

DRAINAGE FEE
Imperv. Surf. 70,382 Sq ft
Stormwater Ret. 0.78 % (F)
Total Drainage Fee \$2,744.90
Pond Maint. Fee: PRIVATE

Approved [Signature] 10-13-21
Date

This document has been reviewed in accordance with requirements of applicable Escambia County Regulations and Ordinances and does not in any way relieve the submitting Architect, Engineer, Surveyor, or other signatory from responsibility of details as drawn.

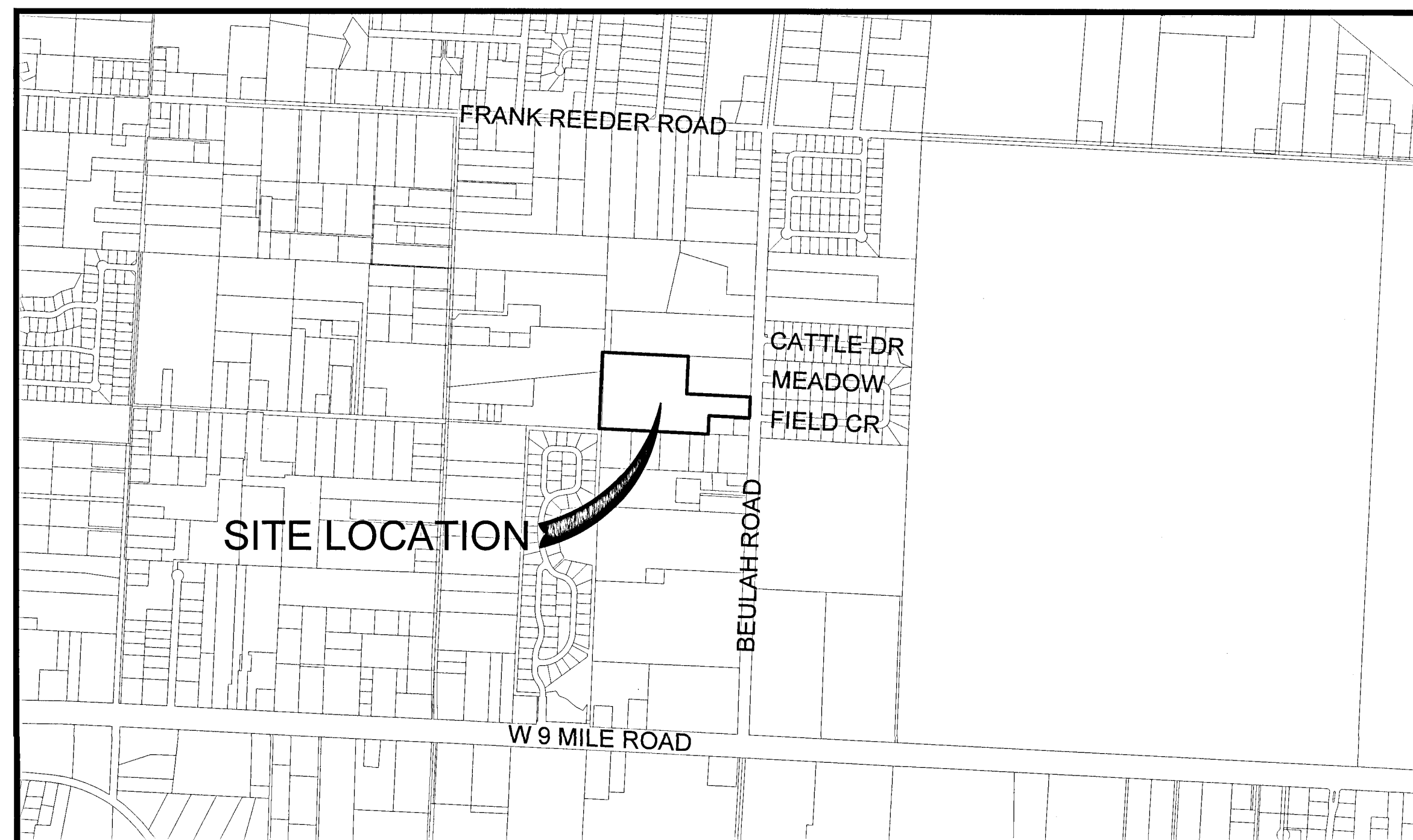
RBA PROJECT NO.: 2018.158

SITE INFORMATION	
OWNER:	LEDGESTONE DEVELOPERS LLC 8608 EIGHT MILE CREEK RD PENSACOLA, FL 32526 850.000.0000
DEVELOPER:	LEDGESTONE DEVELOPERS LLC 8608 EIGHT MILE CREEK RD PENSACOLA, FL 32526 850.000.0000
PROPERTY REFERENCE NO:	06-15-31-1401-002-002
PROPERTY ADDRESS:	8600 BLK BEULAH ROAD
PROPERTY AREA:	14.37 ACRES
PROJECT AREA:	14.37 ACRES
PROPERTY ZONING:	LDR
FUTURE LAND USE:	MU-S
PROPOSED ACTIVITY:	SINGLE FAMILY DETACHED SUBDIVISION
REQUIRED BUILDING SETBACKS LDR:	FRONT YARD - 25 FT. SIDE YARD - 5 FT. OR 10% REAR YARD - 25 FT.

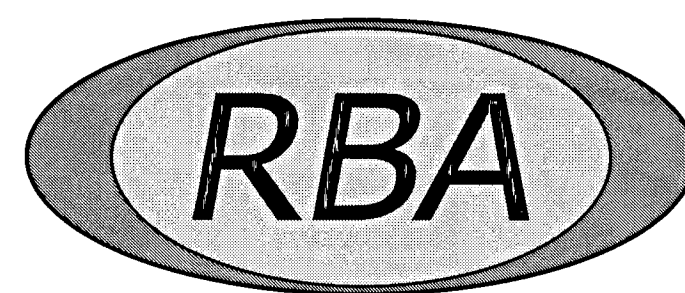
FEMA FLOOD INSURANCE RATE MAP INFORMATION					
THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:					
FLOOD ZONE(S)	COMMUNITY No.	MAP No.	PANEL No.	SUFFIX	MAP REVISION DATE
X	120080	12033C	0270	G	SEPT 29, 2006

CONTACTS	
REBOL-BATTLE & ASSOCIATES CIVIL ENGINEERS AND SURVEYORS 2301 N. NINTH AVENUE SUITE 300 PENSACOLA, FLORIDA 32503	CONTACT: PAUL A. BATTLE, P.E. CONTACT: MARK A. NORRIS, P.S.M. PHONE: 850.438.0400 FAX: 850.438.0448
GULF POWER 500 BAYFRONT PARKWAY PENSACOLA, FLORIDA 32520	CONTACT: DON SCHOFIELD PHONE: 850.444.6555 FAX: 850.444.6432
COX CABLE 2205 LAVISTA AVE. PENSACOLA, FLORIDA 32504	CONTACT: RICHARD EMMONS PHONE: 850.477.2695 FAX: 850.479.3912
ECUA P.O. BOX 15311 PENSACOLA, FLORIDA 32514	CONTACT: PERRY WHITE PHONE: 850.969.3312
ENERGY SERVICES GAS 1625 ATWOOD DRIVE PENSACOLA, FLORIDA 32504	CONTACT: JOHN DeMARS PHONE: 850.474.5322 FAX: 850.474.5330
AT&T, INC. 605 W. GARDEN STREET PENSACOLA, FLORIDA 32501	CONTACT: JONATHAN BLANKINSHIP PHONE: 850.436.1489
ESCAMBIA COUNTY ENGINEER 1190 W. LEONARD STREET PENSACOLA, FLORIDA 32501	CONTACT: JOY BLACKMON PHONE: 850.595.3434
FARM HILL UTILITY, INC 120 MADRID RD CANTONMENT, FL 32533	CONTACT: SHAUN CONDON PHONE: 850.968.2573
GULF SOUTH PIPELINE 480 VAN PELT LANE PENSACOLA, FL 32505	CONTACT: CHUCK CHAPMAN PHONE: 850.324.6337
MCI	PHONE: 800.624.9675
SUNSHINE UTILITIES	PHONE: 800.432.4770

SITE CONSTRUCTION PLANS FOR LEDGESTONE SUBDIVISION A 36 LOT SUBDIVISION 8600 BLK BEULAH ROAD ESCAMBIA COUNTY April 21, 2021



VICINITY MAP
SCALE: 1"=1000'



REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors

2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400
Fax 850.438.0448
EB 00009657 LB7916

ECUA ENGINEERING MANUAL REFERENCE NOTE*
*NOTES SHALL BE INSERTED IN THE UPPER RIGHT CORNER OF TITLE SHEET
*APPLICABLE ONLY TO ECUA INFRASTRUCTURE TO BE CONSTRUCTED IN PUBLIC ROW OR IN UTILITY EASEMENT; NOT TO BE APPLIED TO PRIVATE WATER/SEWER FACILITIES ON PRIVATE PROPERTY (SEE BUILDING CODE)

A. ECUA ENGINEERING MANUAL INCORPORATED BY REFERENCE

THE ECUA ENGINEERING MANUAL, DATED DECEMBER 18, 2014, ALONG WITH UPDATE # 1 DATED SEPTEMBER 1, 2016 (HEREINAFTER "MANUAL"), LOCATED AT WWW.ECUA.FL.GOV, IS HEREBY INCORPORATED BY REFERENCE INTO THIS PROJECT'S OFFICIAL CONTRACT DOCUMENTS AS IF FULLY SET FORTH THEREIN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE KNOWLEDGEABLE OF THE MANUAL'S CONTENTS AND TO CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE MANUAL. THE CONTRACTOR SHALL PROVIDE ITS EMPLOYEES ACCESS TO THE MANUAL AT ALL TIMES, VIA PROJECT SITE OR OFFICE, VIA DIGITAL OR PAPER FORMAT. IN THE EVENT OF A CONFLICT BETWEEN THE MANUAL AND PLANS, CONTRACTOR SHALL CONSULT ENGINEER OF RECORD FOR PROPER RESOLUTION.

B. ADDITIONAL DOCUMENTS (TO BE COMPLETED BY THE ENGINEER OF RECORD)

DOES THIS PROJECT HAVE ADDITIONAL TECHNICAL SPECIFICATIONS OR CONSTRUCTION DETAILS THAT SUPERSEDE THE MANUAL LISTED ABOVE?

■ YES □ NO

IF YES, CONTRACTOR SHALL CONSTRUCT PROJECT IN ACCORDANCE WITH SAID DOCUMENTS AS LISTED AND LOCATED BELOW:

DOCUMENT NAME	DOCUMENT TYPE		LOCATION	
	SPECIFICATION	DETAIL	PLANS	PROJECT MANUAL*
LPFM DETAIL				

*PROJECT MANUALS USED ONLY WITH ECUA CIP PROJECTS

C. ENGINEER OF RECORD RESPONSIBILITIES

THE ENGINEERS OF RECORD (EORS) THAT HAVE AFFIXED THEIR SEALS AND SIGNATURES ON THESE PLANS WARRANT THEIR PORTIONS OF THE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE MANUAL (UNLESS OTHERWISE DIRECTED BY THE ECUA PROJECT ENGINEER). THE EORS SHALL BE KNOWLEDGEABLE OF THE MANUAL'S CONTENTS AND SHALL ASSUME RESPONSIBILITY FOR ITS USE ON THIS PROJECT.

INDEX OF DRAWINGS

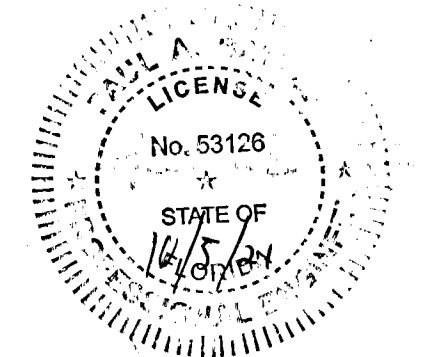
C1.0	EXISTING SITE, DEMOLITION & EROSION CONTROL PLAN
C1.1	EROSION CONTROL DETAILS
C1.2	NPDES-STORMWATER POLLUTION PREVENTION PLAN
C2.0	SITE LAYOUT AND DIMENSION PLAN
C2.1	SITE DETAILS
C3.0	GRADING AND DRAINAGE PLAN
C3.1-C3.3	GRADING AND DRAINAGE DETAILS
C3.4	NEIGHBORHOOD LOT GRADING PLAN
C3.5	NEIGHBORHOOD LOT GRADING DETAILS
C4.0	UTILITY PLAN
C4.1	FDOT UTILITY PLAN AND DETAILS
C5.0-C5.9	PLAN & PROFILES
C6.0-C6.3	ROAD CROSS SECTION
C7.0	FDOT 660 SURVEY
C7.1-C7.3	FDOT 660 SURVEY DETAILS

DESCRIPTION: (AS PREPARED BY REBOL-BATTLE & ASSOCIATES)

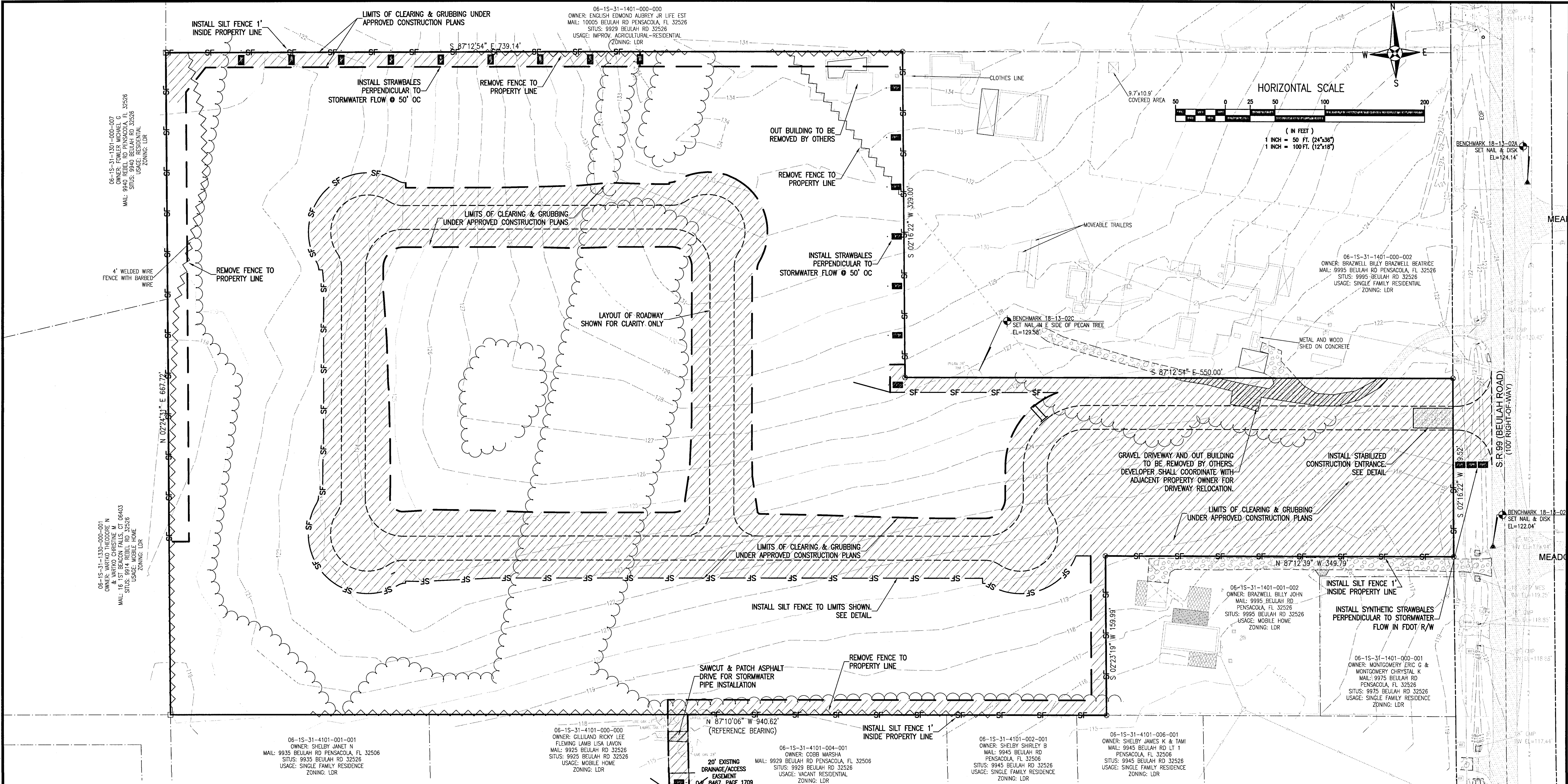
THAT PORTION OF THE NORTHEAST QUARTER OF SECTION 6, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID NORTHEAST QUARTER OF SECTION 6; THENCE PROCEED NORTH 87°10'06" WEST ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER OF SECTION 6 FOR A DISTANCE OF 401.50 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE LAST COURSE PROCEED NORTH 87°10'06" WEST ALONG SAID SOUTH LINE FOR A DISTANCE OF 940.62 FEET TO AN EXISTING CONCRETE MONUMENT BEING THE SOUTHWEST CORNER OF EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 6; THENCE DEPARTING SAID SOUTH LINE, PROCEED NORTH 02°24'31" EAST ALONG THE WEST LINE OF SAID EAST HALF OF THE NORTHEAST QUARTER FOR A DISTANCE OF 667.72 FEET TO AN EXISTING CONCRETE MONUMENT; THENCE DEPARTING SAID WEST LINE PROCEED SOUTH 87°12'54" EAST FOR A DISTANCE OF 739.14 FEET; THENCE PROCEED SOUTH 02°16'22" WEST FOR A DISTANCE OF 329.00 FEET; THENCE PROCEED SOUTH 87°12'54" EAST FOR A DISTANCE OF 550.00 FEET TO THE WESTERLY RIGHT OF WAY LINE OF BEULAH ROAD (100' RIGHT OF WAY); THENCE PROCEED SOUTH 02°16'22" WEST ALONG SAID WESTERLY RIGHT OF WAY LINE FOR A DISTANCE OF 179.52 FEET; THENCE DEPARTING SAID WESTERLY RIGHT OF WAY LINE PROCEED NORTH 87°12'39" WEST FOR A DISTANCE OF 349.79 FEET; THENCE PROCEED SOUTH 02°23'19" WEST FOR A DISTANCE OF 159.99 FEET TO THE AFORESAID SOUTH LINE OF THE NORTHEAST QUARTER AND THE POINT OF BEGINNING.

LYING IN AND BEING A PORTION OF SECTION 6, TOWNSHIP 1 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA AND CONTAINING 14.34 ACRES MORE OR LESS.



THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING "RELEASED FOR CONSTRUCTION" DRAWINGS FROM REBOL-BATTLE & ASSOCIATES BEFORE BEGINNING CONSTRUCTION. REBOL-BATTLE & ASSOCIATES WILL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION BASED ON PLANS THAT HAVE NOT BEEN RELEASED FOR CONSTRUCTION.



EROSION CONTROL NOTES:

1. THE CONTRACTOR SHALL ESTABLISH EROSION CONTROL PRIOR TO COMMENCING ANY CONSTRUCTION OR DEMOLITION ON THE PROJECT. EROSION CONTROL BARRIER PLACEMENT AS INDICATED IS SUGGESTED ONLY AND DOES NOT RELIEVE THE CONTRACTOR FROM CONTROLLING EROSION AND SEDIMENT WITHIN THE PROJECT SITE. EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE AND BE MAINTAINED DURING THE ENTIRE TIME OF CONSTRUCTION AND DEMOLITION ON THE PROJECT.
2. AN EROSION CONTROL BARRIER IS TO BE PLACED ALONG ALL BOUNDARIES OF THE PROJECT AREA AS SHOWN BEFORE CONSTRUCTION BEGINS AND REMAIN IN PLACE UNTIL CONSTRUCTION IS FINISHED AND ACCEPTED AND FINAL STABILIZATION IS COMPLETE.
3. INSPECT AND REESTABLISH EROSION CONTROL BARRIERS WEEKLY AND AFTER EVERY SIGNIFICANT STORM EVENT.
4. THE CONTRACTOR IS REQUIRED TO SUBMIT A NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (FDEP FORM 62-621.300(4)(b)) ALONG WITH THE APPROPRIATE APPLICATION FEE TO THE NPDES STORMWATER NOTICES CENTER 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
5. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
6. SAG FILTERS IN CURB THROATS IS NOT AN ALLOWABLE SEDIMENT CONTROL METHOD.

DEMOLITION NOTES:

1. ALL DEBRIS RESULTING FROM PROPOSED DEMOLITION WILL BE DISPOSED OF IN A LEGAL MANNER AND WILL CONFORM TO ANY AND ALL STATE AND LOCAL REGULATIONS AND/OR ORDINANCES WHICH GOVERN SUCH ACTIVITIES.
2. CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING UTILITIES AND COORDINATE RELOCATION WITH THE APPROPRIATE UTILITY OWNER AS NECESSARY. ANY AND ALL UTILITIES ENCOUNTERED DURING DEMOLITION WILL BE PROTECTED AND/OR RELOCATED AT THE DISCRETION OF THEIR PROSPECTIVE OWNERS.
3. NO DEMOLITION DEBRIS WILL BE STOCKPILED OR GATHERED ON THE PROJECT SITE OR ADJACENT PROPERTIES, WITHOUT PRIOR AUTHORIZATION OF THE OWNER.

TREE PROTECTION NOTE:

THERE ARE NO HERITAGE TREES LOCATED ON THE PROJECT SITE OR ARE SCHEDULED FOR REMOVAL.

GOPHER TORTOISE NOTE:

AN UPDATED AND COMPLETE GOPHER TORTOISE SURVEY SHALL BE SUFFICIENTLY CONDUCTED BY A QUALIFIED ENVIRONMENTAL CONSULTANT/ PROFESSIONAL ON ALL LAND AREAS PROPOSED FOR FUTURE DEVELOPMENT. SUCH 100% SITE-SURVEY SHALL BE CONDUCTED IN AN APPROPRIATE TIME FRAME AS REQUIRED BY JURISDICTIONAL AGENCY(S) PRIOR TO ANY PROJECTED LAND DISTURBANCE ACTIVITIES WHICH MAY ADVERSELY AFFECT THEM. ALL PROPOSED IMPACTS, RELOCATIONS, OR EXCLUSIONS OF GOPHER TORTOISES FROM THE SITE OVERALL SHALL BE PROPERLY PERMITTED (OR OTHERWISE AUTHORIZED IN WRITING) BY THE JURISDICTIONAL AGENCIES AND ADEQUATELY PERFORMED PRIOR TO INITIATION OF ANY SITE WORK ACTIVITIES.

FLOOD ZONE NOTE:

THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND .2-PERCENT-ANNUAL-CHANCE FLOODPLAINS. NO BFES OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBER 12033C0270G, MAP REVISION DATED SEPTEMBER 29, 2006

LEGEND

	EXISTING ASPHALT		FORCE MAIN		GUY ANCHOR
	EXISTING CONCRETE		OVERHEAD UTILITIES		UTILITY POLE
	EXISTING GRAVEL		BURIED TELEPHONE LINE		LIGHT POLE
	LIMITS OF CLEARING & GRUBBING		GAS LINE		TELEPHONE BOX
	DEMOLITION		BURIED FIBER OPTIC CABLE		GAS VALVE
	DEMOLITION LINE		EXISTING CONTOUR		MAILBOX
	EXISTING CHAIN LINK FENCE		STRAW BALE		POST
	EXISTING WOODEN FENCE		SILT FENCE		STREET SIGN
	BOUNDARY LINE		BENCHMARK		SIGN
	EASEMENT LINE		FIRE HYDRANT		
	LOT LINE		WATER METER		
	RIGHT-OF-WAY LINE		WATER VALVE		
	WATER LINE		CLEANOUT		
	SEWER LINE (GRAVITY)		SEWER MANHOLE		
			STORMWATER MANHOLE		

REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0448
CS 0009587

EXISTING SITE, DEMOLITION &
EROSION CONTROL PLAN

Ledgestone Subdivision
A 36 LOT RESIDENTIAL SUBDIVISION
BEULAH ROAD
ESCAMBIA COUNTY, FLORIDA

REVISION	DATE	No.

SEAL
NOT FOR CONSTRUCTION
PAUL A. BATTLE, P.E.
No. 53128
STATE OF FLORIDA
PL 10784
No. 53128

Dr. By: CBD
Ck By: PAB
Job No.: 2018.158
Date: 4/21/2021
DRAWING No.
C1.0
SHEET 2 OF 32

STORM WATER POLLUTION PREVENTION PLAN

1.0 BACKGROUND & REQUIREMENTS:

1.1 INTRODUCTION:

THE REFERENCED SUPPORT DOCUMENTATION FOR THIS STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY'S (EPA) STORM WATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES, DEVELOPING POLLUTION PREVENTION PLANS AND BEST MANAGEMENT PRACTICES SUMMARY GUIDANCE (EPA 833-R-92-001) AND STORM WATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES, DEVELOPING POLLUTION PREVENTION PLANS AND BEST MANAGEMENT PRACTICES (EPA 832-R-92-005). THIS SWPPP IS DESIGNED TO PROTECT ONSITE AND ADJACENT NATURAL RESOURCES, INCLUDING BUT NOT LIMITED TO, WETLANDS, MARSHES, BAYOUS AND BAYS, WHILE PRESERVING WILDLIFE AND ARCHEOLOGICAL RESOURCES.

AN ENVIRONMENTAL RESOURCE PERMIT APPLICATION HAS BEEN SUBMITTED TO THE NWFWD MARCH 2019

1.2 NOTICE OF INTENT (NOI):

RULE 62-621.300(4), FAC REQUIRES THE CONSTRUCTION OPERATOR OF A SITE THAT DISTURBS ONE OR MORE ACRES TO OBTAIN COVERAGE FROM THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES. THE CONTRACTOR IS REQUIRED TO SUBMIT A NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (FDEP FORM 62-621.300(4)(b)) ALONG WITH THE APPROPRIATE APPLICATION FEE TO THE FOLLOWING ADDRESS 48 HOURS PRIOR TO COMMENCING CONSTRUCTION:

NPDES STORMWATER NOTICES CENTER, MS # 2510
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
2600 BLAIR STONE ROAD
TALLAHASSEE, FLORIDA 32399-2400

THIS FORM CAN BE OBTAINED FROM FDEP'S WEBSITE (WWW.DEP.STATE.FL.US) OR BY CONTACTING FDEP. PLEASE NOTE THAT THE CURRENT APPLICATION FEE IS \$300; HOWEVER, THIS FEE IS SUBJECT TO CHANGE WITHOUT NOTICE. ALWAYS REFER TO THE MOST CURRENT VERSION OF RULE 62-4.050(4)(D), FAC TO CONFIRM THE AMOUNT BEFORE SUBMITTING PAYMENT. IF CONSTRUCTION ACTIVITY EXCEEDS FIVE YEARS, THE CONTRACTOR MUST RE-APPLY FOR COVERAGE.

1.3 STORMWATER POLLUTION PREVENTION PLAN (SWPPP):

THE CONTRACTOR IS REQUIRED TO CERTIFY THIS STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BELOW PRIOR TO SUBMITTING THE NOI. THIS SWPPP IS NOT REQUIRED TO BE SUBMITTED WITH THE NOI, BUT IS REQUIRED TO BE KEPT ON SITE DURING ALL PHASES OF CONSTRUCTION. BECAUSE EROSION AND SEDIMENT CONTROLS AND CONSTRUCTION METHODS VARY SIGNIFICANTLY FROM CONTRACTOR TO CONTRACTOR, THE CONTRACTOR CAN PROPOSE ALTERNATIVE METHODS TO THIS SWPPP THAT ARE EQUAL OR BETTER AT CONTROLLING EROSION AND SEDIMENTATION. AT A MINIMUM, THE CONTRACTOR MUST FOLLOW THE EROSION CONTROL PLAN SPECIFIED IN THE CONSTRUCTION PLANS AND DOCUMENTS. ANY MODIFICATIONS TO THIS SWPPP MUST BE DOCUMENTED AND KEPT WITH THE PLAN AS PART OF THE RECORDS KEEPING PROCESS TO BE IN FULL COMPLIANCE WITH THE CGP.

1.4 CONTRACTOR'S / SUBCONTRACTOR CERTIFICATION:

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

PRINT & SIGN NAME	COMPANY & ADDRESS
_____	_____
_____	_____
NAME & TITLE (PRINT)	

SIGNATURE	DATE

1.5 RESPONSIBLE AUTHORITY CERTIFICATION:

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

PRINT & SIGN NAME	COMPANY & ADDRESS
_____	_____
NAME & TITLE (PRINT)	

SIGNATURE	DATE

1.6 NOTICE OF TERMINATION (NOT):

THE CONTRACTOR IS REQUIRED TO SUBMIT A NOTICE OF TERMINATION OF GENERIC PERMIT COVERAGE (FDEP FORM 62-621.300(6)) UPON CONSTRUCTION COMPLETION TO DISCONTINUE PERMIT COVERAGE. THE NOT IS TO BE SUBMITTED TO THE FOLLOWING ADDRESS:

NPDES STORMWATER NOTICES CENTER, MS # 2510
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
2600 BLAIR STONE ROAD
TALLAHASSEE, FLORIDA 32399-2400

THIS FORM CAN BE OBTAINED FROM FDEP'S WEBSITE (WWW.DEP.STATE.FL.US) OR BY CONTACTING FDEP. THE NOT CAN NOT BE SUBMITTED UNTIL ALL DISTURBED SOILS AT THE CONSTRUCTION SITE HAVE BEEN FINALLY STABILIZED AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN REMOVED OR WILL BE REMOVED AT AN APPROPRIATE TIME. FINAL STABILIZATION MEANS THAT ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70 PERCENT OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAVE BEEN ESTABLISHED, OR EQUIVALENT STABILIZATION MEASURES HAVE BEEN EMPLOYED. IF CONSTRUCTION ACTIVITY EXCEEDS FIVE YEARS, THE CONTRACTOR MUST RE-APPLY FOR COVERAGE.

1.7 APPLICATION INFORMATION:

PROJECT ADDRESS: 8600 BLK BELUAH ROAD
PENSACOLA, FL 32526

LATITUDE: N 30°32'37.09"
LONGITUDE: W 87°22'57.40"

WATER MANAGEMENT DISTRICT: NORTHWEST FLORIDA (NWFWD)

MS4 OPERATOR NAME: ESCAMBIA COUNTY

RECEIVING WATER NAME: EVENTUAL OUTFALL TO ELEVEN MILE CREEK

2.0 SITE DESCRIPTION:

2.1 NATURE OF CONSTRUCTION ACTIVITIES:

THIS PROJECT INVOLVES THE CONSTRUCTION OF A 36 LOT SINGLE FAMILY RESIDENTIAL SUBDIVISION, UTILITIES AND STORMWATER COLLECTION SYSTEM.

2.2 SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES:

THE FOLLOWING SEQUENCE OF MAJOR ACTIVITIES SHALL BE FOLLOWED UNLESS THE CONTRACTOR CAN PROPOSE AN ALTERNATIVE THAT IS EQUAL TO OR BETTER AT CONTROLLING EROSION AND SEDIMENTATION. THE DETAILED SEQUENCE FOR THE ENTIRE PROJECT CAN VARY SIGNIFICANTLY FROM CONTRACTOR TO CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ANY CHANGES.

- CLEAR, GRUB AND PERFORM ALL DEMOLITION WORK.
- COMPLETE ROUGH GRADING OF THE POND AND DIRECT ALL STORMWATER RUNOFF TO THE POND(S).
- CONSTRUCT ALL UNDERGROUND UTILITIES AND STORM DRAIN SYSTEM.
- CONSTRUCT ROADS (SUBGRADE, CURB & GUTTER, BASE, PAVEMENT, SIDEWALKS, AND LANDSCAPING).
- COMPLETE STORMWATER PONDS.

2.3 AREA ESTIMATES:

ONSITE AREA: 14.37 ACRES
OFFSITE AREA: 0.00 ACRES
TOTAL AREA: 14.37 ACRES
AREA TO BE DISTURBED: 14.37 ACRES

2.4 RUNOFF DATA:

RUNOFF COEFFICIENTS (C):

BEFORE:	TOTAL COMPOSITE C = 0.20 AND 0.95
DURING:	VARIES BETWEEN = 0.20 AND 0.95
AFTER:	VARIES BETWEEN = 0.20 AND 0.95
TOTAL COMPOSITE C =	0.60

SOILS DATA:
THE SOILS LOCATED AT THE SITE ARE PREDOMINATELY VERY LOOSE TO LOOSE SLIGHTLY SILTY SANDS. GROUNDWATER WAS NOT ENCOUNTERED IN THE 15 FT TO 20 FT DEEP TEST BORING. FOR MORE DETAILED SOILS INFORMATION, REFER TO THE GEOTECHNICAL SERVICES REPORT PREPARED BY UNIVERSAL ENGINEERING SERVICES.

DRAINAGE AREAS FOR EACH OUTFALL:

OUTFALL LOCATION	TOTAL AREA FLOWING TO POND	'C' COEFFICIENT
EXISTING CONVEYANCE PIPED TO NEIGHBORING POND VIA DRAINAGE EASEMENT	14.37	0.60

2.5 SITE MAP:

THE CONSTRUCTION PLANS ARE TO BE USED AS THE SITE MAPS. THE LOCATION OF THE REQUIRED INFORMATION IS DESCRIBED BELOW. THE SHEET NUMBERS FOR ALL THE ITEMS DISCUSSED BELOW ARE IDENTIFIED ON THE KEY SHEET OF THE CONSTRUCTION PLANS.

- DRAINAGE PATTERNS:** ALL DRAINAGE PATTERNS ARE SHOWN ON THE GRADING & DRAINAGE PLANS.

- APPROXIMATE SLOPES:** APPROXIMATE SLOPES ARE SHOWN ON THE GRADING & DRAINAGE POND SIDE SLOPES ARE SHOWN ON THE POND CROSS-SECTIONS.

- AREAS OF SOIL DISTURBANCE:** ALL DEMOLITION IS SHOWN ON THE EXISTING SITE CONDITIONS AND DEMOLITION AND EROSION CONTROL PLAN SHEET. ALL PROPOSED CONSTRUCTION IS SHOWN ON THE REMAINING PLANS. ANY AREAS WHERE DEMOLITION WORK OR PERMANENT FEATURES ARE SHOWN ABOVE OR BELOW GROUND WILL BE DISTURBED.

- AREAS NOT TO BE DISTURBED:** ANY AREAS NOT SHOWING DEMOLITION WORK OR PERMANENT FEATURES ARE ASSUMED NOT TO BE DISTURBED. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO INDICATE ON THE PLANS ANY OF THESE AREAS THAT DO GET DISTURBED AS WELL AS ANY AREAS USED FOR STAGING AND MATERIALS STORAGE.

- LOCATIONS OF CONTROLS:** ALL PROPOSED TEMPORARY CONTROLS AND EXISTING PERMANENT CONTROLS ARE SHOWN ON THE EXISTING SITE, DEMOLITION AND EROSION CONTROL PLAN. ALL PROPOSED PERMANENT CONTROLS ARE SHOWN ON THE REMAINING PLANS. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO INDICATE THE LOCATION OF ANY OTHER CONTROLS ON THE PLANS THAT ARE USED DURING CONSTRUCTION.

- PERMANENT STABILIZATION IS SHOWN ON THE PLANS. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO INDICATE THE LOCATION ON THE PLANS OF ALL TEMPORARY STABILIZATION PRACTICES USED DURING CONSTRUCTION.

- SURFACE WATERS:** N/A

- DISCHARGE POINTS:** ESCAMBIA COUNTY STORMWATER SYSTEM

2.6 RECEIVING WATERS:

EVENTUAL OUTFALL TO ELEVEN MILE CREEK

3.0 CONTROLS:

3.1 EROSION AND SEDIMENT CONTROLS:

ALL EROSION AND SEDIMENT CONTROLS SPECIFIED ON THE DEMOLITION AND EROSION CONTROL PLAN SHEETS, AND THE EROSION CONTROL DETAILS SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION OR DEMOLITION. SILT FENCING AND STAKED HAY BALES SHALL BE INSTALLED ALONG DOWN-GRADIENT LIMITS.

TEMPORARY SEEDING AND MULCHING SHALL BE APPLIED AFTER 14-DAY INTERVALS OF CEASED DISTURBANCE ACTIVITIES THAT WILL EXCEED 20-DAY PERIODS. GRADED AREAS SHALL BE STABILIZED WITH PERMANENT SEEDING, MULCHING, AND FERTILIZING, OR SODDING WITHIN FIVE DAYS OF FINAL GRADING. LANDSCAPING, INCLUDING SODDING, SHALL BE INSTALLED BY AN EXPERIENCED LANDSCAPE CONTRACTOR. PROPOSED DISTURBED AREAS WILL NOT EXCEED 8 ACRES IN ANY DRAINAGE AREA.

3.2 STORMWATER MANAGEMENT:

PROPOSED STORMWATER MANAGEMENT FACILITIES FOR THIS SITE INCLUDE: A DRY RETENTION POND FOR THE ENTIRE PROPERTY.

THE PROPOSED STORMWATER MANAGEMENT FACILITIES MEET ALL STORMWATER TREATMENT REQUIREMENTS AND ALL RATE CONTROL REQUIREMENTS SET FORTH BY THE LOCAL AND STATE REGULATORY AGENCIES.

3.3 OTHER CONTROLS:

WASTE DISPOSAL: THE CONTRACTOR IS RESPONSIBLE FOR ALL WASTE DISPOSAL FROM THE SITE. THE CONTRACTOR SHALL EMPLOY WASTE DISPOSAL PRACTICES THAT MEET ALL LOCAL, STATE, AND FEDERAL GUIDELINES AND PREVENT DISCHARGE OF SOLID MATERIALS TO WATERS OF THE UNITED STATES. THE CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING THIS PORTION OF THE SWPPP.

OFFSITE VEHICLE TRACKING: IF OFF SITE TRACKING OF SEDIMENTS BY CONSTRUCTION VEHICLES OCCURS, THE CONTRACTOR IS REQUIRED TO INSTALL A SOIL TRACKING PREVENTION DEVICE (STPD) AS PER FDOT STANDARD INDEX 106 AT ALL EXITS TO THE SITE WHERE SEDIMENT TRACKING IS OCCURRING. THE CONTRACTOR IS ALSO RESPONSIBLE FOR DOCUMENTING THIS PORTION OF THE SWPPP.

HAZARDOUS MATERIALS: ALL POLLUTANTS AND HAZARDOUS MATERIALS INCLUDING BUT NOT LIMITED TO FERTILIZERS, HERBICIDES, PESTICIDES, SOLVENTS, OILS AND OIL FILTERS, PETROLEUM PRODUCTS, PAINT, AND EQUIPMENT MAINTENANCE FLUIDS, SHALL BE STORED INDOORS OR UNDER COVER IN AREAS WITH SECONDARY CONTAINMENT. SECONDARY CONTAINMENT PREVENTS A SPILL FROM SPREADING ACROSS THE SITE AND INCLUDES DIKES, BERMS, CURBING, OR OTHER CONTAINMENT METHODS. HAZARDOUS MATERIAL STORAGE AREAS SHALL BE INSPECTED WEEKLY AND AFTER STORM EVENTS. STORAGE AREAS SHALL BE KEPT CLEAN, WELL ORGANIZED, AND EQUIPPED WITH AMPLE CLEANUP SUPPLIES/SPILL KITS AS APPROPRIATE FOR THE MATERIALS BEING STORED. MATERIAL SAFETY DATA SHEETS, MATERIAL INVENTORY, AND EMERGENCY CONTACT INFORMATION SHALL BE MAINTAINED ON-SITE. ALL PERSONNEL SHALL RECEIVE INSTRUCTION REGARDING PROPER PROCEDURES FOR HAZARDOUS MATERIAL HANDLING AND DISPOSAL. HAZARDOUS MATERIALS SHALL NOT BE DISPOSED OF INTO ON-SITE DUMPSTERS; HAZARDOUS MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, AND MUNICIPAL REGULATIONS. VEHICLES AND EQUIPMENT WILL BE MAINTAINED OFF-SITE. ALL VEHICLES AND EQUIPMENT INCLUDING SUBCONTRACTOR VEHICLES WILL BE CHECKED FOR LEAKING OIL AND FLUIDS. VEHICLES LEAKING FLUIDS WILL NOT BE ALLOWED ON-SITE. DRIP PANS SHALL BE PLACED UNDER ALL VEHICLES AND EQUIPMENT THAT ARE PARKED OVERNIGHT.

APPLICATION OF FERTILIZERS, HERBICIDES, AND PESTICIDES: FERTILIZERS, HERBICIDES, AND PESTICIDES SHALL BE DELIVERED TO THE SITE IN ORIGINAL, UNOPENED CONTAINERS BEARING MANUFACTURER'S CHEMICAL ANALYSIS, NAME, TRADE NAME, TRADEMARK, AND INDICATION OF CONFORMANCE TO STATE AND FEDERAL LAWS. FERTILIZERS, HERBICIDES, AND PESTICIDES SHALL BE IN APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S SUGGESTED RATE.

5.0 INSPECTIONS:

QUALIFIED PERSONNEL SHALL INSPECT THE FOLLOWING ITEMS, BUT NOT LIMITED TO, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.25 INCHES OR GREATER. WHERE SITES HAVE BEEN FINALLY STABILIZED, INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH.

- POINTS OF DISCHARGE TO WATERS OF THE UNITED STATES.
- POINTS OF DISCHARGE TO MUNICIPAL SEPARATE STORM SEWER SYSTEMS.
- DISTURBED AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
- AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION.
- STRUCTURAL CONTROLS.
- STORMWATER MANAGEMENT SYSTEMS.
- LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE.

6.0 NON-STORMWATER DISCHARGES:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING ANY HAZARDOUS SUBSTANCE SPILLS THAT MAY EQUAL OR EXCEED A REPORTABLE QUANTITY (RQ). REFER TO EPA'S LIST OF HAZARDOUS SUBSTANCES AND REPORTABLE QUANTITIES (EPA 40 CFR 302.4 & 117). V THIS LIST CAN BE OBTAINED FROM EPA'S WEBSITE (WWW.EPA.GOV) OR BY CONTACTING EPA. IF AN RQ RELEASE DOES OCCUR THE CONTRACTOR SHALL PERFORM THE FOLLOWING PROCEDURES:

- NOTIFY THE NATIONAL RESPONSE CENTER IMMEDIATELY AT 800-424-8802.
- PROVIDE WRITTEN DESCRIPTION OF THE RELEASE WITHIN 14 DAYS PROVIDING DATES, CAUSE AND PREVENTION METHODS TO THE REGIONAL EPA OFFICE.
- MODIFY THE SWPPP AS NECESSARY TO ADDRESS ADDED PREVENTION METHODS.

7.0 IMPLEMENTATION CHECKLIST:

7.1 RECORDS:

THE CONTRACTOR SHALL MAINTAIN RECORDS OF CONSTRUCTION ACTIVITIES INCLUDING, BUT NOT LIMITED TO:

- DATES WHEN MAJOR GRADING ACTIVITIES OCCUR.
- DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY CEASE ON A PORTION OF THE SITE.
- DATES WHEN CONSTRUCTION ACTIVITIES PERMANENTLY CEASE ON A PORTION OF THE SITE.
- DATES WHEN STABILIZATION MEASURES ARE INITIATED ON THE SITE.

7.2 INSPECTION REPORTS:

THE CONTRACTOR SHALL PREPARE INSPECTION REPORTS SUMMARIZING THE FOLLOWING, BUT NOT LIMITED TO:

- NAME OF INSPECTOR.
- QUALIFICATIONS OF INSPECTOR.
- MEASURES/AREAS INSPECTED.
- OBSERVED CONDITIONS.
- CHANGES NECESSARY TO THE SWPPP.

7.3 RELEASES OF REPORTABLE QUANTITIES OF OIL OR HAZARDOUS MATERIALS:

THE CONTRACTOR SHALL REPORT ANY RELEASES OF REPORTABLE QUANTITIES OF OIL OR HAZARDOUS MATERIALS IF THEY OCCUR AS PER THE MEASURES OUTLINED IN SECTION 6.0 OF THE SWPPP.

7.4 SWPPP MODIFICATION:

THE CONTRACTOR SHALL MODIFY THE SWPPP AS NECESSARY TO:

- COMPLY WITH MINIMUM PERMIT REQUIREMENTS WHEN NOTIFIED BY FDEP THAT THE PLAN DOES NOT COMPLY.
- ADDRESS ANY CHANGES IN DESIGN, CONSTRUCTION OPERATIONS OR MAINTENANCE, WHICH HAS AN EFFECT ON THE POTENTIAL FOR DISCHARGE OF POLLUTANTS.
- PREVENT REOCCURRENCE OF REPORTABLE QUANTITY RELEASES OF HAZARDOUS MATERIAL OR OIL.

8.0 TERMINATION CHECKLIST:

THE FOLLOWING ITEMS SHALL BE COMPLETE BEFORE SUBMITTING THE NOT:

- ALL SOIL DISTURBING ACTIVITIES ARE COMPLETE.
- TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN REMOVED OR WILL BE REMOVED AT AN APPROPRIATE TIME.
- ALL AREAS OF THE CONSTRUCTION SITE NOT OTHERWISE COVERED BY PERMANENT PAVEMENT OR STRUCTURE HAVE BEEN STABILIZED WITH UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OR EQUIVALENT MEASURES HAVE BEEN EMPLOYED.

RBA

REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors

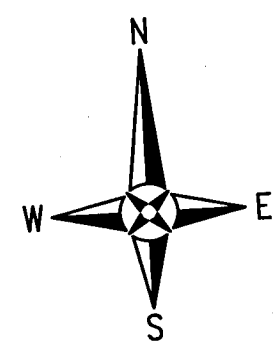
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0448
E5 00066507

NPDES - STORMWATER
POLLUTION PREVENTION PLAN

Ledgestone Subdivision
A 36 LOT RESIDENTIAL SUBDIVISION
BEULAH ROAD
ESCAMBIA COUNTY, FLORIDA

REVISION	DATE	No.			

SEAL
NOT FOR CONSTRUCTION
PAUL A. BATTLE, P.E.
No. 53126
Dr. By: CBD
Ck By: PAB
Job No.: 2018.158
Date: 4/21/2021
DRAWING No.
C1.2
SHEET 4 OF 32



DRIVEWAY NOTE:
EXISTING DRIVEWAY SHALL BE RESTORED TO ORIGINAL OR BETTER
CONDITION

GOPHER TORTOISE NOTE:
 AN UPDATED AND COMPLETE GOPHER TORTOISE SURVEY SHALL BE SUFFICIENTLY CONDUCTED BY A QUALIFIED ENVIRONMENTAL CONSULTANT/ PROFESSIONAL ON ALL LAND AREAS PROPOSED FOR FUTURE DEVELOPMENT. SUCH 100% SITE-SURVEY SHALL BE CONDUCTED IN AN APPROPRIATE TIME FRAME AS REQUIRED BY JURISDICTIONAL AGENCY(S) PRIOR TO ANY PROJECTED LAND DISTURBANCE ACTIVITIES WHICH MAY ADVERSELY AFFECT THEM. ALL PROPOSED IMPACTS, RELOCATIONS, OR EXCLUSIONS OF GOPHER TORTOISES FROM THE SITE OVERALL SHALL BE PROPERLY PERMITTED (OR OTHERWISE AUTHORIZED IN WRITING) BY THE JURISDICTIONAL AGENCIES AND ADEQUATELY PERFORMED PRIOR TO INITIATION OF ANY SITE WORK ACTIVITIES.

SUBDIVISION SIGN NOTE:
PER SECTION 5-8.7 OF THE ESCAMBIA COUNTY LAND
DEVELOPMENT CODE: TWO IDENTIFICATION SIGNS PER RESIDENTIAL
SUBDIVISION OR DEVELOPMENT ENTRANCE.
AREA MAXIMUM = 32 SQUARE FEET
HEIGHT MAXIMUM = 6 FEET FROM GRADE
SETBACK MINIMUM = 10 FEET

ALIGNMENT CURVE TABLE					
Curve #	Radius	Length	Chord Direction	Chord	Delta
C100	50.00	78.48	S 47°49'18" W	70.67	89°55'37"
C101	50.00	39.24	S 25°20'23" W	38.24	44°57'48"
C102	50.00	39.24	S 70°18'12" W	38.24	44°57'48"
C103	50.00	39.27	N 64°42'54" W	38.27	45°00'00"
C104	50.00	39.27	N 19°42'54" W	38.27	45°00'00"
C105	50.00	39.27	N 25°17'06" E	38.27	45°00'00"
C106	50.00	39.27	N 70°17'06" E	38.27	45°00'00"
C107	50.00	39.27	S 64°42'54" E	38.27	45°00'00"
C108	50.00	39.27	S 19°42'54" E	38.27	45°00'00"

PARCEL CURVE TABLE					
Curve #	Length	Radius	Central Angle	Chord Bearing	
C1	39.24	25.00	89°55'37"	35.33	S 4°49'18" E
C2	13.34	25.00	30°35'02"	13.19	S 12°21'01" E
C3	131.71	50.00	159°55'38"	96.80	S 47°49'18" W
C4	60.81	50.00	69°41'05"	57.13	S 65°15'24" E
C5	21.46	50.00	24°35'10"	21.29	S 69°00'28" E
C6	13.26	25.00	30°23'11"	13.10	S 71°54'28" E
C7	13.29	25.00	30°27'58"	13.14	N 77°33'07" E
C8	16.16	50.00	18°30'48"	16.09	N 17°34'32" E
C9	42.79	50.00	49°01'50"	41.49	S 74°39'09" E
C10	38.51	50.00	44°07'39"	37.58	S 28°04'24" E
C11	34.26	50.00	39°15'39"	33.60	S 13°37'15" W
C12	13.29	25.00	30°27'58"	13.14	S 18°01'05" E
C13	13.29	25.00	30°27'58"	13.14	S 12°26'53" E
C14	34.26	50.00	39°15'39"	33.60	S 09°03'33" W
C15	41.93	50.00	48°02'53"	40.71	S 38°36'13" W
C16	39.37	50.00	45°06'37"	36.36	S 82°10'58" W



SITE LAYOUT & DIMENSION PLAN

Ledgestone Subdivision
A 36 LOT RESIDENTIAL SUBDIVISION
BEULAH ROAD
ESCAMBIA COUNTY, FLORIDA

[illegible]

SEAL
NOT FOR CONSTRUCTION
LICENCE
No. 53126
STATE OF
FLORIDA
10/5/21
PAUL A. BATTLE, P.E.
No. 53126

Dr. By: CBD
Ck By: PAB
Job No.: 2018.158
Date: 4/21/2021

DRAWING No.

