

REFER TO SHEER C-11.0 FOR ALL  
PROPOSED PAVEMENT MARKINGS,  
STRIPPING, AND TRAFFIC CONTROL  
DEVICES.



REVISIONS				
REV	DATE	COMMENT	BY	
1	9/11/20	REV PER EGIA COMMENTS DATED 9/10/20	CTD	
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3	10/7/20	REV PER RTG COMMENTS DATED 10/1/20	CTD	
4	10/23/20	OWNER / PERMIT 10/23/20 REV PER FOOT DRAINAGE COMMENTS DATED 10/13/20	HR	
5	11/10/20	REV PER FOOT ACCESS COMMENTS DATED 10/15/20	CTD	
6	11/17/20			



### PERMIT SET

PROJECT No.:	FT190076
DRAWN BY:	HR / CTD
CHECKED BY:	EMM
DATE:	8/24/2020
SCALE:	AS NOTED
CAD I.D.:	FT190076-C-5.0 SP

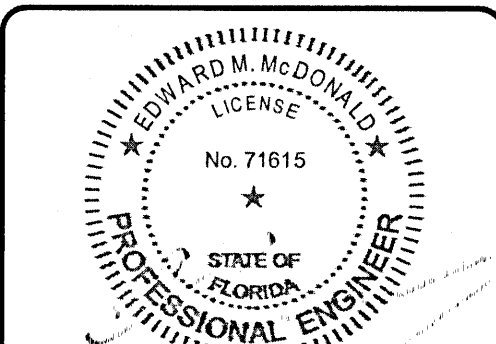
### ROOMS TO GO PATIO PENSACOLA

FOR

5827 N. DAVIS HWY.  
PENSACOLA  
ESCAMBIA COUNTY, FLORIDA



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TAMPA, FLORIDA 33612  
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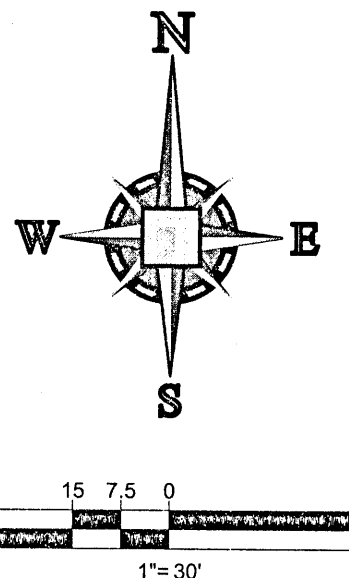


EDWARD M. McDONALD, P.E.  
November 20, 2020  
FLORIDA LICENSE No. 71615  
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**C-5.0**





(REFER TO RTG DIVISION 2 SPECIFICATION SECTION 02211 & 02511)

A. GENERAL:

1. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE SURVEYOR'S BENCHMARKS AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND-BREAK. ELEVATIONS ARE REFERRED TO THE NORTH AMERICAN VERTICAL DATUM (NAD 83) (SEE PLAN D-88).
2. ALL GRADES SHOWN REFERENCE PROPOSED ELEVATIONS AT EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED. "TC" = TOP OF CURB ELEVATION, "BC" = BOTTOM OF CURB ELEVATION (EDGE OF PAVEMENT); "W" = PROPOSED GRADE; TO MATCH EXISTING GRADE; "TW" = TOP OF RETAINING WALL ELEVATION; "BW" = BOTTOM OF RETAINING WALL ELEVATION.
3. THE ALTA/CMC LAND TITLE SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
4. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL CONSULT THE REPORT FOR ALL SPECIAL REQUIREMENTS NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN GEOTECHNICAL REPORT AND PLANS, ETC.
5. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIMEROCK BASE.
6. ALL EXISTING PAVEMENT, CUT OR DAMAGED BY CONSTRUCTION, SHALL BE PROPERLY RESTORED AT THE CONTRACTOR'S EXPENSE.
7. WHERE ANY PROPOSED PAVEMENT IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAW CUT TO ENSURE A PROPER JOINT.
8. PRIOR TO THEIR CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER. HOWEVER, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY APPROVALS IF REQUIRED.

B. MATERIALS:

1. BASE COURSE SHALL BE ABC-3 PER F.D.O.T. SPECIFICATIONS. OR EQUIVALENT LIMEROCK THICKNESS W/ MIN. LBR-100. (MAX. 6" LIFTS)
2. ASPHALT SURFACES SHALL BE TYPE S-III ASPHALTIC CONCRETE, UNLESS OTHERWISE SPECIFIED ON THE PLANS, AND SHALL BE A MINIMUM OF 1-1/2" THICK, AND CONSTRUCTED IN TWO 3/4" LIFTS, WITH TACKCOAT BETWEEN LIFTS.
3. REINFORCED CONCRETE SLABS SHALL BE CONSTRUCTED OF CLASS I CONCRETE WITH A MINIMUM STRENGTH OF 3,000 PSI AND SHALL BE REINFORCED WITH A 6" x 6" NO. 6 GAUGE WIRE MESH.

### C. INSTALLATION:

1. SUBGRADE FOR ROADWAY SHALL BE COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM DENSITY (ASTM D-1587) TO A MIN. 12" AND SHALL HAVE A MINIMUM LBR 40.
2. BASE COURSE MATERIAL FOR PAVED AREAS SHALL BE A MINIMUM THICKNESS OF 6" PLACED IN ONE LIFT. BASE COURSE MATERIAL SHALL HAVE A MINIMUM MARSHALL STABILITY OF 1000, UNLESS OTHERWISE INDICATED (OR LBR-100).
3. BASE COURSE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS PER ASTM D-1587.
4. INSTALLATION OF THE WEARING SURFACE SHALL CONFORM TO THE REQUIREMENTS OF THE D.O.T. STANDARD SPECIFICATIONS FOR TYPE S-III ASPHALTIC CONCRETE OR THE LATEST REVISION.

D. TESTING:

1. THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT VARY MORE THAN 1/4" FROM THE TEMPLATE. ANY IRREGULARITIES EXCEEDING THIS LIMIT SHALL BE CORRECTED.
2. DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE ENGINEER.
3. ALL TESTING COSTS (PAVING) SHALL BE PAID FOR BY THE CONTRACTOR.
4. DENSITY TESTS ON THE STABILIZED SUBGRADE SHALL BE SUPPLIED TO THE ENGINEER OF RECORD AND TO THE GEOTECHNICAL ENGINEER, AND APPROVED BEFORE ANY BASE IS CONSTRUCTED.
5. DENSITY TESTS AND "AS-BUILT'S" ON THE FINISHED BASE SHALL BE SUPPLIED TO THE GEOTECHNICAL ENGINEER, AND APPROVED BEFORE ANY ASPHALT PAVEMENT IS CONSTRUCTED.

(REFER TO RTG DIVISION 2 SPECIFICATION SECTION 02211)

1. ALL FILL MATERIAL USED TO BRING THE PONDS TO FINAL GRADES SHOULD BE CLEAN, INORGANIC, GRANULAR SILEX (FINE SAND) WITH A FINES CONTENT OF NO MORE THAN FIVE PERCENT. CARE SHOULD BE TAKEN NOT TO OVER COMPACT THE POND BOTTOM DURING EXCAVATION AND GRADING OF THE PONDS. THE SOIL ENCOUNTERED AT THE CONSTRUCTION SITE MAY BE SUSCEPTIBLE TO SETTLEMENT WHICH CAN SIGNIFICANTLY DECREASE THE INFILTRATION CAPACITY OF THE POND. IN ADDITION, SEDIMENT CONTROL MEASURES SHOULD BE EMPLOYED DURING THE CONSTRUCTION PROCESS TO KEEP THE POND FROM RECEIVING SIGNIFICANT AMOUNTS OF STORMWATER RUNOFF FROM THE SURROUNDING CONSTRUCTION SITE. THIS RUNOFF IS LIKELY TO CONTAIN SUSPENDED FINE-GRAINED SILT. IN ADDITION, THE POND BOTTOMS SHOULD BE PROTECTED FROM EROSION. WHEN THE POND BOTTOMS, IF DEWATERING EFFLUENT OR STORMWATER RUNOFF FROM THE ACTIVE CONSTRUCTION SITE IS DISCHARGED TO THE POND, WE RECOMMEND SCRAPING AND REMOVAL OF FINE-GRAINED SEDIMENTS THAT MAY HAVE ACCUMULATED ON THE POND BOTTOM.
2. IN ADDITION, SEDIMENT CONTROL MEASURES SHOULD BE EMPLOYED DURING THE CONSTRUCTION PROCESS TO KEEP THE POND FROM RECEIVING SIGNIFICANT AMOUNTS OF STORMWATER RUNOFF FROM THE SURROUNDING CONSTRUCTION SITE. THIS RUNOFF IS LIKELY TO CONTAIN SUSPENDED FINE-GRAINED SILT. IN ADDITION, THE POND BOTTOMS SHOULD BE PROTECTED FROM EROSION. WHEN THE POND BOTTOMS, IF DEWATERING EFFLUENT OR STORMWATER RUNOFF FROM THE ACTIVE CONSTRUCTION SITE IS DISCHARGED TO THE POND, WE RECOMMEND SCRAPING AND REMOVAL OF FINE-GRAINED SEDIMENTS THAT MAY HAVE ACCUMULATED ON THE POND BOTTOM.

1. The project Engineer (engineer of record) shall provide to Escambia County "As-Built" record drawings for verification and approval by Escambia County one week prior to requesting a final installation certificate of occupancy, or provide "As-Built" certificate that the project complies with the permitted plans and specifications. The "As-Built" certificate or the "As-Built" record drawings must be signed, sealed and dated by a registered Florida Professional Engineer
2. All aspects of the stormwater/drainage components and/or transportation components shall be completed prior to issuance of a final certificate of occupancy.
3. No deviations or revisions from these plans by the contractor shall be allowed without prior approval from both the design engineer and the Escambia County. Any deviations may result in a stop-work order, retaining a cease work order.
4. The contractor shall install prior to the start of construction and maintain during construction a sediment control measures as required to retain all sediments on the site. Improper sediment control measures may result in a stop-work order.
5. Retention/detention areas shall be substantially completed prior to any construction activities that may increase stormwater runoff rates. The contractor shall control stormwater during all phases of construction and take adequate measures to prevent the excavated pond from becoming a retention/detention area.
6. All disturbed areas which are not paved shall be stabilized with seeding, fertilizer and mulch, hydroseed and/or sod.
7. All new building roof drains, down spouts, or gutters shall be provided to carry all roof runoff to retention/detention areas.
8. Developer/Contractor shall reshape per plan specifications, clean out accumulated silt, and install a retention/detention pond(s) at the end of construction when all disturbed areas have been stabilized and prior to final inspection.
9. Contractor shall maintain record drawings during construction which show "as-built" condition of all work including piping, drainage structures, top of pond(s), outlet structures, dimensions and elevations. All record drawings shall be provided to the Engineer of Record prior to requesting final inspection.
10. The owner or his agent shall arrange/schedule with the County a final inspection of the project. Upon completion of the final inspection, the Engineer of Record (850) 955-3472, As-Built certification is required prior to request for final inspection/approval.
11. Prior to construction a separate Building Inspection Department permit(s) shall be obtained for Retention/detention(s) higher than 2 feet.
12. Notice of completion shall be provided in advance prior to digging within RW: 1-800-432-4770.
13. All damage to existing roads during construction will be repaired by the developer prior to final "As-Built" sign off from the County.
14. The contractor shall notify FOOT 48 hours in advance prior to initiating any new state rights-of-way.

THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT-ANNUAL-CHANCE FLOODPLAINS. NO BFES OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0380G, MAP REVISION DATED SEPTEMBER 29, 2006.

CONTOURS AND SPOT ELEVATIONS SHOWN HEREON ARE BASED ON U.S.G.S. DATUM (NAVD 88 - GEOID 12B), SITE BENCHMARKS ARE SHOWN HEREON.

NOTE

CONTRACTOR TO LIST HDPE PIPE AS AN ALTERNATIVE TO RCP PIPE, FOR PURPOSES OF THE BID.

<b>REVISIONS</b>			
<b>REV</b>	<b>DATE</b>	<b>COMMENT</b>	<b>BY</b>
1	9/11/20	REV PER ECUA COMMENTS DATED 9/10/20	CTD
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6	11/17/20	REV PER FDOT ACCESS COMMENTS DATED 10/25/20	CTD
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## PERMI

SET

PROJECT No.:	FT190076
DRAWN BY:	HR / CTD
CHECKED BY:	EMM
DATE:	8/24/2020
SCALE:	AS NOTED
CAD I.D.:	FT190076-C-6.0 PGD

PROJECT:

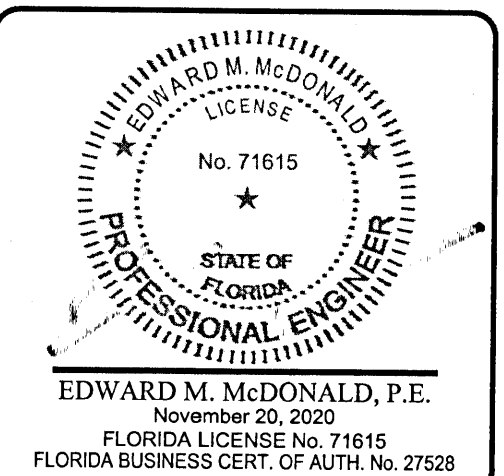
**ROOMS TO GO PATIO  
PENSACOLA**

— FOR —

5827 N. DAVIS HWY.  
PENSACOLA  
AMBIA COUNTY, FLORIDA



**1502 W. FLETCHER AVE, SUITE 101  
TAMPA, FLORIDA 33612**  
Phone: (813) 379-4100  
Fax: (813) 379-4040  
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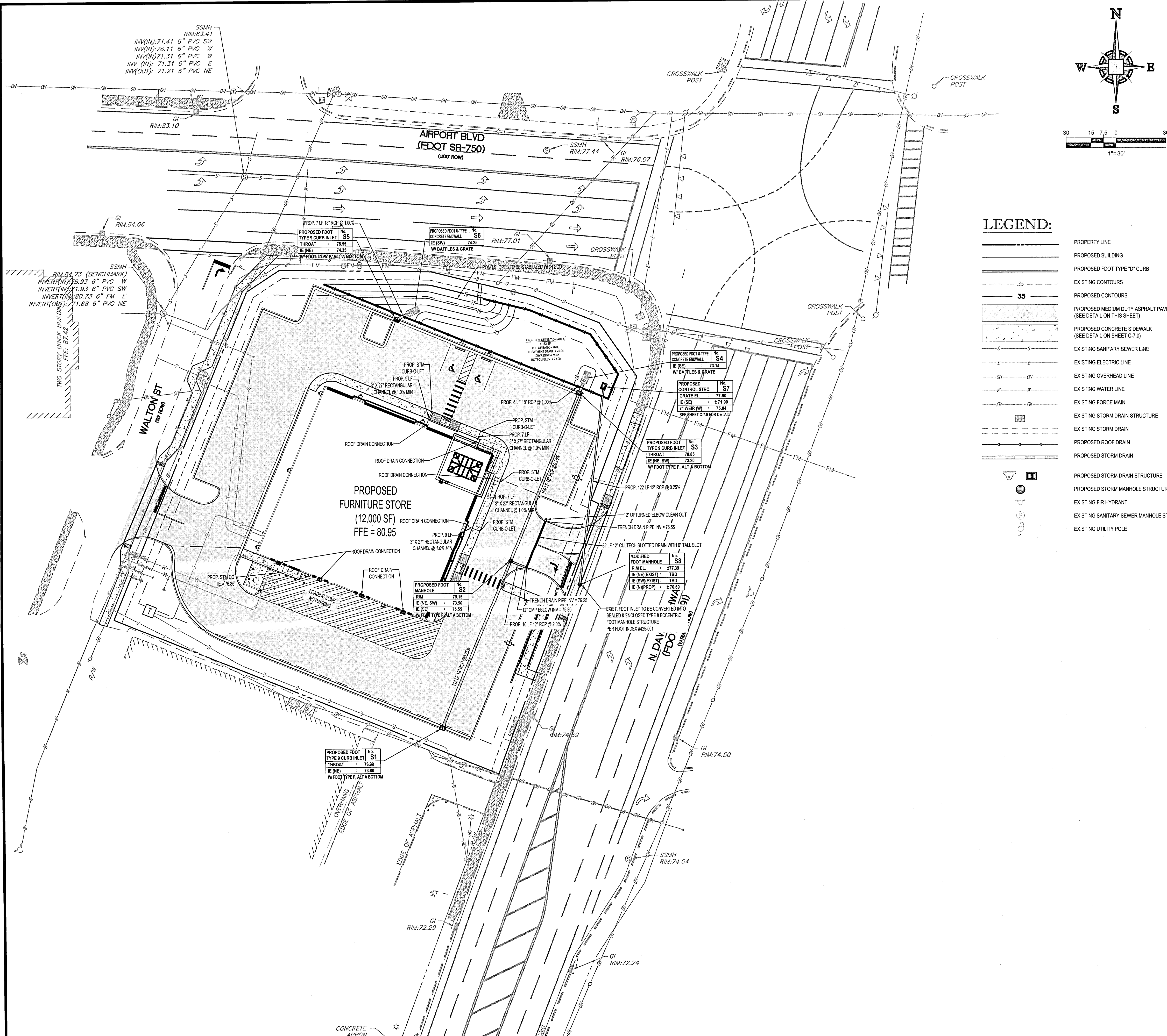


SHEET TITLE:  
**PAVING & GRADING  
PLAN**

SHEET NUMBER

## C-6.0





STORM DRAINAGE NOTES:  
(REFER TO RTG DIVISION 2 SPECIFICATION SECTION 02221 & 02711)

- A. GENERAL:
- B. MATERIALS:
- C. INSTALLATION:

ESCAMBIA COUNTY NOTES:

1. The project engineer (engineer of record) shall provide to Escambia County "As-Built" record drawings for verification and approval by Escambia County one week prior to requesting a final inspection and certificate of occupancy, or provide "As-Built" certification that the project construction adheres to the permitted plans and specifications. The "As-Built" certification or the "As-Built" record drawings must be signed, sealed and dated by a registered Florida Professional Engineer.
2. All aspects of the stormwater/drainage components and/or transportation components shall be completed prior to issuance of a final certificate of occupancy.
3. No deviations or revisions from these plans by the contractor shall be allowed without prior approval from both the design engineer and the Escambia County. Any deviations may result in delays in obtaining a certificate of occupancy.
4. The contractor shall install prior to the start of construction and maintain during construction all sediment control measures as required to retain all sediments on the site. Improper sediment control measures may result in Code Enforcement Violation.
5. Retention/detention areas shall be substantially completed prior to any construction activities that may increase stormwater runoff rates. The contractor shall control stormwater during all phases of construction and take adequate measures to prevent the excavated pond from blinding due to sediments.
6. All disturbed areas which are not paved shall be stabilized with seeding, fertilizer and mulch, hydroseeded and/or sod.
7. All new building roof drains, down spouts, or gutters shall be routed to carry all stormwater to retention/detention areas.
8. Developer/Contractor shall reshape per plan specifications, clean out accumulated silt, and stabilize retention/detention pond(s) at the end of construction when all disturbed areas have been stabilized and prior to request for inspection.
9. Contractor shall maintain record drawings during construction which show "as-built" conditions of all work including piping, drainage structures, top of pond(s), outlet structures, dimensions, elevations, grading etc. Record drawings shall be provided to the Engineer of Record prior to requesting final inspection.
10. The owner or his agent shall arrange/schedule with the County a final inspection of the development upon completion and any intermediate inspections at (850) 595-3472. As-built certification is required prior to request for final inspection/approval.
11. Prior to construction a separate Building Inspection Department permit(s) shall be obtained for all Retaining wall(s) higher than 2 feet.
12. Notify Sunshine Utilities 48 hours in advance prior to digging within RW; 1-800-432-4770.
13. Any damage to existing roads during construction will be repaired by the developer prior to final "as-built" sign off from the county.
14. The contractor shall notify FOOT 48 hours in advance prior to initiating any work in the state rights-of-way.

NOTE  
CONTRACTOR TO LIST HDPE PIPE AS AN  
ALTERNATIVE TO RCP PIPE, FOR PURPOSES  
OF THE BID.

CONTOURS AND SPOT ELEVATIONS SHOWN HEREON ARE BASED ON U.S.G.S.  
DATUM (NAVD 88 - GEOID 12B), SITE BENCHMARKS ARE SHOWN HEREON.

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REVISIONS				
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1	9/11/20	REV PER EQA COMMENTS DATED 9/10/20	CTD	
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CAD I.D.: FT190076-C-6.0 PGD

**ROOMS TO GO PATIO  
PENSACOLA**

FOR

5827 N. DAVIS HWY.  
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ESCAMBIA COUNTY, FLORIDA

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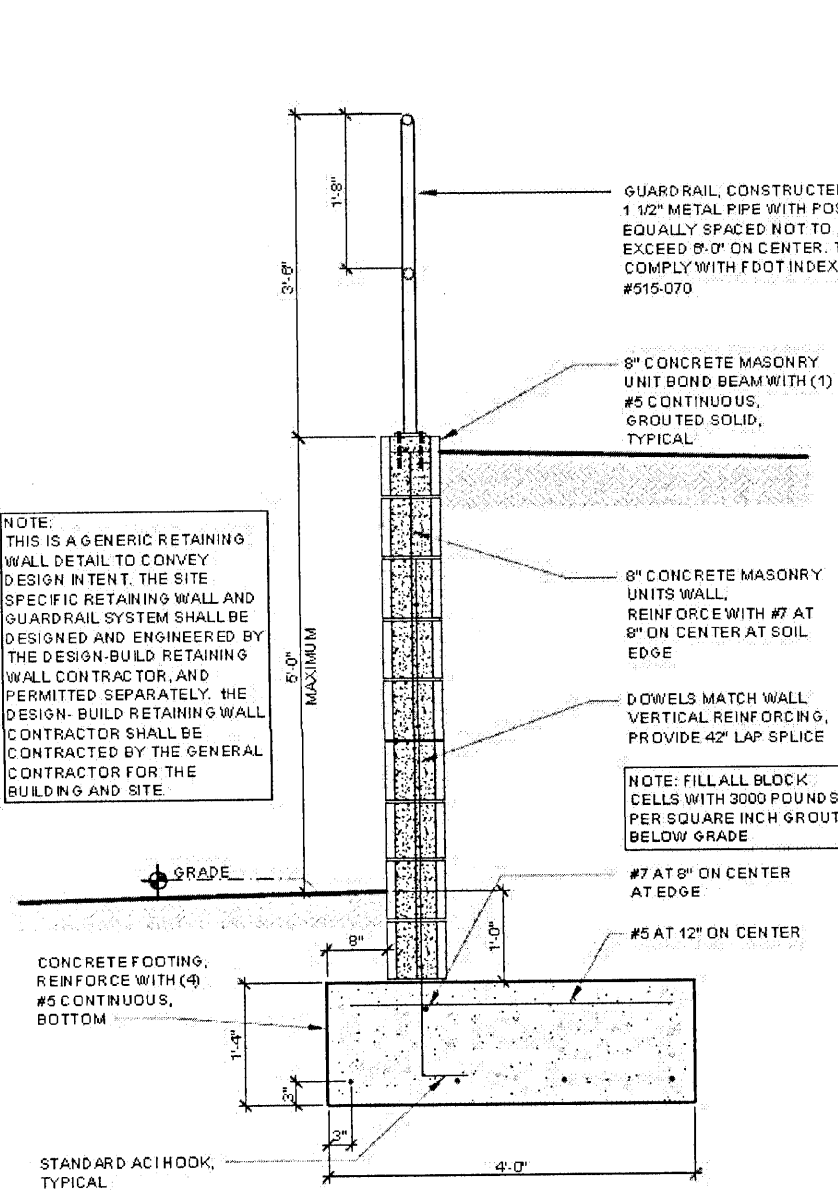
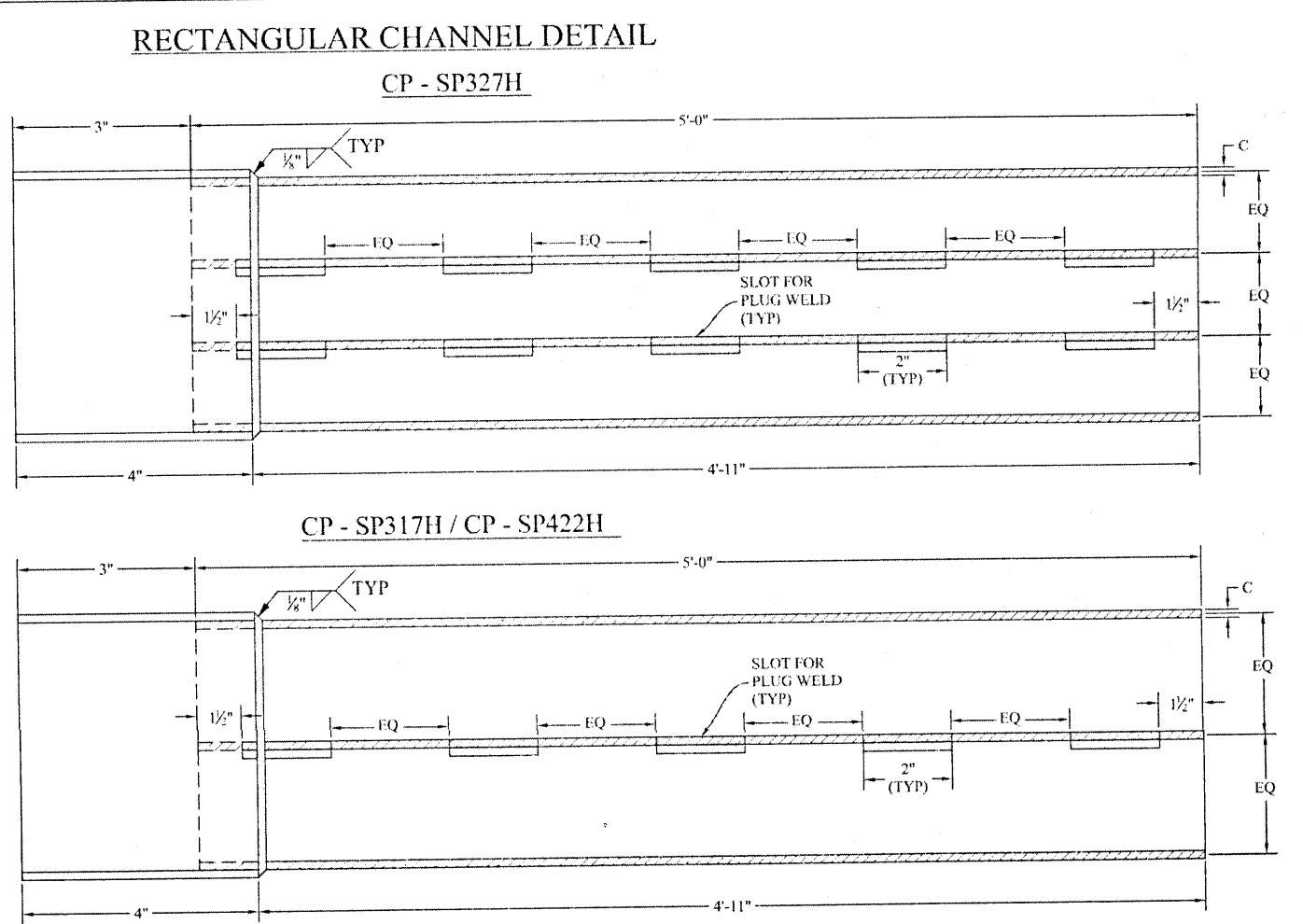
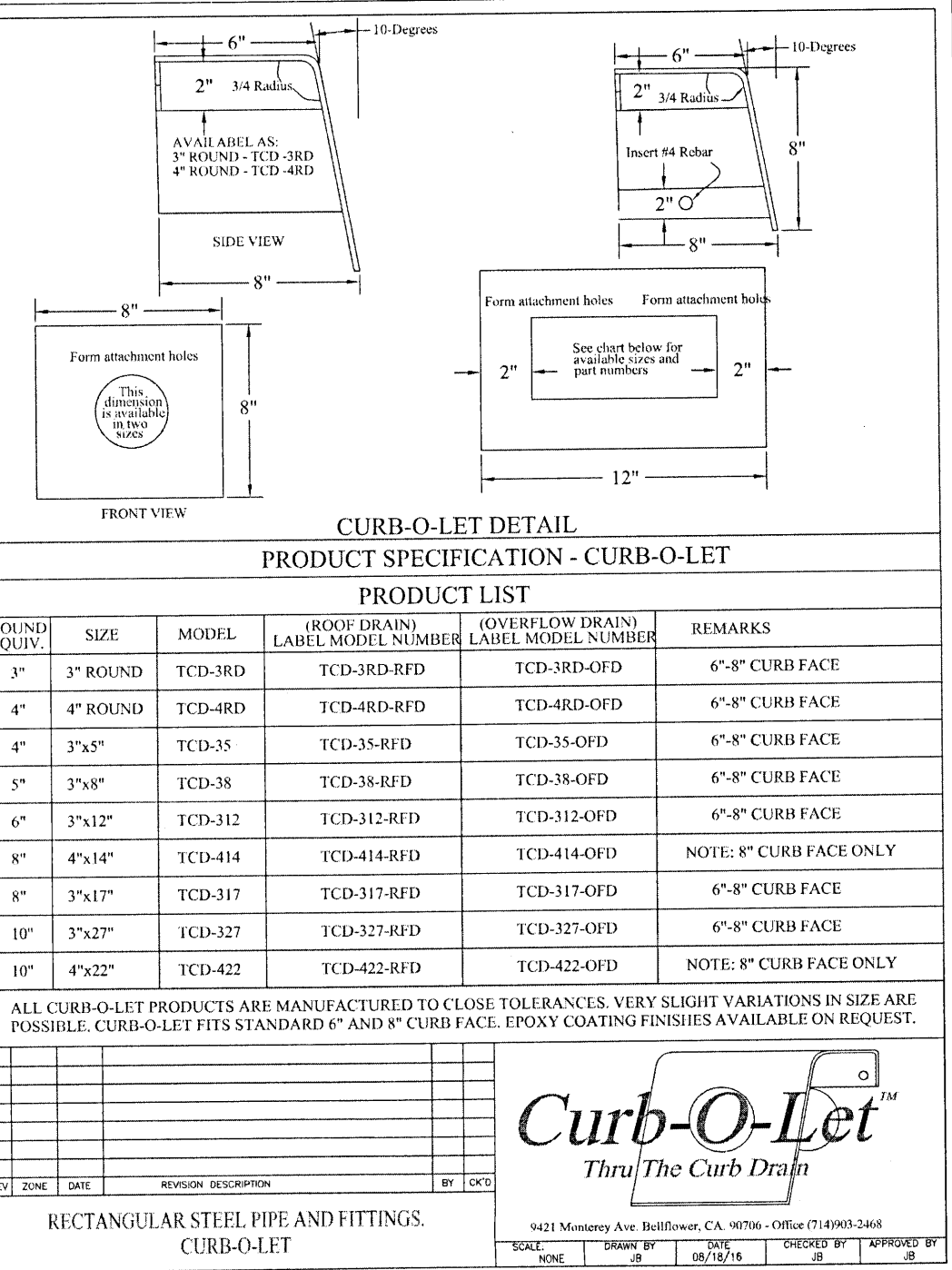
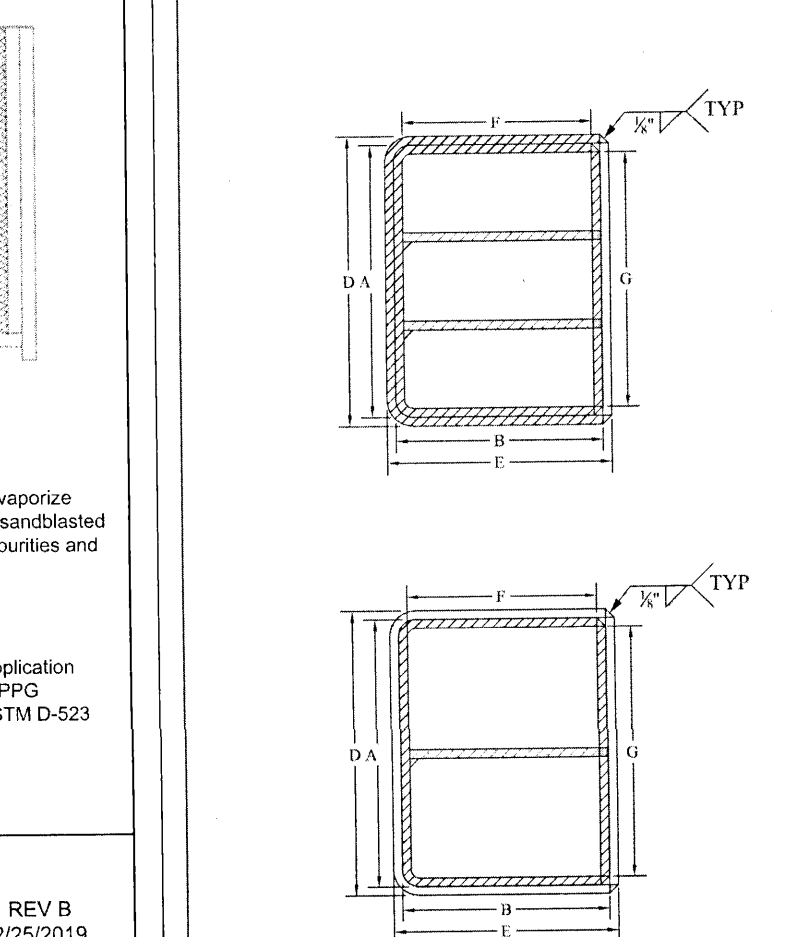
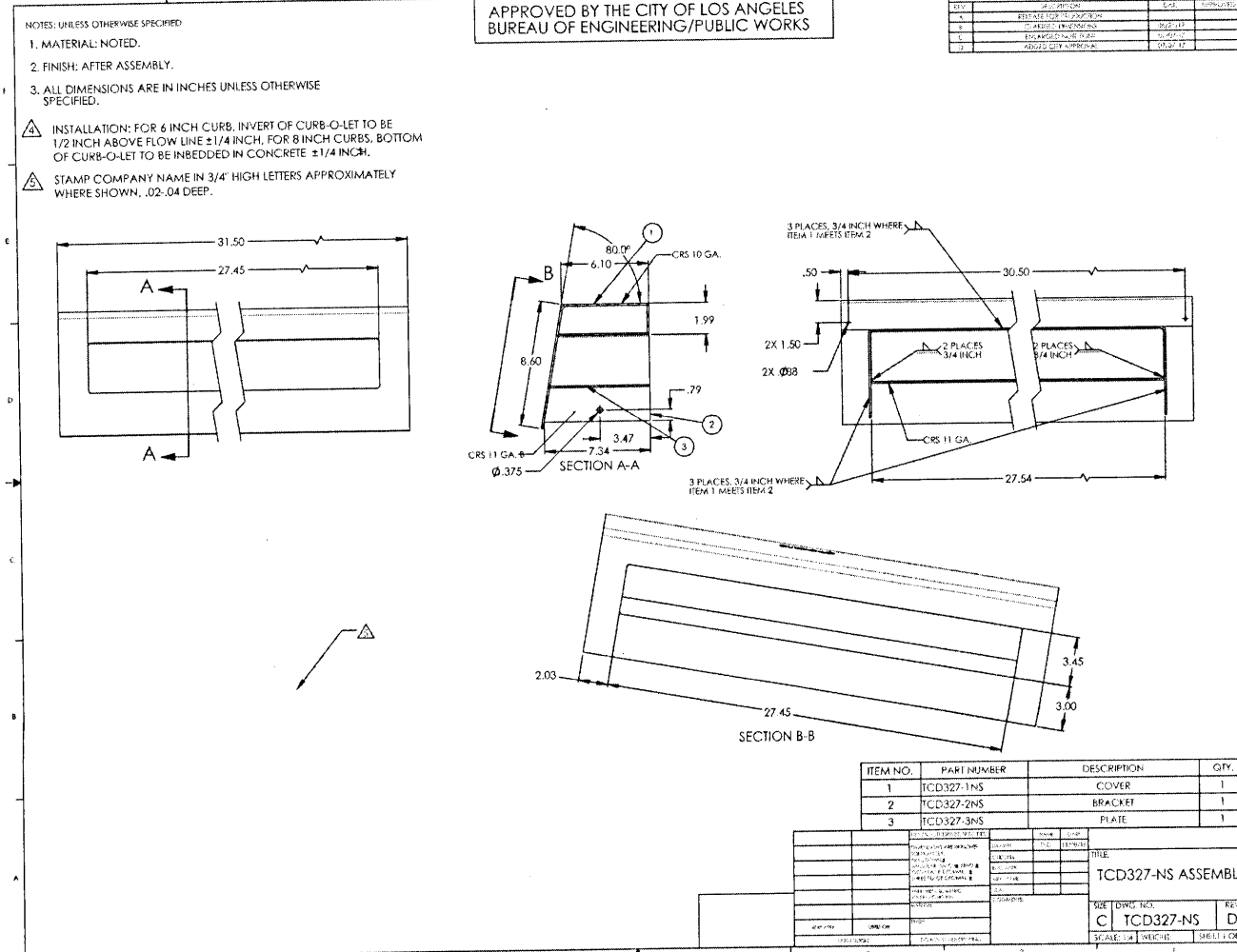
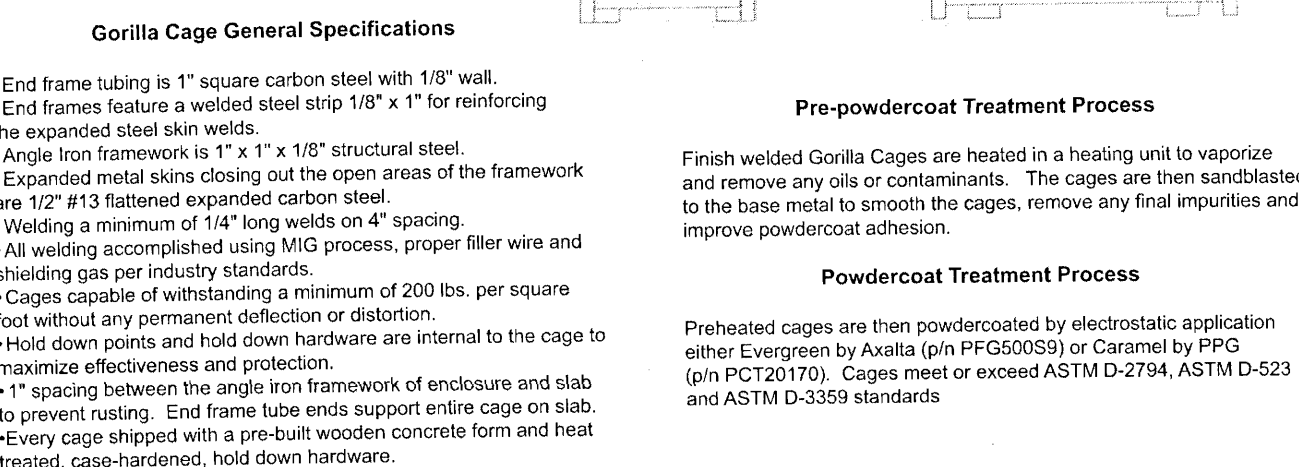
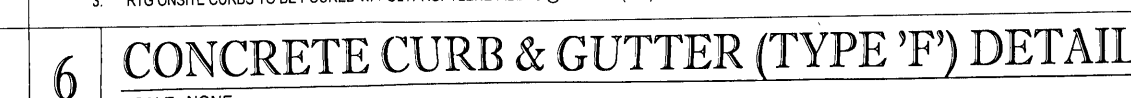
**EDWARD M. McDONALD**  
LICENSE  
No. 71615  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

EDWARD M. McDONALD, P.E.  
November 20, 2020  
FLORIDA LICENSE No. 71615  
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

SHEET TITLE:  
**DRAINAGE PLAN**

SHEET NUMBER:  
**C-6.1**





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105 W. INDIANTOWN RD.  
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PROJECT No.:	FT190076
DRAWN BY:	HR / CTD
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DATE:	8/24/2020
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CAD I.D.:	FT190076-C-7.0 DPGD

PROJECT:

## ROOMS TO GO PATIO PENSACOLA

\_\_\_\_\_ FOR \_\_\_\_\_

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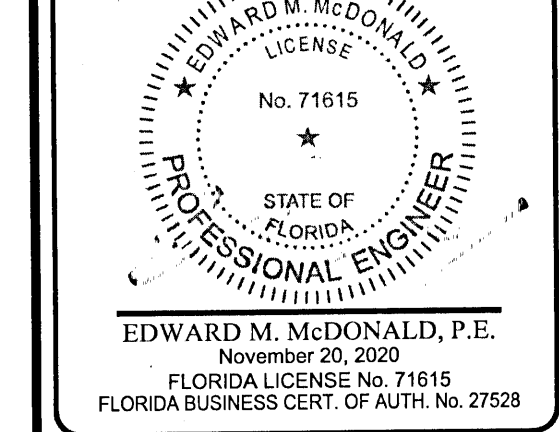
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SHEET TITLE:

## PGD DETAILS 1

SHEET NUMBER:  
**C 70**

C-7.0



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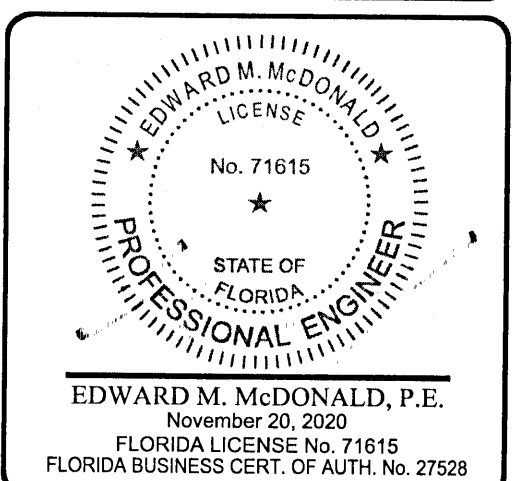
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- FOR -

