

AGENCY & UTILITY CONTACTS:

LOCAL GOVERNMENT:
 ESCAMBIA COUNTY
 3363 WEST PARK PLACE
 PENSACOLA, FLORIDA 32505
 CONTACT: HORACE JONES
 PHONE: 850-595-3475

POWER:
 GULF POWER
 ONE ENERGY PLACE
 PENSACOLA, FLORIDA 32520
 CONTACT: DON SCHOFIELD
 PHONE: 850-444-6555

WATER/SEWER SERVICES:
 ECUA
 P.O. BOX 15311
 PENSACOLA, FLORIDA 32514
 CONTACT: WENDELL KUTZER
 PHONE: 850-476-5110

TELEPHONE:
 BELLSOUTH
 605 W. GARDEN STREET
 PENSACOLA, FLORIDA 32501
 CONTACT: SHARON BLACKMAN
 PHONE: 850-436-1662

GAS:
 ENERGY SERVICES OF PENSACOLA
 1625 ATWOOD DRIVE
 PENSACOLA, FLORIDA 32504
 CONTACT: JOHN DEMARS
 PHONE: 850-474-5322

CABLE:
 COX COMMUNICATIONS
 2205 LAVISTA AVE.
 PENSACOLA, FLORIDA 32504
 CONTACT: RICHARD EMMONS
 PHONE: 850-477-2695

SITE CONSTRUCTION PLANS

FOR

DOLLAR GENERAL®

STORE # 22360

7810 PINE FOREST ROAD

ESCAMBIA COUNTY, FLORIDA

AUGUST 28, 2020

REVISED OCTOBER 19, 2020

SAFETY NOTICE TO CONTRACTOR:

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.

WARRANTY/DISCLAIMER:

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

LEGAL DESCRIPTION:

ALL OF THAT TRACT ARE PARCEL OF LAND LYING AND BEING IN SECTION 13, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF THE SOUTHWEST QUARTER OF SECTION 13, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA; THENCE GO NORTH 86 DEGREES 51 MINUTES 57 SECONDS WEST FOR A DISTANCE OF 810.00 TO A POINT; THENCE GO SOUTH 03 DEGREES 18 MINUTES 03 SECONDS WEST FOR A DISTANCE OF 15.00 FEET TO A 5/8" REBAR FOUND WITH CAP ON THE SOUTHERN RIGHT-OF-WAY LINE OF KERSEY ROAD (30' PUBLIC R/W), SAID POINT BEING THE POINT OF BEGINNING.

FROM SAID POINT OF BEGINNING GO SOUTH 03 DEGREES 18 MINUTES 03 SECONDS WEST ALONG A COMMON PROPERTY LINE WITH THE FOLLOWING OWNERS, PROPERTY OF WILLIAM G. TITTLE, FAYEE H. TITTLE, KRISTIE F. TITTLE AND AMY R. HAMILTON, PROPERTY OF SVETLANA ZAMANOV AND VALERLY BURODAYEV, AND PROPERTY OF MECO PROPERTIES, INC. FOR A DISTANCE OF 308.80 FEET TO A 1/2" REBAR FOUND WITH CAP; THENCE GO ALONG A COMMON PROPERTY LINE WITH HUMANE SOCIETY OF PENSACOLA, INC. THE FOLLOWING CALLS, GO SOUTH 87 DEGREES 02 MINUTES 36 SECONDS EAST FOR DISTANCE OF 25.16 FEET TO A 1/2" REBAR FOUND WITH CAP; THENCE GO SOUTH 03 DEGREES 17 MINUTES 18 SECONDS WEST FOR A DISTANCE OF 45.49 FEET TO A 1/2" REBAR FOUND WITH CAP; THENCE GO NORTH 86 DEGREES 51 MINUTES 39 SECONDS WEST FOR A DISTANCE OF 200.69 FEET TO A 1/2" REBAR FOUND WITH CAP LOCATED ON THE EASTERN RIGHT-OF-WAY LINE OF STATE HIGHWAY 297/PINE FOREST ROAD (150' PUBLIC R/W); THENCE GO NORTH 23 MINUTES 38 MINUTES 43 SECONDS WEST ALONG THE EASTERN RIGHT-OF-WAY LINE OF STATE HIGHWAY 297/PINE FOREST ROAD FOR A DISTANCE OF 396.81 FEET TO A 1/2" REBAR FOUND WITH A CAP LOCATED AT THE INTERSECTION OF THE EASTERN RIGHT-OF-WAY LINE OF STATE HIGHWAY 297/PINE FOREST ROAD AND THE SOUTHERN RIGHT-OF-WAY LINE OF KERSEY ROAD (30' PUBLIC R/W); THENCE GO SOUTH 86 DEGREES 52 MINUTES 50 SECONDS EAST ALONG THE SOUTHERN RIGHT-OF-WAY LINE OF KERSEY ROAD FOR A DISTANCE OF 405.65 FEET TO A 5/8" REBAR FOUND WITH CAP, SAID POINT BEING THE POINT OF BEGINNING.

SAID TRACT CONTAINS 2.542 ACRES.

LAND DISTURBANCE NOTE:

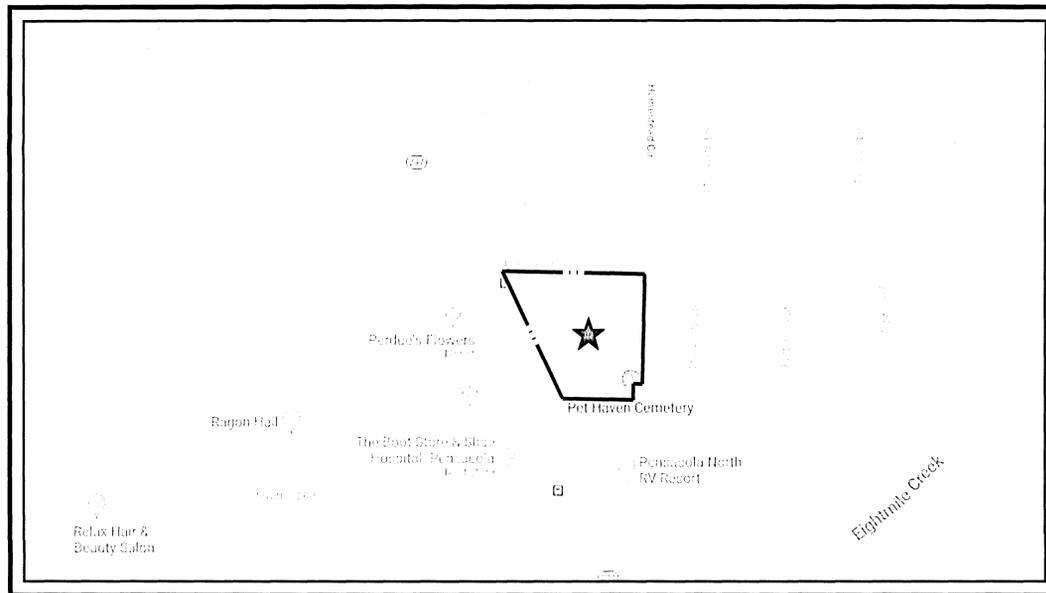
ALL LAND DISTURBING ACTIVITIES, INCLUDING TREE REMOVAL, SHALL ONLY COMMENCE AFTER PROPER PERMITS ARE OBTAINED FROM ESCAMBIA COUNTY FOR THIS ACTIVITY.

FEMA FLOOD INSURANCE RATE MAP INFORMATION

THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:

FLOOD ZONE(S)	COMMUNITY NO	MAP NO	PANEL NO	SUFFIX	MAP REVISION DATE
X	120080	12033C	0295	G	SEPT. 29, 2006

Approved
 ESCAMBIA COUNTY DRC PLAN REVIEW
 DRC Chairman Signature: *[Signature]* Date: 10-28-2020
 This document has been reviewed in accordance with the requirements of applicable laws, rules and Ordinances, and does not in any way relieve the submitting Applicant, engineer or other signatory from responsibility of details as drawn. A Developer or other signatory obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.



VICINITY MAP

APPROXIMATE SCALE: 1" ~ 250'

OWNER/DEVELOPER:

TERAMORE
 DEVELOPMENT, LLC
 Teramore Development, LLC
 P.O. Box 6460
 Thomasville, GA 31758
 (229) 516-4289

ENGINEER OF RECORD:

BELL
 ENGINEERING SERVICES
 Bell Engineering Services, LLC
 Jennifer D. Bell, P.E. (FL #64666)
 Pensacola, Florida 32503
 (850) 723-7185
 EB 00029198

SIGNAGE NOTE:
 ROADWAY: PINE FOREST ROAD
 CLASSIFICATION: MAJOR COLLECTOR
 PROPERTY FRONTAGE: 396 LF
 BUILDING FRONTAGE AT GRADE: 70 LF
 FREESTANDING SIGN AREA: ONE SF PER LF OF FRONTAGE = 396 SF
 FREESTANDING MAX SIGN HEIGHT: 35 LF
 WALL SIGN AREA: 2.25 SF PER LF OF OF BUILDING FRONTAGE AT GRADE = 158 SF
 A VALID ESCAMBIA COUNTY SIGN PERMIT MUST BE OBTAINED PRIOR TO ERECTING, CONSTRUCTING, ALTERING, OR RELOCATING ANY SITE SIGNAGE.

ECUA Engineering Manual Reference Note*
 *note shall be inserted in the upper right corner of title sheet
 *applicable only to ECUA Infrastructure to be constructed in public ROW or in utility easement; not to be applied to private water/sewer facilities on private property (see Building Code)

A. ECUA Engineering Manual Incorporated by Reference
 The ECUA Engineering Manual, dated December 18, 2014, along with Update # 1 dated September 1, 2016 (hereinafter "Manual"), located at www.ecua.fl.gov, is hereby incorporated by reference into this Project's official contract documents as if fully set forth therein. It is the Contractor's responsibility to be knowledgeable of the Manual's contents and to construct the Project in accordance with the Manual. The Contractor shall provide its employees access to the Manual at all times, via Project site or office, via digital or paper format. In the event of a conflict between the Manual and Plans, Contractor shall consult Engineer of Record for proper resolution.

B. Additional Documents (to be completed by the Engineer of Record)
 Does this Project have additional technical specifications or construction details that supplement and/or supersede the Manual listed above? YES NO. If yes, Contractor shall construct Project in accordance with said documents as listed and located below:

Document Name	Document Type		Location	
	Specifi- cation	Detail	Plans	Project Manual*
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

*Project Manuals used only with ECUA CIP Projects

C. Engineer of Record Responsibilities
 The Engineers of Record (EORs) that have affixed their seals and signatures on these plans warrant their portions of the plans have been designed in accordance with the Manual (unless otherwise directed by the ECUA Project Engineer). The EORs shall be knowledgeable of the Manual's contents and shall assume responsibility for its use on this Project.

DRAWING INDEX

- C1.0 EXISTING SITE, DEMOLITION & EROSION CONTROL PLAN
- C1.1 EROSION CONTROL DETAILS
- C1.2 NPDES - STORMWATER POLLUTION PREVENTION PLAN
- C2.0 SITE LAYOUT & DIMENSION PLAN
- C2.1 MISCELLANEOUS SITE DETAILS
- C3.0 GRADING & DRAINAGE PLAN
- C3.1 GRADING & DRAINAGE DETAILS
- C4.0 UTILITY PLAN
- C5.0 LANDSCAPE PLAN

SITE INFORMATION:

PROPERTY REFERENCE NO: 13-1S-31-1100-004-040

PROPERTY ADDRESS: 7810 PINE FOREST ROAD

PROPERTY AREA: 2.53 ACRES (110,729 SF)

PROJECT AREA: 1.52 ACRES (66,131 SF)

FLOOD MAP: FLOOD ZONE "X", MAP #12033C0295-G, DATED 09-29-2006

PROPERTY ZONING: COM

FUTURE LAND USE: COMMERCIAL

PROPOSED ACTIVITY: RETAIL

REQUIRED BUILDING SETBACKS COM (PER LDC SECTION 3-2.6):
 FRONT YARD - 15' (NORTH & WEST)
 SIDE YARD - 10' (EAST)
 REAR YARD - 15' (SOUTH)

DATE	#	REVISION DESCRIPTION
09/30/20	1	ESCO REVIEW
10/15/20	2	FDOT DRAINAGE REVIEW
10/15/20	3	DEVELOPER CHANGES

BELL ENGINEERING SERVICES PROJECT#: 2020014



BENCHMARK TABLE:

ELEV 84.80' (NAVD 88 12b)	TBM NO. 1: NAIL IN PP	N:560888.28, E:1084137.91
ELEV 76.10' (NAVD 88 12b)	TBM NO. 2: RR SPIKE IN PP	N:560906.09, E:1083885.16

SPEED LIMIT TABLE

SPEED LIMIT	ROADWAY
45 MPH	PINE FOREST ROAD
25 MPH	KERSEY ROAD

FEMA FLOOD INSURANCE RATE MAP INFORMATION

FLOOD ZONE(S)	COMMUNITY NO	MAP NO	PANEL NO	SUFFIX	MAP REVISION DATE
X	120080	12033C	0280	G	SEPT. 29, 2006

LEGEND

- EXISTING ASPHALT
- DEMOLITION
- BENCHMARK
- 5/8" RBF CAP
- FIRE HYDRANT
- TELEPHONE SERVICE BOX
- UTILITY POLE
- PEDESTAL
- WATER VALVE
- SIGN
- BOUNDARY LINE
- LOT LINE
- RIGHT-OF-WAY LINE
- WATER LINE
- OHU
- EXISTING OVERHEAD UTILITY LINE
- 20
- EXISTING CONTOUR
- SILT FENCE

TREE DATA & TREE SURVEY WAS UPDATED POST HURRICANE SALLY PER BIOME CONSULTING GROUP 10/15/2020.

TREE CHART

TREE #	DIAMETER @ DBH	TREE SPECIES (COMMON)	STATUS
T-1	17"	LIVE OAK	PROTECT (OPL)
T-2	18"	LIVE OAK	PROTECT (OPL)
T-3	13"	LIVE OAK	PROTECT (OPL)
T-4	14"	LIVE OAK	PROTECT (OPL)
T-5	13"	DARLINGTON OAK	PROTECT
T-6	25"	DARLINGTON OAK	PROTECT (OPL)
T-7	16"	DARLINGTON OAK	PROTECT (OPL)
T-8	24"	LIVE OAK	PROTECT (OPL)
T-9	25"	LIVE OAK	PROTECT (OPL)
T-10	17"	DARLINGTON OAK	PROTECT (OPL)
T-11	15"	DARLINGTON OAK	PROTECT (OPL)
T-14	21"	LIVE OAK	PROTECT (OPL)
T-15	12"	DARLINGTON OAK	PROTECT (OPL)
T-17	35"	LIVE OAK	PROTECT (OPL)
T-18	42"	LIVE OAK	PROTECT (OPL)
T-19	42"	DARLINGTON OAK	PROTECT (OPL)
T-26	13"	DARLINGTON OAK	PROTECT (OPL)
T-28	14"	DARLINGTON OAK	REMOVE
T-29	12"	DARLINGTON OAK	REMOVE
T-31	23"	LIVE OAK	REMOVE
T-32	12"	LIVE OAK	REMOVE
T-35	13"	DARLINGTON OAK	REMOVE
T-36	18"	DARLINGTON OAK	REMOVE
T-39	14"	DARLINGTON OAK	PROTECT
T-40	15"	DARLINGTON OAK	PROTECT
T-41	14"	WATER OAK	PROTECT
T-42	14"	DARLINGTON OAK	PROTECT
T-44	14"	DARLINGTON OAK	PROTECT
T-45	13"	DARLINGTON OAK	REMOVE
T-55	13"	LIVE OAK	PROTECT (OPL)
T-56	13"	LIVE OAK	PROTECT (OPL)
T-60	15"	DARLINGTON OAK	PROTECT (OPL)
T-61	15"	DARLINGTON OAK	PROTECT (OPL)
T-62	15"	DARLINGTON OAK	PROTECT (OPL)
T-63	13"	DARLINGTON OAK	PROTECT
T-64	16"	DARLINGTON OAK	PROTECT
T-65	13"	DARLINGTON OAK	REMOVE
T-67	20"	LIVE OAK	PROTECT
T-69	12"	DARLINGTON OAK	REMOVE
T-71	18"	DARLINGTON OAK	REMOVE
T-72	17"	DARLINGTON OAK	PROTECT
T-74	34"	LIVE OAK	PROTECT
T-75	14"	DARLINGTON OAK	PROTECT
T-77	13"	DARLINGTON OAK	REMOVE
T-78	13"	LIVE OAK	PROTECT
T-79	14"	LIVE OAK	PROTECT
T-80	16"	LIVE OAK	PROTECT
T-81	15"	DARLINGTON OAK	PROTECT
T-82	14"	DARLINGTON OAK	PROTECT
T-84	14"	DARLINGTON OAK	REMOVE