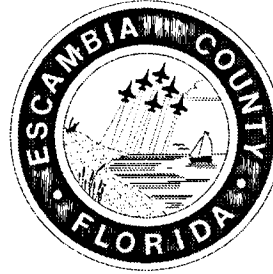
C2.0

SHEET 5 OF 32

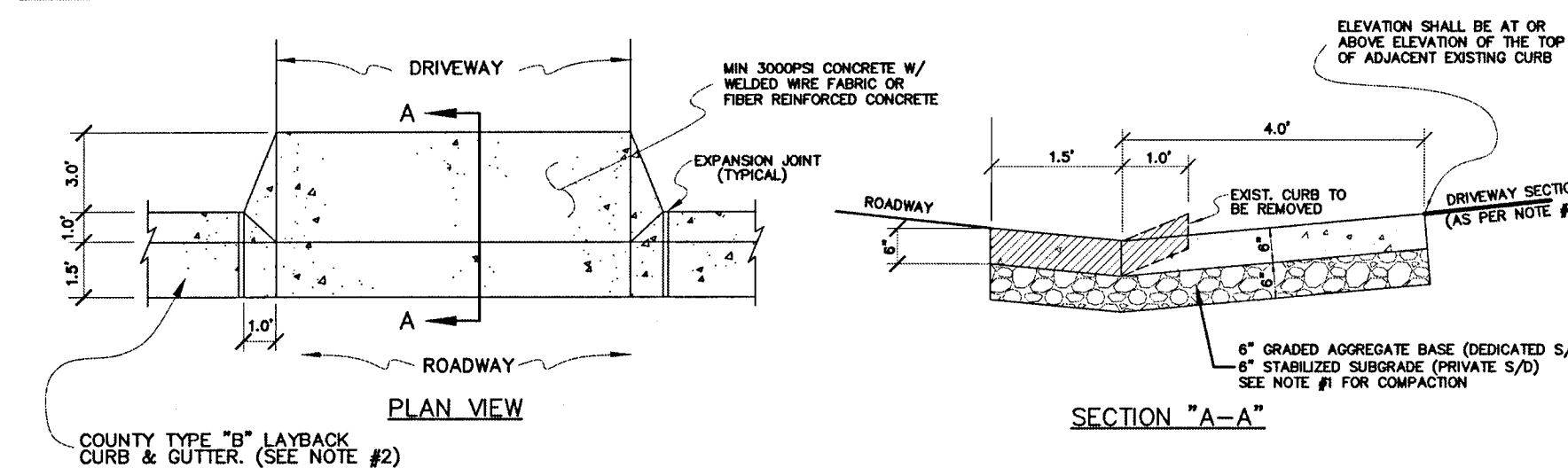
TYPICAL DRIVEWAY CONNECTION STANDARDS FOR NEW SUBDIVISION (CURB & GUTTER) ROADWAY CONDITIONS

NOTES:

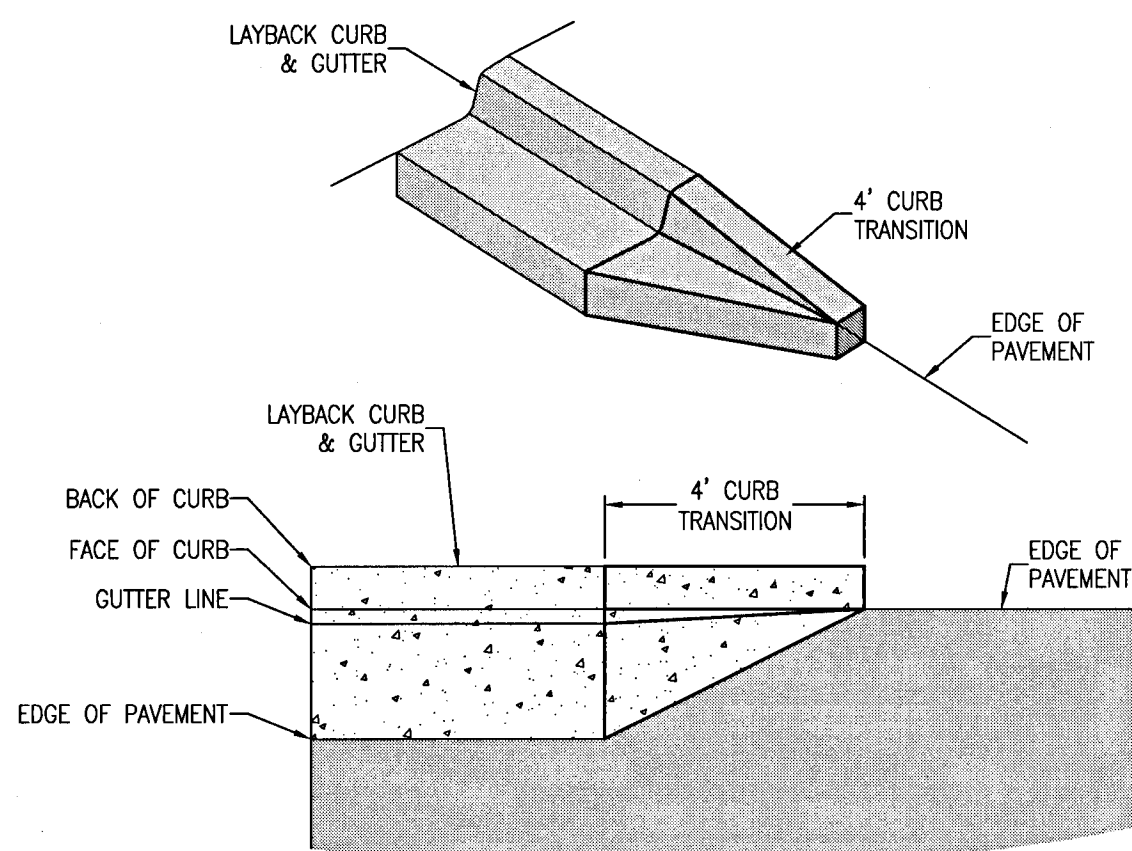
1. DRIVEWAY SECTIONS ABUTTING CURB OR CURB CUT SHALL BE 6" CONCRETE WITH 6" STABILIZED SUBGRADE AND 4" TO 6" CONCRETE DRIVEWAY WITH 4" STABILIZED SUBGRADE ~ 95% COMPACTION (MODIFIED PROCTOR) WITH LBR 40 BETWEEN EDGE OF ROADWAY AND R/W LINE.
2. FOR OTHER TYPE CURBS, DIMENSIONS MAY BE ADJUSTED TO FIT. IF NECESSARY, REFER TO F.D.O.T. INDEX DETAILS.
3. DRIVEWAYS WITHIN PROPERTY BOUNDARY SHALL PROVIDE A MINIMUM OF 2 PARKING SPACES.
4. TYPICAL DRIVEWAY SECTIONS ARE TO BE 12' WIDE MINIMUM.



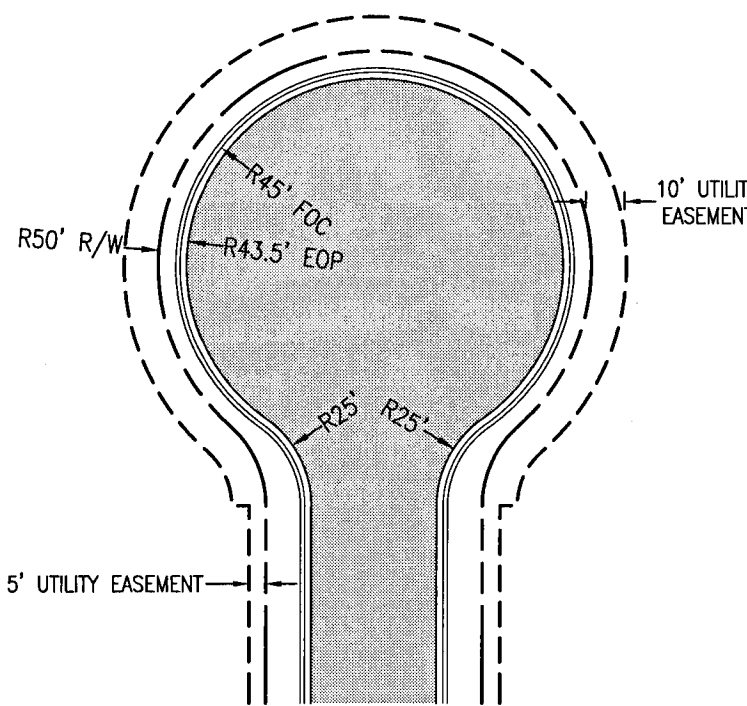
TYPE I CURB CUT DRIVEWAY FOR COUNTY TYPE "B" LAYBACK CURBS.



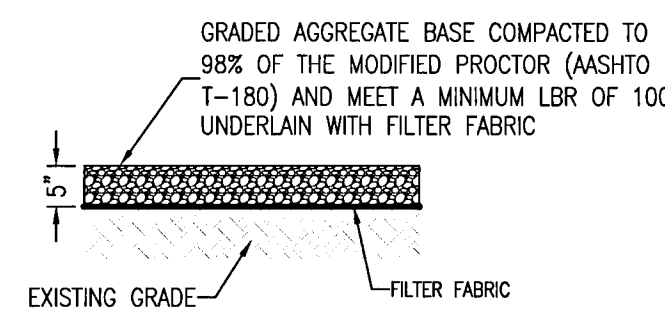
REVISED SEPT. 15, 2008



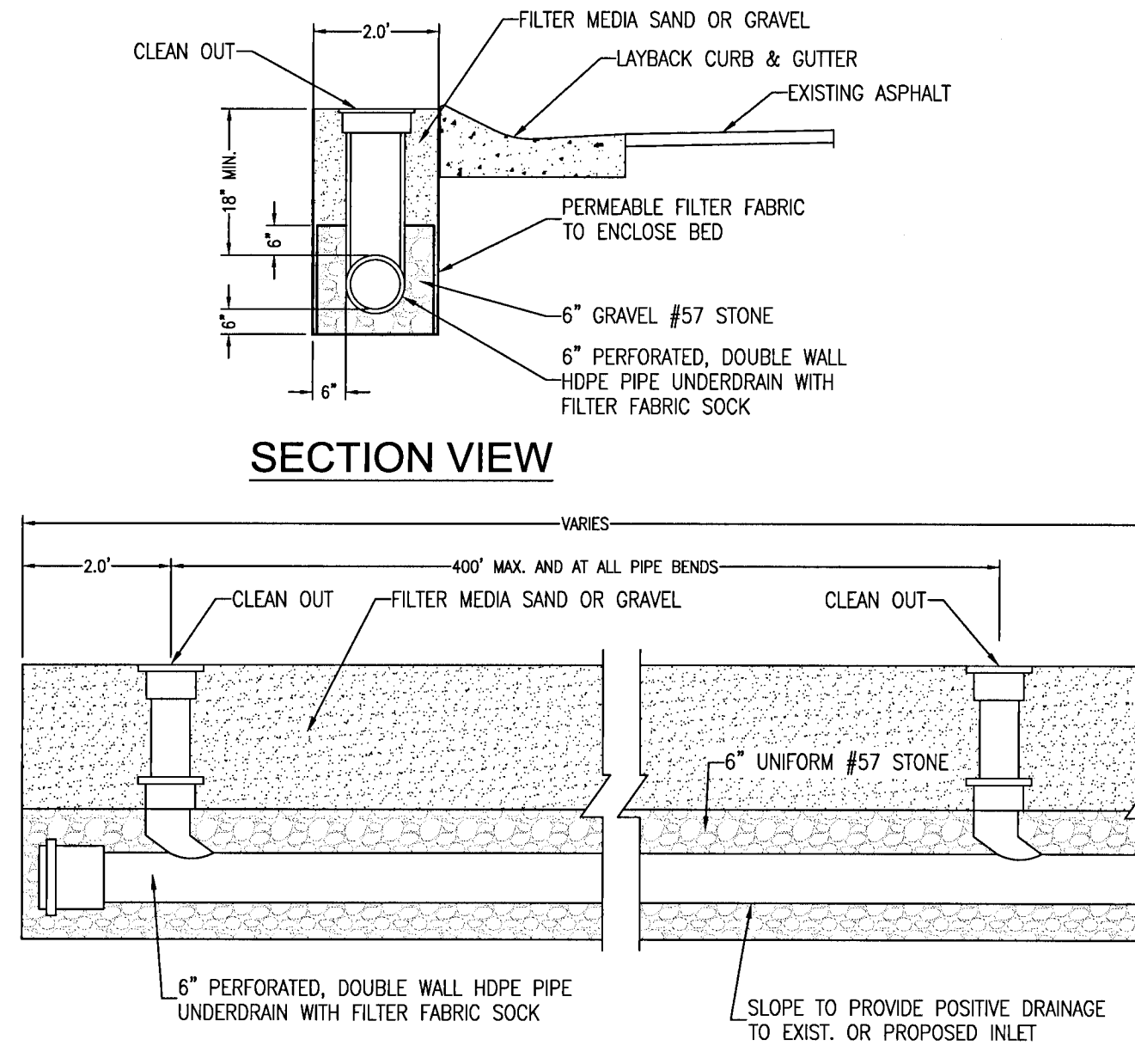
CURB TRANSITION LAYBACK TO ASPHALT N.T.S.



TYPICAL ESCAMBIA COUNTY CUL-DE-SAC DETAIL N.T.S.



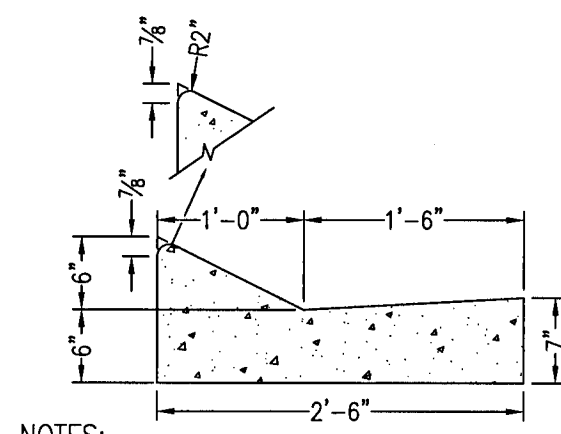
STABILIZED GRAVEL DRIVE SECTION N.T.S.



ROADSIDE UNDERDRAIN *

NOT TO SCALE

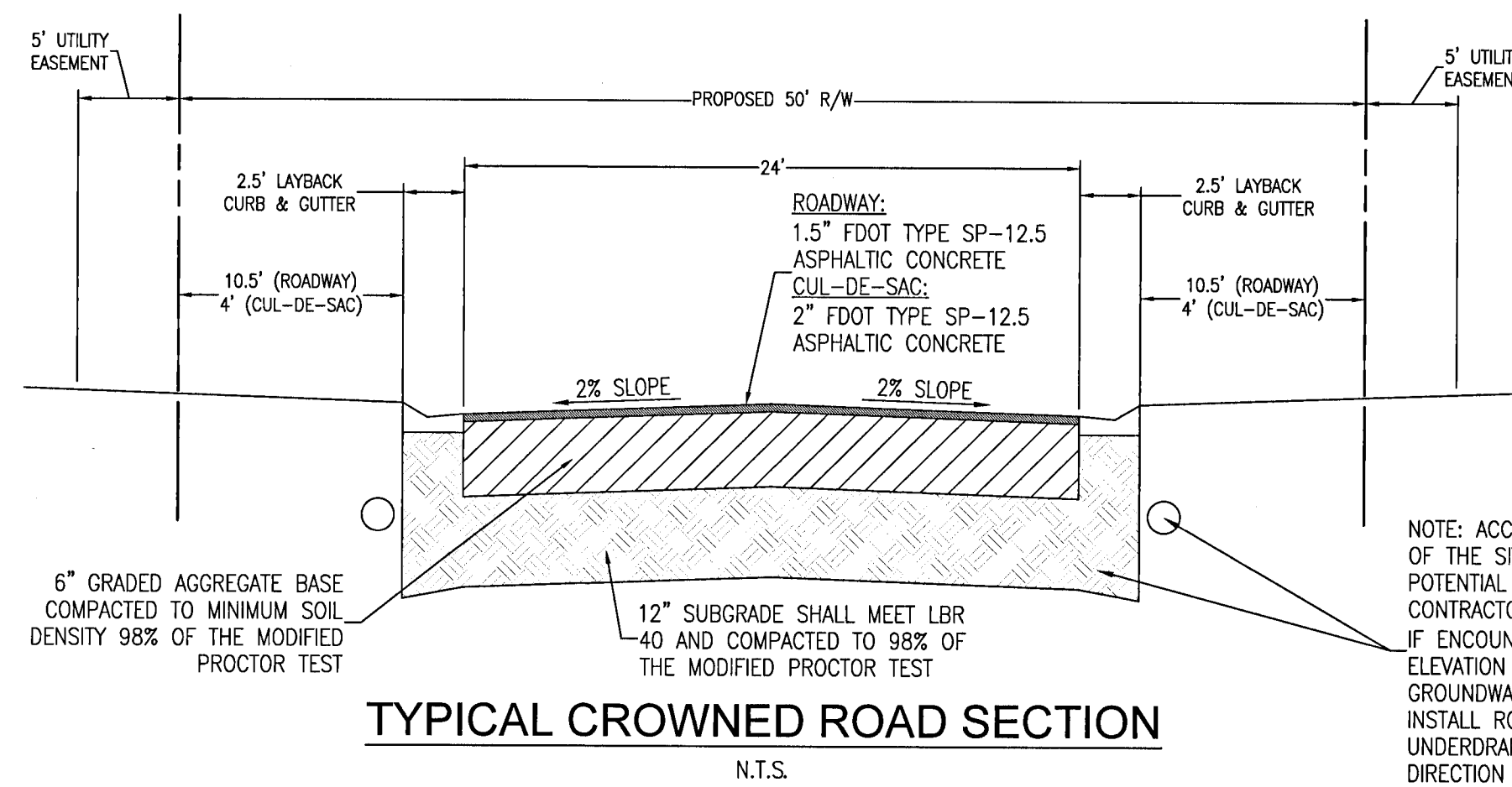
- * AS-NEEDED APPROVAL BY EOR REQUIRED



VALLEY GUTTER N.T.S.

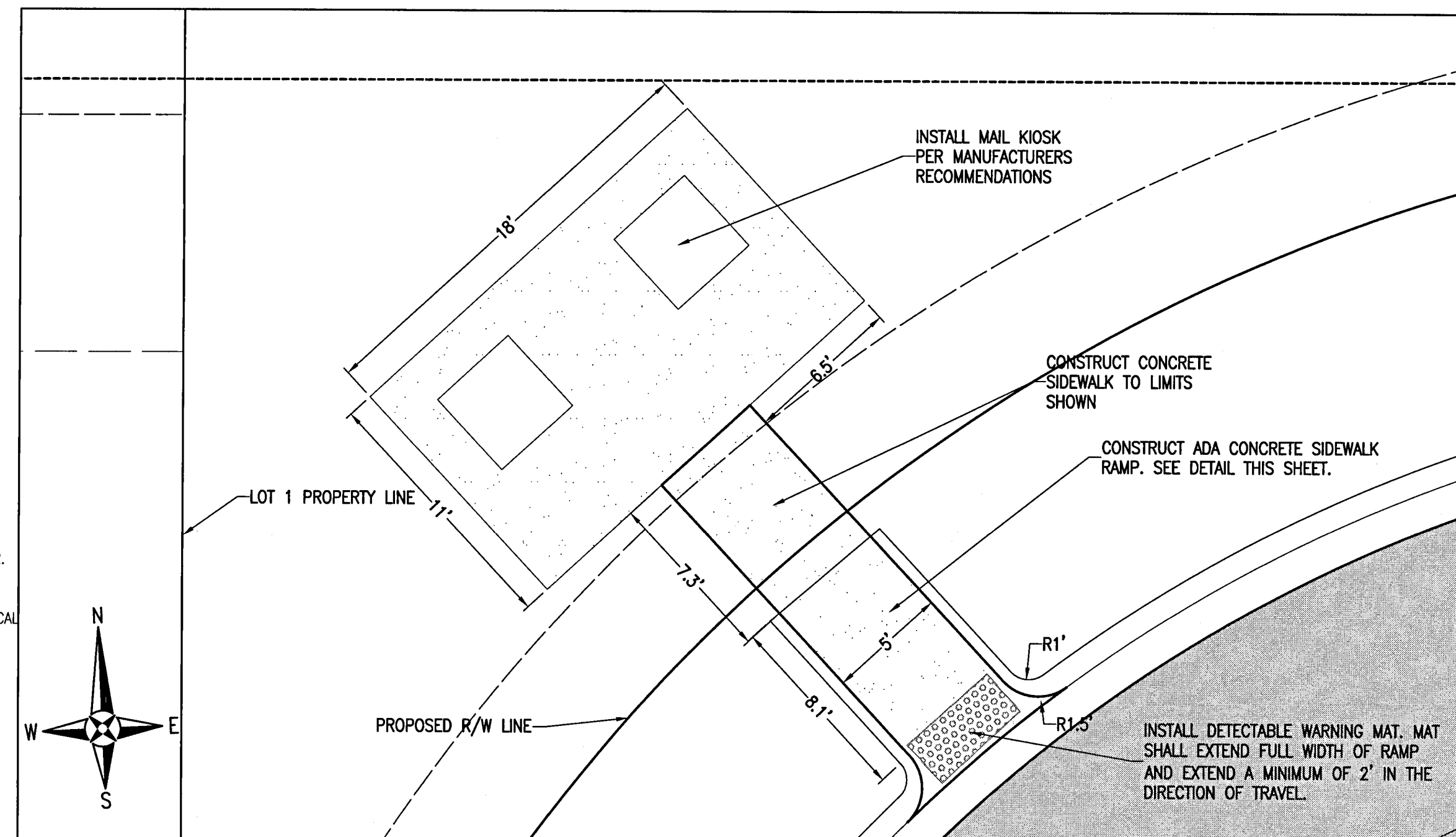
- NOTES:
1. ALL CURB TO HAVE DUMMY JOINT AT 10' ON CENTER. MIN. DEPTH OF JOINT TO BE 2".
 2. EXPANSION JOINTS ARE TO BE 30' ON CENTER. TYPICAL FOR ALL CURB.
 3. ALL CONCRETE SHALL BE 3000 PSI AT 28 DAYS.

LAYBACK CURB & GUTTER N.T.S.

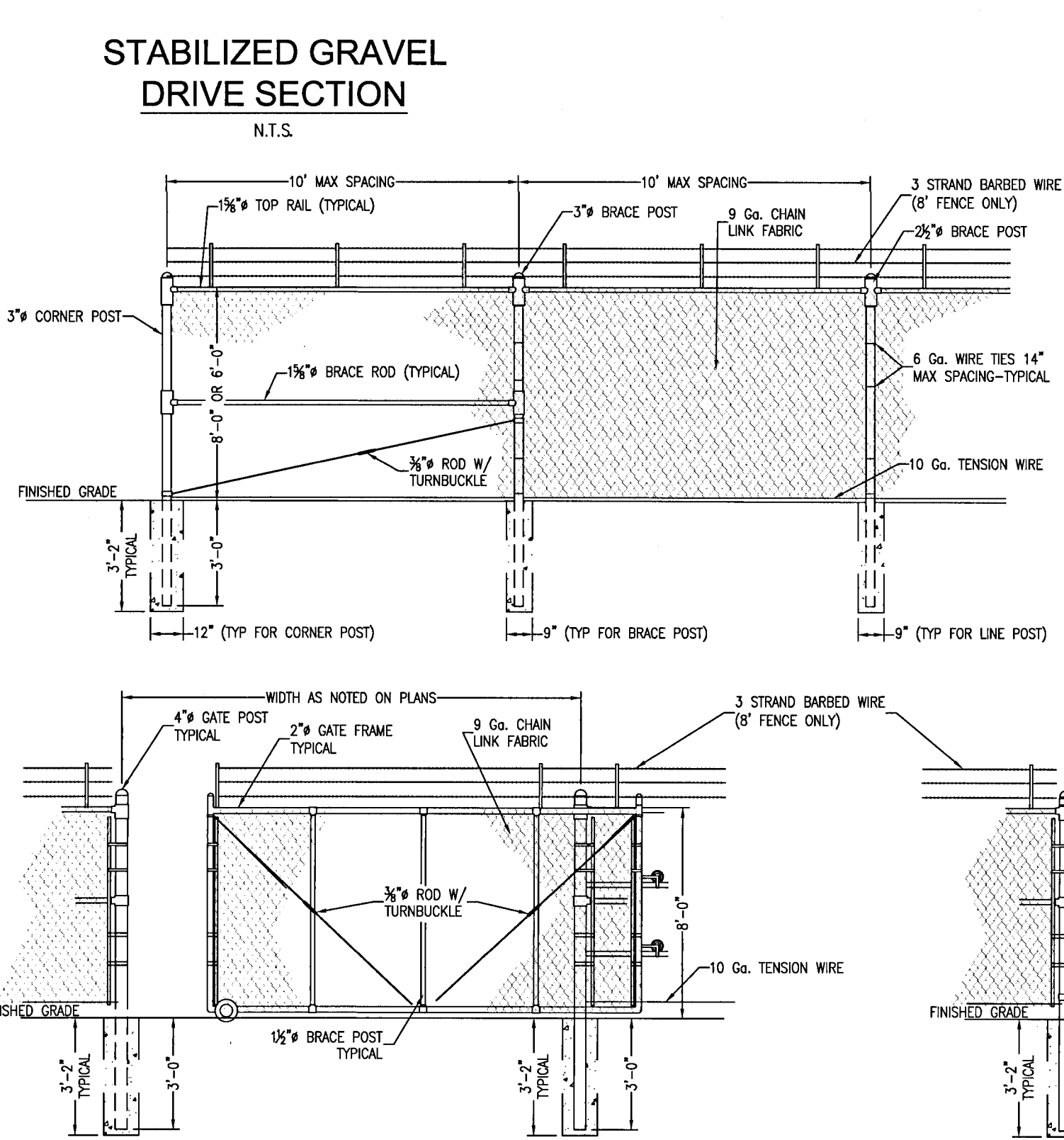
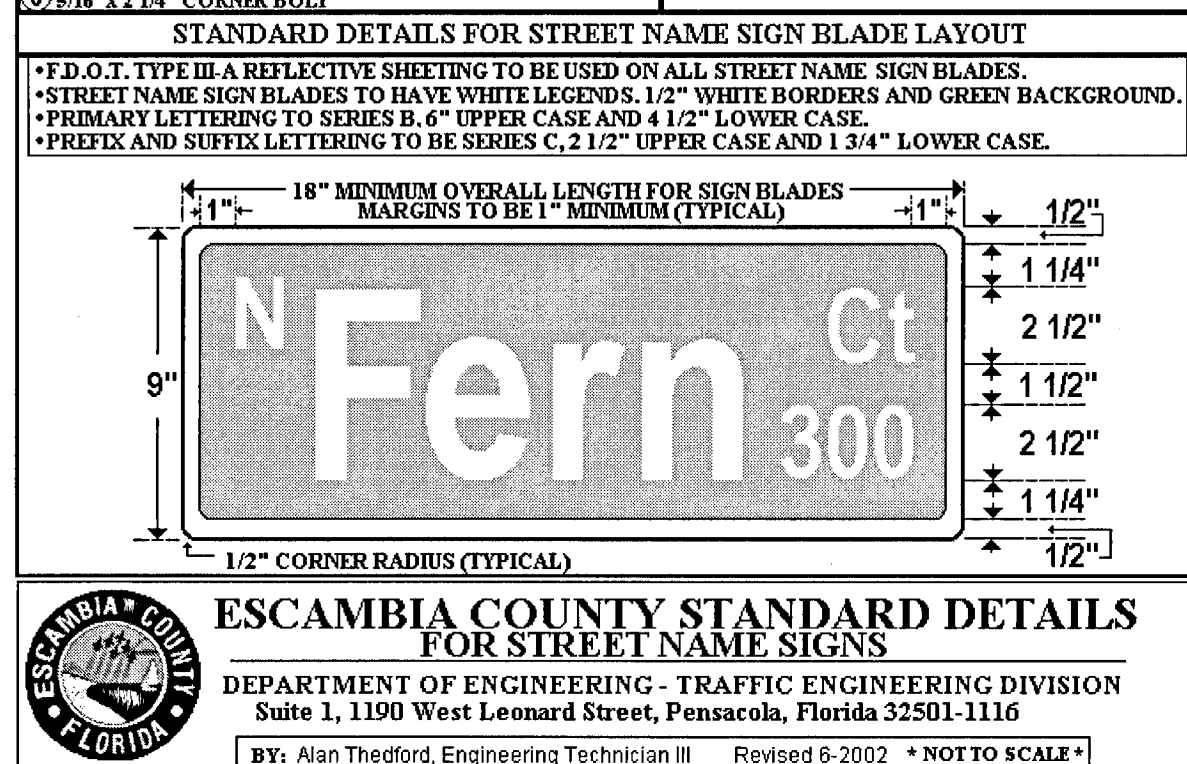
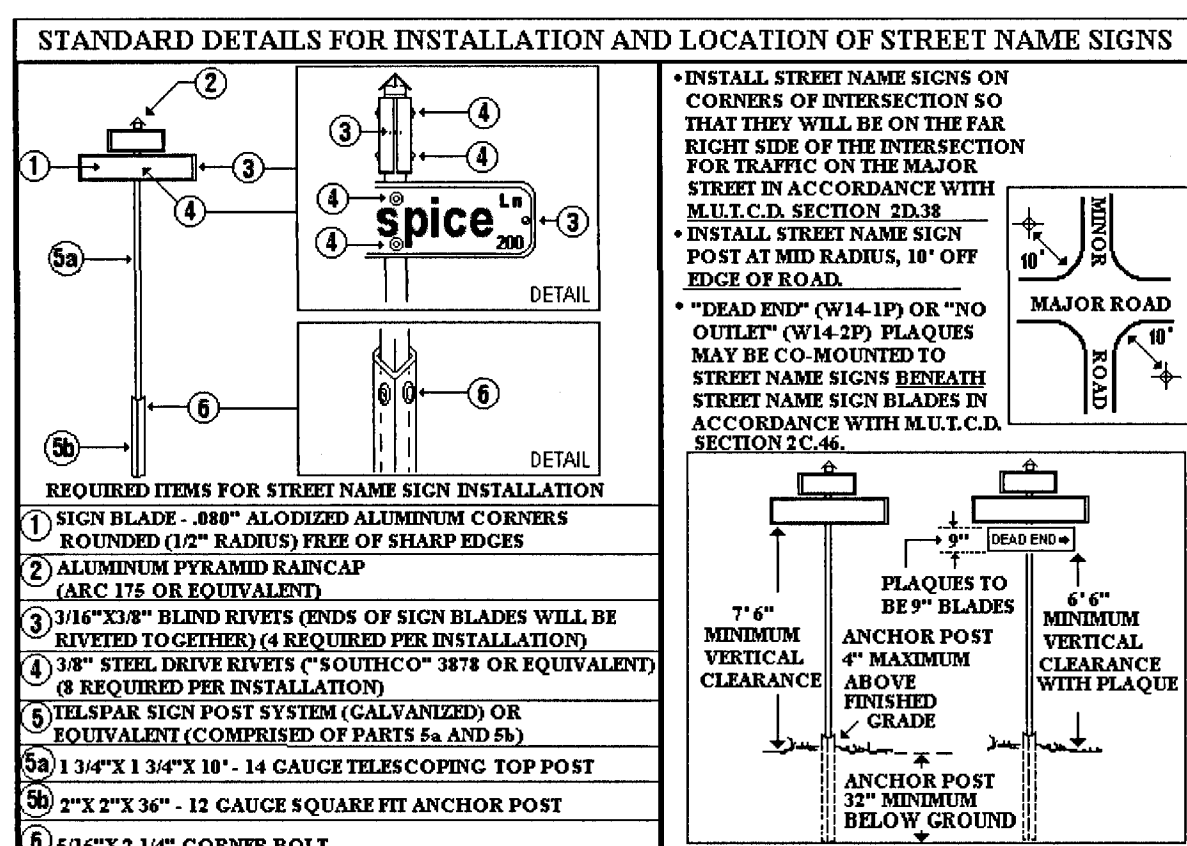


TYPICAL CROWNED ROAD SECTION N.T.S.

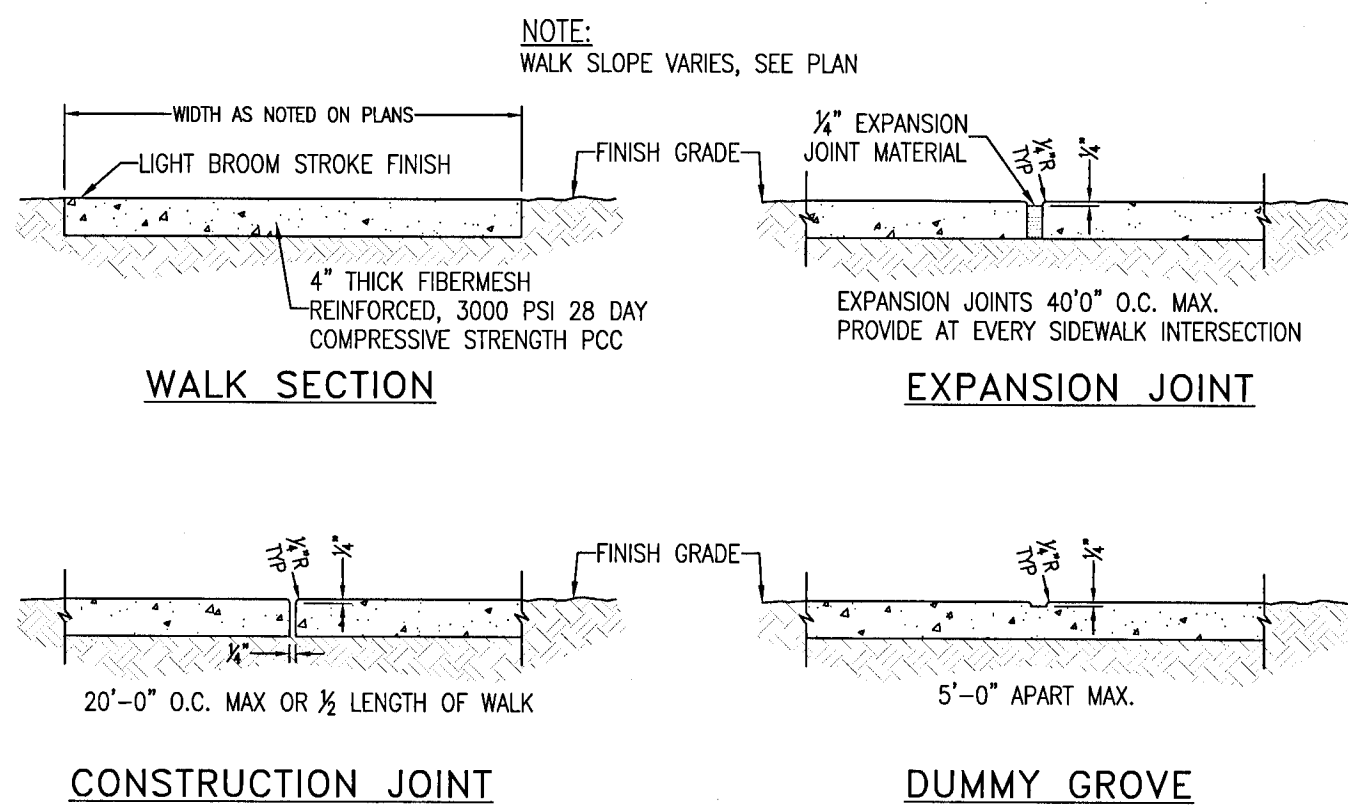
NOTE: ACCORDING TO SITE GEOTECHNICAL DATA, PORTIONS OF THE SITE CONTAIN CONFINING LAYERS CREATING THE POTENTIAL FOR PERCHED WATER BENEATH THE ROADWAYS. CONTRACTOR SHALL EXCAVATE THROUGH CONFINING LAYERS IF ENCOUNTERED WITHIN 2' BENEATH BOTTOM OF BASE ELEVATION AND BACKFILL WITH CLEAN SAND. IF GROUNDWATER PRESENCE REMAINS, CONTRACTOR SHALL INSTALL ROADSIDE UNDERDRAIN. SEE DETAIL. NO UNDERDRAIN INSTALLATION SHALL OCCUR WITHOUT DIRECTION FROM THE EOR.



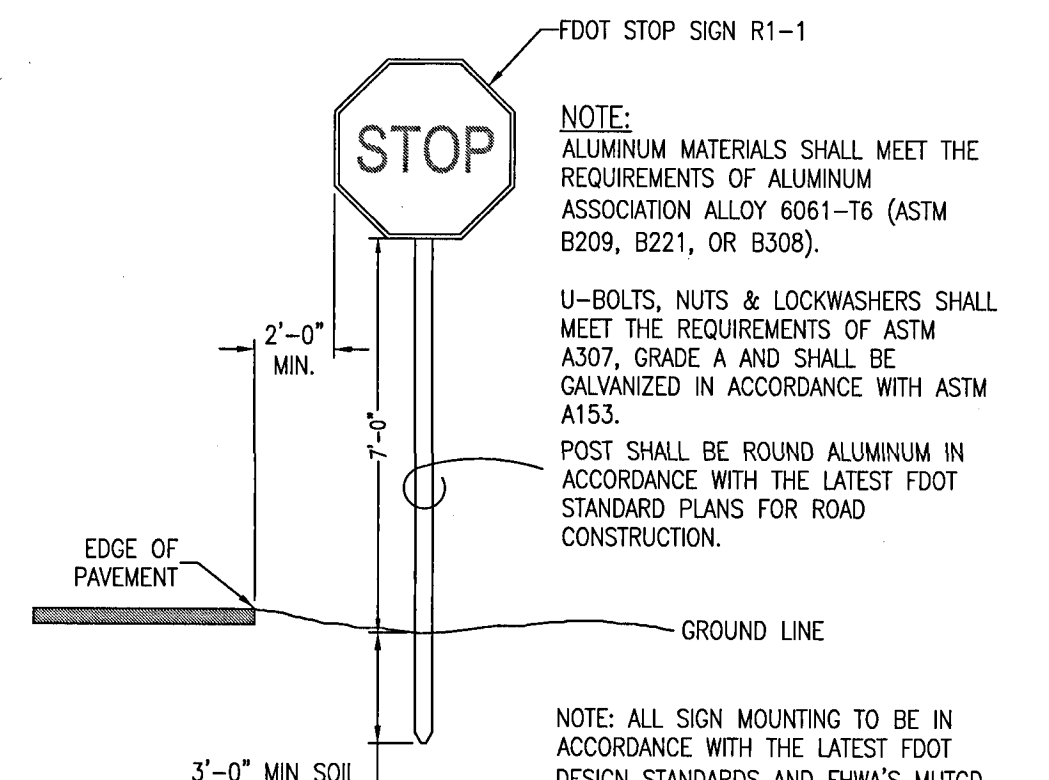
MAIL KIOSK DETAIL 1"=5'



CHAIN LINK FENCE DETAILS N.T.S.



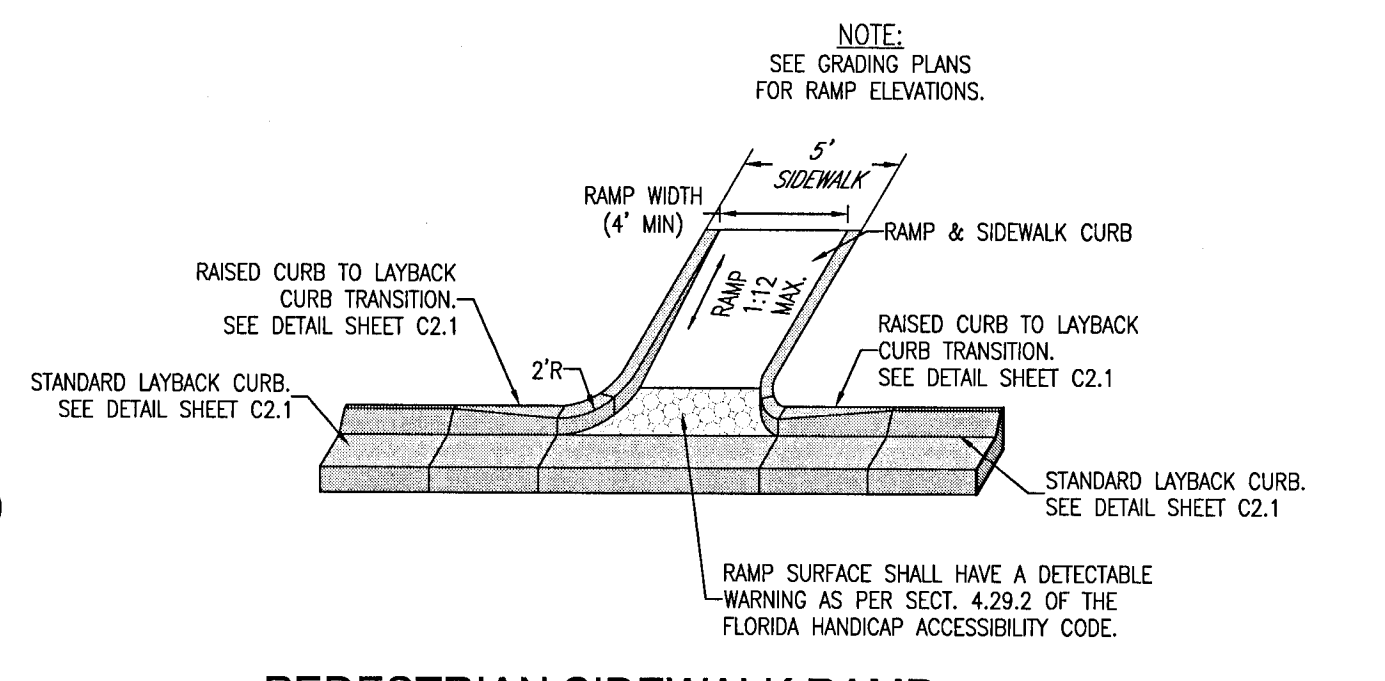
SIDEWALK DETAILS N.T.S.



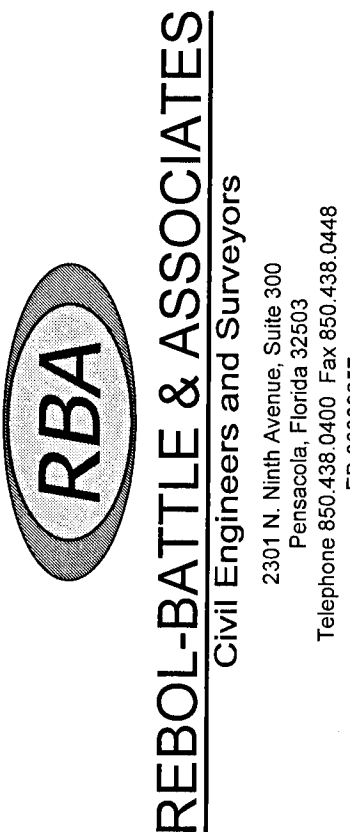
SIGN MOUNTING DETAIL N.T.S.



FDOT STANDARD R1-1 2'-0" x 2'-0" N.T.S.



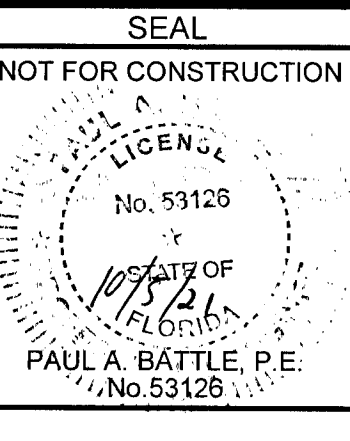
PEDESTRIAN SIDEWALK RAMP N.T.S.



SITE DETAILS



REVISION	DATE	NO.

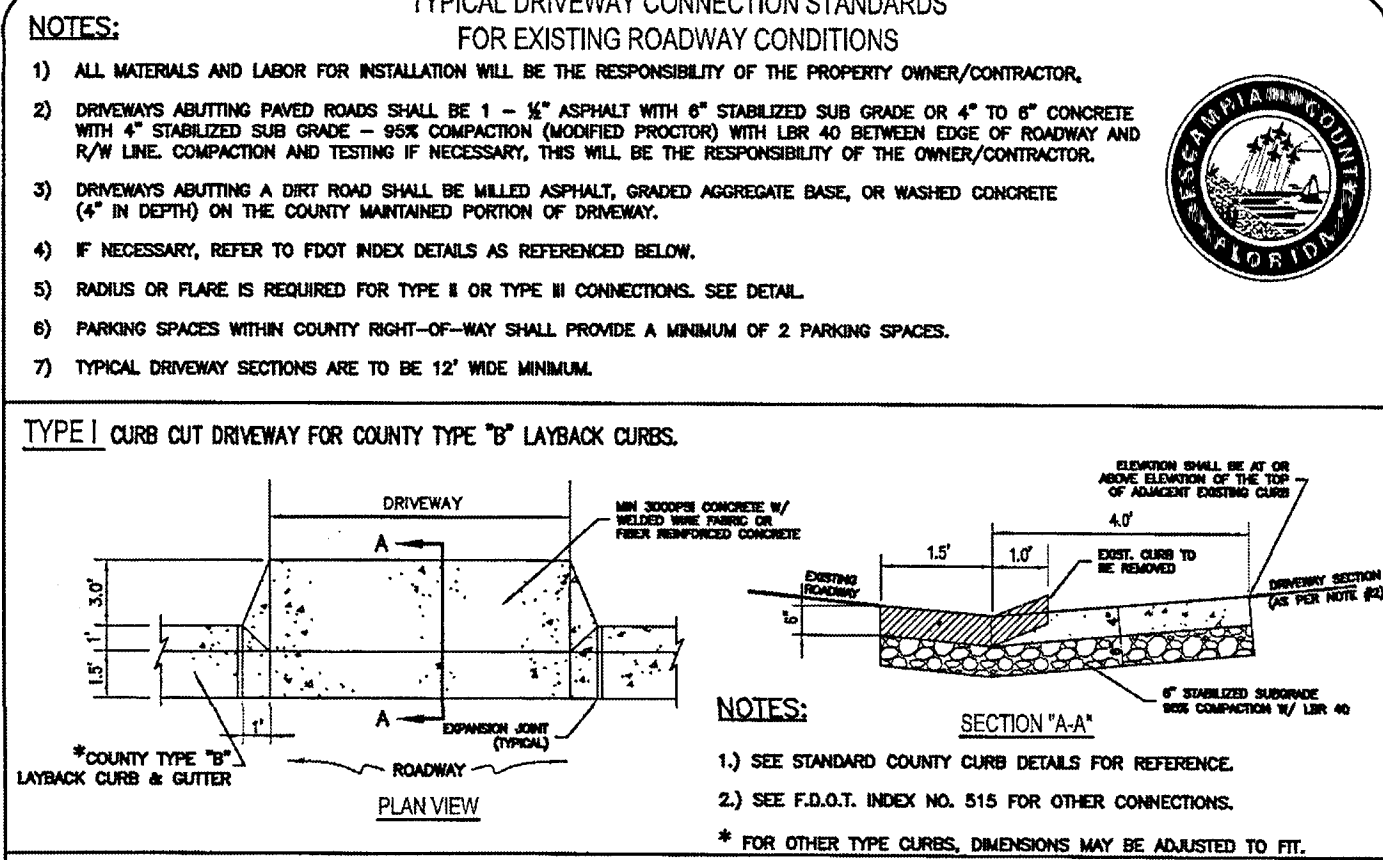
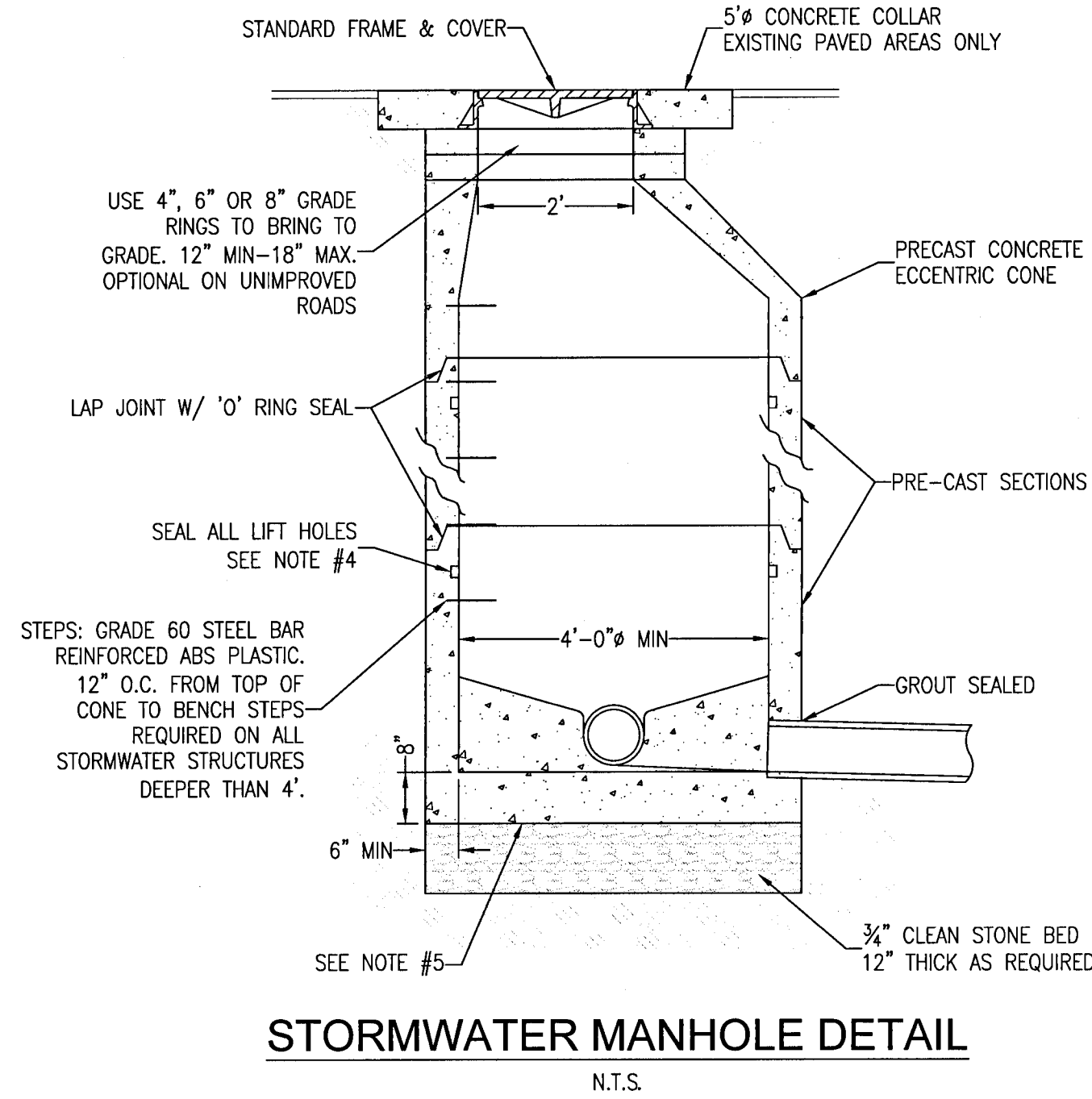


Dr. By: CBD
Ck By: PAB
Job No.: 2018.158
Date: 4/21/2021

DRAWING No.