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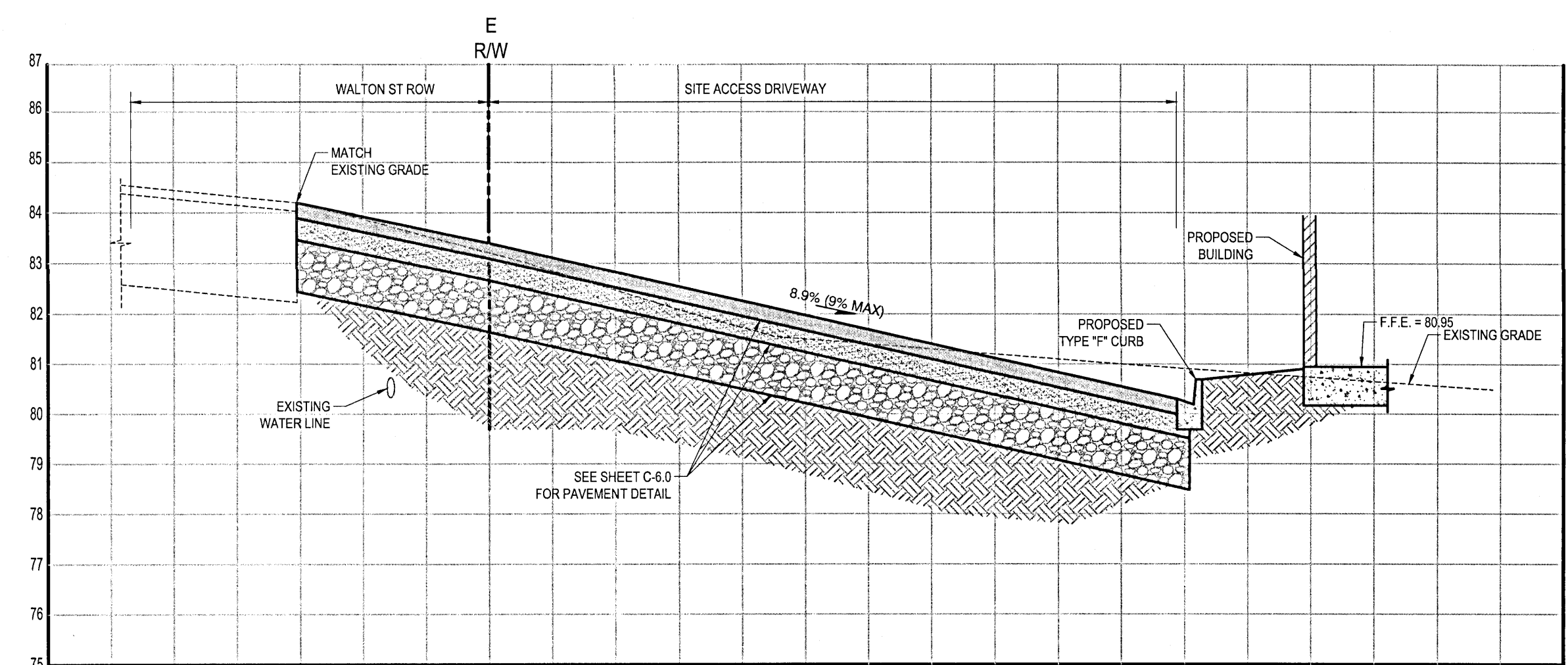
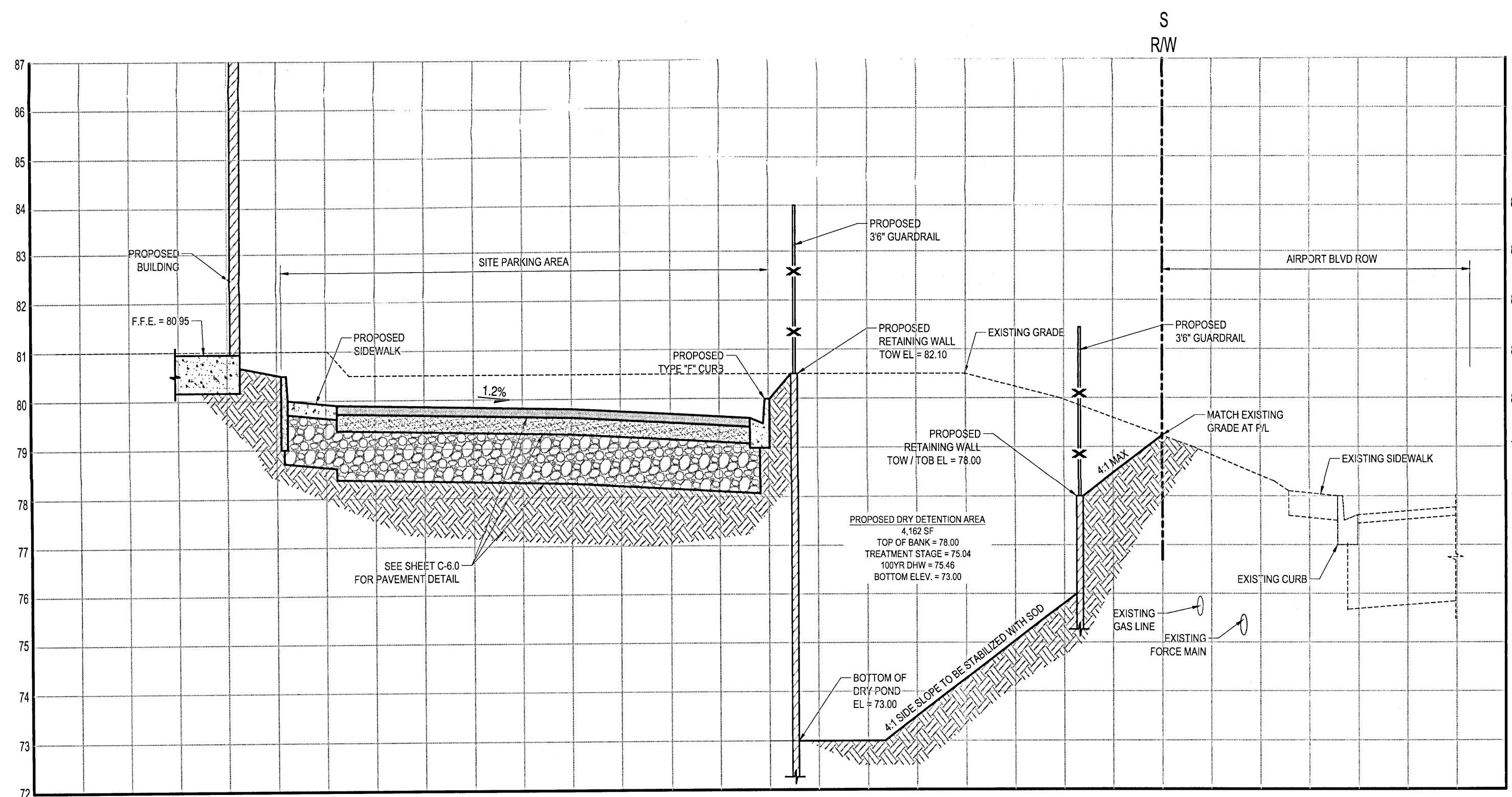
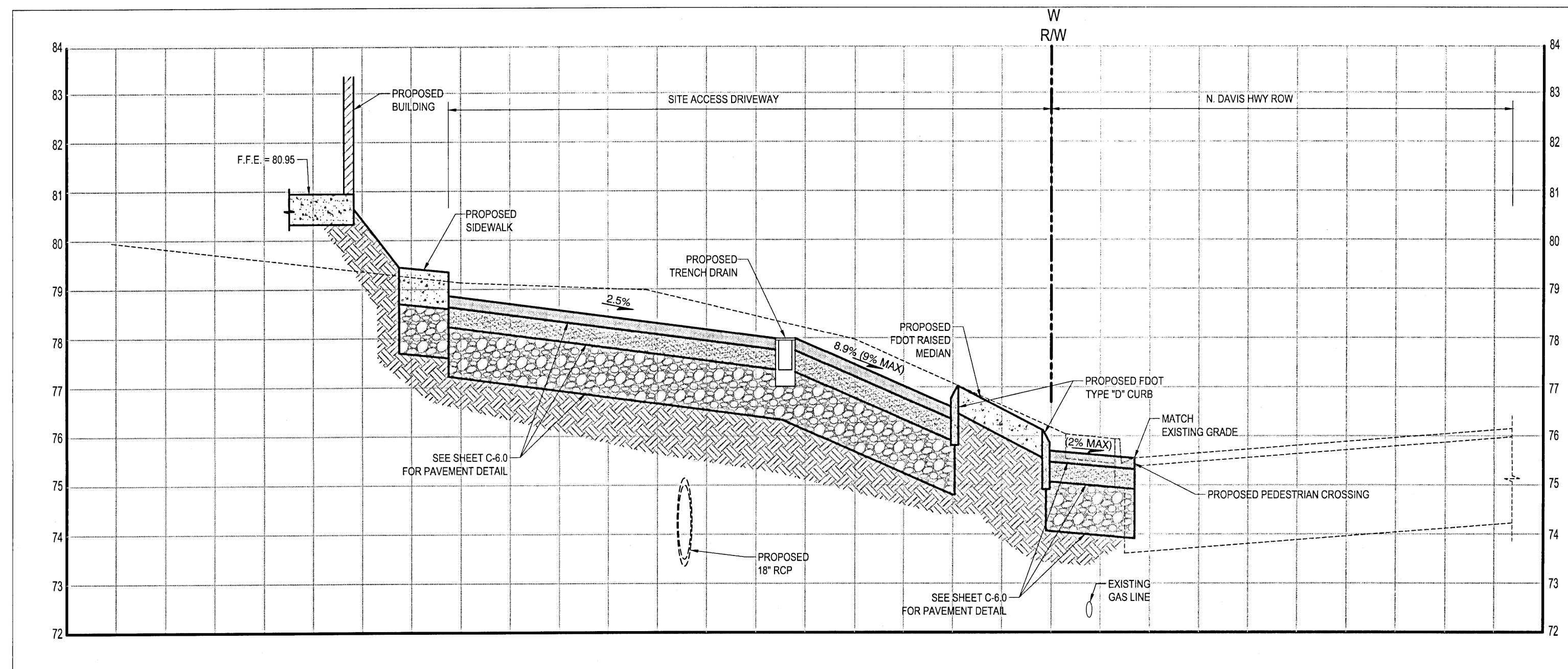
SHEET TITLE:

## PGD DETAILS 2

SHEET NUMBER:

## C-7.1





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JUPITER, FL 33458  
P: 813-379-4100  
F: 813-379-4040  
www.ThomasEngineeringGroup.com

REV	DATE	COMMENT	BY
1	9/11/20	REV PER ECJA COMMENTS DATED 9/10/20	CTD
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4	10/23/20	OWNER / PERMIT 10/23/20	HR
5	11/10/20	REV PER FOOT DRAINAGE COMMENTS DATED 10/13/20	CTD
6	11/17/20	REV PER FOOT ACCESS COMMENTS DATED 10/15/20	CTD

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**PERMIT SET**  
PROJECT No.: FT190076  
DRAWN BY: HR / CTD  
CHECKED BY: EMM  
DATE: 8/24/2020  
SCALE: AS NOTED  
CAD I.D.: FT190076-C-8.0 X SETC

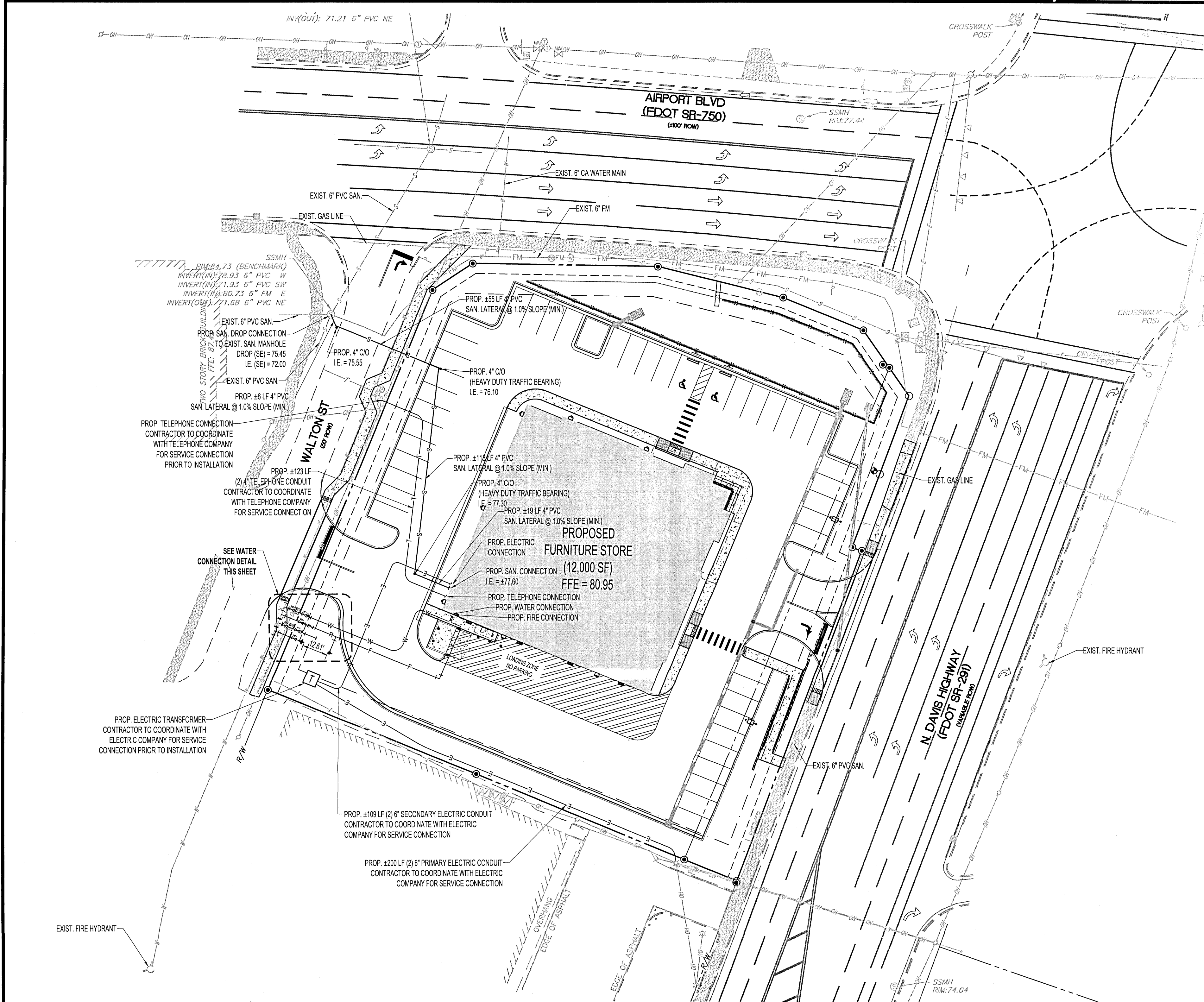
**ROOMS TO GO PATIO PENSACOLA**  
FOR  
5827 N. DAVIS HWY.  
PENSACOLA  
ESCAMBIA COUNTY, FLORIDA

**THOMAS ENGINEERING GROUP**  
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**EDWARD M. McDONALD, P.E.**  
FLORIDA LICENSE No. 71615  
November 20, 2020  
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

**CROSS SECTIONS**  
SHEET NUMBER:  
**C-8.0**





### SANITARY SEWER NOTES:

- (REFER TO RTG DIVISION 2 SPECIFICATION SECTION 02730)
- A. GENERAL:
1. DISTANCE AND LENGTHS SHOWN ON PLANS AND PROFILE DRAWINGS ARE REFERENCED TO THE CENTER OF STRUCTURES.
  2. PRIOR TO COMMENCING CONSTRUCTION, CONTRACTOR TO TELETYPE EXISTING SANITARY SEWER LINE FROM POINT OF CONNECTION THROUGH THE NEXT SEQUENTIAL DOWNSTREAM RUN OF PIPE. ADDITIONALLY, PRIOR TO COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL TELETYPE THE NEWLY INSTALLED SANITARY SEWER MAIN TO ENSURE NO DIPS OR DEBRIS WITHIN LINE.
  3. ALL UNDERGROUND UTILITY WORK IN THE COUNTY EASEMENT OR ROW MUST BE COMPLETED BY UNDERGROUND UTILITY CONTRACTOR LICENSED BY THE STATE OF FLORIDA.
- B. MATERIALS:
1. ALL PVC SEWER PIPE AND FITTINGS SHALL BE NON-PRESSURE POLYVINYL CHLORIDE (PVC) PIPE CONFORMING TO ASTM D 3034, SDR 26, WITH PUSH-ON RUBBER GASKET JOINTS.
  2. ALL FITTINGS AND ACCESSORIES SHALL BE AS MANUFACTURED OR SUPPLIED BY THE PIPE MANUFACTURER OR APPROVED EQUAL.
  3. ALL SANITARY CLEANOUTS WITHIN PAVEMENT SHALL HAVE A LID THAT IS H2O LOADING.
  4. ALL CLEANOUTS WITHIN PAVEMENT SHALL BE HEAVY DUTY TRAFFIC BEARING.
- C. INSTALLATION:
1. PIPE AND FITTINGS:
    - a. SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, AND THE UNI-BELL PLASTICS PIPE ASSOCIATION'S "RECOMMENDED PRACTICE FOR THE INSTALLATION OF PVC SEWER PIPE".
    - b. BEDDING AND INITIAL BACKFILL (12 INCHES) OVER SEWER MAINS AND SERVICES SHALL BE SAND WITH NO ROCK LARGER THAN 1" IN DIAMETER. PEA ROCK OR 3/4" WASHED ROCK WILL BE USED IN WATER OR WHERE UNSUITABLE BEDDING EXISTS. ALL OTHER FILL SHALL NOT HAVE ROCK LARGER THAN 6" IN DIAMETER.
  2. CLEANOUTS:
    - a. CLEANOUTS SHALL BE SET PLUMB TO LINE AND GRADE ON FIRM CLEAN SUBGRADE PROVIDING UNIFORM BEARING UNDER THE BASE.
    - b. ALL OPENINGS AND JOINTS SHALL BE SEALED WATER-TIGHT.
  3. SERVICE:
    - a. MINIMUM SLOPE OF ALL SERVICE LINES SHALL BE 1.04%.
    - b. EACH SERVICE CONNECTION SHALL BE PLUGGED WATER-TIGHT WITH AN APPROVED PLUG.
    - c. CONNECTION OF SERVICES TO BUILDING'S PLUMBING SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS.
  4. TESTING:
    1. AFTER CONSTRUCTION OF THE SEWER SYSTEM, THE ENGINEER MAY REQUIRE A VISUAL INFILTRATION AND/OR EXFILTRATION TEST TO BE PERFORMED ON THE ENTIRE SYSTEM OR ANY PART THEREOF.
    2. AN AIR TEST MAY BE SUBSTITUTED FOR THE WATER INFILTRATION TEST, UPON APPROVAL OF THE ENGINEER.
    3. SEWER PIPE LEAKAGE ALLOWABLE SHALL NOT EXCEED 150 GALLONS PER DAY PER INCH DIAMETER PER MILE IN A TWO HOUR TEST PERIOD FOR ANY SECTION TESTED. NO VISIBLE LEAKAGE SHALL BE ALLOWED.
    4. CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES PRIOR TO THE CERTIFICATION TO ANY AGENCY.

### FIRE DEPARTMENT NOTES:

ONCE THE POINT-OF-SERVICE LOCATION IS ESTABLISHED, IT IS FROM THIS JUNCTURE THAT A SEPARATE PERMIT IS REQUIRED FOR THE INSTALLATION OF UNDERGROUND FIRE LINES IN ACCORDANCE WITH NFPA 24 (2010 ED.) BY AN APPROPRIATELY CERTIFIED FIRE SPRINKLER CONTRACTOR OR A TYPE V UNDERGROUND CONTRACTOR AS DEFINED AND OUTLINED IN F.S. 633.102 (24).

- THE SDP DRAWINGS MUST CONTAIN THE FOLLOWING STATEMENTS ON THE DRAWINGS:
- "A SEPARATE PERMIT IS REQUIRED PRIOR TO INSTALLATION OF ANY FIRE LINE."
  - "INSTALLATION OF ALL UNDERGROUND FIRE LINES SHALL COMPLY WITH THE 2010 EDITION OF NFPA 24."
  - "UNDERGROUND FIRE LINES SHALL BE INSTALLED BY AN APPROPRIATELY CERTIFIED FIRE SPRINKLER CONTRACTOR OR A TYPE V UNDERGROUND CONTRACTOR AS DEFINED F.S. 633.102 (24)."

### WATER DISTRIBUTION NOTES:

- (REFER TO RTG DIVISION 2 SPECIFICATION SECTION 02668)
1. CONTRACTOR SHALL FOLLOW GUIDELINES AND PROCEDURES OUTLINED BY UTILITY PROVIDER, AND HAVE UTILITY PROVIDER'S MANUAL ON-SITE AT ALL TIMES. THIS POLICY MANUAL SHALL BE CONSIDERED PART OF THE CONSTRUCTION DOCUMENTS AS IT PERTAINS TO APPROVED MATERIALS, INSTALLATION METHODS, INSPECTION NOTIFICATION AND AS-BUILT/PROJECT CLOSEOUT REQUIREMENTS.
  2. ALL HIGH DENSITY POLYETHYLENE PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF AASHTO M - 284 LATEST REVISIONS. ALL PIPING TO BE NON-PERFORATED TUBING.

### UNDERGROUND UTILITY NOTE:

ANY EXISTING UNDERGROUND UTILITY FOUND IN GOOD CONDITION SHALL REMAIN IN PLACE. OWNER TO OWN AND MAINTAIN WATER, IRRIGATION, AND SEWER SYSTEMS.

### UTILITY CONTACTS:

COUNTY  
ESCAMBIA COUNTY  
3363 WEST PARK PL  
PENSACOLA, FL 32505  
(850) 696-1620

PUBLIC UTILITIES  
ECUA: EMERALD COAST UTILITIES AUTHORITY  
9255 STURDEVANT ST  
PENSACOLA, FL 32514  
(850) 969-5310

WATER & SEWER  
ECUA: EMERALD COAST UTILITIES AUTHORITY  
9255 STURDEVANT ST  
PENSACOLA, FL 32514  
(850) 969-5310

TELEPHONE / CABLE  
COX COMMUNICATIONS  
3405 MCLEMORE DR  
PENSACOLA, FL 32514  
(850) 857-4559

ELECTRIC  
GULF POWER  
JAMES BROWN  
ONE EMERY PL  
PENSACOLA, FL 32520  
(850) 505-5567

GAS  
PENSACOLA ENERGY  
1025 ATWOOD DR  
PENSACOLA, FL 32514  
(850) 474-5319

FIRE  
ESCAMBIA COUNTY FIRE DEPARTMENT STATION #3  
5925 NORTH WEST ST  
PENSACOLA, FL 32505  
(850) 494-7275

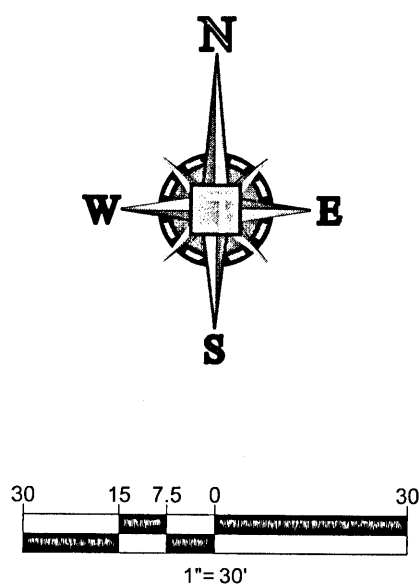
GARBAGE  
ECUA: EMERALD COAST UTILITIES AUTHORITY  
9255 STURDEVANT ST  
PENSACOLA, FL 32514  
(850) 476-0480

### FEMA MAP INFORMATION:

THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT-ANNUAL-CHANCE FLOODPLAINS, NO BFES OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0380S, MAP REVISION DATED SEPTEMBER 29, 2006.

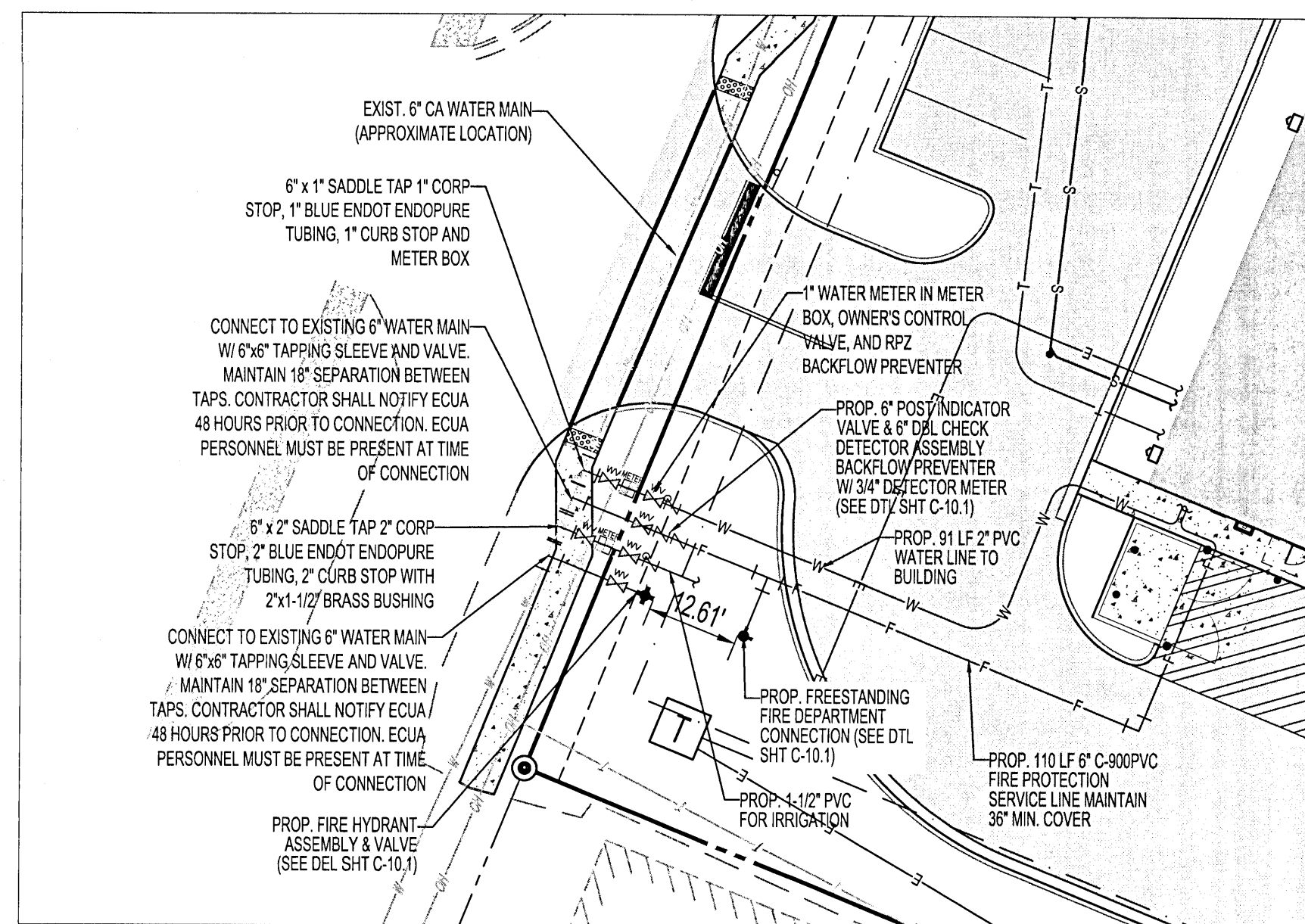
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CONTOURS AND SPOT ELEVATIONS SHOWN HEREON ARE BASED ON U.S.G.S. DATUM (NAVD 88 - GEOID 12B), SITE BENCHMARKS ARE SHOWN HEREON.



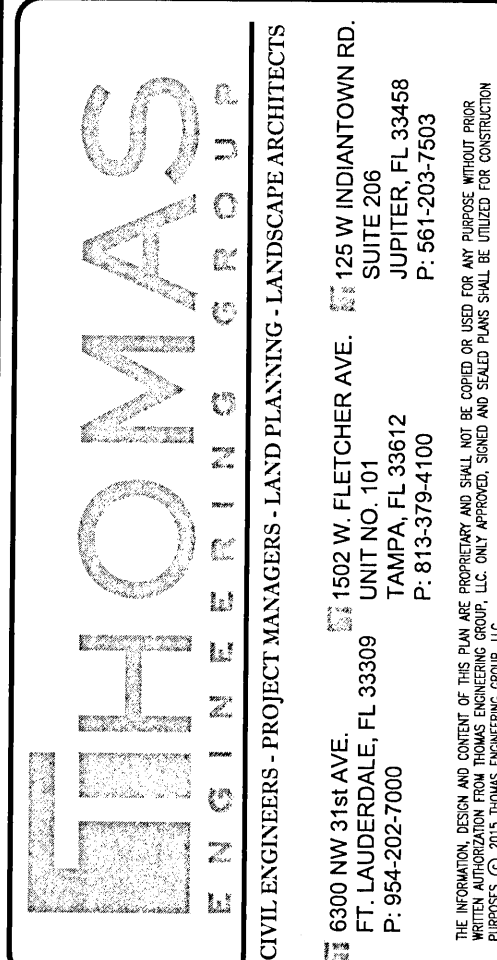
### LEGEND:

---	PROPERTY LINE
- - - - -	EXISTING STORM SEWER
- - - - -	EXISTING SANITARY SEWER
- - - - -	EXISTING FORCE MAIN
- - - - -	EXISTING WATER MAIN
- - - - -	EXISTING OVERHEAD ELECTRIC
- - - - -	EXISTING TELEPHONE
- - - - -	EXISTING GAS LINE
- - - - -	EXISTING POWER / TELEPHONE POLE
- - - - -	EXISTING FIRE HYDRANT
- - - - -	PROPOSED SANITARY SEWER
- - - - -	PROPOSED WATER MAIN
- - - - -	PROPOSED ELECTRIC CONDUIT
- - - - -	PROPOSED TELEPHONE
- - - - -	PROPOSED STORM SEWER
- - - - -	PROPOSED LIGHT POLE (REFER TO PHOTOMETRIC PLAN)

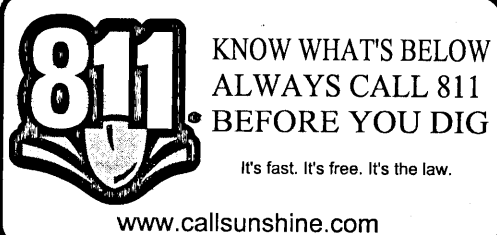


### WATER CONNECTION DETAIL

SCALE: 1" = 20"



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6	11/17/20	REV PER FDOT ACCESS COMMENTS DATED 10/15/20	CTD



### PERMIT SET

PROJECT No.:	FT190076
DRAWN BY:	HR / CTD
CHECKED BY:	EMM
DATE:	8/24/2020
SCALE:	AS NOTED
CAD I.D.:	FT190076-C-9.0 UP

PROJECT:

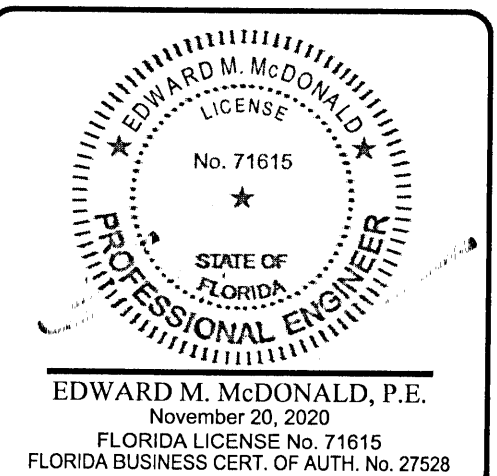
### ROOMS TO GO PATIO PENSACOLA

FOR

5827 N. DAVIS HWY.  
PENSACOLA  
ESCAMBIA COUNTY, FLORIDA



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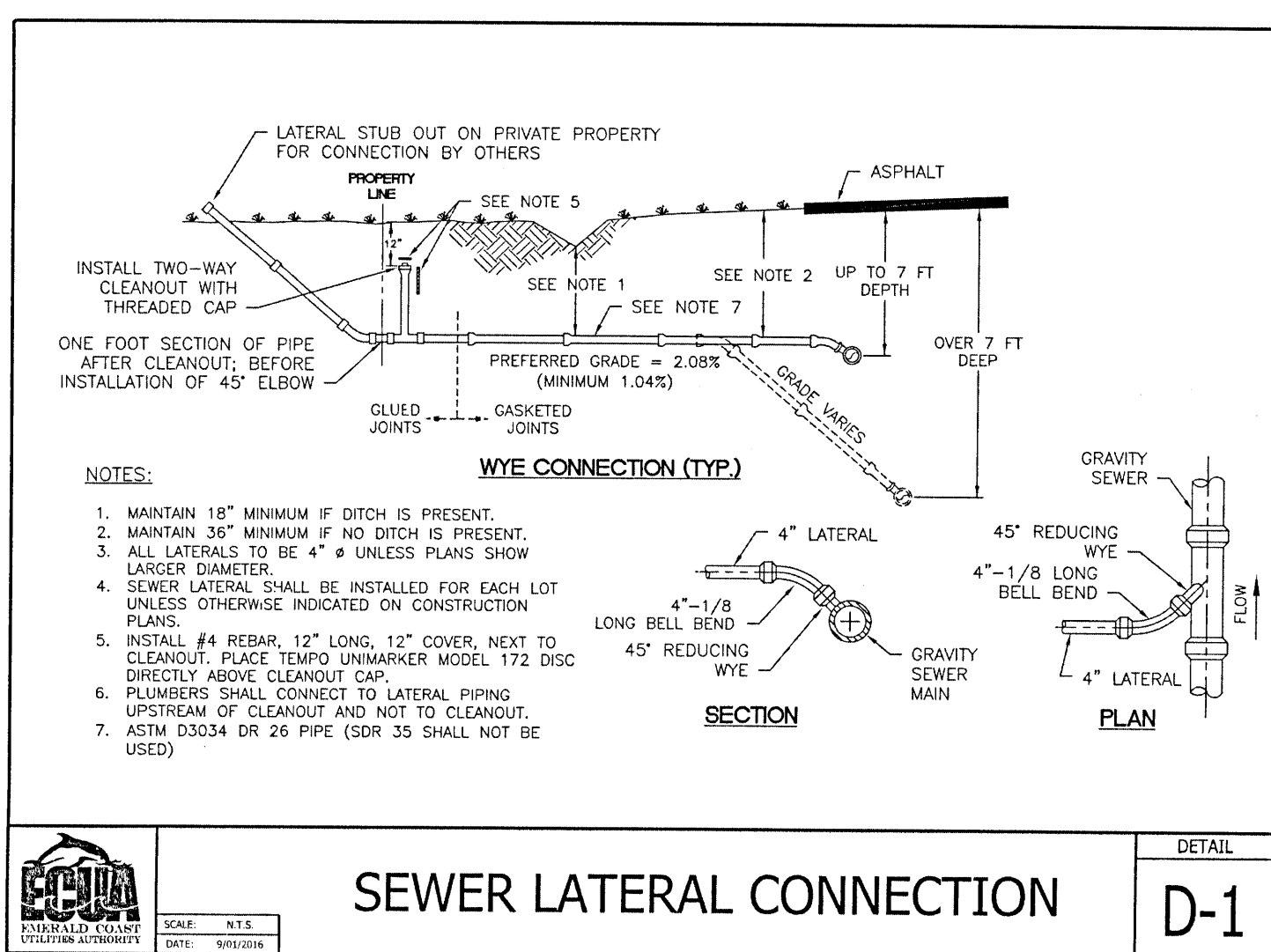
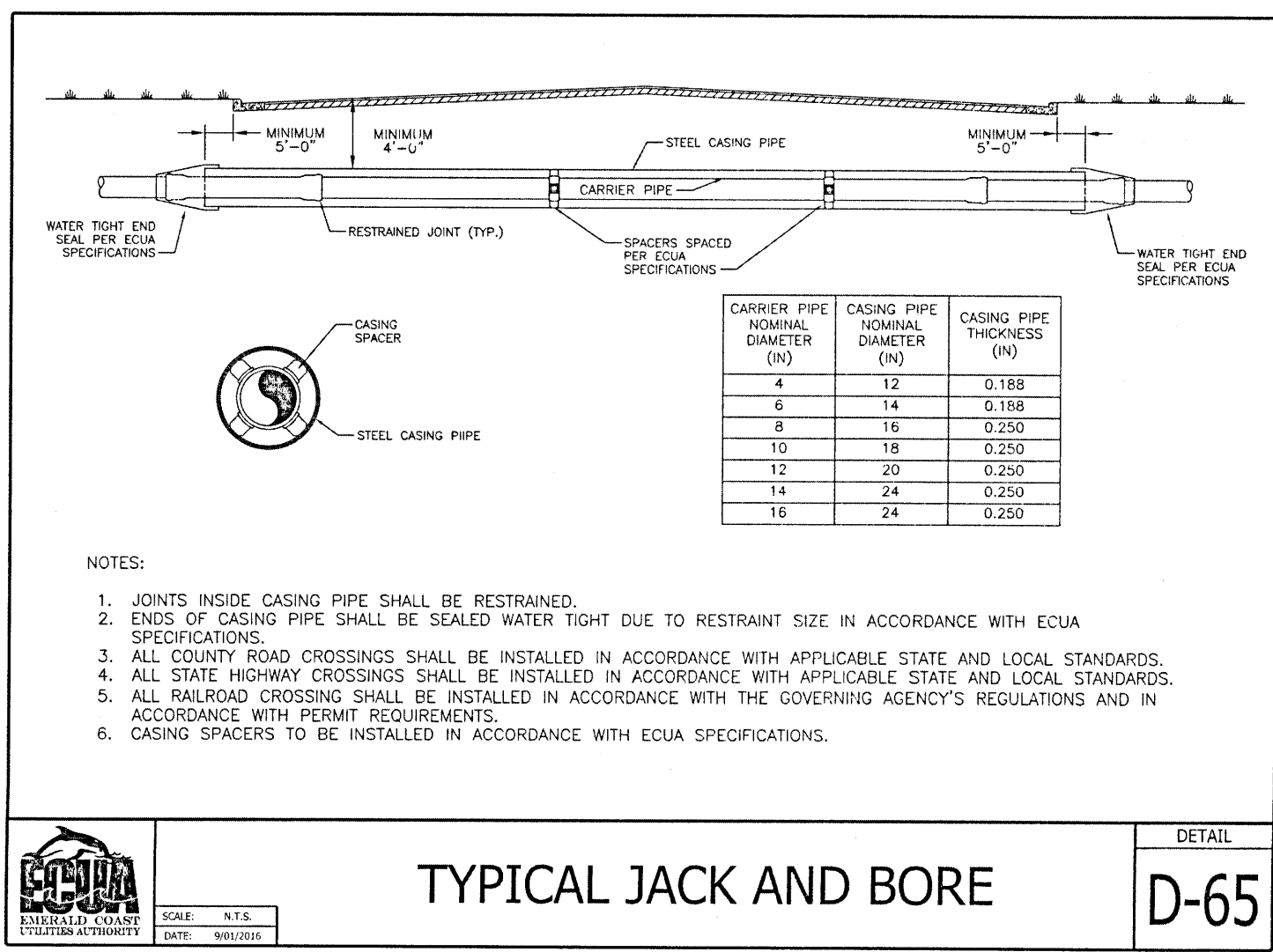
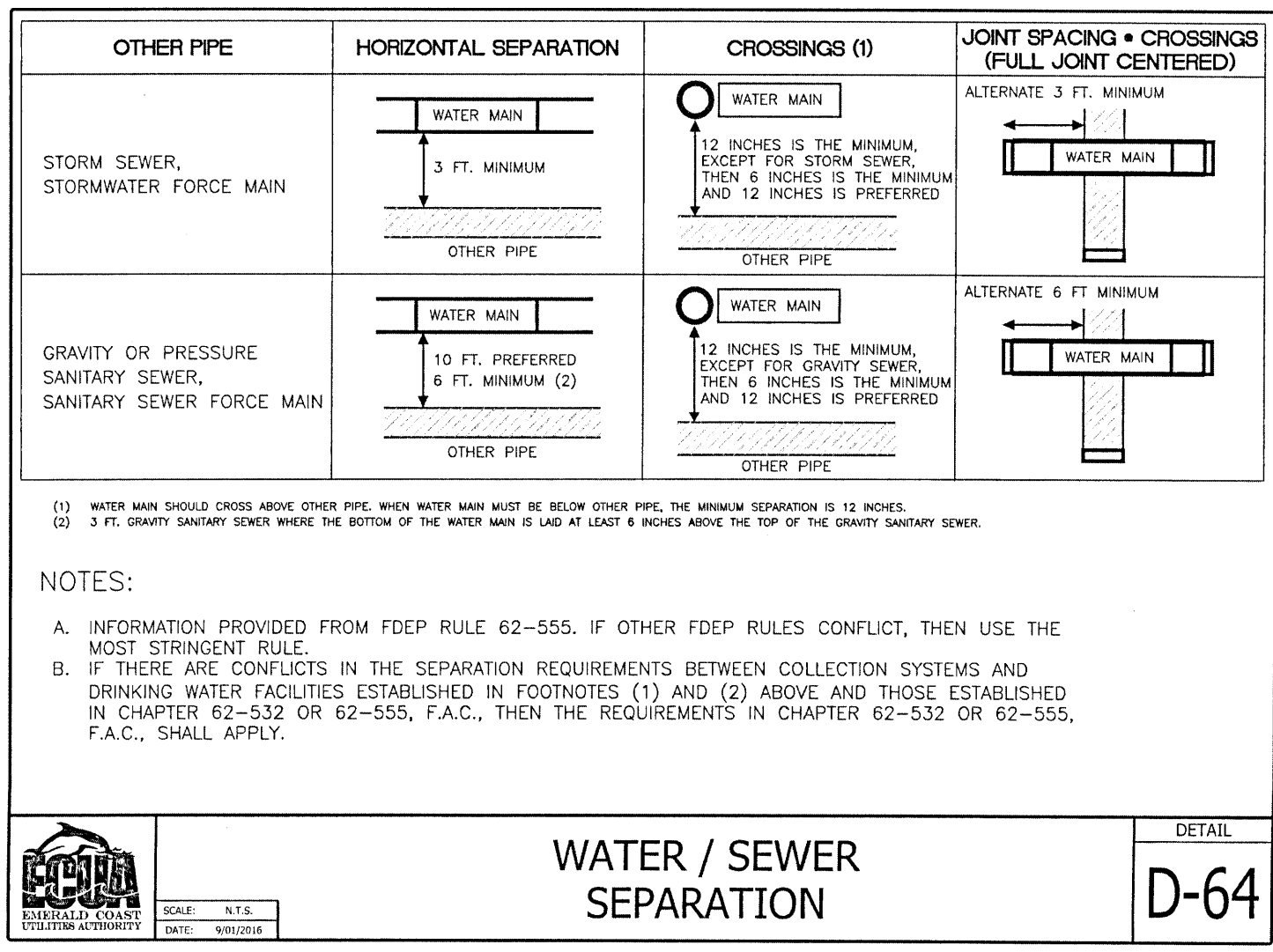
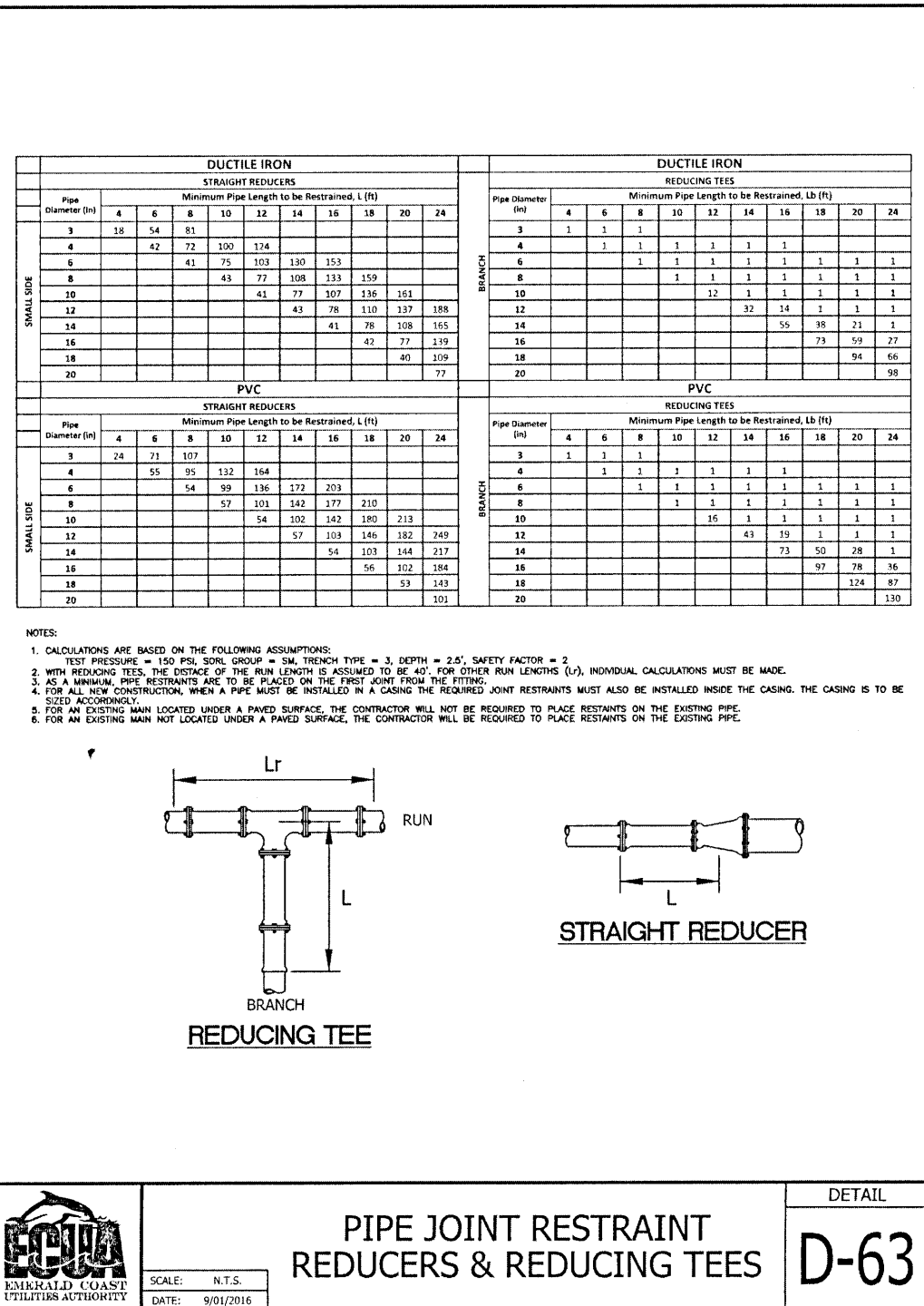
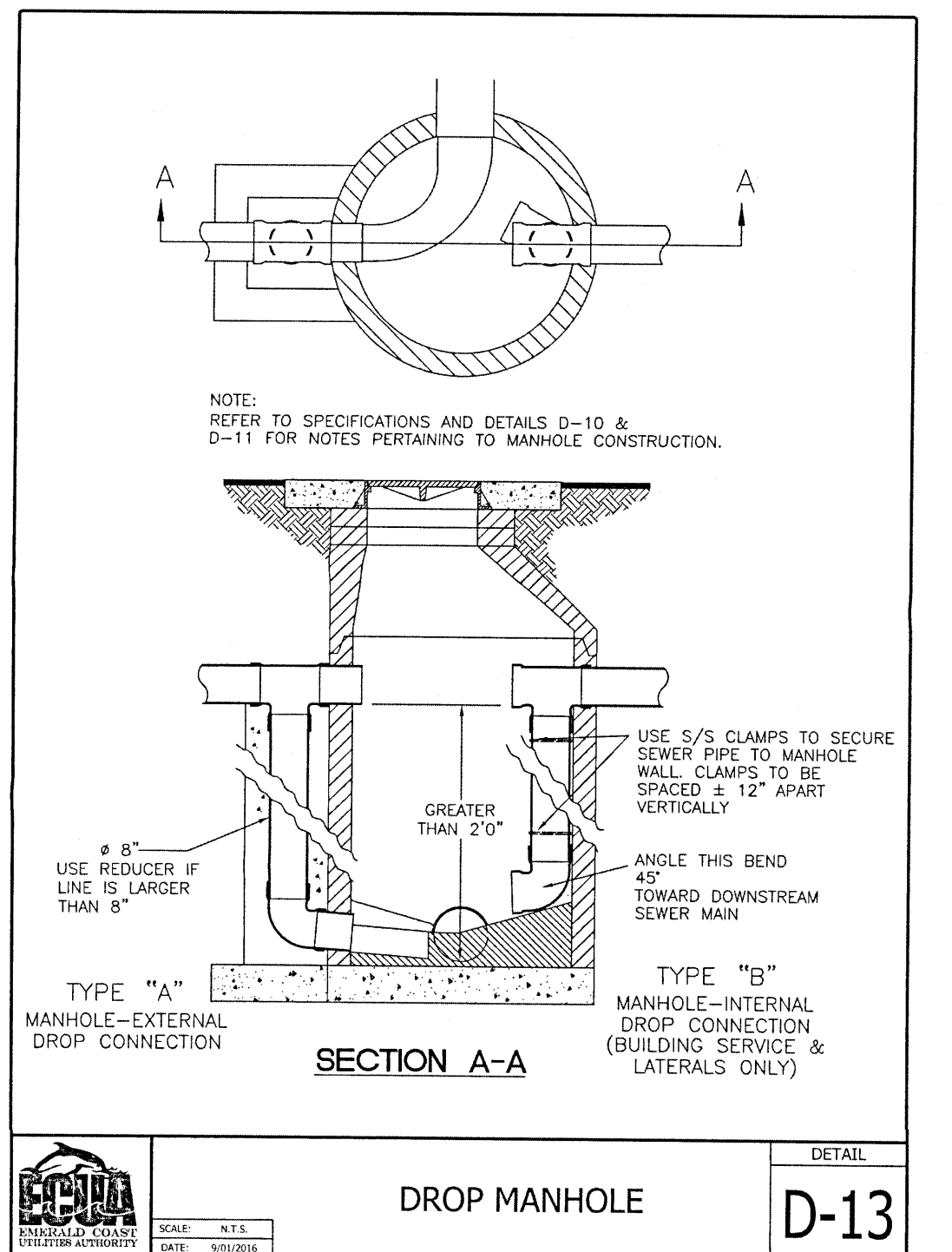
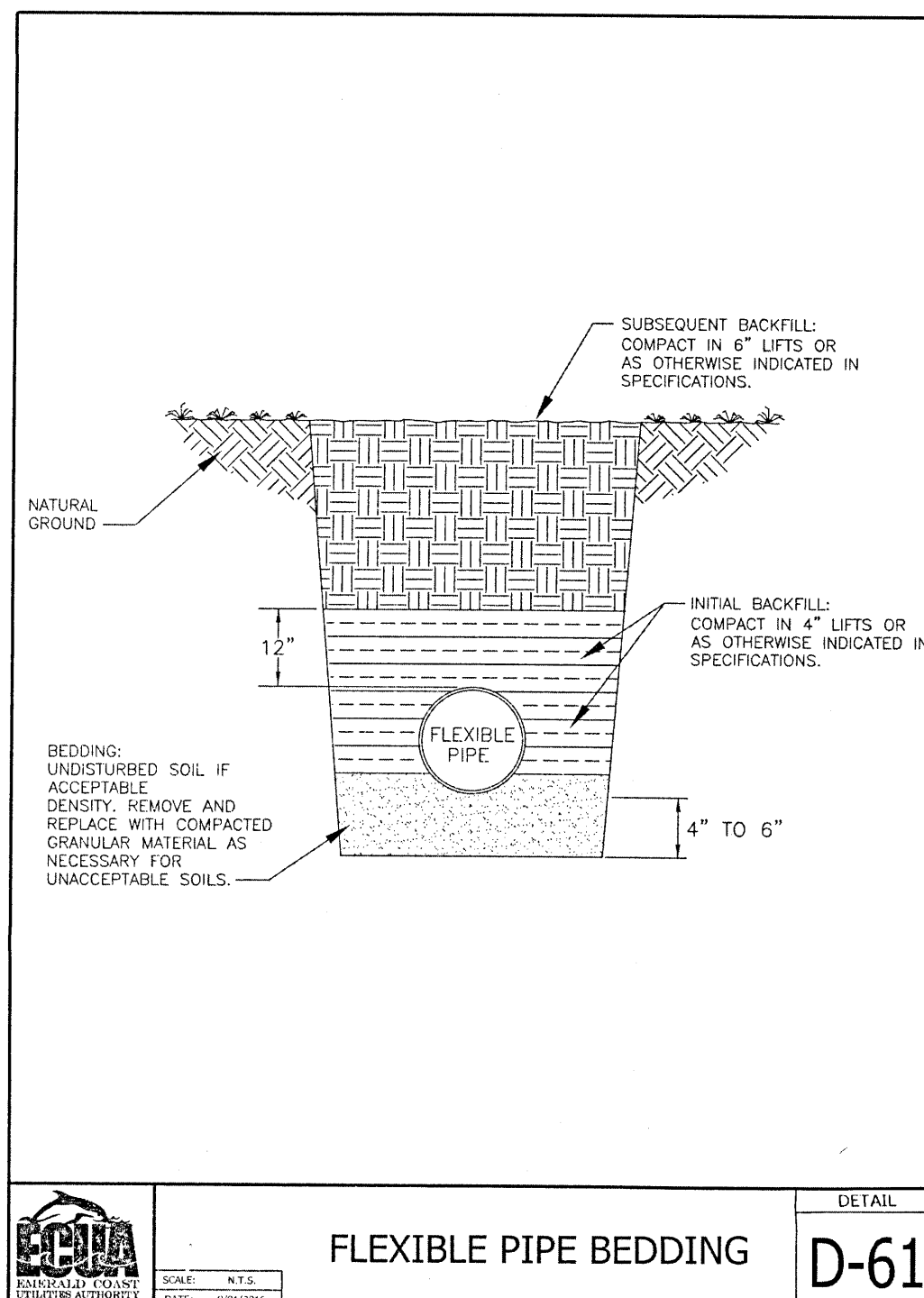
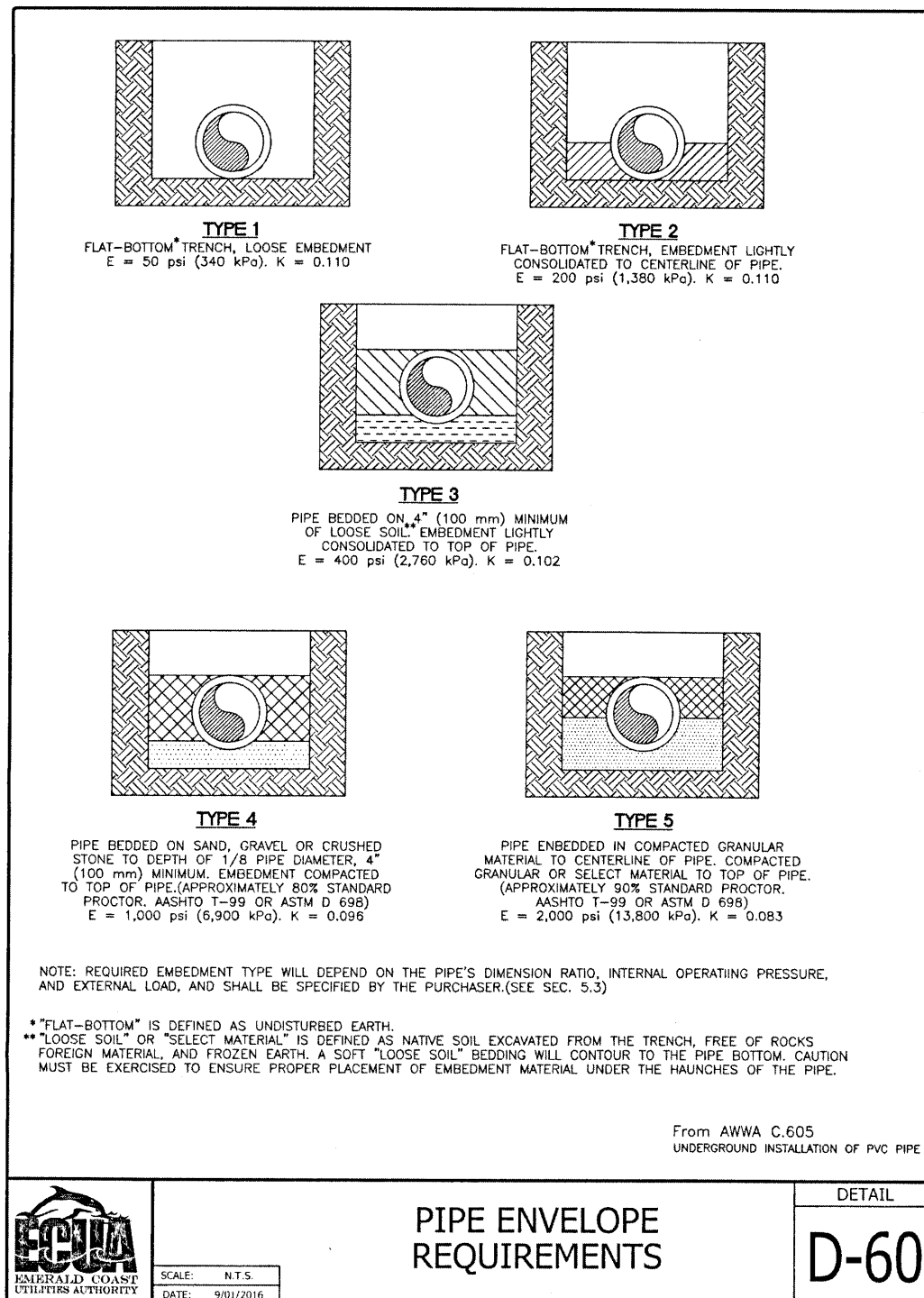
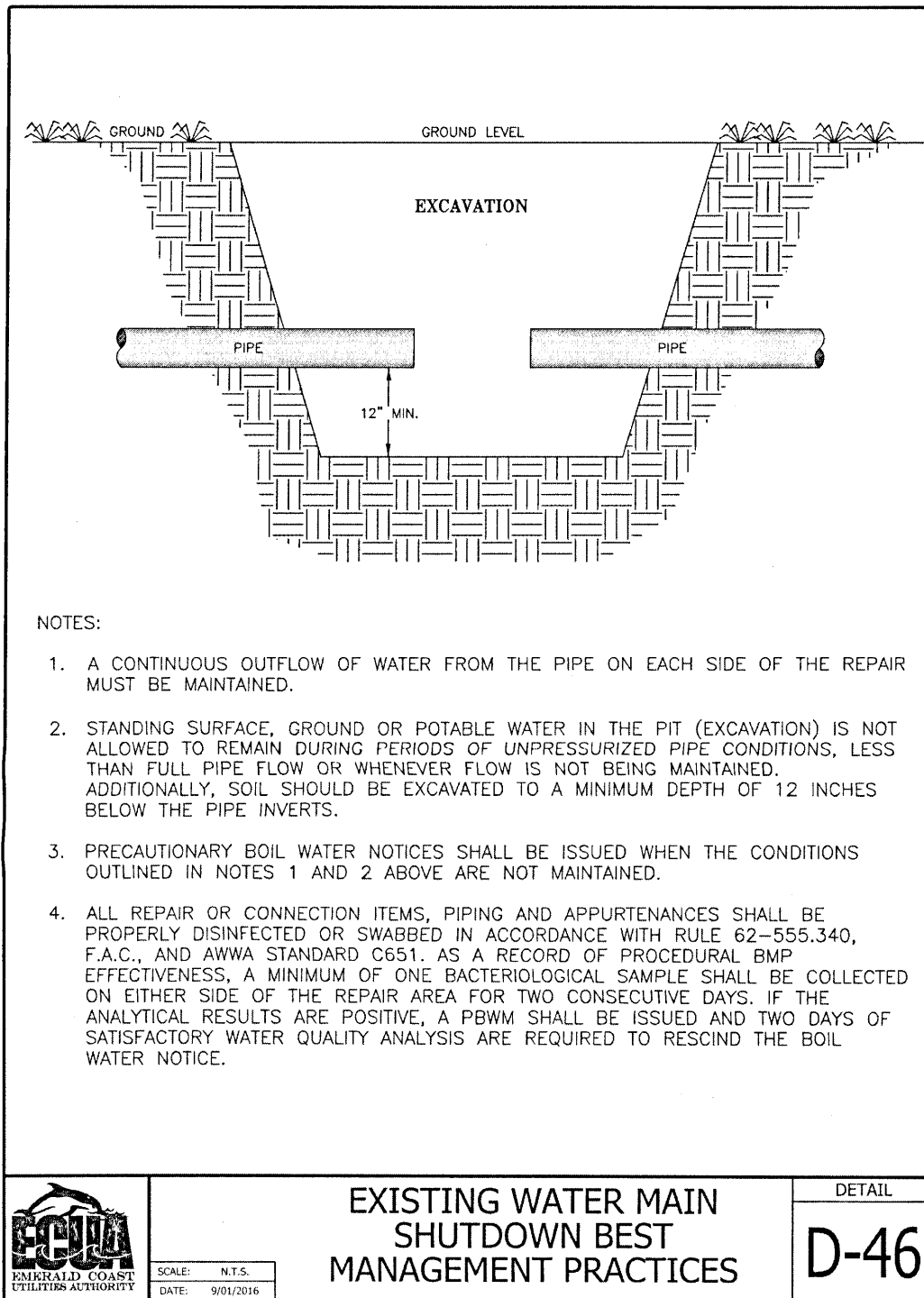
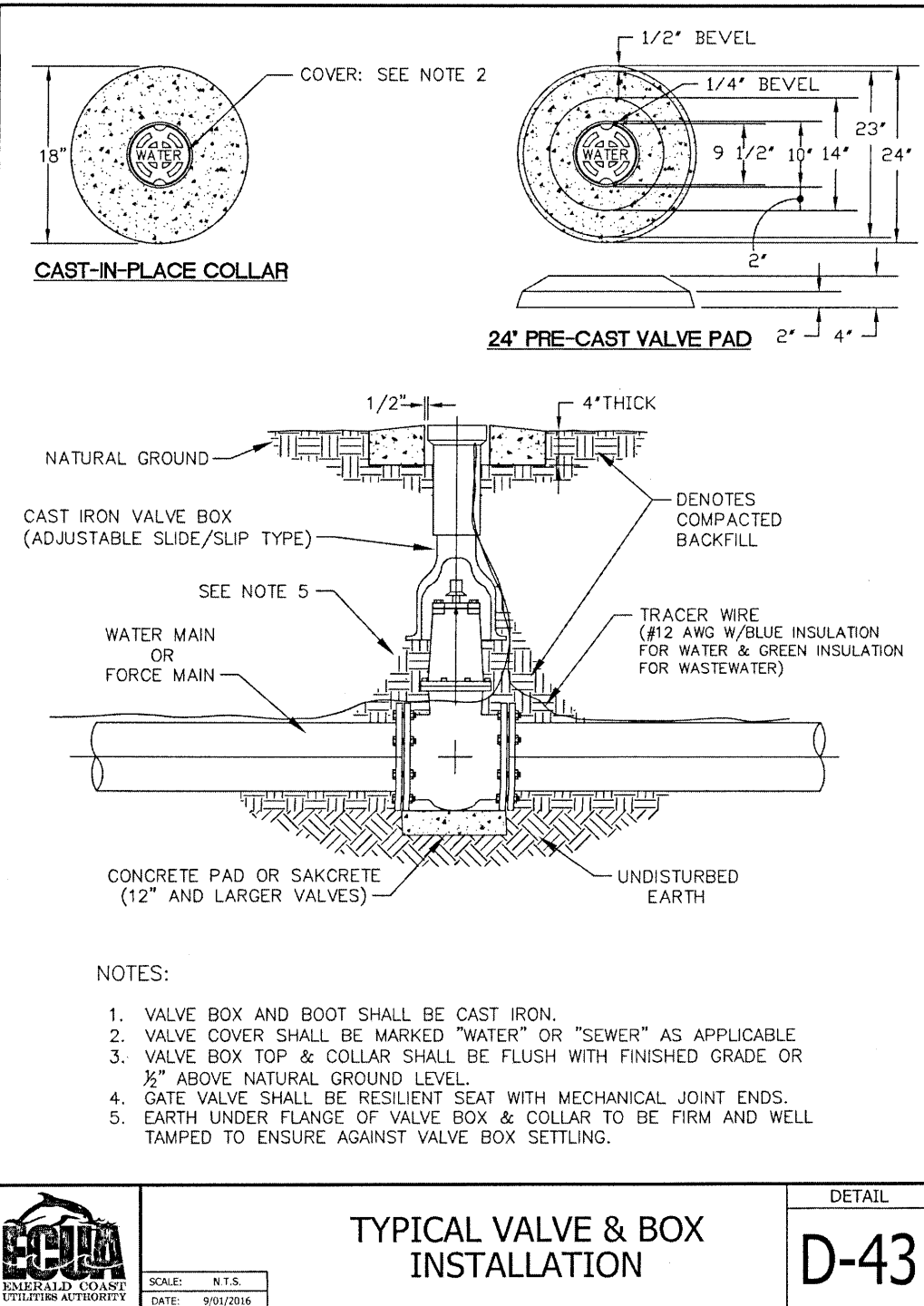
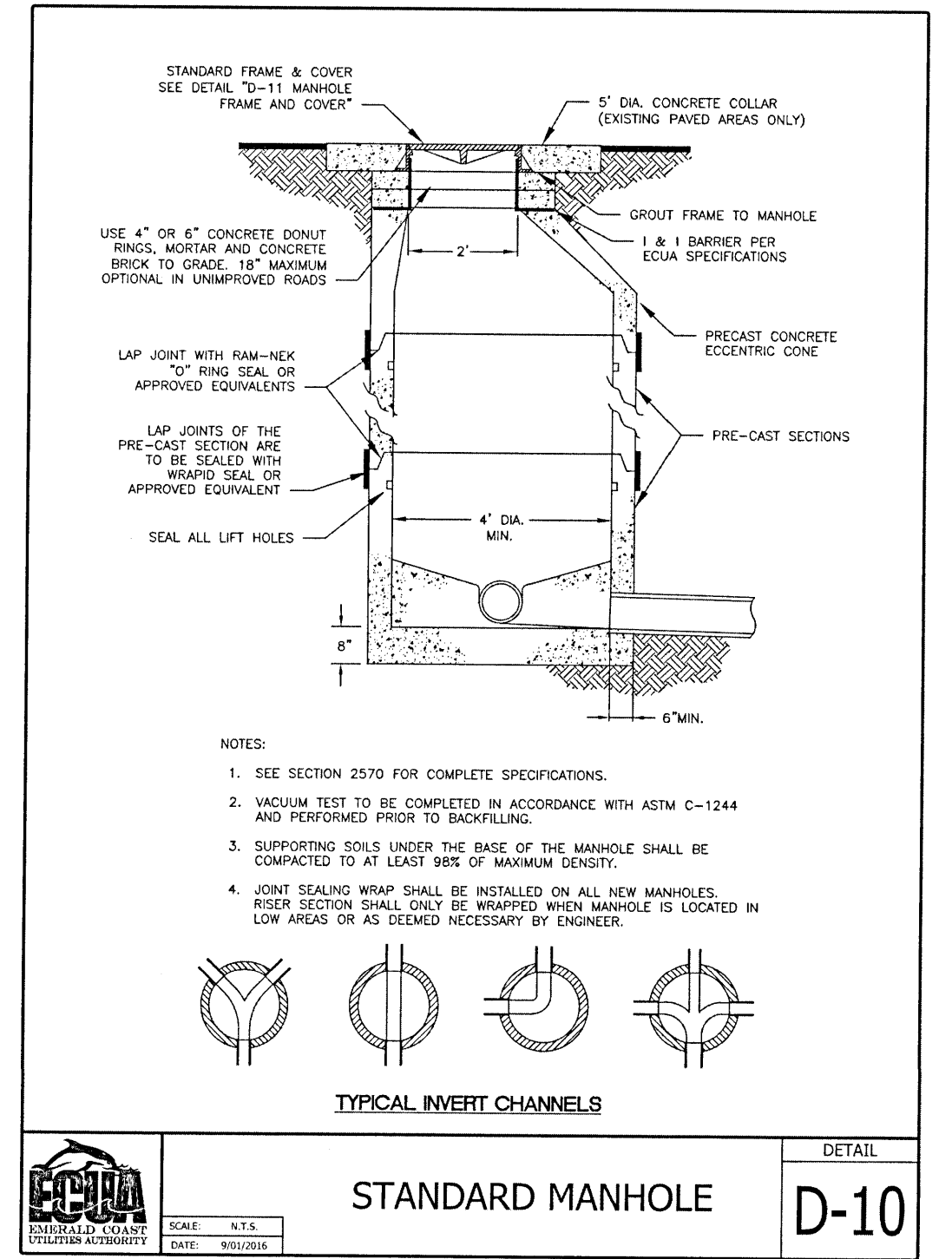
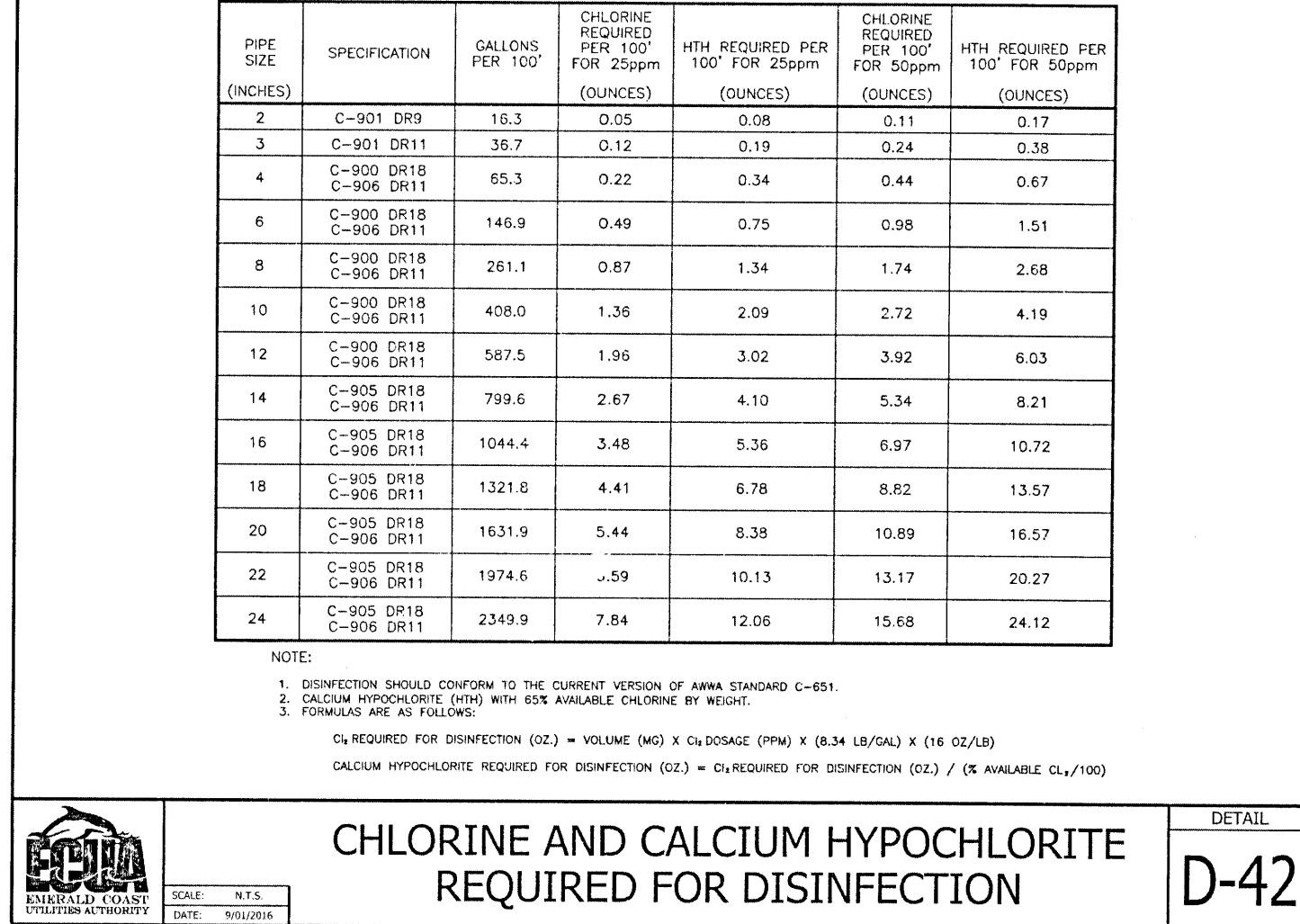
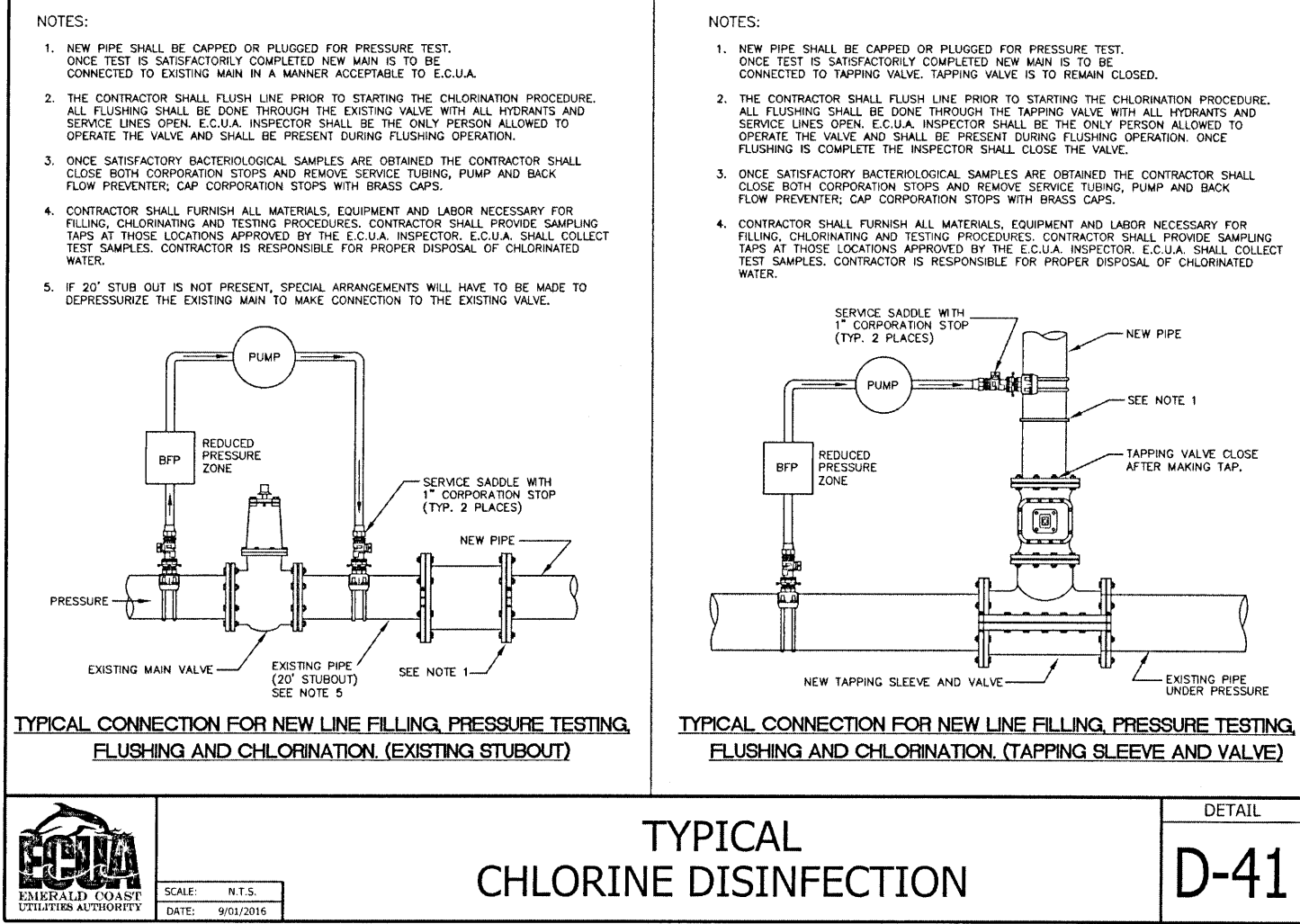
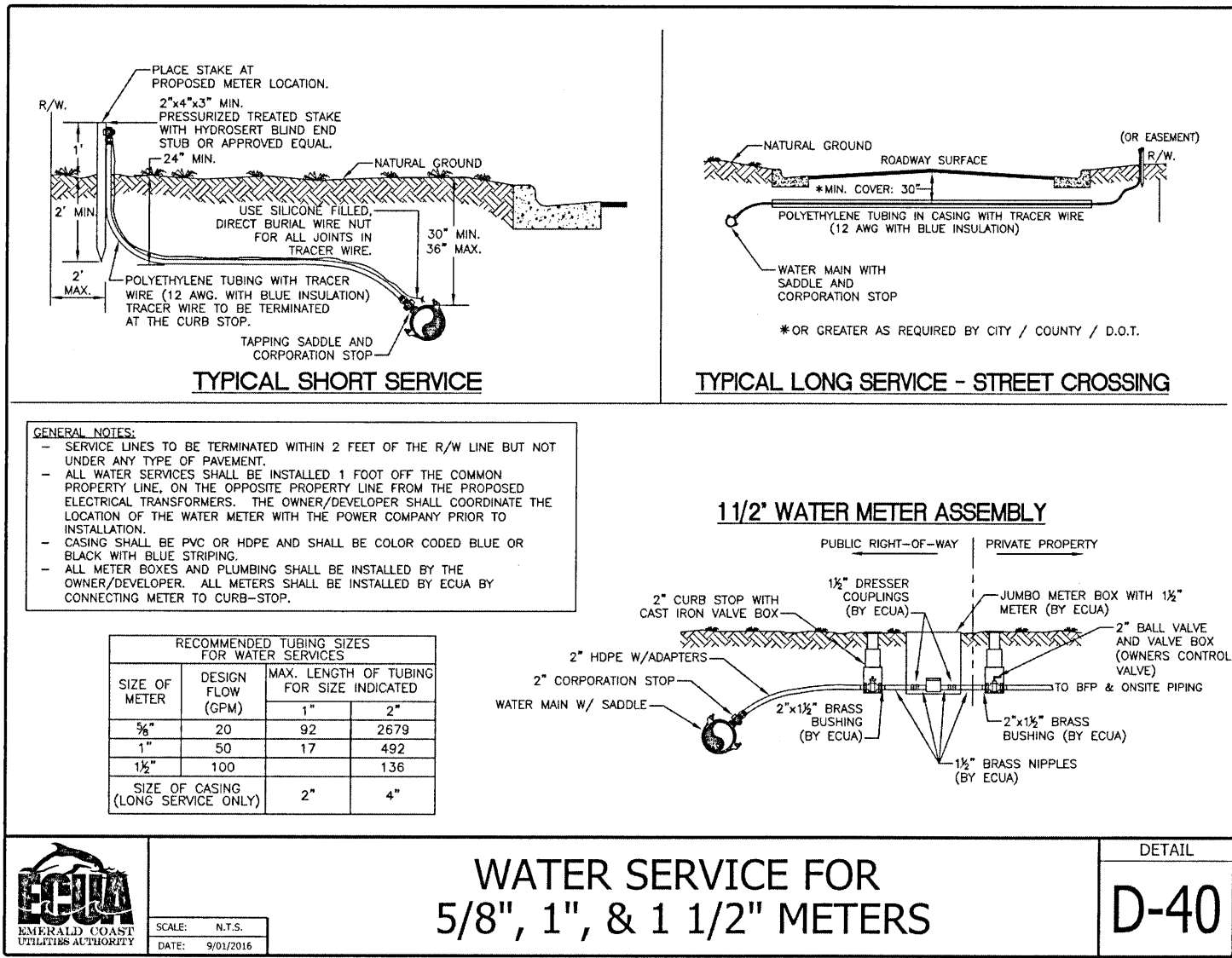
SHEET TITLE:

### UTILITY PLAN

SHEET NUMBER:

C-9.0





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PROJECT No.: FT190076  
DRAWN BY: HR / CTD  
CHECKED BY: EMM  
DATE: 8/24/2020  
SCALE: AS NOTED  
CAD I.D.: FT190076-C-10.0 DTLs

**ROOMS TO GO PATIO PENSACOLA**

FOR

5827 N. DAVIS HWY.  
PENSACOLA  
ESCAMBIA COUNTY, FLORIDA

**THOMAS ENGINEERING GROUP**

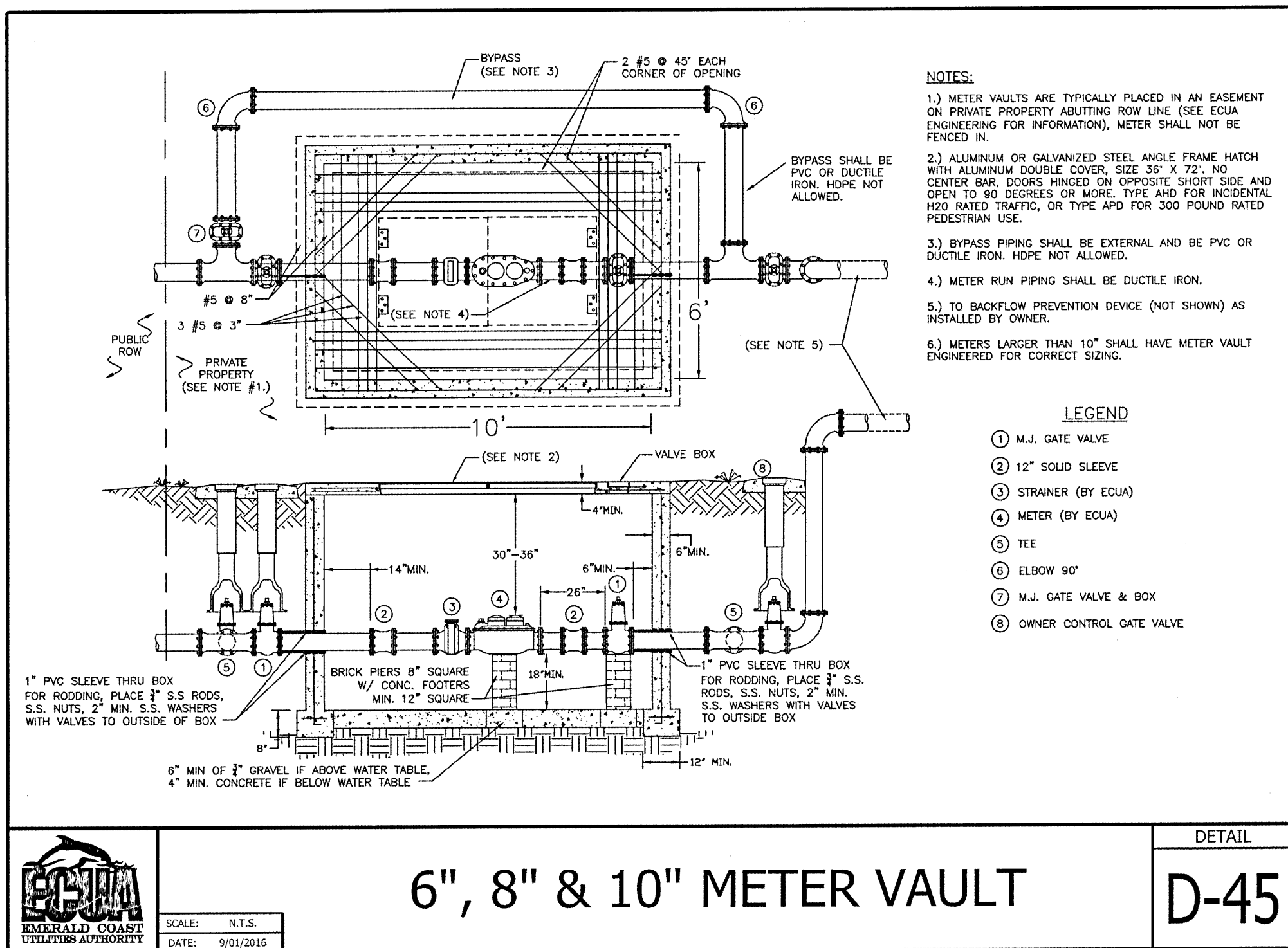
1502 W. FLETCHER AVE., SUITE 101  
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**EDWARD M. McDONALD, P.E.**  
No. 71615  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
November 20, 2020  
FLORIDA LICENSE No. 71615  
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

**UTILITY DETAILS**

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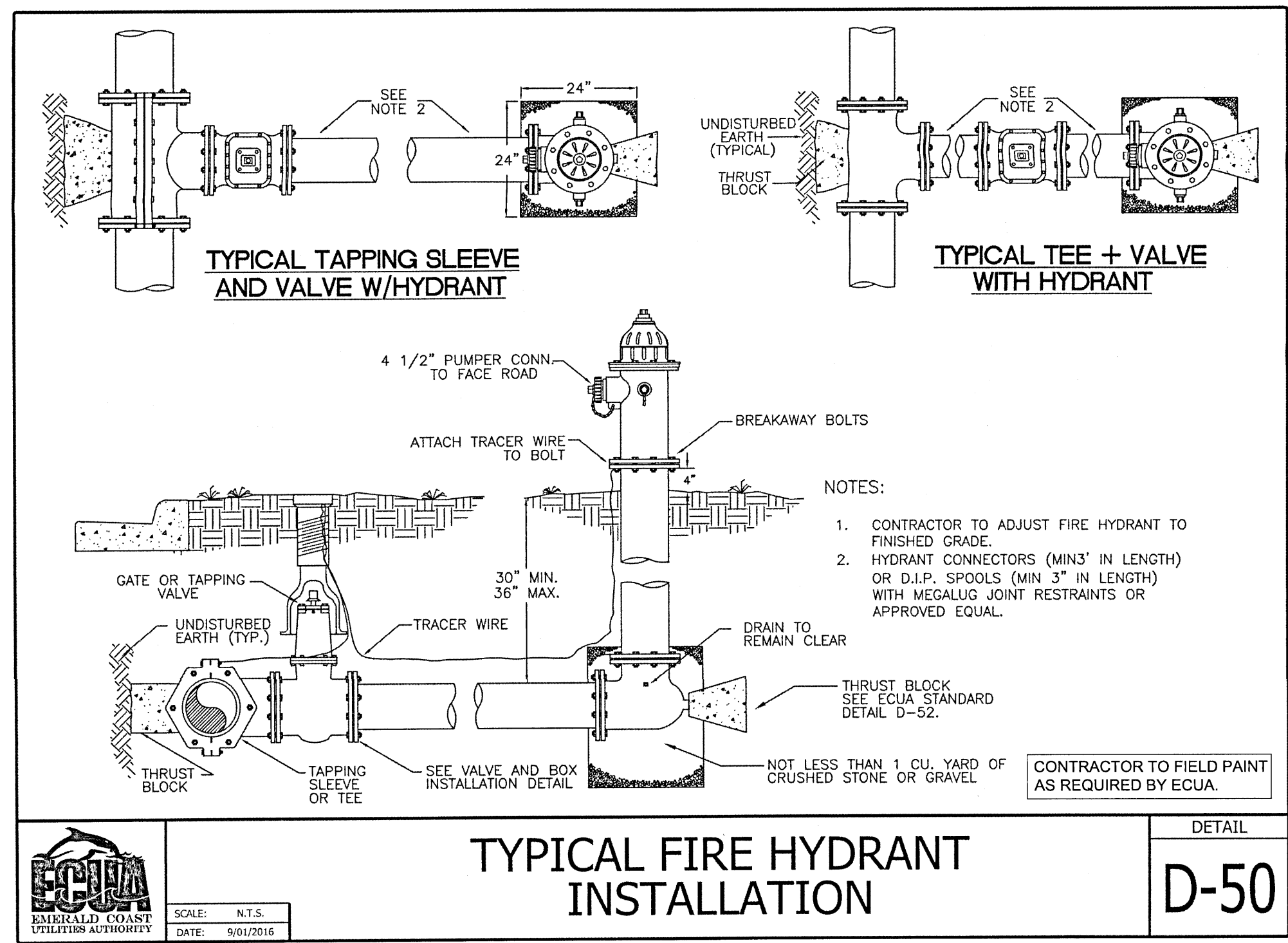




CONTRACTOR TO FIELD PAINT AS REQUIRED BY ECUA.

PROVIDE BACKFLOW PREVENTER  
SECURITY CAGE PER RTG DIVISION 2  
SPECIFICATION SECTION 02668

CONTRACTOR TO FIELD PAINT  
AS REQUIRED BY ECUA.



#### STANDARD GORILLA CAGE ENCLOSURES

Cage Sizes and Internal Dimensions			
GC-1	12.5" W x 24.8" H x 22" L	Lift-Off	
GC-2	12.5" W x 24.8" H x 32" L	Lift-Off	
GC-3	12.5" W x 24.8" H x 42" L	Lift-Off	
GC-4	12.5" W x 24.8" H x 48" L	Lift-Off	

#### Gorilla Cage General Specifications

- End frame tubing is 1" square carbon steel with 1/8" wall.
- End frames feature a welded steel strip 1/8" x 1" for reinforcing the expanded steel skin welds.
- Angle iron framework is 1" x 1" x 1/8" structural steel.
- Expanded metal skins closing out the open areas of the framework are 1/2" #13 flattened expanded carbon steel.
- Welding a minimum of 1/4" long welds on 4" spacing.
- All welding accomplished using MIG process, proper filler wire and shielding gas per industry standards.
- Cages capable of withstanding a minimum of 200 lbs. per square foot without any permanent deflection or distortion.
- Hold down points and hold down hardware are internal to the cage to maximize effectiveness and protection.
- 1" spacing between the angle iron framework of enclosure and slab to prevent rusting. End frame tube ends support entire cage on slab.
- Every cage shipped with a pre-built wooden concrete form and heat treated, case-hardened, hold down hardware.

#### Pre-powdercoat Treatment Process

Finish welded Gorilla Cages are heated in a heating unit to vaporize and remove any oils or contaminants. The cages are then sandblasted to the base metal to smooth the cages, remove any final impurities and improve powdercoat adhesion.

#### Powdercoat Treatment Process

Preheated cages are then powdercoated by electrostatic application either Evergreen by Axalta (p/n PFG500S9) or Caramel by PPG (p/n PCT20170). Cages meet or exceed ASTM D-2794, ASTM D-523 and ASTM D-3359 standards.