- GENERAL NOTES:**
- ALL WORK IN THE RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE FOLLOWING: STANDARD PLANS FOR ROAD & BRIDGE CONSTRUCTION, THE PLANS PREPARATION MANUAL (PPM), AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AGENCIES.
 - THE LOCATION OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS IS BASED ON INFORMATION PROVIDED BY THE UTILITIES AND SHALL BE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
 - THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENTS OF THE WATER, SANITARY SEWER, GAS, TELEPHONE, CABLE TELEVISION, AND POWER COMPANIES 10 DAYS IN ADVANCE THAT HE INTENDS TO START WORK IN A SPECIFIED AREA. THE OWNER DISCLAIMS ANY RESPONSIBILITY FOR THE SUPPORT AND PROTECTION OF SEWERS, DRAINS, WATER PIPES, GAS PIPES, CONDUITS OF ANY KIND, UTILITIES OR OTHER STRUCTURES OWNED BY THE CITY, COUNTY, STATE OR BY PRIVATE OR PUBLIC UTILITIES LEGALLY OCCUPYING ANY STREET, ALLEY, PUBLIC PLACE OR RIGHT-OF-WAY.
 - ALL SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND STRUCTURES, WHICH ARE NOT IN SERVICE AS NECESSARY FOR THE INSTALLATION OF PROPOSED IMPROVEMENTS. THESE INCLUDE PIPES, VALVES, DRAINAGE STRUCTURES, ETC., AS INDICATED ON THE CONTRACT PLANS. CONTRACTOR SHALL NOTIFY THE PROJECT OWNER AND ENGINEER OF ALL DISCOVERED UNDERGROUND STRUCTURES WHICH ARE IN CONFLICT WITH THE INSTALLATION OF THE PROPOSED IMPROVEMENTS AND ARE NOT INDICATED ON THE CONTRACT PLANS OR LOCATED IN THE FIELD BY UTILITIES IN ACCORDANCE WITH GENERAL NOTES.
 - THE RELOCATION OF OBSTRUCTIONS OWNED BY PRIVATE PROPERTY OWNERS, SUCH AS MAIL BOXES, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WHO MUST COORDINATE WITH THE PROPERTY OWNER.
 - THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS AND GUARDS DURING ALL PHASES OF CONSTRUCTION, IN ACCORDANCE WITH APPLICABLE FOOT INDX.
 - ALL AREAS NOT PAVED OR DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED BY SEEDING AND MULCHING OR SOODING. SEED AND MULCH OR SOD SHALL BE PLACED, WATERED, FERTILIZED WITH APPROPRIATE SOIL AMENDMENTS IN ACCORDANCE WITH THE FDOT STANDARD SPECIFICATIONS AND THESE CONSTRUCTION DOCUMENTS.
 - ALL EXCESS MATERIAL SHALL BE HAULED AWAY AND DISPOSED OF APPROPRIATELY AT THE CONTRACTOR'S EXPENSE.
 - ALL CONSTRUCTION AROUND TREES SHALL BE DONE IN A MANNER TO MINIMIZE DAMAGE TO THE TREE AND ITS ROOT SYSTEM.
 - THE CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND THE EXTENT OF CLEARING AND GRUBBING REQUIRED.
 - ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
 - THE CONTRACTOR IS TO COORDINATE WITH THE RESPONSIBLE UTILITY PROVIDER FOR PROTECTION/HOLDING OF UTILITY POLES, GUY WIRES, AND GUY ANCHORS IN AREAS OF CONSTRUCTION. THE CONTRACTOR SHALL INCLUDE THE COST OF PROTECTING UTILITY POLES IN THEIR OVERALL PRICE TO THE OWNER.
 - DAMAGE TO EXISTING ROADS DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR PRIOR TO FINAL "AS-BUILT" SIGN-OFF FROM THE COUNTY.

MITIGATION REQUIREMENTS:
TOTAL CALIPER OF PROTECTED TREE REMOVAL IS 170"
REPLACEMENT RATIO 50% OF INCHES = 170" x 0.5 = 85"

PER ESCAMBIA COUNTY LDC SECTION 2.5.2(c) MITIGATION PLANTINGS LIMITED TO 25" PER DEVELOPED ACRE
TOTAL DEVELOPMENT (PROJECT) AREA 1.52 AC:
1.52 x 25" = 38" OF NATIVE, CANOPY MITIGATION REQ'D PLANTING OPTIONS:
2.5" TREES = 38" / 2.5" = 16 (16 MITIGATION TREES)
MITIGATION TREES REQUIRED W/ MIN 2.5" CALIPER
*LARGER CALIPER TREES MAY BE PLANTED TO REDUCE TOTAL MITIGATION PLANTING QUANTITY.

(SEE C5.0 FOR PROPOSED MITIGATION PLANTING LOCATIONS)

TREE TABLE NOTES:
REMOVE: INDICATES TREE TO BE REMOVED WHICH CONFLICTS WITH PROPOSED SITE LAYOUT. MITIGATION IS REQUIRED FOR REMOVAL OF THIS TREE.

REMOVE(NP): INDICATES TREE TO BE REMOVED WHICH CONFLICTS WITH PROPOSED LAYOUT BUT IS NOT CONSIDERED PROTECTED BY ESCO. MITIGATION IS NOT REQUIRED FOR REMOVAL OF THIS TREE.

PROTECT: INDICATES TREE CONSIDERED PROTECTED BY THE LDC AND IS PROPOSED TO REMAIN ON SITE UPON DEVELOPMENT. CONTRACTOR SHALL INSTALL TREE BARRICADES PER TREE BARRICADE DETAIL IN THIS PLAN SET.

PROTECT (OPL): INDICATES TREE LOCATED OUTSIDE THE PROJECT/CONSTRUCTION LIMITS AND SHALL BE PROTECTED.

CLEARING NOTE:
ALL PROTECTED TREES SHALL REMAIN ON SITE AND ANY LAND CLEARING/LAND DISTURBING ACTIVITIES, INCLUDING THE PLACEMENT OF FILL MATERIALS, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PERMIT(S) ARE ISSUED FOR PROPOSED SITE WORK.

DEMOLITION NOTES:
1. ALL DEBRIS RESULTING FROM THE PROPOSED DEMOLITION WILL BE DISPOSED OF IN A LEGAL MANNER AND WILL CONFORM TO ANY AND ALL STATE AND LOCAL REGULATIONS AND/OR ORDINANCES WHICH GOVERN SUCH ACTIVITIES.

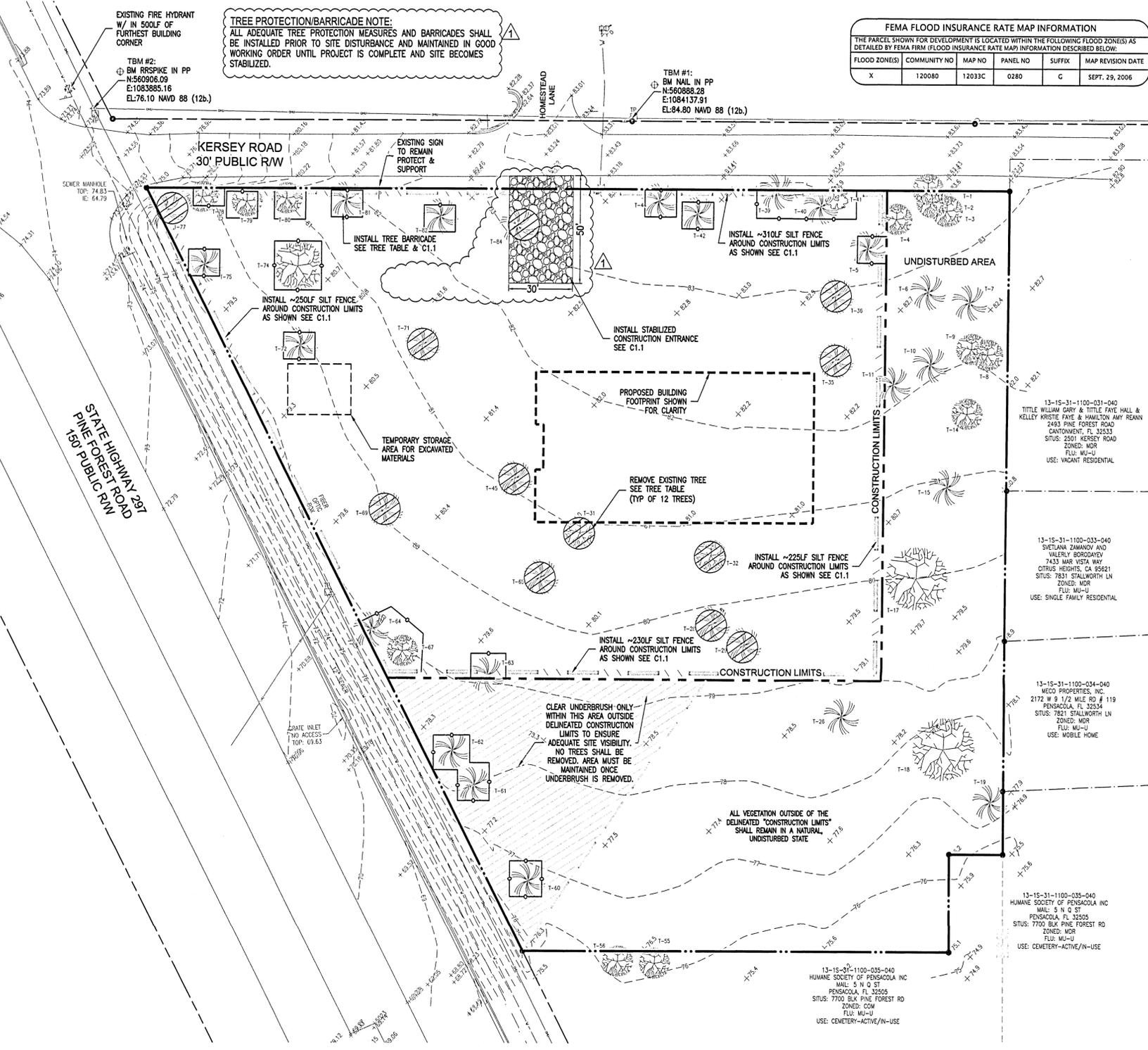
2. THE CONTRACTOR IS TO FIELD VERIFY THE LOCATION OF EXISTING UTILITIES AND COORDINATE RELOCATION WITH THE APPROPRIATE UTILITY OWNER AS NECESSARY. ANY AND ALL UTILITIES ENCOUNTERED DURING DEMOLITION WILL BE PROTECTED AND/OR RELOCATED AT THE DISCRETION OF THEIR PROSPECTIVE OWNERS.

3. NO DEMOLITION DEBRIS WILL BE STOCKPILED OR GATHERED ON THE PROJECT SITE OR ADJACENT PROPERTIES, WITHOUT PRIOR AUTHORIZATION OF THE COUNTY.

EROSION CONTROL NOTES:
1. THE CONTRACTOR SHALL ESTABLISH EROSION CONTROL PRIOR TO COMMENCING ANY CONSTRUCTION OR DEMOLITION ON THE PROJECT. EROSION CONTROL BARRIER PLACEMENT AS INDICATED IS A SUGGESTION ONLY AND DOES NOT RELIEVE THE CONTRACTOR FROM CONTROLLING EROSION AND SEDIMENT WITHIN THE PROJECT SITE. EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE AND BE MAINTAINED DURING THE ENTIRE TIME OF CONSTRUCTION AND DEMOLITION ON THE PROJECT.

2. AN EROSION CONTROL BARRIER IS TO BE PLACED ALONG ALL BOUNDARIES OF THE PROJECT AREA AS SHOWN BEFORE CONSTRUCTION BEGINS AND REMAIN IN PLACE UNTIL CONSTRUCTION IS FINISHED AND ACCEPTED AND FINAL STABILIZATION IS COMPLETE.

3. THE CONTRACTOR SHALL INSPECT AND REESTABLISH EROSION CONTROL BARRIERS WEEKLY AND AFTER EVERY SIGNIFICANT STORM EVENT.



TREE PROTECTION/BARRICADE NOTE:
ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.

- SURVEYOR NOTES:**
- TOTAL AREA IN TRACT = 2.542 ACRES.
 - THIS PROPERTY IS ZONED: COMMERCIAL
 - SETBACKS ARE AS FOLLOWS:
FRONT = 15'
SIDE = 10'
REAR = 15'
 - THIS SURVEY WAS MADE USING A CARLSON CR2+ ROBOTIC TOTAL STATION TO OBTAIN LINEAR AND ANGULAR MEASUREMENTS.
 - THE FIELD DATA UPON WHICH THIS MAP OR PLAN IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 76,686 FEET AND AN ANGULAR ERROR OF 0 DEGREES 00 MINUTES AND 01 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE.
 - THIS MAP OR PLAN HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 155,085 FEET.
 - THERE IS NO KNOWN NATIONAL GEODETIC SURVEY MONUMENT WITHIN 500 FEET OF ANY POINT ON THE PROPERTY PLATTED, OR ANY POINT OF REFERENCE THEREON.

SURVEYOR NOTES CONT.:
8. CERTAIN DATA SHOWN ON THIS PLAN WAS OBTAINED UTILIZING GPS (GLOBAL POSITIONING SYSTEMS). IT INCLUDES: BASIS OF BEARINGS, HORIZONTAL CONTROL, AND VERTICAL CONTROL. THE EQUIPMENT USED TO OBTAIN THIS DATA WAS A CHAMPION PRO GPS RECEIVER WITH A CARLSON RT3 DATA COLLECTOR RECEIVING RTK CORRECTIONS VIA A MOBILE DATA CONNECTION FROM THE FLORIDA PERMANENT REAL TIME NETWORK. THE TECHNIQUE USED WAS A RTK CORRECTED MEASUREMENTS FROM A TRIMBLE VRS REAL TIME NETWORK.

9. THIS PROPERTY IS IN FLOOD ZONE "X" AS PER FLOOD INSURANCE RATE MAP FOR ESCAMBIA COUNTY, FLORIDA, PANEL 295 OF 806, AS SHOWN ON MAP NUMBER 12033C02956, WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 2006. ZONE "X" DENOTES AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

10. THERE IS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS.

11. THERE ARE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

12. UTILITY LOCATE TICKET NO. 00000 150002746-000, DATED: MAY 29, 2020.

13. SITE IS WOODED, TREE LOCATIONS WERE NOT A PART OF THIS SURVEY.

BELL
ENGINEERING SERVICES
Jennifer D. Bell, P.E. (FL #64666)
Pensacola, Florida 32503
EB 00029198

**EXISTING SITE,
DEMOLITION & EROSION
CONTROL PLAN**

DOLLAR GENERAL
STORE #22360
7810 PINE FOREST ROAD
PENSACOLA, FLORIDA

DATE	REVISION DESCRIPTION
09/30/20	1 ESCO REVIEW
10/15/20	2 FDOT DRAINAGE REVIEW
10/15/20	3 DEVELOPER CHANGES

Job No.: 2020014
Date: 10/19/20

C1.0

This drawing is the property of Bell Engineering Services, LLC and may not be reproduced without written permission.

GENERAL NOTES FOR SOIL EROSION AND SEDIMENT CONTROL:

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
3. PERMANENT VEGETATION TO BE SEED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER GRADING. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED. NEWLY PLACED SOD/SEED IN RIGHT OF WAY SHALL BE WATERED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
4. ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION.
- *5. A BITUMINOUS CONCRETE BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE BITUMINOUS CONCRETE BASE SHALL BE INSTALLED WITHIN 15 DAYS OF THE PRELIMINARY GRADING.
- *6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL, ACCORDING TO STATE STANDARDS.
- *7. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).
- *8. A CRUSHED LIMESTONE, VEHICLE WHEEL-CLEANING BLANKET SHALL BE INSTALLED AT THE CONTRACTOR'S STAGING YARD AND/OR STOCKPILE AREAS TO PREVENT OFF-SITE TRACKING OF SEDIMENT BY CONSTRUCTION VEHICLES ONTO PUBLIC ROADS. BLANKET SHALL BE 15 FT. X 50 FT. X 6 IN. (MINIMUM), CRUSHED LIMESTONE 2 1/2 INCHES IN DIAMETER. SAID BLANKET SHALL BE UNDERLAIN WITH A FDOT CLASS 3 SYNTHETIC FILTER FABRIC AND MAINTAINED IN GOOD ORDER.
9. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.