C2.1
SHEET 6 OF 32

- NOTES:
1. MANHOLE SHALL CONFORM TO A.S.T.M. C 478 SPECIFICATIONS WITH 4000 PSI CONCRETE.
 2. DIAMETER OF OPENING FOR PIPE SHALL BE 1" LARGER DIAMETER THAN BELL OF THE PIPE BEING USED.
 3. JOINTING COMPOUND SHALL BE RAM NECK, TYPE 1, ROPE FORM PLASTIC GASKET OR EQUAL.
 4. ALL PATCHING TO BE DONE WITH HYDRAULIC CEMENT. NO MORTAR REPAIRS PERMITTED.
 5. CONCRETE TO BE 2500 P.S.I., REINFORCING STEEL TO BE A.S.T.M. A 615 GRADE 60 OR PROVIDE PRE-CAST MANHOLE BASE SECTION IN CONFORMANCE WITH ASTM C-478.
 6. CAST IN PLACE MANHOLE MAY BE ALLOWED IN PRE-APPROVED LOCATIONS.



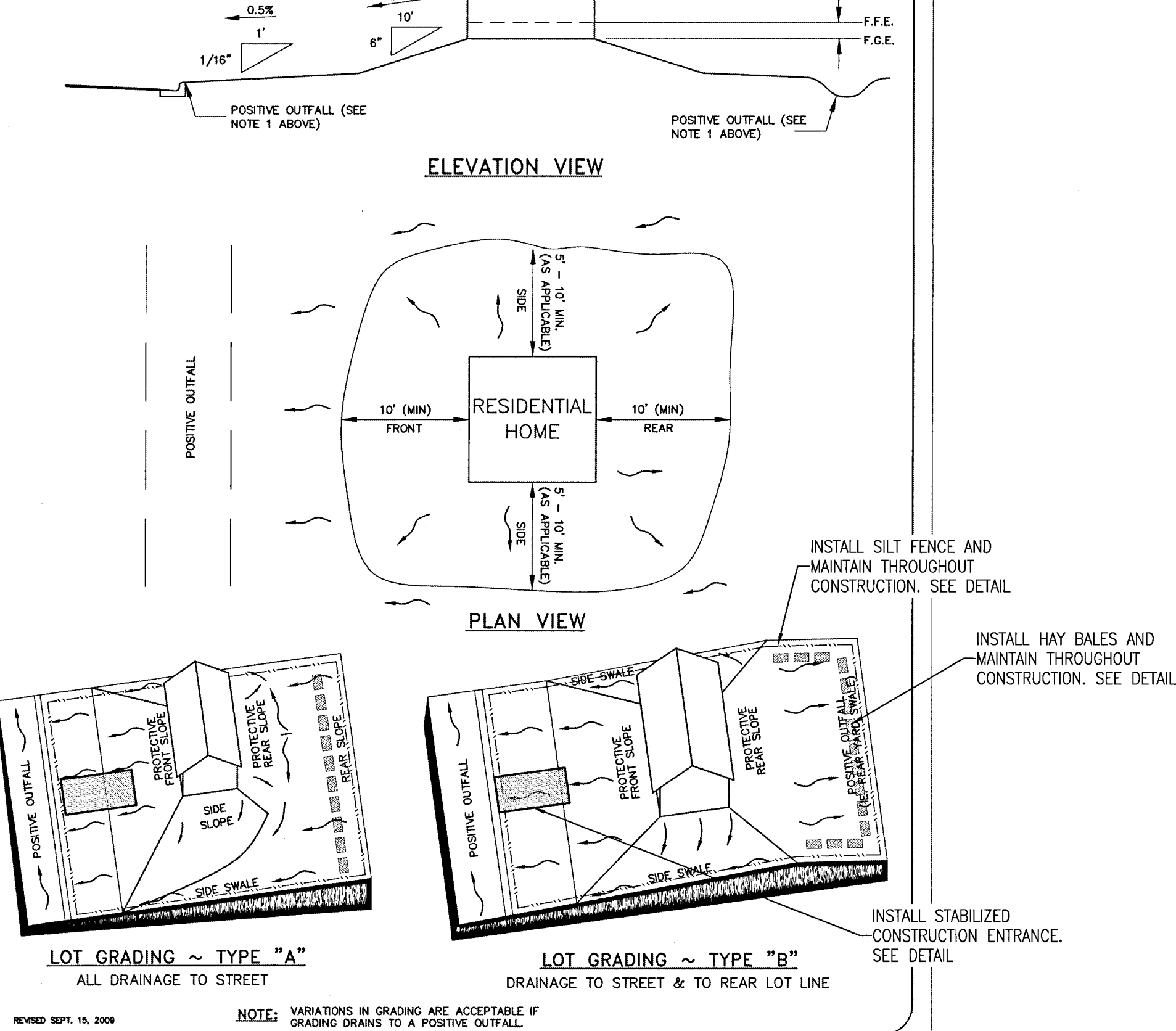
- ADDITIONAL RESPONSIBILITIES OF THE HOMEOWNER/NOTES:
1. FINISH FLOOR ELEVATION SHALL BE AS SPECIFIED BY BUILDING CODE.
 2. THESE ARE MINIMAL REQUIREMENTS AND DO NOT RELIEVE THE BUILDER FROM PROVIDING ADDITIONAL GRADING TO DIRECT STORMWATER TO A POSITIVE OUTFALL DRAINAGE SYSTEM AND ELIMINATE NEGATIVE IMPACTS TO ADJACENT LOTS AND PROPERTIES.
 3. DISTURBED AREAS SHALL BE COMPLETELY STABILIZED WITH SOD. IF THE HOME IS CONSTRUCTED, STABILIZE THE FIRST 10' WITH SOD AND SOD AND/OR SEED AND MULCH THE REMAINDER OF THE LOT.
 4. THE HOMEOWNER SHALL COMPLY WITH STATE PERMITTING REQUIREMENTS FOR LARGE AND SMALL CONSTRUCTION SITES. SPECIFICALLY THE NPDES PERMITS WHICH REQUIRES A DETAILED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING AVAILABLE ONLINE FOR REVIEW DURING ALL PHASES OF CONSTRUCTION.
 5. LOT CLEARING ACTIVITIES SHALL NOT PROCEED WITHOUT BUILDING PERMITS FOR THOSE LOTS EXCLUDING CLEARING REQUIRED FOR CONSTRUCTION OF CONVEYANCE SWALES OR DRAINAGE FEATURES DESIGNATED AS THE DEVELOPER'S RESPONSIBILITY.
 6. ALL NEW RUNOFF, DOWNSPOUTS AND GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO THE ROADS OR SWALES THAT LEAD TO THE RETENTION POND OR APPROVED DRAINAGE SYSTEM.
 7. PROVIDE EROSION CONTROL MEASURES TO ENSURE ALL SEDIMENTS SHALL BE RETAINED ON EACH INDIVIDUAL LOT.
 8. WETLANDS SHALL BE PROTECTED WITH FABRIC SILT FENCE AND BURIED HAYBALE SYSTEMS (DOUBLE ROWS AS NECESSARY).
 9. SIDE YARD SWALES SHALL BE BUILT BY HOMEOWNER. THE CONVEYANCE SWALES SHALL BE BUILT BY THE CONTRACTOR.
 10. HOME EQUIPMENT (I.E. AC UNITS) SHALL NOT HINDER THE PROPER INSTALLATION AND/OR FUNCTION OF SIDE YARD SWALES.
 11. STEM WALL FOUNDATIONS OR RETAINING WALLS MAY BE REQUIRED TO COMPLY WITH LOT GRADING PLAN. ANY RETAINING WALL TALLER THAN 2-FT SHALL BE PERMITTED THROUGH THE BUILDING INSPECTION DEPARTMENT PRIOR TO CONSTRUCTION.
 12. DISTURBED RIGHT-OF-WAY AREAS SHALL BE STABILIZED WITH A HEALTHY GROWTH OF GRASS PRIOR TO RECEIVING COUNTY ACCEPTANCE.
 13. BUILDING SETBACKS (LDR):
FRONT = 25'; REAR = 25'; SIDE = 5' OR 10% OF LOT WIDTH AT STREET RIGHT-OF-WAY, WHICHEVER IS GREATER, BUT NOT TO EXCEED 15 FEET

MINIMUM STANDARDS FOR TYPICAL RESIDENTIAL GRADING CONTROL PLAN

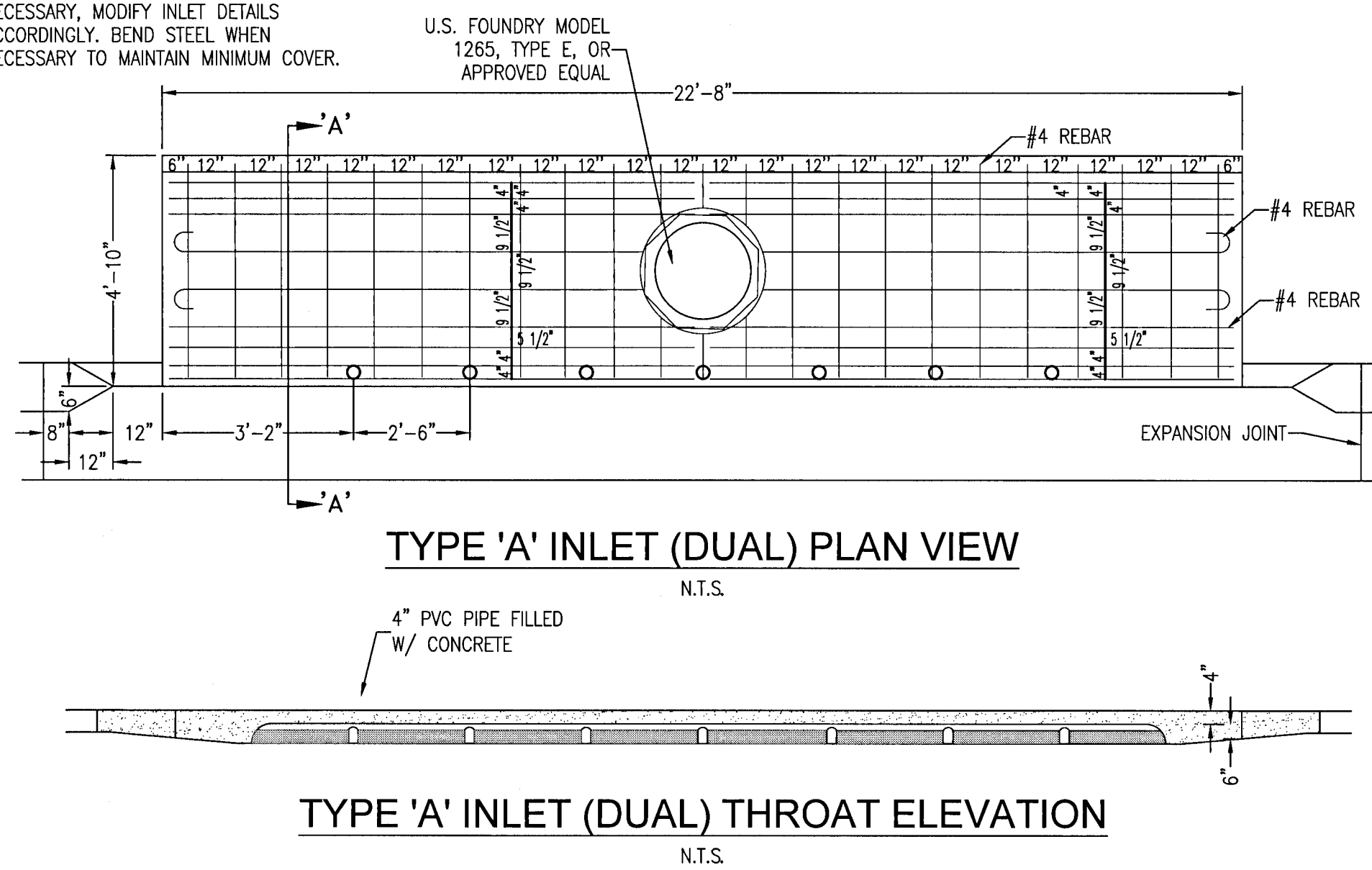
- NOTES:
1. A POSITIVE DRAINAGE OUTFALL IS A CONVEYANCE SYSTEM (DRAINAGE EASEMENT, ROADWAY WITH A DRAINAGE SYSTEM ~ CURB & GUTTER, OR DITCH) WHICH CONTAINS, CONTROLS, AND TRANSMITS STORMWATER RUNOFF TO A CREEK, STREAM, RIVER, BAY, GULF, OCEAN, OR OTHER WATERS OF THE STATE, OR WATERS OF THE UNITED STATES, OR TO ANY FUNCTIONING ESCAMBIA COUNTY OR STATE DRAINAGE SYSTEM.
 2. FINISH FLOOR ELEVATION SHALL BE AS SPECIFIED BY BUILDING CODE.
 3. THESE ARE MINIMAL REQUIREMENTS AND DO NOT RELIEVE THE BUILDER FROM PROVIDING ADDITIONAL GRADING TO DIRECT STORMWATER TO A POSITIVE OUTFALL DRAINAGE SYSTEM AND ELIMINATE NEGATIVE IMPACTS TO ADJACENT LOTS AND PROPERTIES.
 4. DISTURBED LOT AREAS SHALL BE COMPLETELY STABILIZED WITH SOD. IF THE HOME IS CONSTRUCTED, STABILIZE THE FIRST 10' WITH SOD AND SOD AND/OR SEED AND MULCH THE REMAINDER OF THE LOT.
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 8. PROVIDE EROSION CONTROL MEASURES TO ENSURE ALL SEDIMENTS SHALL BE RETAINED ON EACH INDIVIDUAL LOT.
 9. WETLANDS SHALL BE PROTECTED WITH FABRIC SILT FENCING AND BURIED HAYBALE SYSTEMS (DOUBLE ROWS AS NECESSARY).

LEGEND:

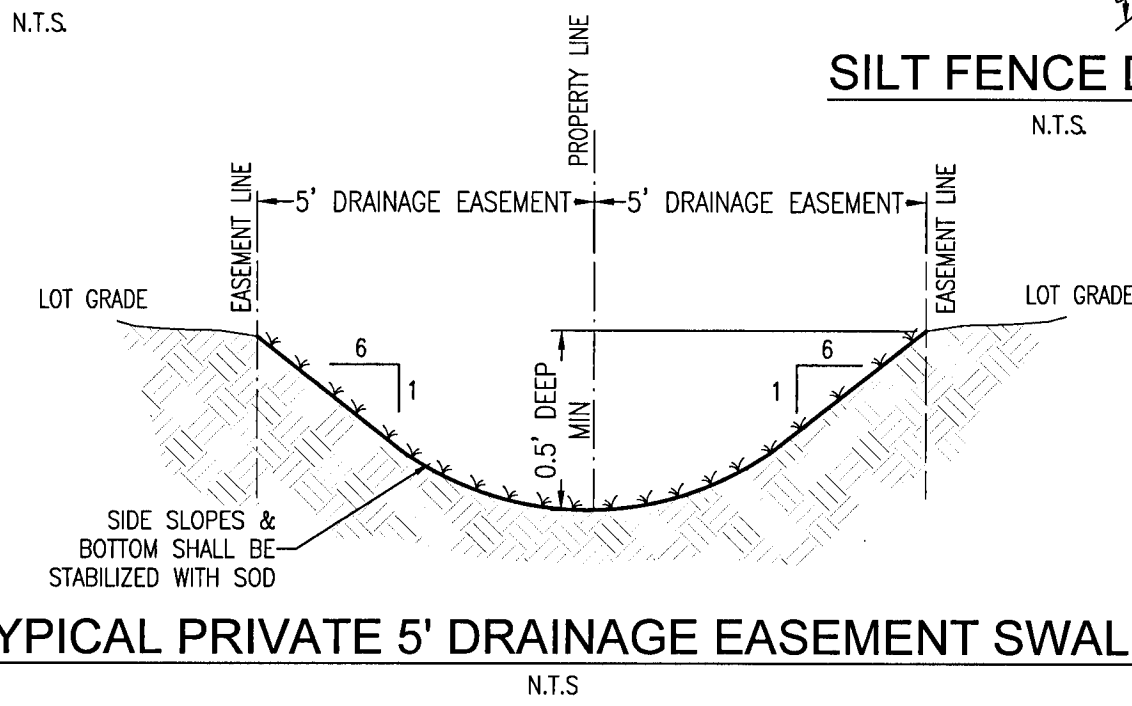
F.F.E. - FINISH HABITABLE FLOOR ELEVATION
F.G.E. - FINISH GRADE ELEVATION
SOD - STORMWATER FLOW DIRECTION ARROW
- GRADE SLOPE (MINIMUM)
- MINIMUM GRADE



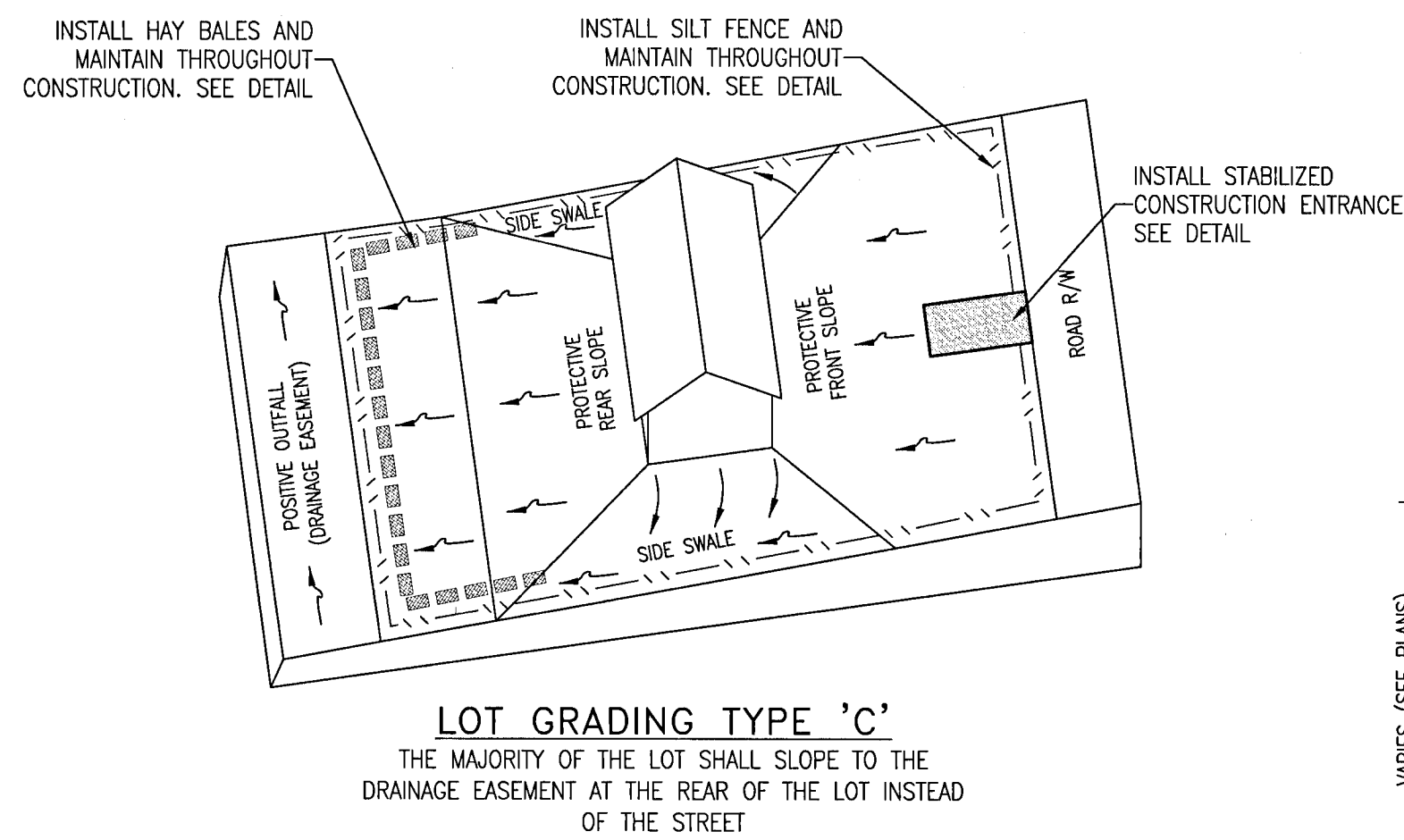
TYPE 'A' & 'A-1' INLET THROAT ELEVATION



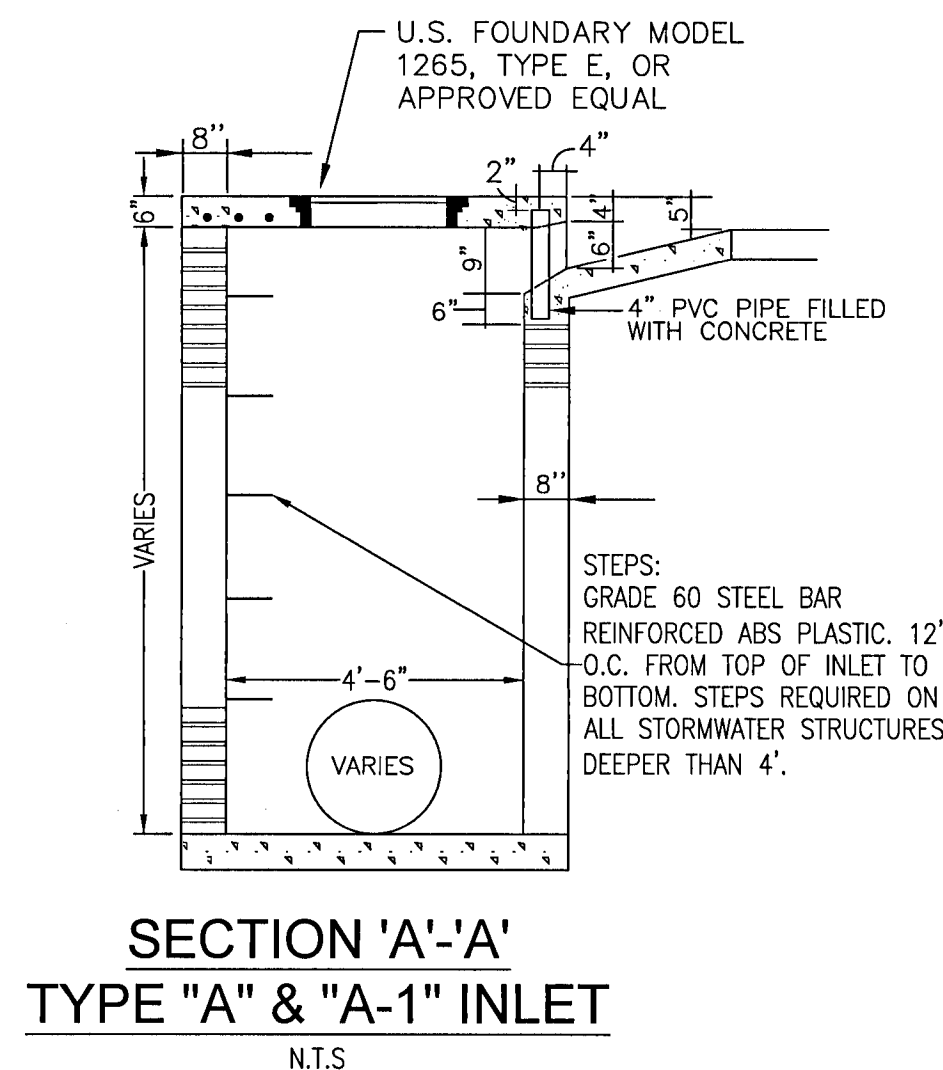
STABILIZED CONSTRUCTION ENTRANCE DETAIL



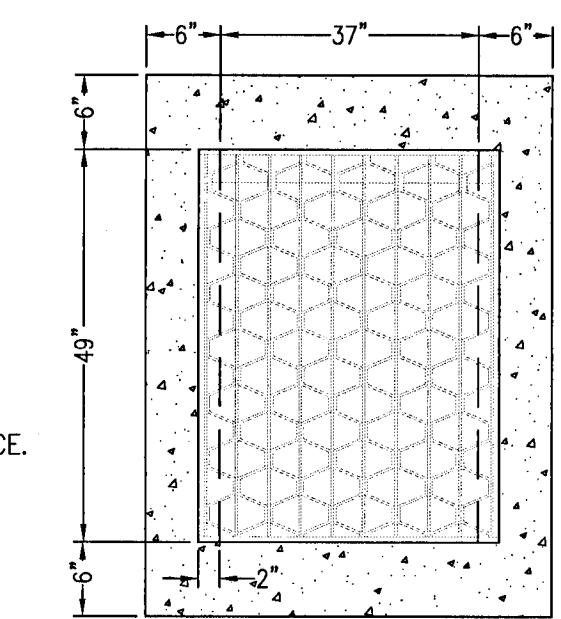
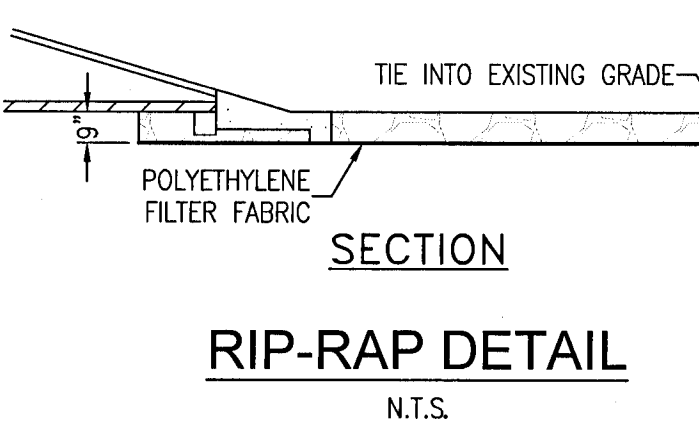
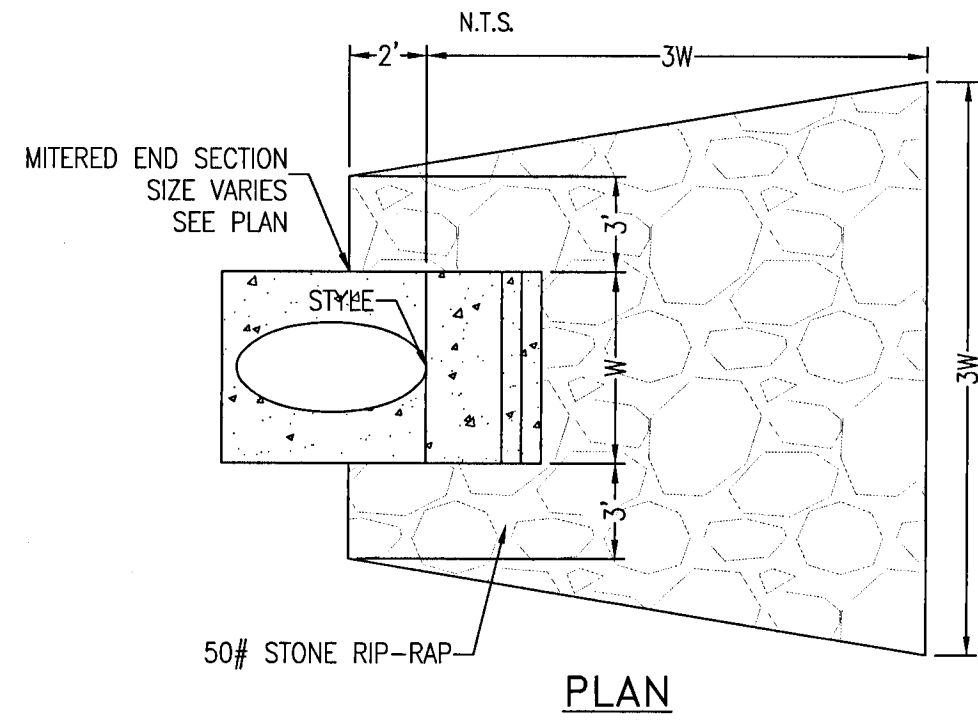
STORM DRAINAGE MATERIALS SUMMARY		
ITEM	UNIT	AMOUNT
18" HDPE	LF	881
18" RCP	LF	309
24" RCP	LF	295
30" RCP	LF	305
36" RCP	LF	96
14"x23" ERCP	LF	77
12" HDPE	EA	71
TYPE 'A' INLET	EA	10
DUAL TYPE 'A' INLET	EA	2
JUNCTION BOX	EA	6
MITER END SECTION STRUCTURE	EA	4
TYPE 'D' OUTFALL STRUCTURE	EA	1
TYPE 'D' BUBBLE-UP STRUCTURE	EA	1



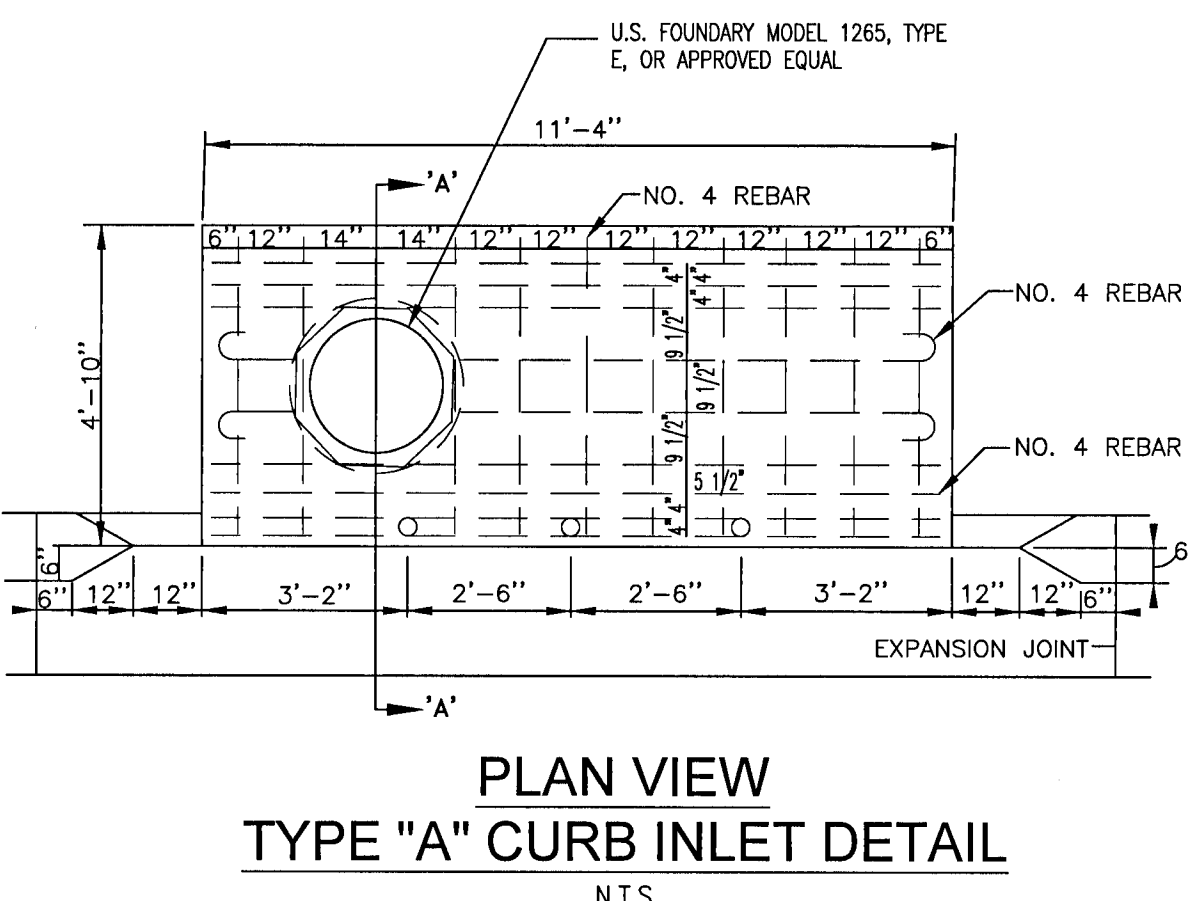
NOTE: VARIATIONS IN GRADING ARE ACCEPTABLE IF GRADING DRAINS TO A POSITIVE OUTFALL.

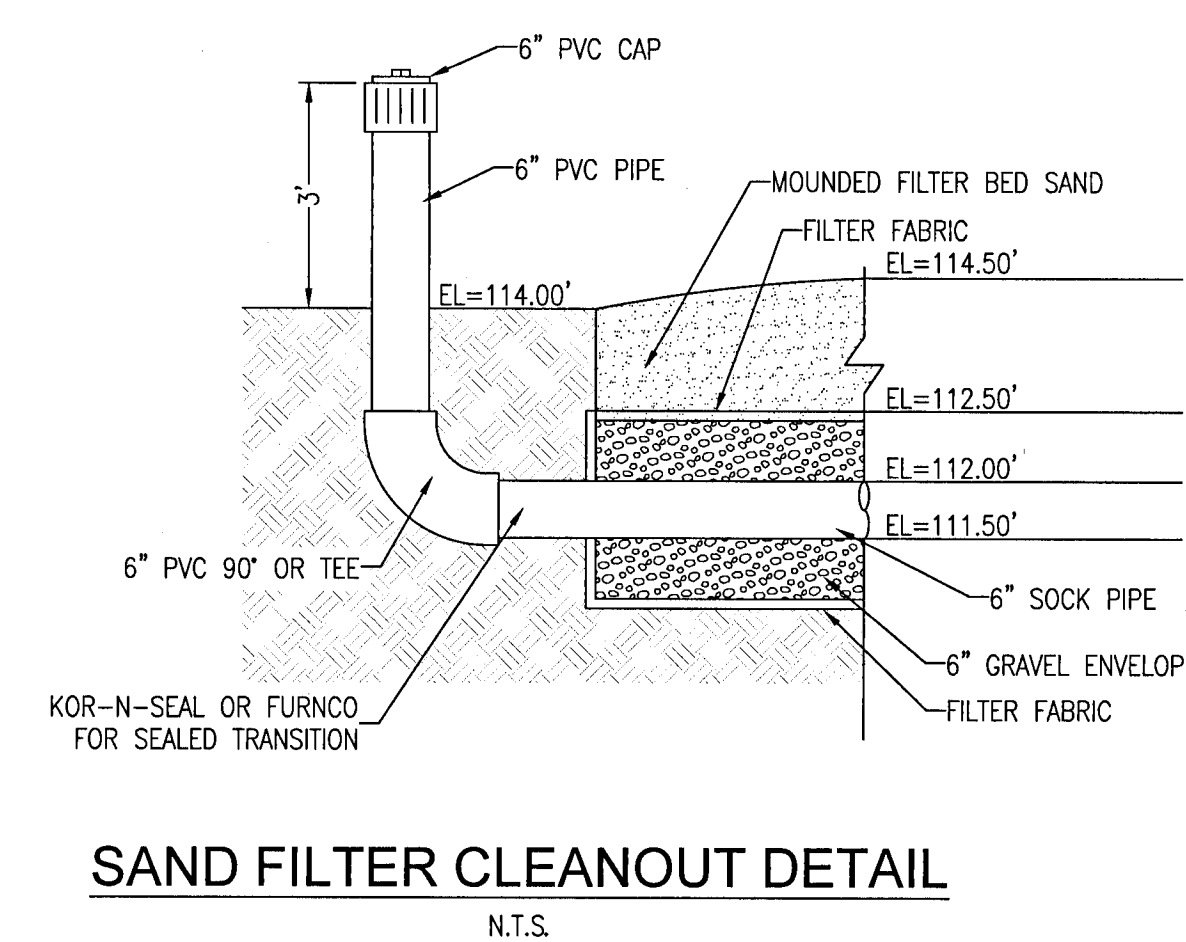
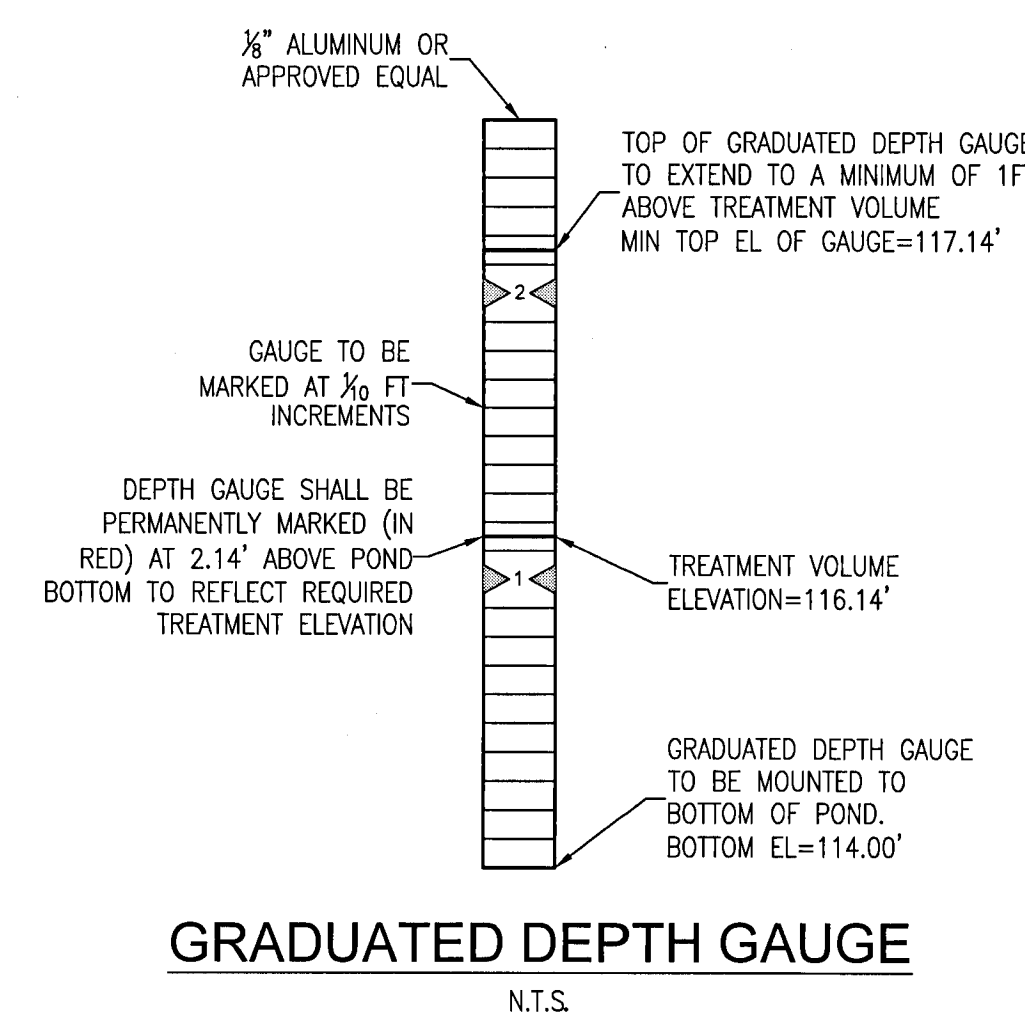
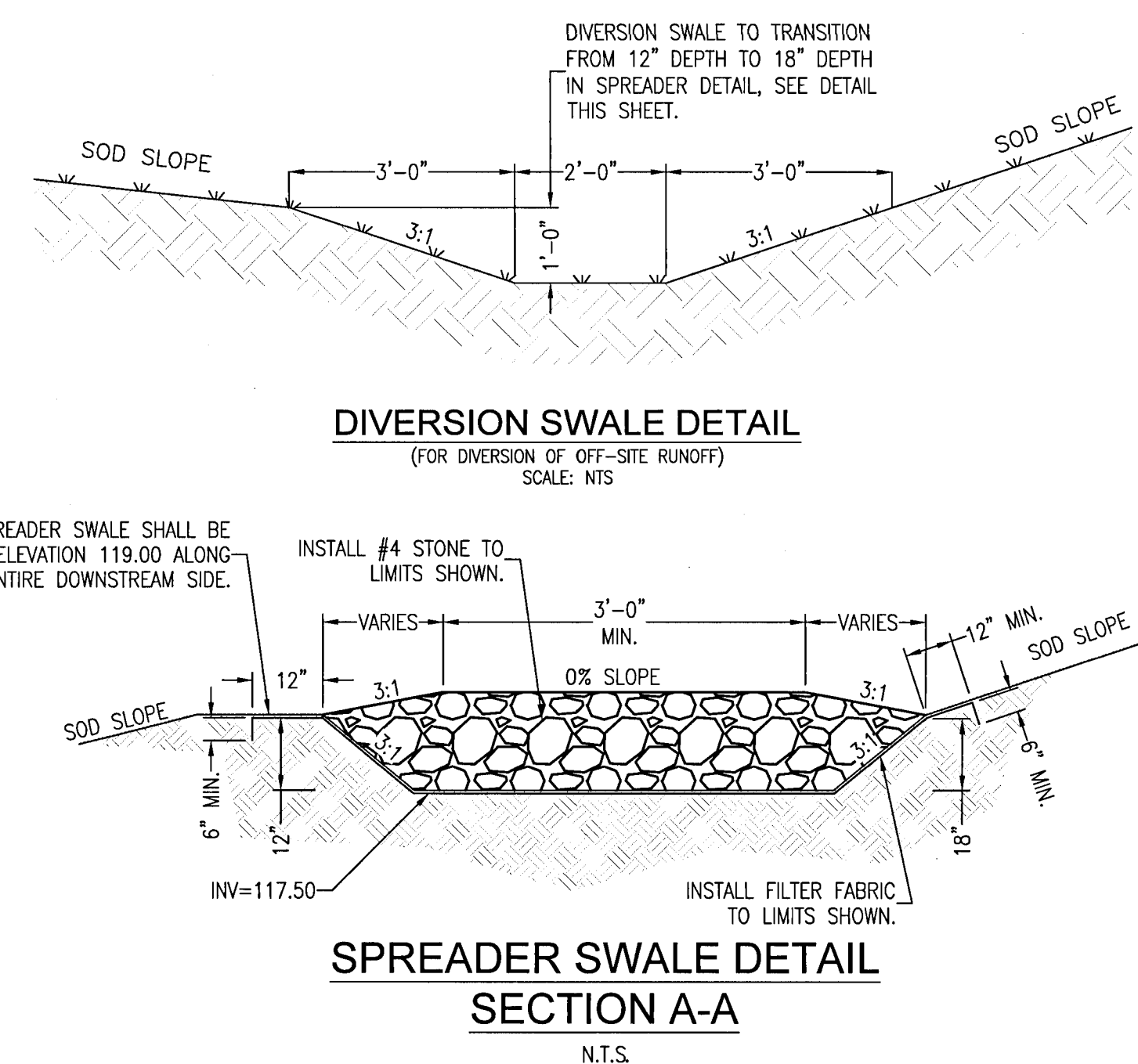
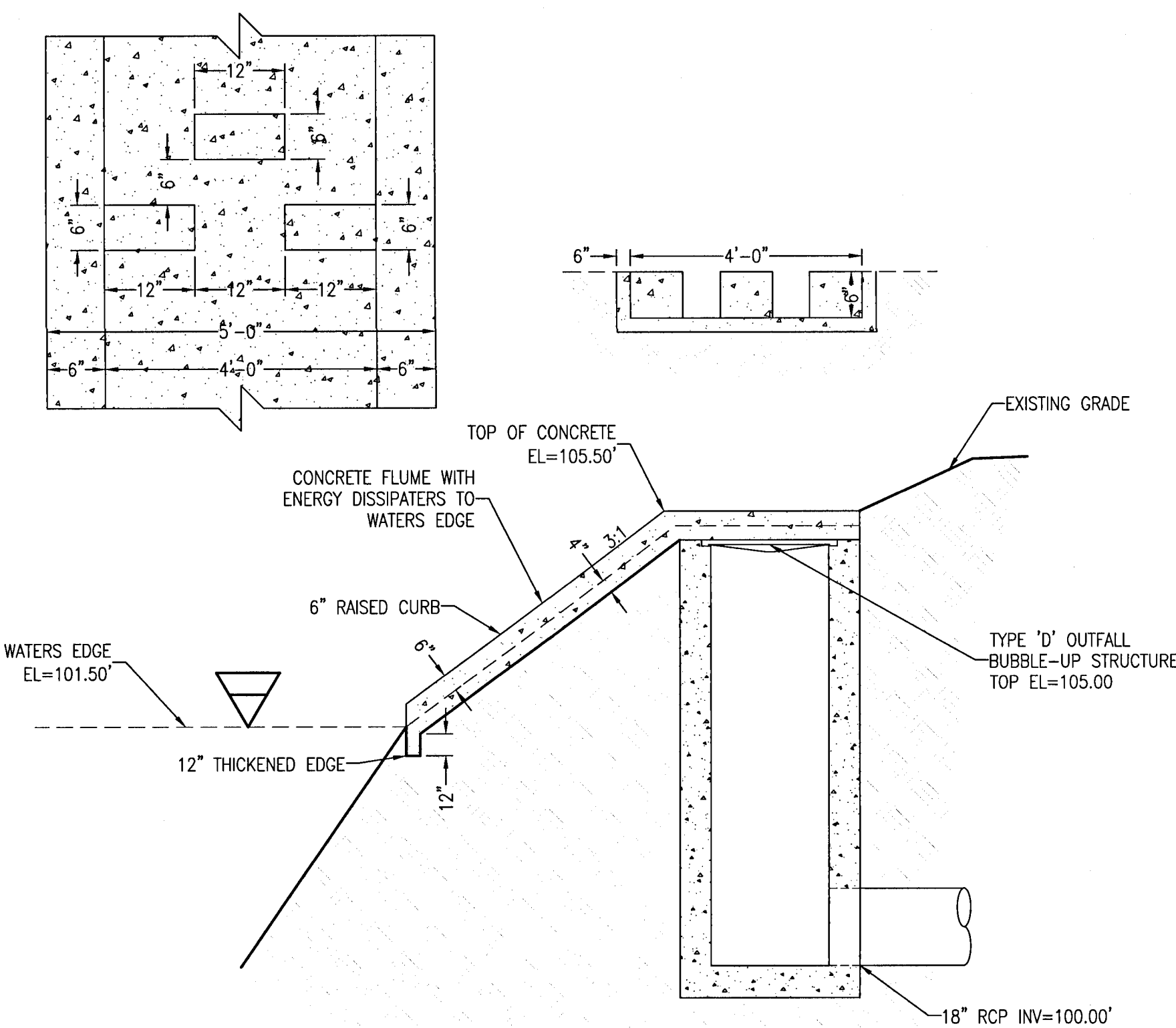
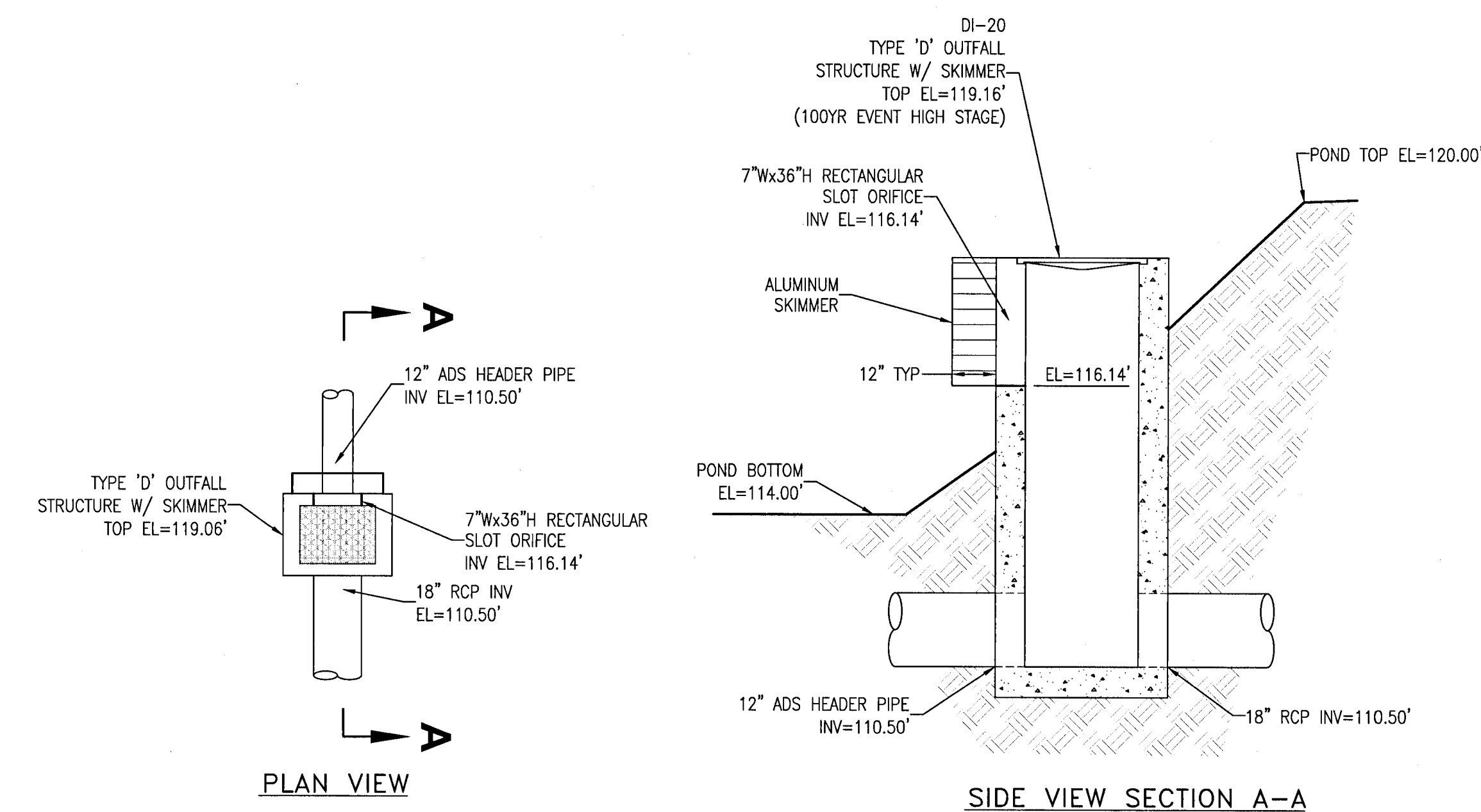
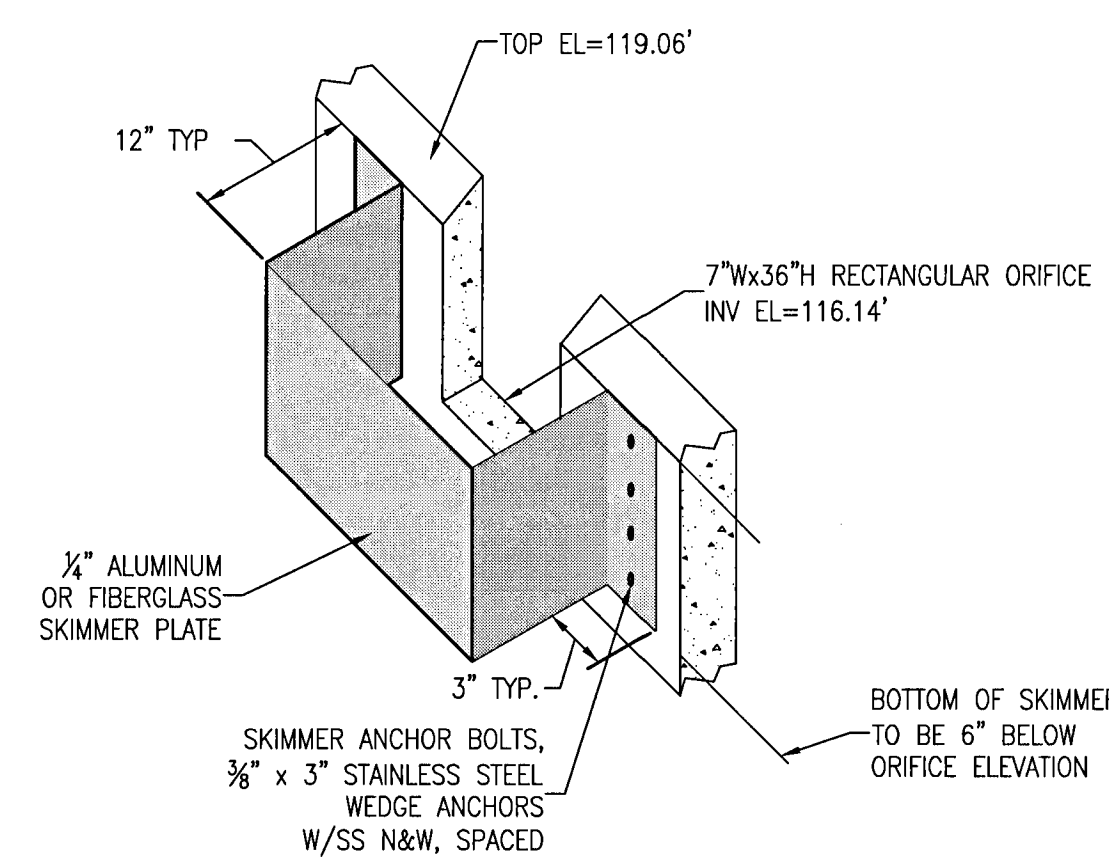
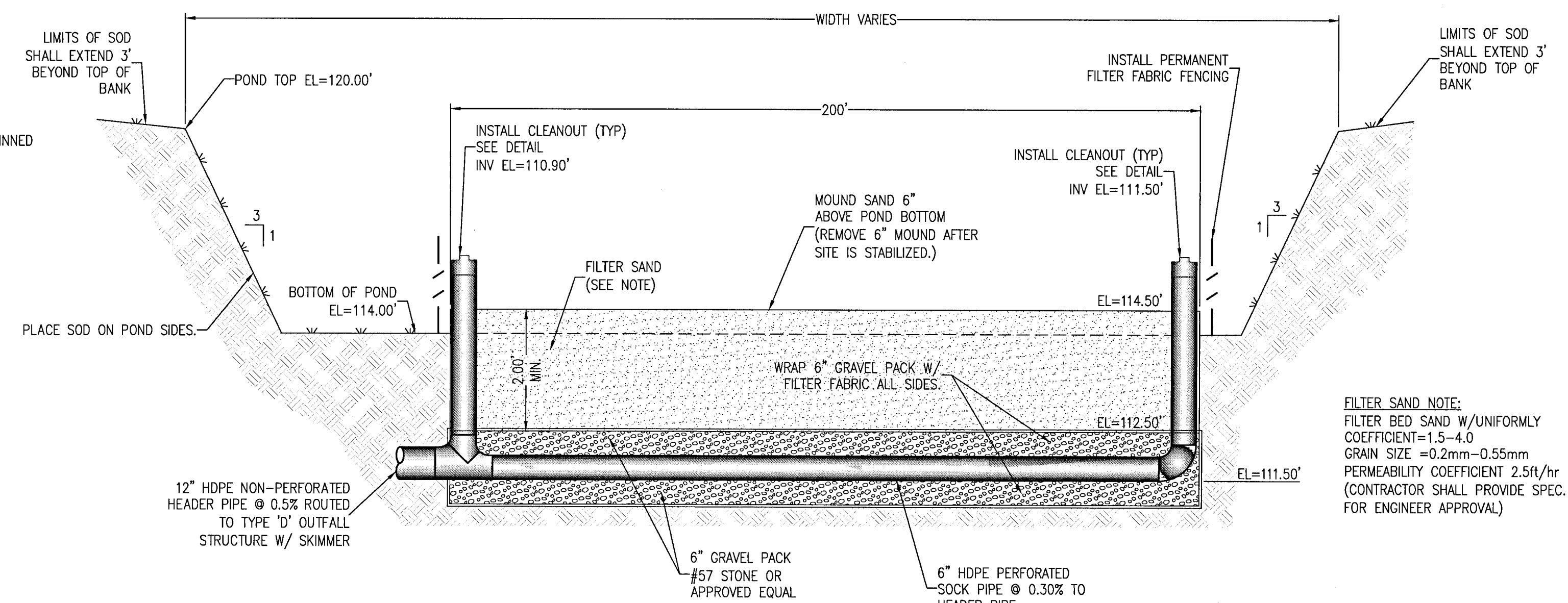
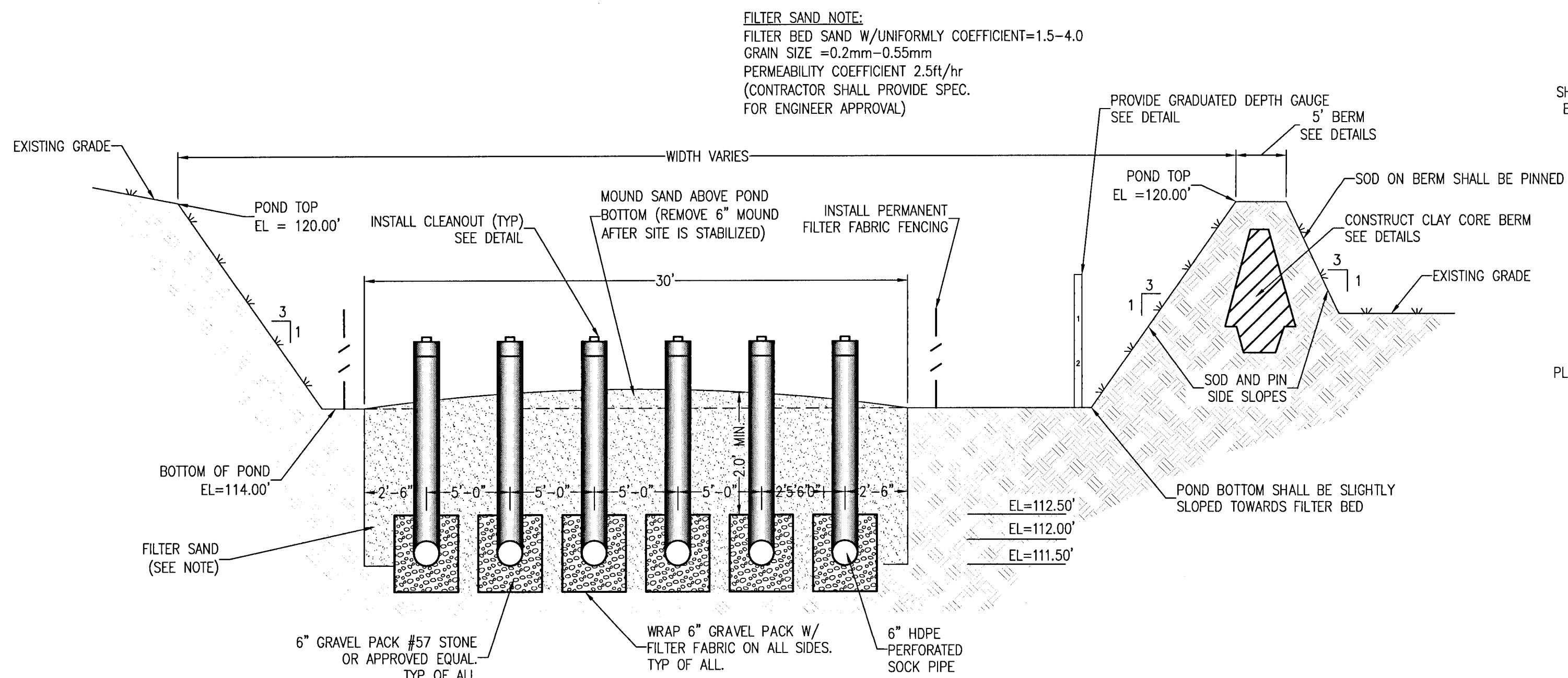