Gorilla Manufacturing  
19525 Wied Rd  
Suite 102  
Spring, TX 77388  
281-705-9701

#### GENERAL SPECIFICATIONS FOR STANDARD GORILLA CAGE ENCLOSURES

REV B  
2/25/2019

CONTRACTOR TO FIELD PAINT  
AS REQUIRED BY ECUA.

**THOMAS**  
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JUPITER, FL 33459  
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F: 561-240-7503

6300 NW 31st Ave., Suite 101  
FT. LAUDERDALE, FL 33309  
P: 954-202-0000

REVISIONS				
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CAD ID: FT190076-C-10.0 DTL5

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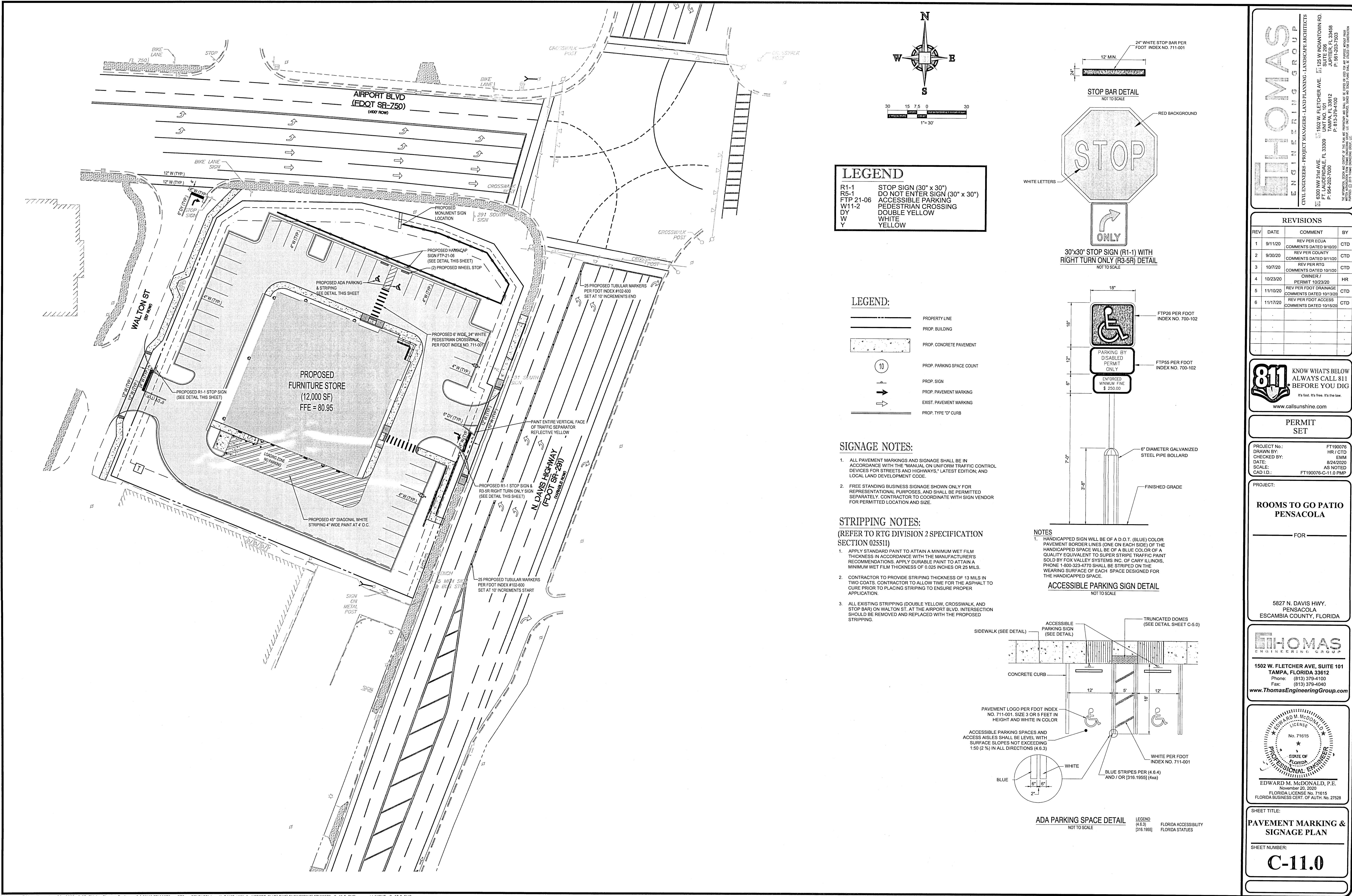
EDWARD M. McDONALD  
LICENSE  
No. 71615  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

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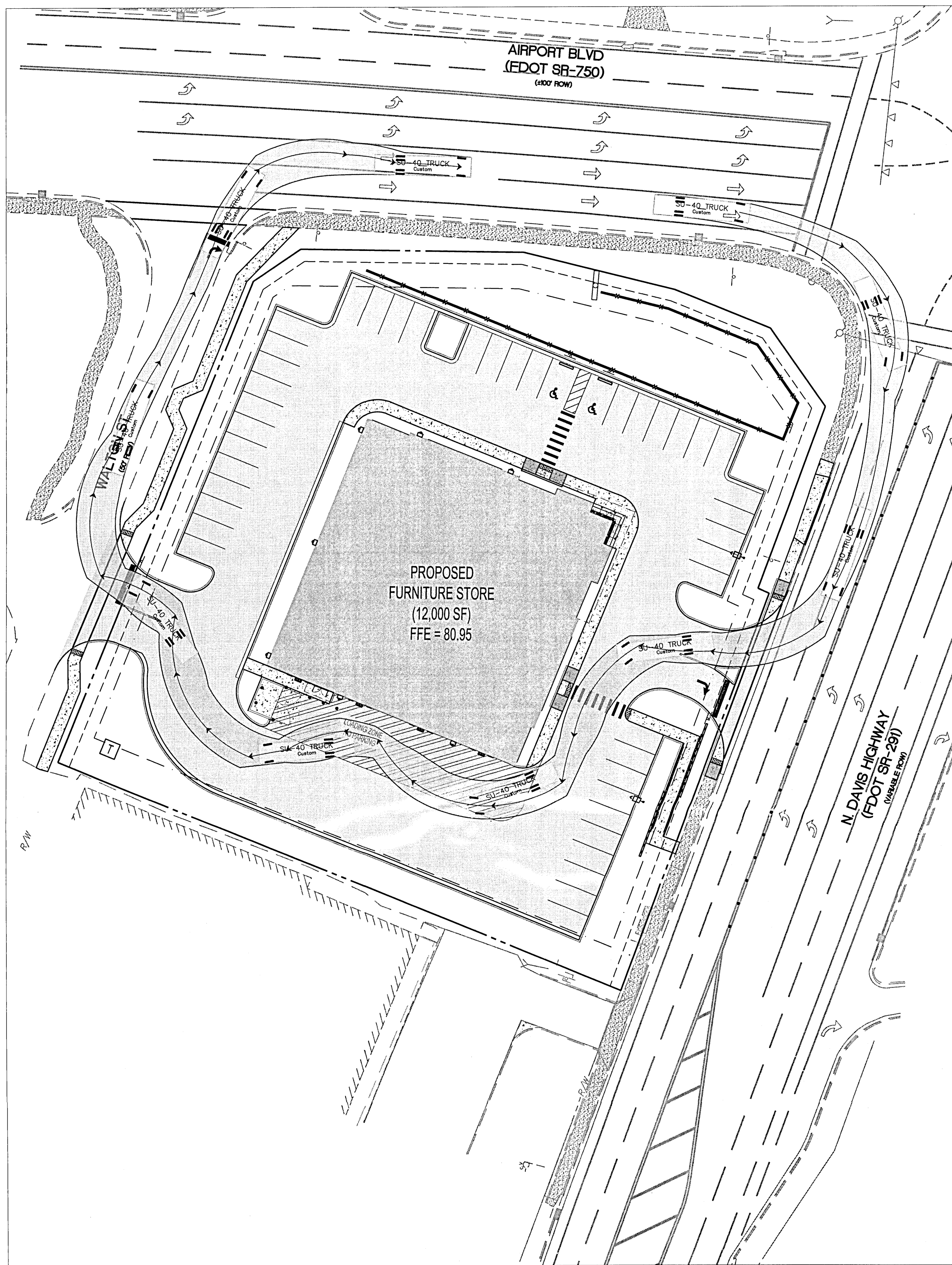
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**UTILITY DETAILS**

SHEET NUMBER:  
**C-10.1**

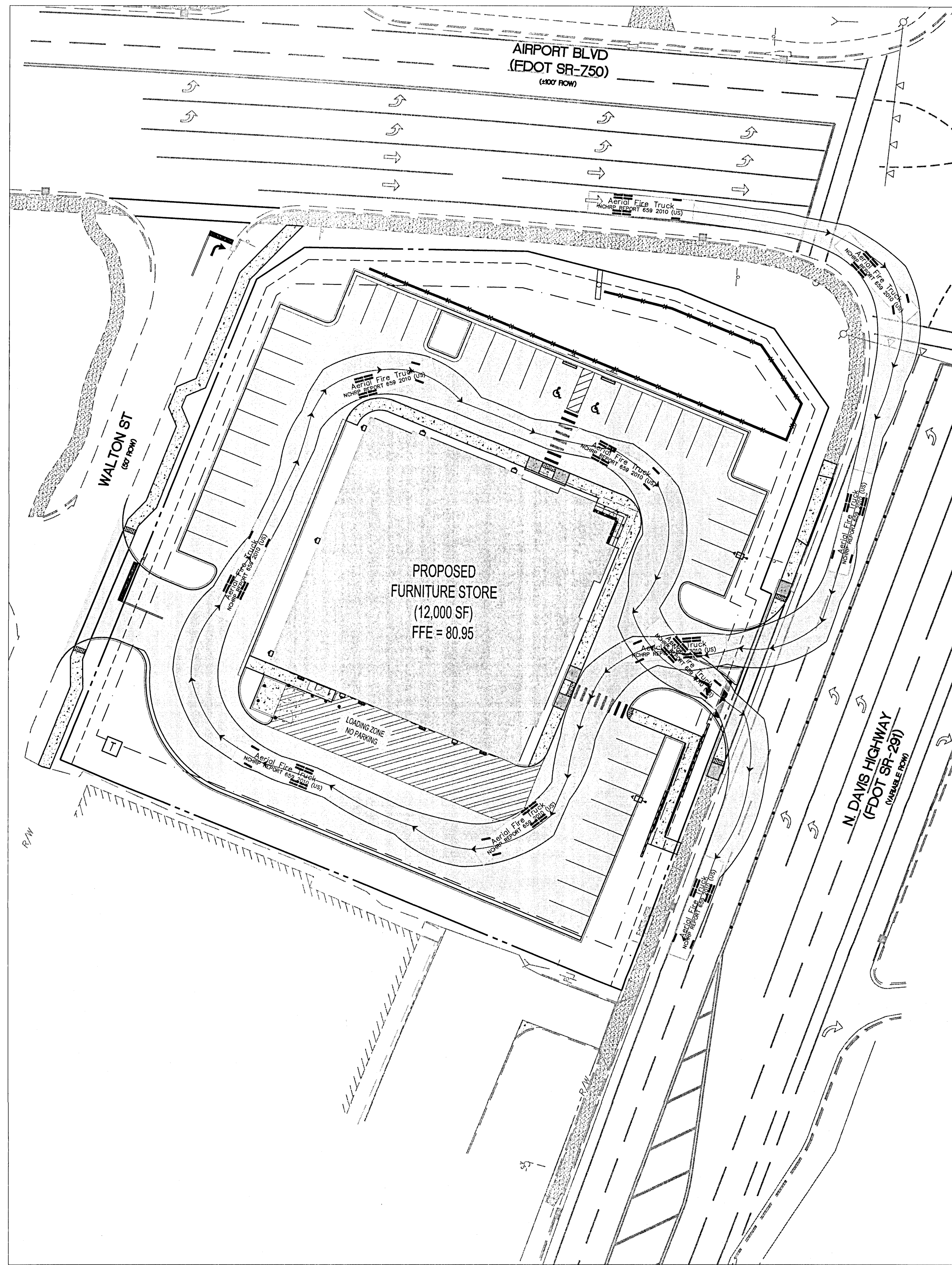
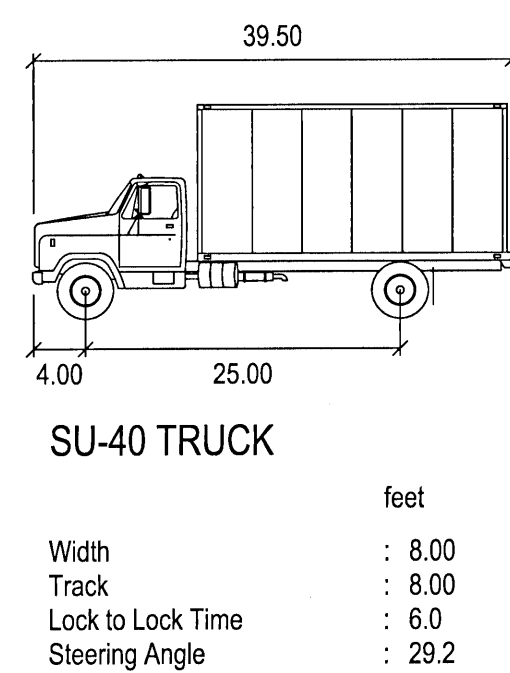




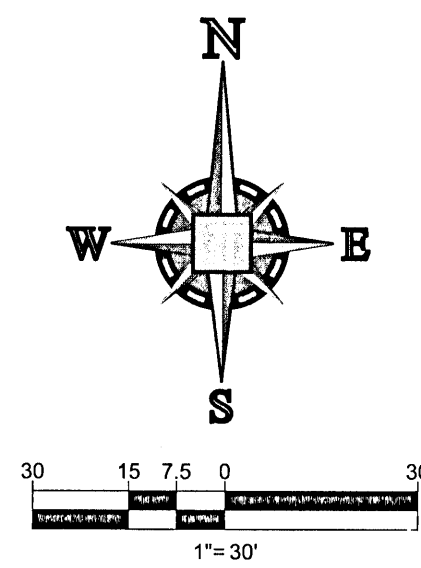
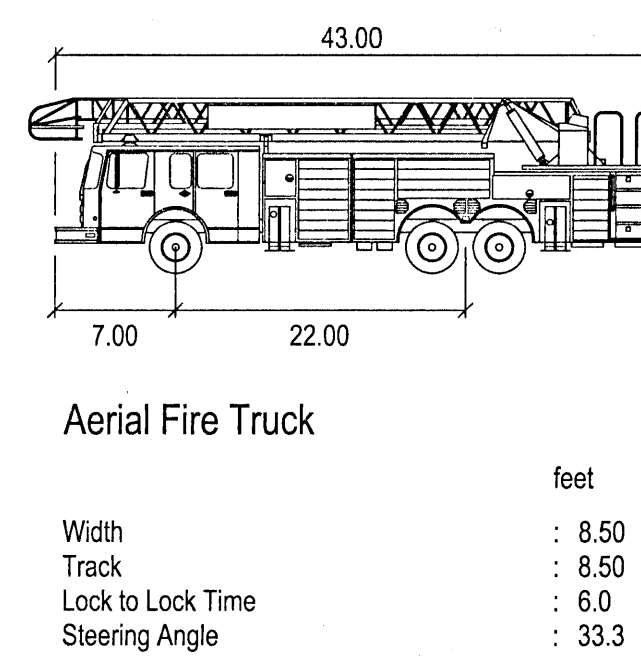




TRUCK CIRCULATION ROUTE:  
SCALE: SCALE: 1" = 30'



FIRE TRUCK CIRCULATION ROUTE:  
SCALE: 1" = 30'



**THOMAS**  
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4	10/23/20	OWNER / PERMIT 10/23/20	HR
5	11/10/20	REV PER FOOT DRAINAGE COMMENTS DATED 10/13/20	CTD
6	11/17/20	REV PER FOOT ACCESS COMMENTS DATED 10/15/20	CTD

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**PERMIT SET**

PROJECT No.: FT190076  
DRAWN BY: HR / CTD  
CHECKED BY: EMM  
DATE: 8/24/2020  
SCALE: AS NOTED  
CAD I.D.: FT190076-C-12.0 VMP

**PROJECT:**

**ROOMS TO GO PATIO  
PENSACOLA**

FOR

5827 N. DAVIS HWY.  
PENSACOLA  
ESCAMBIA COUNTY, FLORIDA

**THOMAS**  
ENGINEERING GROUP

1502 W. FLETCHER AVE, SUITE 101  
TAMPA, FLORIDA 33612  
Phone: (813) 379-4100  
Fax: (813) 379-4040  
www.ThomasEngineeringGroup.com

**EDWARD M. McDONALD, P.E.**  
November 20, 2020  
FLORIDA LICENSE No. 71615  
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

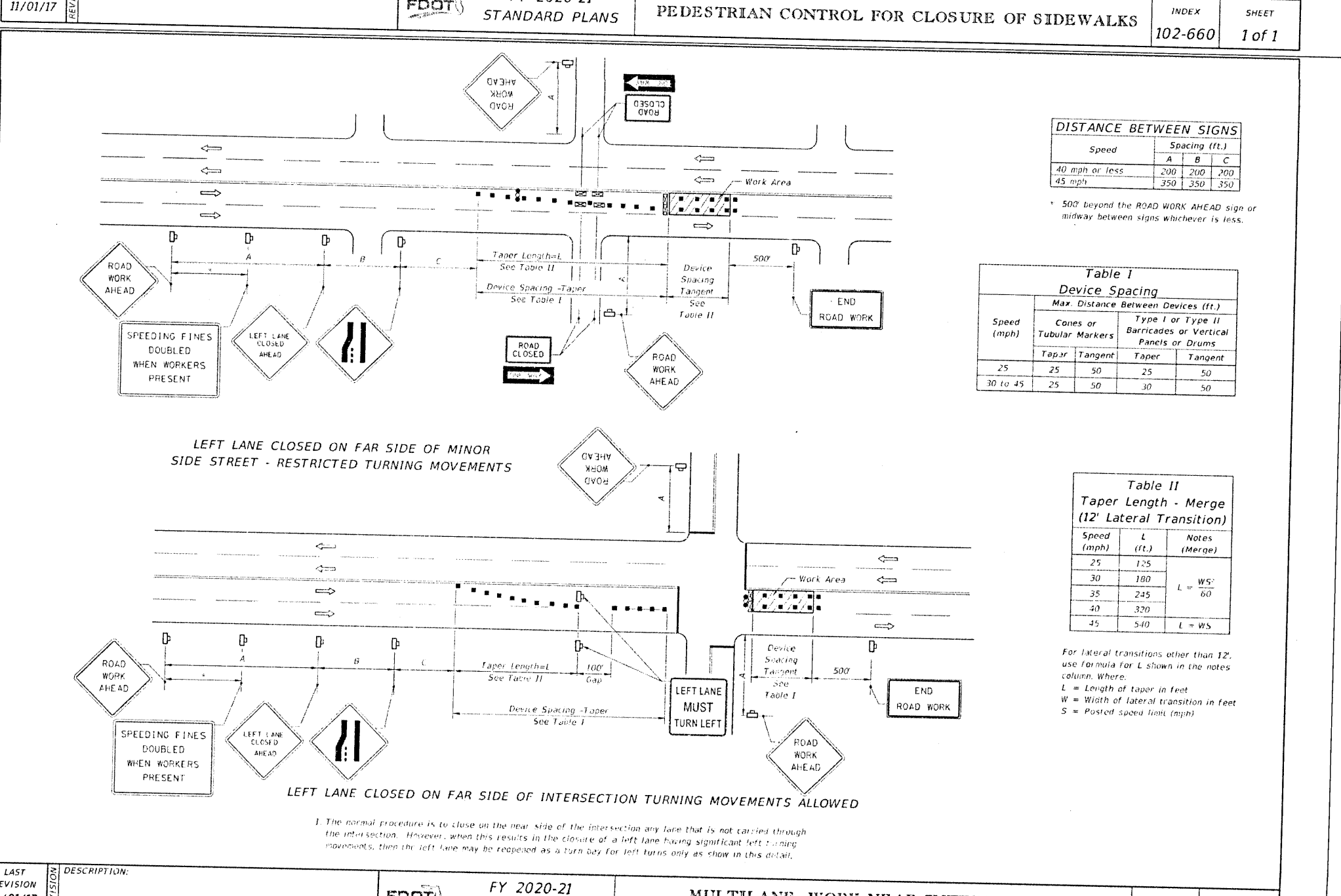
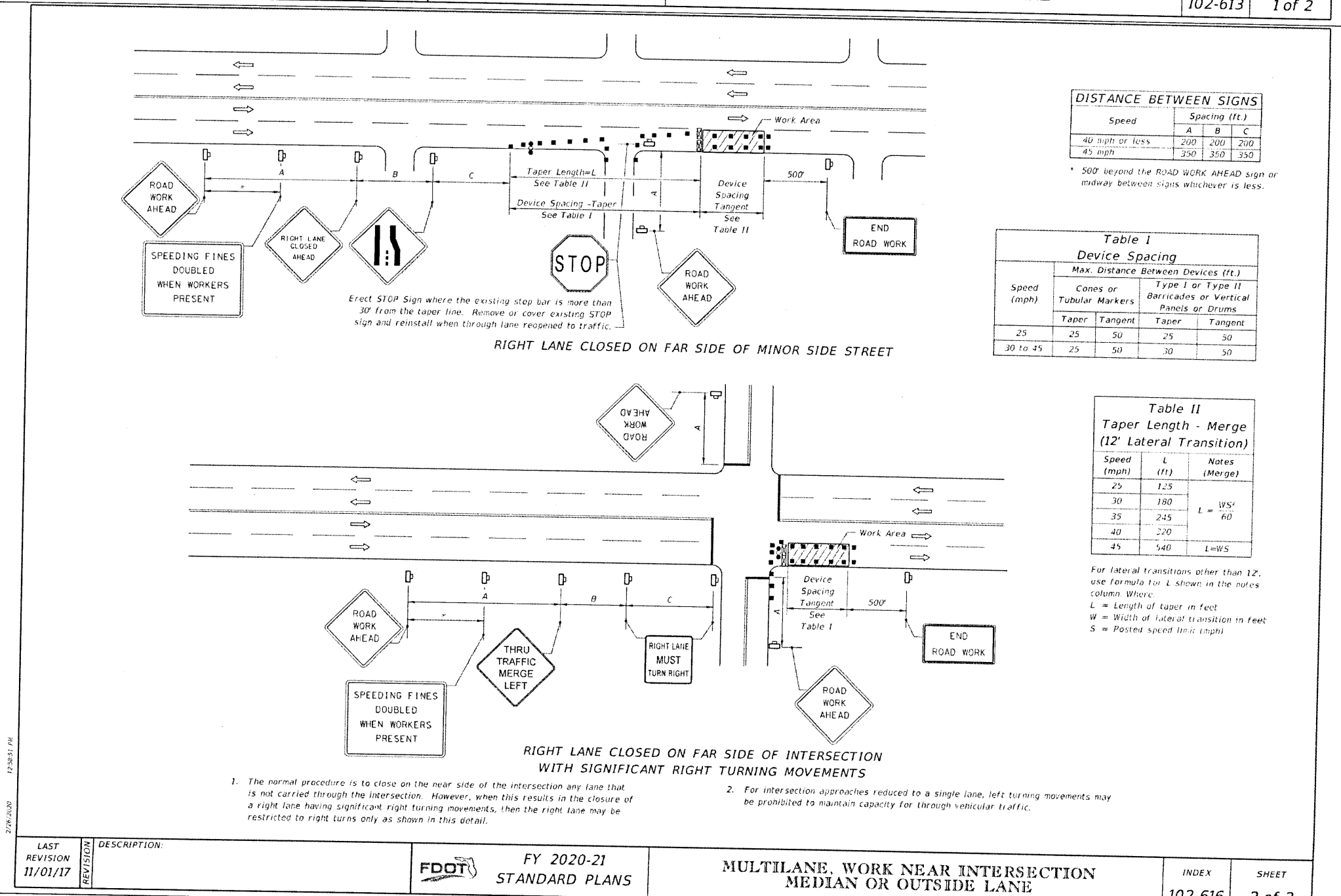
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**VEHICLE MOVEMENT  
PLAN**

**SHEET NUMBER:**

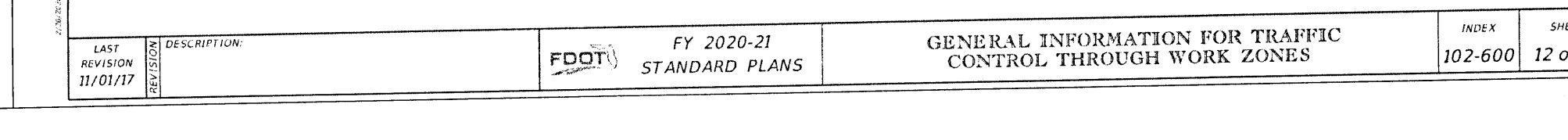
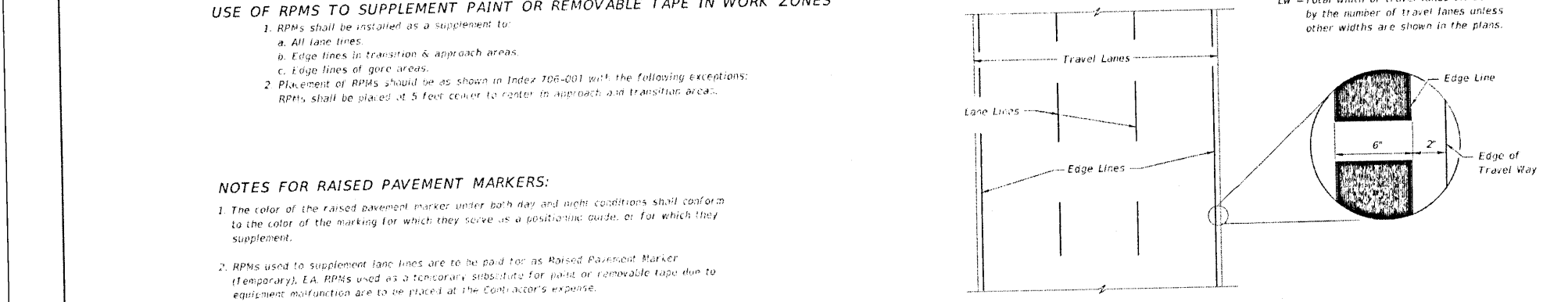
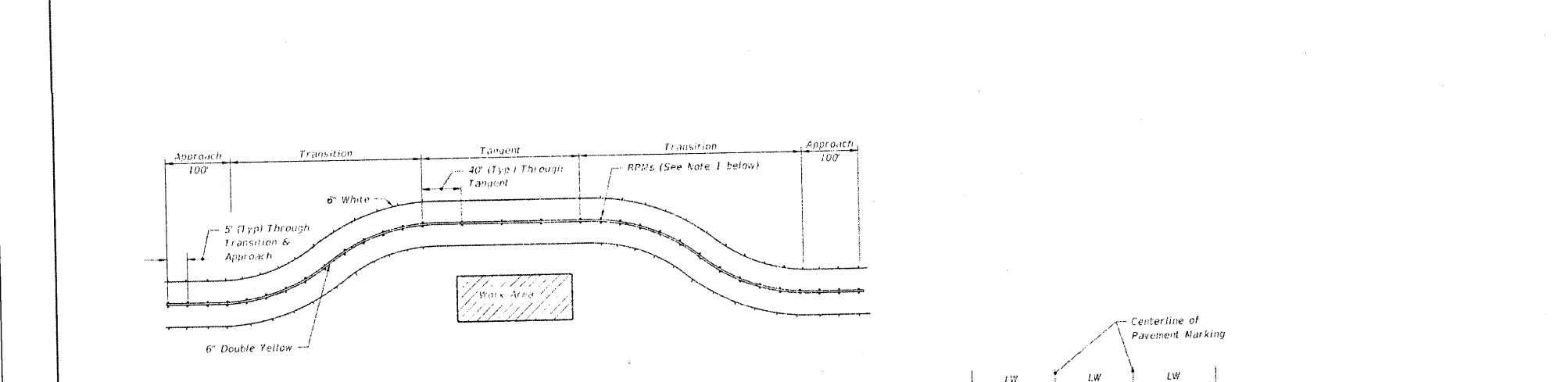
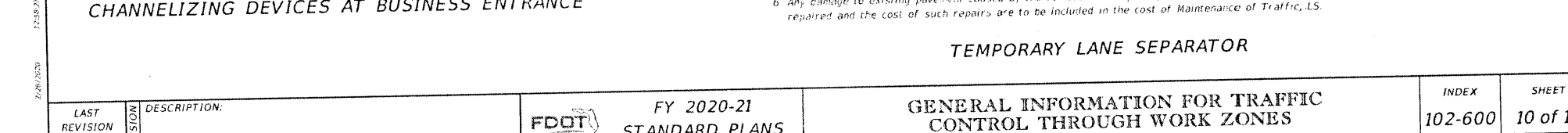
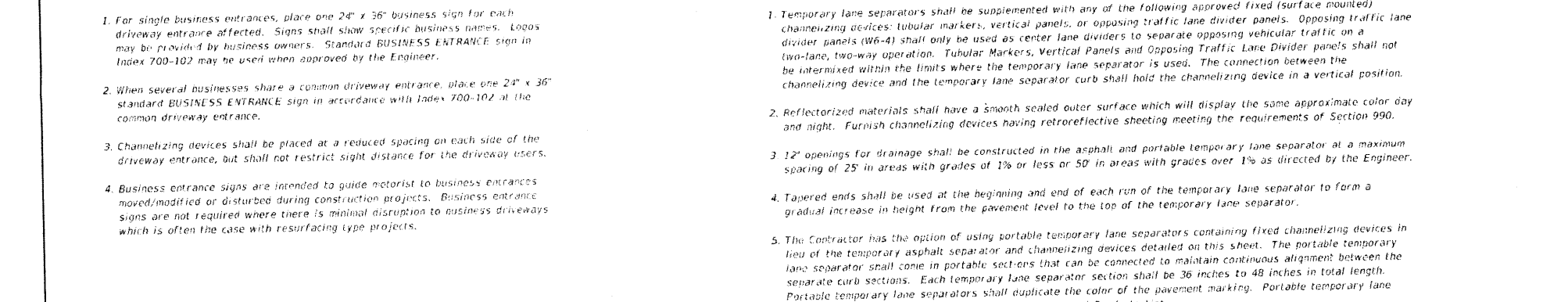
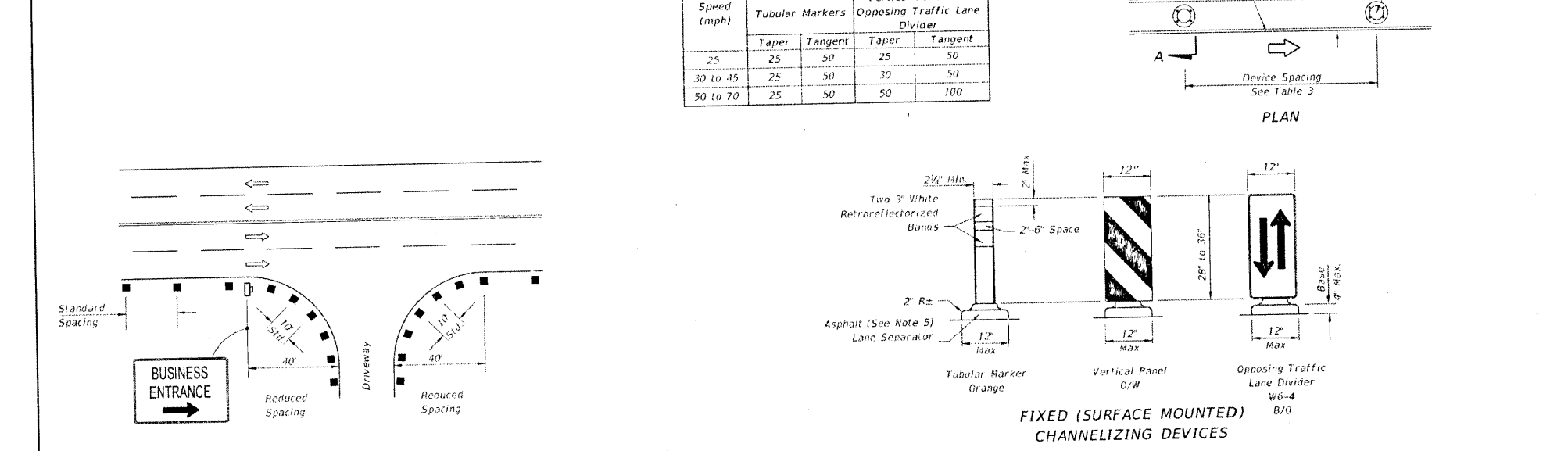
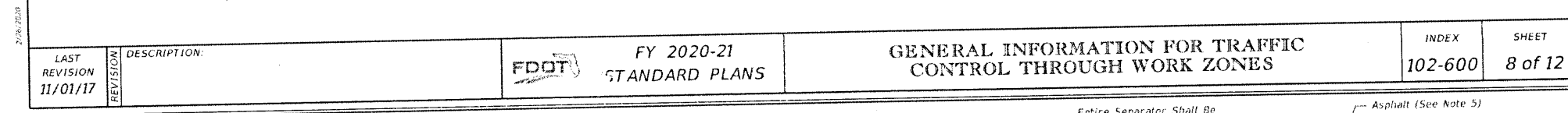
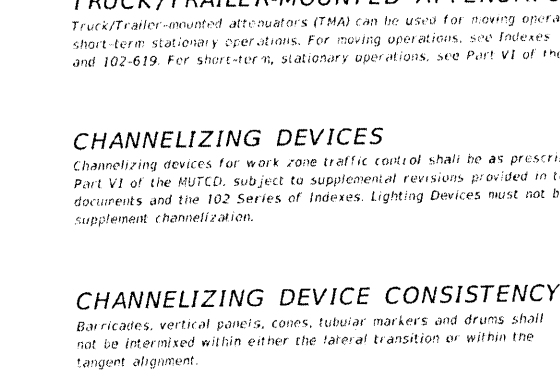
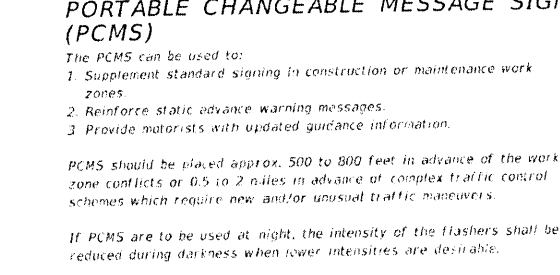
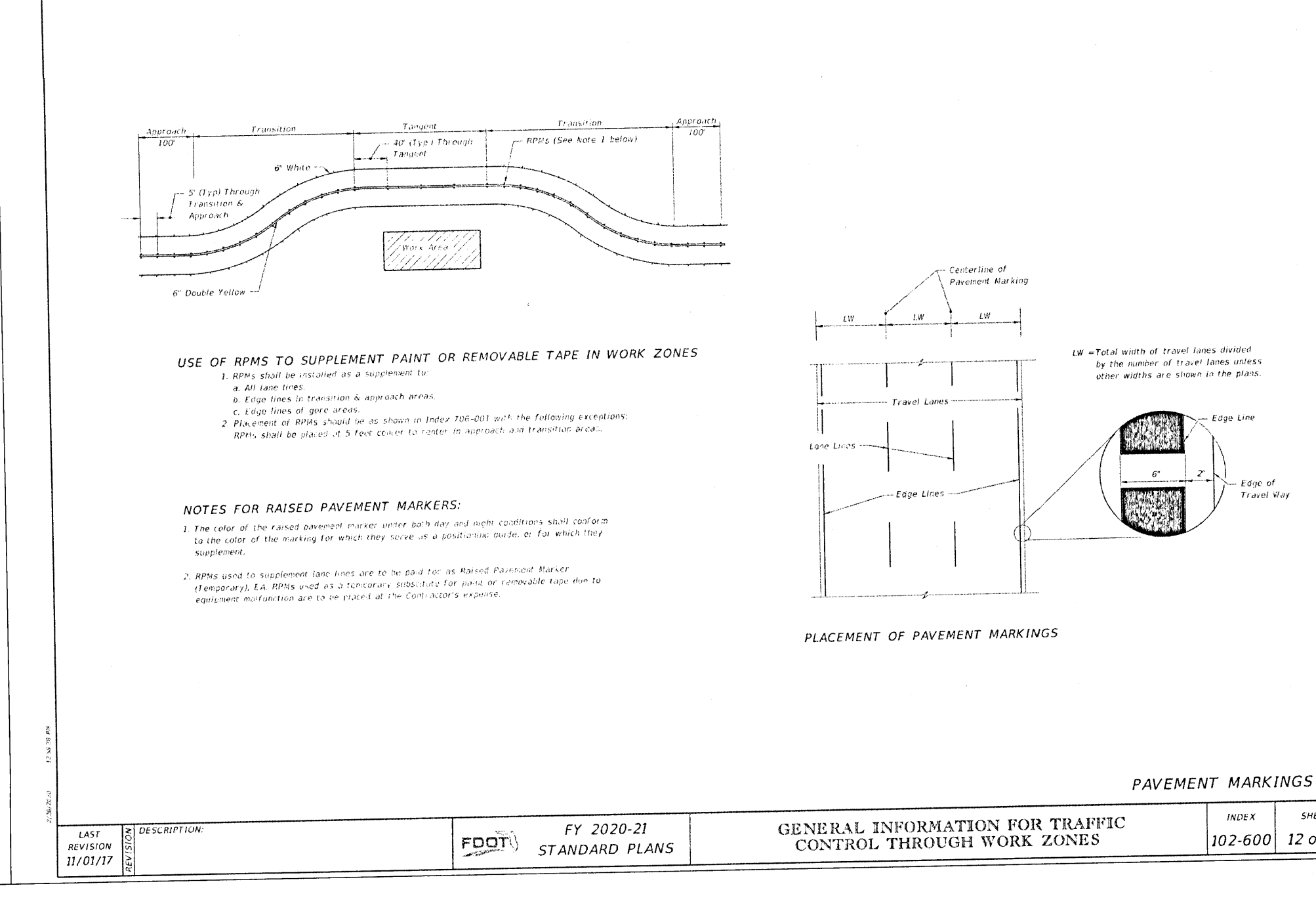
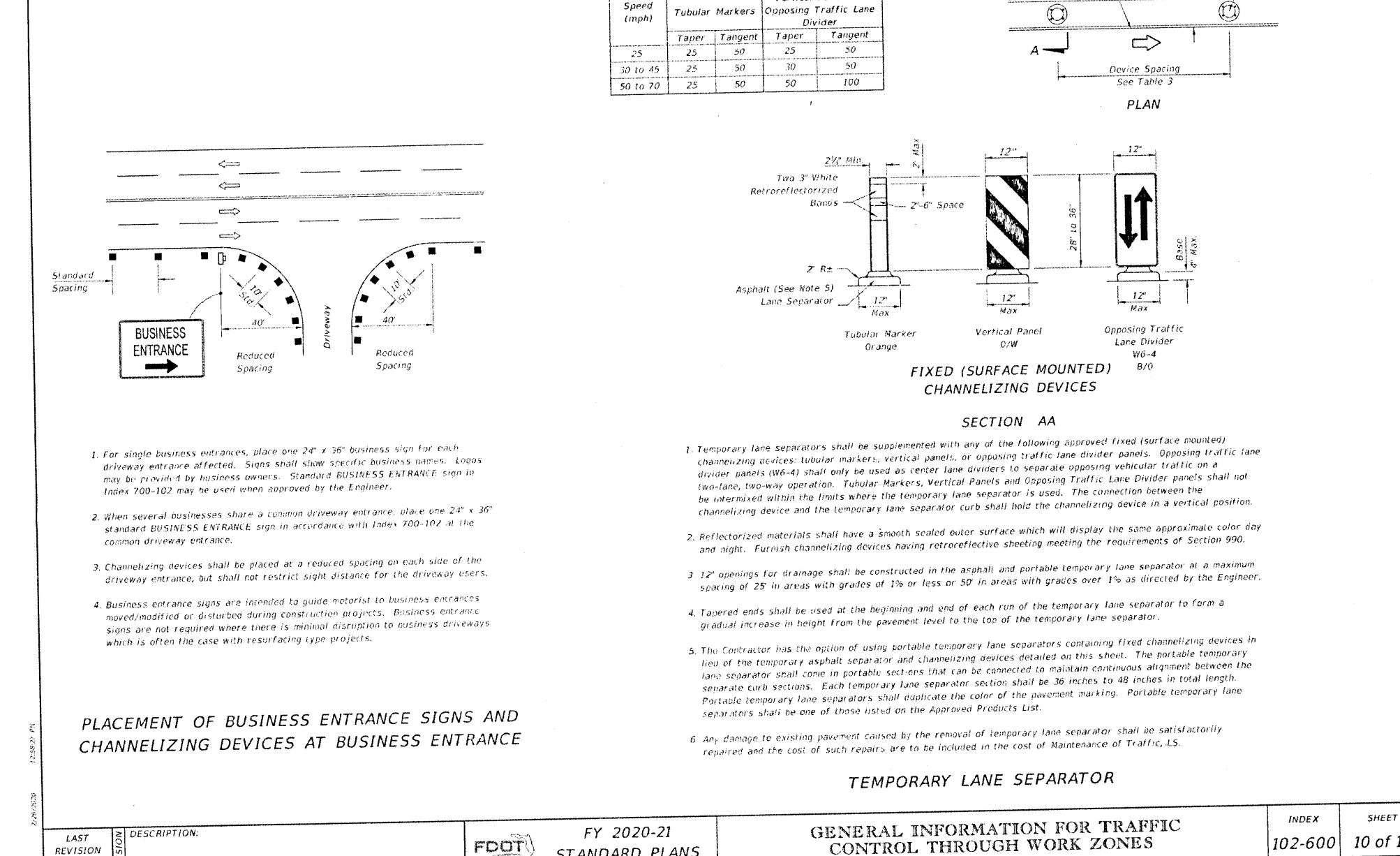
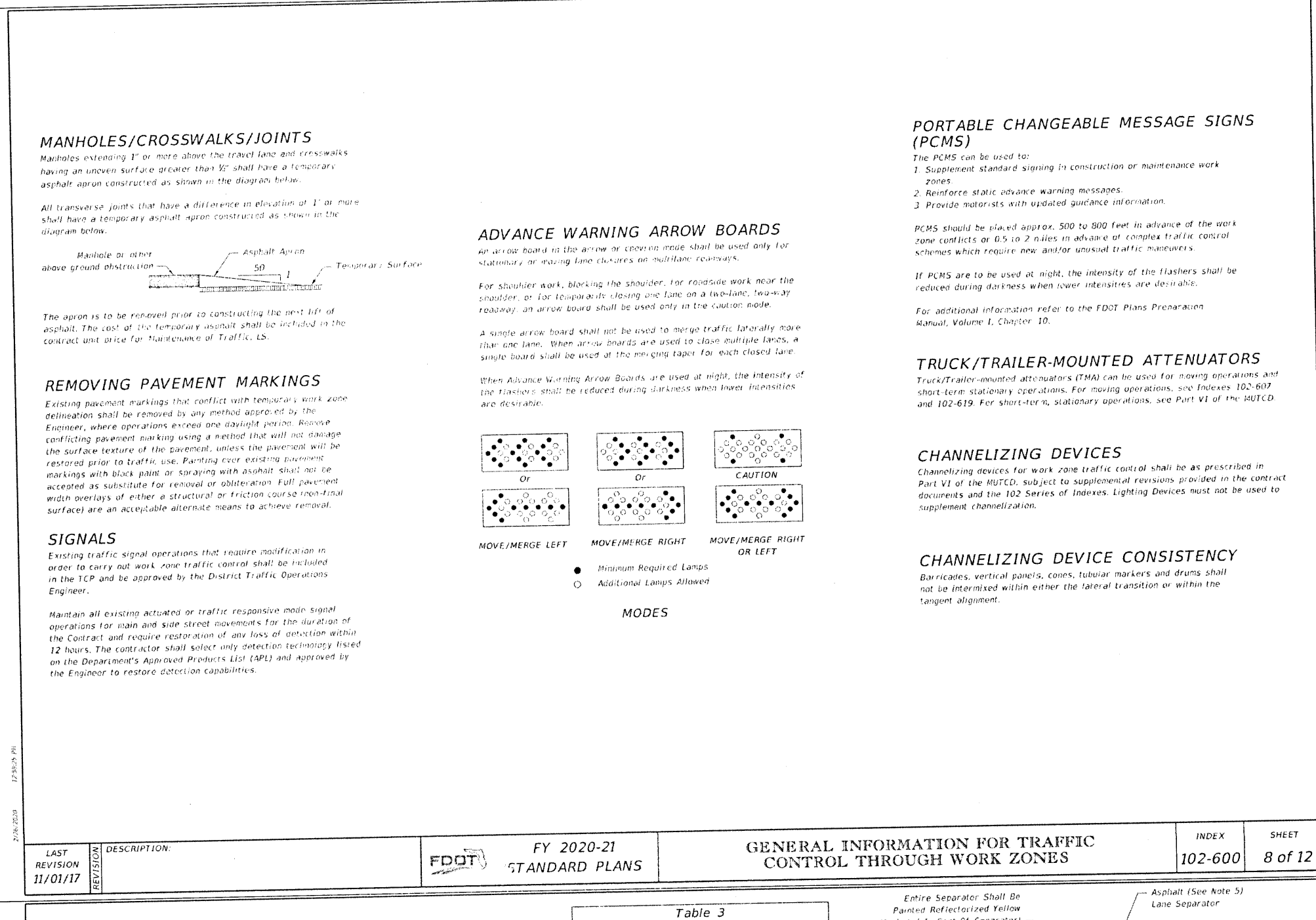
**C-12.0**