- *10. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
 11. UNFILTERED DEWATERING IS NOT PERMITTED. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER.
 12. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
 13. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.
 14. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
 15. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE NUMBER 2 (ABOVE).
 16. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
 17. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
 18. ALL CATCH BASIN INLETS SHALL BE PROTECTED WITH HAY BALES AS SHOWN ON DETAIL.
 19. THE CONTRACTOR SHALL PREPARE A PLAN FOR THE PROPER DEWATERING AND DOWNSTREAM SILTATION PROTECTION OF EACH STREAM CROSSING PRIOR TO EXCAVATING THE STREAM BED. PLAN SHALL BE FORWARDED TO THE ENGINEER FOR APPROVAL. THE ENGINEER SHALL BE NOTIFIED FOR INSPECTION PRIOR TO EACH STREAM CROSSING CONSTRUCTION.
 20. ANY AREAS USED FOR THE CONTRACTOR'S STAGING, INCLUDING BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (E.G. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.), SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.
- * WHERE APPLICABLE

TEMPORARY SEEDING DETAILS:

SEED BED PREPARATION:
SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS./ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS./ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE:
CONSISTING OF ANNUAL RYE (LOLIUM MULTIFLORUM) AT A RATE OF 174 LBS./ACRE.

PERMANENT SEEDING DETAILS:

SEED BED PREPARATION:
SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS./ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS./ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE CONSISTING OF	RATE	PURITY	GERMINATION
ARGENTINE BAHIA	260 LBS./AC.	95%	80%
PENSACOLA BAHIA	260 LBS./AC.	95%	40%(MIN.)-80%(TOTAL)

SODDING:
SOD SHALL BE WELL ROOT MATTED CENTIPEDE OR BAHIA GRASS COMMERCIALY CUT TO A MINIMUM DIMENSION OF 12" x 24" A MAXIMUM OF 72 HOURS PRIOR TO PLACEMENT. SOD SHALL BE LIVE, FRESH AND UNINJURED, REASONABLY FREE OF WEEDS AND OTHER GRASSES, WITH A HEAVY SOIL MAT ADHERING TO THE ROOT SYSTEM. SOD SHALL BE CROWN, CUT, AND SUPPLIED BY A STATE CERTIFIED GROWER. NEWLY PLACED SOD/SEED IN RIGHT OF WAY SHALL BE WATERED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.

TRAFFIC CONTROL STANDARDS:

1. CONSTRUCTION TRAFFIC SHALL BE RESTRICTED TO ONSITE ACCESS BY MEANS SO DESIGNATED BY THE ENGINEER, POLICE/SHERIFF DEPARTMENT, LOCAL GOVERNMENT ROADS DEPARTMENT, AND/OR THE FLORIDA DEPARTMENT OF TRANSPORTATION.
2. TRAFFIC DURING WET WEATHER SHALL BE MINIMIZED AND APPROPRIATE ROADWAY AND SITE CLEAN-UP SHALL BE PROVIDED BY THE CONTRACTOR AS SOON AS WEATHER CONDITIONS PERMIT.

TREE PROTECTION:

1. DAMAGED TRUNKS OR EXPOSED ROOTS WILL BE PAINTED IMMEDIATELY WITH A GOOD GRADE OF "TREE PAINT".
2. TREE LIMB REMOVAL, WHERE NECESSARY, WILL BE DONE FLUSH TO TRUNK OR MAIN BRANCH AND THAT AREA PAINTED IMMEDIATELY WITH A GOOD GRADE OF TREE PAINT.

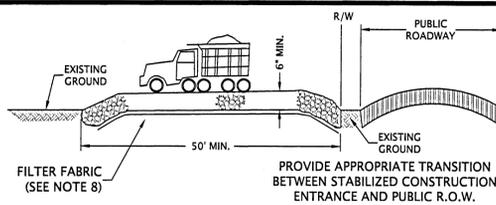
DUST CONTROL:

1. ALL AREAS OF CLEARING AND EMBANKMENT AS WELL AS CONSTRUCTION HAUL ROADS SHALL BE TREATED AND MAINTAINED IN SUCH A MANNER AS TO MINIMIZE ANY DUST GENERATION.
2. DISTURBED AREAS SHALL BE MAINTAINED IN A ROUGH GRADED CONDITION AND TEMPORARILY SEEDED AND/OR MULCHED UNTIL PROPER WEATHER CONDITIONS EXIST FOR THE ESTABLISHMENT OF PERMANENT VEGETATION COVER.
3. IN EVENT OF EMERGENCY CONDITIONS, TILLAGE WILL BE SATISFACTORY FREE BEFORE SOIL BLOWING STARTS.
4. CALCIUM CHLORIDE MAY BE APPLIED TO UNPAVED ROADWAY AREAS, ONLY, SUBJECT TO THE ENGINEER'S APPROVAL AND CONFORMANCE WITH FDOT STANDARD SPECIFICATIONS, LATEST EDITION.

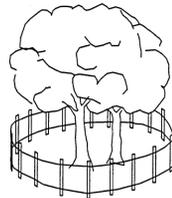
PROPOSED SEQUENCE OF CONSTRUCTION:

THIS PROJECT SHALL CONSIST OF THE CONSTRUCTION OF SANITARY SEWERS OR WATER MAINS BY THE EMERALD COAST UTILITIES AUTHORITY OR ITS CONTRACTOR WITHIN PUBLIC RIGHTS OF WAY. THE CONSTRUCTION SHOULD PROCEED IN THE FOLLOWING MANNER:

1. INSTALLATION OF ALL SEDIMENT AND EROSION CONTROL DEVICES THAT CAN BE PLACED PRIOR TO ANY MAJOR SOIL DISTURBANCES.
2. CLEAR AND REMOVE ALL EXISTING VEGETATION IN THOSE AREAS WHERE NECESSARY. ALL REMAINING VEGETATION TO BE PROPERLY PROTECTED AND TO REMAIN IN ITS NATURAL STATE. TOPSOIL IN AREAS TO BE DISTURBED TO BE STRIPPED TO A MINIMUM DEPTH OF SIX (6) INCHES AND STOCKPILED SEPARATELY FROM OTHER EXCAVATED SOIL(S)
3. IMMEDIATE INSTALLATION OF ALL REMAINING SEDIMENT AND EROSION CONTROL DEVICES.
4. INITIATE CONSTRUCTION OF SANITARY SEWER AND/OR WATER MAIN.
5. UPON COMPLETION OF CONSTRUCTION ACTIVITIES, PROVIDE RESTORATION, FINE GRADE REMAINDER OF SITE, RESPREAD STOCKPILED TOPSOIL AND STABILIZE WITH PERMANENT VEGETATIVE COVER AND LANDSCAPING.
6. REMOVAL OF APPROPRIATE TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.

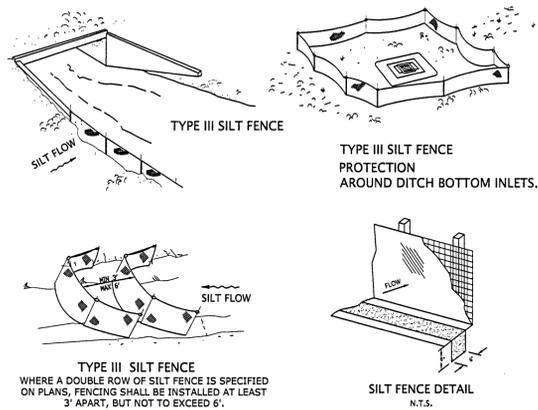


STABILIZED CONSTRUCTION ENTRANCE DETAIL
N.T.S.



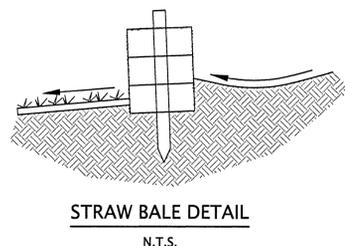
NOTE:
ALL PROTECTED TREES AS SHOWN ON THE PLANS TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING AT THE DRIP LINE OF EACH PROTECTED TREE BEFORE WORKING IN THE VICINITY OF THE TREE. BARRICADES SHALL ALSO BE PROPERLY INSTALLED AND MAINTAINED IN GOOD WORKING ORDER UNTIL SITE BECOMES STABILIZED.

TREE BARRICADE DETAIL
N.T.S.



DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.

SILT FENCE APPLICATIONS
N.T.S.



STRAW BALE DETAIL
N.T.S.

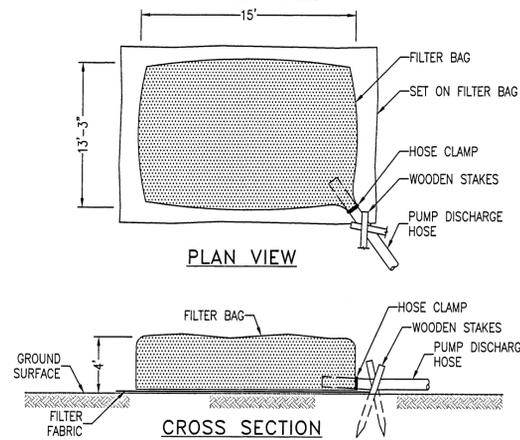
DESCRIPTION:
FILTER BAGS WILL BE USED AS AN EFFECTIVE FILTER MEDIUM TO CONTAIN SAND, SILT AND FINES WHEN TRENCH DEWATERING. THE WETLAND FILTER BAG CONTAINS THESE MATERIALS WHILE ALLOWING THE WATER TO FLOW THROUGH THE FABRIC.

INSTALLATION:
WETLAND FILTER BAGS MAY REPLACE HAY BALE CORRALS DURING TRENCH DEWATERING, AT THE DISCRETION OF THE ENGINEER INSPECTOR. TO INSURE PROPER INSTALLATION, FILTER BAGS WILL BE PLACED ON RELATIVELY FLAT TERRAIN FREE OF BRUSH AND STUMPS TO AVOID RUPTURES AND PUNCTURES. PROPER INSTALLATION REQUIRES CUTTING A SMALL HOLE IN THE CORNER OF THE BAG, INSERTING THE PUMP DISCHARGE HOSE, AND THEN SECURING THE DISCHARGE HOSE TO THE BAG WITH A HOSE CLAMP. FILTER BAGS WILL BE PLACED AS FAR AWAY FROM FLOWING STREAMS AND WETLANDS AS POSSIBLE.

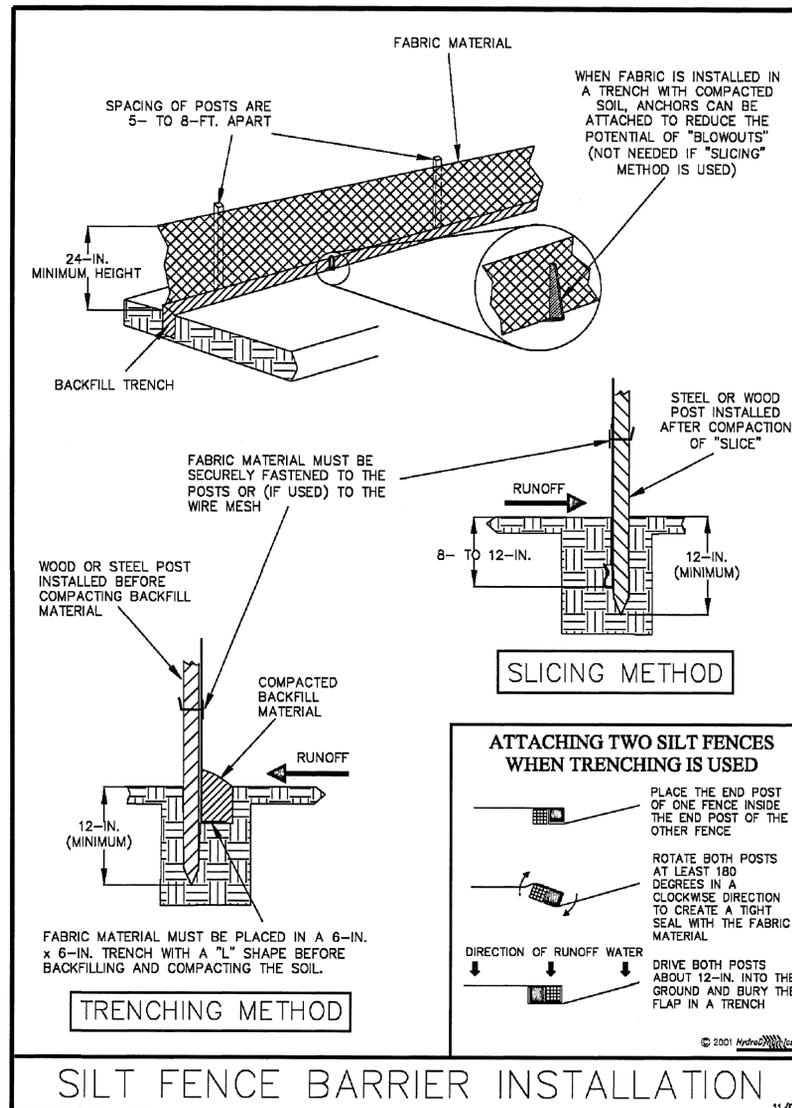
MAINTENANCE:
PRIOR TO REMOVING A BAG FROM THE HOSE, THE BAG WILL BE TIED OFF BELOW THE END OF THE HOSE ALLOWING THE BAG TO DRAIN. DRAINAGE WILL NOT BE ALLOWED THROUGH THE INLET HOLE. TO AVOID RUPTURE, THE BAGS WILL BE ATTENDED AND PUMPING RATES MONITORED. ONCE THE BAG IS INFLATED TO A HEIGHT OF 4 FEET, PUMPING WILL STOP TO AVOID RUPTURE. FILTER BAGS USED DURING CONSTRUCTION WILL BE BUNDLED AND REMOVED FOR PROPER DISPOSAL.

SPECIFICATION:
FILTER BAGS ARE CONSTRUCTED OF NON-WOVEN GEOTEXTILE FABRIC. A MAXIMUM OF ONE SIX INCH DISCHARGE HOSE WILL BE ALLOWED PER FILTER BAG. BAG CAPACITY WILL BE EXCEEDED BEYOND 2,000 GALLONS PER MINUTE. TYPICAL BAG DIMENSIONS ARE 15 FEET BY 13.25 FEET. TO HELP PREVENT PUNCTURES, GEOTEXTILE FABRIC WILL BE PLACED BENEATH THE FILTER BAG WHEN USED IN WOODDED LOCATIONS. UNATTENDED FILTER BAGS WILL BE ENCIRCLED WITH A HAY BALE OR SILT FENCE CORRAL. HOSE CLAMPS WILL BE USED TO SECURE THE DISCHARGE HOSE, WIRE OR STRING WILL NOT BE USED.

NOTE:
CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITTING ASSOCIATED WITH DEWATERING ACTIVITIES. DEWATERING ACTIVITIES MAY REQUIRE ADDITIONAL PERMITS FROM THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (INDUSTRIAL WASTEWATER) AND THE NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT (CONSUMPTIVE USE).



FILTER BAG DETAIL FOR TRENCH DEWATERING OPERATIONS
N.T.S.



BELL
ENGINEERING SERVICES
Jennifer D. Bell, P.E. (FL #64666)
Pensacola, Florida 32503
EB 00029198

**EROSION CONTROL
DETAILS & TREE NOTES**

DOLLAR GENERAL
STORE #22360
7810 PINE FOREST ROAD
PENSACOLA, FLORIDA

DATE	#	REVISION DESCRIPTION
09/30/20	1	ESCO REVIEW
10/15/20	2	FOOT DRAINAGE REVIEW
10/15/20	3	DEVELOPER CHANGES

JENNIFER D. BELL
Professional Engineer
STATE OF FLORIDA
FL PE # 64666

Job No.: 2020014
Date: 10/19/20

C1.1

STORM WATER POLLUTION PREVENTION PLAN

1.0 BACKGROUND & REQUIREMENTS:

1.1 Introduction:

The referenced support documentation for this Storm Water Pollution Prevention Plan (SWPPP) is the United States Environmental Protection Agency's (EPA) Storm Water Management for Construction Activities, Developing Pollution Prevention Plans and Best Management Practices Summary Guidance (EPA 833-R-92-001) and Storm Water Management for Construction Activities, Developing Pollution Prevention Plans and Best Management Practices (EPA 832-R-92-005). This SWPPP is designed to protect onsite and adjacent natural resources, including but not limited to, wetlands, marshes, bayous and bays, while preserving wildlife and archeological resources.

An ERP application (10/2) was made in August 2020

1.2 Notice of Intent (NOI):

Rule 62-621.300(4), FAC requires the construction operator of a site that disturbs one or more acres to obtain coverage from the Generic Permit for Stormwater Discharge from Large and Small Construction Activities. The contractor is required to submit a Notice of Intent to Use Generic Permit for Stormwater Discharge from Large and Small Construction Activities (FDEP Form 62-621.300(4)(b)) along with the appropriate application fee to the following address 48 hours prior to commencing construction:

NPDES Stormwater Notices Center, MS # 2510
Florida Department of Environmental Protection
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

This form can be obtained from FDEP's website (www.dep.state.fl.us) or by contacting FDEP. Please note that the current application fee is \$250; however, this fee is subject to change without notice. Always refer to the most current version of Rule 62-4.050(4)(d), FAC to confirm the amount before submitting payment. If construction activity exceeds five years, the contractor must re-apply for coverage.