STRAW BALE DETAIL

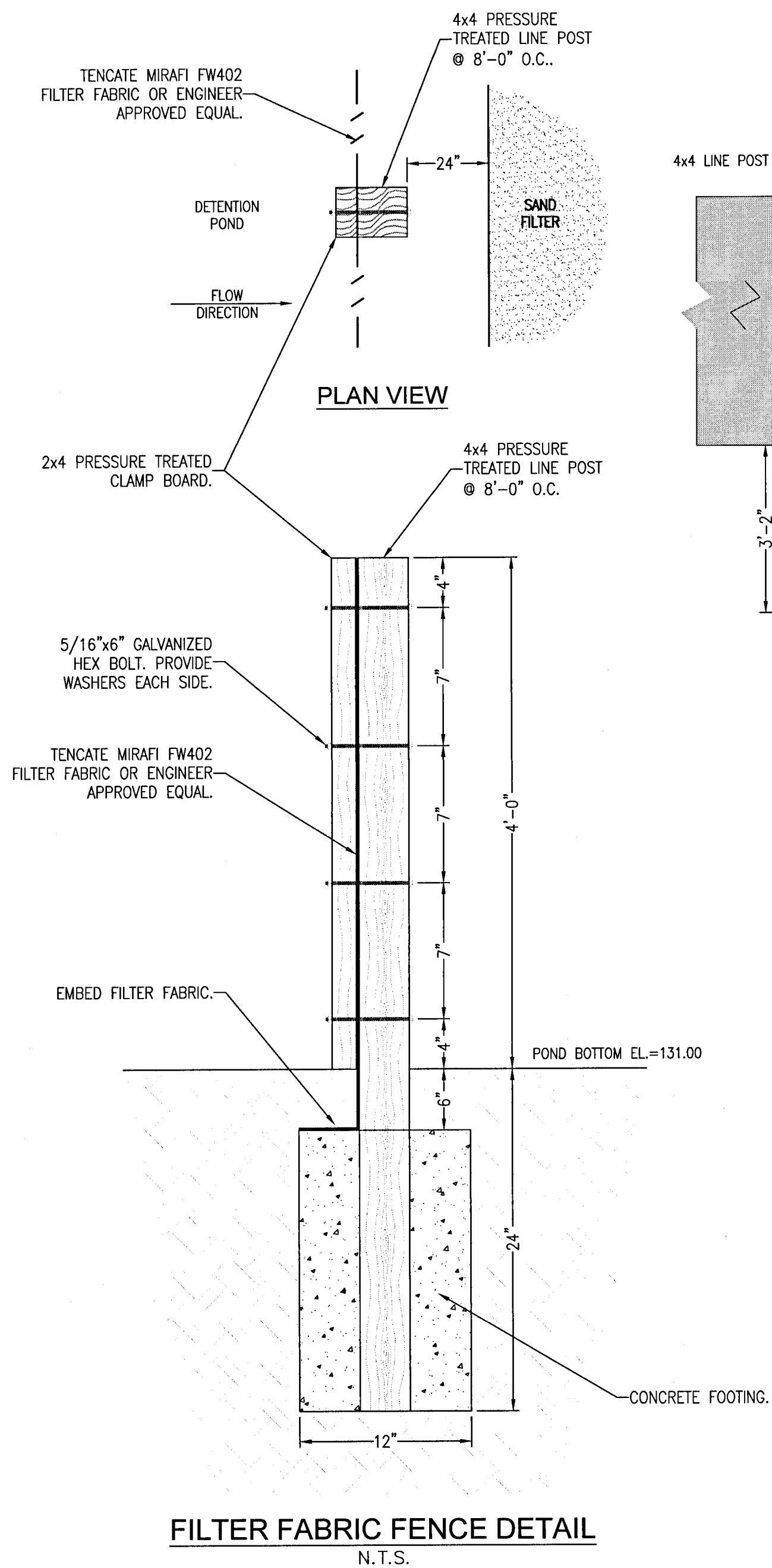


FDOT TYPE 'D' INLET

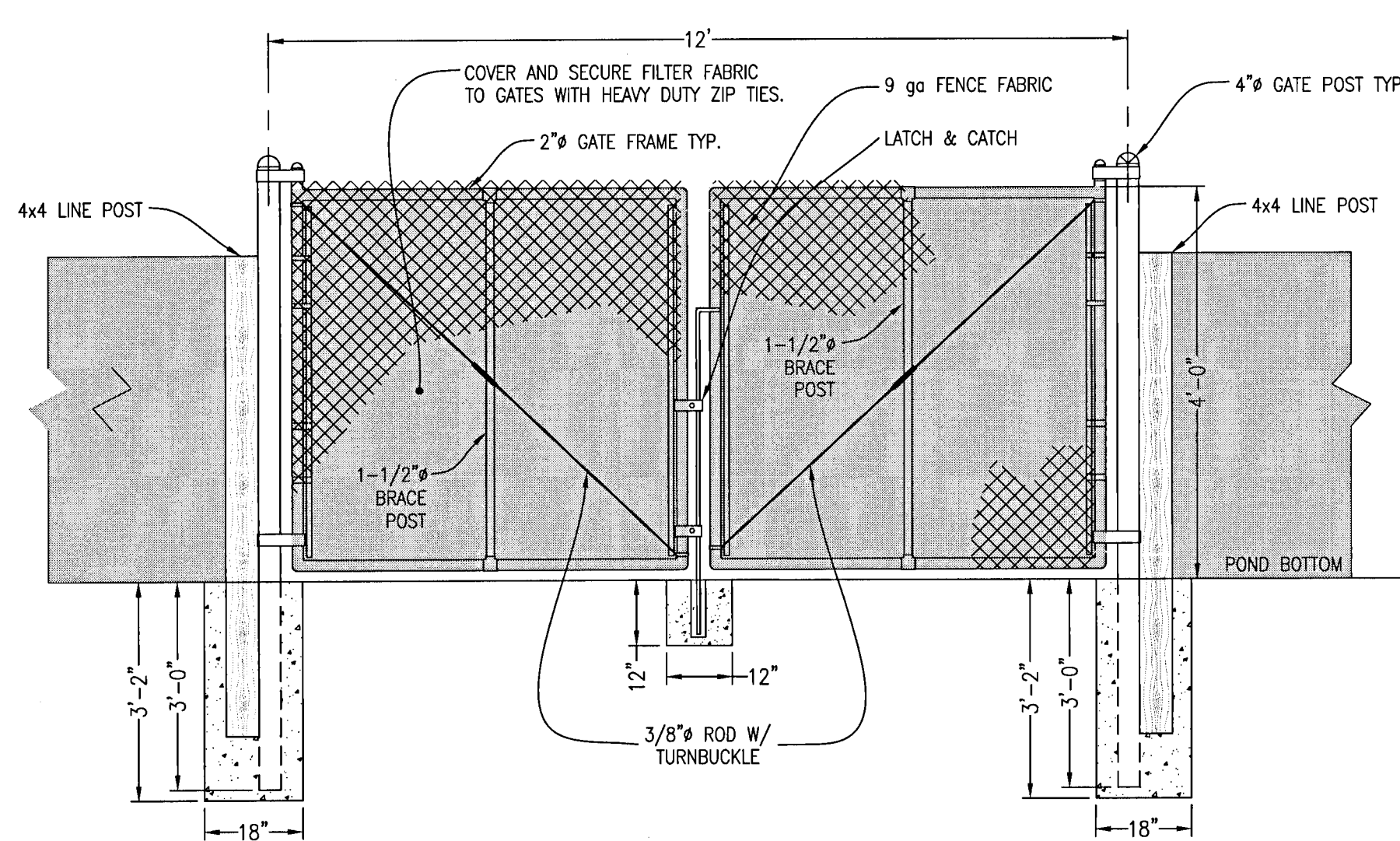




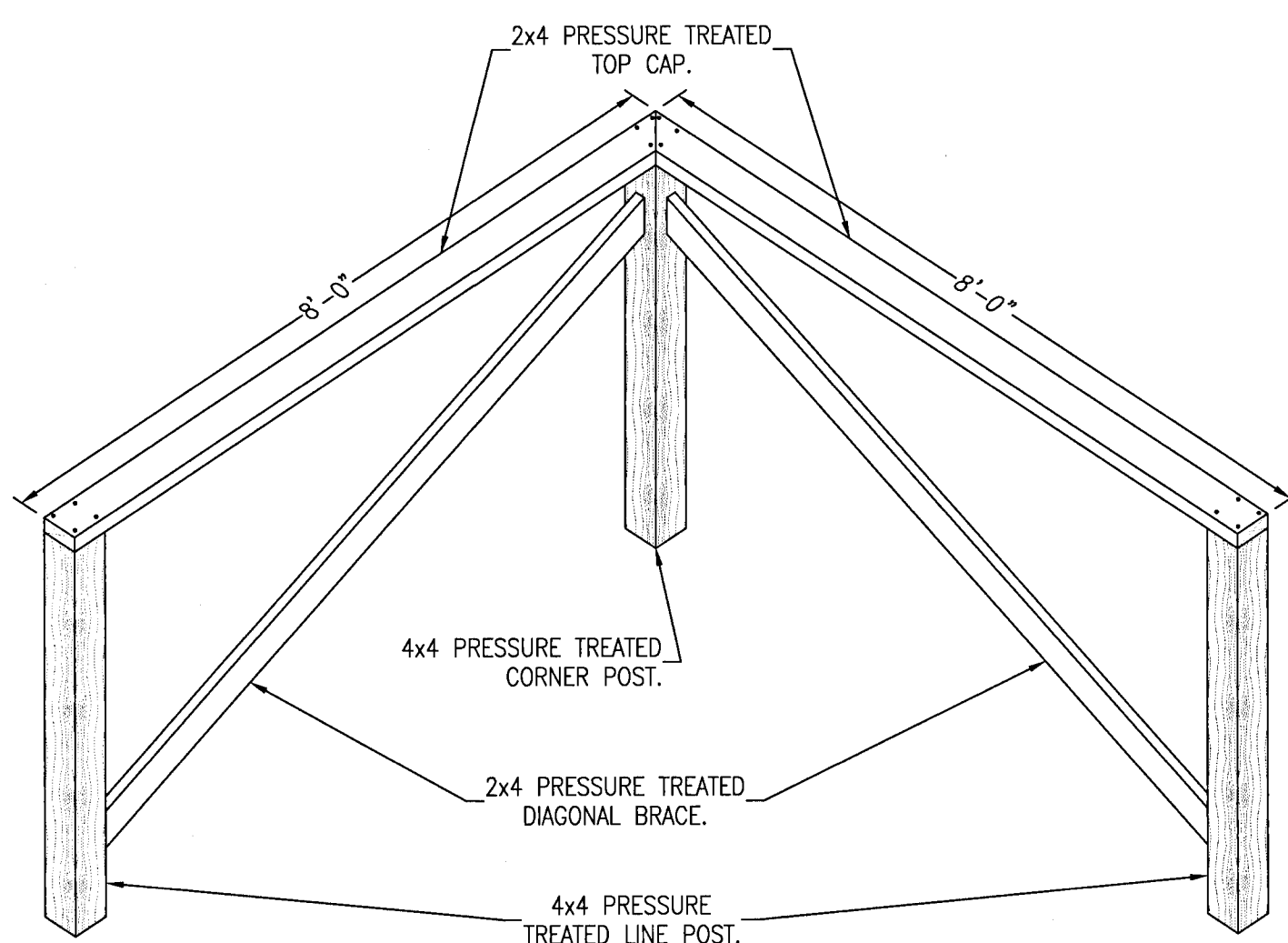
REVISION	DATE	NO.



FILTER FABRIC FENCE DETAIL
N.T.S.

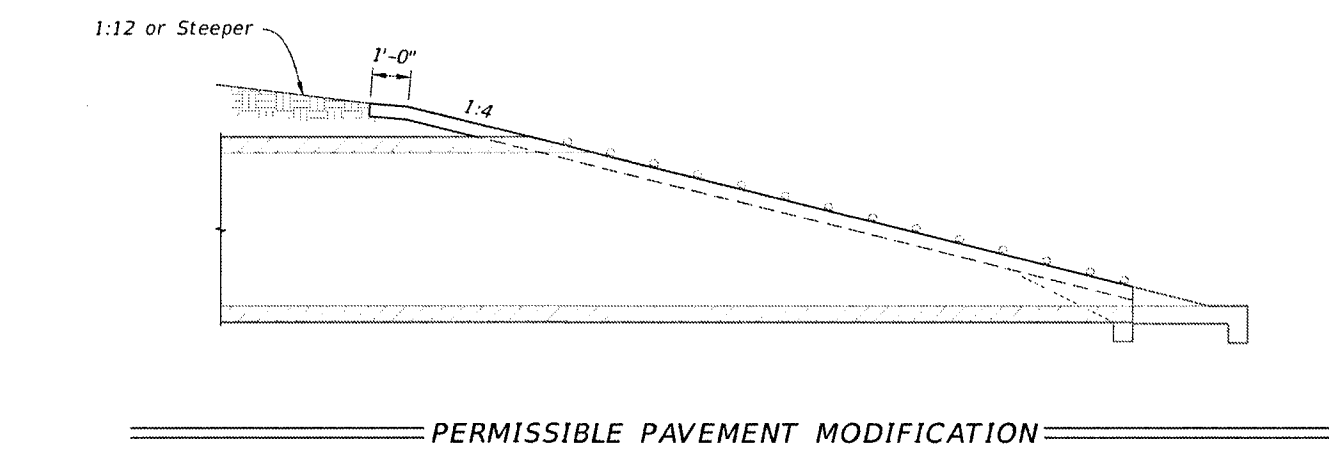


12' SWING GATE DETAIL AT POND SAND FILTER
N.T.S.



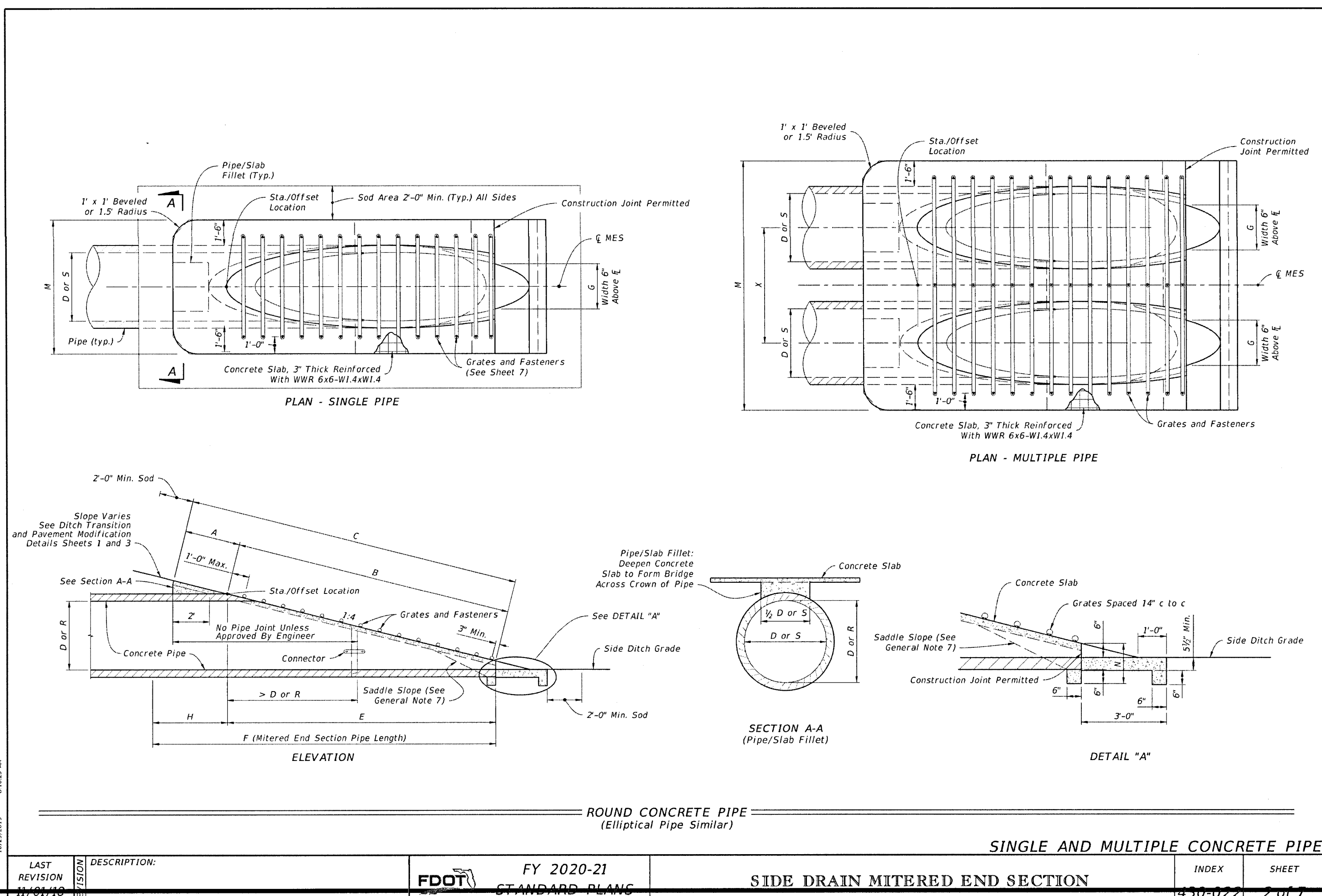
FILTER FABRIC FENCE CORNER DETAIL
SCALE: NTS

SINGLE AND MULTIPLE CONCRETE PIPE DIMENSIONS AND QUANTITIES																			
Pipe Dia.	Rise R	Span S	GRATE SIZES																
			X	A	B	C	E	F	G	H	Single Pipe	Double Pipe	Triple Pipe	Quad. Pipe	N	STANDARD WEIGHT PIPE	EXTRA STRONG PIPE	Single Pipe	Double Pipe
15"	---	2'-7"	2.27	4.09	6.36	4.03	8	1.22	4.0	4.63	2.51	9.79	13.37	1.19	---	---	---	---	---
18"	---	2'-10"	2.36	5.12	7.48	5.03	9	1.41	4.0	4.92	2.75	10.58	13.42	1.21	---	---	---	---	---
24"	---	3'-5"	2.53	7.18	9.71	7.03	11	1.73	4.0	5.50	3.23	12.33	15.75	1.25	---	---	---	---	---
30"	---	4'-3"	2.70	9.29	11.95	9.09	13	2.00	4.0	6.08	3.69	14.58	18.83	1.29	---	---	---	---	---
36"	---	5'-1"	2.87	11.31	14.18	11.03	15	2.24	4.0	6.67	4.17	16.83	21.92	1.32	---	---	---	---	---
42"	---	6'-0"	3.05	13.37	16.42	13.03	17	2.45	4.0	7.25	4.65	19.25	25.25	1.36	---	---	---	---	---
48"	---	6'-9"	3.22	15.43	18.65	15.03	19	2.65	4.0	7.83	5.13	21.33	28.08	1.42	---	---	---	---	---
54"	---	7'-8"	3.39	17.49	20.88	17.03	21	2.83	4.0	8.42	5.60	23.75	31.42	1.46	---	---	---	---	---
60"	---	8'-6"	3.56	19.55	23.11	19.03	23	3.00	4.0	9.00	6.07	26.07	34.50	1.50	---	---	---	---	---
12"	18"	2'-10"	2.36	3.06	5.42	3.03	5	1.50	2.0	4.92	2.75	10.58	13.42	1.21	---	---	---	---	---
14"	23"	3'-4"	2.44	3.75	6.19	3.70	6	1.90	2.5	5.38	3.11	12.04	15.38	1.23	---	---	---	---	---
16"	30"	4'-0"	2.62	5.47	8.05	5.36	8	2.31	3.0	6.04	3.69	14.04	18.04	1.27	---	---	---	---	---
24"	36"	5'-0"	2.79	7.18	9.97	7.03	10	2.89	3.0	6.79	4.17	16.79	21.79	1.31	---	---	---	---	---
28"	45"	5'-11"	3.03	8.90	11.93	8.70	12	3.19	3.5	7.50	4.65	19.33	25.25	1.38	---	---	---	---	---
34"	53"	7'-0"	3.22	10.62	13.84	10.36	13	3.57	4.0	8.25	5.13	22.25	29.25	1.42	---	---	---	---	---
38"	60"	7'-10"	3.39	11.99	15.38	11.70	15	3.95	4.0	8.92	5.60	24.58	32.42	1.46	---	---	---	---	---
43"	68"	8'-11"	3.56	13.71	17.27	13.36	17	4.28	4.0	9.67	6.07	26.50	36.42	1.50	---	---	---	---	---
48"	76"	9'-11"	3.73	15.43	19.16	15.03	19	4.59	4.0	10.42	6.55	29.25	40.17	1.54	---	---	---	---	---
53"	83"	10'-8"	3.91	17.15	21.08	16.70	20	4.77	4.0	11.08	7.03	32.42	43.08	1.58	---	---	---	---	---
58"	91"	11'-6"	4.08	18.87	22.95	18.36	22	5.01	4.0	11.83	7.50	35.17	46.87	1.62	---	---	---	---	---



CONCRETE PIPE DIMENSIONS AND QUANTITIES AND PERMISSIBLE PAVEMENT MODIFICATION

LAST REVISION	DESCRIPTION	INDEX	SHEET
11/01/19	FDOT FY 2020-21 STANDARD PLANS	430-022	3 of 7



RBA

REBOL-BATTLE & ASSOCIATES
 Civil Engineers and Surveyors
 2301 N. Ninth Avenue, Suite 300
 Pensacola, Florida 32503
 Telephone 850.438.0000 Fax 850.438.0448
 EOE 00000001

GRADING & DRAINAGE DETAILS

Ledgestone Subdivision
 A 36 LOT RESIDENTIAL SUBDIVISION
 BEULAH ROAD
 ESCAMBA COUNTY, FLORIDA

REVISION
 No. DATE

SEAL
 NOT FOR CONSTRUCTION
 LICENSE
 No. 53126
 STATE OF
 FLORIDA
 PAUL A. BATTLE, P.E.
 No. 53126

Dr. By: CBD
 Ck By: PAB
 Job No.: 2018.158
 Date: 4/21/2021

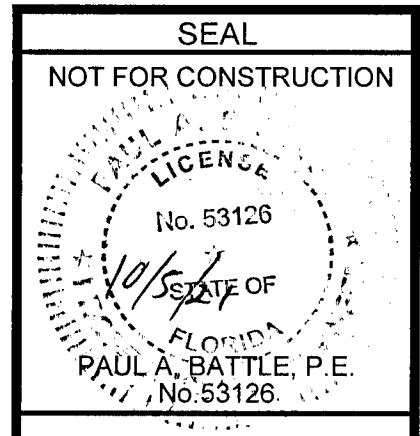
DRAWING No.

C3.3
 SHEET 10 OF 32

**NEIGHBORHOOD LOT
GRADING PLAN**

Ledgestone Subdivision
A 36 LOT RESIDENTIAL SUBDIVISION
BEULAH ROAD
ESCAMBIA COUNTY, FLORIDA

NO.	DATE	REVISION

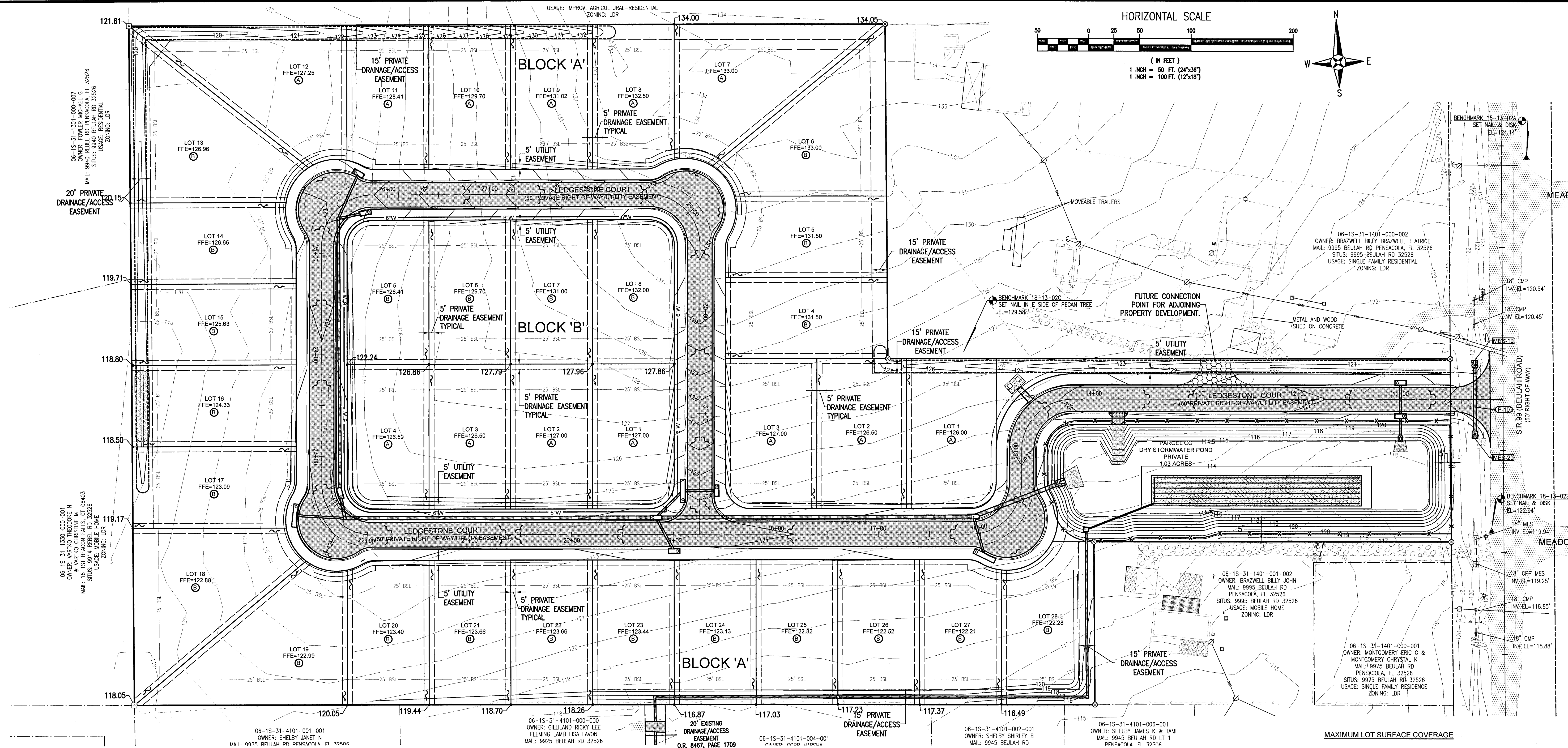


Dr. By: CBD
Ck By: PAB
Job No.: 2018.158
Date: 4/21/2021

DRAWING No.

C3.4

SHEET 11 OF 32



GRADING & DRAINAGE NOTES:

1. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT MEASURES MAY RESULT IN COUNTY ENFORCEMENT VIOLATION(S).
2. NOTIFY SUNSHINE 811 A MINIMUM OF 72 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RIGHT-OF-WAY. (CALL - 811)
3. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION.
4. ALL DISTURBED AREAS WHICH ARE NOT SODDED OR PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER, AND MULCH AND/OR HYDROSEED. SEEDING AREAS SHALL INCLUDE A BAHIA MIX TO ENSURE CONTINUED GROWTH AFTER WINTER MONTHS. SEED IN ACCORDANCE WITH FOOT SECTION 570 AND STANDARD INDEX 105
5. DEVELOPER/CONTRACTOR/HOME OWNER'S ASSOCIATION SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND AT THE END OF THE 2-YEAR WARRANTY PERIOD.
6. ON SITES > 1 ACRE, IF > CONTIGUOUS ACRE IS CLEARED, A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED WITHIN 10 WORKING DAYS ON THAT PORTION OF THE SITE UPON WHICH FURTHER ACTIVE CONSTRUCTION WILL NOT BE UNDERTAKEN WITHIN 90 DAYS.
7. TO COMPLY WITH NPDES REQUIREMENTS, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 3" RAINFALL OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS; INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO FDEP/NWFWMD.
8. A HEALTHY GROWTH OF GRASS WITHIN DISTURBED RIGHT-OF-WAY AREAS IS REQUIRED PRIOR TO COUNTY APPROVAL/ACCEPTANCE. IF TIME CONSTRAINTS EXIST DURING THE FINAL PLAT APPROVAL AND ACCEPTANCE PROCESS, A MINIMUM OF TWO STRIPS OF SOD (MINIMUM 2' WIDE) BEHIND THE BACK OF CURB WITH ALL OTHER DISTURBED AREAS SEEDING/MULCHED/FERTILIZED WILL BE ACCEPTABLE.
9. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN COUNTY ACCEPTANCE OF IMPROVEMENTS.

10. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO COUNTY ACCEPTANCE OF IMPROVEMENTS.
11. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
12. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS (595-3434). AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
13. THE PROJECT ENGINEER SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER
14. THE OWNER/CONTRACTOR SHALL COORDINATE ANY ANTICIPATED COMMENCEMENT OF CONSTRUCTION WITH THE ENGINEER OF RECORD. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING THE CONSTRUCTION COMMENCEMENT NOTICE FORM 62-330.350(1).
15. UPON SUBSTANTIAL COMPLETION, THE OWNER/CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD. THE ENGINEER OF RECORD IS RESPONSIBLE FOR INSPECTION OF THE PERMITTED FACILITY FOR COMPLIANCE WITH THE APPROVED PERMIT. THE ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR SUBMITTING THE "AS BUILT" CERTIFICATION AND REQUEST FOR CONVERSION TO OPERATIONAL PHASE FOR 62-330.310(1) WITHIN 30 DAYS AFTER WORK IS DEEMED COMPLETE.
16. THE OPERATION AND MAINTENANCE OF THE FACILITY WILL BE THE RESPONSIBILITY OF THE OWNER, AS IN ACCORDANCE WITH THE APPROVED PERMIT.
17. ELECTRIC/PHONE/CABLE/GAS STRUCTURES INSTALLED WITHIN DRAINAGE ACCESS EASEMENTS SHALL BE LOCATED ALONG THE BOUNDARY OF THE EASEMENT TO MAXIMIZE CLEAR ACCESS FOR MAINTENANCE EQUIPMENT.
18. MINIMUM ONE (1) FOOT GROUND COVER IS REQUIRED FOR ALL UNDERGROUND PIPES.
19. ALL R/W SHOULDER STABILIZATION AT THE END OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SECTION 160, LATEST EDITION
20. ALL STORMWATER RUNOFF GENERATED FROM IMPERVIOUS AREAS ON EACH INDIVIDUAL LOT MUST BE DIRECTED TO THE STREET. FOR LOTS 13-28 BLOCK 'A' ALL IMPERVIOUS AREAS FROM LOTS MUST BE DIRECTED TO THE STREET WITH PERVIOUS AREAS AT THE REAR ALLOWED TO DISCHARGE TOWARDS THE BACK OF THE PROPERTY.

ADDITIONAL RESPONSIBILITIES OF THE HOMEBUILDER NOTES:

1. FINISH FLOOR ELEVATION SHALL BE AS SPECIFIED BY BUILDING CODE.
2. THESE ARE MINIMAL REQUIREMENTS AND DO NOT RELIEVE THE BUILDER FROM PROVIDING ADDITIONAL GRADING TO DIRECT STORMWATER TO A POSITIVE OUTFALL DRAINAGE SYSTEM AND ELIMINATE NEGATIVE IMPACTS TO ADJACENT LOTS AND PROPERTIES.
3. DISTURBED AREAS SHALL BE COMPLETELY STABILIZED WITH SOD. IF THE HOME IS CONSTRUCTED, STABILIZE THE FIRST 10' WITH SOD AND SOD AND/OR SEED AND MULCH THE REMAINDER OF THE LOT.
4. THE HOMEBUILDER SHALL COMPLY WITH STATE PERMITTING REQUIREMENTS FOR LARGE AND SMALL CONSTRUCTION SITES, SPECIFICALLY THE NPDES PERMITS WHICH REQUIRES A DETAILED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING AVAILABLE ONLINE FOR REVIEW DURING ALL PHASES OF CONSTRUCTION.
5. LOT CLEARING ACTIVITIES SHALL NOT PROCEED WITHOUT BUILDING PERMITS FOR THOSE LOTS EXCLUDING CLEARING REQUIRED FOR CONSTRUCTION OF CONVEYANCE SWALES OR DRAINAGE FEATURES DESIGNATED AS THE DEVELOPER'S RESPONSIBILITY.
6. ALL LEAD RUNOFF, DOWNSPOUTS AND GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO THE ROADS OR SWALES THAT LEAD TO THE RETENTION POND OR APPROVED DRAINAGE SYSTEM.
7. PROVIDE EROSION CONTROL MEASURES TO ENSURE ALL SEDIMENTS SHALL BE RETAINED ON EACH INDIVIDUAL LOT.
8. WETLANDS SHALL BE PROTECTED WITH FABRIC SILT FENCE AND BURIED HAYBALE SYSTEMS (DOUBLE ROWS ARE NECESSARY).
9. FENCES SHALL NOT IMPEDE STORMWATER FLOWS.
10. SIDE YARD SWALES SHALL BE BUILT BY HOMEBUILDER. THE CONVEYANCE SWALES SHALL BE BUILT BY THE CONTRACTOR.
11. HOME EQUIPMENT (I.E. AC UNITS) SHALL NOT HINDER THE PROPER INSTALLATION AND/OR FUNCTION OF SIDE YARD SWALES.
12. STEM WALL FOUNDATIONS OR RETAINING WALLS MAY BE REQUIRED TO COMPLY WITH LOT GRADING PLAN. ANY RETAINING WALL TALLER THAN 2-FT SHALL BE PERMITTED THROUGH THE BUILDING INSPECTION DEPARTMENT PRIOR TO CONSTRUCTION.
13. DISTURBED RIGHT-OF-WAY AREAS SHALL BE STABILIZED WITH A HEALTHY GROWTH OF GRASS PRIOR TO RECEIVING COUNTY ACCEPTANCE.
14. BUILDING SETBACKS (LDR):
FRONT = 25'; REAR = 25'; SIDE = 5' OR 10% OF LOT WIDTH AT STREET RIGHT-OF WAY, WHICHEVER IS GREATER, BUT NOT TO EXCEED 15 FEET

MAXIMUM LOT SURFACE COVERAGE

TOTAL MAX IMPERVIOUS / LOT = 6,767-SF

TOTAL IMPERVIOUS SURFACE

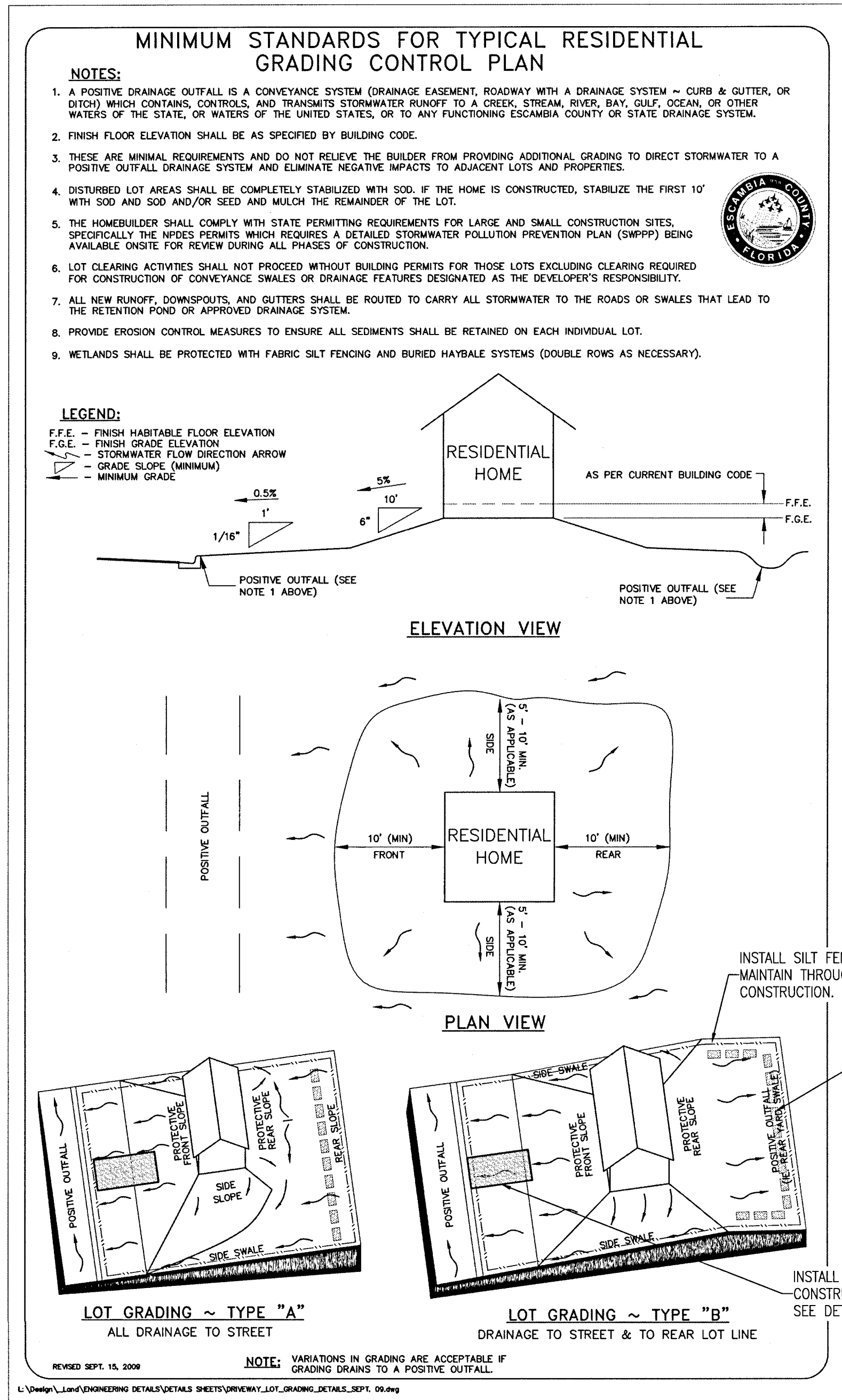
IMPERVIOUS SURFACE AREA / LOT (MAXIMUM) = 6,767-SF
NUMBER OF LOTS = 36, TOTAL LOT IMPERVIOUS = 243,612-SF

TOTAL NEW INFRASTRUCTURE:
PAVEMENT w/ CURB AND GUTTER = 70,382-SF

TOTAL PROPOSED IMPERVIOUS SURFACE = 313,994-SF

GOPHER TORTOISE NOTE:

AN UPDATED AND COMPLETE GOPHER TORTOISE SURVEY SHALL BE SUFFICIENTLY CONDUCTED BY A QUALIFIED ENVIRONMENTAL CONSULTANT/ PROFESSIONAL ON ALL LAND AREAS PROPOSED FOR FUTURE DEVELOPMENT. SUCH 100% SITE-SURVEY SHALL BE CONDUCTED IN AN APPROPRIATE TIME FRAME AS REQUIRED BY JURISDICTIONAL AGENCY(S) PRIOR TO ANY PROJECTED LAND DISTURBANCE ACTIVITIES WHICH MAY ADVERSELY AFFECT THEM. ALL PROPOSED IMPACTS, RELOCATIONS, OR EXCLUSIONS OF GOPHER TORTOISES FROM THE SITE OVERALL SHALL BE PROPERLY PERMITTED (OR OTHERWISE AUTHORIZED IN WRITING) BY THE JURISDICTIONAL AGENCIES AND ADEQUATELY PERFORMED PRIOR TO INITIATION OF ANY SITE WORK ACTIVITIES.