Printed on Friday, November 20, 2020, 5:04 PM by Chanse Davies G:\2019\FT190076 - RTG - PENSACOLA - N DAVIS HWY & AIRPORT BLVD\DWG\ENGINEERING\FT190076-C-13.0 MOT-----LAYOUT: C-13.0 FDOT MOT





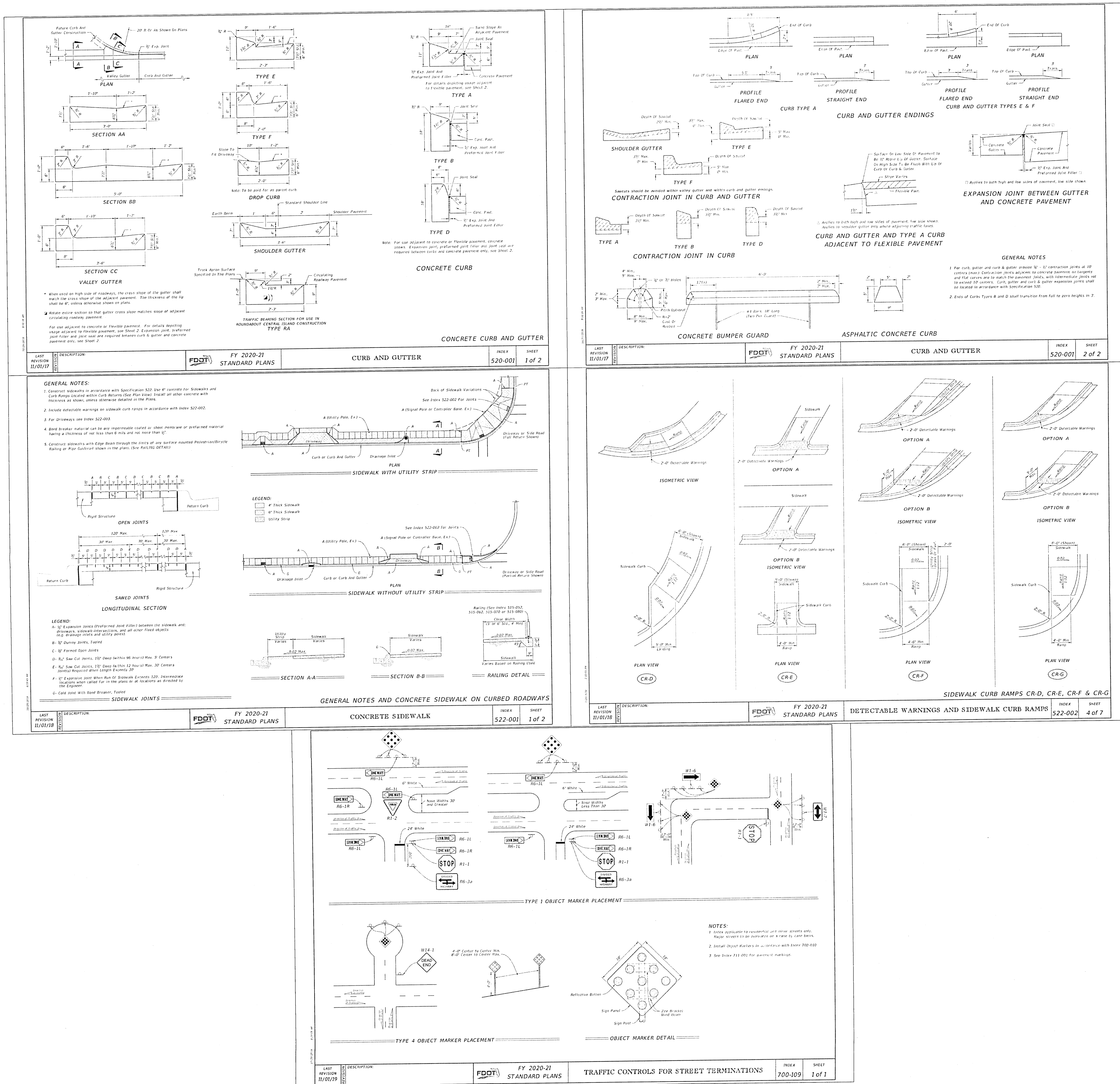
SHEET TITLE:

**FDOT MOT 2**

SHEET NUMBER:

**C-13.1**





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TAMPA, FLORIDA 33612  
PHONE: (813) 379-4100  
FAX: (813) 379-4040  
WWW.THOMASENGINEERINGGROUP.COM

REV	DATE	COMMENT	BY
1	9/11/20	REV PER EQUA COMMENTS DATED 9/10/20	CTD
2	9/30/20	REV PER COUNTY COMMENTS DATED 9/11/20	CTD
3	10/7/20	REV PER RTG COMMENTS DATED 10/1/20	CTD
4	10/23/20	OWNER / PERMIT 10/23/20	HR
5	11/10/20	REV PER FOOT DRAINAGE COMMENTS DATED 10/13/20	CTD
6	11/17/20	REV PER FOOT ACCESS COMMENTS DATED 10/15/20	CTD

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PERMIT  
SET

PROJECT NO.: FT190076  
DRAWN BY: HR / CTD  
CHECKED BY: EMM  
DATE: 8/24/2020  
SCALE: AS NOTED  
CAD ID: FT190076-C-13.0.MOT

ROOMS TO GO PATIO  
PENSACOLA

FOR

5827 N. DAVIS HWY.  
PENSACOLA  
ESCAMBIA COUNTY, FLORIDA

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EDWARD M. McDONALD, P.E.  
FLORIDA LICENSE NO. 71615  
NOVEMBER 20, 2020  
FLORIDA BUSINESS CERT. OF AUTH. NO. 27528

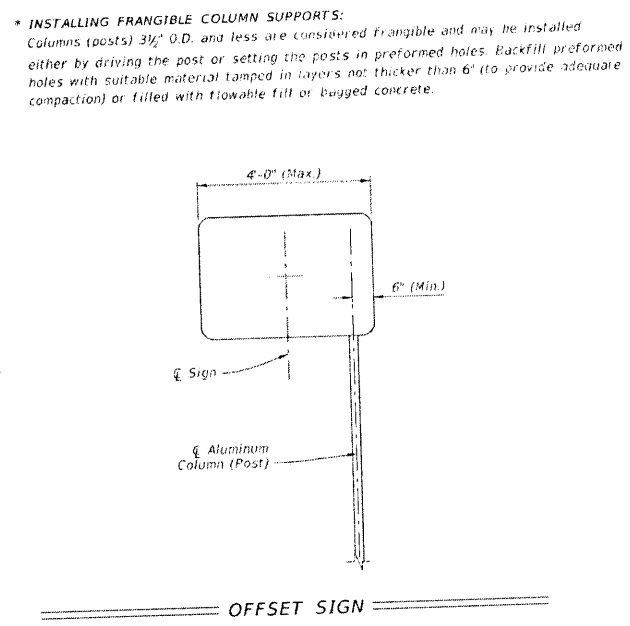
SHEET TITLE:  
FDOT MOT 3

SHEET NUMBER:  
C-13.2



ALUMINUM COLUMN (POST) SELECTION TABLE (in. in.)												
Wt (lb)	8 ft	10 ft	12 ft	14 ft	16 ft	18 ft	20 ft	22 ft	24 ft	26 ft	28 ft	30 ft
4.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
5.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
6.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
7.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
8.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
9.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
10.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
11.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
12.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
13.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
14.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
15.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
16.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
17.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
18.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
19.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
20.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
21.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
22.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
23.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
24.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
25.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
26.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
27.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
28.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
29.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
30.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5

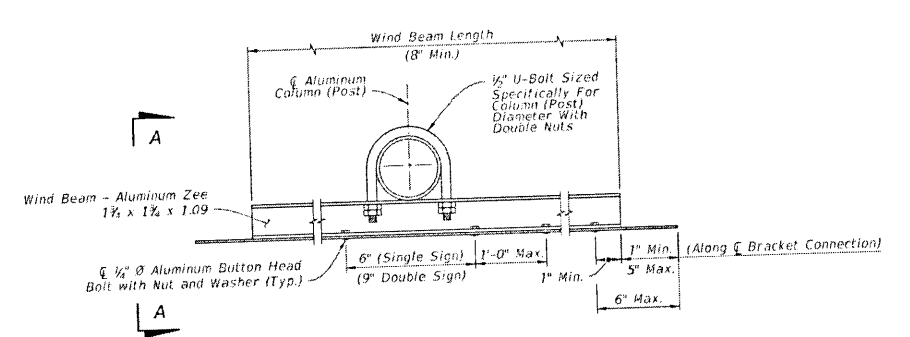
FOUNDATION TABLE									
Column (Post) Size	Wt (lb)	Wt (lb)	Wt (lb)	Wt (lb)	Wt (lb)	Wt (lb)	Wt (lb)	Wt (lb)	Wt (lb)
4.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
5.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
6.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
7.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
8.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
9.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
10.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
11.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
12.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
13.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
14.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
15.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
16.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
17.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
18.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
19.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
20.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
21.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
22.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
23.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
24.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
25.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
26.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
27.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
28.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
29.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5
30.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5	2.5



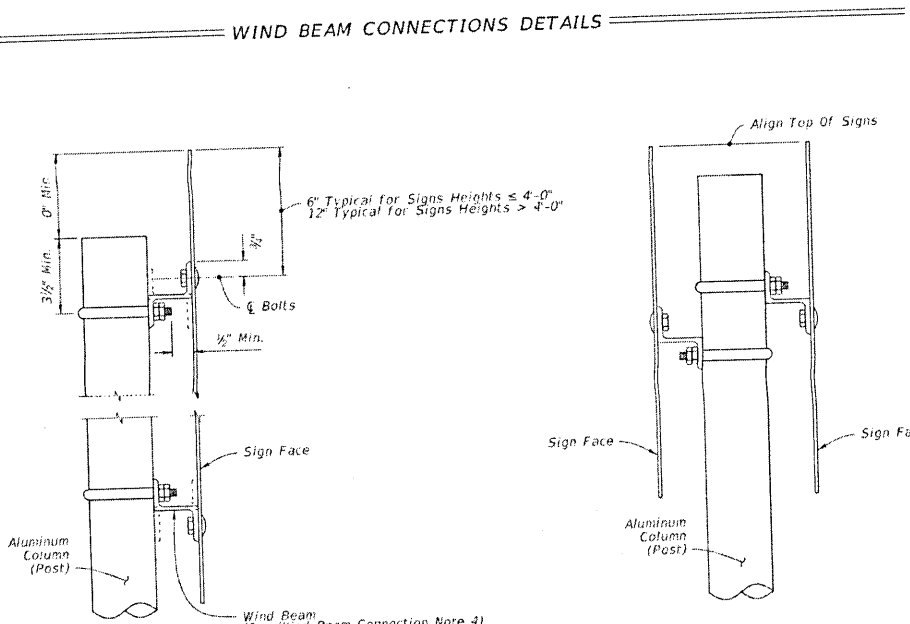
NOTE:  
1. For offset sign placement, see Table 700-101.  
2. For signs with widths greater than 4' use Table 700-013.  
3. Offset signs with driven posts require a steel plate.

COLUMN AND FOUNDATION TABLES

LAST REVISION	DESCRIPTION	INDEX	SHEET
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SINGLE SIGN DETAILS

VIEW A-A

WIND BEAM CONNECTION

SINGLE COLUMN GROUND SIGNS

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LAST REVISION

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FDOT FY 2020-21 STANDARD PLANS

LAST REVISION

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FDOT FY 2020-21 STANDARD PLANS

LAST REVISION

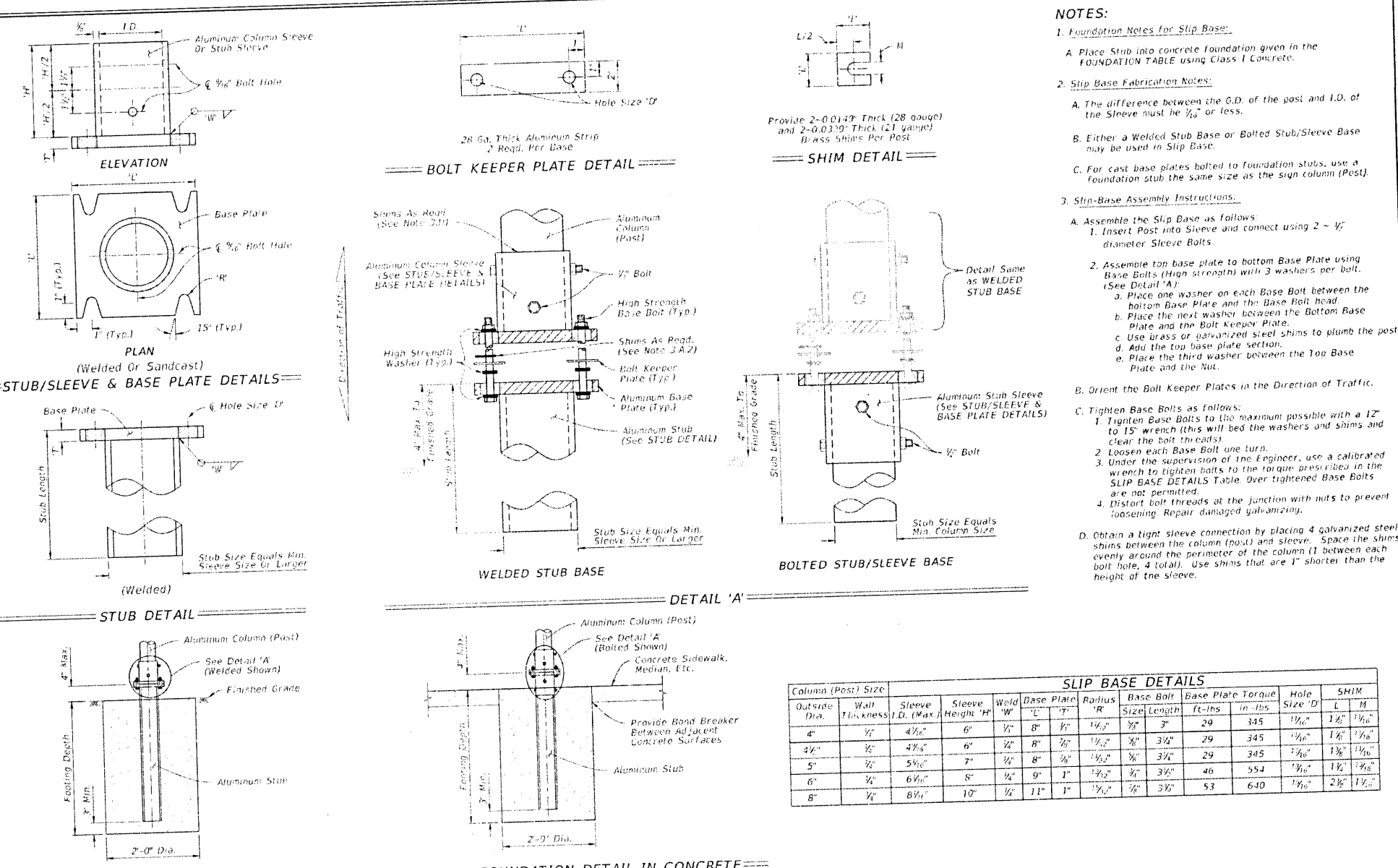
DESCRIPTION

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FDOT FY 2020-21 STANDARD PLANS



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FDOT FY 2020-21 STANDARD PLANS

LAST REVISION

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FDOT FY 2020-21 STANDARD PLANS

**THOMAS ENGINEERING GROUP**  
 CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS  
 1502 W. FLETCHER AVE., SUITE 101  
 TAMPA, FL 33612  
 PHONE: (813) 379-4100  
 FAX: (813) 379-4040  
 WWW.THOMASENGINEERINGGROUP.COM

REV	DATE	COMMENT	BY
1	9/11/20	REV PER ECU COMMENTS DATED 9/10/20	CTD
2	9/30/20	REV PER COUNTY COMMENTS DATED 9/10/20	CTD
3	10/7/20	REV PER RTG COMMENTS DATED 10/1/20	CTD
4	10/23/20	OWNER PERMIT 1023/20	HR
5	11/10/20	REV PER FOOT DRAINAGE COMMENTS DATED 10/13/20	CTD
6	11/17/20	REV PER FOOT ACCESS COMMENTS DATED 10/15/20	CTD

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**PERMIT SET**

PROJECT NO.: FT190076  
 DRAWN BY: HR / CTD  
 CHECKED BY: EMM  
 DATE: 8/24/2020  
 SCALE: AS NOTED  
 CAD ID.: FT190076-C-13.0 MOT

PROJECT:

**ROOMS TO GO PATIO PENSACOLA**

FOR

5827 N. DAVIS HWY.  
 PENSACOLA, FLORIDA

**THOMAS ENGINEERING GROUP**

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 TAMPA, FLORIDA 33612  
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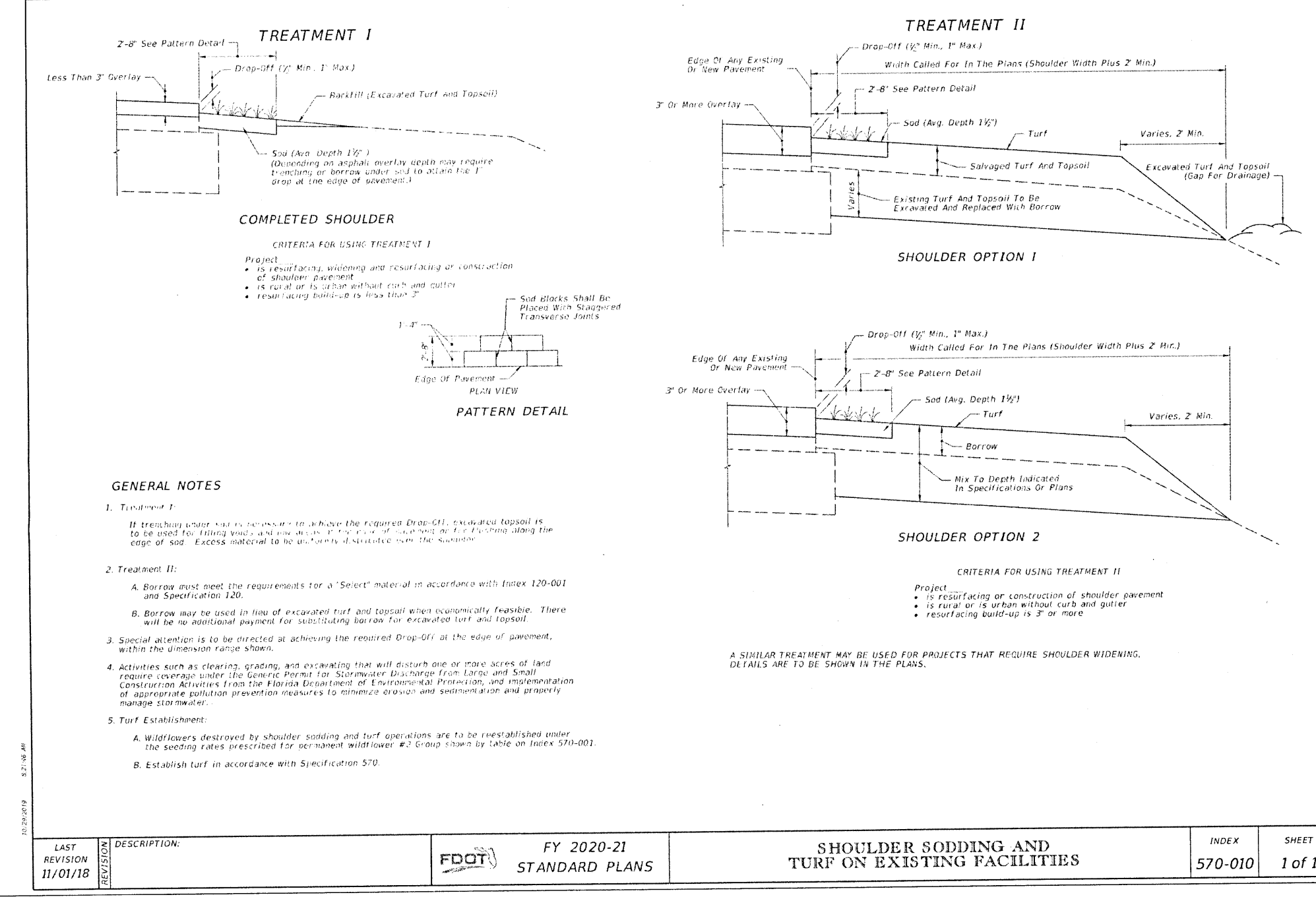
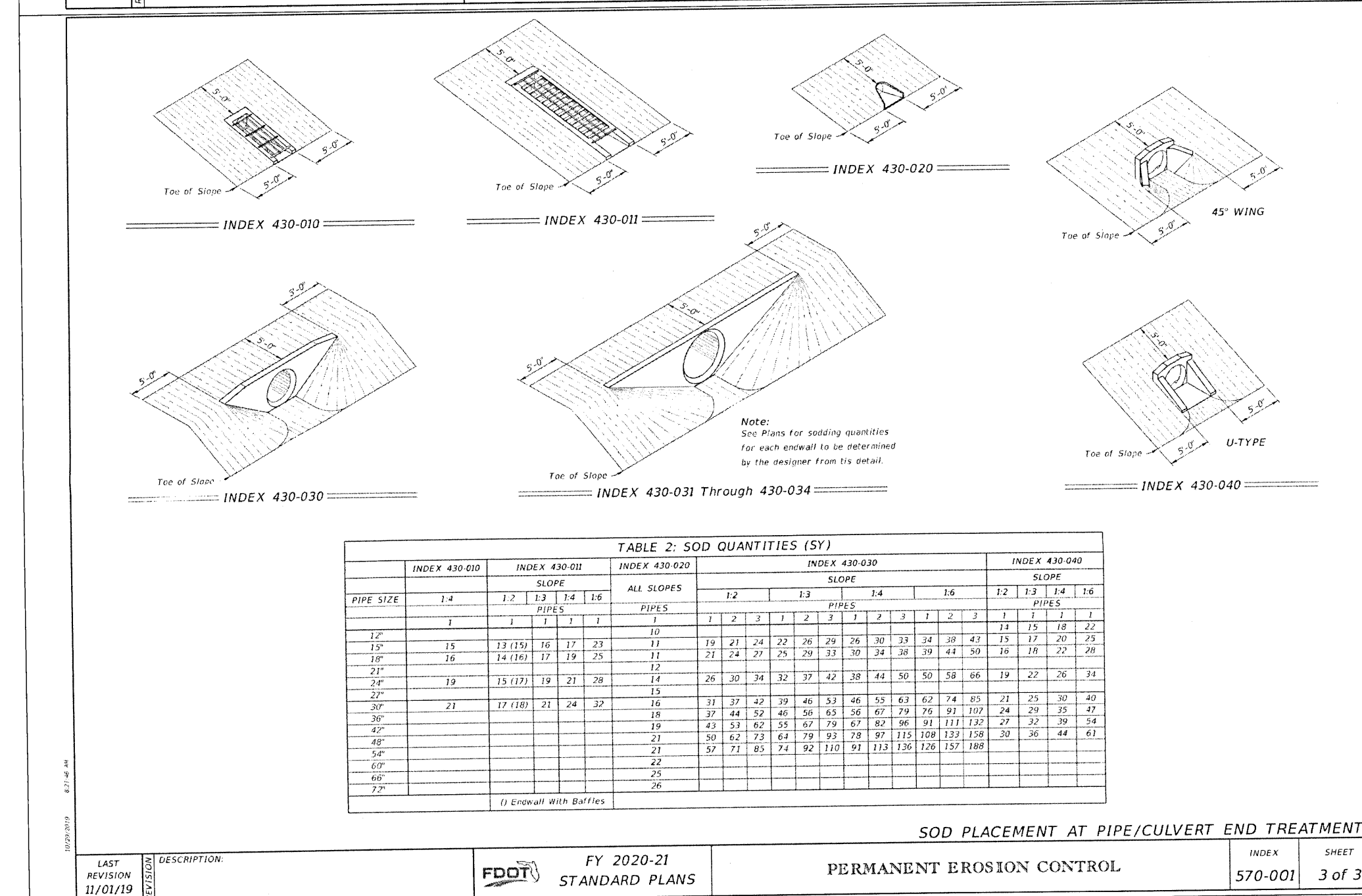
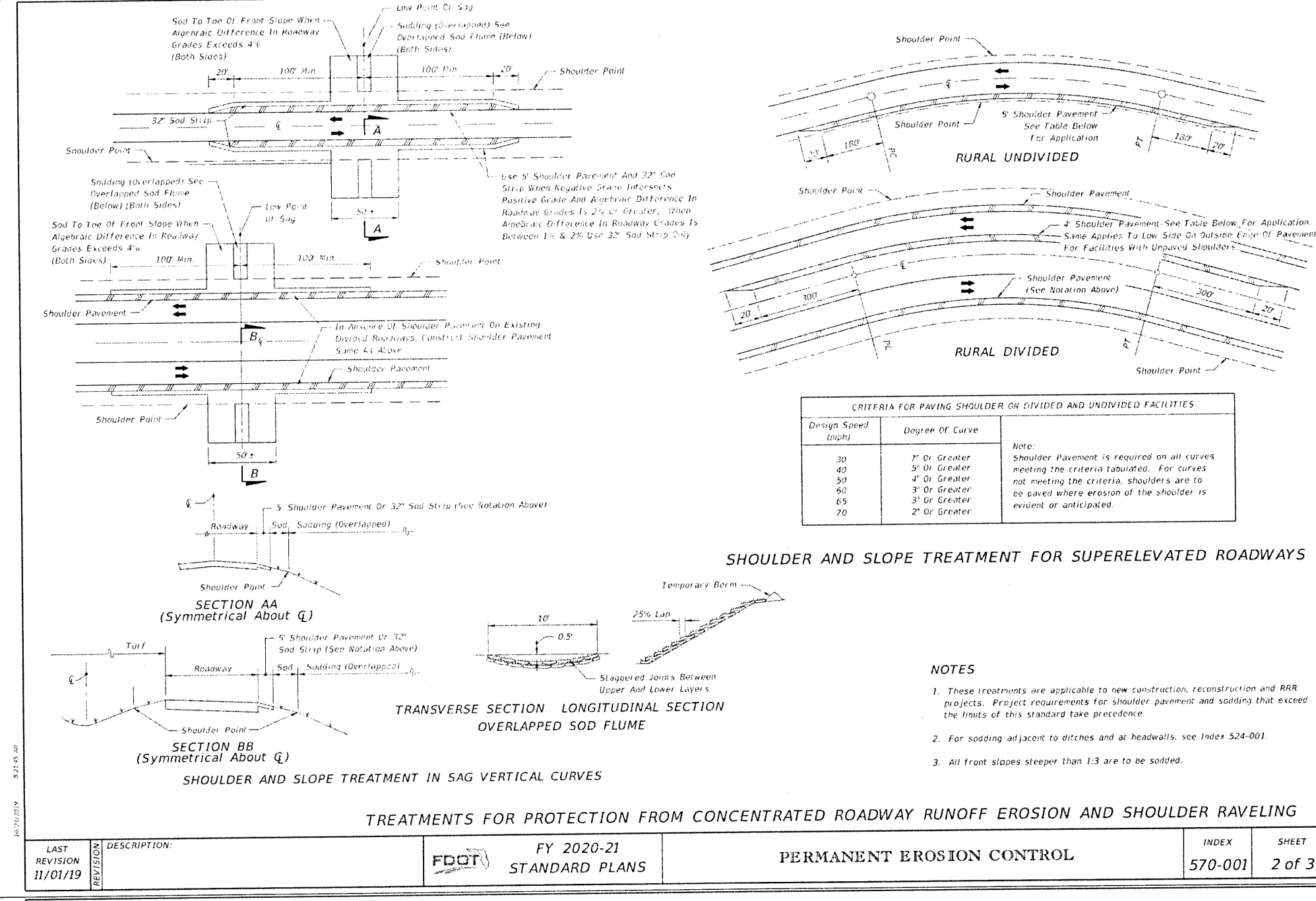
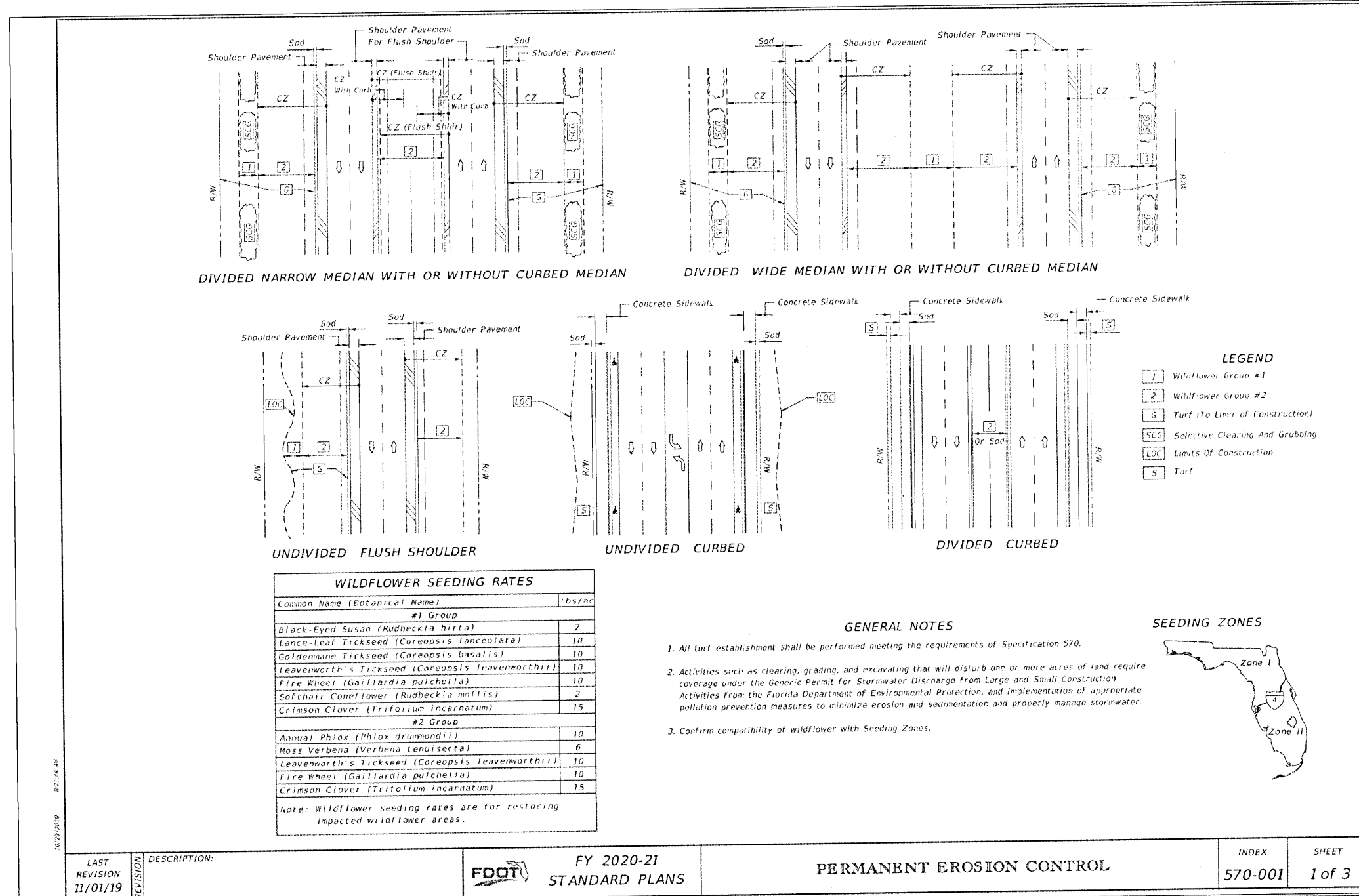
SHEET TITLE:

**FDOT MOT 4**

SHEET NUMBER:

**C-13.3**





**THOMAS ENGINEERING GROUP**

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1502 W. FLETCHER AVE., SUITE 208  
TAMPA, FLORIDA 33612  
Phone: (813) 379-4100  
Fax: (813) 379-4040  
www.ThomasEngineeringGroup.com

**REVISIONS**

REV	DATE	COMMENT	BY
1	9/11/20	REV PER ECUA COMMENTS DATED 9/10/20	CTD
2	9/30/20	REV PER COUNTY COMMENTS DATED 9/11/20	CTD
3	10/23/20	REV PER RTG COMMENTS DATED 10/12/20	CTD
4	10/23/20	OWNER / PERMIT 10/23/20	HR
5	11/10/20	REV PER FOOT DRAINAGE COMMENTS DATED 10/13/20	CTD
6	11/17/20	REV PER FOOT ACCESS COMMENTS DATED 10/15/20	CTD

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**PERMIT SET**

PROJECT NO.: FT190076  
DRAWN BY: HR / CTD  
CHECKED BY: EMM  
DATE: 8/24/2020  
SCALE: AS NOTED  
CAD I.D.: FT190076-C-13.0 MOT

**ROOMS TO GO PATIO PENSACOLA**

FOR

5827 N. DAVIS HWY.  
PENSACOLA  
ESCAMBIA COUNTY, FLORIDA

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**EDWARD M. McDONALD, P.E.**

FLORIDA LICENSE NO. 71815  
November 20, 2020  
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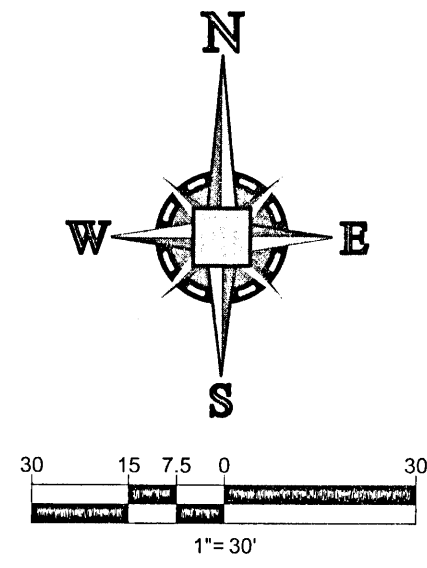
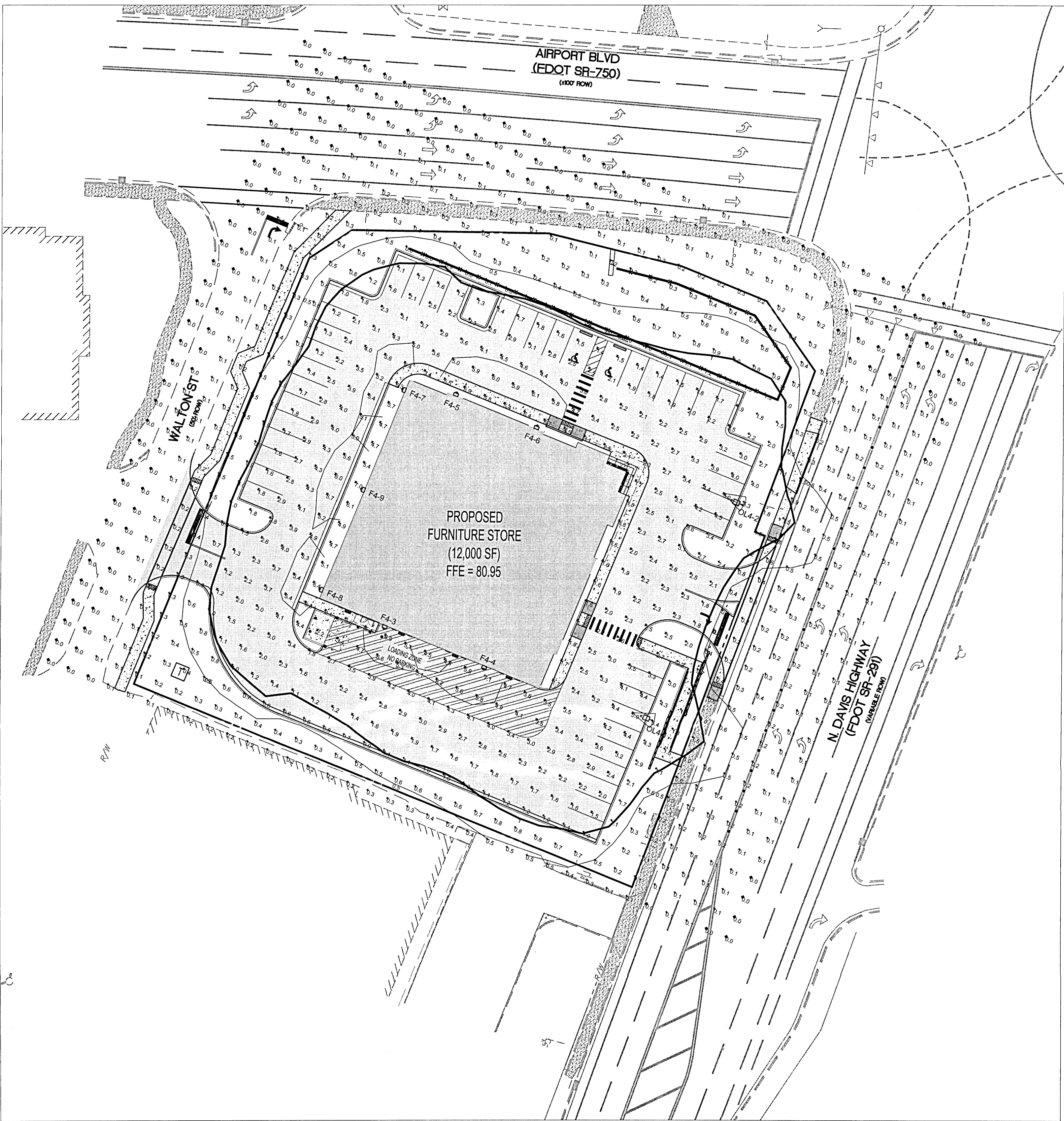
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**FDOT MOT 5**

**SHEET NUMBER:**

**C-13.4**

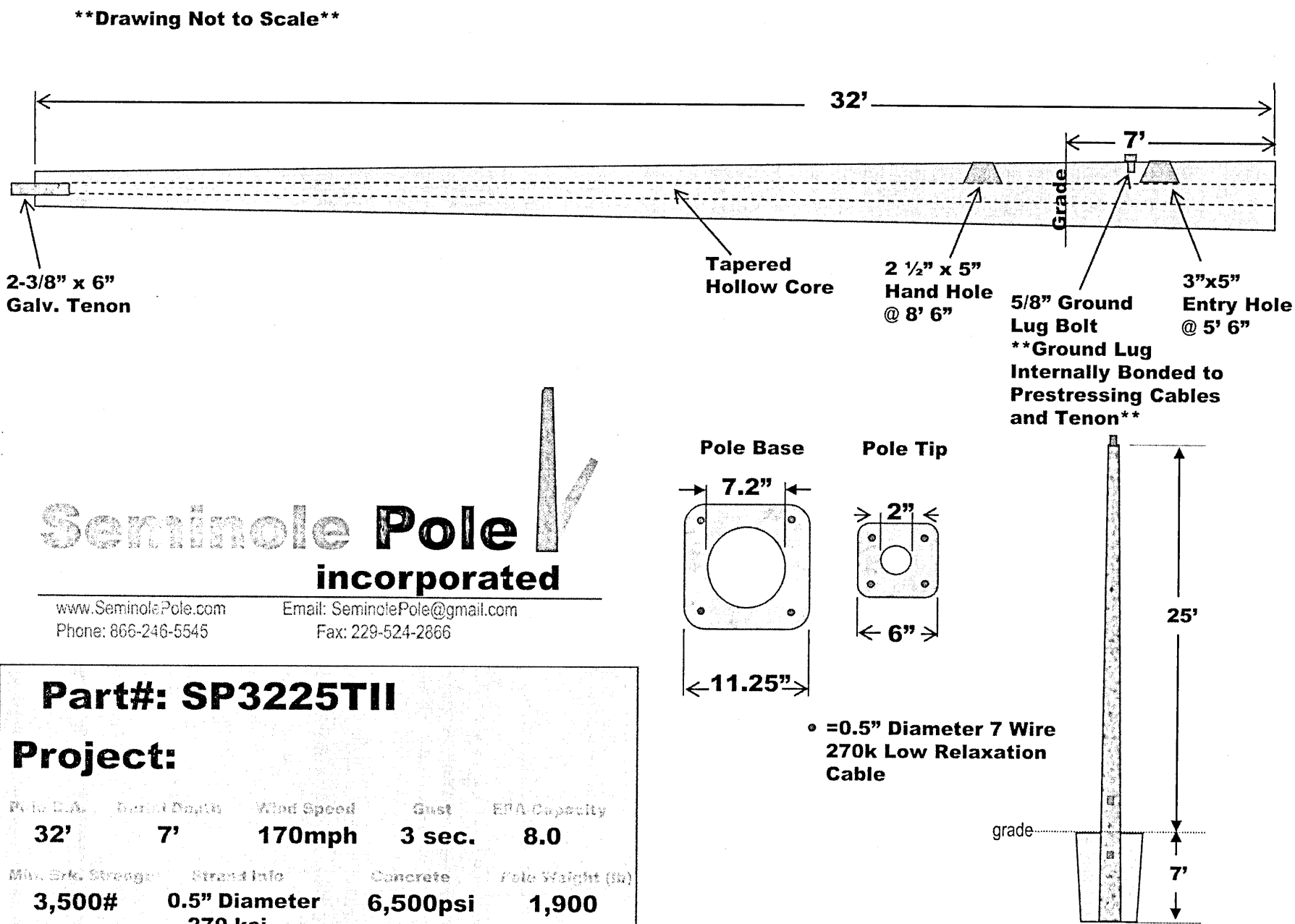




LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	OL4	2	DSX2 LED P3 40K T4M MVOLT	DSX2 LED P3 40K T4M MVOLT	LED	DSX2_LED_P3_40K_T4M_MV_OLT.ies	27657	0.91	217
	F4	7	DSX0 LED P6 40K T4M MVOLT	DSX0 LED P6 40K T4M MVOLT	LED	DSX0_LED_P6_40K_T4M_MV_OLT.ies	15627	0.91	134

LUMINAIRE LOCATIONS				
No.	Label	MH	Orientation	Tilt
1	OL4	25.0	-90.0	0.0
2	OL4	25.0	-90.0	0.0
3	F4	17.5	180.0	0.0
4	F4	17.5	180.0	0.0
5	F4	17.5	0.0	0.0
6	F4	17.5	0.0	0.0
7	F4	17.5	-90.0	0.0
8	F4	17.5	-90.0	0.0
9	F4	17.5	-90.0	0.0

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	1.2 fc	7.1 fc	0.0 fc	N / A	N / A
RTG Parking	X	3.1 fc	7.1 fc	1.0 fc	7.1:1	3.1:1



**THOMAS ENGINEERING GROUP**  
CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS  
6300 NW 31st Ave., Suite 205  
Tampa, FL 33612  
P: 813-519-4100  
F: 813-202-7503

1502 W. FLETCHER AVE., SUITE 101  
TAMPA, FL 33612  
P: 813-379-4100  
F: 813-379-4040

REVISIONS			
REV	DATE	COMMENT	BY
1	9/11/20	REV PER ECUA COMMENTS DATED 9/10/20	CTD
2	9/30/20	REV PER COUNTY COMMENTS DATED 9/11/20	CTD
3	10/7/20	REV PER RTG COMMENTS DATED 10/1/20	CTD
4	10/23/20	OWNER PERMIT 10/23/20	HR
5	11/10/20	REV PER FDOT DRAINAGE COMMENTS DATED 10/13/20	CTD
6	11/17/20	REV PER FDOT ACCESS COMMENTS DATED 10/15/20	CTD

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**PERMIT SET**

PROJECT No.: FT190076  
DRAWN BY: HR / CTD  
CHECKED BY: EMM  
DATE: 8/24/2020  
SCALE: AS NOTED  
CADD ID: FT190076-C-14.0 PP

**ROOMS TO GO PATIO PENSACOLA**

FOR

5827 N. DAVIS HWY.  
PENSACOLA  
ESCAMBA COUNTY, FLORIDA

**THOMAS ENGINEERING GROUP**

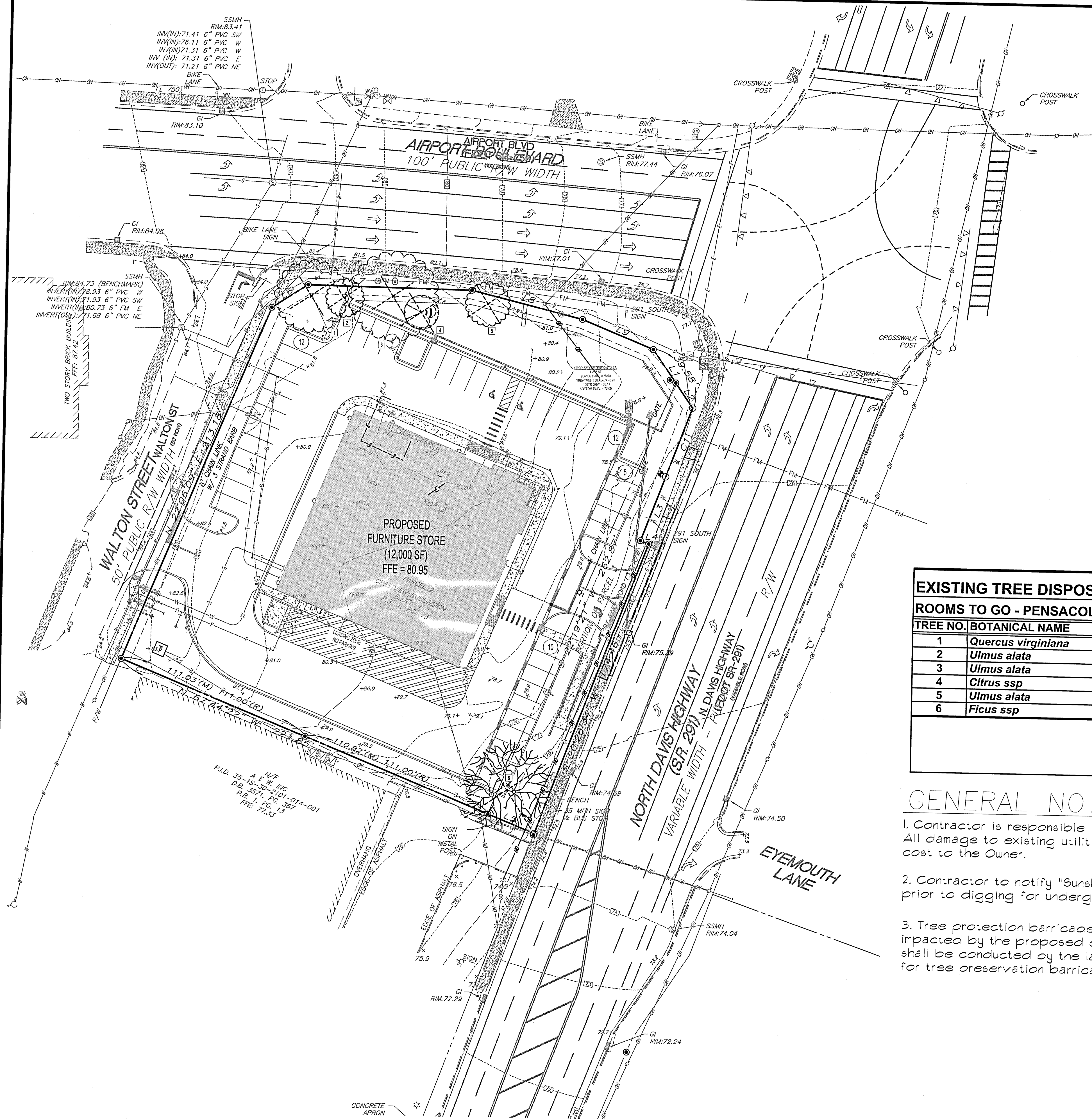
1502 W. FLETCHER AVE., SUITE 101  
TAMPA, FLORIDA 33612  
Phone: (813) 379-4100  
Fax: (813) 379-4040  
www.ThomasEngineeringGroup.com

**EDWARD M. McDONALD, P.E.**  
PROFESSIONAL ENGINEER  
No. 71615  
STATE OF FLORIDA  
EDWARD M. McDONALD, P.E.  
FLORIDA LICENSE No. 71615  
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

**PHOTOMETRIC PLAN**

SHEET NUMBER:  
**C-14.0**





FEMA MAP INFORMATION:

ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) FOR ESCAMBA COUNTY, FLORIDA, (COMMUNITY PANEL NO. 12033 C0380G, DATED SEPT. 29, 2006), ALL OF THE SUBJECT PROPERTY LIES WITHIN ZONE "X" DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN"

DATUM NOTE:

NORTH ARROW AND BEARINGS SHOWN HEREON ARE BASED ON FL NORTH ZONE - NAD83 ADJUSTED 2011. USING GLOBAL POSITIONAL SYSTEM (GPS) AND OBTAINED BY RTK OBSERVATIONS ON 05-29-2020 USING THE LEICA SMARTNET SYSTEM. ALL DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS EXPRESSED IN U.S. SURVEY FEET.