1.3 Stormwater Pollution Prevention Plan (SWPPP):

The contractor is required to certify this Stormwater Pollution Prevention Plan (SWPPP) below prior to submitting the NOI. This SWPPP is not required to be submitted with the NOI, but is required to be kept on site during all phases of construction. Because erosion and sediment controls and construction methods vary significantly from contractor to contractor, the contractor can propose alternative methods to this SWPPP that are equal or better at controlling erosion and sedimentation. At a minimum, the contractor must follow the erosion control plan specified in the construction plans and documents. Any modifications to this SWPPP must be documented and kept with the plan as part of the records keeping process to be in full compliance with the CGP.

1.4 Contractor's Certification:

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

<u>Print & Sign Name</u>	<u>Company & Address</u>
_____	_____
<u>Name & Title (Print)</u>	_____
_____	_____
<u>Signature</u>	<u>Date</u>
_____	_____
Responsibilities (General Contractor, Site Contractor, Subcontractor, Other):	

1.5 Notice of Termination (NOT):

The contractor is required to submit a Notice of Termination of Generic Permit Coverage (FDEP Form 62-621.300(6)) upon construction completion to discontinue permit coverage. The NOT is to be submitted to the following address:

NPDES Stormwater Notices Center, MS # 2510
Florida Department of Environmental Protection
2600 Blair Stone Road
Tallahassee, Florida 32399-2400

This form can be obtained from FDEP's website (www.dep.state.fl.us) or by contacting FDEP. The NOT can not be submitted until all disturbed soils at the construction site have been finally stabilized and temporary erosion and sediment control measures have been REMOVED or will be REMOVED at an appropriate time. Final stabilization means that all soil disturbing activities at the site have been completed and that a uniform perennial vegetative cover with a density of 70 percent of the cover for unpaved areas and areas not covered by permanent structures has been established, or equivalent stabilization measures have been employed. If construction activity exceeds five years, the contractor must re-apply for coverage.

1.6 Application Information:

Project Address: Pine Forest Rd & Kersey Road
Pensacola, Florida
Escambia County, Florida
Latitude: 30°30'42.45"N
Longitude: 87°18'30.95"W
Water Management District: Northwest Florida (NWFWM) MS4 Operator Name: ESCO
Receiving Water Name: Eventual outflow to a tributary of Perdido River

2.0 SITE DESCRIPTION:

2.1 Nature of Construction Activities:

This project involves the construction of a 8,960 sf Dollar General Store. Construction includes paved parking, utilities and stormwater management system.

2.2 Sequence of Major Soil Disturbing Activities:

The following sequence of major activities shall be followed unless the contractor can propose an alternative that is equal to or better at controlling erosion and sedimentation. The detailed sequence for the entire project can vary significantly from contractor to contractor. The contractor is responsible for documenting any changes.

1. Clear, grub and perform all demolition work.
2. Complete rough grading of the pond and direct all stormwater runoff to the pond(s).
3. Construct all underground utilities and storm drain system.
4. Construct roads (subgrade, curb & gutter, base, pavement, sidewalks, and landscaping).
7. Complete stormwater ponds.

2.3 Area Estimates:

Onsite Area: 2.54 acres
Offsite Area: 0.00 acres
Total Area: 2.54 acres
Area to be Disturbed: 1.52 acres

2.4 Runoff Data:

Runoff Coefficients (c):
Before: Total Composite c = 0.20
During: Varies between 0.20 and 0.95
After: Varies between 0.20 and 0.95
Total Composite c = 0.65
Soils Data:

For detailed soils information, refer to the Geotechnical Services Report prepared by Universal Engineering, in August 2020.

Drainage Areas for Each Outfall:
Outfall Location Total Area flowing to Pond 'c' coefficient
No Discharge 1.52 ac 0.65

2.5 Site Map:

The construction plans are to be used as the site maps. The location of the required information is described below. The sheet numbers for all the items discussed below are identified on the Cover Sheet of the construction plans.

- **Drainage Patterns:** All drainage patterns are shown on the Grading & Drainage Plans.
- **Approximate Slopes:** Approximate slopes are shown on the Grading & Drainage Plan. Pond side slopes are shown on the pond cross-sections, located on the Grading & Drainage Plan.
- **Areas of Soil Disturbance:** All demolition is shown on the Existing Site Conditions and Demolition and Erosion Control Plan Sheet. All proposed construction is shown on the remaining plans. Any areas where demolition work or permanent features are shown above or below ground will be disturbed.
- **Areas not to be Disturbed:** Any areas not showing demolition work or permanent features are assumed not to be disturbed. It will be the contractor's responsibility to indicate on the plans any of these areas that do get disturbed as well as any areas used for staging and materials storage.
- **Locations of Controls:** All proposed temporary controls and existing permanent controls are shown on the Existing Site, Demolition and Erosion Control Plan. All proposed permanent controls are shown on the remaining plans. It will be the contractor's responsibility to indicate the location of any other controls on the plans that are used during construction.
- **Areas to be Stabilized:** Permanent stabilization is shown on the plans. It will be the contractor's responsibility to indicate the location on the plans of all temporary stabilization practices used during construction.
- **Surface Waters:** N/A
- **Discharge Points:** 100-year attenuation with no discharge (emergency overflow proposed).

2.6 Receiving Waters:

No discharge - emergency outfall only.

3.0 CONTROLS:

3.1 Erosion and Sediment Controls:

All erosion and sediment controls specified on the Demolition and Erosion Control Plan Sheets, and the Erosion Control Details shall be installed prior to any construction or demolition. Silt fencing and staked hay bales shall be installed along down-gradient limits.

Temporary seeding and mulching shall be applied after 14-day intervals of ceased disturbance activities that will exceed 20-day periods. Graded areas shall be stabilized with permanent seeding, mulching, and fertilizing, or sodding within five days of final grading. Landscaping, including sodding, shall be installed by an experienced Landscape Contractor. Proposed disturbed areas will not exceed 8 acres in any drainage area.

3.2 Stormwater Management:

Proposed stormwater management facilities for this site includes a shallow dry retention pond with no discharge (100 year). The system has been designed to accommodate the entire developed site. The proposed stormwater management facilities meet all stormwater treatment requirements and all rate control requirements set forth by the local and state regulatory agencies.

3.3 Other Controls:

Waste Disposal: The contractor is responsible for all waste disposal from the site. The contractor shall employ waste disposal practices that meet all local, state, and federal guidelines and prevent discharge of solid materials to waters of the United States. The Contractor is responsible for documenting this portion of the SWPPP.

Offsite Vehicle Tracking: If off site tracking of sediments by construction vehicles occurs, the contractor is required to install a Soil Tracking Prevention Device (STPD) as per FDOT Standard Index 106 at all exits to the site where sediment tracking is occurring. The Contractor is also responsible for documenting this portion of the SWPPP.

4.0 MAINTENANCE:

Controls shall be kept in full operating condition throughout all phases of construction until all disturbed areas are completely stabilized. Maintenance, repair records and repair requests shall be documented. Repairs and deficiencies shall be completed as soon as possible and within seven days after inspection. Any required changes that are not covered in the SWPPP shall also be made as soon as possible within seven days and documented.

5.0 INSPECTIONS:

Qualified personnel shall inspect the following items, but not limited to, at least once every seven calendar days and within 24 hours of the end of a storm that is 0.25 inches or greater. Where sites have been finally stabilized, inspections shall be conducted at least once every month.

- Points of discharge to waters of the United States.
- Points of discharge to municipal separate storm sewer systems.
- Disturbed areas of the site that have not been finally stabilized.
- Areas used for storage of materials that are exposed to precipitation.
- Structural controls.
- Stormwater management systems.
- Locations where vehicles enter or exit the site.

6.0 NON-STORMWATER DISCHARGES:

The Contractor shall be responsible for reporting any hazardous substance spills that may equal or exceed a Reportable Quantity (RQ). Refer to EPA's List of Hazardous Substances and Reportable Quantities (EPA 40 CFR 302.4 & 117). This list can be obtained from EPA's website (www.epa.gov) or by contacting EPA. If an RQ release does occur the Contractor shall perform the following procedures:

- Notify the National Response Center immediately at 800-424-8802.
- Provide written description of the release within 14 days providing dates, cause and prevention methods to the regional EPA office.
- Modify the SWPPP as necessary to address added prevention methods.

7.0 IMPLEMENTATION CHECKLIST:

7.1 Records:

The Contractor shall maintain records of construction activities including, but not limited to:

- Dates when major grading activities occur.
- Dates when construction activities temporarily cease on a portion of the site.
- Dates when construction activities permanently cease on a portion of the site.
- Dates when stabilization measures are initiated on the site.

7.2 Inspection Reports:

The Contractor shall prepare inspection reports summarizing the following, but not limited to:

- Name of inspector.
- Qualifications of inspector.
- Measures/areas inspected.
- Observed conditions.
- Changes necessary to the SWPPP.

7.3 Releases of Reportable Quantities of Oil or Hazardous Materials:

The Contractor shall report any releases of reportable quantities of oil or hazardous materials if they occur as per the measures outlined in Section 6.0 of the SWPPP.

7.4 SWPPP Modification:

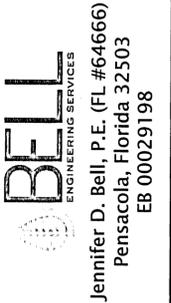
The Contractor shall modify the SWPPP as necessary to:

- Comply with minimum permit requirements when notified by FDEP that the plan does not comply.
- Address any changes in design, construction operations or maintenance, which has an effect on the potential for discharge of pollutants.
- Prevent reoccurrence of reportable quantity releases of hazardous material or oil.

8.0 TERMINATION CHECKLIST:

The following items shall be complete before submitting the NOT:

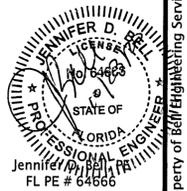
- All soil disturbing activities are complete.
- Temporary erosion and sediment control measures have been REMOVED or will be REMOVED at an appropriate time.
- All areas of the construction site not otherwise covered by permanent pavement or structure have been stabilized with uniform perennial vegetative cover with a density of 70% or equivalent measures have been employed.



NPDES - STORMWATER
POLLUTION
PREVENTION PLAN

DOLLAR GENERAL
STORE #2360
7810 PINE FOREST ROAD
PENSACOLA, FLORIDA

DATE	#	REVISION DESCRIPTION
09/30/20	1	ESCO REVIEW
10/15/20	2	FDOT DRAINAGE REVIEW
10/15/20	3	DEVELOPER CHANGES



Job No.: 2020014
Date: 10/19/20

C1.2

DATE	#	REVISION DESCRIPTION
09/30/20	1	ESCO REVIEW
10/15/20	2	FDOT DRAINAGE REVIEW
10/15/20	3	DEVELOPER CHANGES

Jennifer D. Bell, PE
FL PE # 64666
Job No.: 2020014
Date: 10/19/20
C2.0

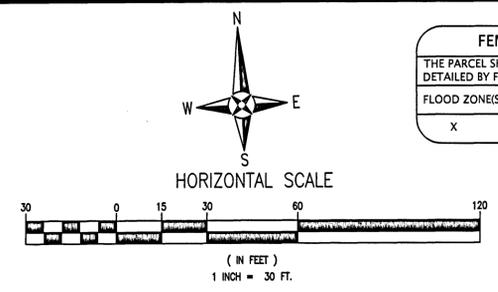
This drawing is the property of Bell Engineering Services, LLC and may not be reproduced without written permission.

FEMA FLOOD INSURANCE RATE MAP INFORMATION

THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:

FLOOD ZONE(S)	COMMUNITY NO	MAP NO	PANEL NO	SUFFIX	MAP REVISION DATE
X	120080	12033C	0295	G	SEPT. 29, 2006

SIGN MOUNTING NOTE:
FOR SIGN MOUNTING DETAILS SEE FDOT INDEX #700-101 & #700-010.



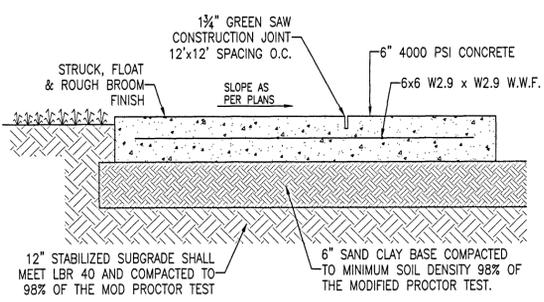
LEGEND

	EXISTING ASPHALT		PROPOSED CONCRETE
	PROPOSED HEAVY DUTY ASPHALT		PROPOSED WOOD FENCE
	PROPOSED LIGHT DUTY ASPHALT		

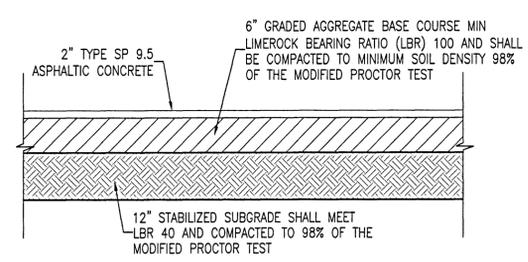
- GENERAL NOTES:**
1. ALL PAVEMENT MARKINGS AND STRIPING SHALL BE THERMOPLASTIC AND INSTALLED ACCORDING TO FDOT STANDARD PLAN 711-001.
 2. ALL WORK IN THE R/W SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE ROADWAY & TRAFFIC DESIGN STANDARDS, THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, THE PLANS PREPARATION MANUAL (PPM), THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ESCAMBIA COUNTY DESIGN STANDARDS.
 3. ALL DISTURBED AREAS IN THE R/W SHALL BE REGRADED AND SODDED AND/OR SEED AND MULCHED. OTHER DISTURBED AREAS MAY BE REPAIRED BY SEEDING OR HYDROSEEDING. ALL SOD IN THE FDOT R/W SHALL BE BAHIA.
 4. ALL NEEDED STRIPING DESTROYED DURING CONSTRUCTION SHALL BE RESTRIPTED (THERMOPLASTIC ONLY IN COUNTY R/W).
 5. ALL LANES MUST BE OPEN FOR TRAFFIC DURING AN EVACUATION NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT AS DIRECTED BY THE LOCAL MAINTENANCE ENGINEER OR HIS DESIGNEE.
 6. AT COMPLETION OF CONSTRUCTION, ALL EXPOSED DIRT SHALL BE STABILIZED WITH SOD, A HAY/SEED MIX OR HYDROSEED (BAHIA SOD ONLY IN COUNTY R/W).
 7. ALL NEWLY PLACED SOD (ONSITE & IN R/W) SHALL BE WATERED REGULARLY UNTIL GRASS IS ESTABLISHED.
 8. A SEPARATE SIGN PERMIT IS REQUIRED FOR ALL SIGNAGE.
 9. ALL SITE FENCING SHALL BE INSTALLED FINISHED SIDE OUT.
 10. NO WORK SHALL BE PERFORMED IN THE R/W UNTIL THE PROPER MAINTENANCE OF TRAFFIC IS IN PLACE ACCORDING TO THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
 11. ALL MECHANICAL AND UTILITY EQUIPMENT MUST BE EFFECTIVELY SCREENED FROM ANY PUBLIC WAY.
 12. ALL SIGNS SHALL BE INSTALLED PER FDOT STANDARD PLAN 700-010.
 13. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "ASBUILT" SIGN OFF FROM THE COUNTY.
 14. THE CONTRACTOR SHALL NOTIFY ESCO ROAD DEPARTMENT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE RIGHT OF WAY.
 15. THE COUNTY WILL REVIEW ALL LANE/SIDEWALK CLOSURE, DETOUR AND LANE SHIFT REQUESTS SEPARATELY FROM THE PERMIT PROCESS. COUNTY APPROVAL IS REQUIRED BEFORE COMMENCEMENT OF WORK INVOLVING THE CLOSURE, DETOUR OR LANE SHIFT FOR WORK ALONG THE COUNTY ROADWAY SYSTEM.

- NOTES:**
1. WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.
 2. ALL CURB TO HAVE DUMMY JOINT AT 10' ON CENTER. MIN. DEPTH OF JOINT TO BE 2".
 3. EXPANSION JOINTS ARE TO BE 30' ON CENTER. TYPICAL FOR ALL CURB.