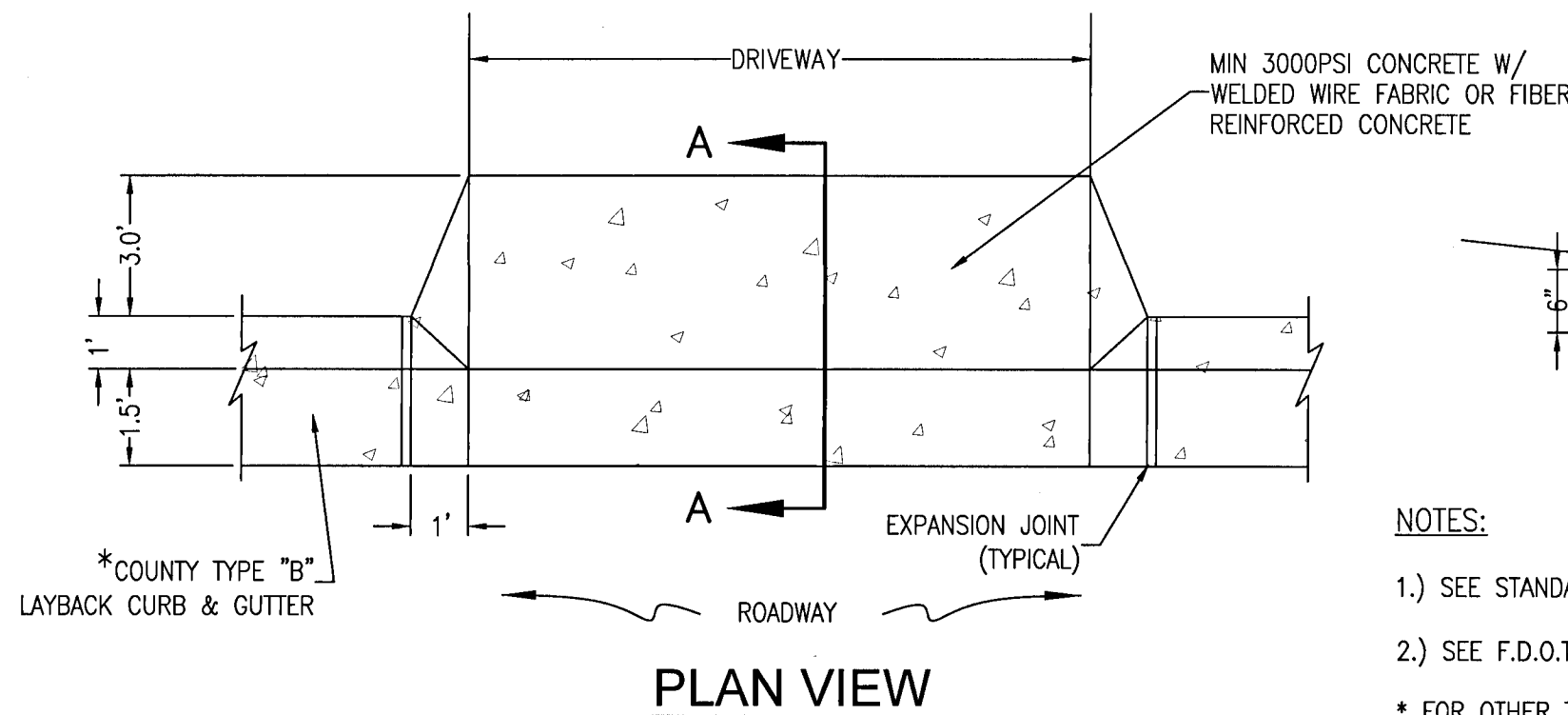


NOTES:

1. ALL MATERIALS AND LABOR FOR INSTALLATION WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER/CONTRACTOR.
2. DRIVEWAYS ABUTTING PAVED ROADS SHALL BE 1 - 1/2" ASPHALT WITH 6" STABILIZED SUB GRADE OR 4" TO 6" CONCRETE WITH 4" STABILIZED SUB GRADE - 95% COMPACTION (MODIFIED PROCTOR) WITH LBR 40 BETWEEN EDGE OF ROADWAY AND R/W LINE. COMPACTION AND TESTING IF NECESSARY, THIS WILL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.
3. DRIVEWAYS ABUTTING A DIRT ROAD SHALL BE MILLED ASPHALT, GRADED AGGREGATE BASE, OR WASHED CONCRETE (4" IN DEPTH) ON THE COUNTY MAINTAINED PORTION OF DRIVEWAY.
4. IF NECESSARY, REFER TO FDOT INDEX DETAILS AS REFERENCED BELOW.
5. RADIUS OR FLARE IS REQUIRED FOR TYPE II OR TYPE III CONNECTIONS. SEE DETAIL.
6. PARKING SPACES WITHIN COUNTY RIGHT-OF-WAY SHALL PROVIDE A MINIMUM OF 2 PARKING SPACES.
7. TYPICAL DRIVEWAY SECTIONS ARE TO BE 12' WIDE MINIMUM.

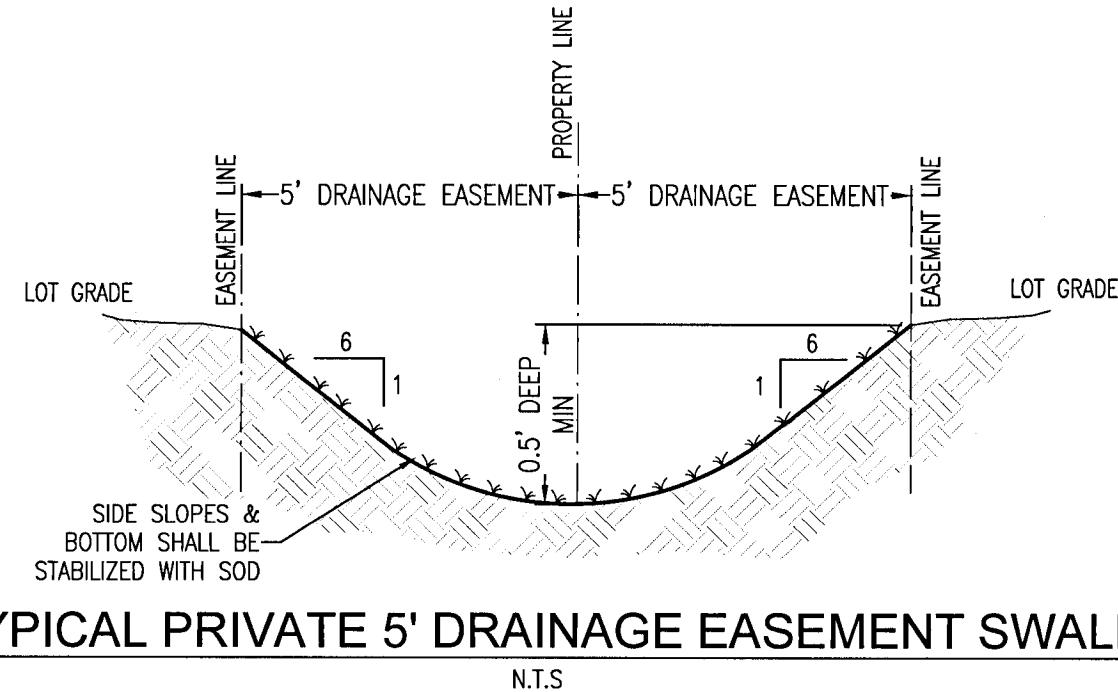
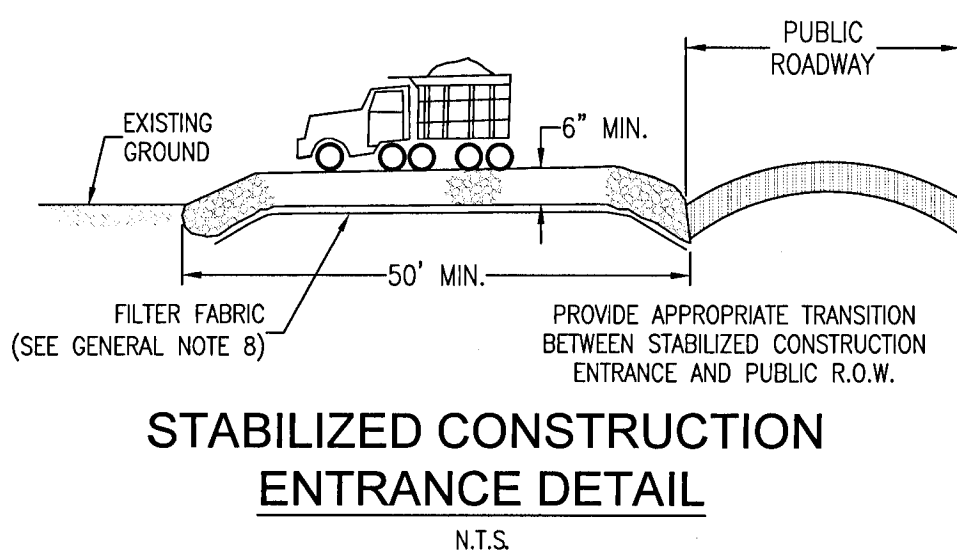
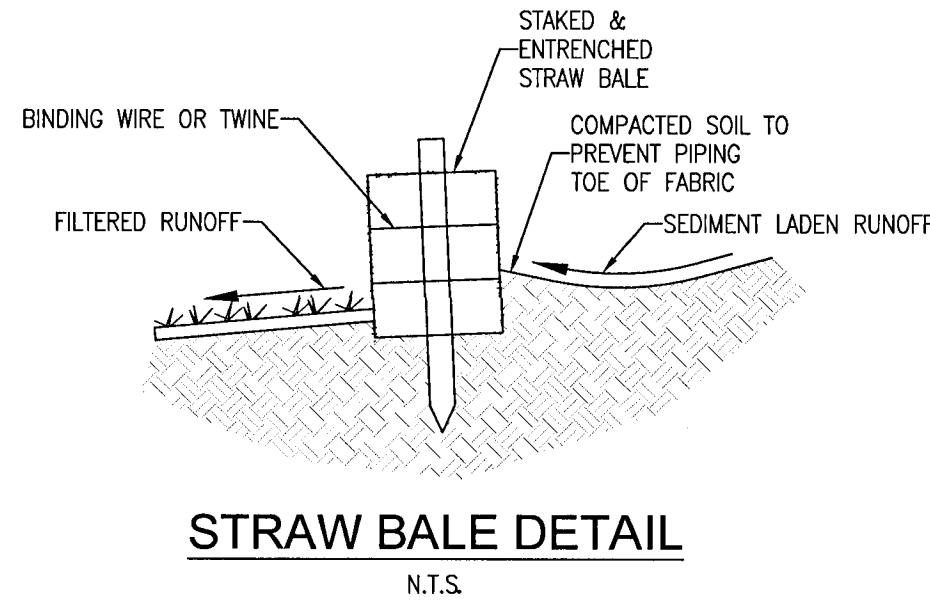
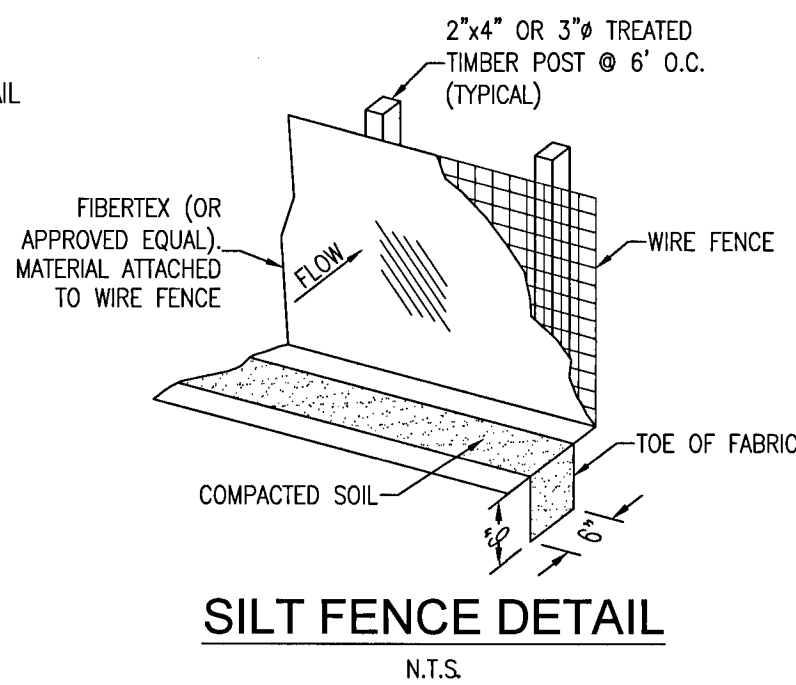
TYPE I

CURB CUT DRIVEWAY FOR COUNTY TYPE "B" LAYBACK CURBS.



TYPICAL DRIVEWAY CONNECTION STANDARDS FOR EXISTING ROADWAY CONDITIONS

NOT TO SCALE



MAXIMUM LOT SURFACE COVERAGE

TOTAL MAX IMPERVIOUS / LOT = 6,767-SF

TOTAL IMPERVIOUS SURFACE

IMPERVIOUS SURFACE AREA / LOT (MAXIMUM) = 6,767-SF
NUMBER OF LOTS = 36, TOTAL LOT IMPERVIOUS = 243,612-SF

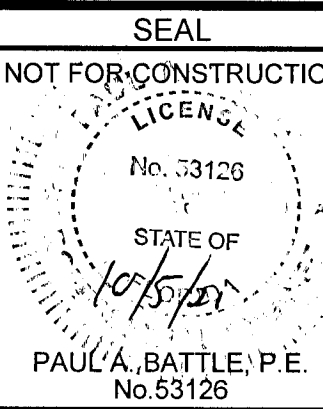
TOTAL NEW INFRASTRUCTURE:
PAVEMENT w/ CURB AND GUTTER = 70,382-SF

TOTAL PROPOSED IMPERVIOUS SURFACE = 313,994-SF

NEIGHBORHOOD LOT GRADING DETAILS

Ledgestone Subdivision
A 36 LOT RESIDENTIAL SUBDIVISION
BEULAH ROAD
ESCAMBIA COUNTY, FLORIDA

REVISION	DATE	No.



Dr. By: CBD
Ck By: PAB
Job No.: 2018.158
Date: 4/21/2021

DRAWING No.

C3.5

SHEET 12 OF 32

UTILITY NOTES:

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES AND TO DETERMINE IF OTHER UTILITIES WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK AND TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION.

2. THE CONTRACTOR SHALL COORDINATE WITH ECUA, GULF POWER, OR ANY OTHER UTILITY COMPANIES HAVING JURISDICTION FOR REMOVAL/RELOCATION AND/OR PROTECTION OF EXISTING UTILITY POLES, AERIAL LINES, FIRE HYDRANTS, AND OTHER UTILITIES AS NECESSARY TO COMPLETE CONSTRUCTION.

3. ALL NEW WATER LINES SHALL BE CLEANED, DISINFECTED, PRESSURE TESTED, AND BACTERIOLOGICALLY CLEANED FOR SERVICE IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION RULES AND REGULATIONS.

4. ALL WATER MAINS SHALL BE NSF APPROVED FOR POTABLE WATER USE.

5. MAINTAIN 18 INCH MINIMUM VERTICAL SEPARATION BETWEEN ALL POTABLE WATER MAINS AND SANITARY SEWER GRAVITY LINES. (WATER ABOVE SEWER).

6. THE TOP OF ALL CLEANOUTS SHALL BE FLUSH WITH THE PAVEMENT OR, WHEN NOT IN THE PAVEMENT, FLUSH WITH THE FINISH GRADE. CONNECTION POINTS FOR UTILITIES SHALL BE CLEARLY MARKED FOR FUTURE BUILDING CONNECTION. COORDINATE WITH THE PLUMBING CONTRACTOR.

7. ALL SEWER WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ECUA ENGINEERING MANUAL.

8. ADEQUATE PROVISIONS SHALL BE MADE FOR THE FLOW OF SEWERS, DRAINS AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.

9. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANIES 72 HOURS (3 BUSINESS DAYS) PRIOR TO BEGINNING CONSTRUCTION.

10. ALL NEW WATER AND SEWER SERVICE LINES SHALL HAVE A MINIMUM COVER OF 30 INCHES (MAXIMUM 36"), UNLESS OTHERWISE NOTED.

11. THE CONTRACTOR IS TO RESTORE ALL DISTURBED RIGHTS-OF-WAY IN ACCORDANCE WITH ESCAMBIA COUNTY AND THE ECUA GUIDELINES.

12. THE CONTRACTOR SHALL COORDINATE WITH THE PLUMBING CONTRACTOR FOR BUILDING UTILITY CONNECTIONS.

13. ALL CONNECTIONS TO THE ECUA SEWER SYSTEM SHALL BE MADE WITH ECUA PERSONNEL PRESENT. ALL CONNECTIONS TO THE FARM HILL WATER SYSTEM SHALL BE MADE WITH FARM HILL UTILITIES PERSONNEL PRESENT.

14. ANY REMOVAL OR RELOCATION OF ECUA WATER/SEWER UTILITIES MUST BE APPROVED IN WRITING PRIOR TO THE WORK BEING DONE.

15. A MINIMUM ONE (1) FOOT GROUND COVER IS REQUIRED FOR ALL UNDERGROUND PIPES

16. ELECTRIC/PHONE/CABLE/GAS STRUCTURES INSTALLED WITHIN DRAINAGE ACCESS EASEMENTS SHALL BE LOCATED ALONG THE BOUNDARY OF THE EASEMENT TO MAXIMIZE CLEAR ACCESS FOR MAINTENANCE EQUIPMENT.

17. ALL CROSSINGS UNDER EXISTING COUNTY ROADS SHALL BE DONE BY JACK AND BORE METHOD. OPEN CUTTING OF COUNTY ROADS IS PROHIBITED.

18. ROUGH GRADE OF RIGHT-OF-WAY MUST BE ESTABLISHED PRIOR TO COMMON TRENCH UTILITY INSTALLATION TO ENSURE UTILITIES ARE INSTALLED AT PROPER DEPTHS. THE MINIMUM COVER DIMENSION SHALL BE MEASURED FROM THE PROPOSED GRADE IF ROAD IS IN FILL AND MEASURED FROM TOP OF CURB IF FUTURE ROAD IS IN CUT.

19. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD AT LEAST TWO WEEKS PRIOR TO PLACEMENT OF BASE MATERIAL TO ASSIST IN THE COORDINATION OF ALL OTHER UNDERGROUND UTILITIES.

20. FORCE MAIN LOCATED IN RIGHT-OF-WAY & UTILITY EASEMENTS SHALL BE MAINTAINED BY ECUA.

21. ALL LONG SERVICES SHALL BE ENCASED.

22. ALL WATER SERVICE CURB STOPS & CORP STOPS MUST BE FORD. CURB STOPS MUST UTILIZE GRIP JOINT NUTS. (NO PACK JOINT NUTS)

23. ALL PROPOSED UNDERGROUND UTILITIES WITHIN R/W OR UTILITY CONDUIT FOR ROAD CROSSINGS SHALL BE INSTALLED PRIOR TO PAVING. NO STREETS OR ROADS UNDER THE TWO (2) YEAR WARRANTY WILL BE ALLOWED TO BE OPEN CUT OR JACK AND BORED UNLESS SPECIFICALLY APPROVED BY THE COUNTY ENGINEER. TO ACCOMPLISH THIS REQUIREMENT, COMMON TRENCHING IS REQUIRED WHENEVER POSSIBLE. IF COMMON TRENCHING IS NOT A FEASIBLE OPTION, THE DEVELOPER SHALL INSTALL CONDUIT FOR THE UTILITY NOT PARTICIPATING IN THE COMMON TRENCHING FOR ALL ROAD CROSSINGS AND UTILITY COMPANY WILL BE REQUIRED TO USE THE CONDUIT. THIS SHALL REQUIRE PLANNING BETWEEN THE DEVELOPER AND THE UTILITY.

UTILITY DETAIL REFERENCE NOTE:

REFER TO ECUA ENGINEERING MANUAL (09-01-2016) DIVISION 4 FOR ALL ECUA STANDARD DETAILS.

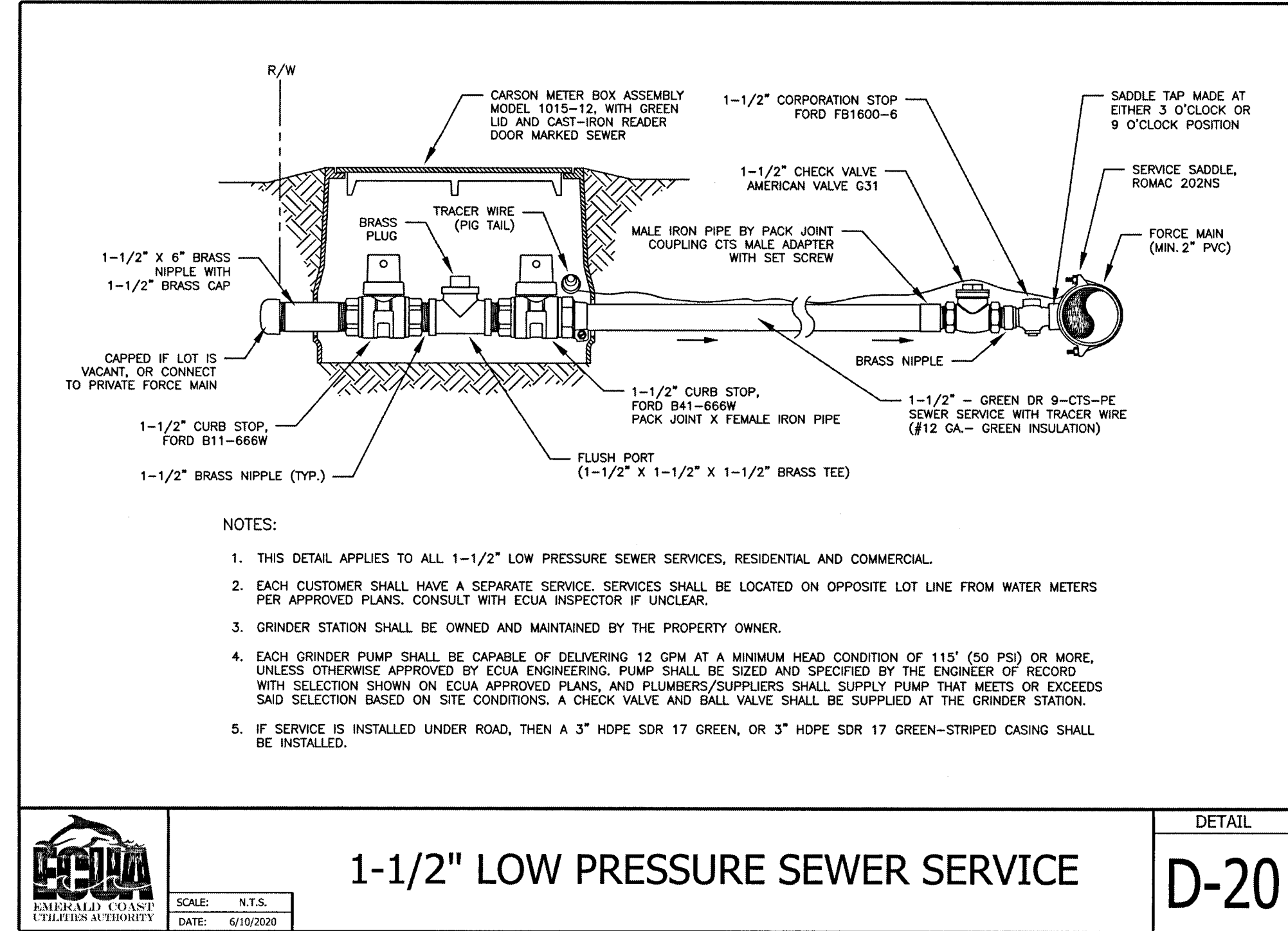
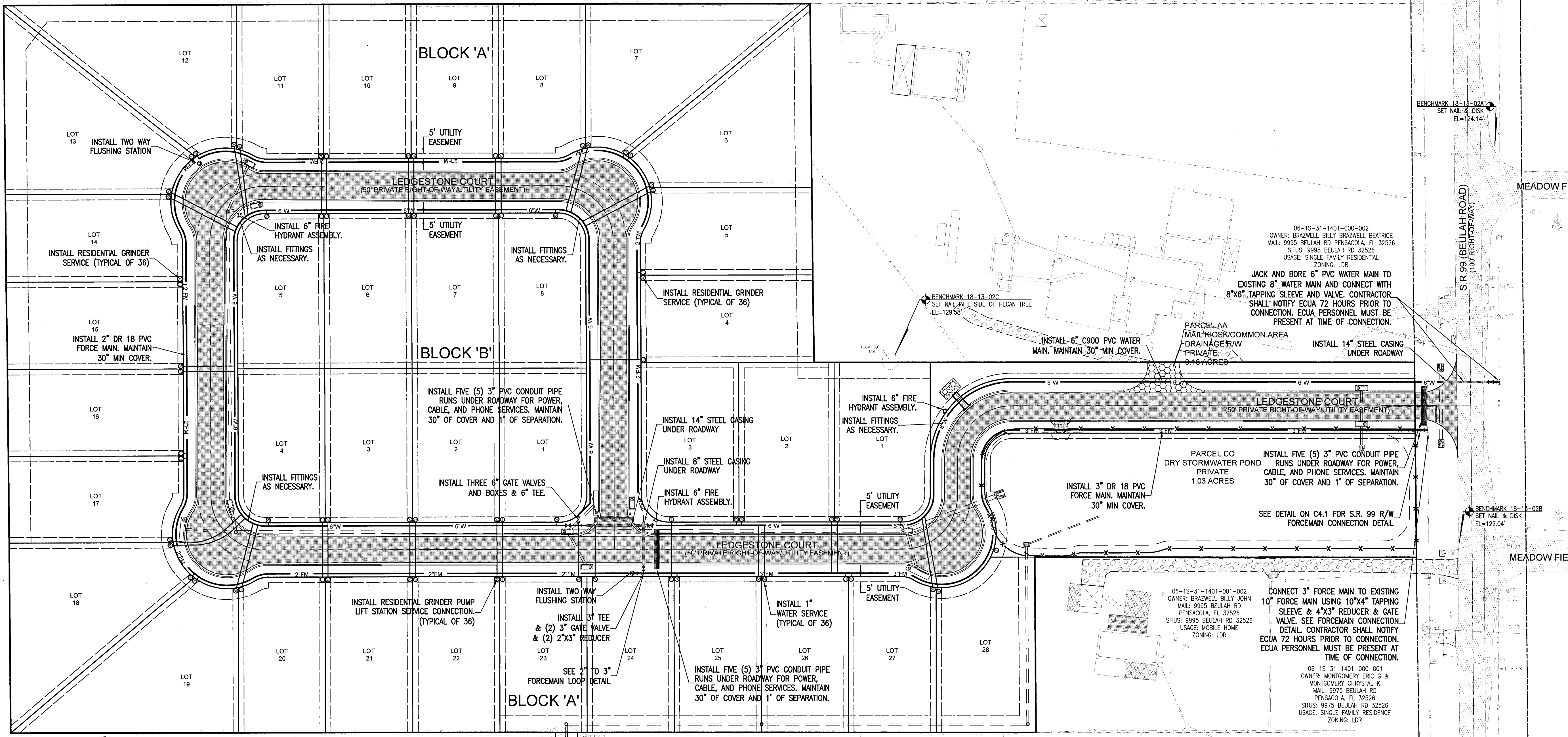
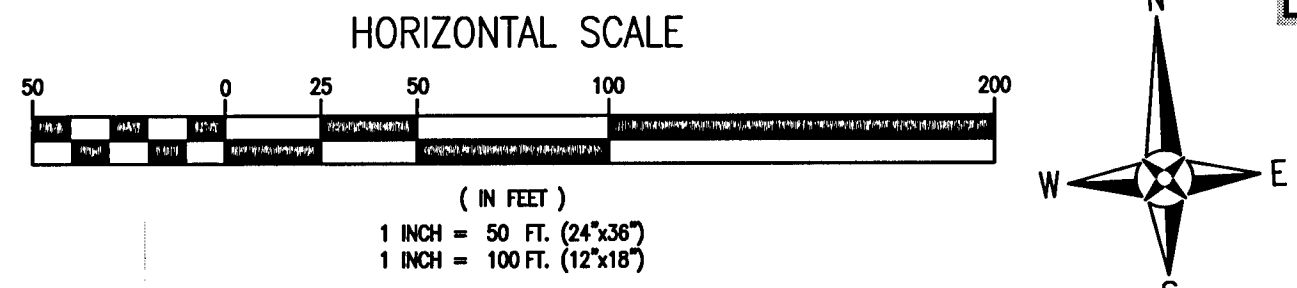
ALL WORK THAT WILL BECOME ECUA OWNED SHALL BE DESIGNED, CONSTRUCTED, AND TESTED IN ACCORDANCE WITH THE ECUA STAMPED APPROVED PLANS AND ECUA'S ENGINEERING MANUAL IN EFFECT AT TIME OF ECUA PLAN APPROVAL.

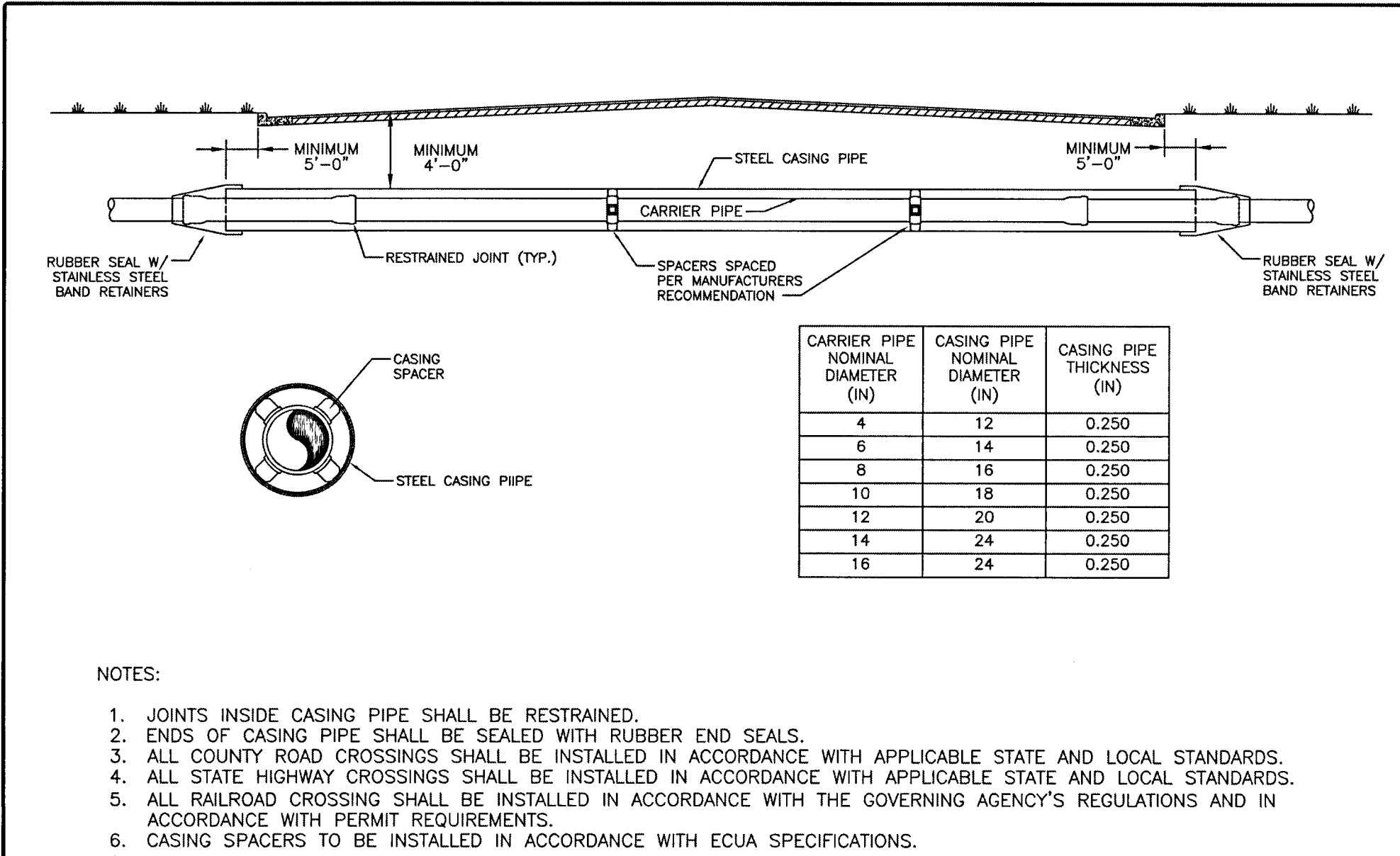
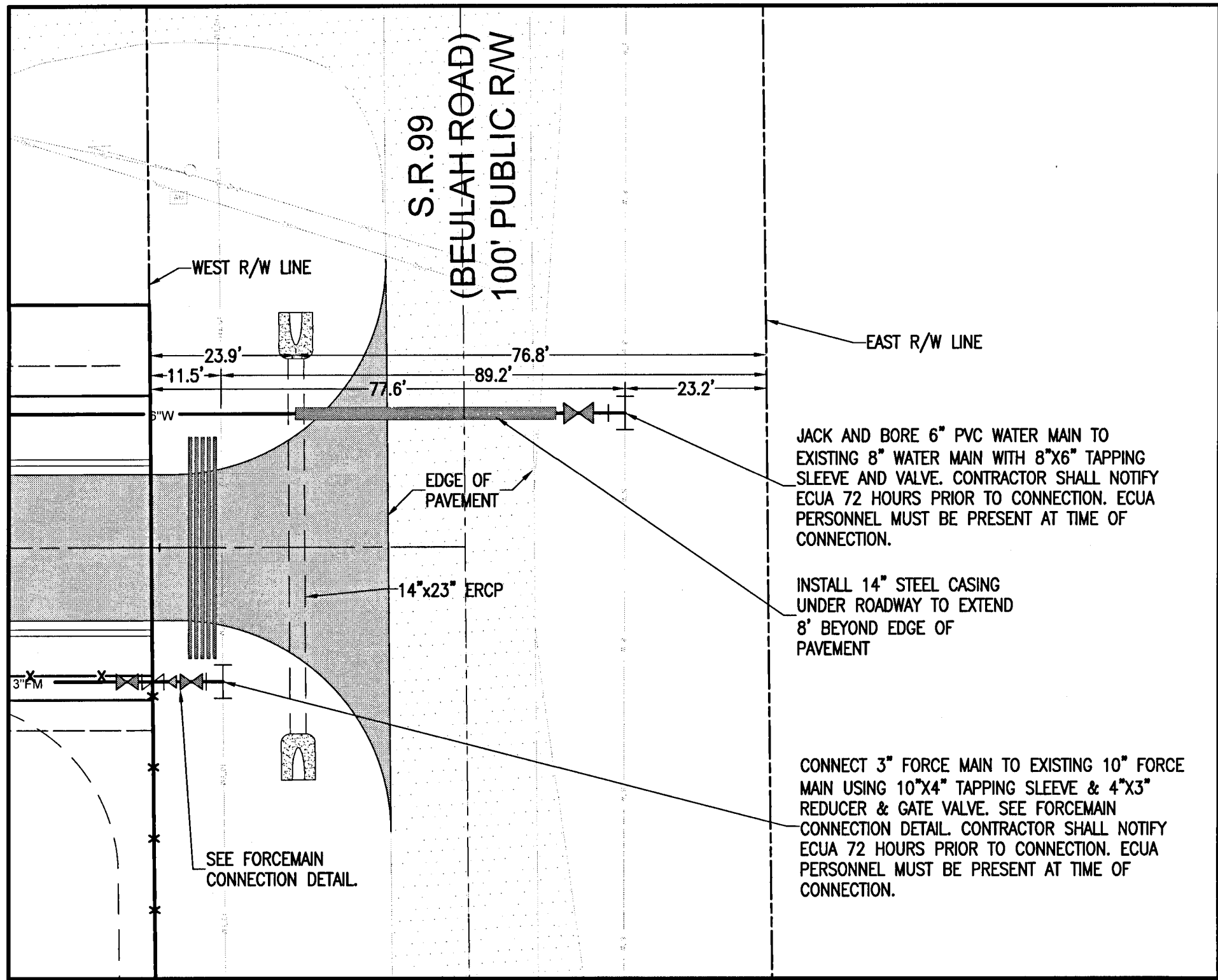
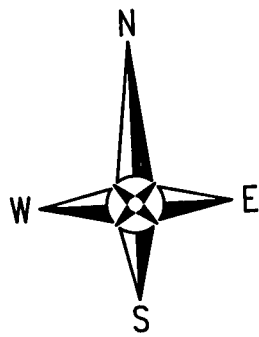
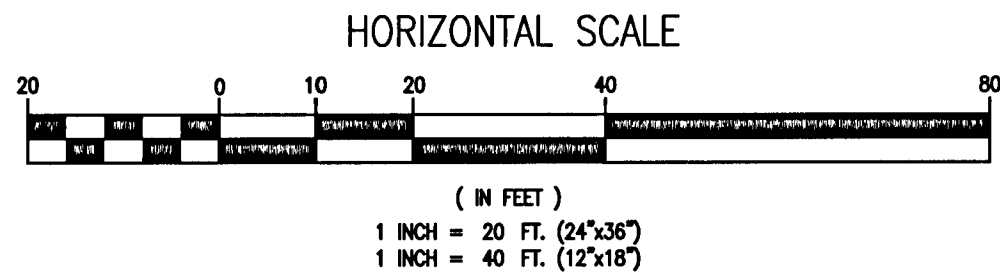
LOW PRESSURE SEWER NOTE:

ALL LOTS TO HAVE SANITARY SEWER SERVICE VIA A LOW PRESSURE FORCE MAIN.

GOPHER TORTOISE NOTE:

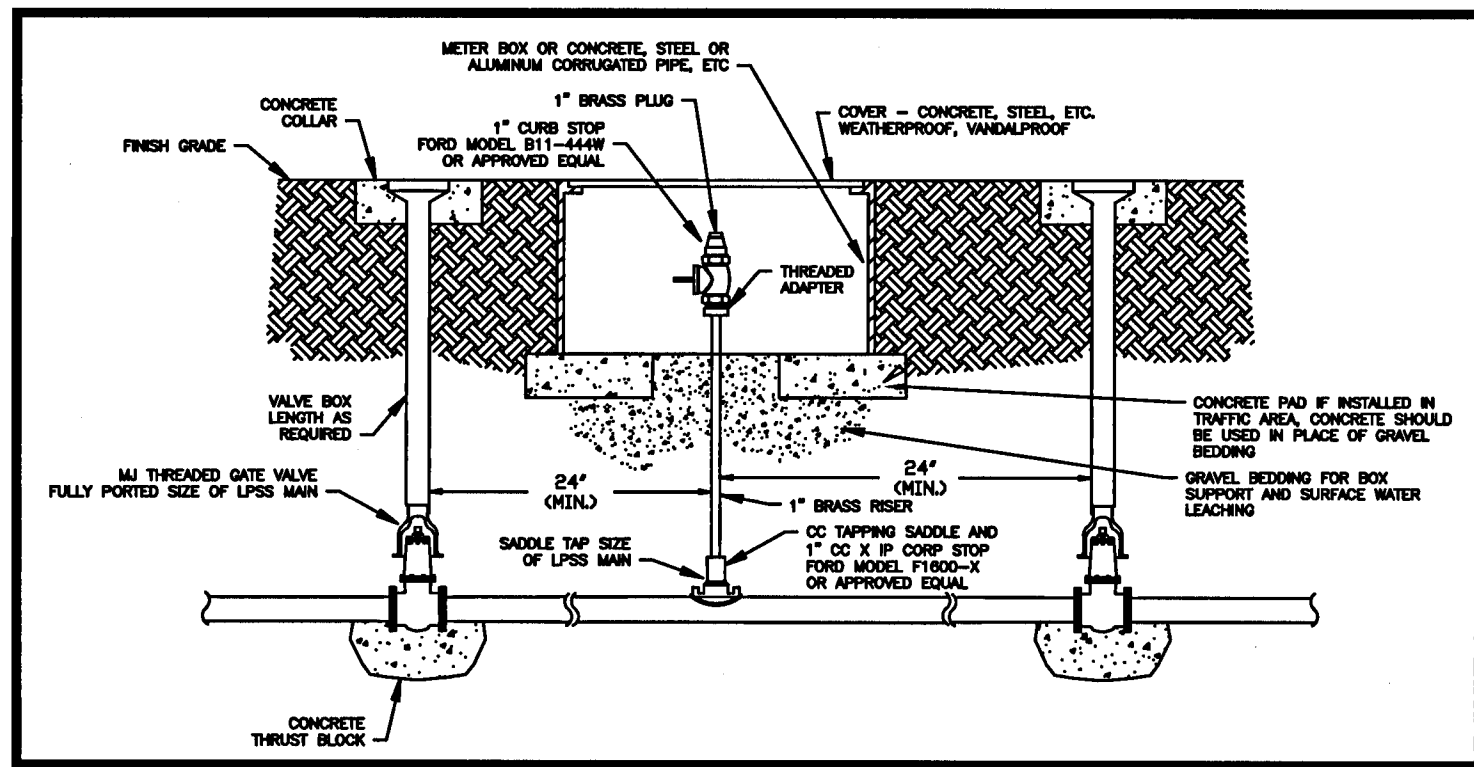
AN UPDATED AND COMPLETE GOPHER TORTOISE SURVEY SHALL BE SUFFICIENTLY CONDUCTED BY A QUALIFIED ENVIRONMENTAL CONSULTANT/ PROFESSIONAL ON ALL LAND AREAS PROPOSED FOR FUTURE DEVELOPMENT. SUCH 100% SITE-SURVEY SHALL BE CONDUCTED IN AN APPROPRIATE TIME FRAME AS REQUIRED BY JURISDICTIONAL AGENCY(S) PRIOR TO ANY PROJECTED LAND DISTURBANCE ACTIVITIES WHICH MAY ADVERSELY AFFECT THEM. ALL PROPOSED IMPACTS, RELOCATIONS, OR EXCLUSIONS OF GOPHER TORTOISES FROM THE SITE OVERALL SHALL BE PROPERLY PERMITTED (OR OTHERWISE AUTHORIZED IN WRITING) BY THE JURISDICTIONAL AGENCIES AND ADEQUATELY PERFORMED PRIOR TO INITIATION OF ANY SITE WORK ACTIVITIES.