EXISTING TREE DISPOSITION CHART

ROOMS TO GO - PENSACOLA - ESCAMBA COUNTY, FL

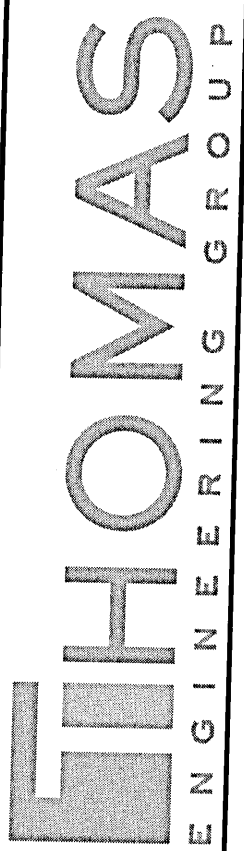
TREE NO.	BOTANICAL NAME	COMMON NAME	DBH (ins.)	HT	SPR	CONDITION	DISPOSITION	COMMENTS
1	Quercus virginiana	Live Oak	18	25'	40'	Fair	remove	
2	Ulmus alata	Winged Elm	12	15'	20'	Poor	remove	
3	Ulmus alata	Winged Elm	22	45'	50'	Fair	remove	3 trunks @ 4"
4	Citrus ssp	Unknown Fruit Tree	12	15'	15'	Poor	remove	
5	Ulmus alata	Winged Elm	18	25'	20'	Poor	remove	
6	Ficus ssp	Unknow Ficus Species	48	40'	50'	Poor	remove	
Total Protected DBH On Site:								70
Total DBH to Remain:								0
Total DBH to be Removed:								70
Total Mitigation Required: 70" x 50%:								35"

GENERAL NOTES:

- Contractor is responsible for determining all utility locations and installing facilities so as to not conflict. All damage to existing utilities or improvements caused by Contractor shall be repaired at no additional cost to the Owner.
- Contractor to notify "Sunshine State One Call of Florida, Inc." at 1-800-432-4770 Two Full Business Days prior to digging for underground utility locations.
- Tree protection barricades shall be provided by Landscape Contractor around existing trees that may be impacted by the proposed construction. Prior to any construction a tree protection barricade inspection shall be conducted by the landscape architect, owner or governing municipality. Refer to landscape detail for tree preservation barricade fencing.

SEE SHEET L-2.0 FOR LANDSCAPE PLAN; SHEET L-2.1 FOR CODE CHART, & PLANTING DETAILS, AND; SHEET L-2.2 FOR LANDSCAPE GENERAL NOTES.

ALL NUISANCE, EXOTIC VEGETATION SHALL BE ERADICATED & REMOVED FROM THE ENTIRE SITE



CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS  
OFFICES:  
6300 NW 31ST AVE.  
SUITE 600  
FT. LAUDERDALE, FLORIDA 33309  
TAMPA, FLORIDA 33609

REVISIONS

REV	DATE	COMMENT	BY
4	10/23/20	OWNER / PERMIT 10/23/20	MDG



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PROJECT NO.: FT190076  
DRAWN BY: HR  
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DATE: 07/07/2020  
SCALE: AS NOTED  
CAD L.D.: FT190076-LANDSCAPE

PROJECT:

ROOMS TO GO  
PENSACOLA

FOR

5827 N DAVIS HWY  
PENSACOLA  
ESCAMBA COUNTY, FLORIDA



4950 W. KENNEDY BLVD., SUITE 600  
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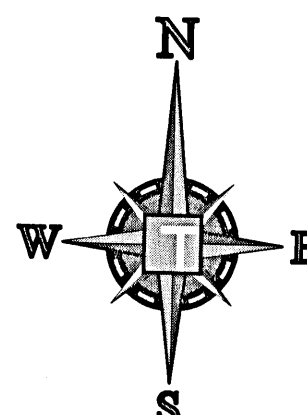


REGISTERED LANDSCAPE ARCHITECT  
November 13, 2020  
FLORIDA LICENSE NO. 6666871  
FLORIDA BUSINESS CERT. OF AUTH. NO. 27528

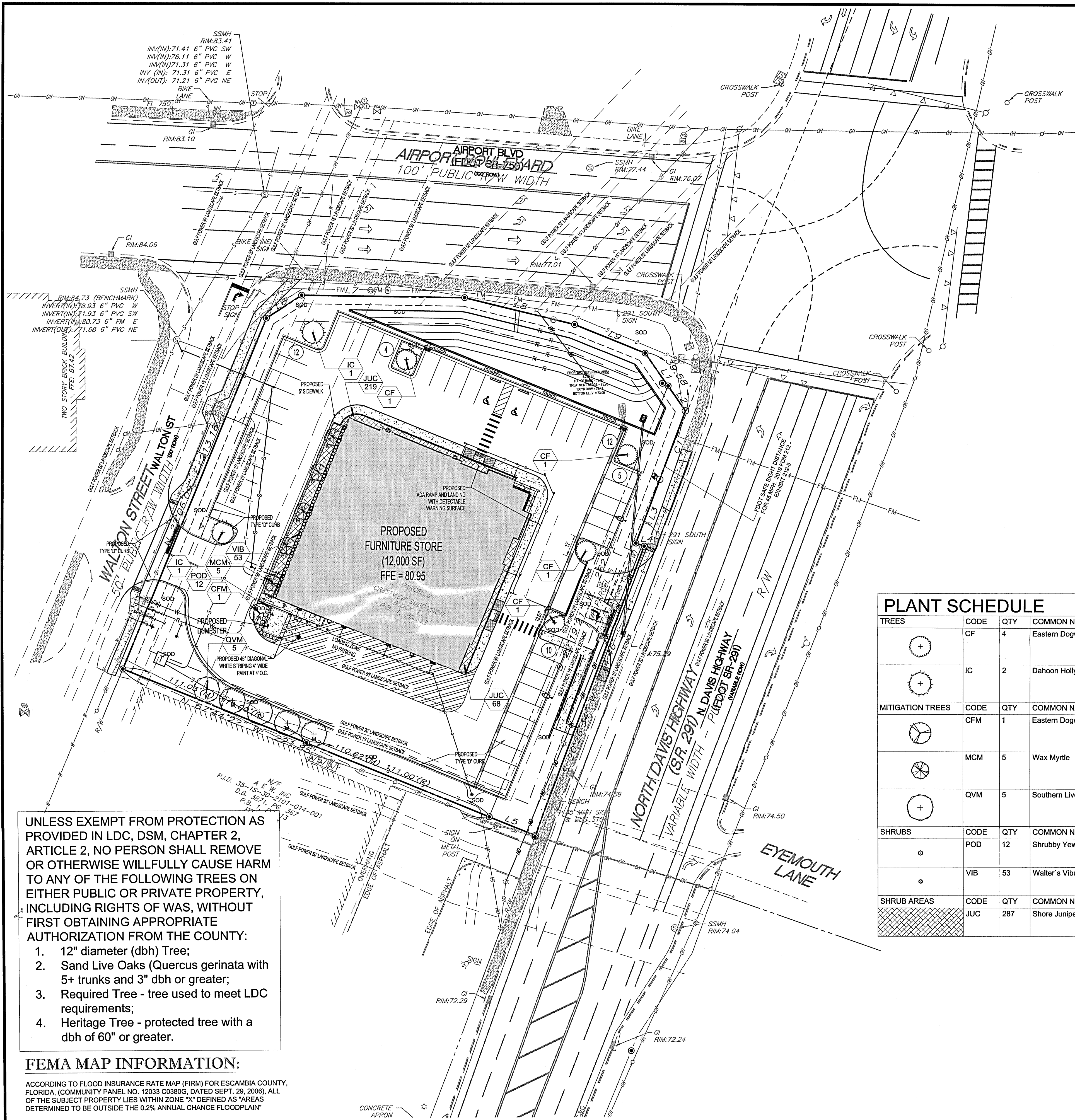
SHEET TITLE:  
TREE DISPOSITION  
PLAN

SHEET NUMBER:

L-1.0







UNLESS EXEMPT FROM PROTECTION AS PROVIDED IN LDC, DSM, CHAPTER 2, ARTICLE 2, NO PERSON SHALL REMOVE OR OTHERWISE WILLFULLY CAUSE HARM TO ANY OF THE FOLLOWING TREES ON EITHER PUBLIC OR PRIVATE PROPERTY, INCLUDING RIGHTS OF WAS, WITHOUT FIRST OBTAINING APPROPRIATE AUTHORIZATION FROM THE COUNTY:

- 12" diameter (dbh) Tree;
- Sand Live Oaks (*Quercus gerinata* with 5+ trunks and 3" dbh or greater;
- Required Tree - tree used to meet LDC requirements;
- Heritage Tree - protected tree with a dbh of 60" or greater.

FEMA MAP INFORMATION:

ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) FOR ESCAMBIA COUNTY, FLORIDA, (COMMUNITY PANEL NO. 12053 C03805, DATED SEPT. 29, 2006), ALL OF THE SUBJECT PROPERTY LIES WITHIN ZONE "X" DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN"

DATUM NOTE:

NORTH ARROW AND BEARINGS SHOWN HEREON ARE BASED ON FL NORTH ZONE - NAD83 ADJUSTED 2011, USING GLOBAL POSITIONAL SYSTEM (GPS) AND OBTAINED BY RTK OBSERVATIONS ON 05-29-2020 USING THE LEICA SMARTNET SYSTEM. ALL DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS EXPRESSED IN U.S. SURVEY FEET.

ALL LANDSCAPED AREAS TO BE FULLY COVERED BY AUTOMATIC IRRIGATION SYSTEM AS PER CITY CODES AND REQUIREMENTS. SEE SEPARATE IRRIGATION PLANS FOR FURTHER INFORMATION.

SEE SHEET L-2.1 FOR CODE CHART, & PLANTING DETAILS, AND; SHEET L-2.2 FOR LANDSCAPE GENERAL NOTES.

ALL MECHANICAL EQUIPMENT, BACKFLOW PREVENTERS, DUMPSTER ENCLOSURES, A/C UNITS, ETC., SHALL BE SCREENED A MIN. OF 6" ABOVE THE TOP OF THE EQUIPMENT IN ADDITION TO THE MINIMUM LANDSCAPE REQUIREMENTS (INCLUDING THOSE VISIBLE FROM PUBLIC RIGHT-OF-WAYS).

ALL NUISANCE, EXOTIC VEGETATION SHALL BE ERADICATED & REMOVED FROM THE ENTIRE SITE

ALL COMPACTED SOIL, ROAD ROCK AND EXCESS DEBRIS SHALL BE REMOVED AND A 24" LAYER OF SOIL FAVORABLE TO TREE AND SHRUB GROWTH AND SUSTAINABILITY EXISTS OVER ALL PLANTING AREAS. SOIL COMPOSITION SHOULD CONTAIN 2-4% OR ORGANIC MATTER WITH REMOVAL OF ANY LARGE ROCKS OR DEBRIS, LARGER THAN A LEMON.

ALL TRIMMING UNDERTAKEN ON A TREE PROTECTED BY THE PROVISIONS OF THE LAND DEVELOPMENT CODE SHALL BE PRUNED IN ACCORDANCE WITH THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A-300 PRUNING STANDARDS





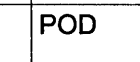


ALL SOD SHALL BE ST. AUGUSTINE 'FLORATAM' SOLID SOD UNLESS OTHERWISE NOTED. ALL SOD IN DETENTION AREAS SHALL BE BAHIA 'ARGENTINE'

SITE NOTES:

- ALL DIMENSIONS SHOWN ARE SHOWN AT FACE OF CURB, UNLESS OTHERWISE NOTED. B/C INDICATES DIMENSION IS TO BACK OF CURB.
- ALL RADI DIMENSIONS ARE 3' TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS," LATEST EDITION; AND PASCO COUNTY LAND DEVELOPMENT CODE.
- FREE STANDING SIGNAGE SHOWN ONLY FOR REPRESENTATIONAL PURPOSES, AND SHALL BE PERMITTED SEPARATELY.
- A MAINTENANCE EASEMENT WILL BE PROVIDED TO THE COUNTY FOR THE PORTION OF SIDEWALK ON PRIVATE PROPERTY.
- RETENTION PONDS AND WETLAND AREAS WILL NOT BE FENCED, UNLESS REQUIRED BY ANOTHER REVIEWING AGENCY.
- ALL WORK WITHIN THE FDOT R.O.W. SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2018 EDITION) AND STANDARD PLANS (2018 EDITION).
- MAINTENANCE OF TRAFFIC PLAN FOR WORK ZONES SHALL BE IN CONFORMANCE WITH ALL APPLICABLE INDICES OF THE FDOT DESIGN STANDARDS INDEX 600 SERIES ACCORDING TO THE TYPE OF ROADWAY AND TYPE OF WORK BEING PERFORMED. REFER TO FDOT STANDARD PLANS INDEX #102-660 FOR PEDESTRIAN CONTROL FOR CLOSURE OF SIDEWALKS.
- ANY DAMAGED SIDEWALK OR CURB WITHIN THE FDOT R.O.W. SHALL BE REMOVED AND REPLACED.
- ALL SIDEWALKS WITHIN THE FDOT R.O.W. SHALL COMPLY WITH FDOT STANDARD PLANS INDEX #522-001 AND BE CONSTRUCTED OF A MINIMUM 6" THICK FDOT CLASS 1 NON-STRUCTURAL 3,000 PSI CONCRETE WITH FIBER MESH. ALL TRUNCATED DOMES SHALL BE INSTALLED PER FDOT STANDARD PLANS INDEX #522-002.
- ALL WORK REQUIRING LANE CLOSURES SHALL BE PERFORMED SUNDAY THROUGH THURSDAY, 8:00 PM THROUGH 5:00 AM.
- ALL DISTURBED AREAS WITHIN THE FDOT R.O.W. WILL BE SODDED.

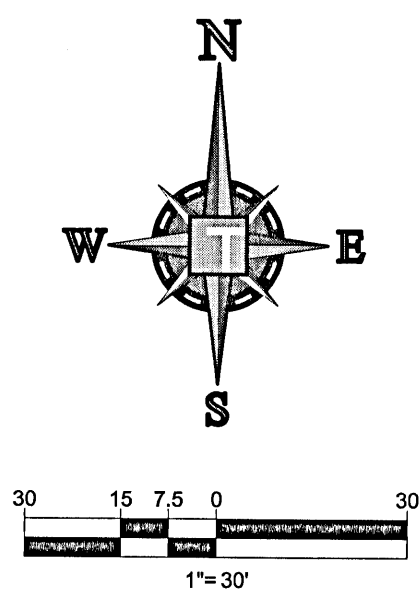
ALL TREES PLANTED AS REPLACEMENTS FOR REMOVED TREES SHALL MEET THE REQUIREMENTS FOR TREE SELECTION PRESCRIBED IN LDC, DSM, CHAPTER 2, ARTICLE 2. ANY OF THE TREE SPECIES IDENTIFIED AS PRE-APPROVED REPLACEMENTS MAYBE PLANTED. OTHER NATIVE TREES WITH CONFORMED MODERATE TO HIGH DROUGHT TOLERANCE AND WIND RESISTANCE MAY BE PROPOSED FOR COUNTY REVIEW AND ACCEPTANCE. PALMS CANNOT BE SUBSTITUTED FOR MITIGATION TREES, EVEN IN LARGER QUANTITIES.

PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CAL/DBH	HEIGHT	SPREAD	NATIVE	XERIC		REMARKS
	CF	4	Eastern Dogwood	Cornus florida	25 gal	2.5"Cal	12' Ht	4-5'	Yes	Low		5' c.t.
	IC	2	Dahoon Holly	Ilex cassine	25 gal	2.5"Cal	12' Ht	3-4'	Yes	High		5' CT
MITIGATION TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	CAL/DBH	HEIGHT	SPREAD	NATIVE	XERIC		REMARKS
	CFM	1	Eastern Dogwood	Cornus florida	25 gal	2.5"Cal	12' Ht	4-5'	Yes	Low		5' c.t.
	MCM	5	Wax Myrtle	Myrica cerifera	25 gal	2.5"Cal	8-10' Ht	4'-5'	Yes	High		SINGLE LEADER
	QVM	5	Southern Live Oak	Quercus virginiana	B & B	4"Cal	16' Ht	6-7'	Yes	High		5' CT; FOR MITIGATION
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC		REMARKS
	POD	12	Shrubby Yew	Podocarpus macrophyllus maki	NA	30"	36"	30"	No	Medium		
	VIB	53	Walter's Viburnum	Viburnum obovatum	NA	24"	24"	24"	Yes	High		Full to base
SHRUB AREAS	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS	SPACING	HEIGHT	SPREAD	NATIVE	XERIC		REMARKS
	JUC	287	Shore Juniper	Juniperus conferta	n/a	24"	12"-14"	16-18"	No	High	24" o.c.	Full to base

NOTE: UNLESS SPECIFIED OTHERWISE, ESCAMBIA COUNTY'S LDC, DSM, CHAPTER 2, ENVIRONMENTAL, ARTICLE 2, LANDSCAPING, SHALL BE ADHERED TO.

TREES PLANTED TO FULFIL THE MINIMUM LANDSCAPE REQUIREMENTS OF THE ESCAMBIA COUNTY LDC, SHALL NORMALLY ATTAIN A MATURE HEIGHT OF 20' AND HAVE A MINIMUM CALIPER OF 2.5" OR GREATER MEASURED AT 4.5' ABOVE THE ROOT BALL AT PLANTING.





ROOMS TO GO - PENSACOLA -LANDSCAPE CODE COMPLIANCE CHART

Per ESCAMBIA COUNTY DESIGN STANDARDS MANUAL - CHAPTER 2. - ENVIRONMENTAL; ARTICLE 2. - LANDSCAPING

TOTAL ARE OF SITE: 63,535 SF (1.45 ACRES)  
MAX. MITIGATION AT 25"/ACRE = 36"

SEC.2-2 - Landscape Areas and Quantities

- 2-2.1 Parcel Total: 15% of Total Parcel Shall be Landscape Area  
2-2.1.c 1 Tree/Terminal Parking Island (12' minimum interior dimension)  
2-2.1.d 1 Tree /Interior Parking Island (12' minimum interior dimensio)  
2-2.3 Buffers:

63,535 sf x 15%  
4 Islands  
2 Islands  
Walton Street  
Airport Blvd  
North Davis Highway  
South Perimeter

REQUIRED	PROVIDED
9,530.25 sf	20,998 sf (33%)
4 Trees	4 Trees
2 Trees	2 Trees
5'	5'
5'	5'
5'	5'
12'	12' (no landscape required - adj to similar use)
35"	35" ((6) 2.5" cal Trees & (5) 4" cal. Trees)

SEC 2.3 - Tree Protection and Preservation

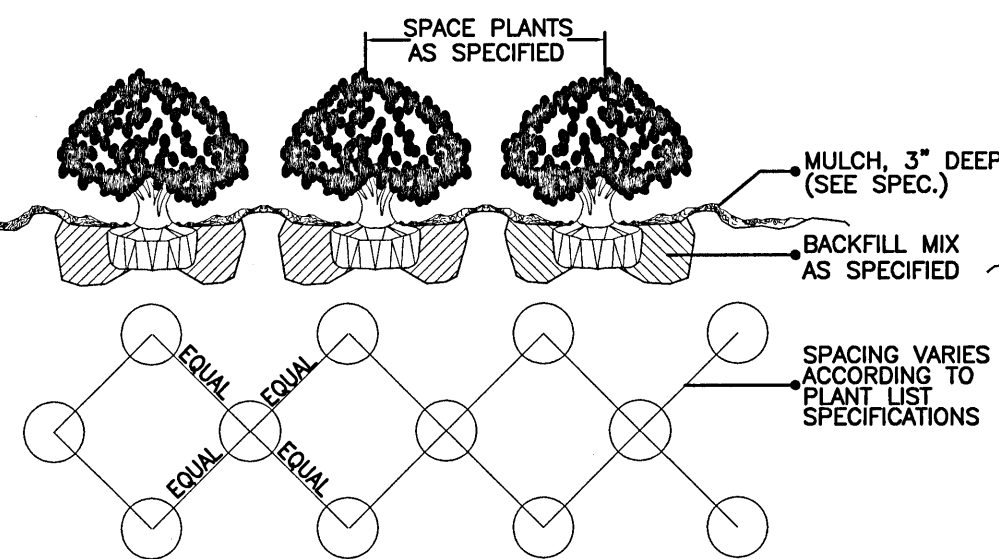
Total dbh to be Removed = 70"  
70" x .5 = 35" replacement required

UNLESS PRECLUDED BY COUNTY CODES AND ORDINANCES, RTG, DIVISION 2, SECTION 2900 SHALL SUPERCEDE NOTATIONS WITHIN THESE LANDSCAPE PLANS.

LANDSCAPING	SECTION 02900-1
DIVISION 2 - SITE WORK	
1. GENERAL	
(A) The general provisions of Division 1 apply to the work specified in this Section	
(B) The work in this Section consists of furnishing all materials, accessories, equipment, tools, transportation and performing all services and labor required to completely execute the fertilizing, liming, seeding, and landscaping work as per the drawings and as herein specified.	
(C) Liming, fertilizing, and seeding shall include all disturbed areas and all areas shown on plans.	
(D) Location, quantity, and size of all plants shall be as indicated on the drawings.	
(E) All materials shall be subject to the approval of the Owner's Representative.	
(F) All soil and rubbish resulting from the work to be removed from site.	
(G) Contractor shall repair damage of any kind done to the building, or to the work of other Contractors by the carelessness of his own workmen, or otherwise during the progress of work.	
2. JOB CONDITIONS	
(A) Before commencing work, this contractor shall verify all conditions at the job. Report any necessary corrections immediately to the General Contractor. Do not proceed until corrections (if any required) are made. Commencing work implies this contractor's acceptance of job conditions.	
3. PLANTS	
(A) Plants shall be typical of their species and variety; have normal growth habits; well-developed branches, densely foliated vigorous fibrous root systems, and shall be free from defects and injuries.	
(B) Quality and size of plants, spread of roots, and size of balls shall be in accordance with ASA 260.1-1959, "American Standard for Nursery Stock" as published by the American Association of Nurserymen, Inc.	
(C) Plants shall be pruned as specified before planting.	
(D) Plants shall be freshly dug and nursery grown.	
(E) Each bundle of plants and all separate plants shall be properly identified by weatherproof labels securely attached thereto before delivery to project site. Label shall identify plant by name and provide any specific data as to location and arrangement.	
(F) Shrubs shall be well-shaped and full.	
(G) All trees must have straight trunks with a single leader intact. Bark shall be free of abrasion; all fresh cuts over 1-1/4 inch shall be calloused over.	
(H) Trees will not be accepted which have had their leaders cut or which have leaders damaged so that cutting is necessary.	

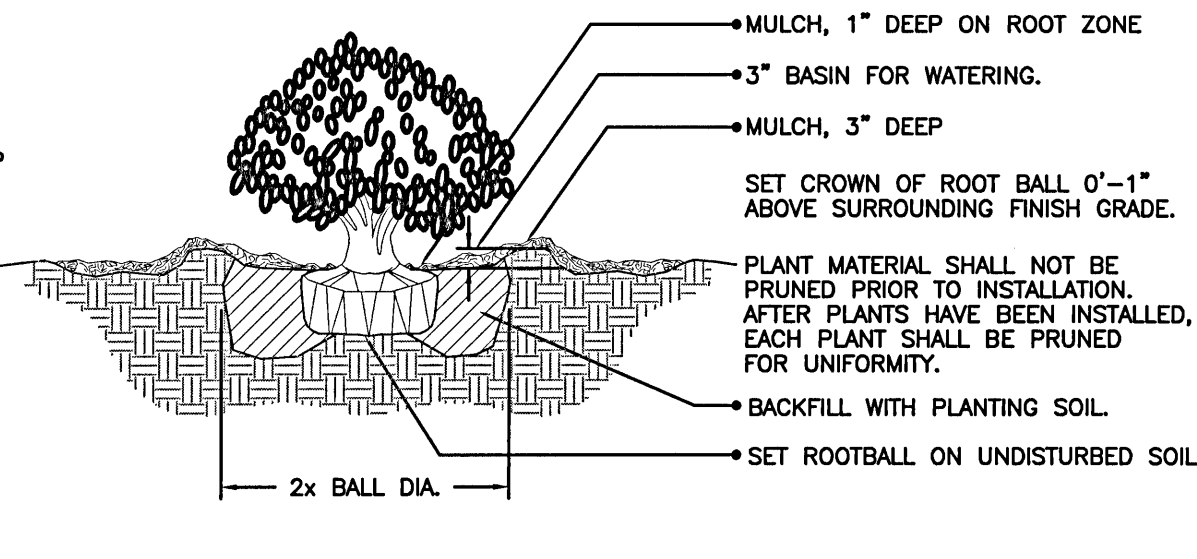
LANDSCAPING	SECTION 02900-2
4. DIGGING AND HANDLING	
(A) Handle all plants so that roots and foliage are adequately protected at all times.	
(B) No plant shall be bound with rope or wire at any time so as to damage the bark, break branches or destroy its natural shape.	
(C) Balled, burlapped plants shall come from soil which will hold firm ball.	
(D) Sizes refer to inside diameter of pot. The plants must have been growing in the specified pot for a minimum of three months and a maximum of one year prior to delivery.	
5. PLANTING TREES AND SHRUBS	
(A) Work shall be done under the supervision of an experienced nurseryman approved by the Owner's Representative.	
(B) When conditions are such, by reason of drought, high winds, excessive moisture, or other similar factors, that satisfactory results are not likely to be obtained, work shall be stopped. It shall not be resumed until desired results can be obtained or until approved alternate or corrective measures and procedures are adopted.	
(C) Stake out on the ground proposed location of all plant pits and shrub beds prior to excavation. (Do not dig pits until location has been approved by the Project Manager.) Adjustments in locations and outline shall be as directed.	
(D) The depth for excavation of plant pits shall be the depth below finished grade required to accommodate beneath the ball or roots a bed of top soil not less than 6 inches in depth. The ball or roots shall rest on this bed when the plant is properly set to finished grade.	
(E) Set all plants plumb and straight. Set at such a level that, after settlement, a normal relationship of the crown of the plant with the ground surface will be established. Locate plant in the center of the pit.	
(F) When balled, burlapped plants are set, tamp topsoil carefully under and around base of ball to fill all voids. Remove all burlap, ropes, and wires from sides and tops of balls, but do not remove burlap from under ball.	
(G) Plant pits and shrub beds shall not be backfilled with topsoil until approved by Owner's Representative.	
(H) Backfilling topsoil shall be placed in not more than 6 inches increments of depth between tamplings. Water thoroughly at each level with a solution of root stimulant and water.	
(I) All planted areas, not including seeded or sod areas, shall receive a permeable fabric weed barrier prior to placing mulch or ground cover.	
6. GUYING AND STAKING	
(A) All guying, staking and wrapping shall be done immediately after planting.	
(B) Protect all trees from contact with wires and stakes by sections of rubber hose sufficient length to prevent injury to the tree.	
(C) For balled, burlapped plants: Drive stakes into ground outside	

LANDSCAPING	SECTION 02900-3
periphery of ball of tree.	
(D) Stakes shall be flush with finished grade.	
(E) Plants shall stand plumb after staking and guying.	
(F) All seals and labels are to remain unbroken and visible on plant material until final inspection. Remove all seals and labels immediately after final inspection.	
7. PRUNING	
(A) Prune in a manner to retain height and spread as given in the Plant List.	
(B) Prune in a manner to preserve natural character of plant and in a manner appropriate to its particular requirement in the landscape design.	
8. GROUND PREPARATION	
(A) Not earlier than 24 hours before sod is to be laid, the soil surface to be sodded shall be worked to a depth of not less than two (2) inches with a weighted disc rototiller, pulverizer, or other equipment approved by the Owner's Representative, until the surface is smooth, free from debris, washes, gulleys, clods and stones. If as a result of a rain, the prepared surface becomes eroded or crusted before the sod is to be laid, it shall again be placed in condition for sodding.	
9. FINISH GRADES IN LANDSCAPED ISLANDS	
(A) The finished grades in the parking lot landscaped islands shall be graded to be sloped and crowned so that water can drain over the surrounding curbs and onto the adjacent parking lot.	
10. MULCHING	
(A) Mulch to be grade "A" shredded cypress mulch. Apply at least 3" of Mulch to earth saucers and plant beds immediately upon completion of planting. Refer to Section 02900, Paragraph 5(I), for weed barrier placement required prior to application of mulch.	
11. MAINTENANCE AND WATERING	
(A) This contractor shall maintain all seeded areas for a period of two (2) months or until acceptance of construction, whichever is more.	
(B) Contractor to furnish watering hoses and sprinkling equipment for his use during watering period.	
12. GUARANTEE	
(A) The work under this section shall be guaranteed for one (1) year from the date of acceptance. Guarantee shall cover replacement of unhealthy plants and defects in workmanship.	
- END OF SECTION -	



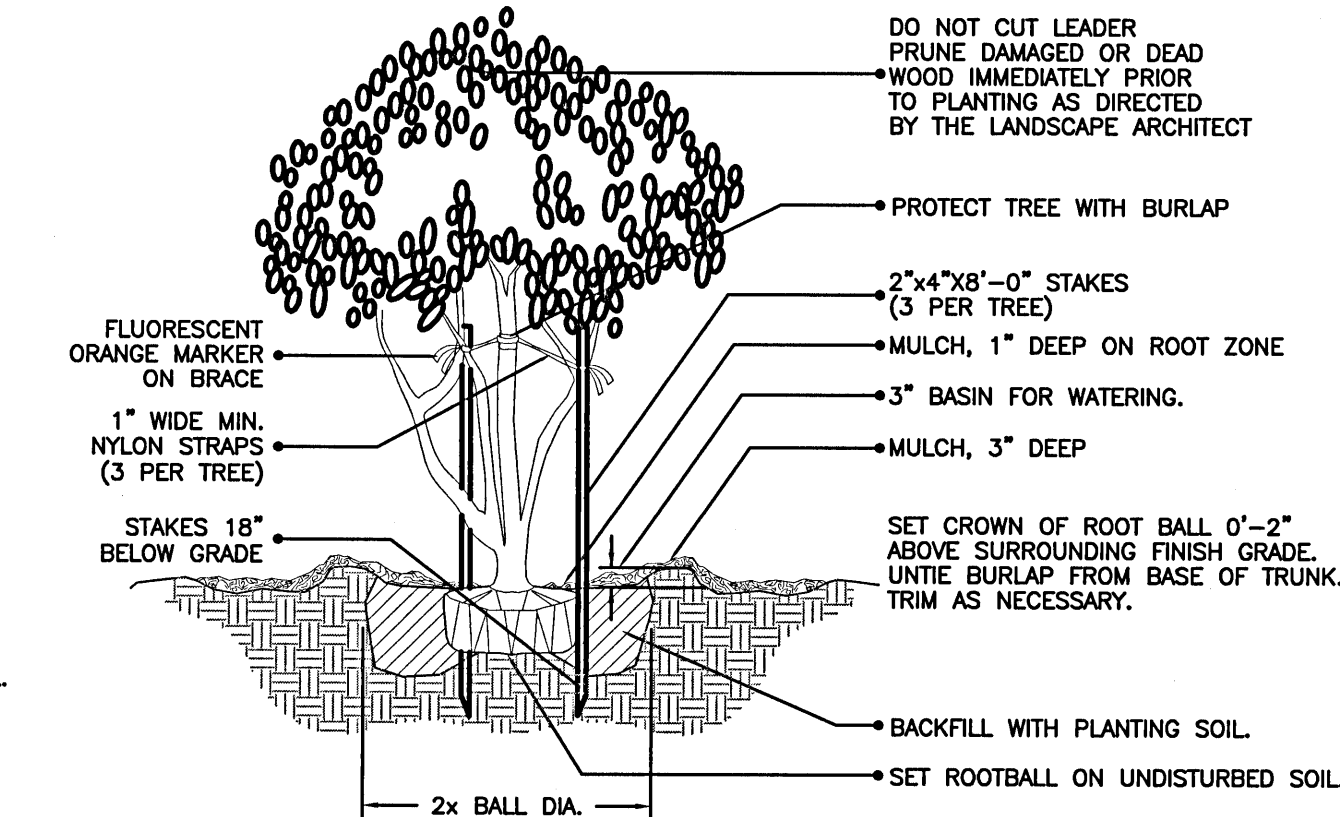
SHRUB / GROUNDCOVER SPACING / PLANTING DETAIL

NTS



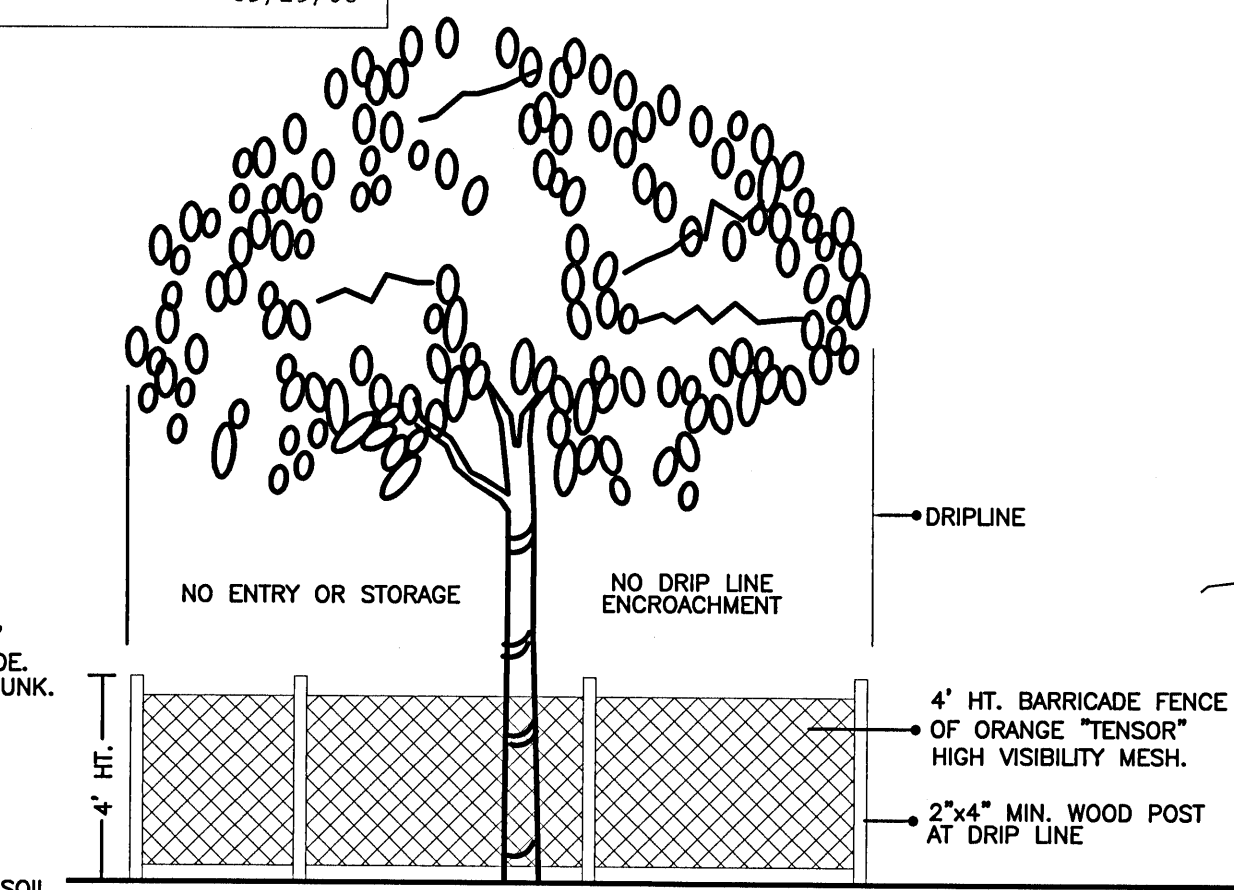
SHRUB PLANTING DETAIL

NTS



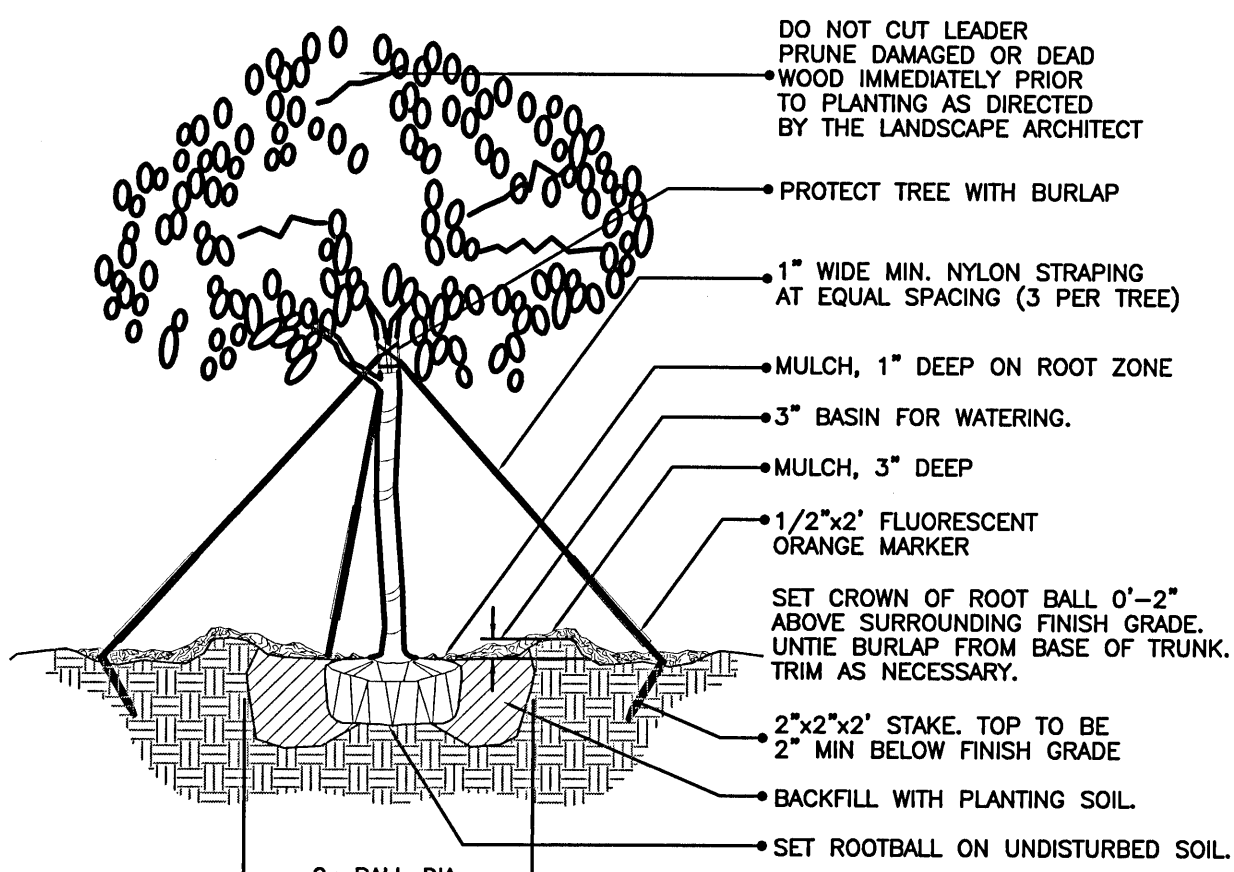
MULTI- TRUNK AND SMALL TREE (2" cal. and under) PLANTING DETAIL