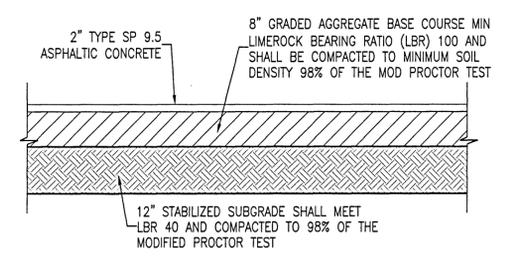
MODIFIED TYPE 'F' CURB & GUTTER
N.T.S.



CONCRETE PAVEMENT (LOADING ZONE) DETAIL
N.T.S.



LIGHT DUTY ASPHALT PAVEMENT DETAIL
N.T.S.



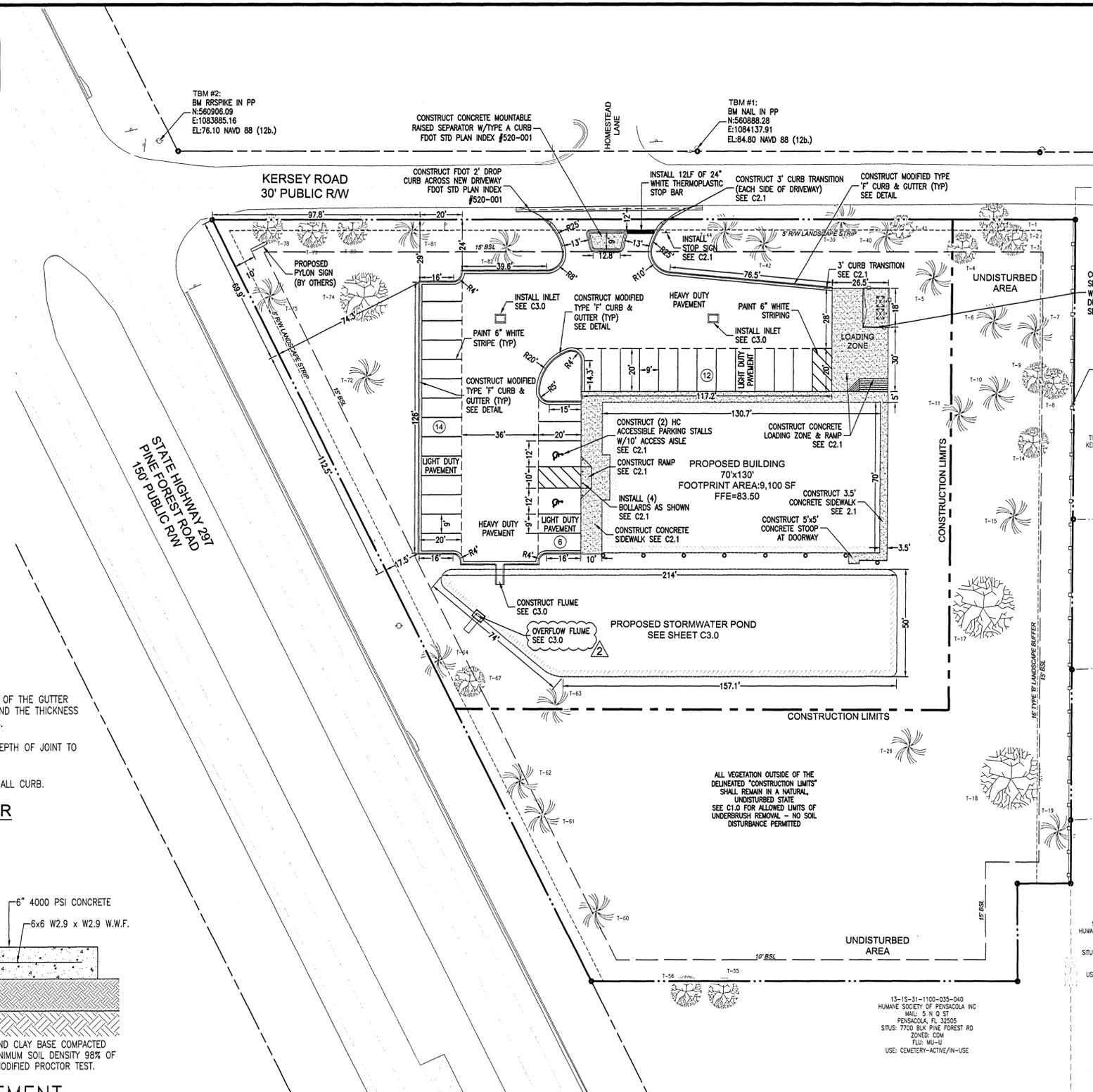
HEAVY DUTY ASPHALT PAVEMENT DETAIL
N.T.S.

SPEED LIMIT TABLE

SPEED LIMIT	ROADWAY
45 MPH	PINE FOREST ROAD
25 MPH	KERSEY ROAD

BENCHMARK TABLE:

ELEV 84.80' (NAVD 88 12b)	TBM NO. 1: NAIL IN PP N:560888.28, E:1084137.91
ELEV 76.10' (NAVD 88 12b)	TBM NO. 2: RR SPIKE IN PP N:560906.09, E:1083885.16



AREA CALCULATIONS:
TOTAL PROPERTY AREA = 110,729 SF (2.54± AC)
PROJECT AREA = 66,131 SF (1.52± AC)
EXISTING IMPERVIOUS AREA = 0 SF
EXISTING PERVIOUS AREA = 66,131 SF
UNDISTURBED (PERVIOUS) AREA = 44,598 SF (0 AC)

PROJECT AREA = 66,131 SF (1.52± AC)
PROPOSED IMPERVIOUS AREA = 29,786 SF (45%)
PROPOSED ASPHALT/CONCRETE AREA = 20,686 SF (31.2%)
PROPOSED BUILDING GFA AREA = 9,100 SF (13.8%)
PROPOSED PERVIOUS AREA = 36,345 SF (55%)
PROPOSED RETENTION AREA = 9,600 SF

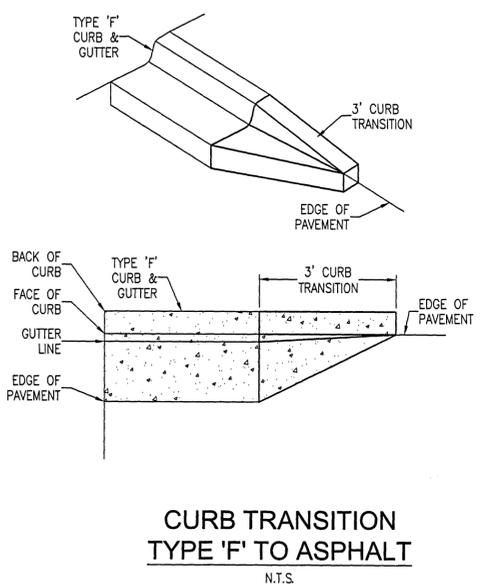
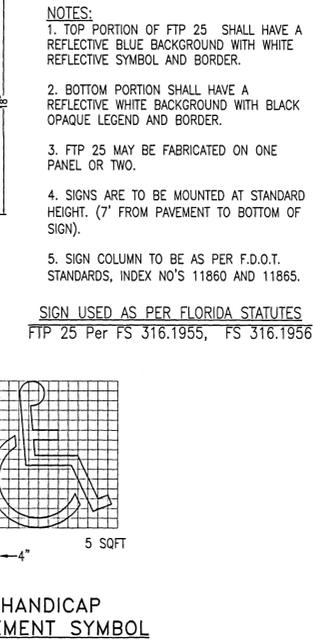
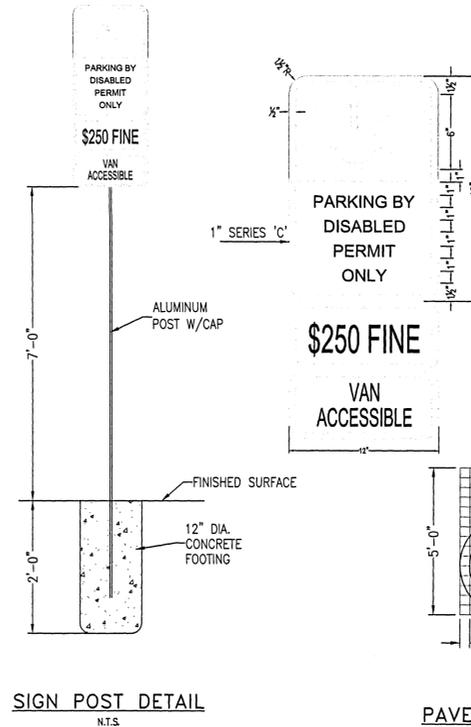
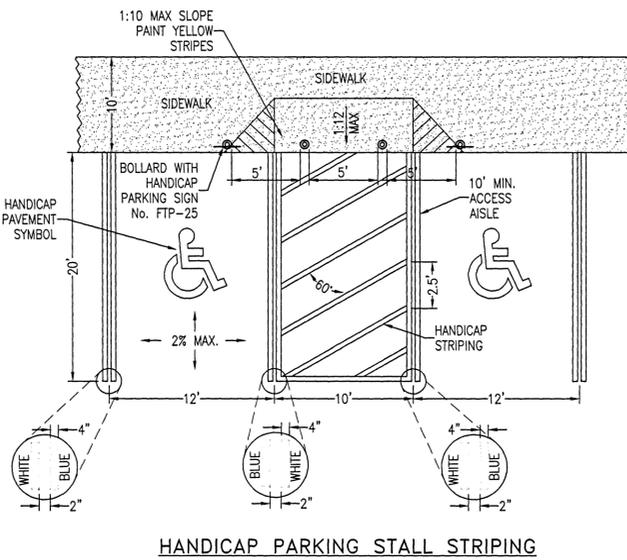
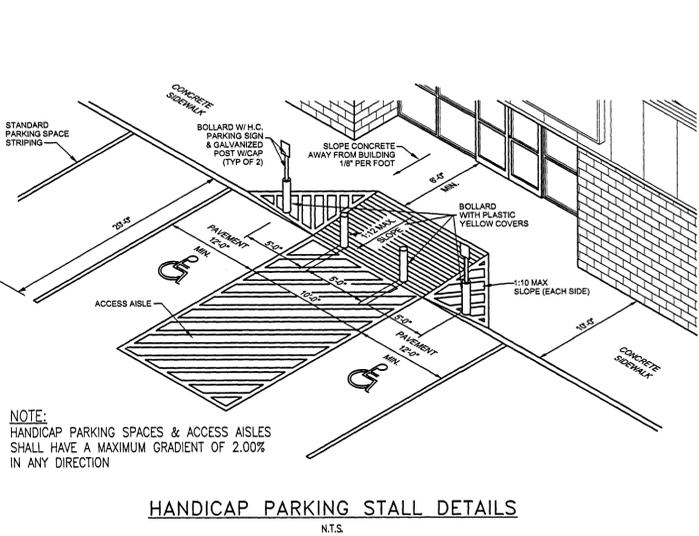
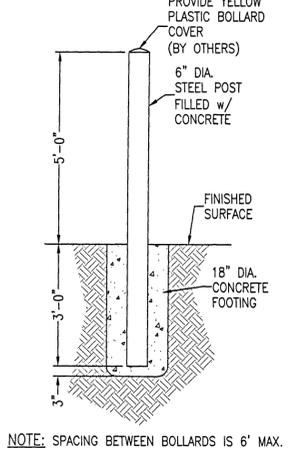
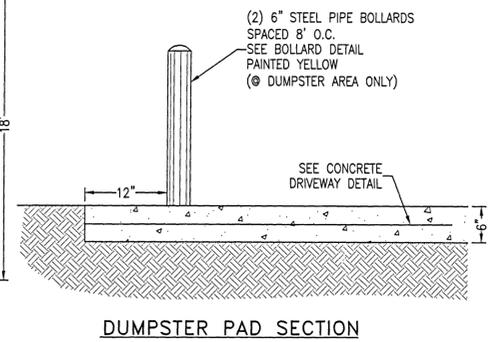
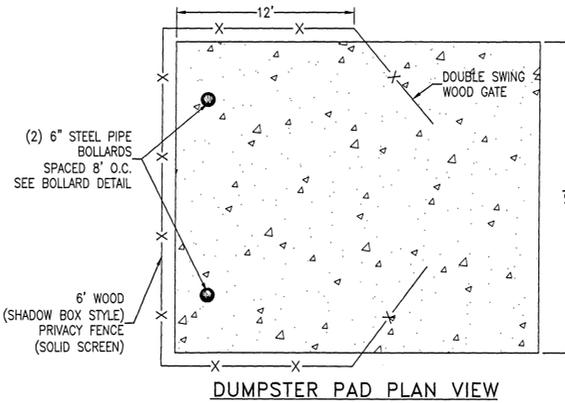
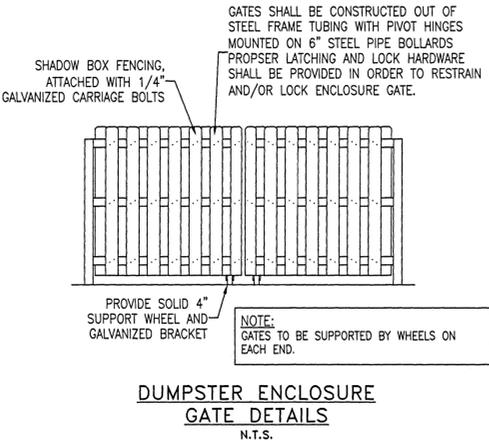
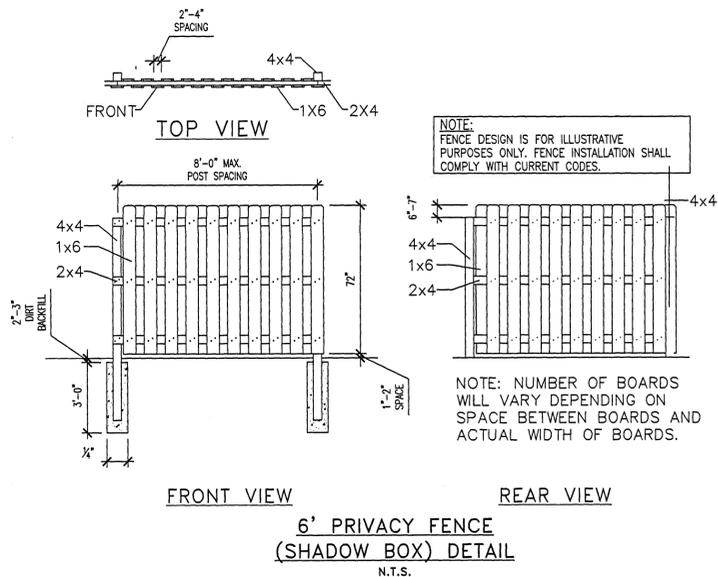
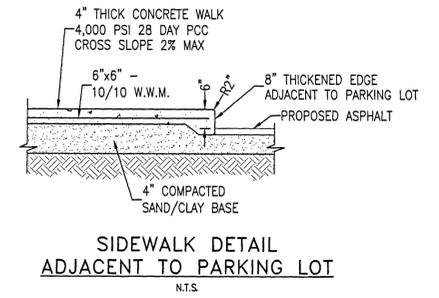
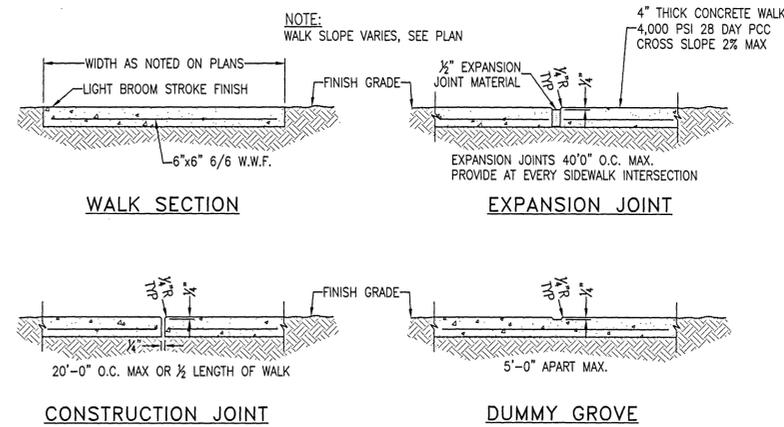
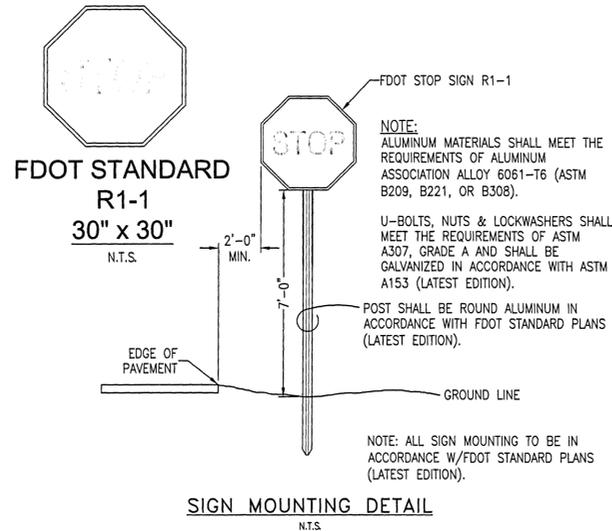
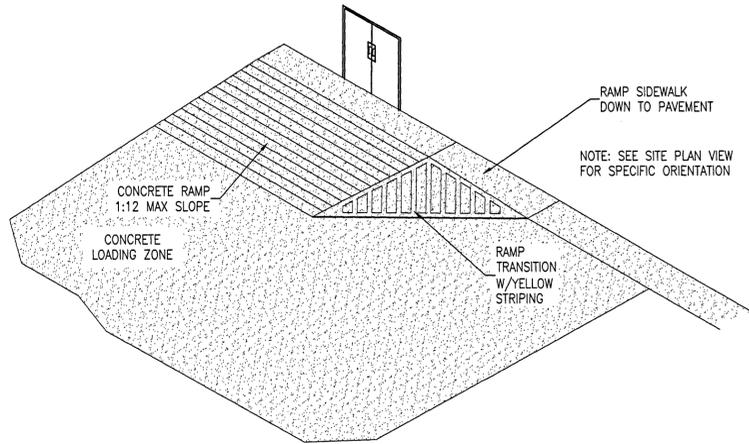
PARKING REQUIREMENTS:
TOTAL REQUIRED PARKING SPACES (GENERAL RETAIL COMMERCIAL)
(3 SPACES PER 1,000 SF : 9,070 SF / 1,000 * 3 = 27.2 (28 SPACES)
TOTAL PARKING SPACES REQUIRED = 28 SPACES
TOTAL PARKING SPACES PROVIDED = 32 SPACES
STANDARD PARKING SPACES = 30 SPACES
H.C. PARKING SPACES = 2
(2 H.C. FOR 26-50 PARKING SPACES PROVIDED)

PROJECT NOTES:
TRASH PICK-UP WILL BE PROVIDED BY AN ON SITE DUMPSTER.