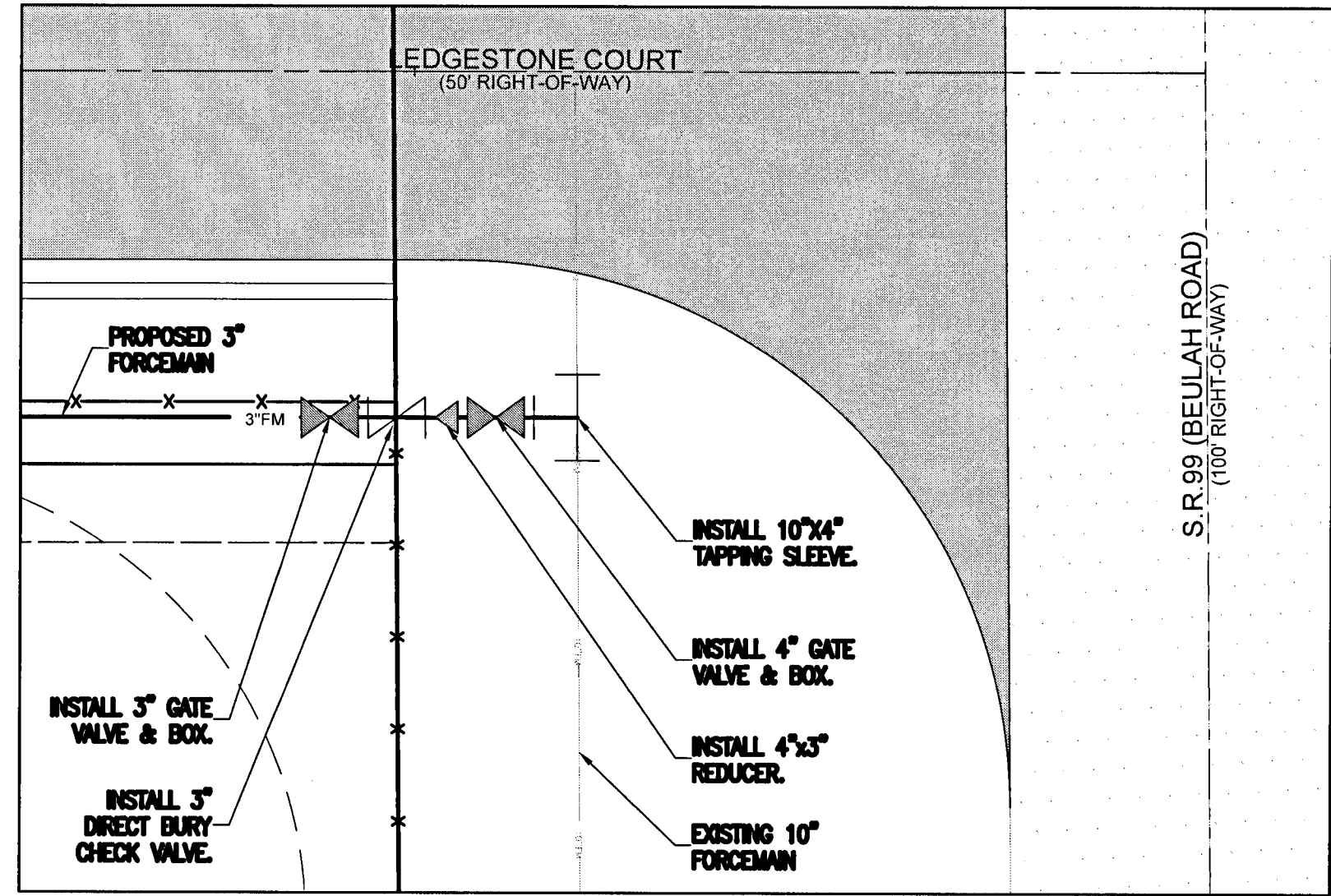
TYPICAL JACK AND BORE

D-65



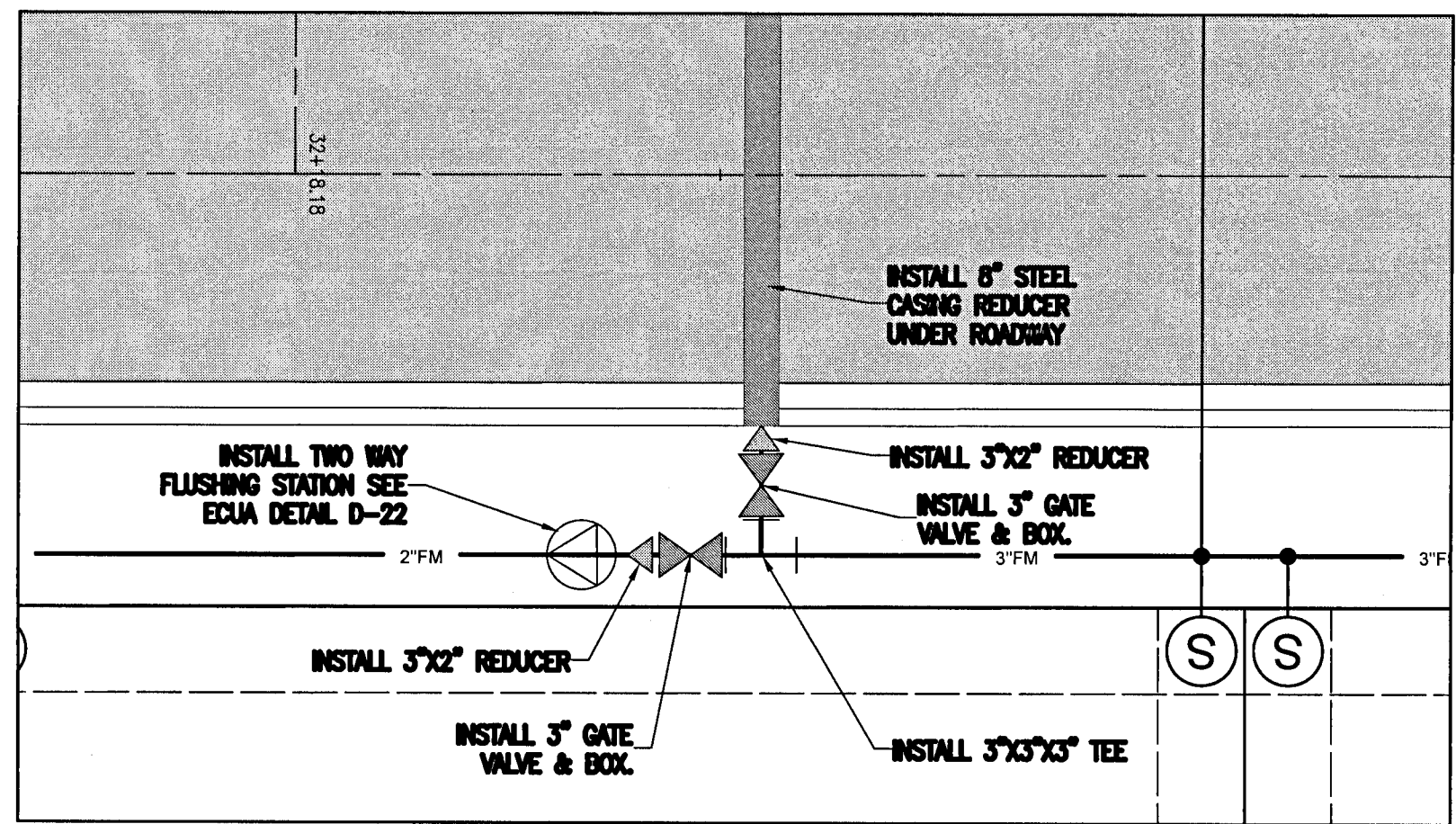
TWO WAY FLUSHING DETAIL

SCALE: NTS

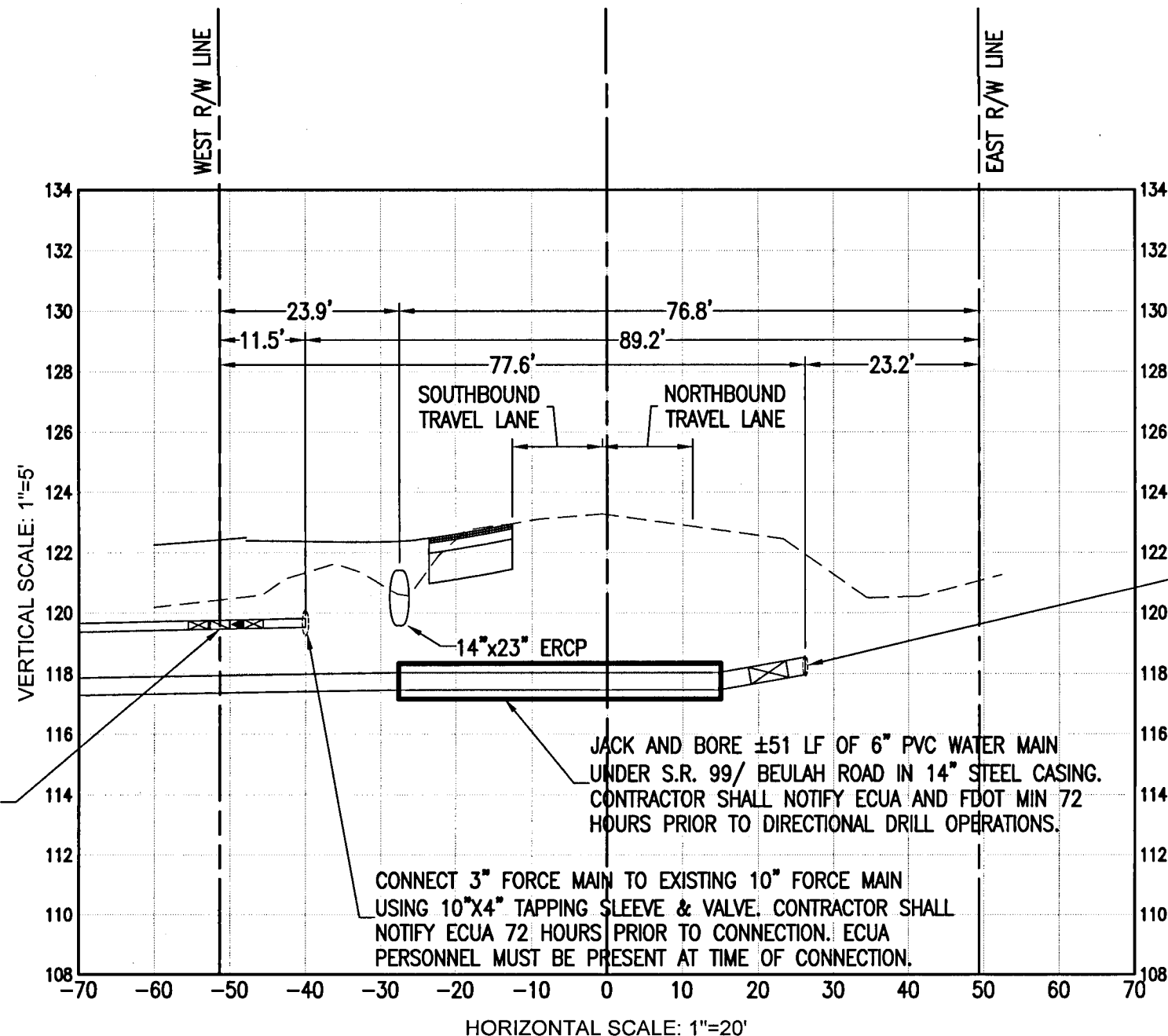


S.R. 99 R/W FORCEMAIN CONNECTION DETAIL

SCALE: NTS



2\"/>



UTILITY NOTES:

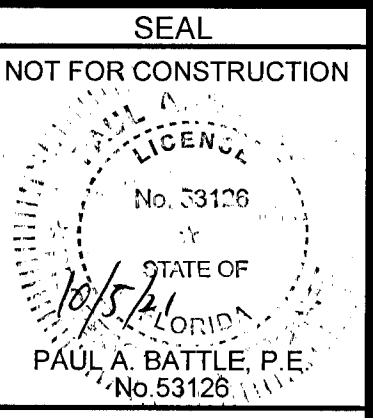
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REVISION	DATE	No.

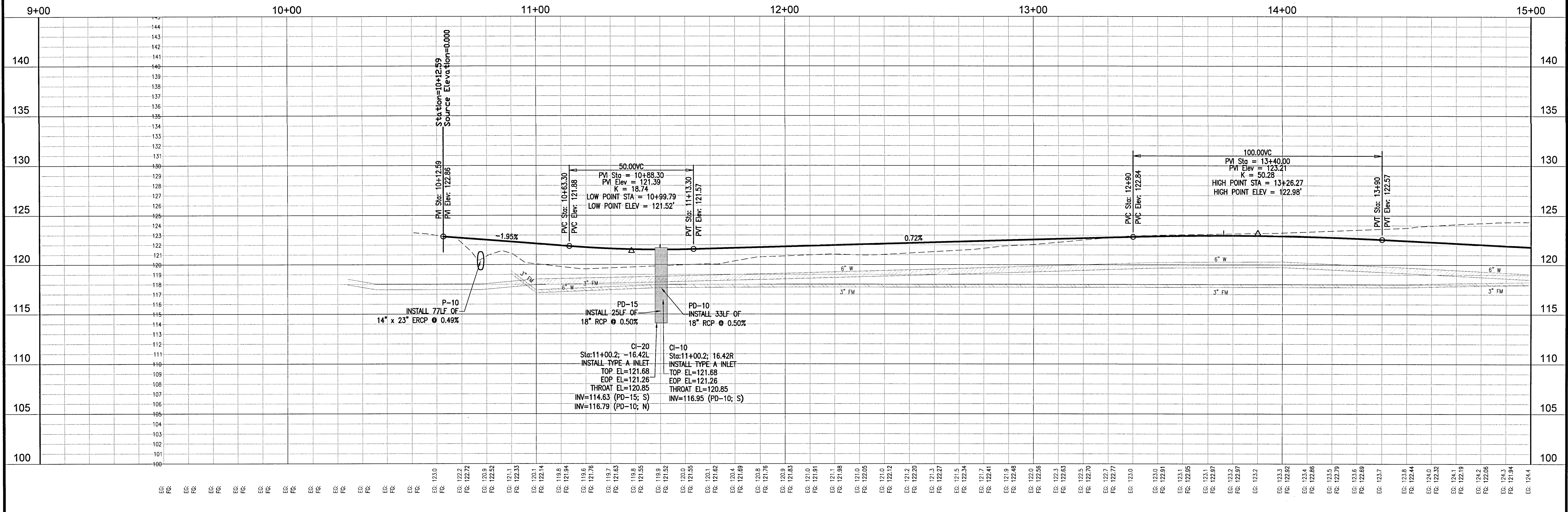
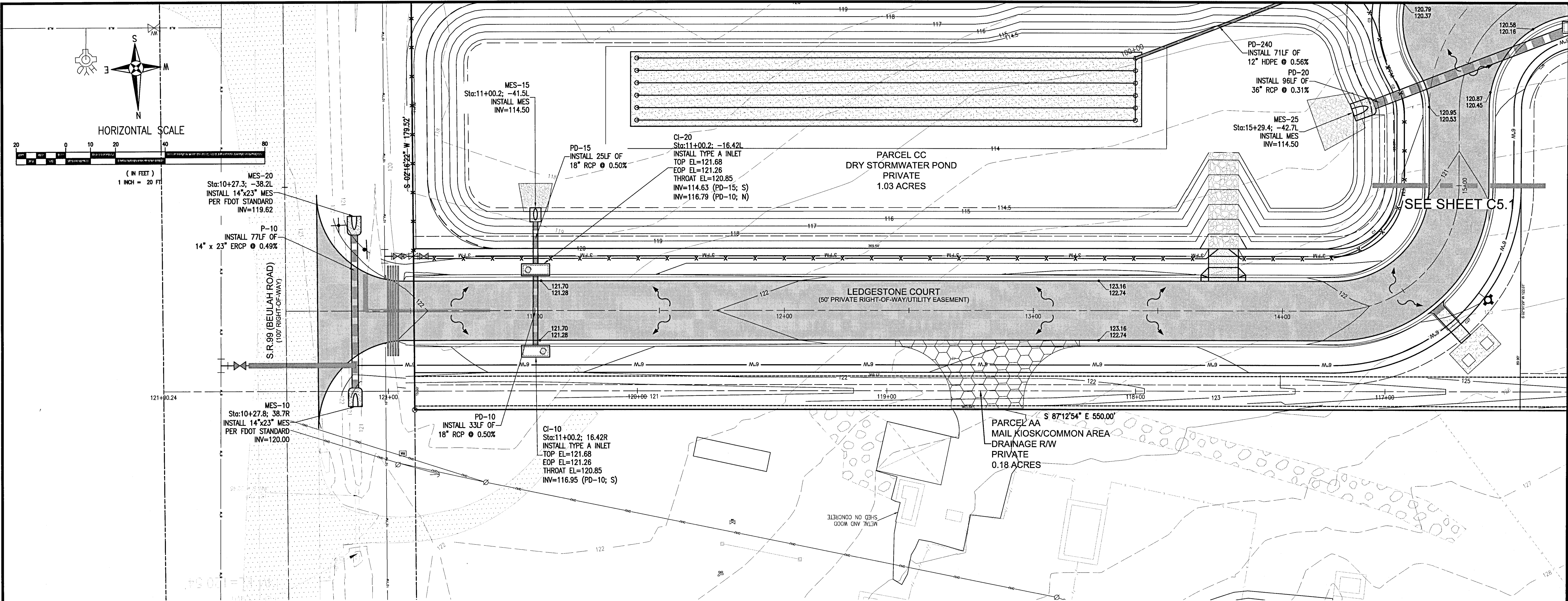


Dr. By: CBD
Ck By: PAB
Job No.: 2018.158
Date: 4/21/2021

DRAWING No.

C4.1

SHEET 14 OF 32



RBA

REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. North Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0448
E: 0000657

PLAN AND PROFILES

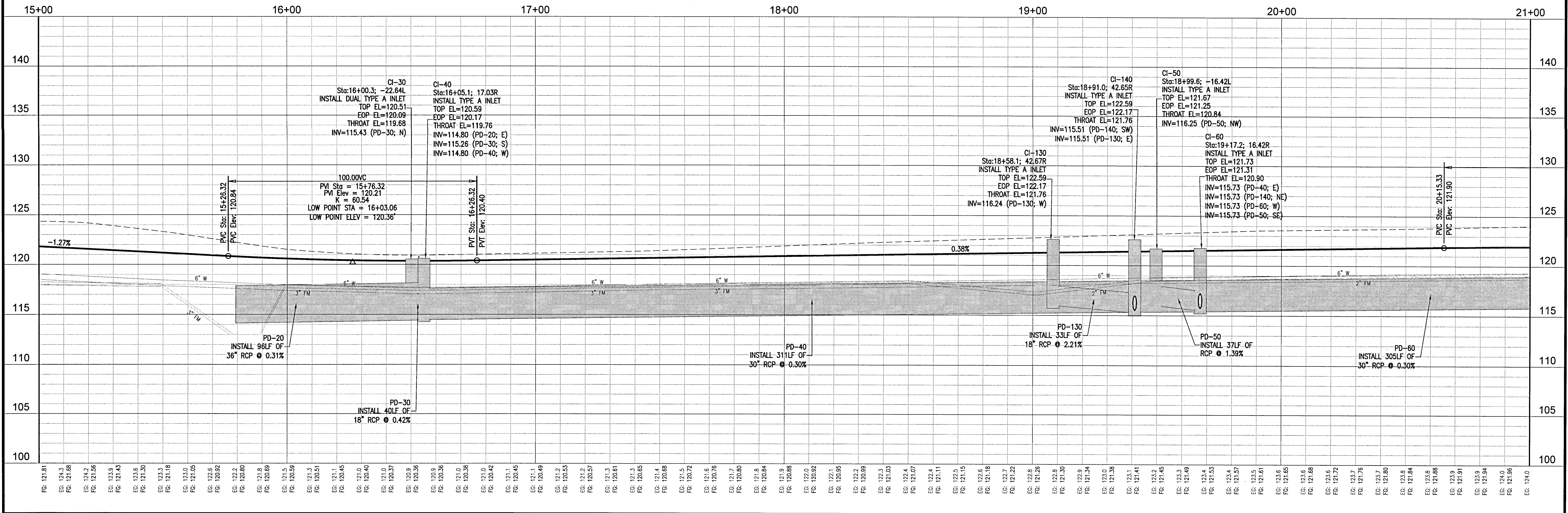
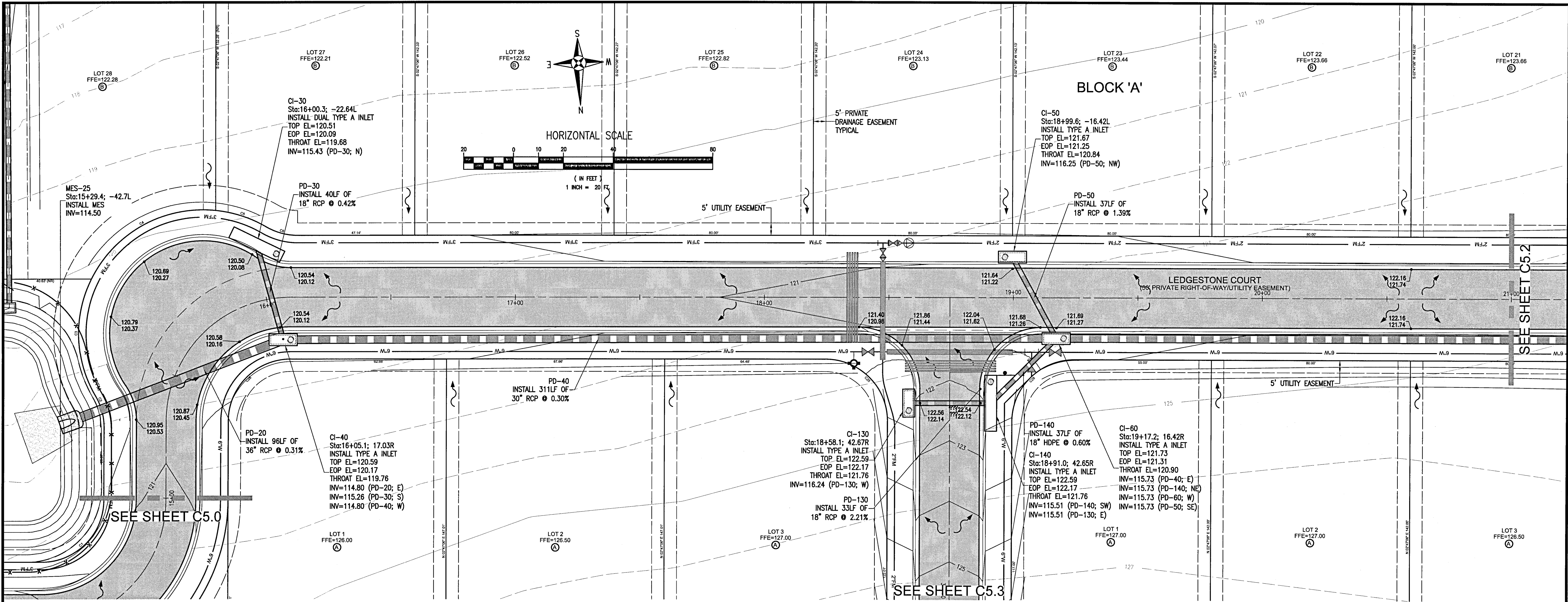
Ledgestone Subdivision
A 36 LOT RESIDENTIAL SUBDIVISION
BEULAH ROAD
ESCAMBIA COUNTY, FLORIDA

REVISION	
No.	DATE

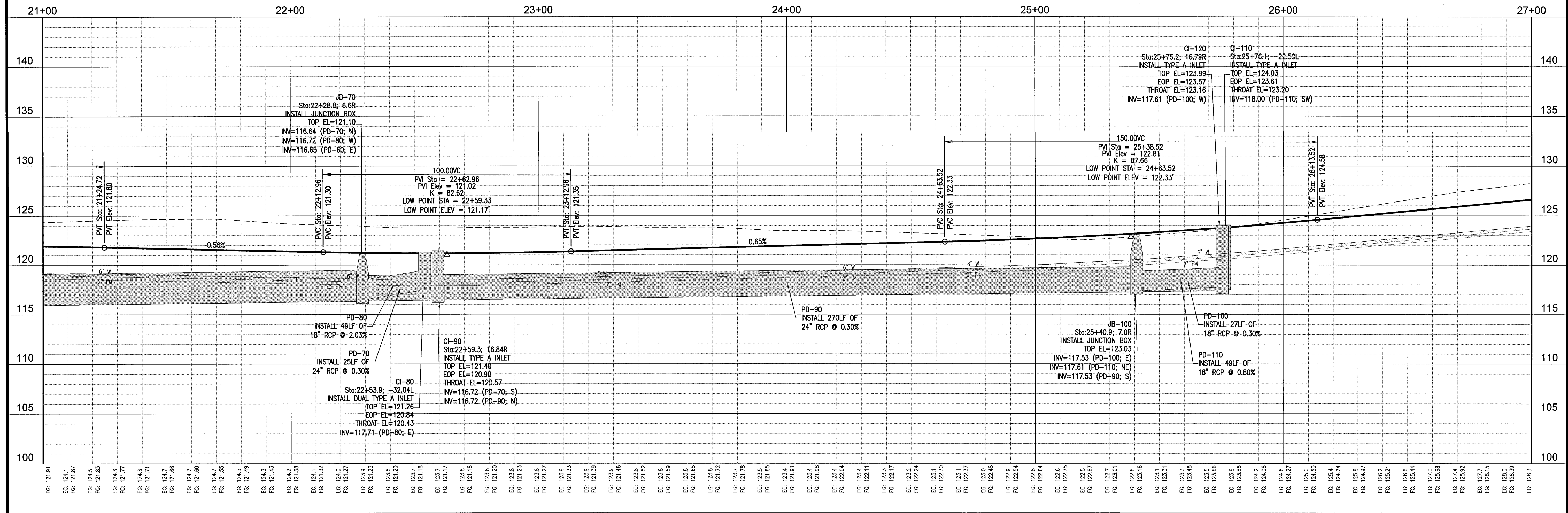
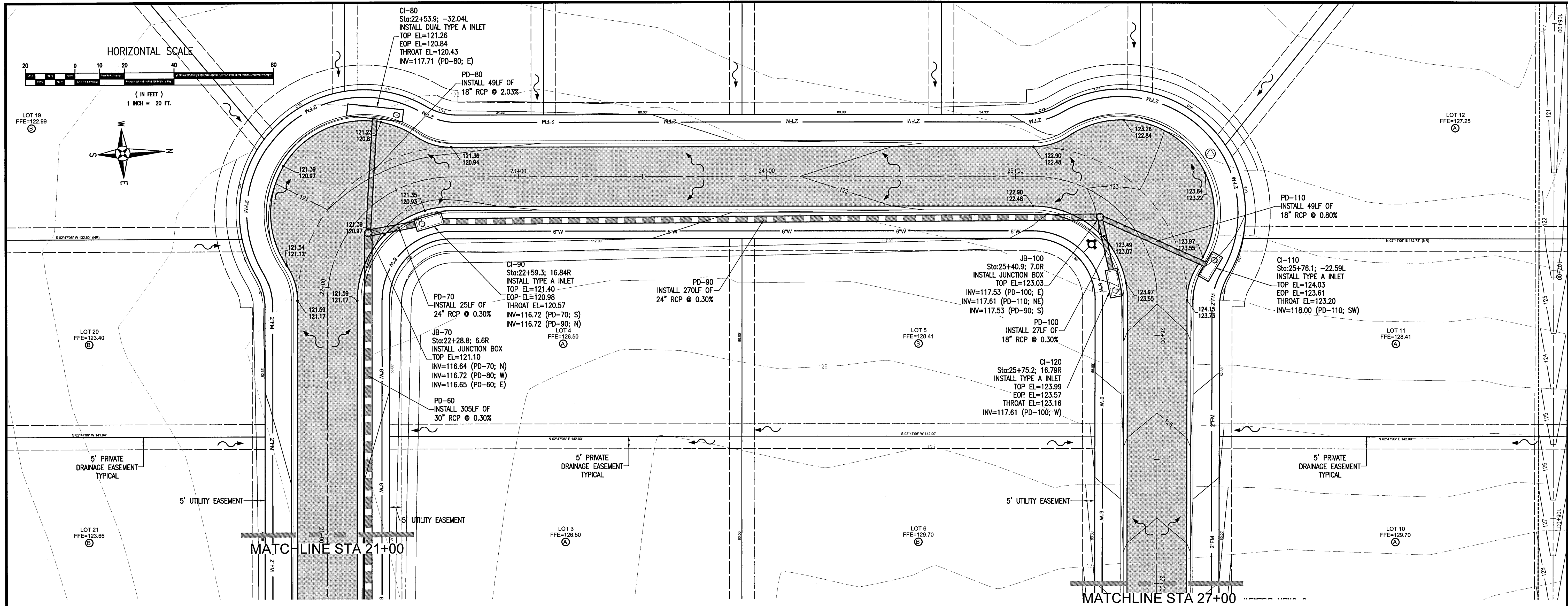
SEAL
NOT FOR CONSTRUCTION
No. 73129
STATE OF
FLORIDA
PAULA A. BATTLE, P.E.
No. 63126

Dr. By: CBD
Ck By: PAB
Job No.: 2018.158
Date: 4/21/2021

DRAWING No.
C5.0
SHEET 15 OF 32



No.	DATE	REVISION	



RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0448
E: 850.986.957

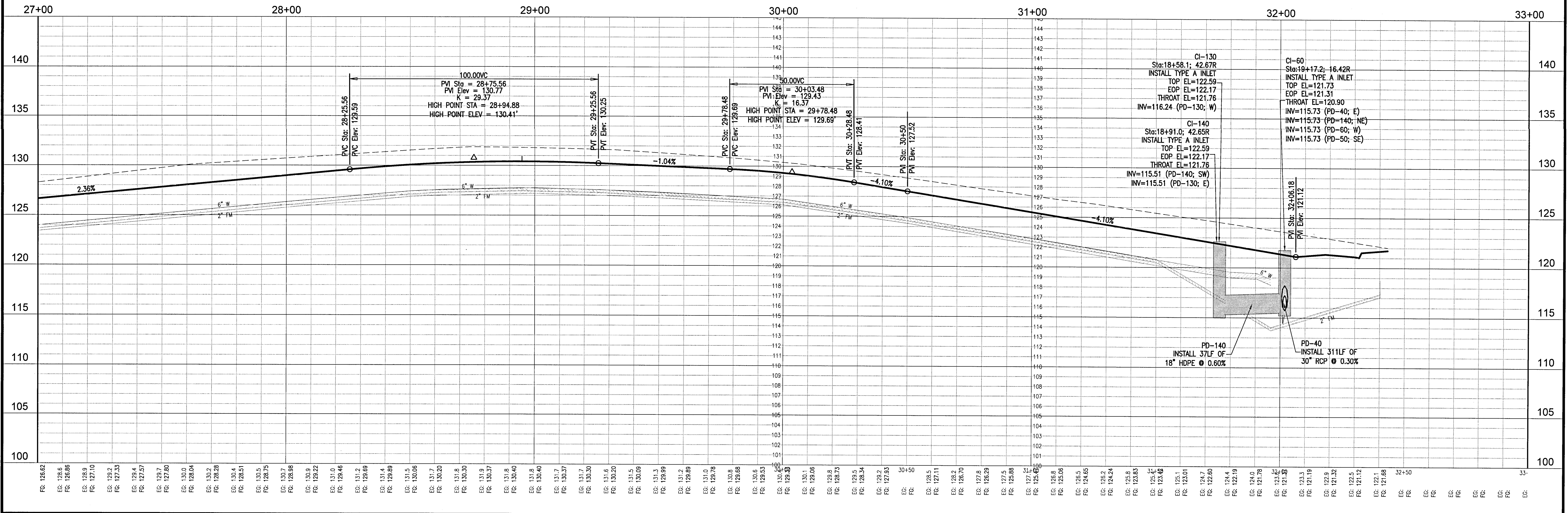
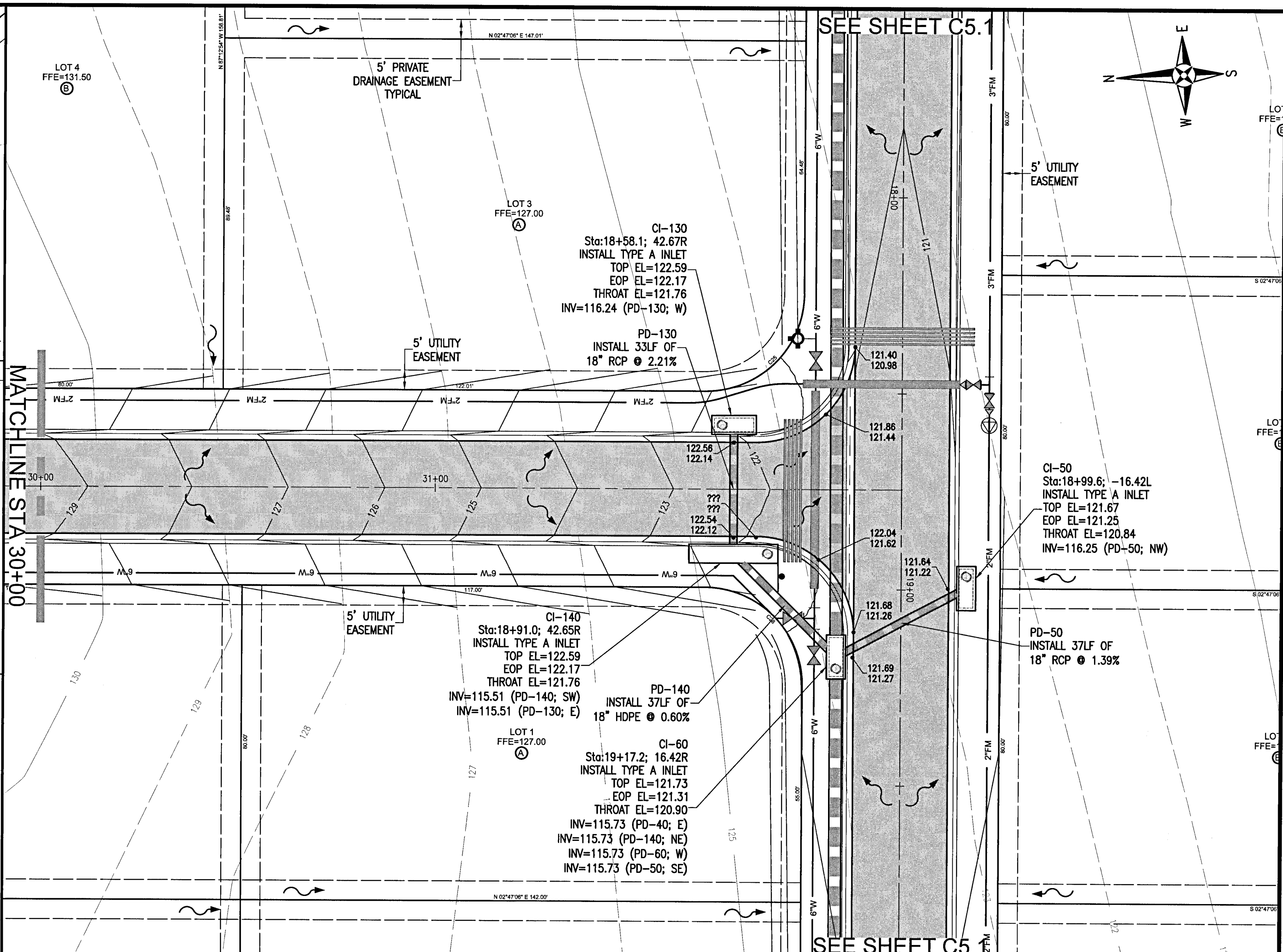
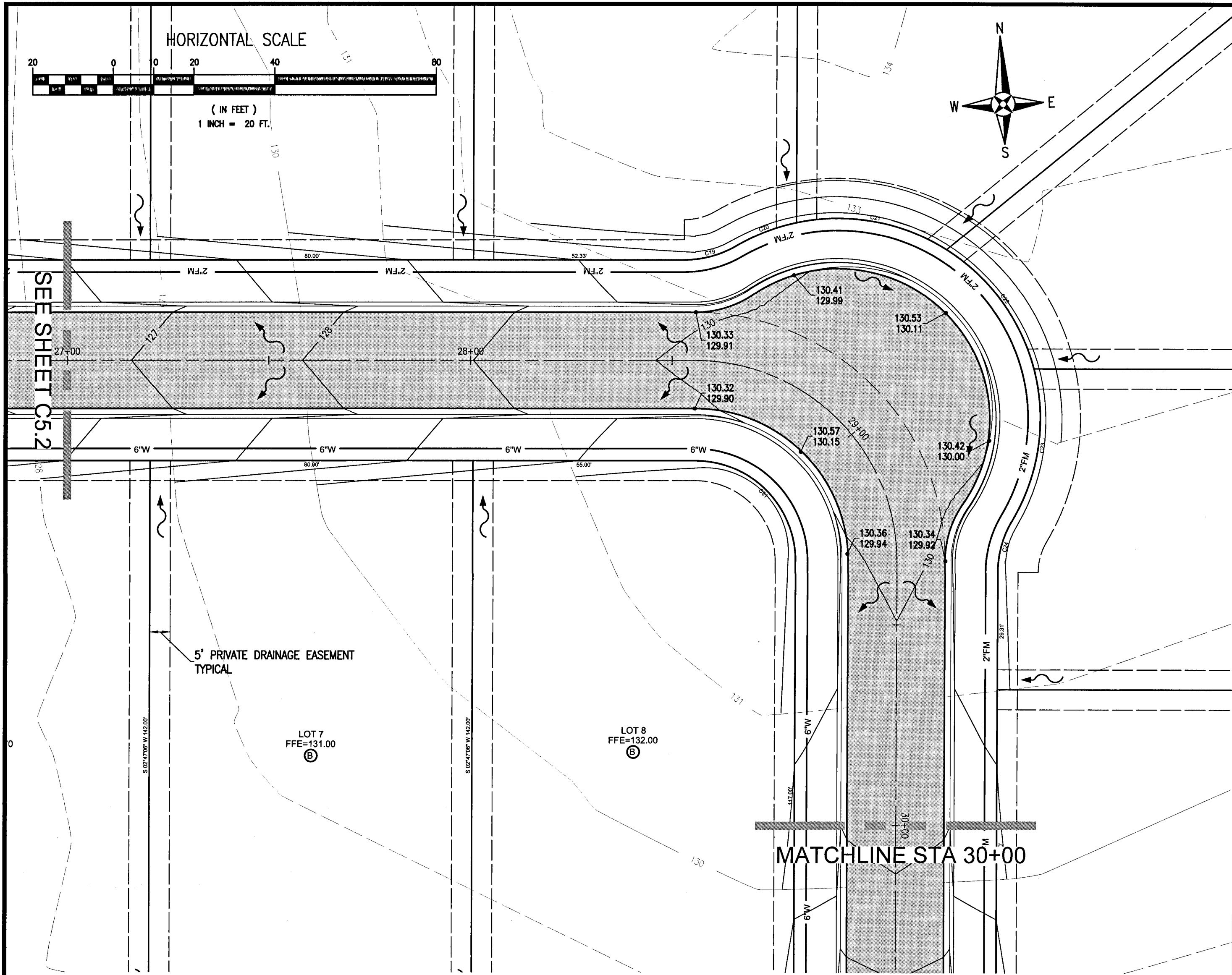
PLAN AND PROFILES

Ledgestone Subdivision
A 36 LOT RESIDENTIAL SUBDIVISION
BEULAH ROAD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION	

SEAL
NOT FOR CONSTRUCTION
PAUL A. BATTLE, P.E.
No. 53126

Dr. By: CBD
Ck By: PAB
Job No.: 2018.158
Date: 4/21/2021
DRAWING No.
C5.2
SHEET 17 OF 32



RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0448
EO 0008657

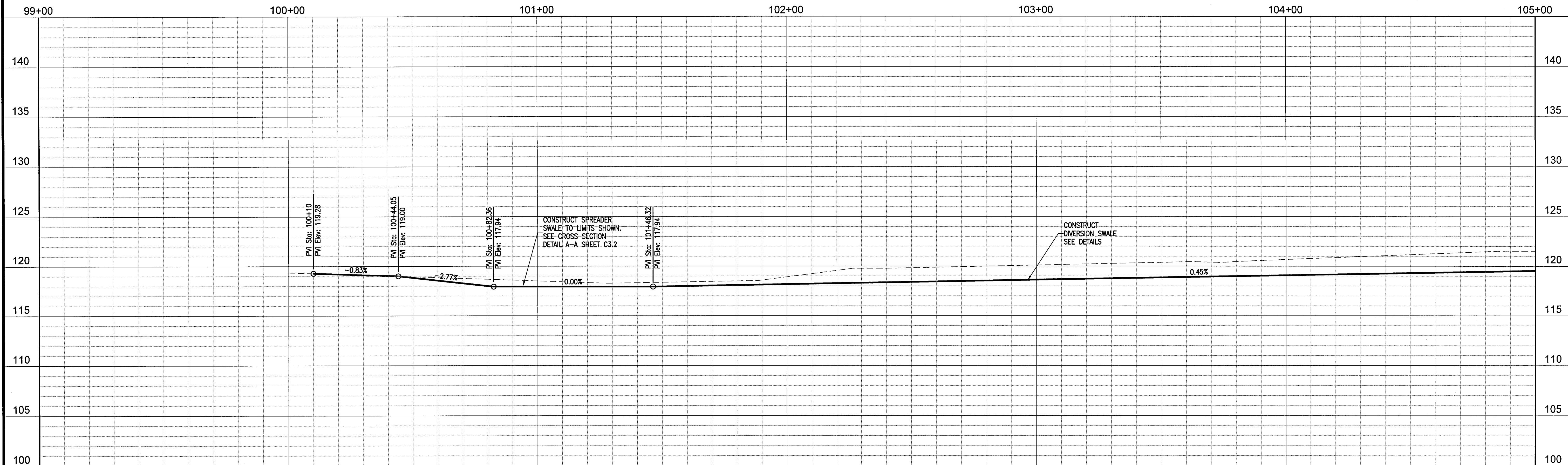
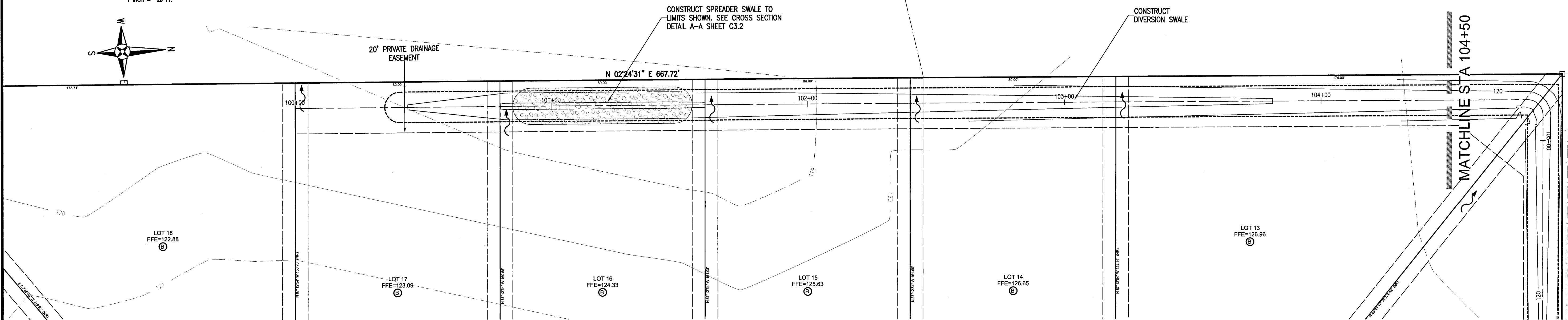
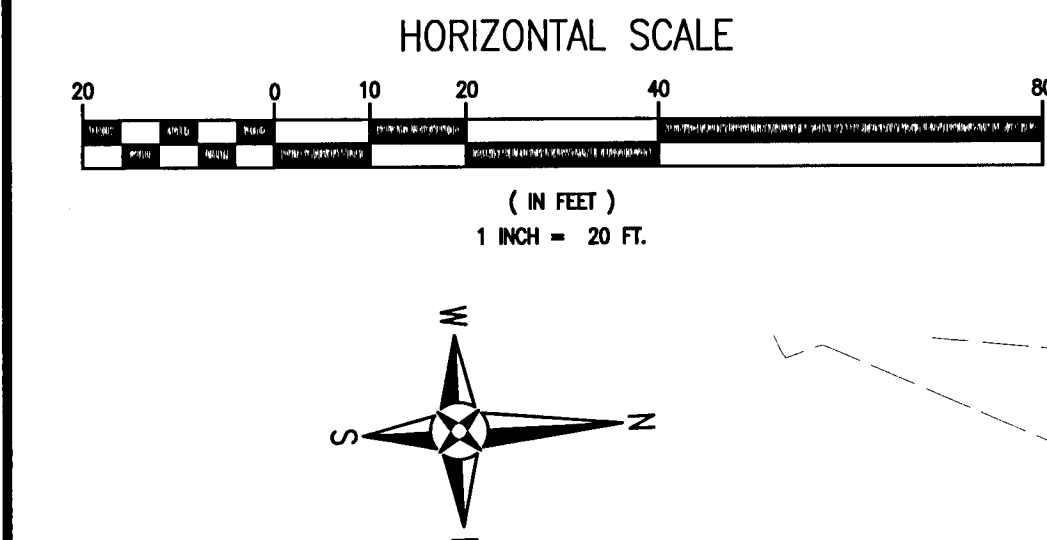
PLAN AND PROFILES

Ledgestone Subdivision
A 36 LOT RESIDENTIAL SUBDIVISION
BEULAH ROAD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION

SEAL
NOT FOR CONSTRUCTION
LICENSE
No. 53123
STATE OF FLORIDA
PAUL A. BATTLE, P.E.
No. 53123

Dr. By: CBD
Ck By: PAB
Job No.: 2018.158
Date: 4/21/2021



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REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0448
E5 00069507

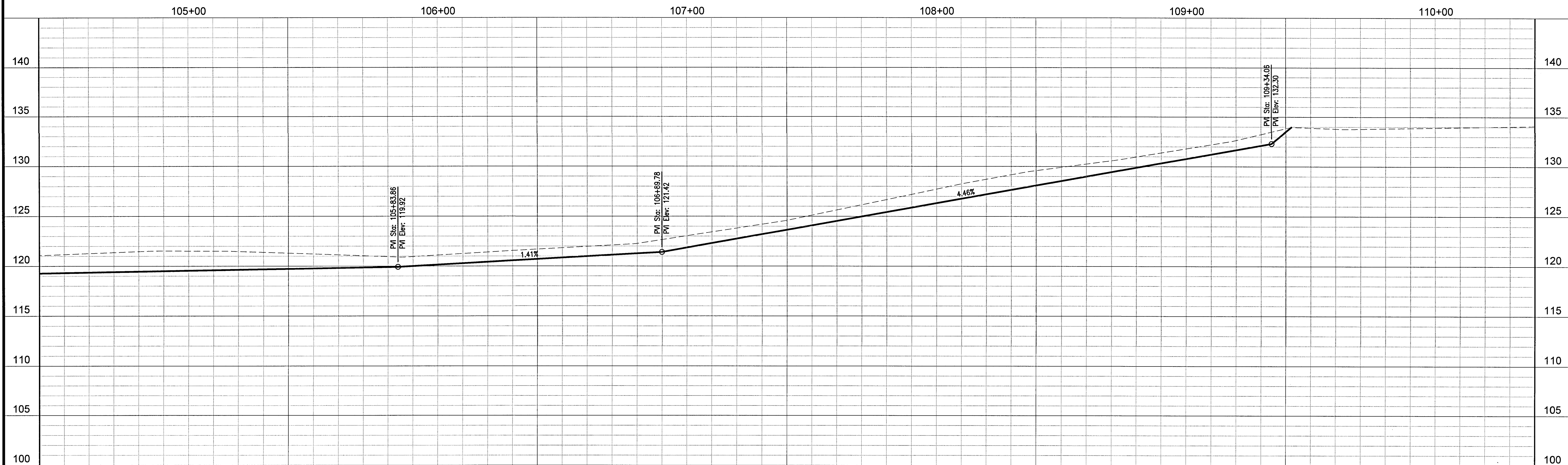
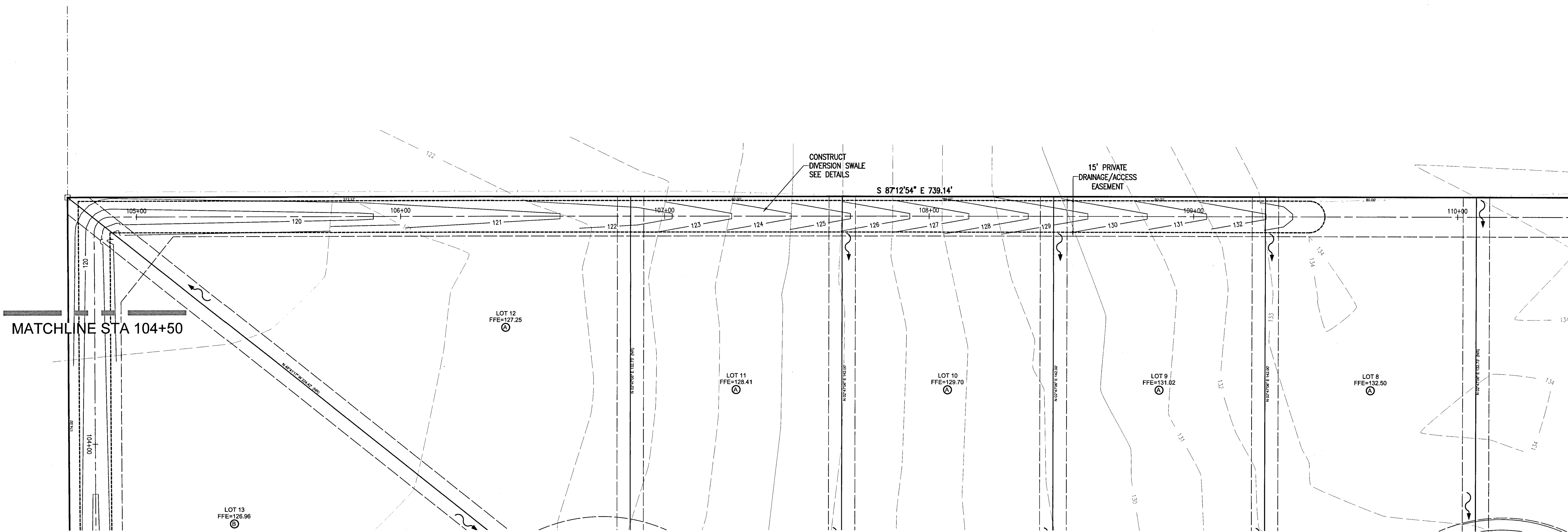
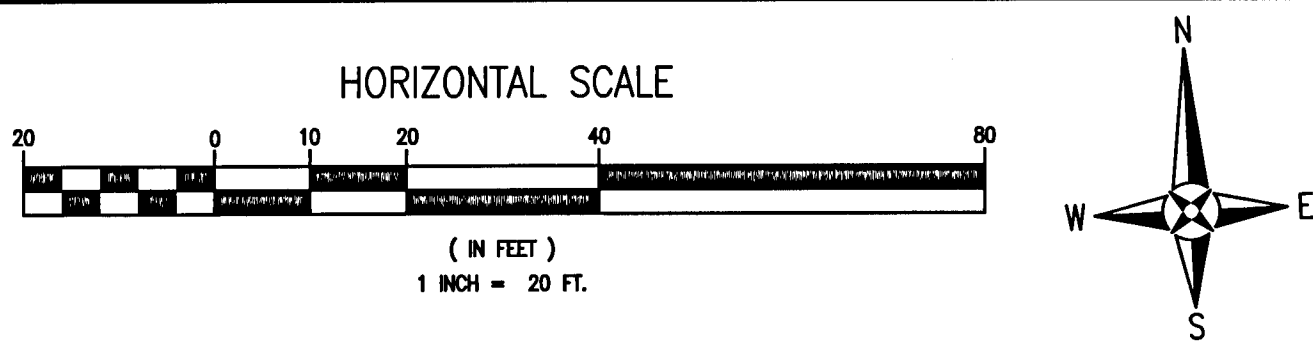
PLAN AND PROFILES

Ledgestone Subdivision
A 36 LOT RESIDENTIAL SUBDIVISION
BEULAH ROAD
ESCAMBIA COUNTY, FLORIDA