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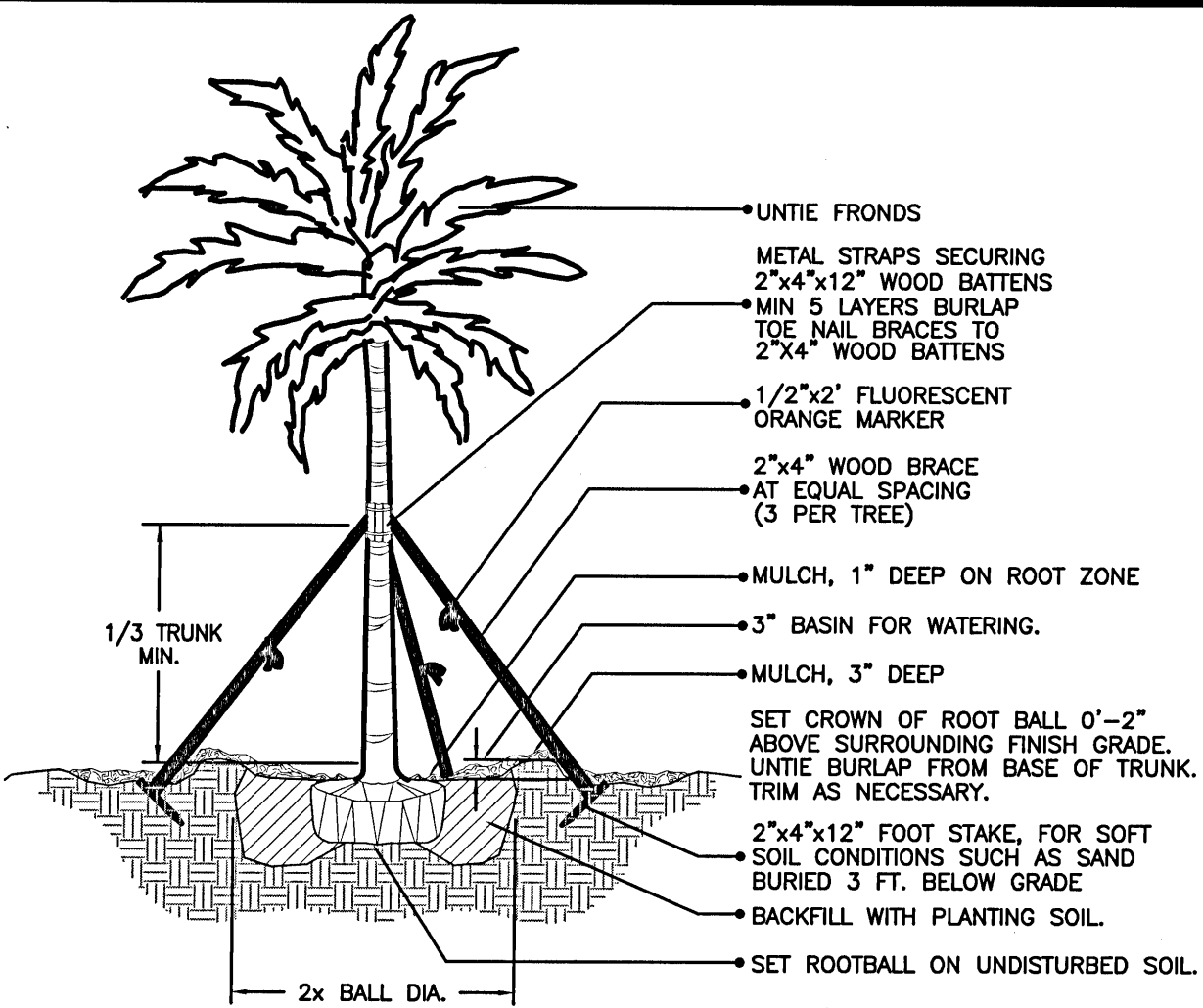
TREE PRESERVATION BARRICADE FENCING DETAIL

NTS



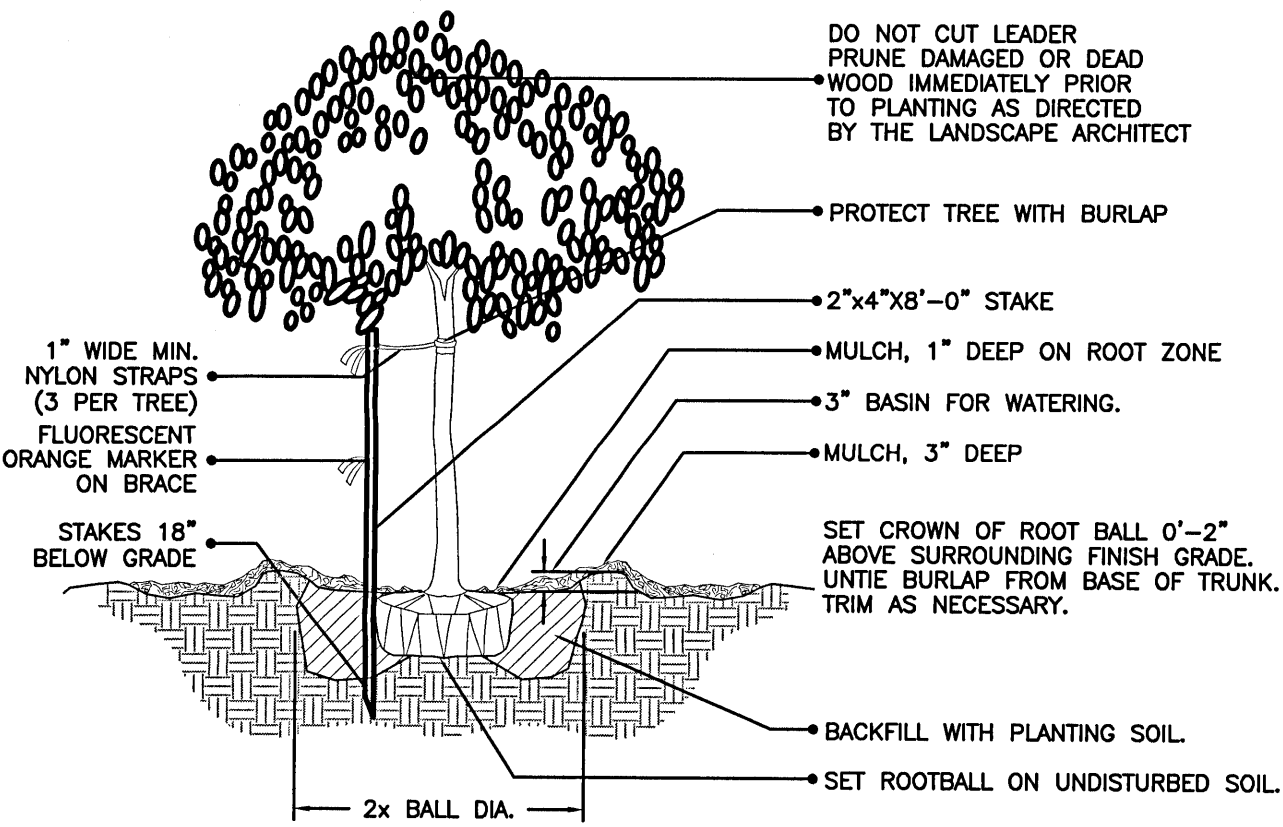
(2" cal. and over) LARGE TREE PLANTING DETAIL

NTS



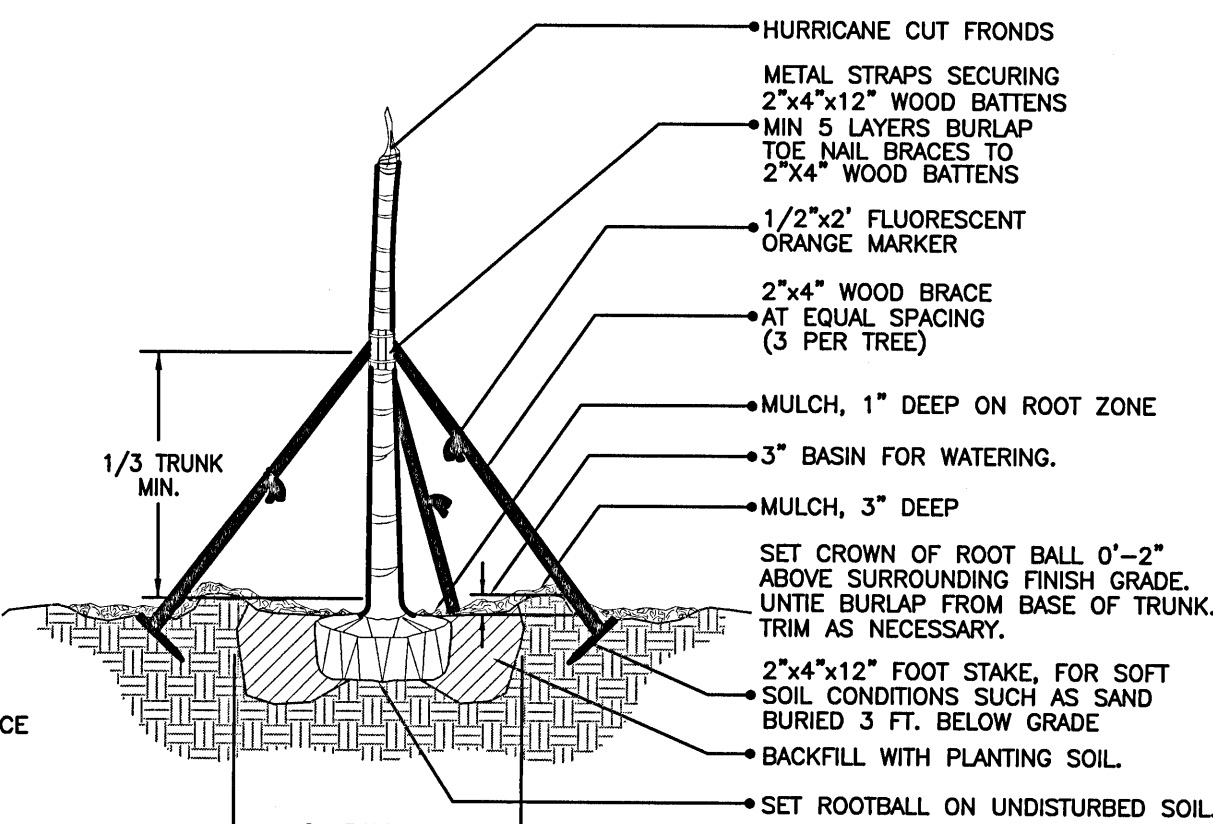
LARGE PALM PLANTING DETAIL

NTS



(2" cal. and under) SMALL TREE PLANTING DETAIL

NTS



CIGARED SABAL PALM PLANTING DETAIL

NTS

**THOMAS**  
ENGINEERING GROUP

CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS

OFFICES:

4950 W. KENNEDY BLVD., SUITE 600  
TAMPA, FLORIDA 33609

4800 NW 31ST AVE.  
FT. LAUDERDALE, FLORIDA 33309

REV	DATE	COMMENT	BY
4	10/23/20	OWNER / PERMIT 10/23/20	MDG
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PROJECT No.: FT190078  
DRAWN BY: HR  
CHECKED BY: EMM  
DATE: 07/07/2020  
SCALE: AS NOTED  
CAD ID: FT190078-LANDSCAPE

PROJECT:

**ROOMS TO GO PENSACOLA**

FOR

5827 N DAVIS HWY  
PENSACOLA  
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REGISTERED LANDSCAPE ARCHITECT

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REGISTERED LANDSCAPE ARCHITECT  
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SHEET TITLE:  
**LANDSCAPE CODE REQUIREMENTS, DETAILS & NOTES**

SHEET NUMBER:

**L-2.1**



## LANDSCAPE GENERAL NOTES

### A. SCOPE OF WORK

1. THE WORK CONSISTS OF FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPLIANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS, AS INCLUDED IN THE PLANT LIST, AND AS HEREIN SPECIFIED.

2. WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL PLANTING AREAS OF THIS CONTRACT UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER.

### B. PROTECTION OF EXISTING STRUCTURES

1. ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, AND OTHER ITEMS OF CONSTRUCTION AND PLANTING ALREADY COMPLETED OR ESTABLISHED SHALL BE PROTECTED FROM DAMAGE BY THIS CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER.

### C. PROTECTION OF EXISTING PLANT MATERIALS OUTSIDE LIMIT OF WORK

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS, EXISTING OR OTHERWISE, CAUSED BY CARELESS OPERATION OF EQUIPMENT, STOCKPILING OF MATERIALS, ETC. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP - LINE OR THE SPILLING OF OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP - LINE.

2. NO MATERIALS SHALL BE BURNED WHERE THE HEAT WILL DAMAGE ANY PLANT, TREES KILLED OR DAMAGED SO THAT THEY ARE MISSEPHEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF ONE HUNDRED DOLLARS (\$100) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY PERCENT (20%) PER INCH OVER FOUR INCHES (4") CALIPER AS FIXED AND AGREED UNDETERMINED DAMAGES, OR AS MAY BE REQUIRED BY THE REGULATING GOVERNMENT AGENCY, WHICHEVER IS GREATER. CALIPER SHALL BE MEASURED AT BREAST HEIGHT OR FOUR FEET (4') ABOVE SURROUNDING GROUND.

### D. MATERIALS

1. SUBMITTALS: GENERAL SAMPLES OF PLANTING MATERIALS AS LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON THE SITE OR AS OTHERWISE DETERMINED BY THE OWNER, UPON APPROVAL OF SAMPLES, DELIVERY OF MATERIALS MAY BEGIN.

#### MATERIALS SAMPLE SUBMITTALS

MULCH ONE (1) CUBIC FOOT  
TOPSOIL ONE (1) CUBIC FOOT  
PLANTS ONE (1) REPRESENTATIVE SAMPLE OF EACH VARIETY

#### 2. PLANT MATERIALS

A) GENERAL: PLANT SPECIES, SIZES, & QUANTITIES SHALL, AT A MINIMUM, CONFORM TO THOSE INDICATED ON THE DRAWINGS. NO VARIATION IN PLANT SPECIES, SIZES, OR QUANTITIES SHALL BE ALLOWED. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH "GRADES AND STANDARDS FOR NURSERY PLANTS" PARTS I AND II, LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. ALL PLANTS SHALL BE FLORIDA NO. 1 AS AN ABSOLUTE MINIMUM UNLESS OTHERWISE SUPERSEDED BY A FLORIDA FANCY DESIGNATION, AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY. ALL PLANTS SHALL BE FRESHLY DIG, SOUND, HEALTHY, VIGOROUS, WELL - BRANCHED AND FREE OF DISEASE AND INSECTS, INSECT EGGS AND LARVAE, AND SHALL HAVE ADEQUATE ROOT SYSTEMS. TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE. ALL MATERIALS SHALL BE SUBJECT TO APPROVAL BY THE OWNER. WHERE ANY REQUIREMENTS ARE OMITTED FROM THE PLANT LIST, THE PLANTS FURNISHED SHALL BE NORMAL FOR THE VARIETY. PLANTS SHALL BE PRUNED PRIOR TO DELIVERY ONLY UPON THE APPROVAL OF THE OWNER.

B) MEASUREMENTS: THE HEIGHT AND/OR WIDTH OF TREES SHALL BE MEASURED FROM THE TOP OF ROOT BALL (TRUNK FLARE) AND/OR ACROSS THE AVERAGE SPREAD OF BRANCHES WITH THE PLANTS IN THEIR NORMAL POSITION. THIS MEASUREMENT SHALL NOT INCLUDE THE IMMEDIATE TERMINAL GROWTH. PLANTS LARGER IN SIZE THAN THOSE SPECIFIED IN THE PLANT LIST MAY BE USED IF APPROVED BY THE OWNER. IF THE USE OF LARGER PLANTS IS APPROVED, THE BALL OF EARTH OR SPREAD OF ROOTS SHALL BE INCREASED IN PROPORTION TO THE SIZE OF THE PLANT.

C) INSPECTION: PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH PRELIMINARY APPROVAL SHALL NOT SUPERSEDE THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF BALLS OR ROOTS, LATENT DEFECTS OR INJURIES, PRESENCE OF INSECTS, AND OTHER CONDITIONS THAT MAY HAVE OCCURRED SINCE THE NURSERY INSPECTION. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.

D) AMENDED PLANTING SOIL: PLANTING SOIL FOR USE IN BACK FILLING PLANTING HOLES SHALL BE FORTY PERCENT (40%) TOPSOIL AND SIXTY PERCENT (60%) SAND AND BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER, WITHOUT MIXTURE OF SUBSOL MATERIALS, AND OBTAINED FROM A WELL - DRAINED, ARABLE SITE. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER AND SHALL BE FREE FROM HEAVY CLAY, COARSE SAND, STONES, LIME, LUMPS, PLANTS, ROOTS OR OTHER FOREIGN MATERIALS, OR NOXIOUS WEEDS. IT SHALL NOT CONTAIN TOXIC SUBSTANCES WHICH MAY BE HARMFUL TO PLANT GROWTH. PH RANGE SHALL BE 5.0 TO 7.0 INCLUSIVE.

E) SAND SHALL BE CLEAN, WELL DRAINING NATIVE SAND. IF REQUESTED, CONTRACTOR SHALL AT ANY TIME AND AT NO COST TO OWNER, SUBMIT RESULTS OF SOIL TESTS FOR TOPSOIL AND SAND PROPOSED FOR USE UNDER THIS CONTRACT FOR APPROVAL BY OWNER.

### E. WATER

1. WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN AN ADEQUATE GROWTH OF PLANTS AND SHALL NOT CONTAIN HARMFUL NATURAL OR MAN - MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC. IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SUCH SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

### F. COMMERCIAL FERTILIZER

1. COMMERCIAL FERTILIZER SHALL BE A COMPLETE FORMULA; IT SHALL BE FREE OF IN COMPOSITION, DRY AND FREE FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED CONTAINERS, EACH BEARING THE MANUFACTURER'S GUARANTEED STATEMENT OF ANALYSIS. FIFTY PERCENT (50%) OF THE NITROGEN SHALL BE DELIVERED FROM NATURAL ORGANIC SOURCES. THE FOLLOWING FERTILIZERS SHALL BE USED AND APPLIED AT RATES AS SUGGESTED BY MANUFACTURER'S SPECIFICATIONS:

1. SHRUBS AND TREES - MILORGANITE, OR APPROVED EQUIV.  
2. ANNUALS AND GROUNDCOVERS - OSMOCOTE/SIERRA BLEND 14 - 14 - 14  
3. SOD - 8 - 8 - 8  
IN ADDITION TO SURFACE APPLIED FERTILIZERS, ALL CONTAINER GROWN AND FIELD GROWN PLANT MATERIAL SHALL RECEIVE "AGRIFORM" PLANTING TABLETS 24 - 10 - 5 FORMULA, 22 GRAM OR EQUAL. THESE TABLETS SHALL BE PLACED AT THE RATE AND DEPTH SPECIFIED BY MANUFACTURER.

### G. MULCH

1. MULCH SHALL BE FROM SHREDDED WOOD DERIVED FROM MELALEUCA OR OTHER INVASIVE TREE SPECIES AND SHALL BE STERILIZED TO EFFECTIVELY ELIMINATE ALL SEEDS, SPORES, ETC. AND RENDER THEM BARREN.

2. MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT AND APPLIED AT A DEPTH OF THREE INCHES (3"). MULCH IS TO BE KEPT 2-3" FROM THE STEM OF ALL GROUNDCOVERS 8-6" FROM THE TRUNK OF ALL TREES & PALMS.

3. MULCH SHALL BE GRADE "B" SHREDDED, AND SHALL BE APPLIED EVENLY AND SMOOTH TO PLANTED AREAS.

4. NO RED OR COLORED MULCH SHALL BE ACCEPTED UNLESS SPECIFIED ACCORDINGLY. NO CYPRESS MULCH OR PINE BARK SHALL BE USED.

### H. DIGGING AND HANDLING

1. PROTECT ROOT SYSTEMS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN AND DRYING WINDS, WATER EROSION, AND OTHER HARMFUL CRITERIA AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT BREAKING AND DRYING OUT DURING LOADING, TRANSIT, AND UNLOADING/PLANTING. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO SITE SHALL BE SPRAWED WITH AN ANTITRANSPIRANT PRODUCT ("WILTPROOF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.

2. BALLED AND BURLAPPED PLANTS (B&B) SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS, AND IN ACCORDANCE WITH "GRADES AND STANDARDS FOR NURSERY PLANTS" FLORIDA PUBLICATION. NO PLANT WITH A ROOTBALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS BALLED AND BURLAPPED OR CONTAINER GROWN SHALL NOT BE HANDLED BY STEMS.

3. PLANTS MARKED "BR" IN THE PLANT LIST SHALL BE DUG WITH BARE ROOTS. THE ROOTS SHALL NOT BE CUT WITHIN THE MINIMUM SPREAD SPECIFIED IN THE PLANT LIST. CARE SHALL BE EXERCISED THAT THE ROOTS DO NOT DRY OUT IN MOVING AND PRIOR TO PLANTING.

4. PROTECTION OF PALMS (IF APPLICABLE): ONLY A MINIMUM OF FRONDS SHALL BE REMOVED FROM THE CROWN OF THE PALM TREES TO FACILITATE MOVING AND HANDLING. CLEAR TRUNK (CT) SHALL BE AS BY

"GRADES AND STANDARDS FOR NURSERY PLANTS" FLORIDA PUBLICATION. PRUNING PRACTICED OTHER THAN MINIMAL PRUNING OF FRONDS, PRIMARILY TO REACH A "CLEAR TRUNK" SPECIFICATION, MAY CONSTITUTE REJECTION, OF ALL PALMS SUBJECTED TO SUCH PRACTICE. LIKEWISE, EXCESSIVE PRUNING OR "SHAVING" OF ROOT BALLS TO MEET "CLEAR TRUNK" CRITERIA MAY CONSTITUTE REJECTION ON SITE. ALL PALMS SHALL BE BRACED PER PALM PLANTING DETAIL ON THE PLANTING DETAILS SHEET.

5. EXCAVATION OF PLANTING HOLES SHALL BE DONE USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS, AND PREPARED SUB-BASES.

### I. CONTAINER GROWN STOCK

1. ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL - ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION, AND SHALL MEET MINIMUM SPECIFICATIONS IN THE PLANT LIST.

2. AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.

3. PLANT ROOTS BOUND IN CONTAINERS OR WITH CIRCLING ROOTS SHALL NOT BE ACCEPTABLE.

4. SUBSTITUTION OF NON-CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE CONTAINER GROWN WILL NEED AUTHORIZATION FROM THE OWNER. LIKEWISE, SUBSTITUTION OF CONTAINER GROWN MATERIAL FOR MATERIAL EXPLICITLY SPECIFIED TO BE BALLED AND BURLAPPED/FIELD GROWN WILL NEED AUTHORIZATION FROM THE OWNER AND LA OF RECORD PRIOR TO THE ORDERING OF ANY MATERIALS.

5. PLANT MATERIALS SHALL MEET THE MINIMUM SPECIFICATIONS LISTED IN THE PLANT SCHEDULE; SIZE (HEIGHT/SPREAD) SPECIFICATIONS TAKE PRECEDENCE OVER GALLON SIZES (IF GALLON SIZES ARE SPECIFIED).

### J. COLLECTED STOCK

1. WHEN THE USE OF COLLECTED STOCK IS PERMITTED AS INDICATED ON THE PLANT LIST SCHEDULE, THE MINIMUM SIZES OF ROOT BALLS SHALL BE EQUAL TO THAT SPECIFIED FOR THE NEXT LARGER SIZE OF NURSERY GROWN STOCK OF THE SAME VARIETY.

### K. NATIVE STOCK

1. PLANTS COLLECTED FROM WILD OR NATIVE STAND SHALL BE CONSIDERED GROWN WHEN THEY HAVE BEEN SUCCESSFULLY REESTABLISHED IN A NURSERY ROW AND GROWN UNDER REGULAR NURSERY CULTURAL PRACTICES FOR A MINIMUM OF TWO (2) GROWING SEASONS AND HAVE ATTAINED ADEQUATE ROOT AND TOP GROWTH TO INDICATE FULL RECOVERY FROM TRANSPLANTING INTO THE NURSERY ROW.

### L. MATERIALS LIST

1. QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS, SHOULD A DISCREPANCY OCCUR BETWEEN A BIDDER'S TAKE OFF AND THE PLANT LIST QUANTITY, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO THE SUBMISSION OF BIDS. DRAWING SHALL TAKE PRECEDENCE. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE. WHERE NO GALLON SIZE IS SPECIFIED ON CONTAINERIZED SHRUBS OR GROUNDCOVERS, THE HEIGHT & SPREAD SPECIFICATIONS SHALL PREVAIL.

### M. FINE GRADING

1. FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN BROUGH GRADED BY OTHERS. BERMING AS SHOWN ON THE DRAWINGS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED.

2. THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH. THIS CONTRACTOR SHALL FINE GRADE BY HAND AND/OR WITH ALL EQUIPMENT NECESSARY INCLUDING A GRADING TRACTOR WITH FRONT-END LOADER FOR TRANSPORTING SOIL WITHIN THE SITE.

3. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.

### N. PLANTING PROCEDURES

1. CLEANING UP BEFORE COMMENCING WORK: THE CONTRACTOR SHALL CLEAN UP WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER. ALL MORTAR, CEMENT, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM THE SITE. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH CONDITIONS BENEATH THE SOIL WHICH WILL IN ANY WAY AFFECT THE VIABILITY OF THE PLANTS TO BE INSTALLED, HE/SHE SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S CONSTRUCTION MANAGER OR DESIGNER.

2. DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, IT SHALL BE PROHIBITED TO REMOVE VEGETATION BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS, CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRIPLINE OF A TREE TO REMAIN ON THE SITE UNLESS OTHERWISE APPROVED BY THE JURISDICTIONAL MUNICIPALITY.

3. VERIFY LOCATIONS OF ALL UTILITIES, CONDUTIS, SUPPLY LINES AND CABLES. INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORM WATER LINES, CABLE AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES.

4. SUBGRADE EXCAVATION: CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPROVED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL LANDSCAPE PLANTING AREAS TO MINIMUM DEPTH OF APPROXIMATELY 20% GREATER THAN THE RECOMMENDED PLANTING SOIL DEPTH - UNLESS OTHERWISE SPECIFIED BY JURISDICTIONAL CODE. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ONSITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CANNOT BE NOT ACHIEVED, CONTRACTOR SHALL UTILIZE PLANTING DETAIL THAT ADDRESSES POOR DRAINAGE OR CONTACT OWNER'S CONSTRUCTION MANAGER OR DESIGNER FOR RESOLUTION.

CONTRACTOR IS TO INSURE THAT ALL EXISTING SOIL, ROCKS, & EXCESS DEBRIS SHALL BE REMOVED & A 24" LAYER OF NON-LIMEROCK PLANTING SOIL FAVORABLE TO SHRUB GROWTH & SUSTAINABILITY EXISTS OVER ALL PLANTING AREAS. TREE PITS SHALL BE EXCAVATED & BACKFILLED WITH PLANTING SOIL TO A MINIMUM DEPTH OF 30".

### 5. RECOMMENDED PLANTING SOIL DEPTH IS GENERALLY AS FOLLOWS:

ALL TREES AND TALL SHRUBS (INDICATED AS "SHRUBS" & "SHRUBS AREAS" ON THE PLANT SCHEDULE) SHALL BE PLANTED WITH A MINIMUM OF 12" TOPSOIL ABOVE AND BENEATH THE ROOTBALL; MINIMUM TOPSOIL SHALL BE 6" FOR LOW SHRUBS/GROUNDCOVER AREAS AND 2" FOR SODDED GRASS AREAS.

THE MINIMUM TOPSOIL DEPTHS ARE IN ADDITION TO A MINIMUM NON-LIMEROCK SOIL DEPTH OF 10"-18", CONSISTING OF EXISTING UNDISTURBED OR NATIVE SOIL THAT WAS STORED/STOCKPILED ON SITE AND REUSED, OR CLEAN IMPORTED PLANTING SOIL WITH A RANGE OF ORGANIC MATTER BETWEEN 3-5% CONTAINING NO STONES GREATER THAN AN INCH AND A HALF IN DIAMETER IN ANY DIRECTION. TOPSOIL DEPTHS PLUS PLANTING SOIL/EXISTING NATIVE SOIL MINIMUM DEPTHS ARE IN ADDITION TO ANY LIMESTONE/LIMEROCK SUBGRADE, & IN ADDITION TO EXCAVATION WIDTHS REQUIRED FOR TREE PITS AS SHOWN ON THE PLANTING DETAILS.

PUSSUANT TO THE ABOVE, THE TOTAL MINIMUM DEPTH OF VIABLE NON-LIMEROCK PLANTING SOIL, INCLUDING EXISTING VIABLE UNDISTURBED/OR STOCKPILED SOIL (IF PRESENT), REQUIRED TO BE PROVIDED ABOVE ANY LIMESTONE/LIMEROCK SUBGRADE CONDITION SHALL BE 12" MINIMUM TOTAL NON-LIMEROCK SOIL DEPTH FOR SOD AREAS; 16" MINIMUM TOTAL NON-LIMEROCK SOIL DEPTH FOR GROUNDCOVERS; 24" MINIMUM TOTAL NON-LIMEROCK SOIL DEPTH FOR SHRUBS/SHRUB AREAS, AND 30" MINIMUM TOTAL NON-LIMEROCK SOIL DEPTH FOR TREE PITS. DESIGNATION OF "TREES," "SHRUBS"/"SHRUB AREAS," AND "GROUNDCOVERS" SHALL BE CONSISTENT WITH THE LABELING OF PLANT MATERIALS SHOWN ON THE LANDSCAPE PLAN'S PLANT SCHEDULE, WITH THE EXCEPTION OF COMMON TURFGRASS WHICH MAY BE INDICATED AS "GROUNDCOVERS." NONE OF THE ABOVE MINIMUMS SHALL PRECLUDE THE CONTRACTOR FROM EXCAVATING & PROVIDING SOIL IN ACCORDANCE WITH NOTE 14 OR 14.9 IMPORTED PLANTING SOIL SHALL BE IN ACCORDANCE WITH NOTE D.2.D. IT IS THE CONTRACTORS RESPONSIBILITY TO VISIT THE SITE & TAKE REASONABLE MEASURES AS PART OF DUE DILIGENCE TO DETERMINE THE EXTENT OF EXCAVATION REQUIRED & TO DETERMINE THE AMOUNT OF PLANTING SOIL NECESSARY TO ENSURE LONG-TERM SUSTAINABILITY & SURVIVAL OF THE PLANT MATERIALS IN ACCORDANCE WITH THIS CONTRACT.

6. FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS HEREIN SPECIFIED AND INSPECTED. AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.

7. GENERAL: COMPLY WITH FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. CONTRACTOR TO ACCEPTED NURSERY CULTURAL PRACTICES AS USED IN THE TRADE. PLANTS SHALL BE PROTECTED UPON ARRIVAL AT THE SITE BY BEING THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS SHALL NOT REMAIN UNPROTECTED FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS. AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN GOOD HORTICULTURAL PRACTICES SHALL BE EXERCISED.

8. THE WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE THE PLANTING WITH THE IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION ITEMS AND PLANTS.

9. ALL PLANTING HOLES SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH THE USA STANDARD TO NURSERY STOCK 280.1, UNLESS SHOWN OTHERWISE ON THE DRAWINGS, AND BACKFILLED WITH THE PREPARED PLANTING SOIL AS SPECIFIED HEREIN BEFORE (SEE MATERIALS, SECTION D). TEST ALL TREE PITS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE

FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE PLANTING DETAIL THAT ADDRESSES THIS CONDITION. POOR DRAINAGE CONDITIONS TYPICALLY HAVE A PERCOLATION RATE OF 4" OR LESS PER HOUR, AS DETERMINED BY THE GEOTECHNICAL ENGINEER. TREES SHALL BE SET PLUMBS AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURE AND UNDER THE SUPERVISION OF A QUALIFIED PLANTING FOREMAN. PROPER "JETTING IN" SHALL BE ASSURED TO ELIMINATE AIR POCKETS AROUND THE ROOTS. "JET STICK" OR EQUAL RECOMMENDED.

10. TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS, CURBS, PAVING, AND OTHER HARDSCAPE MATERIALS WHILE INSTALLING TREES.

11. SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION D (MATERIALS) OF THESE SPECIFICATIONS. IN ADDITION, EACH PLANTING HOLE SHALL RECEIVE 21-GRAM "AGRIFORM" PLANTING TABLETS PER MANUFACTURER'S SPECIFICATIONS OR AS FOLLOWS:

-TWO (2) TABLETS PER 1 GAL. PLANT  
-THREE (3) TABLETS PER 3 GAL. PLANT  
-FOUR (4) TABLETS PER 10 GAL. PLANT  
-LARGER MATERIAL:  
-TWO (2) TABLETS PER HALF INCH (1/2") OF TRUNK CALIPER

12. TREES AND SHRUBS SHALL BE SET STRAIGHT AND AT SUCH A LEVEL THAT AFTER SETTLEMENT, THE TOP OF THE ROOT SYSTEM (FOR SHRUBS AND GROUNDCOVER) OR TRUNK FLARE (TREES AND PALMS) WILL STAND ONE (1) TO TWO (2) INCHES ABOVE FINAL GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PLANTING HOLE. PLANTING SOIL MIXTURE SHALL BE BACKFILLED AND THOROUGHLY TAMPED AROUND THE BALL AND SHALL BE SETTLED BY WATER AFTER TAMPING.

13. FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, TURNING SOIL IF NECESSARY TO GET SOIL THOROUGHLY WET. PAK LIGHTLY WITH FEET OR OTHER TAMPING DEVICE. ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE, ONLY WITH MULCH. ALL BURLAP, ROPE, WIRES, ETC., SHALL BE PULLED FROM UNDERNEATH.

14. PRUNING: FOR DAMAGED OR BROKEN LIMBS, EACH TREE SHALL BE PRUNED TO PRESERVE THE NATURAL CHARACTER OF THE SPECIES. ALL SUCKER GROWTH SHALL BE COMPLETELY REMOVED PRIOR TO DIGGING.

15. SHRUBS AND GROUNDCOVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED IN THE PLANT LIST. CULTIVATE ALL MASS PLANTING AREAS TO A MINIMUM DEPTH OF 6", REMOVE AND DISPOSE OF ALL DEBRIS, TILL 4" OF PLANTING SOIL MIX INTO THE NEWLY TILLED PLANTING BED FOR GENERAL NUTRIENT DISBURSEMENT. MASS PLANTING BEDS IS NOW READY TO RECEIVE HOLES FOR NEW PLANTS. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

16. TREE GUYING AND BRACING SHALL BE INSTALLED BY THE LANDSCAPE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO ENSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. TREES SHALL USE ABORTIVE AS PER DETAIL SHEET. PALMS SHALL USE WOOD BRACING PER DETAIL SHEET.

17. MULCHING: PROVIDE A THREE INCH (3") MINIMUM LAYER OF SPECIFIED MULCH OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUNDCOVER AND VINE BED AND TREE PIT (FOR TREES AND PALMS, MIN. THREE INCH (3") FROM EDGE OF TRUNKS). - UNLESS OTHERWISE REQUIRED BY LOCAL CODES AND SPECIFIED AS SUCH.

18. SYSTEMIC HERBICIDE WEED CONTROL: ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK, IF DIRECTED BY THE OWNER OR THEIR DESIGNER. A SYSTEMIC HERBICIDE SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURER'S PRECAUTIONS AND SPECIFICATIONS. AFTER MULCH HAS BEEN APPLIED TO PLANTING BEDS AND TRUNKS, TREAT ALL MULCHED AREAS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER.

### O. LAWN SODDING

STENOTAPHRUM SECUNDATUM, V. "FLORITAM" UNLESS OTHERWISE NOTED. (ST. AUGUSTINE SOLID SOD). THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING. CONDUCT IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A GRASS LAWN ACCEPTABLE TO THE OWNER AND GOVERNING AGENCIES.

2. LAWN BED PREPARATION: ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND OTHER DEBRIS, AND THE SOIL BROUGHT TO AN EVEN PREPARED GRADE TO ALLOW FOR SOIL PREPARATION BELOW.

3. SOIL PREPARATION: PREPARE LOOSE BED FOUR INCHES (4") DEEP. APPLY FERTILIZER AT A RATE OF TWENTY (20) POUNDS PER ONE THOUSAND (1000) SQUARE FEET. APPLICATION SHALL BE UNIFORM. UTILIZE A TROWEL TO BROADCAST SPREADERS. MIX FERTILIZER THOROUGHLY WITH THE SOIL TO A DEPTH OF THREE INCHES (3"). HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY TO PREPARE FOR SOD INSTALLATION.

4. SODDING: THE CONTRACTOR SHALL SOD ALL THE PVIOUS AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS TO CREATE A UNIFORM, NEW TURF BLANKET FOR THE SITE. ALL PVIOUS AREAS TO REMAIN THAT ARE DISTURBED BY CONSTRUCTION & NOT SHOWN TO HAVE SHRUBS OR GROUNDCOVER ON THE LANDSCAPE PLAN SHALL BE SODDED BY CONTRACTOR. ALL SOD OFF-SITE OR IN THE RIGHT-OF-WAY (DEDICATED OR OTHERWISE) SHALL BE BAHIA 'ARGENTINE' SOLID SOD UNLESS OTHERWISE NOTED.

A) THE SOD SHALL BE CERTIFIED TO MEET FLORIDA STATE BOARD SPECIFICATIONS, ABSOLUTELY TRUE TO VARIETY TYPE, AND FREE FROM WEEDS, FUNGUS, INSECTS, AND DISEASE OF ANY KIND. SOD PANELS SHALL BE LAID TIGHTLY TOGETHER TO MAKE A SOLID, SODDED LAWN AREA.

B) SOD SHALL BE LAID IN ROWS WITH EVERY OTHER ROW STAGGERED HALFWAY BETWEEN THE NEXT TO INSURE NO CONTINUOUS STAGGED JOINTS. SEW JOINTS OF SOD TO INSURE A TIGHT FIT AT JOINTS, WITH GAPS NO GREATER THAN 1" BETWEEN SOD PANELS.

C) SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A FOUR INCH (4") MULCH STRIP SHALL BE PROVIDED. IMMEDIATELY FOLLOWING SOD LAYING, THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED TO THOROUGHLY MOISTEN THE SOIL BENEATH. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDSPACES BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND AS APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN.

5. DURING DELIVERY, PRIOR TO AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE INSTALLED DURING THE DAY OF ITS ARRIVAL.

### 6. LAWN MAINTENANCE:

A) WITHIN THE SITE, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS UNTIL CERTIFICATION OF ACCEPTABILITY BY OWNER OR AS IN THE ORIGINAL WORK SCOPE AND PROCESS (INCLUDING REGRADING IF NECESSARY).

B) WATER EVERY DAY FOR FOURTEEN (14) SUCCESSIVE DAYS, THEN WATER THREE (3) TIMES PER WEEK (AT EVEN INTERVALS) UNTIL FULLY ESTABLISHED OR UNTIL AUTOMATIC IRRIGATION SYSTEM IS FULLY OPERATIONAL AND PROGRAMMED ACCORDINGLY. COORDINATE WATERING SCHEDULE WITH NATURAL RAINFALL. RARELY ALL EVENTS IN DURATION OF TWENTY (20) MINUTES OR MORE THAT PRODUCE MORE THAN A HALF INCH (1/2") OF PRECIPITATION WILL NEGATE THE NEED FOR WATERING OF THE FOLLOWING DAY IF PREVIOUSLY SCHEDULED. ALL WATERING SHALL BE OF SUFFICIENT QUANTITY TO WET OR RESTORE WATER TO A DEPTH OF FOUR INCHES (4").

### P. CLEANUP

1. UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

### Q. PLANT MATERIAL MAINTENANCE

1. ALL PLANTS AND PLANTING MATERIALS INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S DESIGNEE. MAINTENANCE AFTER THE CERTIFICATION OF AN ACCEPTABILITY SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS IN THIS SECTION. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE TO COVER LANDSCAPE AND IRRIGATION MAINTENANCE FOR A PERIOD OF NINETY (90) CALENDAR DAYS COMMENCING AFTER ACCEPTANCE (SEE NEXT SECTION).

### R. MAINTENANCE (ALTERNATIVE BID ITEM)

1. CONTRACTORS ARE REQUESTED TO PROVIDE A BID ESTIMATE FOR LANDSCAPE AND IRRIGATION MAINTENANCE FOLLOWING THE INITIAL 90-DAY MAINTENANCE PERIOD ON A COST PER MONTH BASIS.

### S. GUARANTEE

1. THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED BY THE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNER OR OWNER'S DESIGNEE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CARE & MAINTENANCE OF THE PLANT MATERIAL UNTIL THE END OF ESTABLISHMENT OR 60 DAYS AFTER FINAL LANDSCAPE CERTIFICATION BY THE LANDSCAPE ARCHITECT, WHICHEVER IS LATER, & SHALL COORDINATE WITH THE IRRIGATION CONTRACTOR AS NEEDED TO ENSURE ADEQUATE WATER IS SUPPLIED TO THE PLANT MATERIALS DURING ESTABLISHMENT. AT THE END OF THE ESTABLISHMENT PERIOD, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THE IRRIGATION TIME/CLOCK IS ADJUSTED TO A NORMAL WATERING CYCLE PER THE IRRIGATION WATERING SCHEDULE SHOWN ON THE IRRIGATION PLANS.

2. THE LIFE AND SATISFACTORY CONDITION OF ALL SOD INSTALLED BY THE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A MINIMUM OF NINETY (90) CALENDAR DAYS, COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTABILITY BY THE OWNERS OR OWNER'S DESIGNEE.

3. REPLACEMENT: ANY PLANT NOT IN A HEALTHY, THRIVING GROWING CONDITION SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. SHOULD THE OWNER ELECT, TREES AND PALMS MAY BE GIVEN A PERIOD OF NINETY (90) DAYS BEFORE REMOVAL TO ALLOW THE CONTRACTOR TO RESURRECT THE TREE OR PALM IN QUESTION AND BRING IT TO A THRIVING, HEALTHY CONDITION. ALL REPLACEMENTS SHALL BE PLANTS OF LIKE KIND, CONDITION AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED, PLANTED, AND MULCHED AS SPECIFIED WITHIN THESE SPECIFICATIONS. AT NO ADDITIONAL COST TO THE OWNER, ANY REPAIRS FROM THIS REPLACEMENT MATERIAL SHALL BE SOLELY THE CONTRACTOR'S RESPONSIBILITY. REPLACEMENT MATERIAL SHALL BE GUARANTEED TO A ONE (1) YEAR PERIOD FROM THE DAY OF REPLACEMENT ACCEPTANCE BY THE OWNER. SHOULD REPLACEMENT MATERIAL FAIL WITHIN THE GUARANTEE PERIOD, OWNER MAY OPT FOR A CREDIT OF THE MONETARY AMOUNT FOR THE REPLACEMENT MATERIALS AT A RATE OF THE ORIGINAL CONTRACT BID RATE, IN LIEU OF AN ADDITIONAL REPLACEMENT.