SIGNAGE NOTE:
ROADWAY: PINE FOREST ROAD
CLASSIFICATION: MAJOR COLLECTOR
PROPERTY FRONTAGE: 396 LF
BUILDING FRONTAGE AT GRADE: 70 LF

FREESTANDING SIGN AREA: ONE SF PER LF OF FRONTAGE = 396 SF
FREESTANDING MAX SIGN HEIGHT: 35 LF
WALL SIGN AREA: 2.25 SF PER LF OF BUILDING FRONTAGE AT GRADE = 158 SF

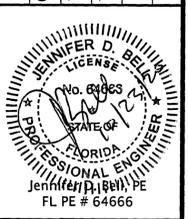
A VALID ESCAMBIA COUNTY SIGN PERMIT MUST BE OBTAINED PRIOR TO ERECTING, CONSTRUCTING, ALTERING, OR RELOCATING ANY SITE SIGNAGE.



DOLLAR GENERAL

STORE #22360
7810 PINE FOREST ROAD
PENSACOLA, FLORIDA

DATE	#	REVISION DESCRIPTION
09/30/20	1	ESCO REVIEW
10/15/20	2	FDOT DRAINAGE REVIEW
10/15/20	3	DEVELOPER CHANGES



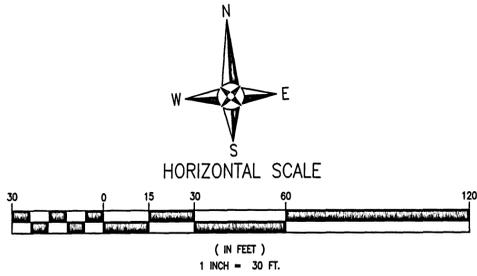
Job No.: 2020014
Date: 10/19/20

C2.1

MISCELLANEOUS
SITE DETAILS

BELL
ENGINEERING SERVICES
Jennifer D. Bell, P.E. (FL #64666)
Pensacola, Florida 32503
EB 00029198

This drawing is the property of Bell Engineering Services, LLC and may not be reproduced without written permission.



LEGEND

	EXISTING ASPHALT
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	BENCHMARK
	FLOW ARROW
	PROPOSED SPOT ELEVATION

- GENERAL NOTES:**
- THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION(S). THE CONTRACTOR SHALL CONTROL STORM WATER DURING ALL PHASES OF CONSTRUCTION.
 - THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
 - ALL ASPECTS OF THE STORM WATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
 - THE ENGINEER OF RECORD SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
 - NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE COUNTY. ANY DEVIATIONS MAY RESULT IN OBTAINING A CERTIFICATE OF OCCUPANCY.
 - RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORM WATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORM WATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
 - THE DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN-OUT ACCUMULATED SILT, AND STABILIZE RETENTION PONDS AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
 - THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH ESCAMBIA COUNTY, A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
 - ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD.
 - ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORM WATER TO RETENTION/DETENTION AREAS.
 - ALL RIP-RAP FLUMES SHALL BE INSTALLED WITH A FILTER FABRIC INSTALLED UNDERNEATH FOR THE ENTIRE AREA OF THE RIP-RAP.
 - THE CONTRACTOR SHALL NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RIGHT-OF-WAY. (1-800-432-4770).
 - THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHT OF WAY.

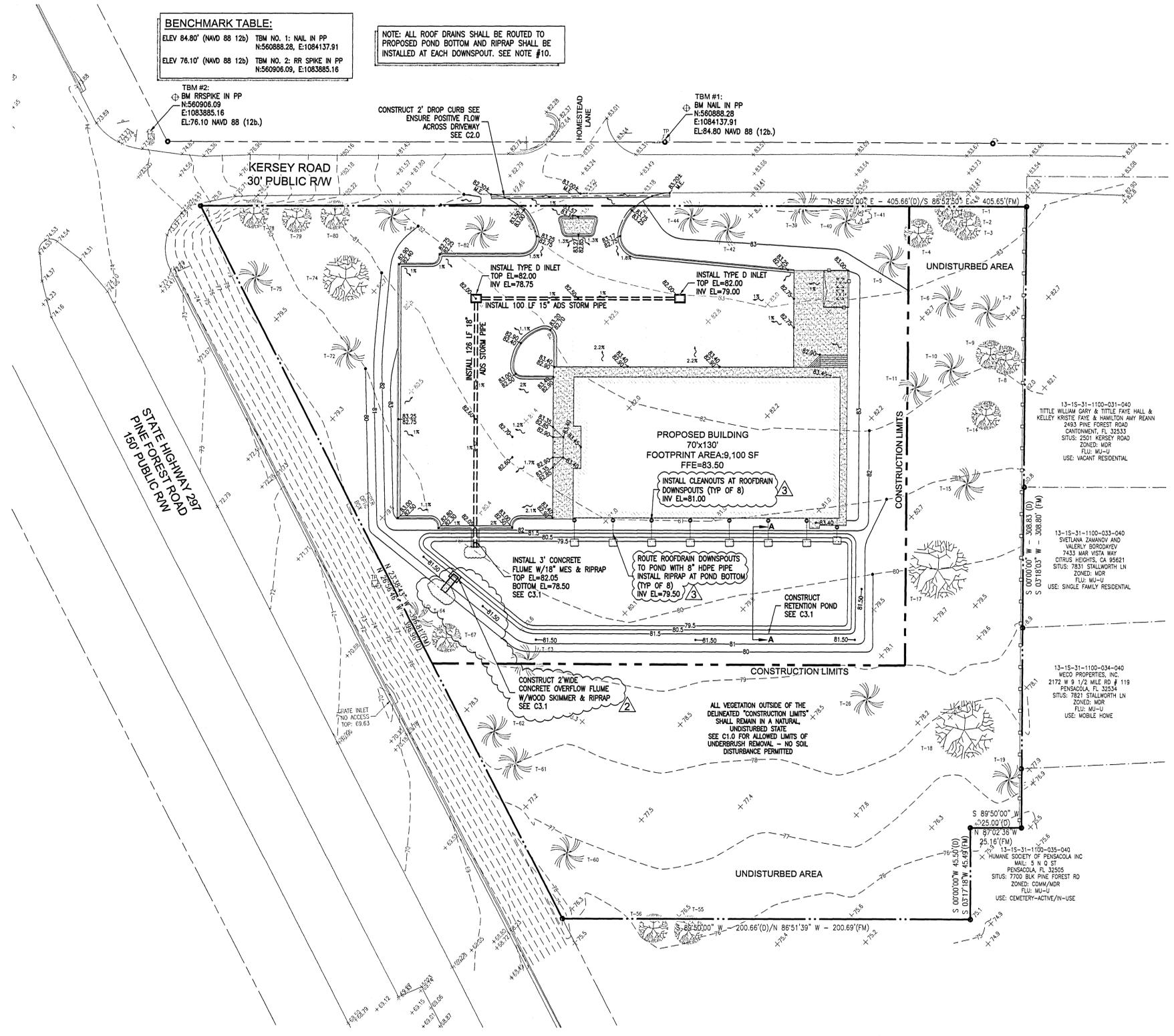
NWFWMD ENVIRONMENTAL RESOURCE PERMITTING (ERP) NOTES:

- AT LEAST 48 HOURS PRIOR TO BEGINNING THE AUTHORIZED ACTIVITIES, THE PERMITTEE (VA CONTRACTOR) SHALL SUBMIT TO THE AGENCY A FULLY EXECUTED FORM 62-330.350(1), "CONSTRUCTION COMMENCEMENT NOTICE" INDICATING THE EXPECTED START AND COMPLETION DATES. THE NPDES NOI TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES, DEP FORM 62-621.300(4)(b), SHALL ALSO SERVE AS NOTICE OF COMMENCEMENT OF CONSTRUCTION UNDER FAC 62-330. COPIES OF THE NOTICES SHALL BE FORWARDED TO THE EOR.
- WITHIN 30 DAYS AFTER COMPLETING CONSTRUCTION OF THE ENTIRE PROJECT, OR ANY INDEPENDENT PORTION OF THE PROJECT, THE PERMITTEE (VA EOR) SHALL PROVIDE THE ASBUILT CERTIFICATION AND REQUEST FOR CONVERSION TO OPERATION PHASE FORM 62.330.310(1). THE OWNER IS RESPONSIBLE FOR OBTAINING AN ASBUILT SURVEY IN ORDER TO VERIFY THAT THE FINISHED ELEVATIONS ARE IN COMPLIANCE WITH THE APPROVED PLANS. THIS SURVEY SHALL BE PROVIDED TO THE EOR IN ORDER TO COMPLETE THE ASBUILT CERTIFICATIONS.
- THE OPERATION AND MAINTENANCE OF THE FACILITY WILL BE THE RESPONSIBILITY OF THE OWNER, AS IN ACCORDANCE WITH THE APPROVED PERMIT.
- A COPY OF THE PERMIT SHALL BE KEPT ONSITE.
- THE CONTRACTOR IS REQUIRED TO REVIEW THE COMPLETE PERMIT PRIOR TO CONSTRUCTION COMMENCEMENT.
- AN 8 1/2"x11 WEATHER RESISTANT SIGN, INCLUDING THE PERMIT NUMBER, SHALL BE PLACED ON THE PROPERTY FACING THE ROAD.

BENCHMARK TABLE:

ELEV 64.80' (NAVD 88 12b)	TBM NO. 1: NAIL IN PP
N:560888.28, E:1084137.91	
ELEV 76.10' (NAVD 88 12b)	TBM NO. 2: RR SPIKE IN PP
N:560908.09, E:1083885.16	

NOTE: ALL ROOF DRAINS SHALL BE ROUTED TO PROPOSED POND BOTTOM AND RIPRAP SHALL BE INSTALLED AT EACH DOWNSPOUT. SEE NOTE #10.

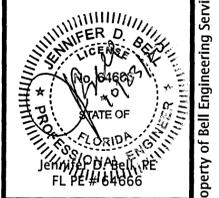


BELL
ENGINEERING SERVICES
Jennifer D. Bell, P.E. (FL #64666)
Pensacola, Florida 32503
EB 00029198

GRADING & DRAINAGE PLAN

DOLLAR GENERAL
STORE #22360
7810 PINE FOREST ROAD
PENSACOLA, FLORIDA

DATE	#	REVISION DESCRIPTION
09/30/20	1	ESCO REVIEW
10/15/20	2	FDOT DRAINAGE REVIEW
10/15/20	3	DEVELOPER CHANGES



Job No.: 2020014
Date: 10/19/20

FEMA FLOOD INSURANCE RATE MAP INFORMATION

THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:

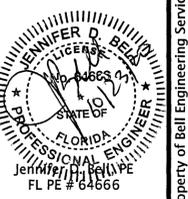
FLOOD ZONE(S)	COMMUNITY NO	MAP NO	PANEL NO	SUFFIX	MAP REVISION DATE
X	120080	12033C	0295	G	SEPT. 29, 2006