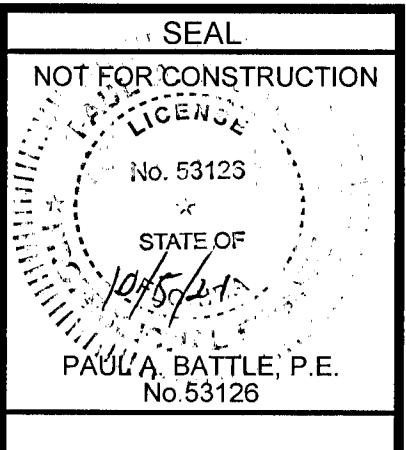
No.	DATE	REVISION

SEAL
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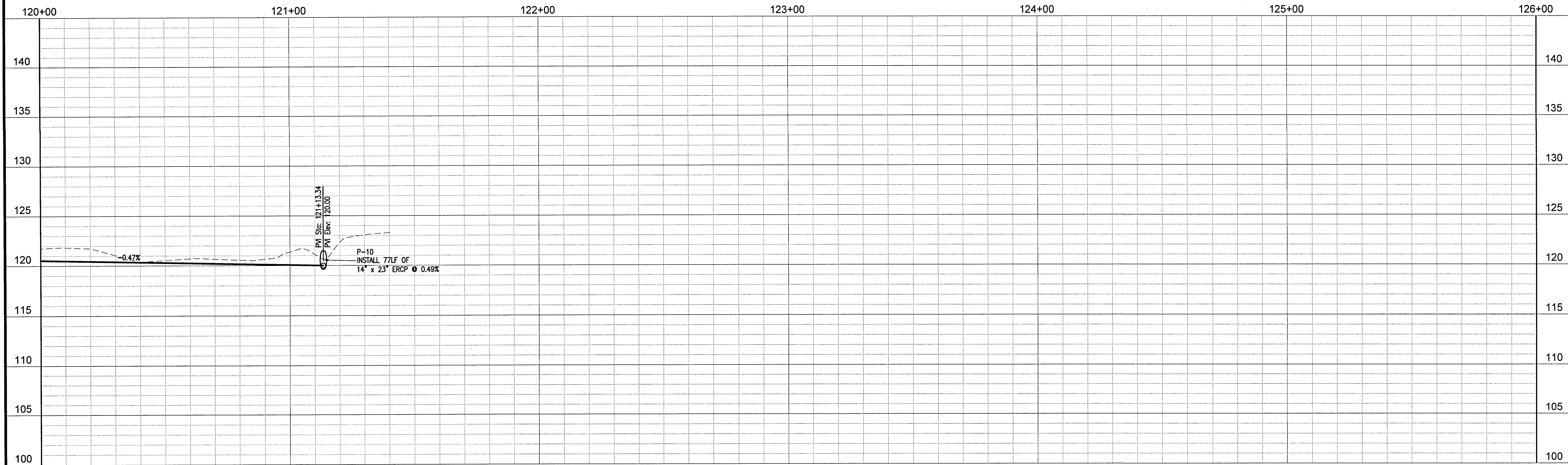
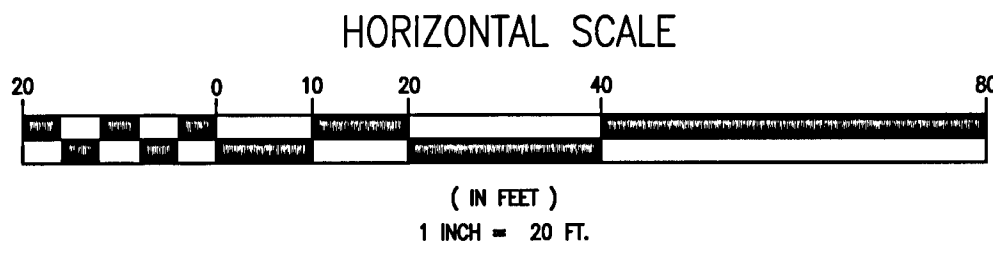
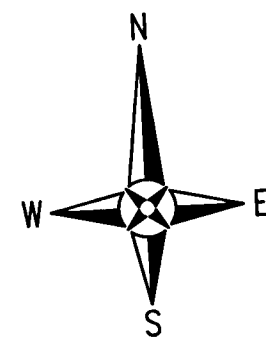
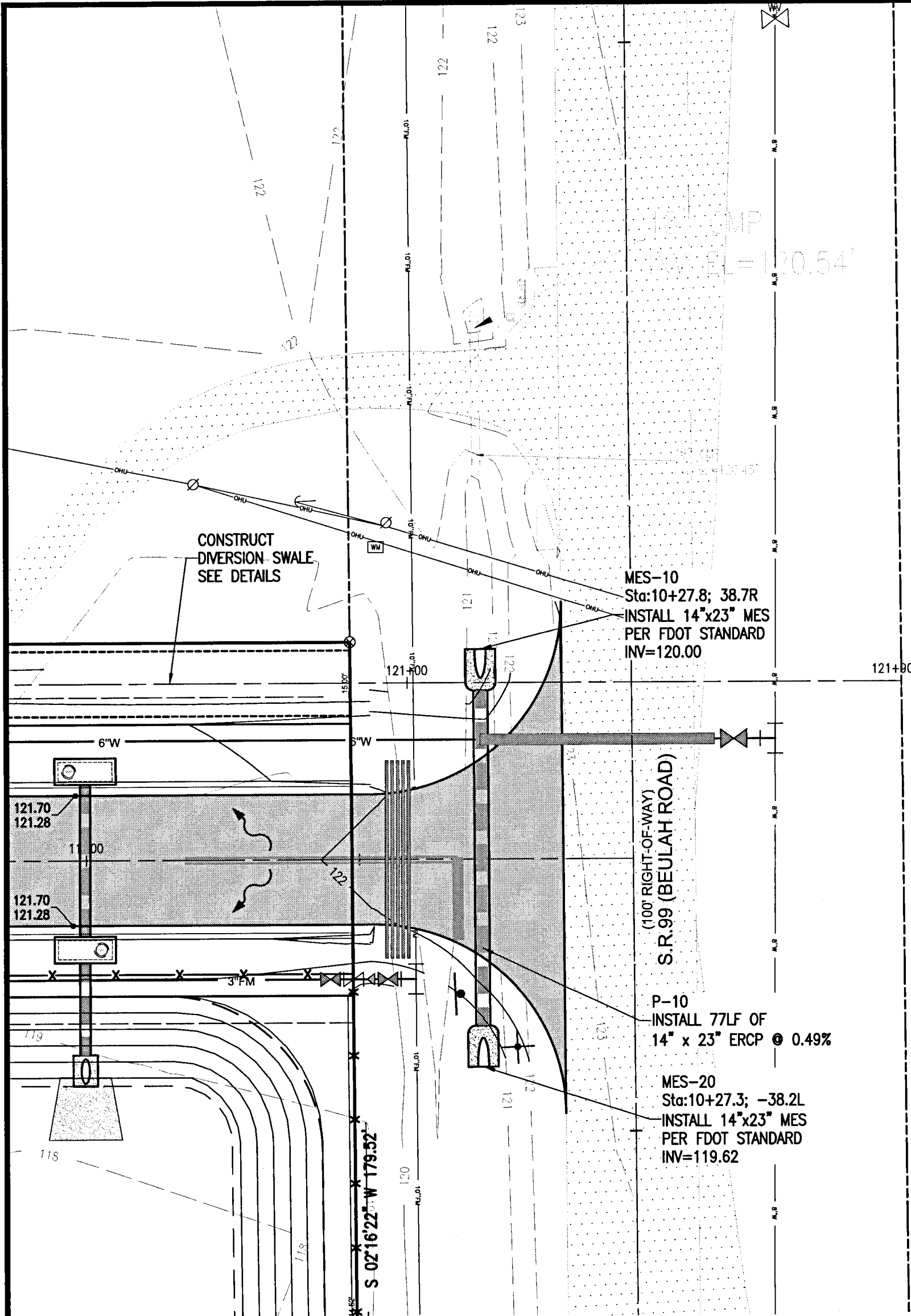
Dr. By: CBD
Ck By: PAB
Job No.: 2018.158
Date: 4/21/2021




No.	DATE	REVISION



Dr. By: CBD
Ck By: PAB
Job No.: 2018.158
Date: 4/21/2021





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Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.435.0400 Fax 850.435.0448
E# 00006657

PLAN AND PROFILES

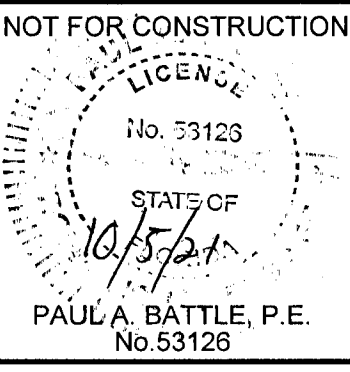
Ledgestone Subdivision

A 36 LOT RESIDENTIAL SUBDIVISION
BEULAH ROAD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION	

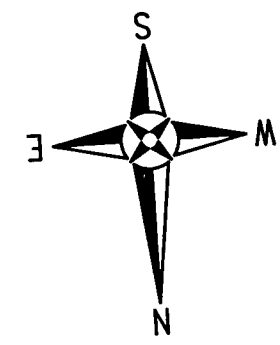
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NOT FOR CONSTRUCTION

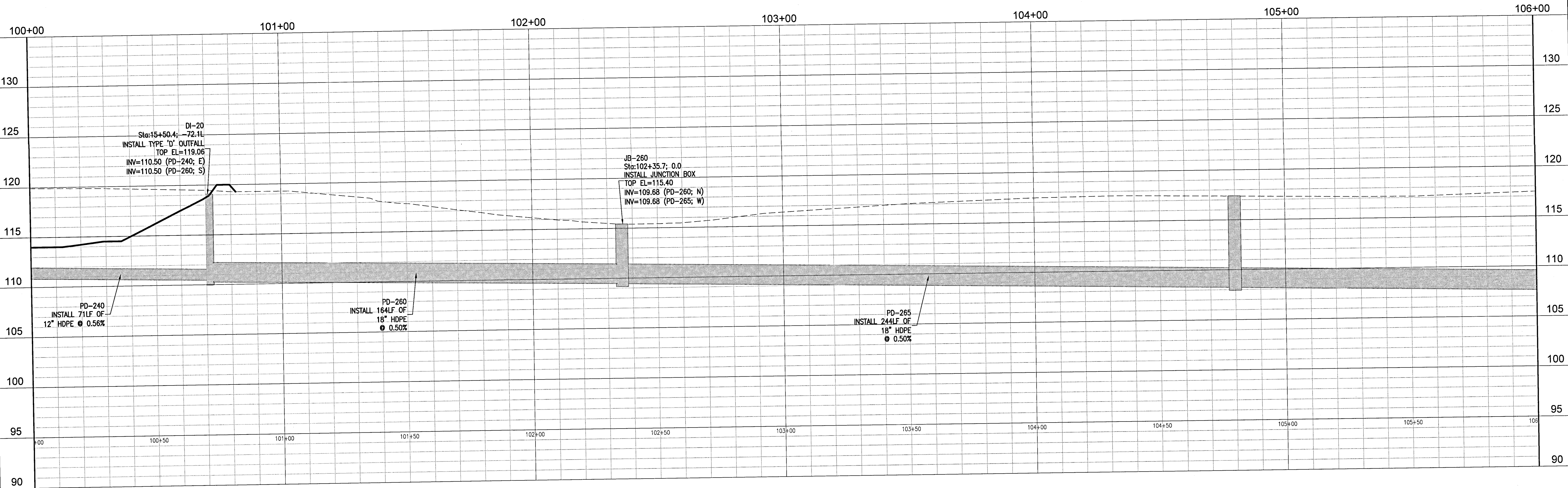
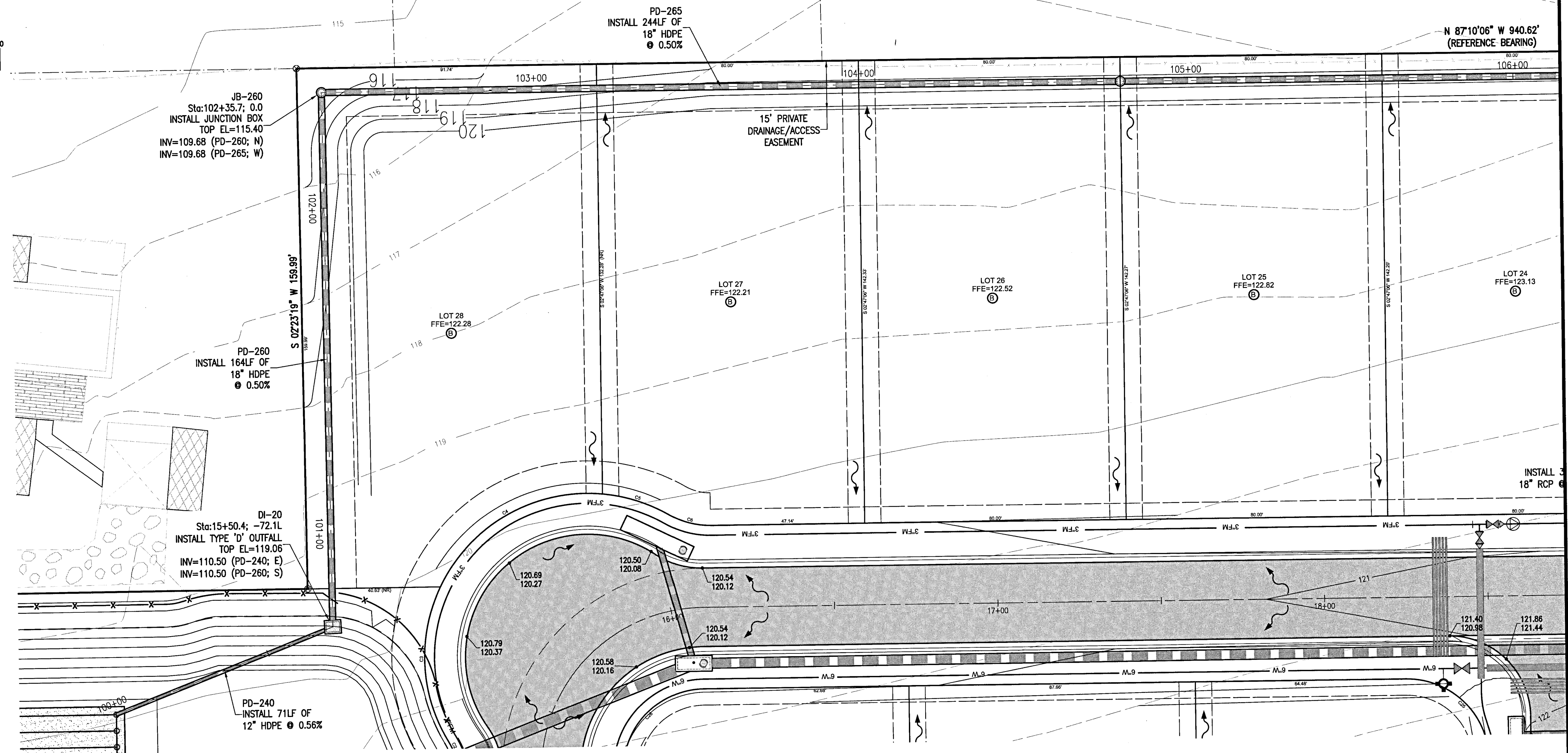


PAULA A. BATTLE, P.E.
No. 53126

Dr. By: CBD
Ck By: PAB
Job No.: 2018.158
Date: 4/21/2021



HORIZONTAL SCALE
(IN FEET)
1 INCH = 20 FT.



RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Tampa, FL 33606
Telephone: 850.438.0400 Fax: 850.438.0448
ES 0000857

PLAN AND PROFILES

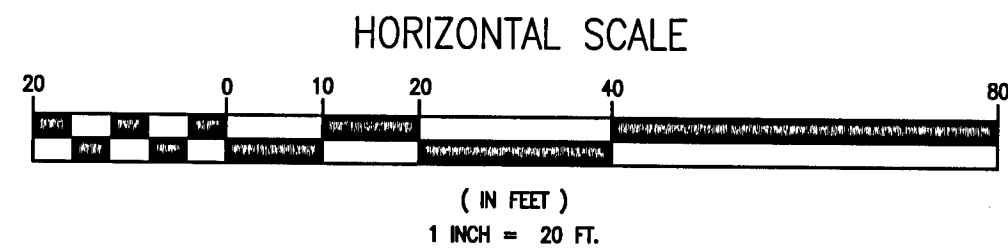
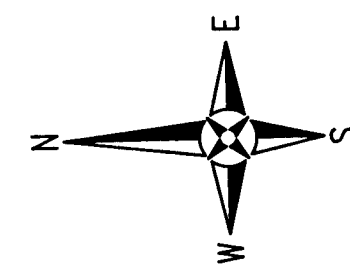
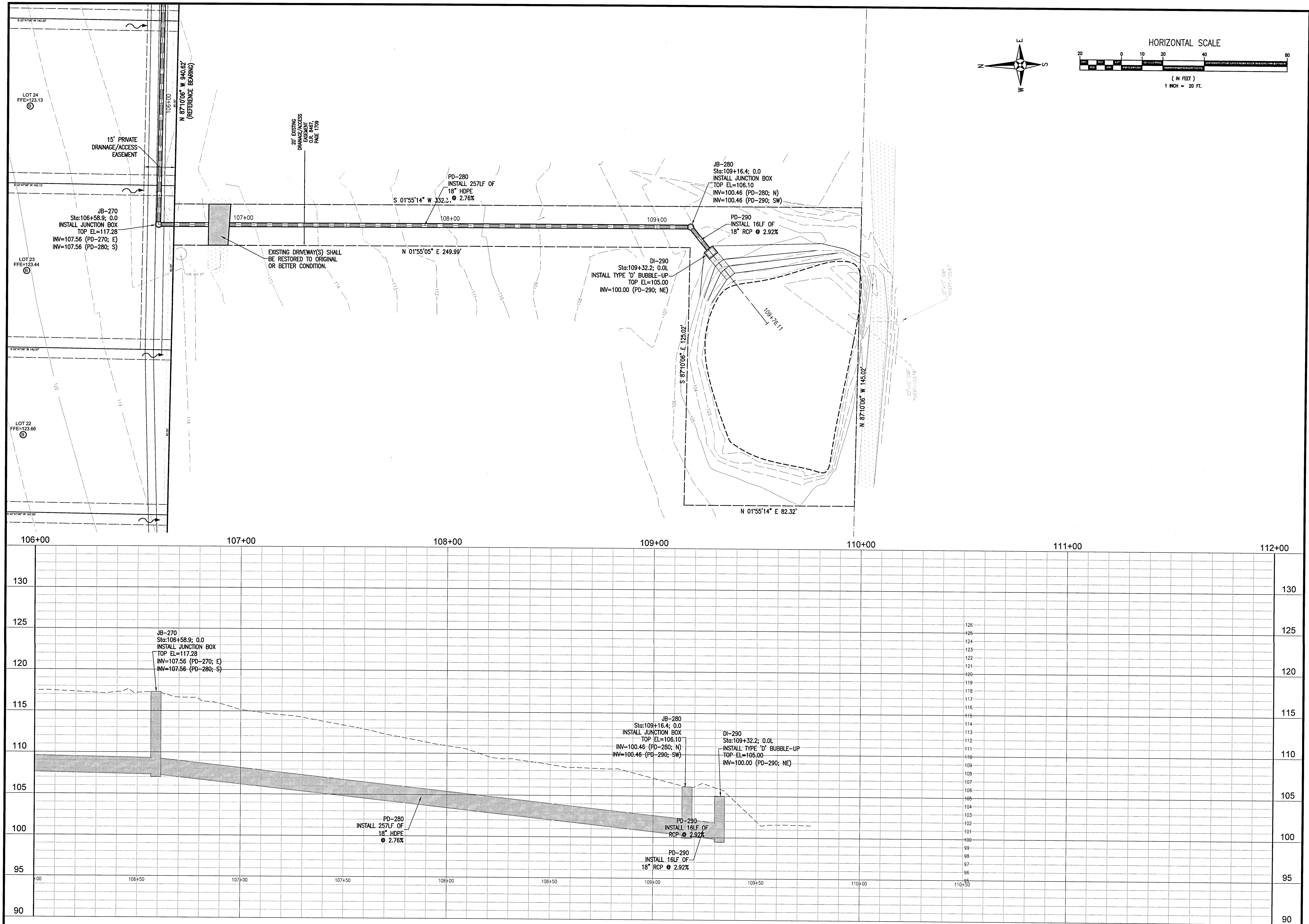
Ledgestone Subdivision
A 36 LOT RESIDENTIAL SUBDIVISION
BEULAH ROAD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION

SEAL
NOT FOR CONSTRUCTION
No. 53128
STATE OF
FLORIDA
PAUL A. BATTLE, P.E.
No. 53128

Dr. By: CBD
Ck By: PAB
Job No.: 2018.158
Date: 4/21/2021

DRAWING No.
C5.8
SHEET 23 OF 32

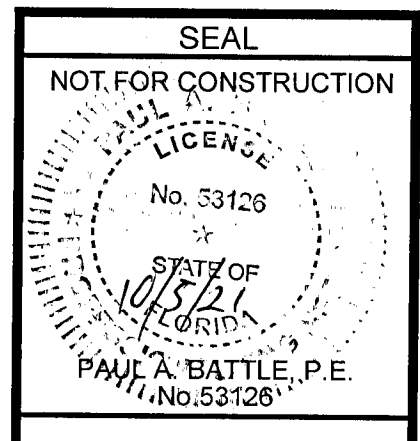


RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0448
EO 000657

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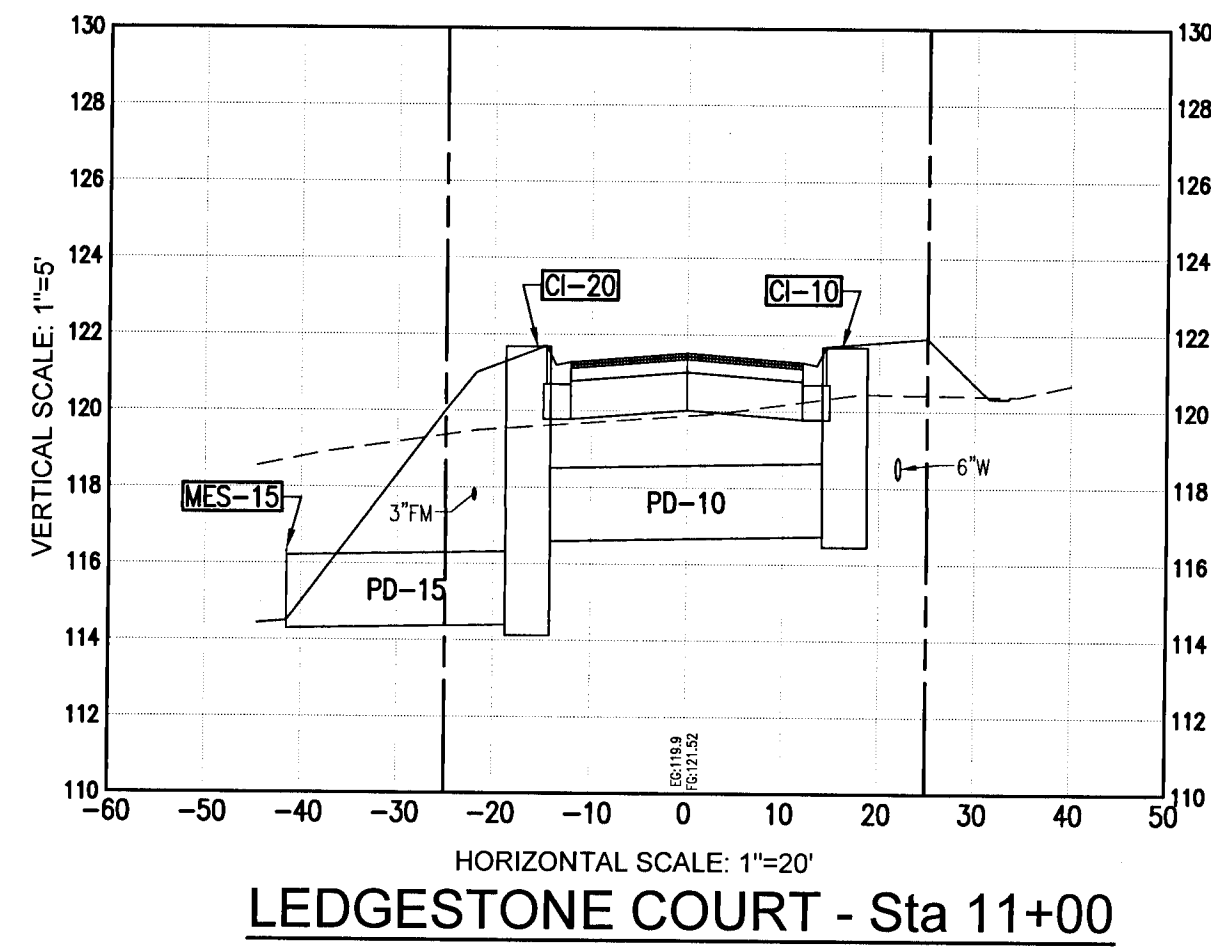
Ledgestone Subdivision
A 38 LOT RESIDENTIAL SUBDIVISION
BEULAH ROAD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION

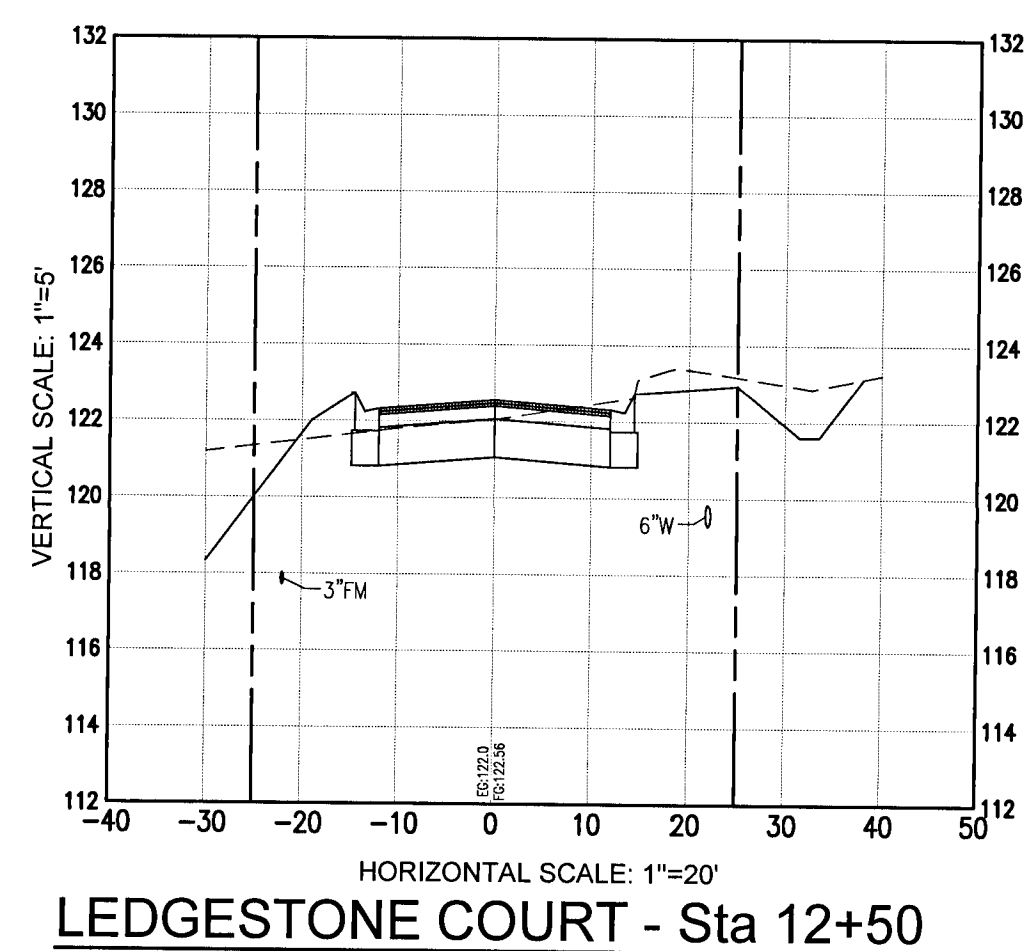


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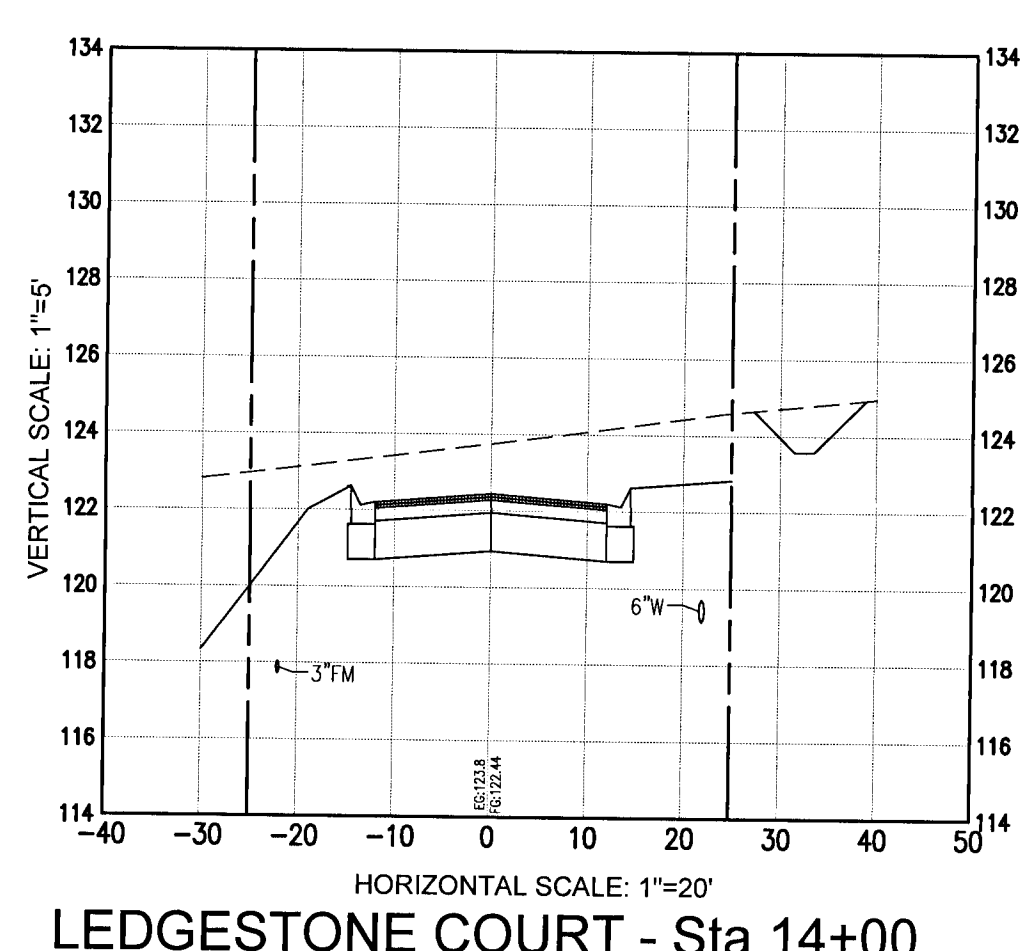
DRAWING No.
C5.9
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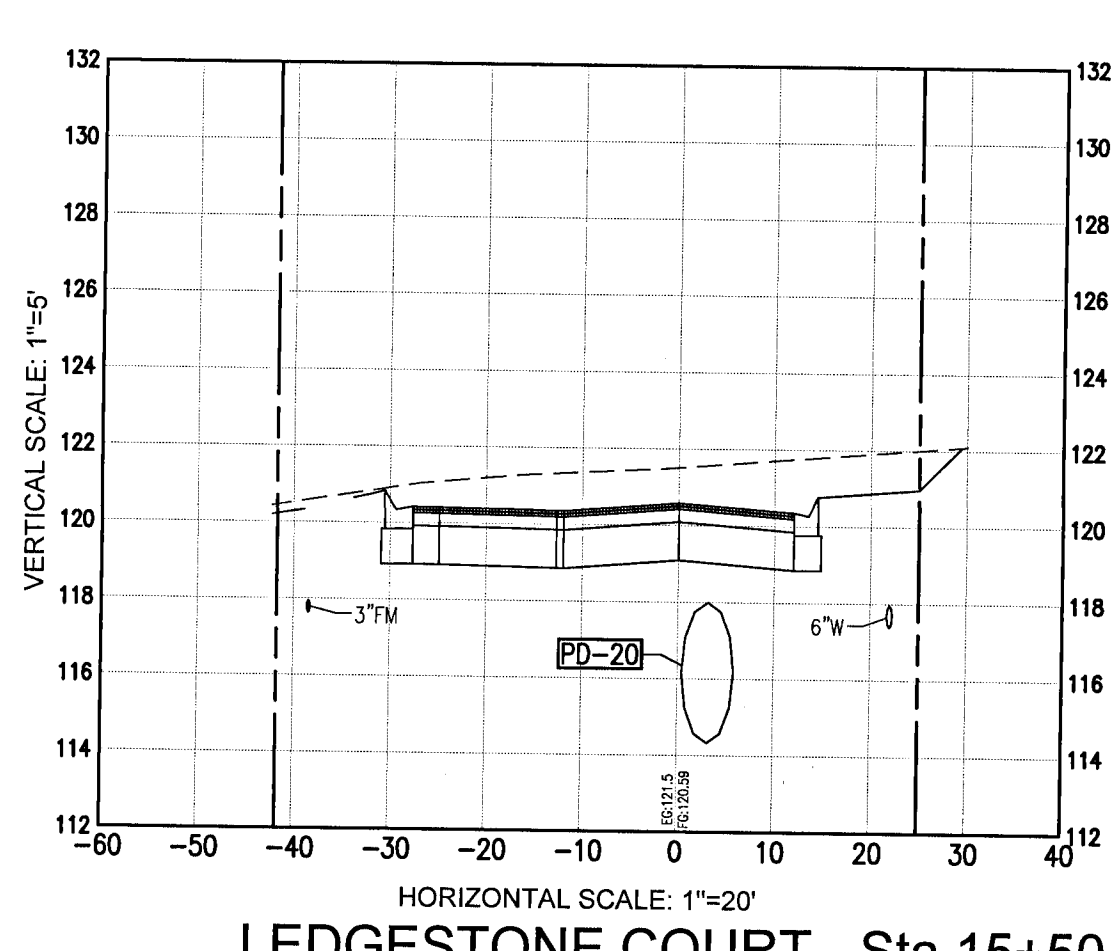
LEDGESTONE COURT - Sta 11+00



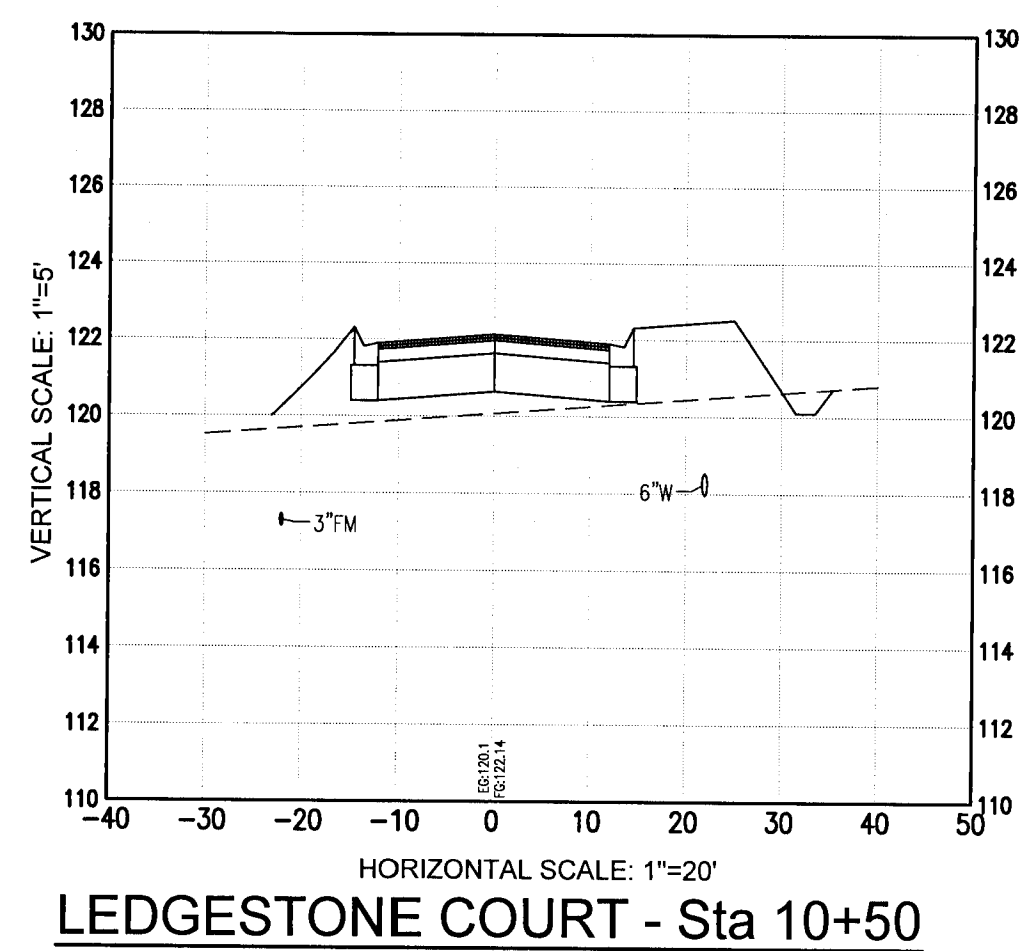
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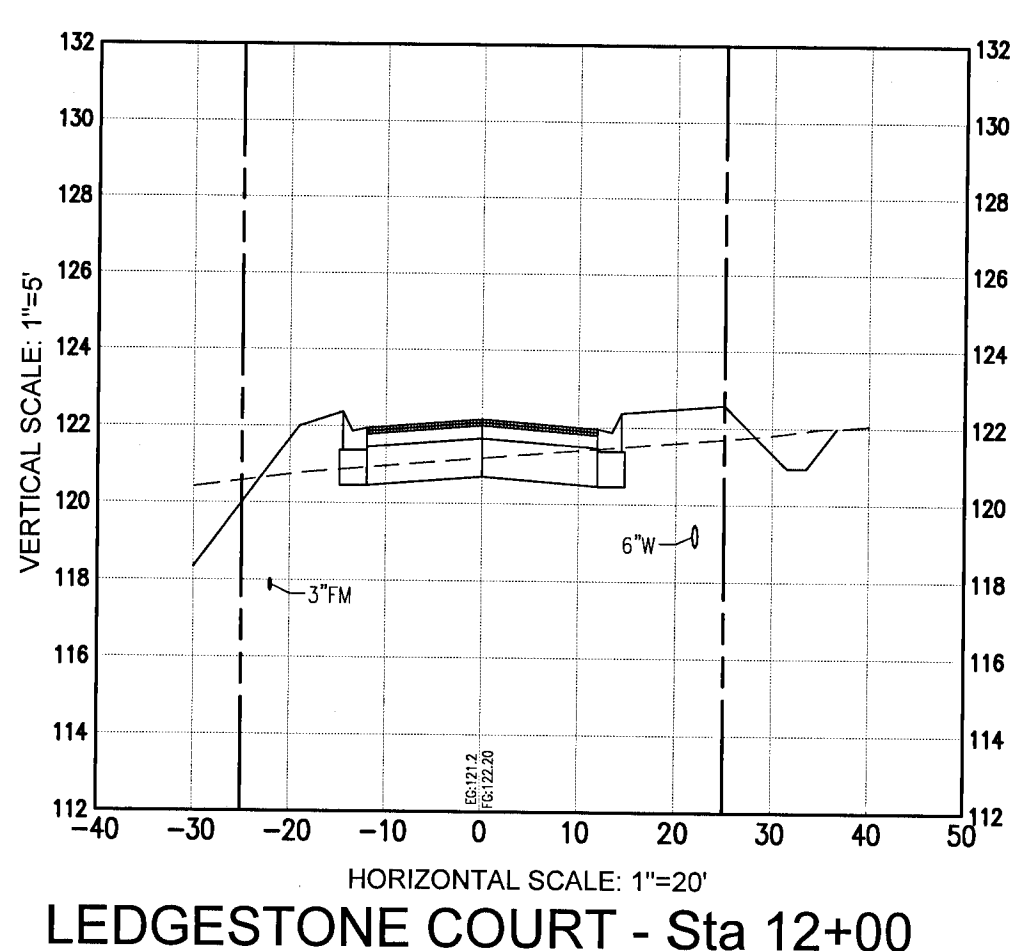
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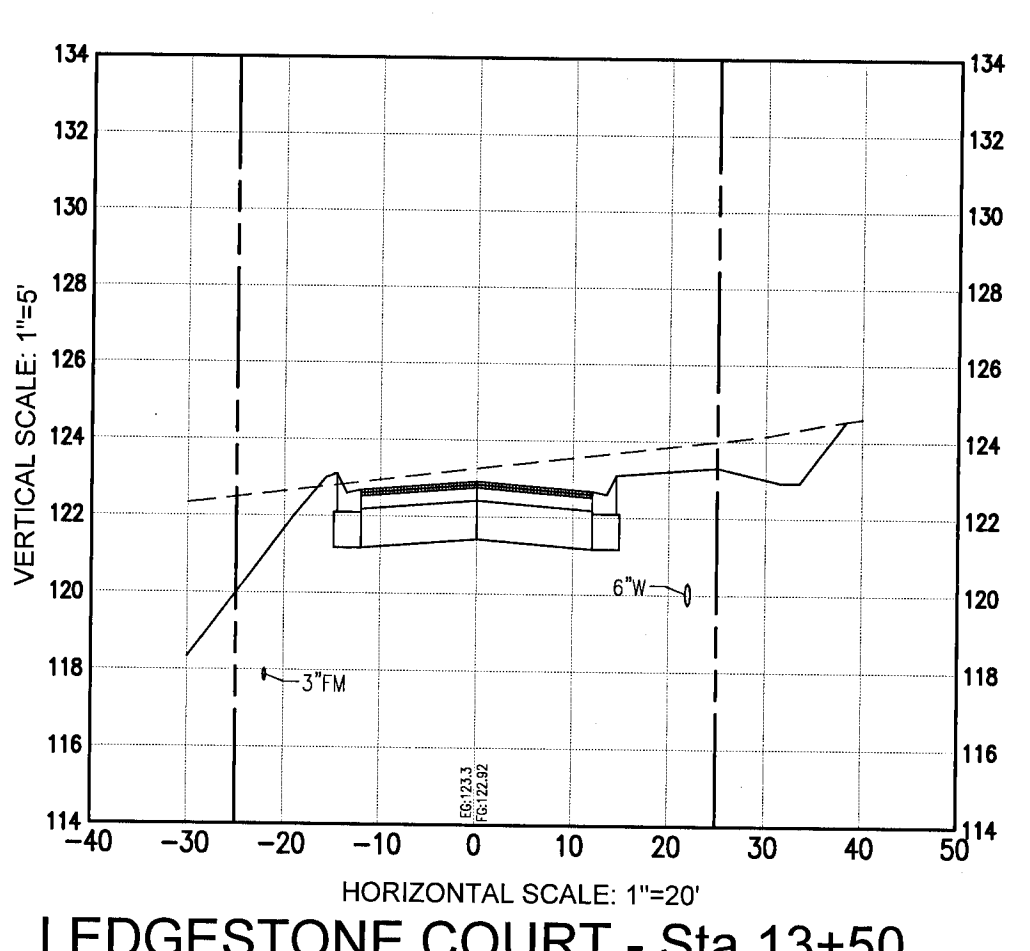
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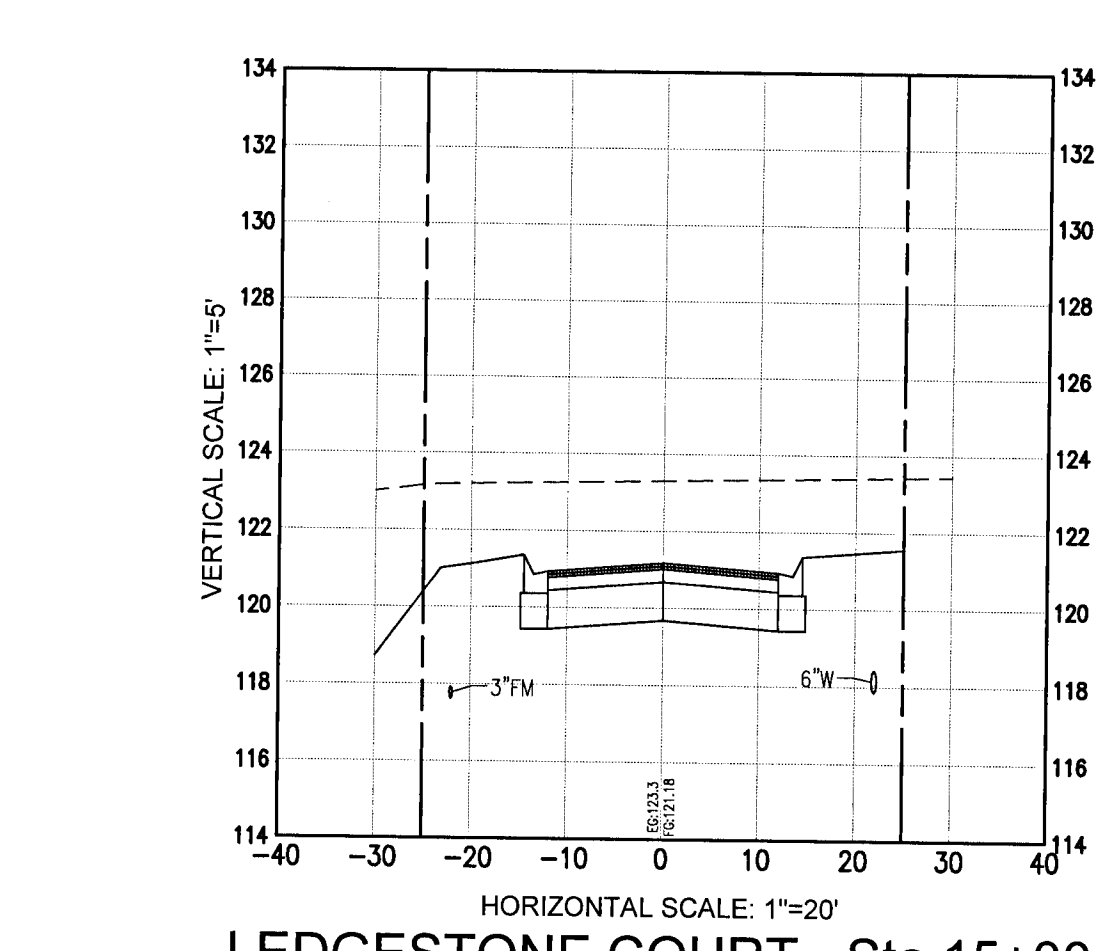
LEDGESTONE COURT - Sta 10+50