4. IN THE EVENT THE OWNER ELECTS NOT TO CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE (AND IRRIGATION) MAINTENANCE, THE CONTRACTOR IS ENCOURAGED TO VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER OR THEIR DESIGNEE, AND SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH OF ITEMS UNDER REPLACEMENT WARRANTY. IT IS SUGGESTED SUCH SITE VISITS SHALL BE CONDUCTED A MINIMUM OF ONCE PER MONTH FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF ACCEPTANCE.

### T. FINAL INSPECTION AND ACCEPTANCE OF WORK

1. FINAL INSPECTION BY OWNER OR THEIR DESIGNEE AT THE END OF THE GUARANTEE PERIOD SHALL INCLUDE PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY PLANTS NOT MEETING THE CRITERIA OF HEALTHY, VIGOROUS, AND THRIVING AT THIS TIME, AND THAT HAVE NOT ALREADY BEEN REPAIRED PREVIOUSLY UNDER SAID WARRANTY, SHALL BE SUBJECT TO THE SAME ONE (1) YEAR GUARANTEE PERIOD AS SPECIFIED BY THE OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

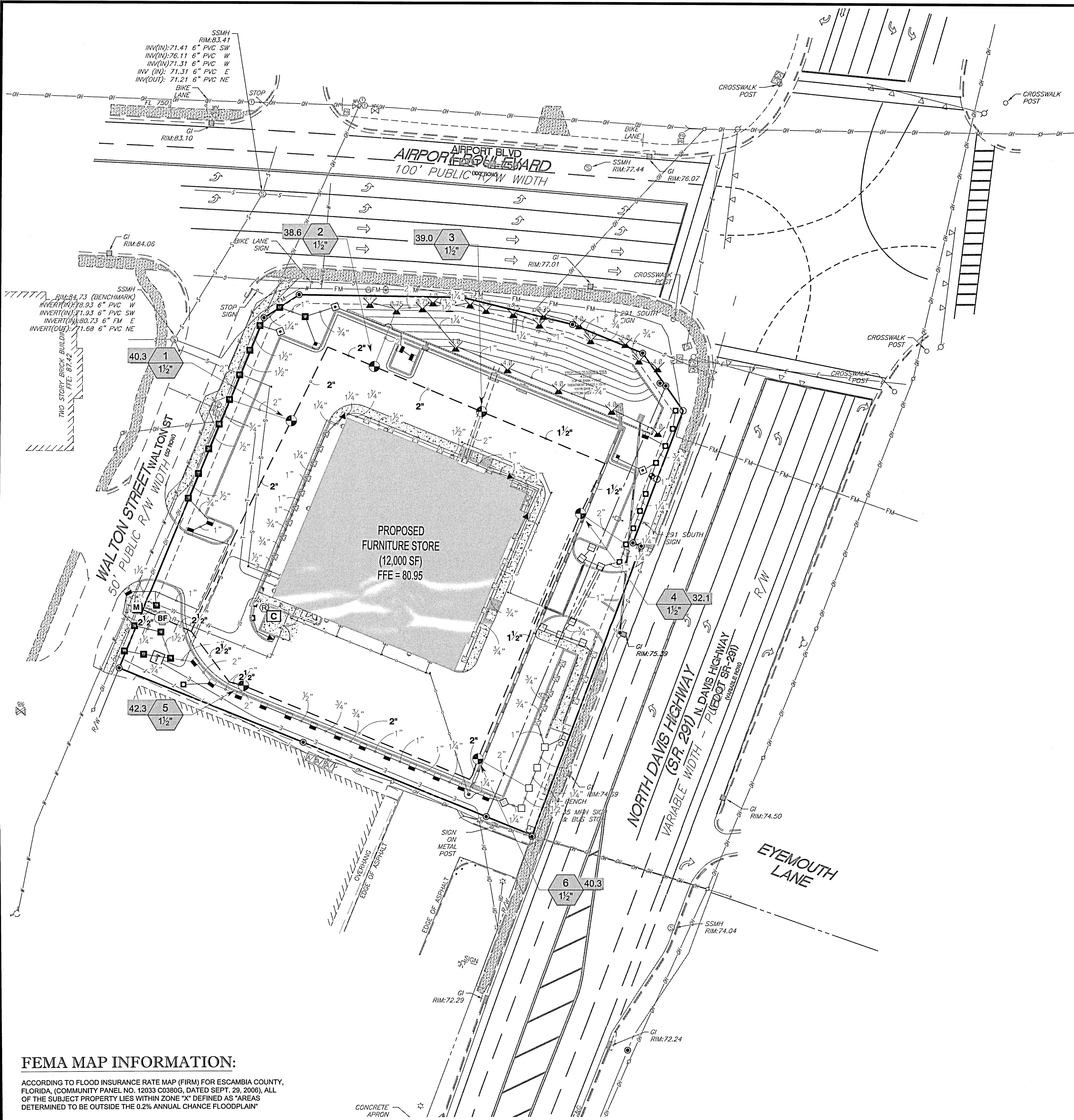
### U. GRADING AND DRAINAGE NOTES

1. PRIOR TO COMMENCING ANY EXCAVATION WORK, THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH THE "DIS SAFE" NOTIFICATION PROCEDURES PROMULGATED BY THE RESPECTIVE UTILITY COMPANIES IN FLORIDA, CALL FLORIDA SUNSHINE AT 811.

2. CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING, PROVIDING VERTICAL CURVES OR ROUNDINGS AT ALL TOP AND BOTTOM OF SLOPES.

3. PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM SLOPE OF ONE-EIGHTH INCH (1/8") PER FOOT. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE OWNER PRIOR





FEMA MAP INFORMATION:

ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) FOR ESCAMBIA COUNTY, FLORIDA, (COMMUNITY PANEL NO. 12033 C0380G, DATED SEPT. 29, 2006), ALL OF THE SUBJECT PROPERTY LIES WITHIN ZONE "X" DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN"

DATUM NOTE:

NORTH ARROW AND BEARINGS SHOWN HEREON ARE BASED ON FL NORTH ZONE - NAD83 ADJUSTED 2011, USING GLOBAL POSITIONAL SYSTEM (GPS) AND OBTAINED BY RTK OBSERVATIONS ON 05-29-2020 USING THE LEICA SMARTNET SYSTEM. ALL DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS EXPRESSED IN U.S. SURVEY FEET.

ALL LANDSCAPED AREAS TO BE FULLY COVERED BY AUTOMATIC IRRIGATION SYSTEM AS PER CITY CODES AND REQUIREMENTS. SEE SEPARATE IRRIGATION PLANS FOR FURTHER INFORMATION.

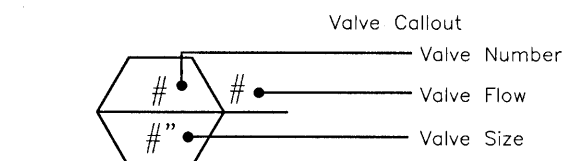
SEE SHEET L-3.1 FOR IRRIGATION SCHEDULES & NOTES, AND; SHEET L-3.2 FOR IRRIGATION DETAILS.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
EST LCS RCS CST SST	Rain Bird 1806-PRS 15 Strip Series Turf Spray 6" pop up with pressure regulator.	19	30
	Rain Bird 1806-PRS 15 Strip Series Turf Spray 6" pop up with pressure regulator.	15	30
Q T H F	Rain Bird 1806-PRS 10 Series MPR Turf Spray 6" pop up with pressure regulator.	13	30
Q T H TQ F	Rain Bird 1806-PRS 12 Series MPR Turf Spray 6" pop up with pressure regulator.	13	30
Q T H TT Q F	Rain Bird 1806-PRS 15 Series MPR Turf Spray 6" pop up with pressure regulator.	37	30
4 6 8 10 12 15 18	Rain Bird 1806-PRS ADJ Turf Spray 6" pop up with pressure regulator.	4	30

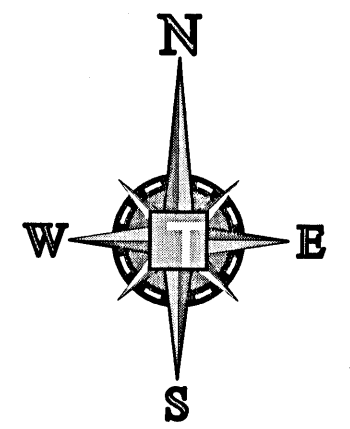
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	GPM	RADIUS
	Rain Bird 3500-S Shrub Rotor,adjustable and full circle	7	25	0.54	15'
	Rain Bird 3500-S Shrub Rotor,adjustable and full circle	1	25	0.77	20'
	Rain Bird 3500-S Shrub Rotor,adjustable and full circle	1	25	1.40	27'
	Rain Bird 3500-S Shrub Rotor,adjustable and full circle	11	25	2.97	31'

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Rain Bird PEB Electric Remote Control Valve	6
BF	Febco 860U 2" Reduced Pressure Backflow Preventer	1
C	Rain Bird ESP8LXME-LXMM 8 Station Capable Commercial Controller. Mounted on a Powder-Coated Metal Cabinet Without Flow Sensing.	1
R	Rain Bird RSD-BEx Rain Sensor, with bracket, extension wire	1
M	Water Meter 1-1/2" 1.5" Meter	1
	Irrigation Lateral Line: PVC Class 160 SDR 26	1,927 l.f.
	Irrigation Mainline: PVC Class 200 SDR 21	754.7 l.f.
	Pipe Sleeve: PVC Schedule 80 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.	207.8 l.f.









SITE NOTES:





- ALL DIMENSIONS SHOWN ARE SHOWN AT FACE OF CURB, UNLESS OTHERWISE NOTED. B/C INDICATES DIMENSION IS TO BACK OF CURB.
- ALL RADII DIMENSIONS ARE 3' TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS," LATEST EDITION; AND PASCO COUNTY LAND DEVELOPMENT CODE.
- FREE STANDING SIGNAGE SHOWN ONLY FOR REPRESENTATIONAL PURPOSES, AND SHALL BE PERMITTED SEPARATELY.
- A MAINTENANCE EASEMENT WILL BE PROVIDED TO THE COUNTY FOR THE PORTION OF SIDEWALK ON PRIVATE PROPERTY.
- RETENTION PONDS AND WETLAND AREAS WILL NOT BE FENCED, UNLESS REQUIRED BY ANOTHER REVIEWING AGENCY..
- ALL WORK WITHIN THE FDOT R.O.W. SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (2018 EDITION) AND STANDARD PLANS (2018 EDITION).
- MAINTENANCE OF TRAFFIC PLAN FOR WORK ZONES SHALL BE IN CONFORMANCE WITH ALL APPLICABLE INDICES OF THE FDOT DESIGN STANDARDS INDEX 600 SERIES ACCORDING TO THE TYPE OF ROADWAY AND TYPE OF WORK BEING PERFORMED. REFER TO FDOT STANDARD PLANS INDEX #102-660 FOR PEDESTRIAN CONTROL FOR CLOSURE OF SIDEWALKS.
- ANY DAMAGED SIDEWALK OR CURB WITHIN THE FDOT R.O.W. SHALL BE REMOVED AND REPLACED.
- ALL SIDEWALKS WITHIN THE FDOT R.O.W. SHALL COMPLY WITH FDOT STANDARD PLANS INDEX #522-001 AND BE CONSTRUCTED OF A MINIMUM 6" THICK FDOT CLASS I NON-STRUCTURAL 3,000 PSI CONCRETE WITH FIBER MESH. ALL TRUNCATED DOMES SHALL BE INSTALLED PER FDOT STANDARD PLANS INDEX #522-002.
- ALL WORK REQUIRING LANE CLOSURES SHALL BE PERFORMED SUNDAY THROUGH THURSDAY, 8:00 PM THROUGH 5:00 AM.
- ALL DISTURBED AREAS WITHIN THE FDOT R.O.W. WILL BE SODED.











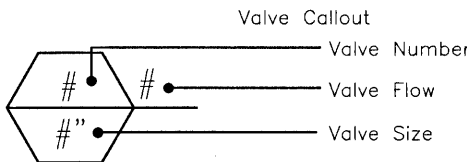


IRRIGATION SCHEDULE

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	Rain Bird RSD-BEx Rain Sensor, with bracket, extension wire	1
	Water Meter 1-1/2" 1.5" Meter	1
	Irrigation Lateral Line: PVC Class 160 SDR 26	1,927 l.f.
	Irrigation Mainline: PVC Class 200 SDR 21	754.7 l.f.
	Pipe Sleeve: PVC Schedule 80 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.	207.8 l.f.



VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	HEADS	PIPE	WIRE	DESIGN PSI	FRICTION LOSS	PSI	PSI @ POC	PRECIP
1	Rain Bird PEB	1-1/2"	Turf Spray	40.26	13	252.5	170.0	30	2.64	36.14	52.31	0.86 in/h
2	Rain Bird PEB	1-1/2"	Shrub Rotor	38.62	20	369.0	244.6	25	2.75	31.26	47.70	0.68 in/h
3	Rain Bird PEB	1-1/2"	Turf Spray	38.96	29	397.2	310.0	30	3.62	37.13	54.34	1.57 in/h
4	Rain Bird PEB	1-1/2"	Turf Spray	32.09	22	304.8	416.2	30	1.57	35.15	50.97	0.94 in/h
5	Rain Bird PEB	1-1/2"	Turf Spray	42.28	15	311.2	140.5	30	3.52	37.04	52.97	0.86 in/h
6	Rain Bird PEB Common Wire	1-1/2"	Turf Spray	40.34	21	292.7	290.4	30	2.71	36.22	52.58	0.97 in/h

WATERING SCHEDULE

NUMBER	MODEL	TYPE	PRECIP	IN./WEEK	MIN./WEEK	GAL./WEEK	GAL./DAY
1	Rain Bird PEB	Turf Spray	0.86 in/h	1	70	2,818	
2	Rain Bird PEB	Shrub Rotor	0.68 in/h	1	89	3,437	
3	Rain Bird PEB	Turf Spray	1.57 in/h	1	39	1,519	
4	Rain Bird PEB	Turf Spray	0.94 in/h	1	64	2,054	
5	Rain Bird PEB	Turf Spray	0.86 in/h	1	70	2,960	
6	Rain Bird PEB	Turf Spray	0.97 in/h	1	62	2,501	
	TOTALS:				394	15,289	

CRITICAL ANALYSIS

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P.O.C. NUMBER: 01  
Water Source Information: 1.5" Meter

FLOW AVAILABLE  
Water Meter Size: 1-1/2"  
Flow Available: 75.00 gpm

PRESSURE AVAILABLE  
Static Pressure at POC: 55.00 psi  
Elevation Change: 0.00 ft  
Service Line Size: 3"  
Length of Service Line: 5.00 ft  
Pressure Available: 55.00 psi

DESIGN ANALYSIS  
Maximum Station Flow: 42.28 gpm  
Flow Available at POC: 75.00 gpm  
Residual Flow Available: 32.72 gpm

Critical Station: 3  
Design Pressure: 30.00 psi  
Friction Loss: 3.58 psi  
Fittings Loss: 0.04 psi  
Elevation Loss: 0.00 psi  
Loss through Valve: 3.51 psi  
Pressure Req. at Critical Station: 37.13 psi  
Loss for Fittings: 0.02 psi  
Loss for Main Line: 2.20 psi  
Loss for POC to Valve Elevation: 0.00 psi  
Loss for Backflow: 11.84 psi  
Loss for Water Meter: 3.15 psi  
Critical Station Pressure at POC: 54.34 psi  
Pressure Available: 55.00 psi  
Residual Pressure Available: 0.66 psi

IRRIGATION NOTES

- ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
- THIS DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS.
- THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
- INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
- ACTUAL LOCATION FOR THE INSTALLATION OF THE BACKFLOW PREVENTER AND THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- CONTRACTOR IS TO PROVIDE AN ADDITIONAL PILOT WIRE FROM CONTROLLER ALONG ENTIRETY OF MAIN LINE TO THE LAST RCV ON EACH AND EVERY LEG OF MAIN LINE. LABEL SPARE WIRES AT BOTH ENDS.
- ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN SLEEVING TWICE THE DIAMETER OF THE PIPE CARRIED. SEE LEGEND FOR TYPE. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING.
- ALL QUICK COUPLER AND REMOTE CONTROL VALVES TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE. ALL QUICK COUPLER AND REMOTE CONTROL VALVES TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL ALL QUICK COUPLER AND REMOTE CONTROL VALVES WITHIN 18" OF HARDSCAPE.
- ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ARCS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVERSPRAY ONTO BUILDINGS, WALLS, FENCES AND HARDSCAPE. THIS INCLUDES, BUT NOT LIMITED TO, ADJUSTMENT OF DIFFUSER PIN OR ADJUSTMENT SCREW, REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS.
- THE CONTRACTOR SHALL USE PROPER GROUNDING TECHNIQUES FOR GROUNDING THE CONTROLLER AND RELATED EQUIPMENT PER MANUFACTURERS SPECIFICATIONS. THOMAS ENGINEERING GROUP RECOMMENDS MEASURING FOR PROPER GROUND AT LEAST ONCE ANNUALLY, AND NECESSARY ADJUSTMENTS MADE TO COMPLY WITH MANUFACTURER SPECIFICATIONS.

NOTE A:  
POINT OF CONNECTION SHALL BE AN NEW 1.5" METER AND VACUUM BREAKER. VERIFY THE ACTUAL LOCATION, SIZE AND WATER PRESSURE IN THE FIELD PRIOR TO STARTING WORK. IF ANY OF THE POC INFORMATION SHOWN ON THESE DRAWING IS FOUND TO BE DIFFERENT THAN THE ACTUAL POC INFORMATION GATHERED IN THE FIELD, IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND IRRIGATION CONSULTANT. SHOULD THE CONTRACTOR FAIL TO VERIFY THE POC INFORMATION ANY CHANGES REQUIRED BY LOW PRESSURE OR VOLUME SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

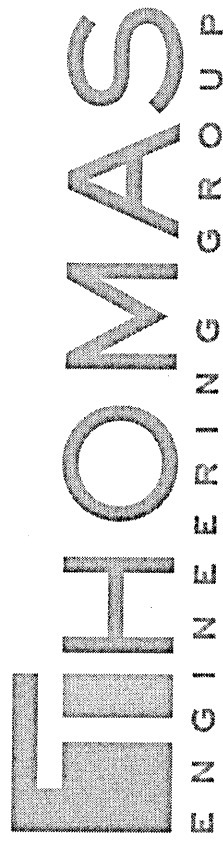
MINIMUM PRESSURE REQUIRED: 47.70 PSI @ POC  
DESIGN WATER PRESSURE: 55 PSI  
MAXIMUM SYSTEM DEMAND: 42.28 GPM

NOTE B:  
CONTROLLER SHALL BE AS NOTED . FINAL LOCATION OF CONTROLLER AND ELECTRICAL POC SHALL BE CONFIRMED WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK. CONTROLLER MAY BE EXISTING WITHIN PUMP HOUSE. REUSE EXISTING CONTROLLER IF POSSIBLE.

NOTE C:  
MAINLINE AND RELATED EQUIPMENT SHOWN WITHIN PAVING FOR CLARITY ONLY, ACTUAL MAINLINE AND RELATED EQUIPMENT LOCATION TO BE WITHIN PLANTERS AND A MINIMUM OF 18" OFF ADJACENT HARDSCAPE AND OTHER OBSTACLES TYP.

NOTE D:  
CONTRACTOR SHALL ADJUST ALL HEADS AS REQUIRED TO ACCOMMODATE ANY VERTICAL OBSTRUCTIONS THAT MAY OCCUR, INCLUDING BUT NOT LIMITED TO LIGHT POLES, FIRE HYDRANTS, ETC. VERIFY ALL HEAD LAYOUT WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

NOTE E:  
BUBBLERS AND LATERAL LINES ARE SHOWN WITHIN PAVING FOR CLARITY ONLY, ACTUAL LOCATION TO BE WITHIN PLANTER. BUBBLERS SHALL BE ALIGNED WITH TREES AND AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE. CONFIRM ALL LAYOUT IN FIELD WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.



CIVIL ENGINEERS - PROJECT MANAGERS - LAND PLANNING - LANDSCAPE ARCHITECTS  
OFFICES:  
FT 4950 W. KENNEDY BLVD., SUITE 600  
TAMPA, FLORIDA 33609  
800 NW 31ST AVE.  
FT. LAUDERDALE, FLORIDA 33309

REVISIONS

REV	DATE	COMMENT	BY
4	10/23/20	OWNER / PERMIT 10/23/20	MDG
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811

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PROJECT No.:	FT190076
DRAWN BY:	HR
CHECKED BY:	EMM
DATE:	07/07/2020
SCALE:	AS NOTED
CAD LD.:	FT190076-IRRIGATION

PROJECT:  
  
ROOMS TO GO  
PENSACOLA  
  
FOR

5827 N DAVIS HWY  
PENSACOLA  
ESCAMBA COUNTY, FLORIDA



4950 W. KENNEDY BLVD, SUITE 600  
TAMPA, FLORIDA 33609  
Phone: (813) 379-4100  
Fax: (813) 379-4040  
www.ThomasEngineeringGroup.com

REGISTERED LANDSCAPE ARCHITECT  
MICHAEL D. GROSSWORTH  
FLORIDA  
LA 6666871

REGISTERED LANDSCAPE ARCHITECT  
November 13, 2020  
FLORIDA LICENSE No. 6666871  
FLORIDA BUSINESS CERT. OF AUTH. No. 27528

SHEET TITLE:  
**IRRIGATION  
SCHEDULES & NOTES**  
SHEET NUMBER:  
**L-3.1**



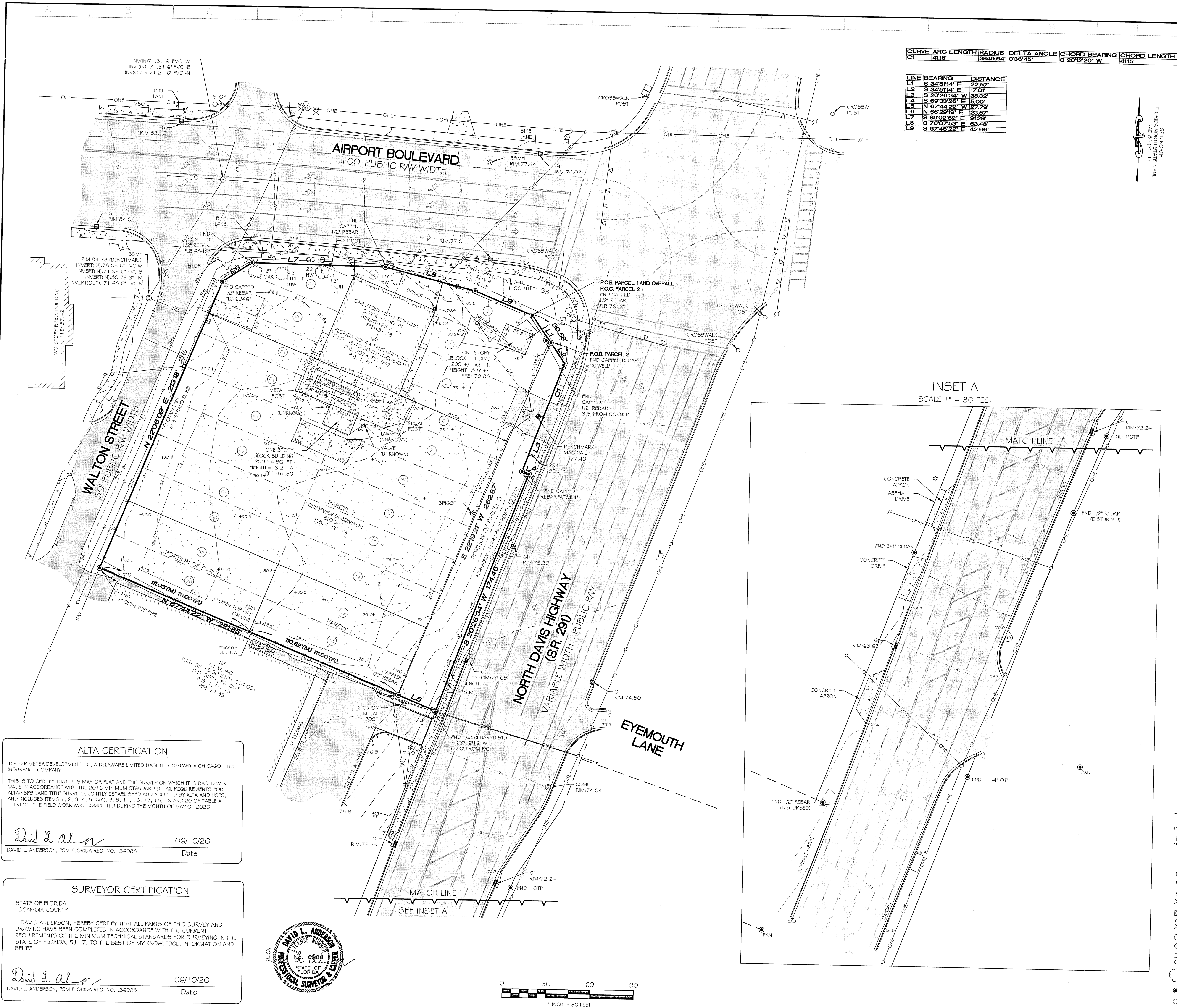








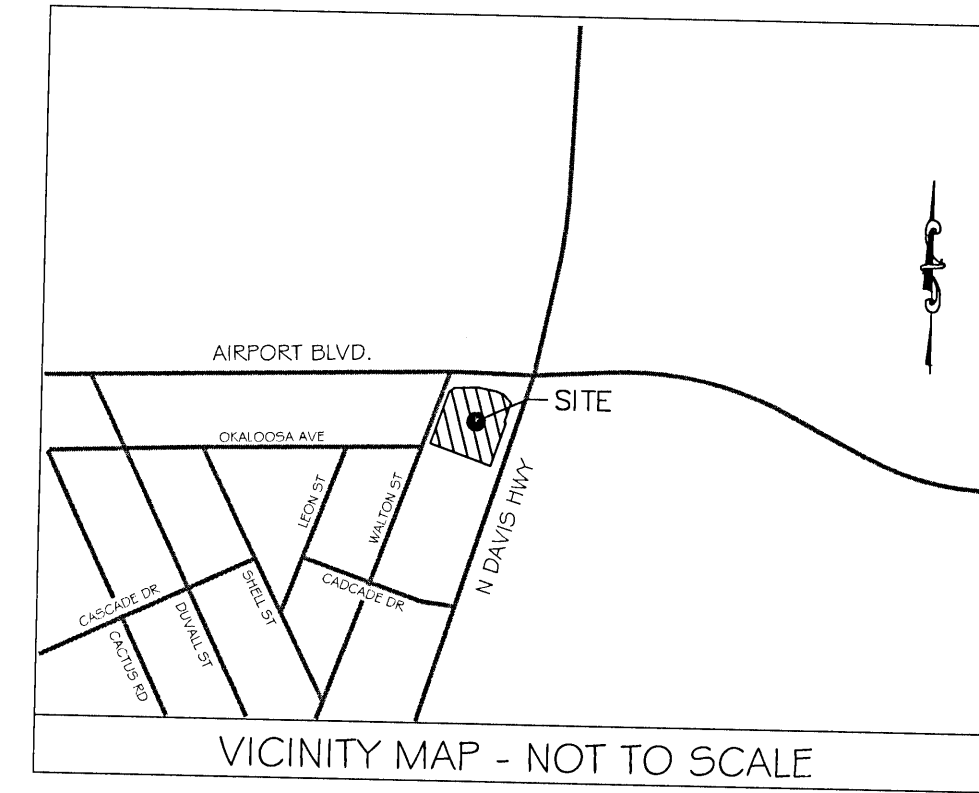
File Location: \\c:\users\larry\desktop\larry\04-survey\projects\03-projects\20084 - north davis - pensacola\dwg\20084 - north davis



CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	41.15'	3849.64'	036°45'	S 201°22' W	41.15'

LINE	BEARING	DISTANCE
L1	S 34°51'14\"	22.57'
L2	S 34°51'14\"	17.01'
L3	S 202°33'34\"	38.32'
L4	S 69°33'26\"	5.00'
L5	N 67°44'22\"	27.79'
L6	N 56°23'19\"	23.57'
L7	S 89°02'52\"	91.29'
L8	S 76°07'53\"	63.48'
L9	S 67°48'22\"	42.66'

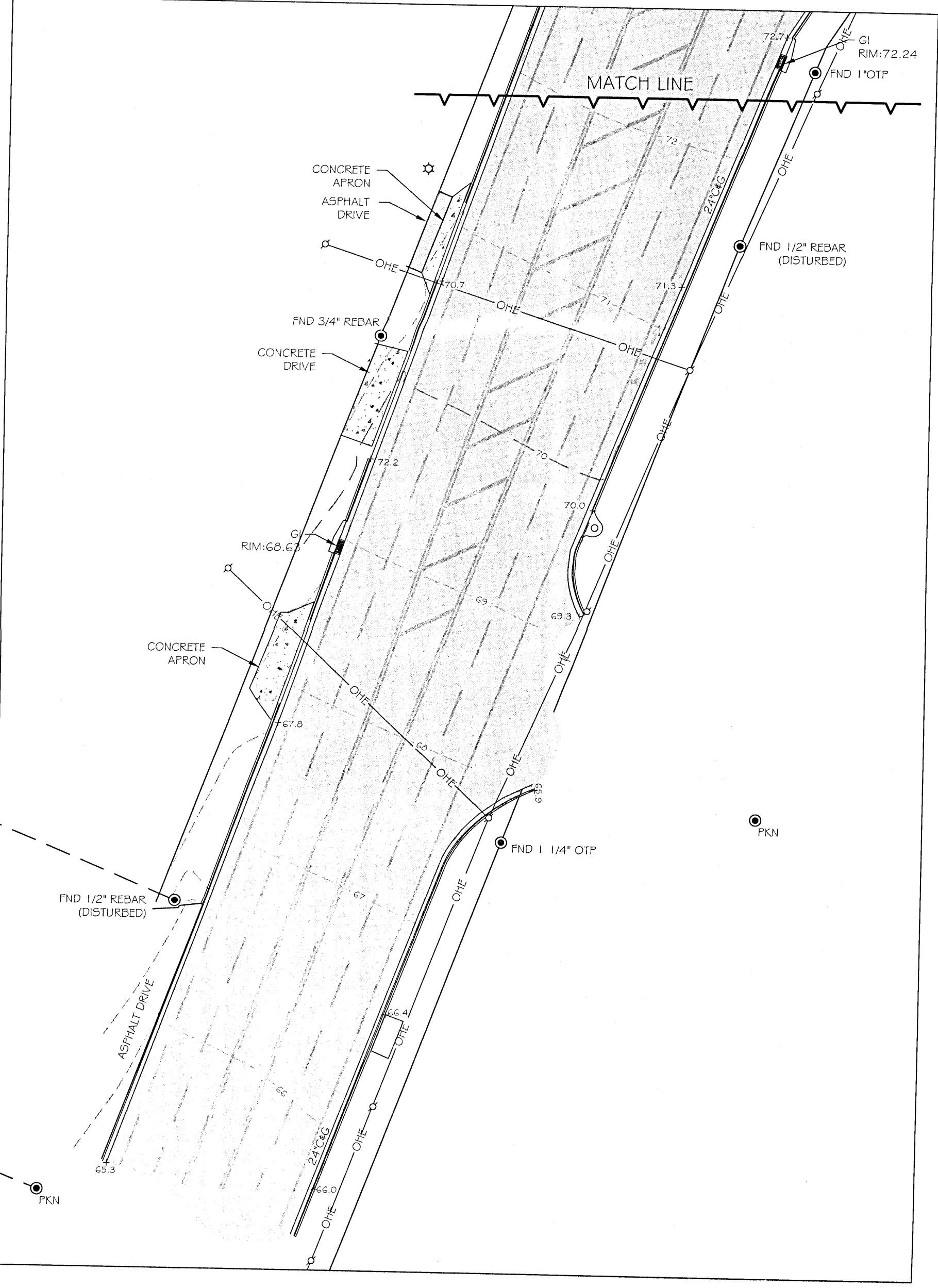
2011 NORTH  
FLORIDA  
NAD 83  
STATE PLANE



**SURVEY NOTES**

- All easements and rights of way of which the surveyor has knowledge are shown hereon; others may exist of which the surveyor has no knowledge and of which there is no observable evidence.
- The property shown hereon is subject to all easements and restrictions of record both written and unwritten.
- According to the Flood Insurance Rate Map (FIRM) for Escambia County, Florida, (Community panel number 12033 C0380G, dated September 29, 2006), all of the subject property lies within Zone X, defined as "areas determined to be outside the 0.2% annual chance floodplain."
- The locations of underground utilities shown hereon are based on visible structures and maps and/or field located markings provided by Subsurface Utility Investigations Inc. and are approximate only. The property shown hereon may be served by underground utilities which are not shown hereon. Alliance makes no warranties or claims that all utilities are marked or accurate. All Utility Companies should be contacted before beginning any design or construction. SUI's report can be provided upon request.
- North arrow and bearings shown hereon are based on FL North Zone - NAD83 adjusted 2011. Using Global Positioning System (GPS) and obtained by RTK observations on 05-29-2020 using the Leica Smartnet System. All distances are horizontal ground measurements expressed in U.S. Survey Feet.
- The field data upon which this plat is based has a closure precision of one foot in 172,852 feet and an angular error on 04 seconds per angle point and was adjusted using the compass rule method.
- This plat has been calculated for closure and is FND to be accurate within one foot in 199,676 feet.
- Equipment used for measurement:  
Angular: Leica TS15i 6i Robotic Total Station  
Linear: Leica TS15i 6i Robotic Total Station  
GPS: Leica GS16 GPS Receiver
- This plat was prepared for the exclusive use of the person, persons, or entity named hereon. This plat does not extend to any unnamed person, persons, or entity without express written certification by the surveyor naming said person, persons, or entity.
- State, County, and Local buffers and setbacks might exist on the subject property that are not shown hereon.
- Contours and spot elevations shown hereon are based on U.S.G.S. datum (NAVD 88 - Geoid 12B), site benchmarks are shown hereon.
- This survey is not valid without the Original Signature and Seal of a Florida Licensed Surveyor.
- There was no observable evidence of Human Burials or Cemeteries on Subject Property at the time of the field survey.
- Alliance Surveying does not warrant the existence or nonexistence of any wetlands or hazardous wastes located on the Subject Property.
- At the time of the field survey there was no observable evidence of recent earth moving work, building construction, building additions, changes in right-of-way, or recent street and/or sidewalk repair.

**INSET A**  
SCALE 1" = 30 FEET





File Location: \\server\mfr\mfr\proj\04-survey\projects\03-projects\20084 - north.dwg - pensacola.dwg 20084 - north.dwg

TITLE COMMITMENT  
CHICAGO TITLE INSURANCE COMPANY  
FILE NO.: 4020004125J  
SCHEDULE B

1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this form.

2. Taxes and assessments for the year 2019 and subsequent years, which are not yet due and payable.

3. Standard Exceptions:  
A. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land.  
B. Rights or claims of parties in possession not shown by the public records.  
C. Any lien, or right to a lien, for services, labor, or materials heretofore or hereafter furnished, imposed by law and not shown by the public records.  
D. Taxes or assessments which are not shown as existing liens in the public records.

4. Any claim that any portion of the insured land is sovereign lands of the State of Florida, including submerged, filed or artificially exposed lands accreted to such land.

5. Any lien provided by County Ordinance or by Chapter 159, Florida Statutes, in favor of any city, town, village or port authority for unpaid service charges for service by any water, sewer or gas system supplying the insured land.

NOTE: Exception 1 above shall be deemed deleted as of the time the settlement funds or proceeds of the loan to be secured by the insured mortgage, as applicable, are disbursed by the Company or its authorized agent. Neither the Company nor its agent shall, however, be under any duty to disburse any sum except upon a determination that no such adverse intervening matters have appeared of record or occurred.

NOTES ON STANDARD EXCEPTIONS:  
Item 3A will be deleted from the policy(ies) upon receipt of an accurate survey of the Land acceptable to the Company. Exception will be made for any encroachment, setback line violation, overlap, boundary line dispute or other adverse matter disclosed by the survey.

Items 3B, 3C, and 3D will be deleted from the policy(ies) upon receipt of an affidavit acceptable to the Company, affirming that, except as disclosed therein (i) no parties in possession of the Land exist other than the record owner(s); (ii) no improvements have been made to the Land within 90 days prior to closing which have not have been paid for in full; and (iii) no unpaid taxes or assessments are against the Land which are not shown as existing liens in the public records. Exception will be made for matters disclosed in the affidavit.

NOTE: All recording references in this form shall refer to the public records of Escambia County, Florida, unless otherwise noted.

6. Terms and conditions of the unrecorded lease from Florida Rock & Tank Lines Inc. to Bill Salter Advertising, Inc., dated 2/22/1996, as evidenced by a memorandum of said lease recorded in Official Records Book 6087, Page 982.  
NOT A SURVEY MATTER.

7. All terms and conditions of any existing unrecorded Leases and all rights thereunder of the Lessees and any person and/or entity claiming by, through, or under said Lessees.

OVERALL SURVEYED LEGAL DESCRIPTION

A PARCEL OF LAND SITUATED IN SECTION 35, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND 1/2 INCH CAPPED REBAR LYING AT THE NORTHERLY END OF THE MITERED INTERSECTION BETWEEN THE SOUTHERLY RIGHT OF WAY OF AIRPORT BOULEVARD (HAVING A 100' PUBLIC RIGHT OF WAY) AND THE WESTERLY RIGHT OF WAY OF NORTH DAVIS HIGHWAY (HAVING A VARIABLE WIDTH PUBLIC RIGHT OF WAY), THENCE RUN SOUTH 34 DEGREES 51 MINUTES 14 SECONDS EAST ALONG SAID MITER FOR A DISTANCE OF 39.58 FEET TO A SET 5/8 INCH CAPPED REBAR, SAID POINT LYING ON THE SOUTHERLY END OF THE MITERED INTERSECTION BETWEEN THE SOUTHERLY RIGHT OF WAY OF AIRPORT BOULEVARD AND THE WESTERLY RIGHT OF WAY OF NORTH DAVIS HIGHWAY, SAID POINT ALSO LYING ON A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 3,849.64 FEET, A CENTRAL ANGLE OF 00 DEGREES 36 MINUTES 45 SECONDS, A CHORD BEARING OF SOUTH 20 DEGREES 12 MINUTES 20 SECONDS WEST, AND A CHORD DISTANCE OF 41.15 FEET; THENCE RUN ALONG THE ARC OF SAID CURVE AND SAID RIGHT OF WAY FOR A DISTANCE OF 41.15 FEET TO A POINT, THENCE RUN SOUTH 20 DEGREES 26 MINUTES 34 SECONDS WEST FOR A DISTANCE OF 38.32 FEET TO A SET 5/8 INCH CAPPED, THENCE RUN SOUTH 69 DEGREES 33 MINUTES 26 SECONDS EAST FOR A DISTANCE OF 5.00 FEET TO A SET 5/8 INCH CAPPED REBAR; THENCE RUN SOUTH 20 DEGREES 26 MINUTES 34 SECONDS WEST FOR A DISTANCE OF 174.46 FEET TO A POINT, SAID POINT BEING NORTH 23 DEGREES 12 MINUTES 16 SECONDS EAST A DISTANCE OF 0.80 FEET FROM A FOUND DISTURBED 1/2" REBAR, THENCE LEAVING SAID WESTERLY RIGHT OF WAY OF NORTH DAVIS HIGHWAY RUN NORTH 67 DEGREES 44 MINUTES 22 SECONDS WEST FOR A DISTANCE OF 27.79 FEET TO A FOUND 1/2 INCH CAPPED REBAR LYING ON THE EASTERLY LINE OF BLOCK 1, CRESTVIEW SUBDIVISION, AS RECORDED IN PLAT BOOK 1, PAGE 13 OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA, SAID LINE ALSO BEING THE WESTERLY LINE OF THE RIGHT OF WAY FORMERLY KNOWN AS FERRY PASS ROAD (HAVING A 33' RIGHT OF WAY); THENCE LEAVING SAID EASTERLY LINE OF BLOCK 1, CRESTVIEW SUBDIVISION AND WESTERLY LINE OF THE RIGHT OF WAY FORMERLY KNOWN AS FERRY PASS ROAD RUN NORTH 67 DEGREES 44 MINUTES 22 SECONDS WEST FOR A DISTANCE OF 221.85 FEET TO A FOUND 1 INCH OPEN TOP PIPE LYING ON THE EASTERLY RIGHT OF WAY OF WALTON STREET (HAVING A 50' PUBLIC RIGHT OF WAY, SAID LINE ALSO BEING THE WESTERLY LINE OF BLOCK 1, CRESTVIEW SUBDIVISION; THENCE RUN NORTH 22 DEGREES 05 MINUTES 07 SECONDS EAST ALONG SAID EASTERLY RIGHT OF WAY OF WALTON STREET AND THE WESTERLY LINE OF BLOCK 1, CRESTVIEW SUBDIVISION FOR A DISTANCE OF 213.17 FEET TO A SET 5/8 INCH CAPPED REBAR LYING AT THE SOUTHERLY END OF THE MITERED INTERSECTION BETWEEN THE EASTERLY RIGHT OF WAY OF WALTON STREET AND THE AFOREMENTIONED SOUTHERLY RIGHT OF WAY OF AIRPORT BOULEVARD; THENCE LEAVING SAID WESTERLY LINE OF BLOCK 1, CRESTVIEW SUBDIVISION RUN NORTH 56 DEGREES 36 MINUTES 20 SECONDS EAST ALONG SAID MITER FOR A DISTANCE OF 23.61 FEET TO A FOUND 1/2 INCH CAPPED REBAR LYING AT THE NORTHERLY END OF SAID MITERED INTERSECTION; THENCE RUN SOUTH 89 DEGREES 02 MINUTES 52 SECONDS EAST ALONG SAID SOUTHERLY RIGHT OF WAY OF AIRPORT BOULEVARD FOR A DISTANCE OF 91.29 FEET TO A FOUND 1/2 INCH CAPPED REBAR, THENCE RUN SOUTH 76 DEGREES 09 MINUTES 12 SECONDS EAST FOR A DISTANCE OF 63.47 FEET TO A SET 5/8 INCH CAPPED REBAR; THENCE RUN SOUTH 67 DEGREES 44 MINUTES 35 SECONDS EAST FOR A DISTANCE OF 42.68 FEET TO THE POINT OF BEGINNING. SAID PARCEL CONTAINS 63,543.34 SQUARE FEET OR 1.458 ACRES.

TITLE COMMITMENT LEGAL DESCRIPTION

Parcel 1:  
Lots 12 and 13, Block 1, Crestview Subdivision, being a subdivision of a portion of Sections 35 and 48, Township 1 South, Range 30 West, Escambia County, Florida.

Parcel 2:  
Lots 3 to 11, both inclusive, and Lots 60 to 68, both inclusive, in Block 1, Crestview Subdivision, a subdivision of a portion of Section 35 and 48, Township 1 South, Range 30 West, Escambia County, Florida, according to plat filed in Plat Book 1 at Page 13 of the Public Records of said County.

Parcel 3:  
Lots 58 and 59 in Block 1, Crestview Subdivision, a subdivision of a portion of Sections 35 and 48, Township 1 South, Range 30 West, according to plat of said subdivision recorded in Plat Book 1, at Page 13 of the Public Records of Escambia County, Florida.

Together with the Westerly half of that vacated portion of Old Ferry Road lying adjacent to Lots 3 through 13, inclusive, Block 1, Crestview Subdivision, being a subdivision of a portion of Section 35 and 48, Township 1 South, Range 30 West, Escambia County, Florida. Vacation is shown in Resolution recorded in Official Records Book 1042, Page 302 of the Public Records of Escambia County, Florida.

LESS and except any portion of caption property taken in Order of Taking recorded in Official Records Book 3673, Page 855 and LESS any portion lying within the right of way of State Road No. 291.


ALTA / NSPS LAND TITLE SURVEY  
5827 NORTH DAVIS HIGHWAY  
PENSACOLA, FLORIDA  
FOR  
Penneter Development LLC,  
a Delaware limited liability company

ISSUE	DATE	DESCRIPTION
INITIAL		
REV. 1		
REV. 2		
REV. 3		
REV. 4		
REV. 5		
REV. 6		
REV. 7		

DRAFTED BY: FAA

CHECKED BY: DLA

PROJECT #: 20084




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THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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SHEET NO:

2 OF 2



LOCATED IN:  
SECTION 35 - TOWNSHIP 1 SOUTH  
RANGE 30 WEST  
ESCAMBIA COUNTY, FLORIDA

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