C3.0

**GRAING & DRAINAGE
DETAILS**

DOLLAR GENERAL
STORE #22360
7810 PINE FOREST ROAD
PENSACOLA, FLORIDA

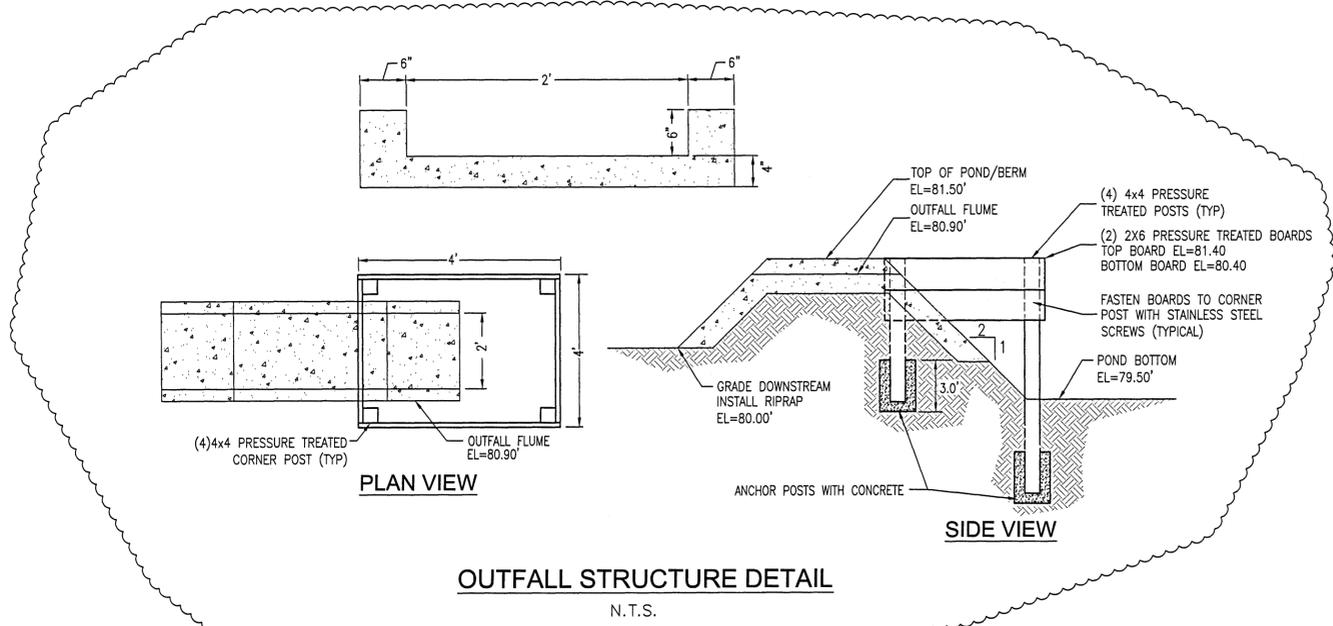
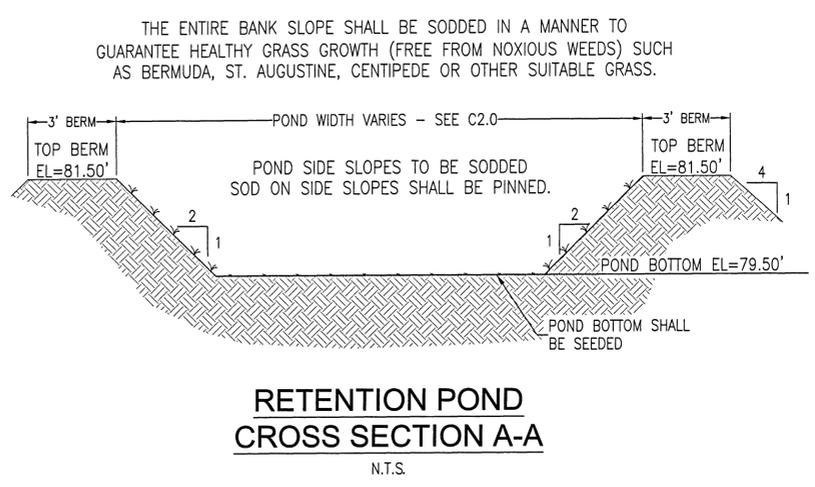
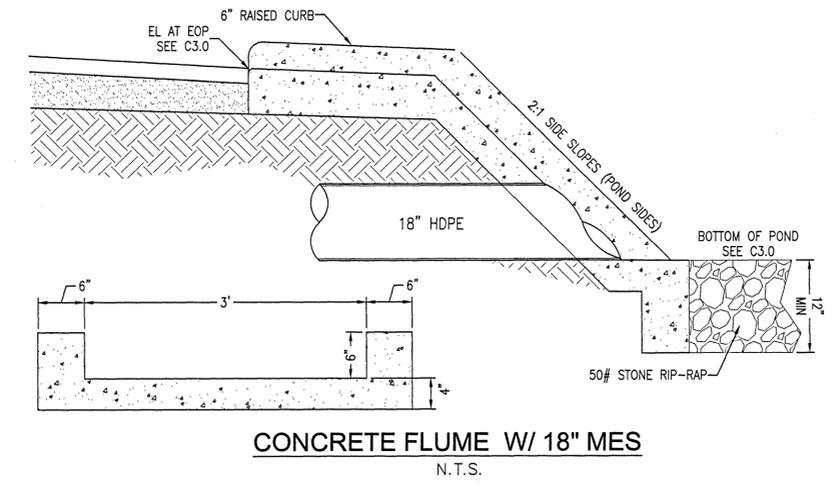
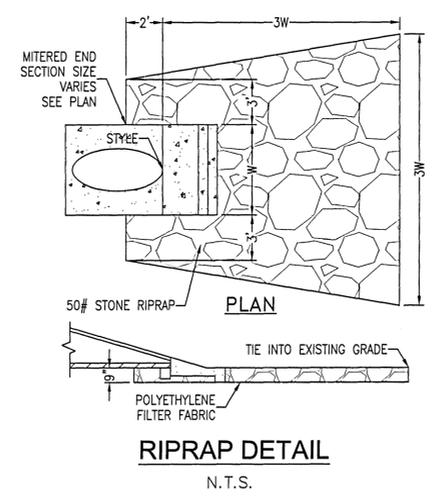
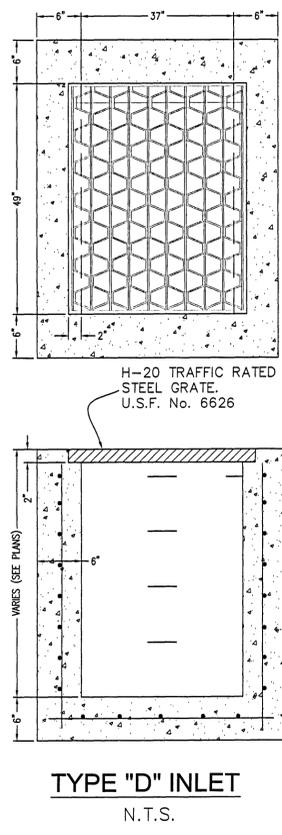
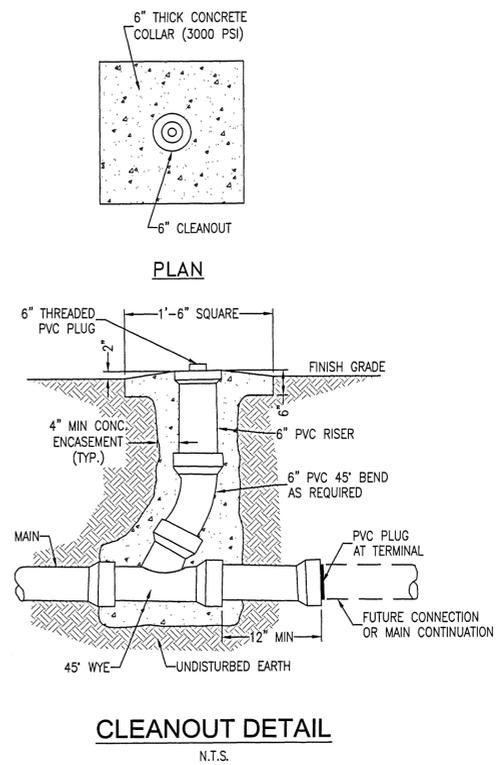
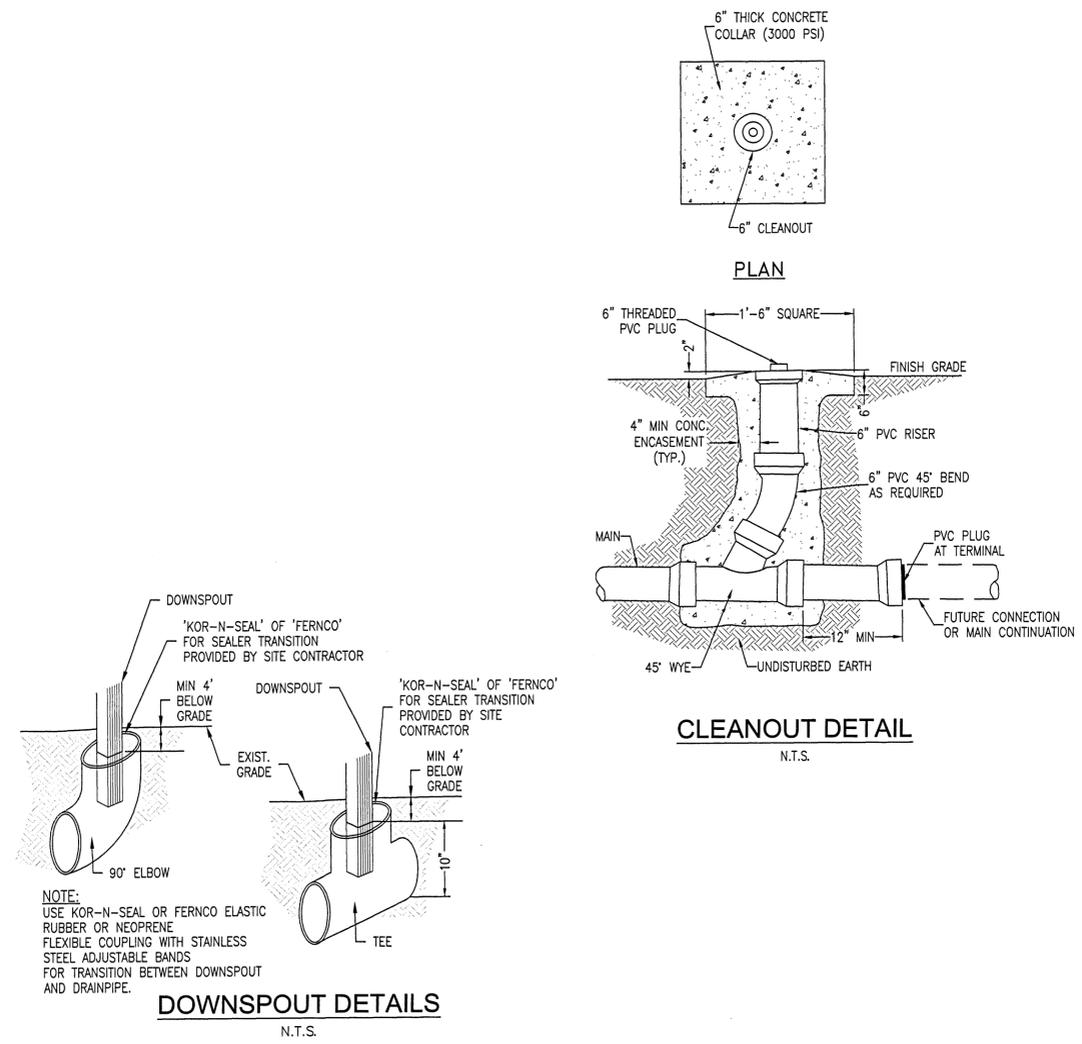
DATE	REVISION #	REVISION DESCRIPTION
09/30/20	1	ESCO REVIEW
10/15/20	2	FOOT DRAINAGE REVIEW
10/15/20	3	DEVELOPER CHANGES



Job No.: 2020014
Date: 10/19/20

C3.1

This drawing is the property of Bell Engineering Services, LLC and may not be reproduced without written permission.



THE ENTIRE BANK SLOPE SHALL BE SODDED IN A MANNER TO GUARANTEE HEALTHY GRASS GROWTH (FREE FROM NOXIOUS WEEDS) SUCH AS BERMUDA, ST. AUGUSTINE, CENTIPEDE OR OTHER SUITABLE GRASS.



HORIZONTAL SCALE



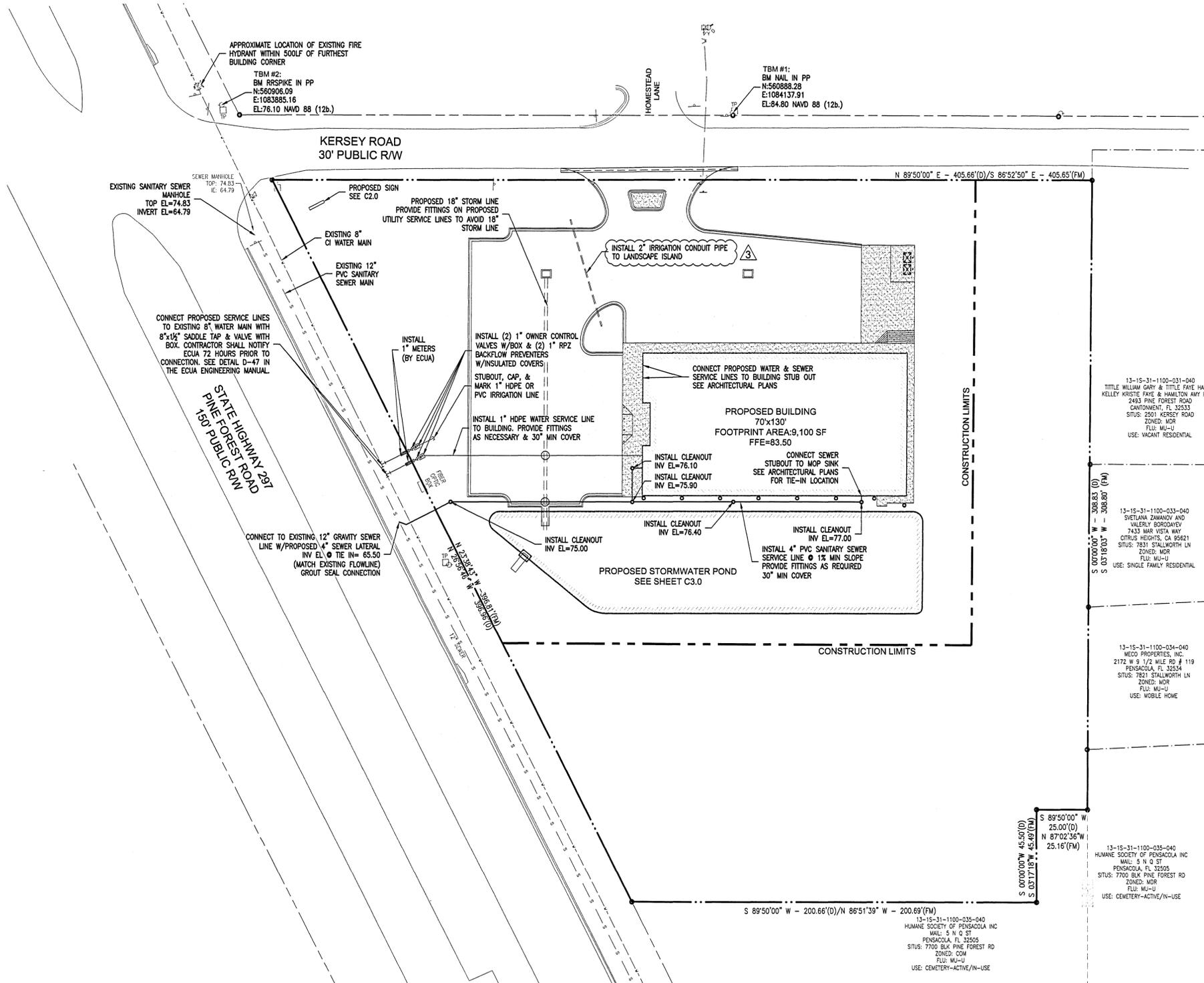
(IN FEET)
1 INCH = 30 FT.

LEGEND

- EXISTING ASPHALT
- PROPOSED ASPHALT
- PROPOSED CONCRETE

UTILITY NOTES:

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES AND TO DETERMINE IF OTHER UTILITIES WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK AND TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION.
2. THE CONTRACTOR SHALL COORDINATE WITH ECUA, GULF POWER, OR ANY OTHER UTILITY COMPANIES HAVING JURISDICTION FOR REMOVAL/RELOCATION AND/OR PROTECTION OF EXISTING UTILITY POLES, AERIAL LINES, FIRE HYDRANTS, AND OTHER UTILITIES AS NECESSARY TO COMPLETE CONSTRUCTION.
3. THE TOP OF ALL CLEANOUTS SHALL BE FLUSH WITH THE PAVEMENT OR, WHEN NOT IN THE PAVEMENT, FLUSH WITH THE FINISH GRADE. CONNECTION POINTS FOR UTILITIES SHALL BE CLEARLY MARKED FOR FUTURE BUILDING CONNECTION. COORDINATE WITH THE PLUMBING CONTRACTOR.
4. ADEQUATE PROVISIONS SHALL BE MADE FOR THE FLOW OF SEWERS, DRAINS AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANIES 72 HOURS (3 BUSINESS DAYS) PRIOR TO BEGINNING CONSTRUCTION.
6. THE CONTRACTOR IS TO RESTORE ALL DISTURBED RIGHTS-OF-WAY IN ACCORDANCE WITH ESCAMBIA COUNTY FDOT, & ECUA GUIDELINES.
7. THE CONTRACTOR SHALL COORDINATE WITH THE PLUMBING CONTRACTOR FOR BUILDING UTILITY CONNECTIONS.
8. ANY REMOVAL OR RELOCATION OF ECUA UTILITIES MUST BE APPROVED IN WRITING PRIOR TO THE WORK BEING DONE.
9. IF DETERMINED AT BUILDING REVIEW THAT THE BUILDING IS TO BE SPRINKLED, CONTACT THE FIRE DEPARTMENT TO COORDINATE LOCATION FOR FIRE DEPARTMENT CONNECTION ((850) 941-6008).



13-15-31-1100-031-040
TITLE: WILLIAM GARY & TITLE FAYE HALL & KELLEY KRISTE FAYE & HAMILTON AVERY BEAN
2493 PINE FOREST ROAD
CANTONMENT, FL 32533
SITUS: 2501 KERSEY ROAD
ZONED: MDR
FLL: MU-U
USE: VACANT RESIDENTIAL

13-15-31-1100-033-040
SVETLANA ZAMANOVA AND VALENTIN BORODACHEV
7433 MAR VISTA WAY
CITRUS HEIGHTS, CA 95621
SITUS: 7821 STALLWORTH LN
ZONED: MDR
FLL: MU-U
USE: SINGLE FAMILY RESIDENTIAL

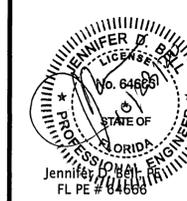
13-15-31-1100-034-040
MECO PROPERTIES, INC.
2172 W 9 1/2 MILE RD # 119
PENSACOLA, FL 32534
SITUS: 7821 STALLWORTH LN
ZONED: MDR
FLL: MU-U
USE: MOBILE HOME

13-15-31-1100-035-040
HUMAN SOCIETY OF PENSACOLA INC
MAIL: S N Q ST
PENSACOLA, FL 32505
SITUS: 7700 BLK PINE FOREST RD
ZONED: COM
FLL: MU-U
USE: CEMETERY-ACTIVE/IN-USE

DOLLAR GENERAL

STORE #22360
7810 PINE FOREST ROAD
PENSACOLA, FLORIDA

DATE	#	REVISION DESCRIPTION
09/30/20	1	ESCO REVIEW
10/15/20	2	FDOT DRAINAGE REVIEW
10/15/20	3	DEVELOPER CHANGES



Job No.: 2020014
Date: 10/19/20

C4.0

UTILITY PLAN

BELL
ENGINEERING SERVICES
Jennifer D. Bell, P.E. (FL #64666)
Pensacola, Florida 32503
EB 00029198

This drawing is the property of Bell Engineering Services, LLC and may not be reproduced without written permission.

This drawing is the property of Bell Engineering Services, LLC and may not be reproduced without written permission.



TREE CLEARANCE NOTE:
ALL TREES SHALL BE MAINTAINED TO PROVIDE A CLEARANCE HEIGHT OF 13'-6" FOR EMERGENCY VEHICLE ACCESS.

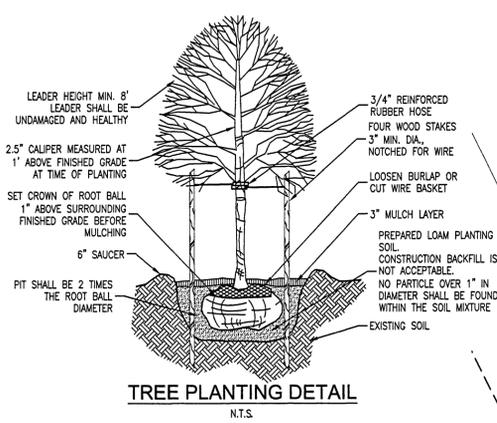
BENCHMARK TABLE:

ELEV 84.80' (NAVD 88 12b) TBM NO. 1: NAIL IN PP N:560888.28, E:1084137.91
ELEV 76.10' (NAVD 88 12b) TBM NO. 2: RR SPIKE IN PP N:560906.09, E:1083885.16

MITIGATION REQUIREMENTS:
TOTAL CALIPER OF PROTECTED TREE REMOVAL IS 170"
REPLACEMENT RATIO 50% OF INCHES = 170" x 0.5 = 85"
PER ESCAMBIA COUNTY LDC SECTION 2.5.2(c) MITIGATION PLANTINGS LIMITED TO 25' PER DEVELOPED ACRE
TOTAL DEVELOPMENT (PROJECT) AREA 1.52 AC:
1.52 x 25' = 38" OF NATIVE, CANOPY MITIGATION REQ'D
PLANTING OPTIONS:
2.5" TREES = 38" / 2.5" = 16 (16 MITIGATION TREES)
MITIGATION TREES REQUIRED W/ MIN 2.5" CALIPER
*LARGER CALIPER TREES MAY BE PLANTED TO REDUCE TOTAL MITIGATION PLANTING QUANTITY.
(SEE C5.0 FOR PROPOSED MITIGATION PLANTING LOCATIONS)

LEGEND

- EXISTING ASPHALT
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED SEED (POND BOTTOM)
- PROPOSED SEED & HAY (OTHER DISTURBED AREAS)
- PROPOSED PINESTRAW (AROUND PROPOSED LANDSCAPING)
- PROPOSED BAHIA SOD (IN R/W)
- PROPOSED BERMUDA SOD (ONSITE)
- PROPOSED WOOD FENCE
- DENOTES PROPOSED CANOPY TREE (LIVE OAK) OR APPROVED EQUAL (MATURE HEIGHT > 30 FEET) - SEE NOTE 7
- DENOTES PROPOSED CANOPY TREE (RIVER BIRCH) OR APPROVED EQUAL (MATURE HEIGHT > 30 FEET) - SEE NOTE 7
- DENOTES PROPOSED CANOPY TREE (BALD CYPRESS) OR APPROVED EQUAL (MATURE HEIGHT > 30 FEET) - SEE NOTE 7
- DENOTES REQUIRED MITIGATION TREE (CANOPY) (REFER TO SYMBOLS ABOVE FOR SPECIES)



Native Trees Appropriate for Escambia County Site Development

Greatest Wind Resistance	Scientific Names	Drought Tolerant	Salt Tolerant	Mature Height
Live Oak	<i>Quercus virginiana</i>	High	High	40 to 80 feet
American Holly	<i>Ilex opaca</i>	High	Moderate	30 to 50 feet
Bald Cypress	<i>Taxodium distichum</i>	High	Poor	60 to 80 feet
Black Tupelo	<i>Nyssa sylvatica</i>	High	Moderate	65 to 75 feet
Dogwood	<i>Cornus florida</i>	Moderate	Poor	20 to 30 feet
Fringe Tree	<i>Chionochloa virginica</i>	Moderate	Poor	12 to 20 feet
Red Bud	<i>Cercis canadensis</i>	High	Poor	20 to 30 feet
Sand Oak	<i>Quercus geminata</i>	High	High	30 to 50 feet
Southern Magnolia	<i>Magnolia grandiflora</i>	Moderate	High	60 to 80 feet
Swamp Chestnut Oak	<i>Quercus michauxii</i>	Low	Poor	60 to 90 feet
Sweetgum	<i>Liquidambar styraciflua</i>	High	Moderate	40 to 100 feet

Intermediate Wind Resistance	Scientific Names	Drought Tolerant	Salt Tolerant	Mature Height
Wax Myrtle	<i>Myrica cerifera</i>	Moderate	High	15 to 40 feet
Silver Maple	<i>Acer saccharinum</i>	High	Moderate	60 to 80 feet
Dahoon Holly	<i>Ilex cassine</i>	Moderate	Moderate	20 to 30 feet
White Cedar	<i>Chamaecyparis thyoides</i>	Moderate	Poor	50 to 75 feet
River Birch	<i>Betula nigra</i>	Low	Poor	40 to 50 feet
Crabapple	<i>Malus spp.</i>	Moderate	Moderate	10 to 25 feet
Florida Sugar Maple	<i>Acer barbatum</i>	High	Poor	20 to 60 feet

Per Escambia County Land Development Code, All plant material used shall conform to the current "FL 314 Grades and Standards for Nursery Plants". Trees should be 2.5 inch caliper measured 4" above grade. (List compiled by J Jarratt from UF/IFAS Florida Yards and Neighborhoods, Florida-friendly plant list)
List is not all-inclusive.

LANDSCAPE NOTES:

- NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD HAPPEN UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
- STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
- NO PROTECTED TREES INDICATED FOR PRESERVATION SHALL BE REMOVED, DESTRUCTIVELY DAMAGED, MUTILATED, RELOCATED, DISFIGURED, DESTROYED, CUT DOWN OR EXCESSIVELY PRUNED.
- ROOT PRUNING SHALL OCCUR WHERE THE GRADE IS LOWERED OR INSTALLING BASE MATERIAL WITHIN DRIP LINE OF A PROTECTED TREE. THE CONTRACTOR SHALL SEVER THE ROOTS CLEANLY WITH A SHARP INSTRUMENT TO A DEPTH OF 18". ROOTS SHALL NOT BE TORN AS WITH THE USE OF A BACK HOE.
- AT COMPLETION OF CONSTRUCTION, ALL EXPOSED DIRT SHALL BE STABILIZED WITH SOD, A HAY/SEED MIX OR HYDROSEED.
- SOD SHALL BE WATERED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- PLANTING DIVERSITY (PER DSM, CHAPTER 2, ARTICLE 2, SECTION 2-6.1(C)2).

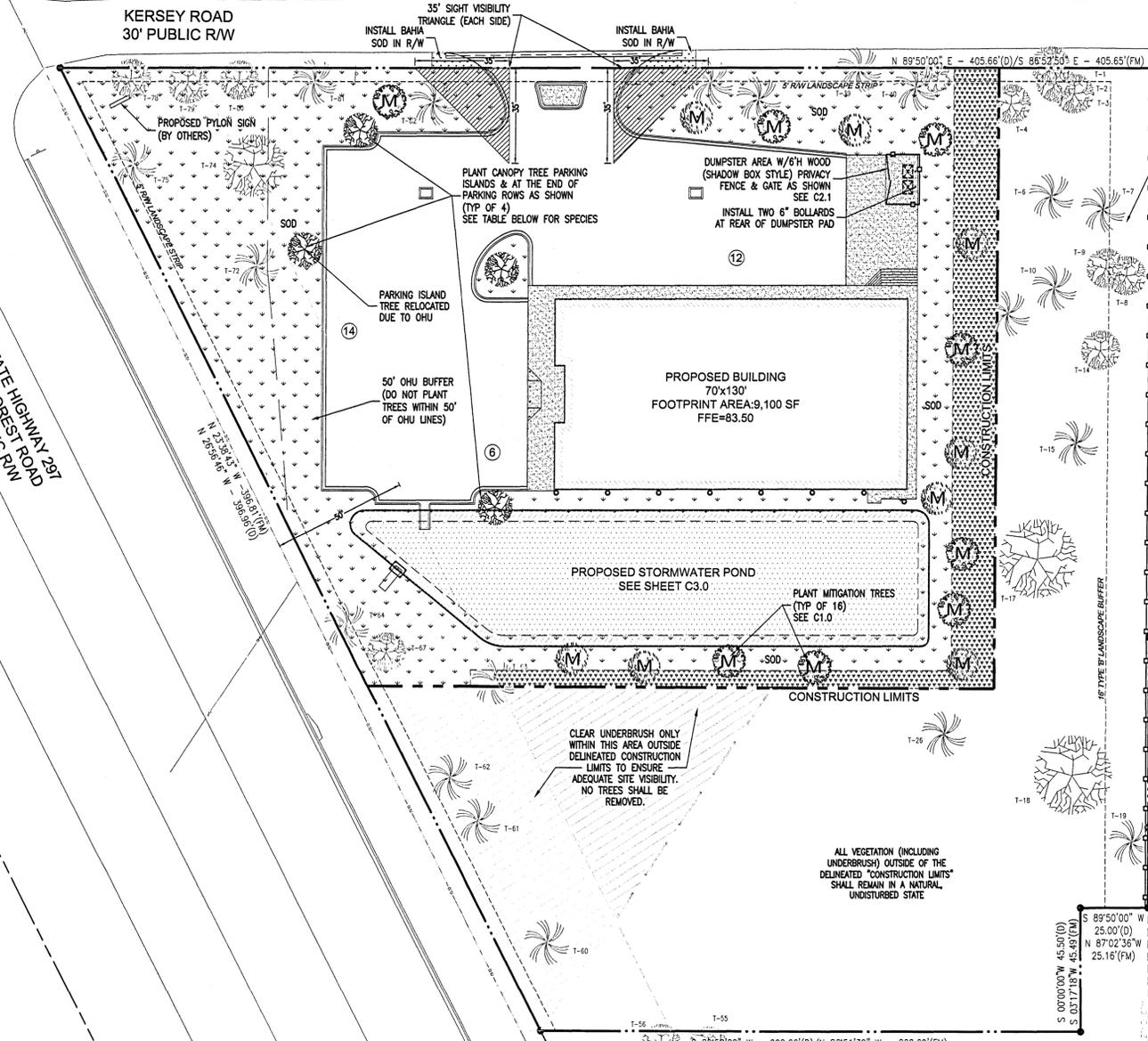
THE DIVERSITY OF ANY TREES REQUIRED TO BE PLANTED ON A SITE SHALL COMPLY WITH THE FOLLOWING LIMITS TO AVOID UNIFORM SITE TREE DECLINE FROM PESTS OR DISEASE:

DIVERSITY TABLE

# OF NEW TREES PLANTED ONSITE	MAX % OF ANY ONE SPECIES
5-19	67%
20-49	40%
50+	30%

- THE CONTRACTOR/OWNER SHOULD COORDINATE WITH THE PLANNING, ZONING & DEVELOPMENT DIVISION PRIOR TO PURCHASING OR INSTALLING LANDSCAPING TO DETERMINE CREDIT FOR EXISTING VEGETATION TO (PARTIALLY) MEET THE LANDSCAPING REQUIREMENTS SHOWN ON THIS PLAN.
- ALL DISTURBED AREAS IN THE R/W SHALL BE REGRADED AND SODDED AND/OR SEED AND MULCHED. OTHER DISTURBED AREAS MAY BE REPAIRED BY SEEDING OR HYDROSEEDING. ALL SOD IN THE COUNTY R/W SHALL BE BAHIA.
- ALL SITE FENCING SHALL BE INSTALLED FINISHED SIDE OUT TO CONFORM TO COUNTY FENCE INSTALLATION REQUIREMENTS.
- ANY SPECIES SELECTED FOR TREE PLANTINGS DIFFERENT THAN THOSE INDICATED ON THIS PLAN, SHALL BE FROM THE "LIST OF RECOMMENDED NATIVE AND NON-INVASIVE PLANT MATERIAL LIST" FROM THE PLANNING DEPARTMENT. CHANGES MUST BE SUBMITTED TO THE EOR PRIOR TO INSTALLATION FOR APPROVAL, IN WRITING. NO MORE THAN 40% OF REQUIRED LANDSCAPING MATERIAL MAY BE OF THE SAME SPECIES.
- REQUIRED (NATIVE) CANOPY TREES SHALL BE A MINIMUM 2.5" CALIPER AT TIME OF PLANTING.

STATE HIGHWAY 297
PINE FOREST ROAD
150' PUBLIC R/W



PLANTINGS (TABLE ON C5.1)

PLANTING TYPE (CANOPY TREES)	QUANTITY
LIVE OAK (CANOPY)	4
RIVER BIRCH (CANOPY)	8
BALD CYPRESS (CANOPY)	8
DOGWOOD (UNDERSTORY)	0
FRINGE TREE (UNDERSTORY)	0
SHRUB (GARDENIA)	0
SHRUB (INDIAN HAWTHORN)	0

GROUND COVER

COVER TYPE	AREA (SF)
SOD (ONSITE) BERMUDA	16,000
SOD (OFFSITE) BAHIA	500
SEED & HAY	5,000±
SEED ONLY (POND BOTTOM)	6,736
PINESTRAW	2,000

NOTE:

- ALL SOD IN THE R/W SHALL BE BAHIA.
- ALL SOD ONSITE SHALL BE BERMUDA.
- WEED SCREEN IS REQUIRED IN ALL AREAS SHOWN WITH STRAW GROUND COVER.

STANDARD 16' WIDE TYPE "B" BUFFER
W/ 6' WOOD SHADOWBOX FENCE
REQUIRED PLANTINGS PER 100LF
2.5' CANOPY TREE; 2 UNDERSTORY TREES; 20 SHRUBS
TOTAL BUFFER LENGTH = 308.8 LF
CANOPY TREES REQUIRED = 8 TREES (0 PROPOSED*)
UNDERSTORY TREES REQUIRED = 7 TREES (0 PROPOSED*)
SHRUBS REQUIRED = 62 SHRUBS (0 PROPOSED*)

*EXISTING VEGETATION TO REMAIN IN UNDISTURBED/NATURAL STATE & WILL COUNT TOWARDS REQUIRED LANDSCAPE BUFFER PLANTINGS ADJACENT TO RESIDENTIAL USE/ZONE.

INSTALL 308LF 6' WOOD SHADOWBOX PRIVACY FENCE SEE C2.1

13-15-31-1100-031-040
TITTLE WILLIAM GARY & TITTLE FAYE HALL & KELLEY KRISTE FAYE & HAMILTON AMY BEAN
CANTONMENT, FL 32533
2493 PINE FOREST ROAD
SITUS: 2501 KERSEY ROAD
ZONED: MOR
FLU: MU-U
USE: VACANT RESIDENTIAL

13-15-31-1100-033-040
SVETLANA ZAMANOY AND WALTERY BOROZOVICH
7433 MAR VISTA WAY
CITRUS HEIGHTS, CA 95621
SITUS: 7831 STALLWORTH LN
ZONED: MOR
FLU: MU-U
USE: SINGLE FAMILY RESIDENTIAL

13-15-31-1100-034-040
MEDO PROPERTIES, INC.
2172 W 9 1/2 MILE RD # 119
PENSACOLA, FL 32534
SITUS: 7821 STALLWORTH LN
ZONED: MOR
FLU: MU-U
USE: MOBILE HOME

13-15-31-1100-035-040
HUMAN SOCIETY OF PENSACOLA INC
MAIL: 5 N O ST
PENSACOLA, FL 32505
SITUS: 7700 BLK PINE FOREST RD
ZONED: MOR
FLU: MU-U
USE: CEMETERY-ACTIVE/N-USE

13-15-31-1100-035-040
HUMAN SOCIETY OF PENSACOLA INC
MAIL: 5 N O ST
PENSACOLA, FL 32505
SITUS: 7700 BLK PINE FOREST RD
ZONED: COM
FLU: MU-U
USE: CEMETERY-ACTIVE/N-USE

LANDSCAPING NOTE:
PLANTING QUANTITIES SHALL BE VERIFIED BY LANDSCAPING CONTRACTOR PRIOR TO INSTALLATION. THE EOR SHALL BE NOTIFIED OF ANY DISCREPANCIES.
GROUND COVER QUANTITIES ARE PROVIDED FOR ESTIMATION PURPOSES ONLY. FINAL QUANTITIES MAY VARY FROM QUANTITIES LISTED ON THIS PLAN SHEET.