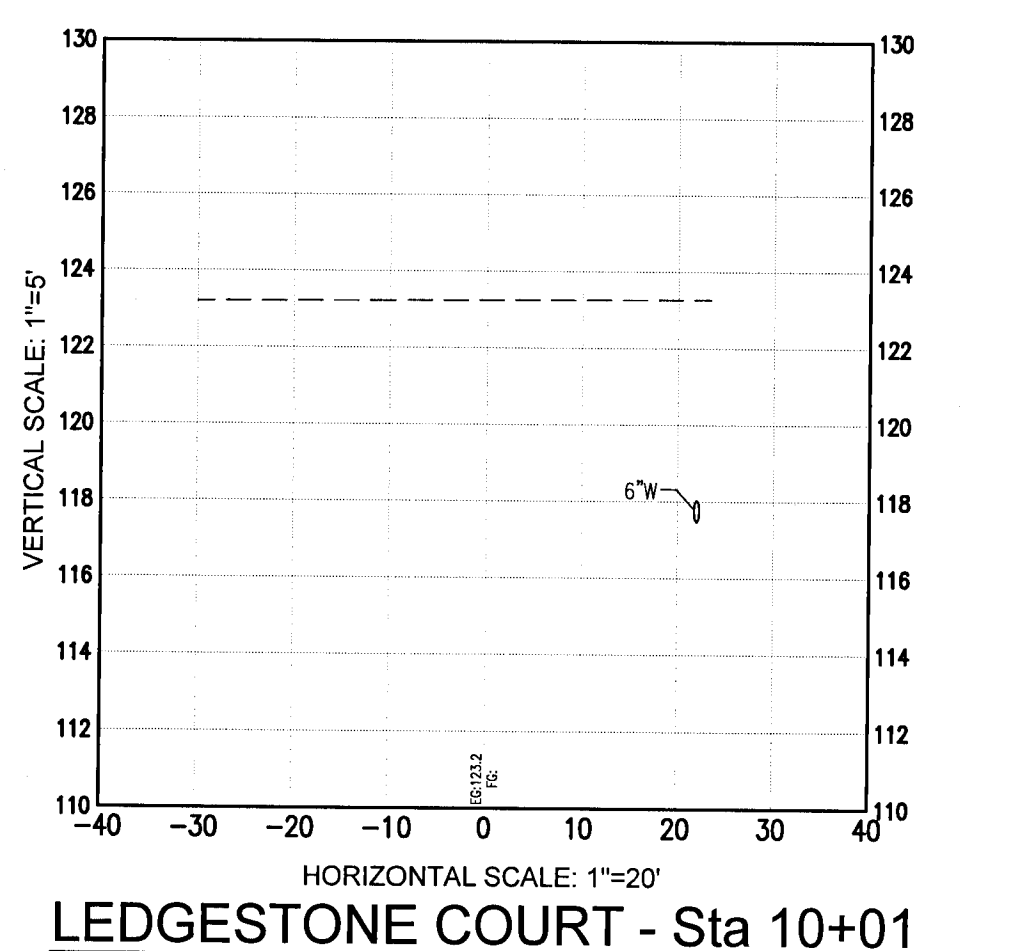
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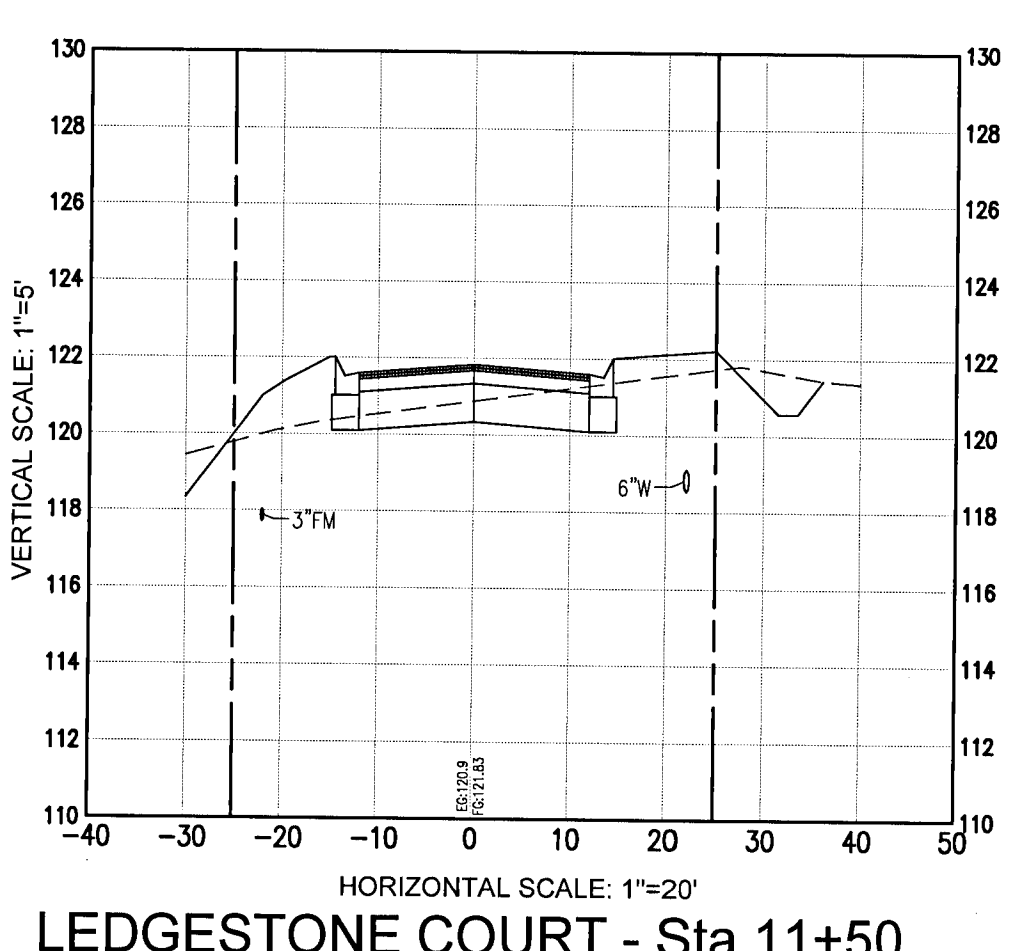
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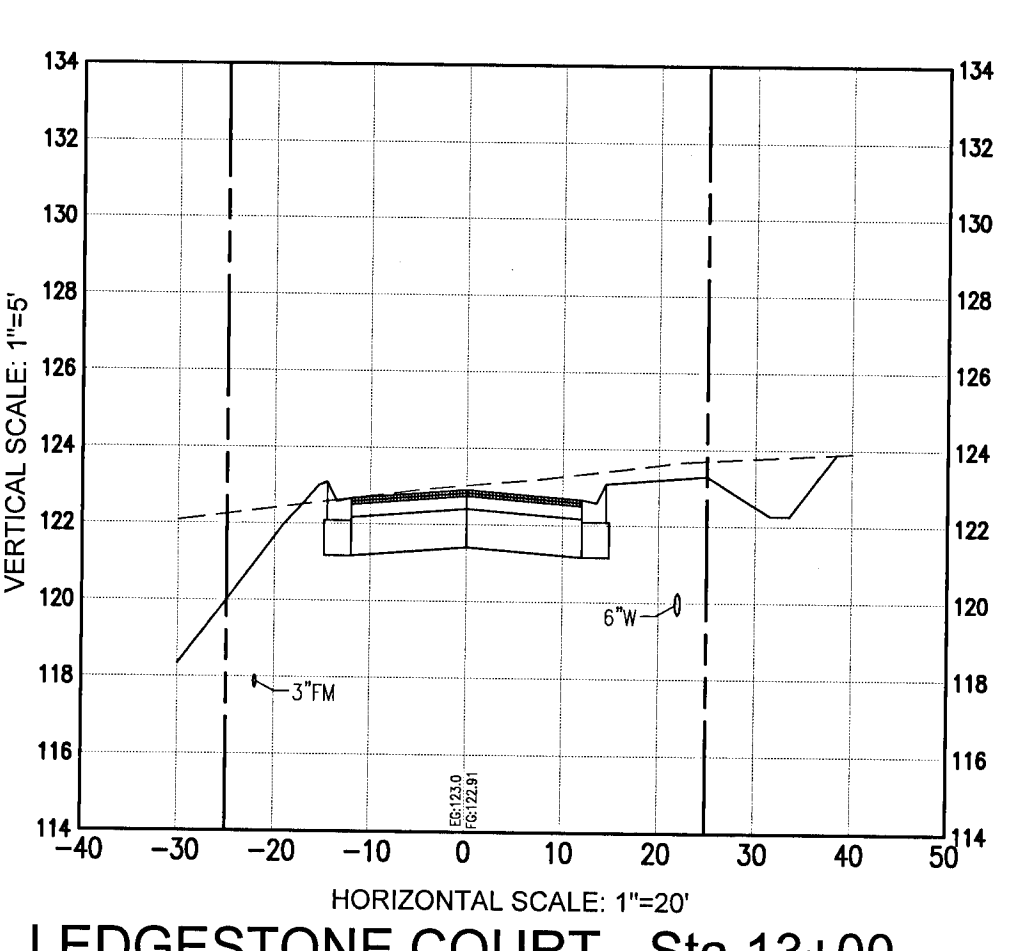
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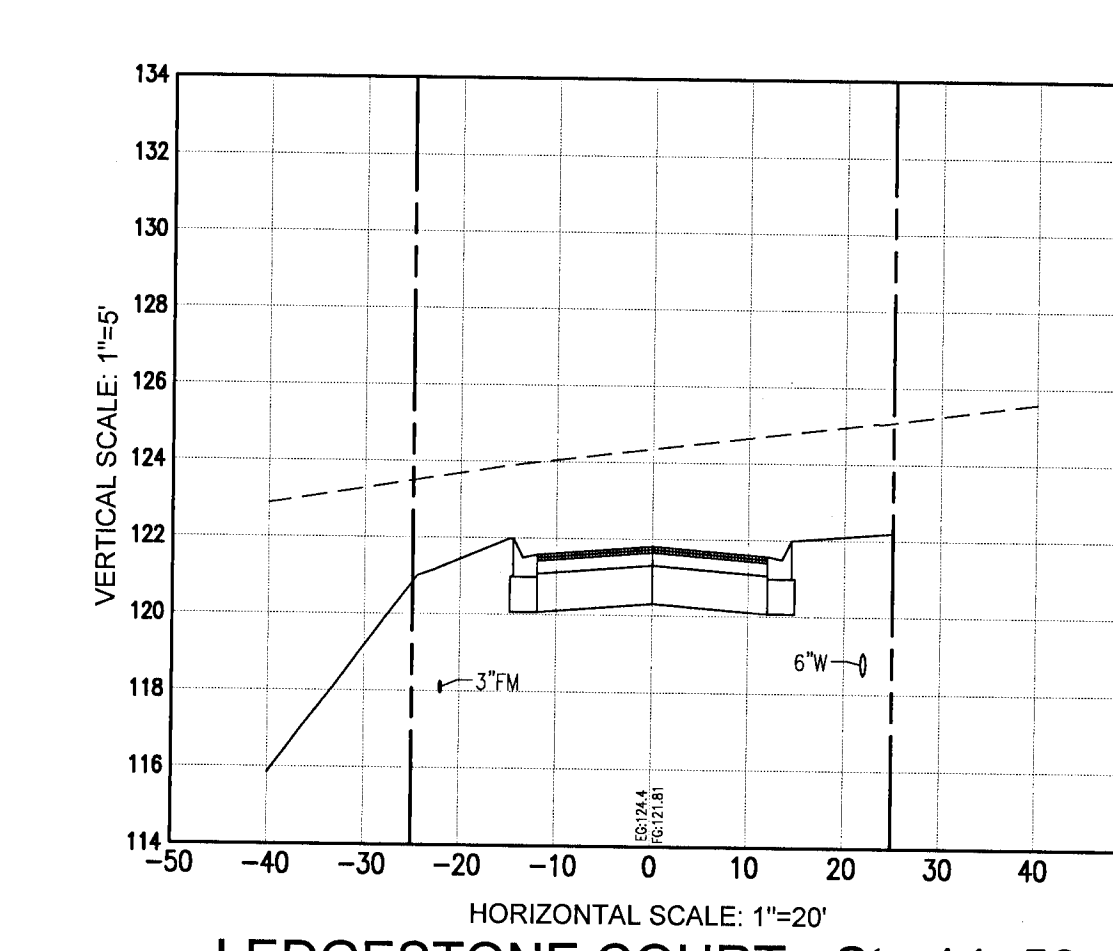
LEDGESTONE COURT - Sta 10+01



LEDGESTONE COURT - Sta 11+50

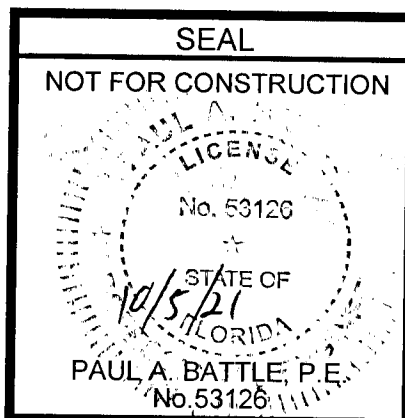


LEDGESTONE COURT - Sta 13+00



LEDGESTONE COURT - Sta 14+50

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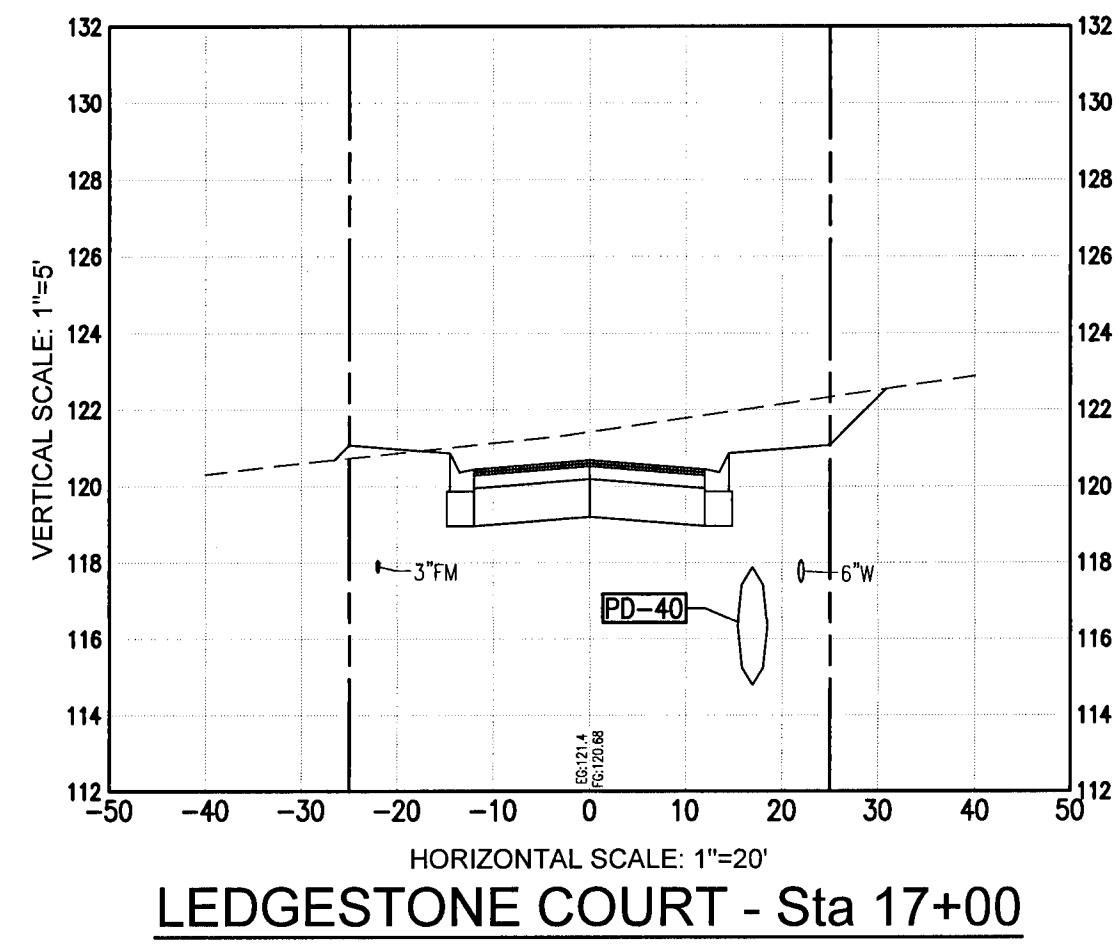


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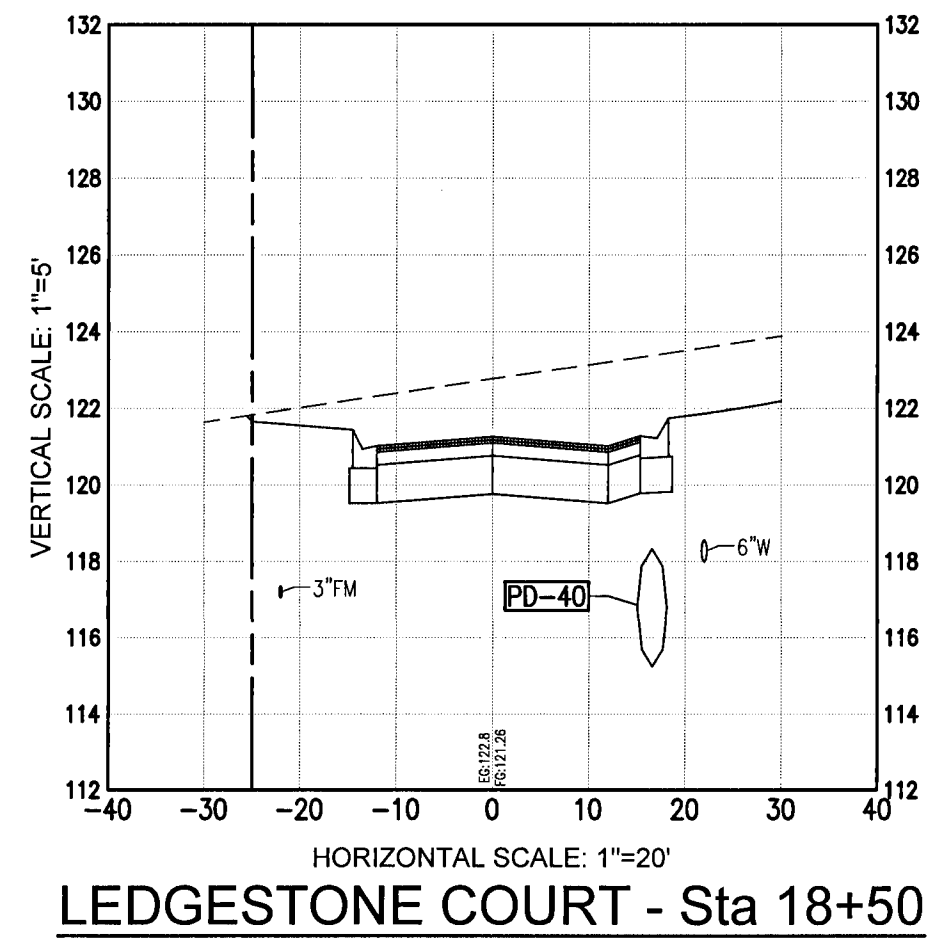
DRAWING No.

C6.0

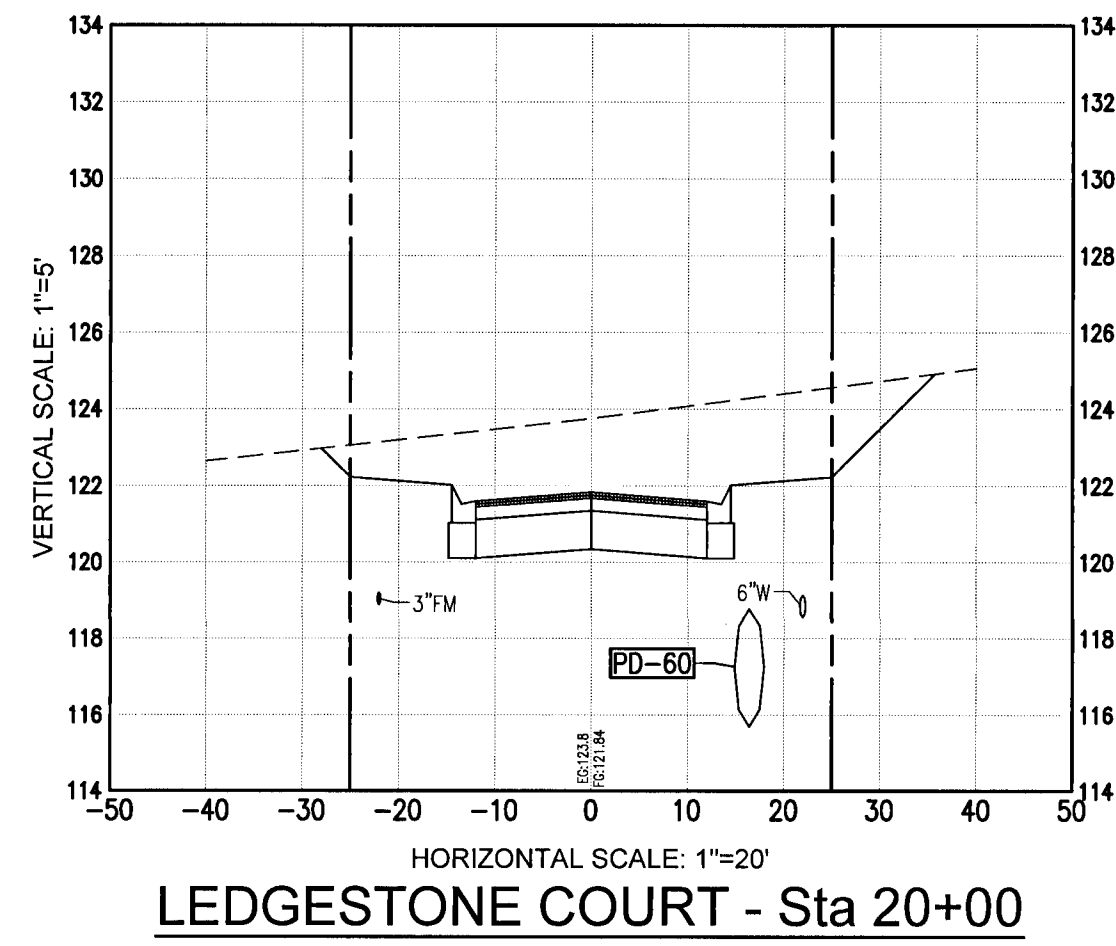
SHEET 25 OF 32



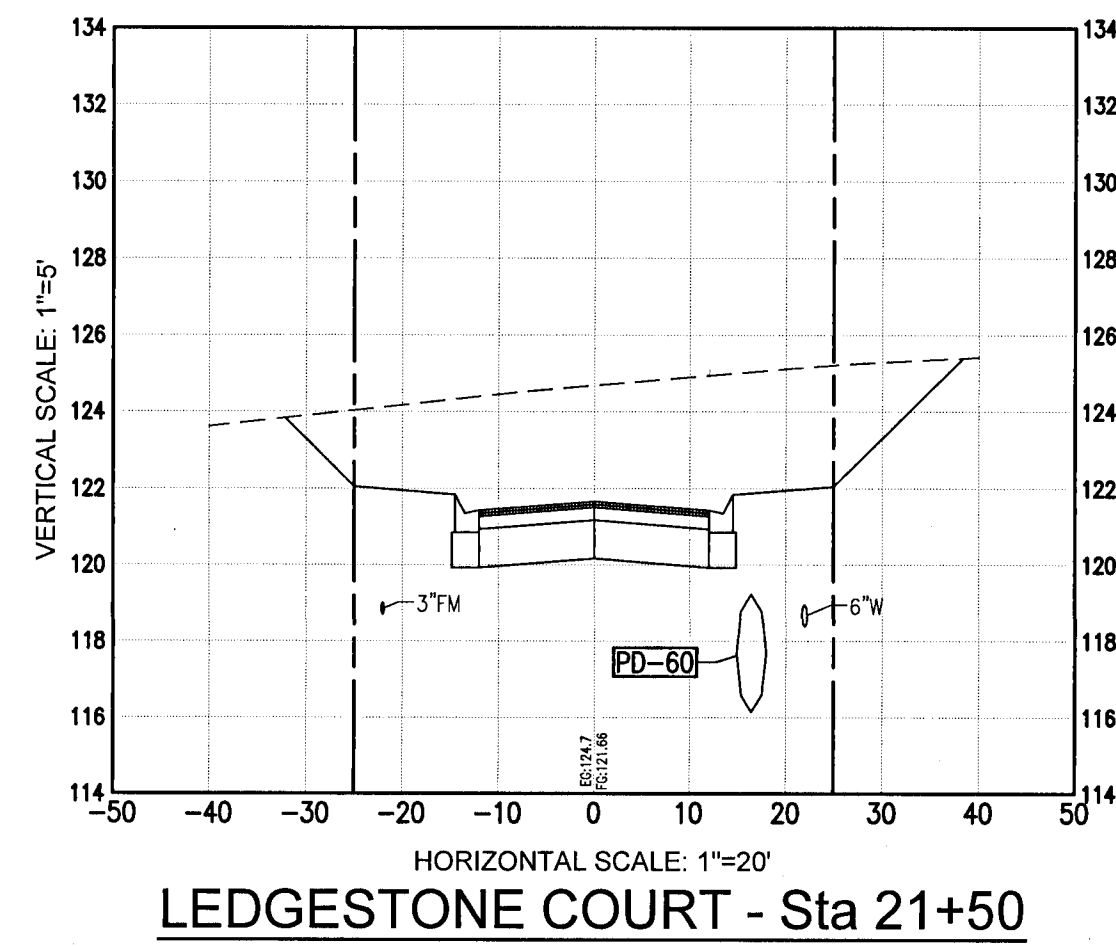
LEDGESTONE COURT - Sta 17+00



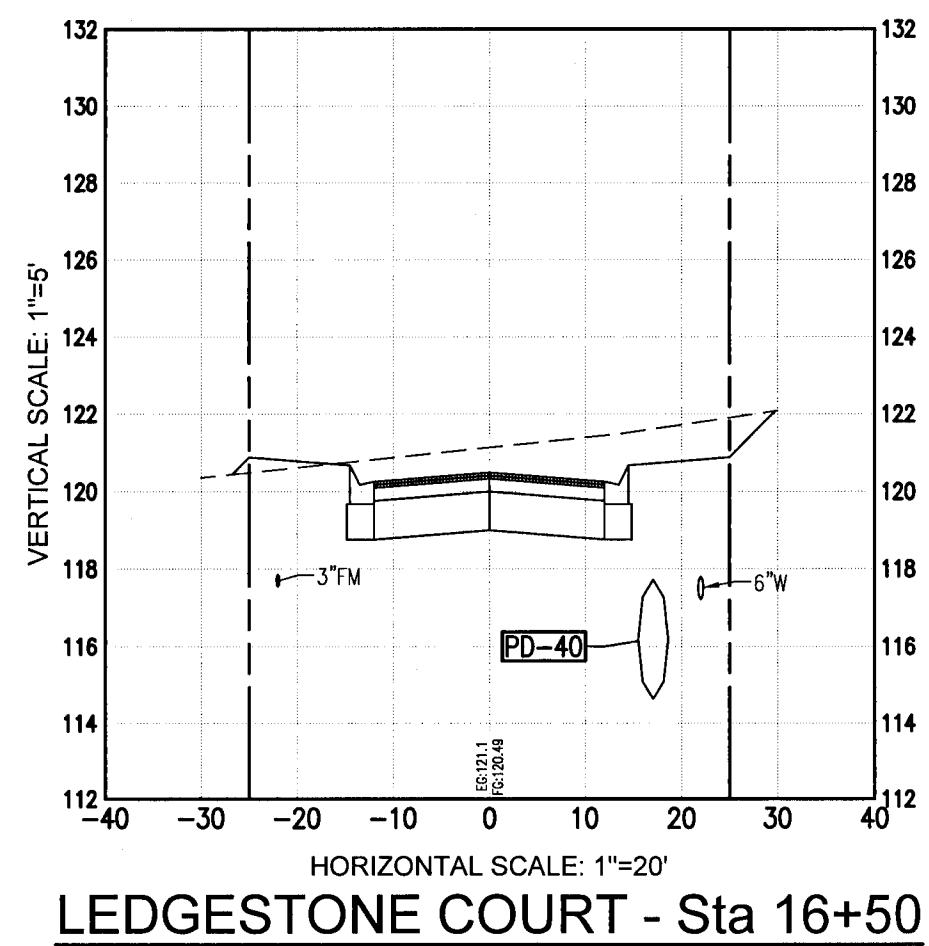
LEDGESTONE COURT - Sta 18+50



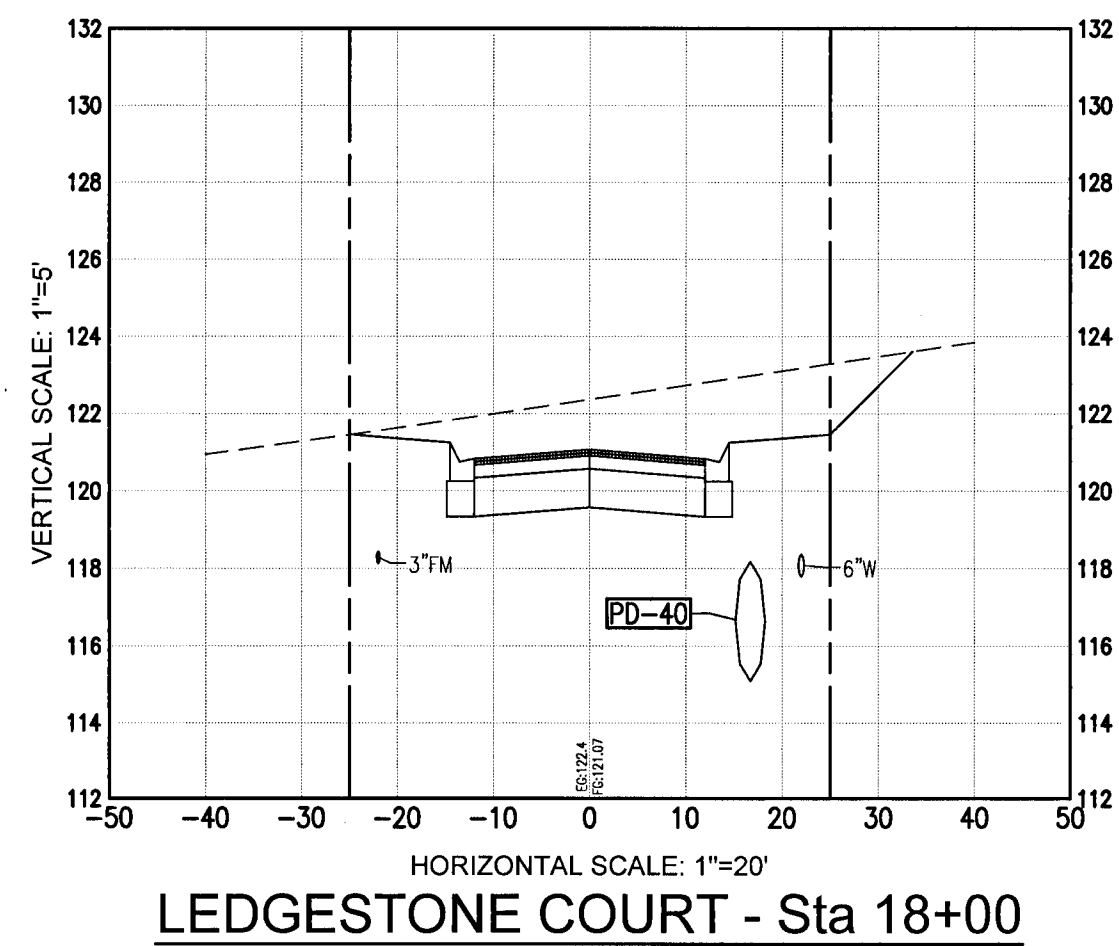
LEDGESTONE COURT - Sta 20+00



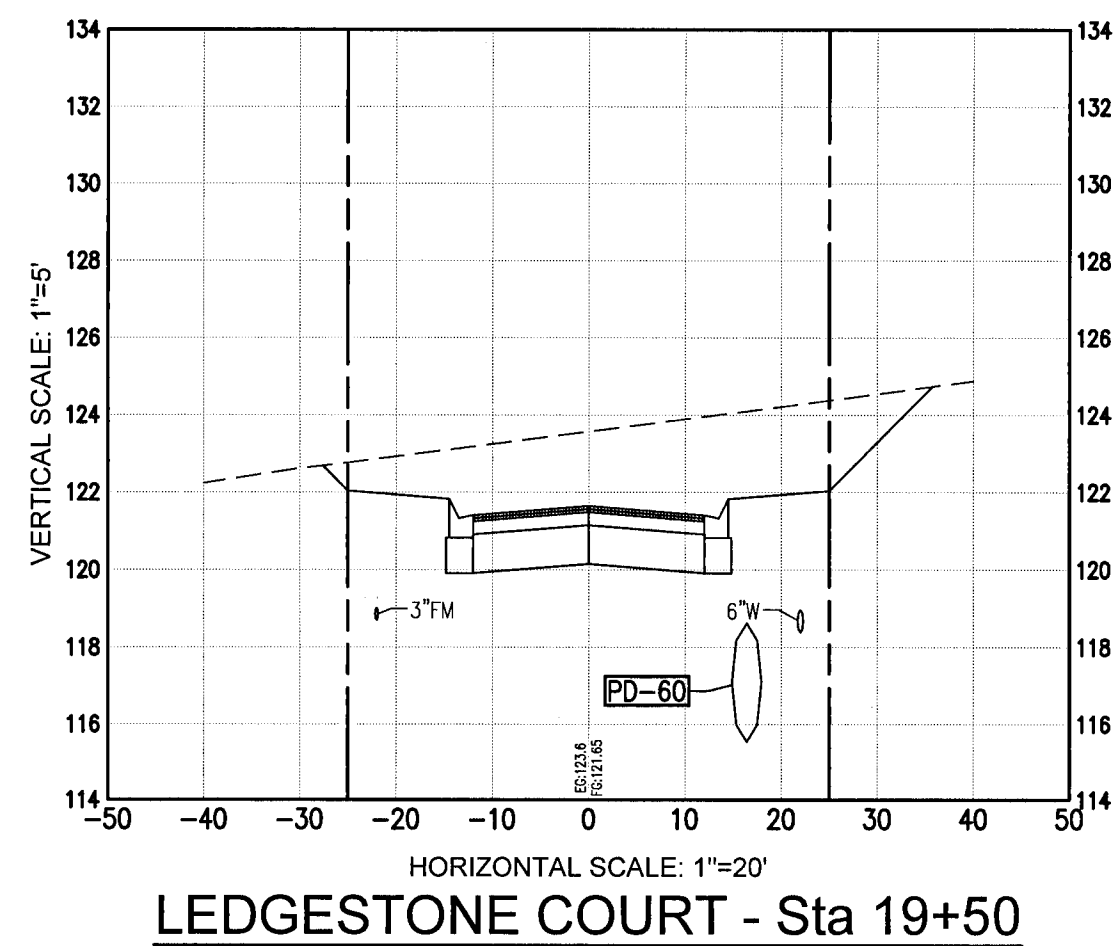
LEDGESTONE COURT - Sta 21+50



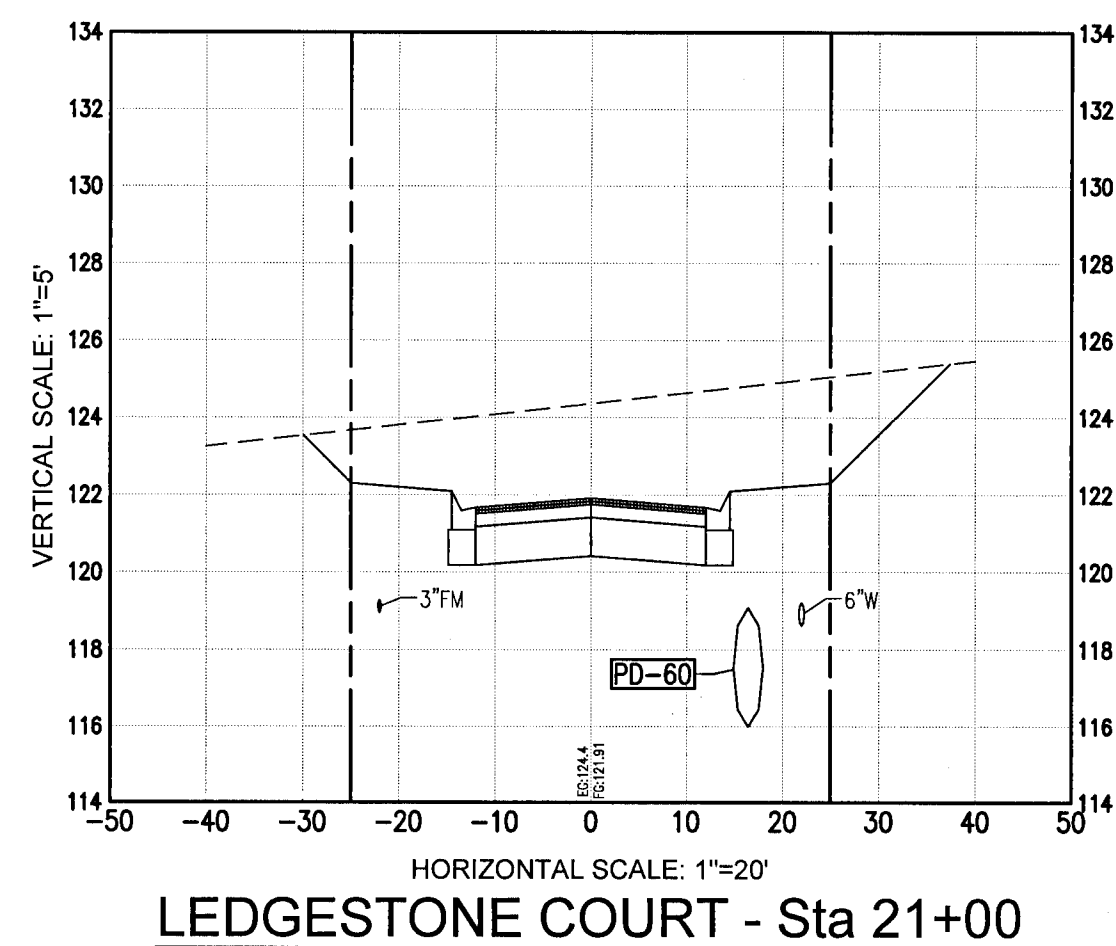
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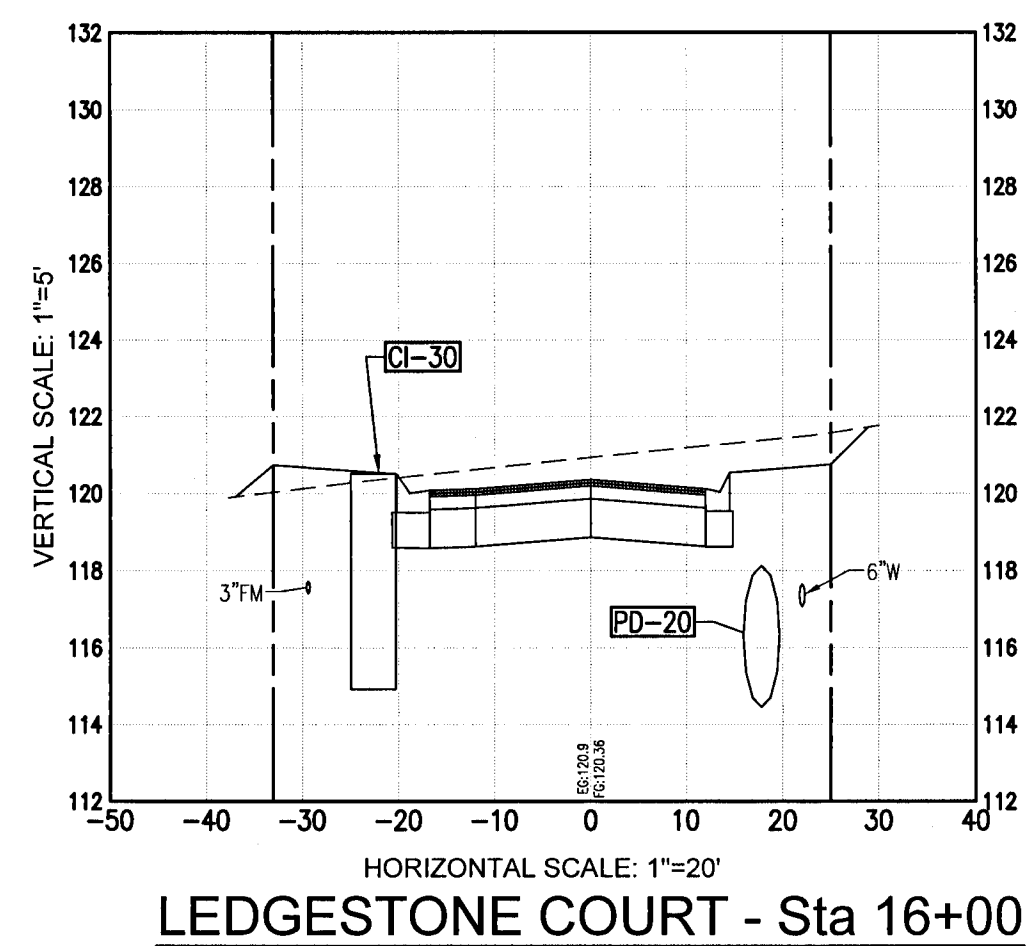
LEDGESTONE COURT - Sta 18+00



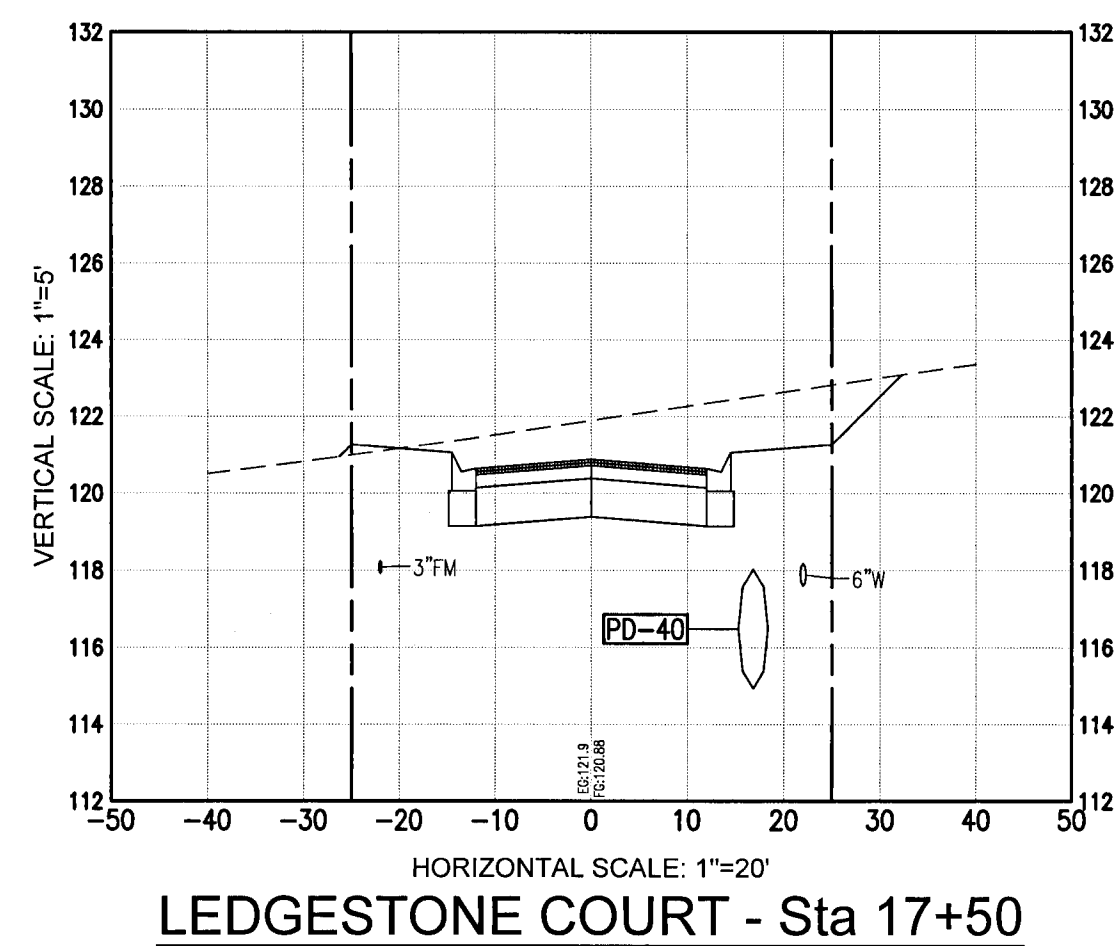
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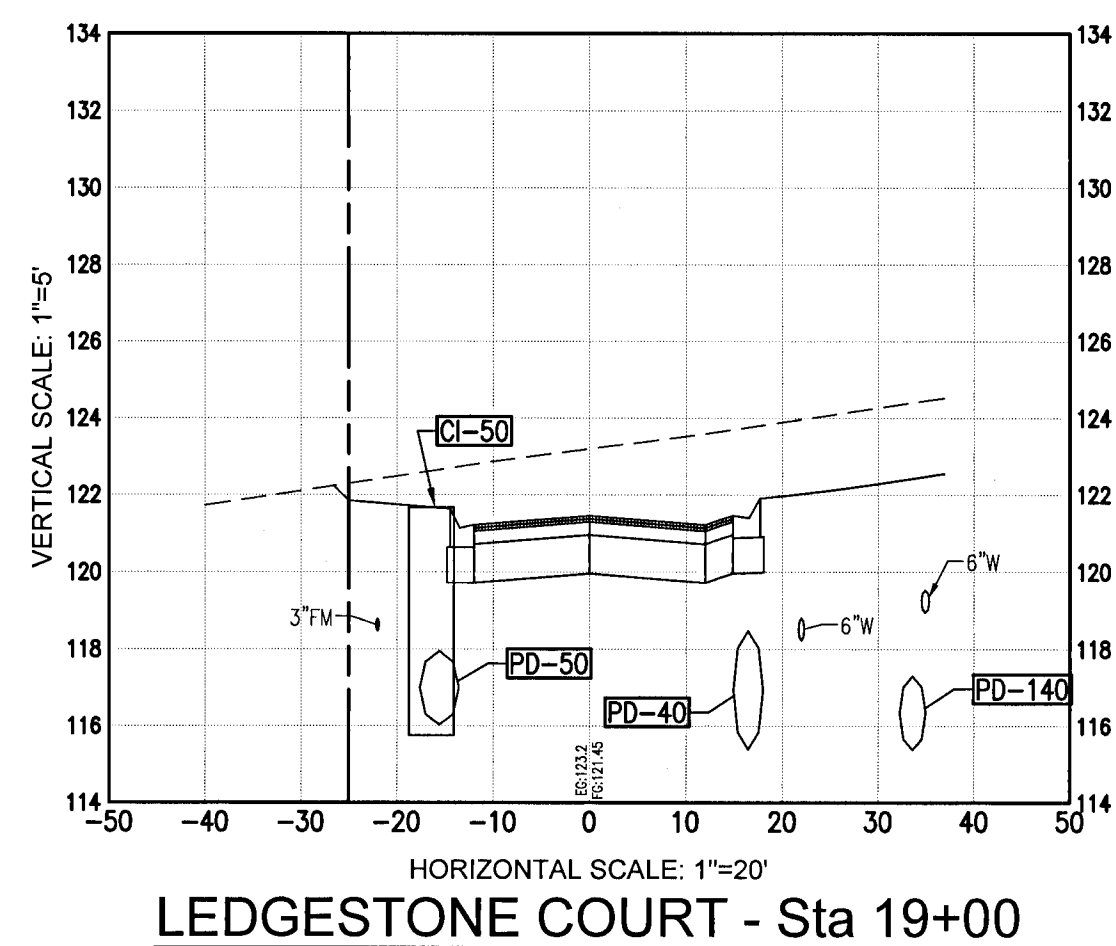
LEDGESTONE COURT - Sta 21+00



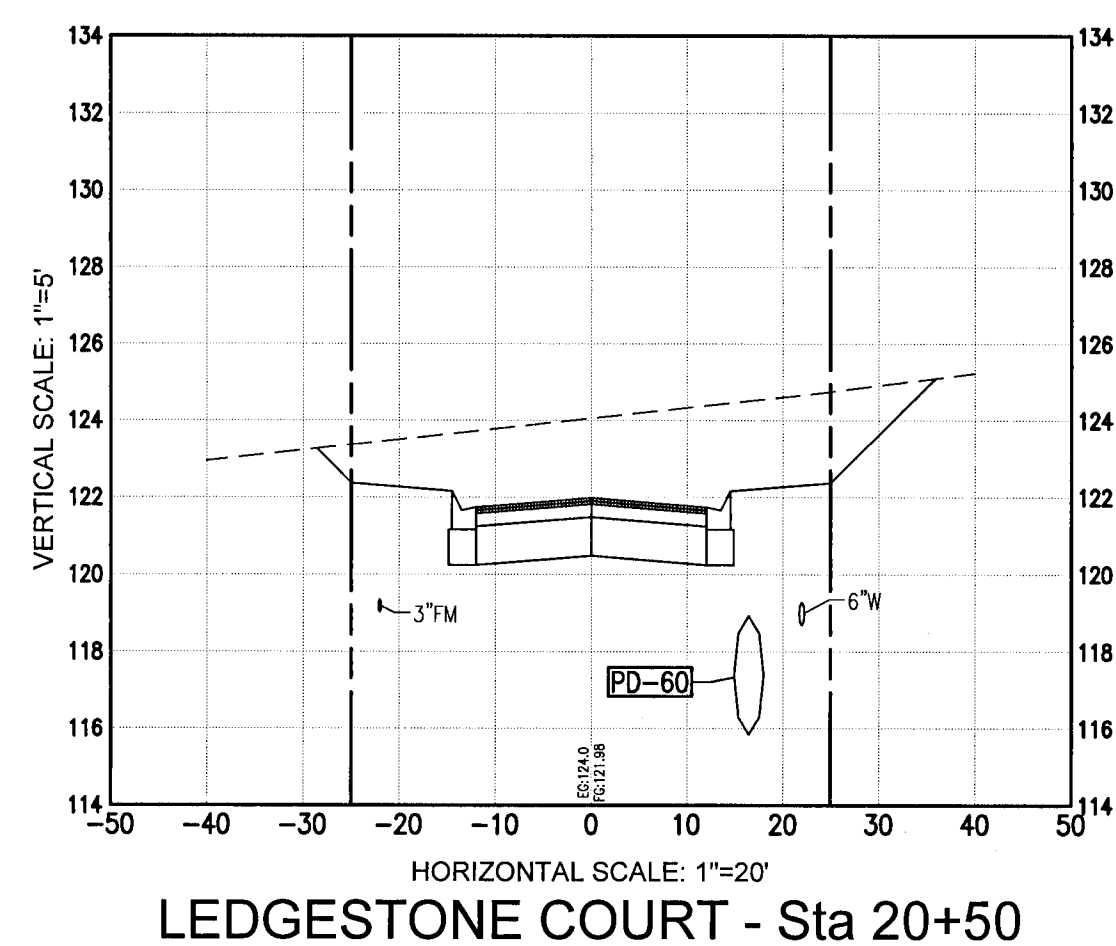
LEDGESTONE COURT - Sta 16+00



LEDGESTONE COURT - Sta 17+50

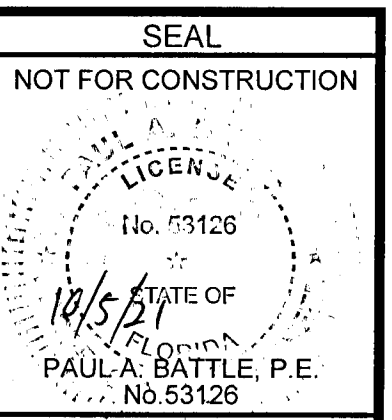


LEDGESTONE COURT - Sta 19+00



LEDGESTONE COURT - Sta 20+50

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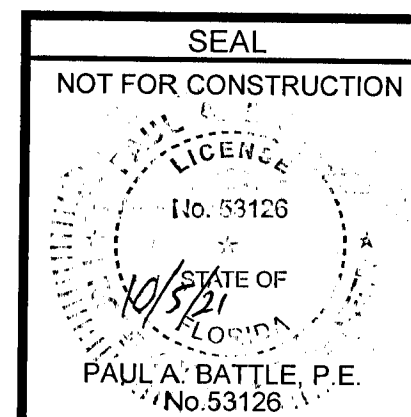
C6.1

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PLAN AND PROFILES

Ledgestone Subdivision
A 36 LOT RESIDENTIAL SUBDIVISION
BEULAH ROAD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION

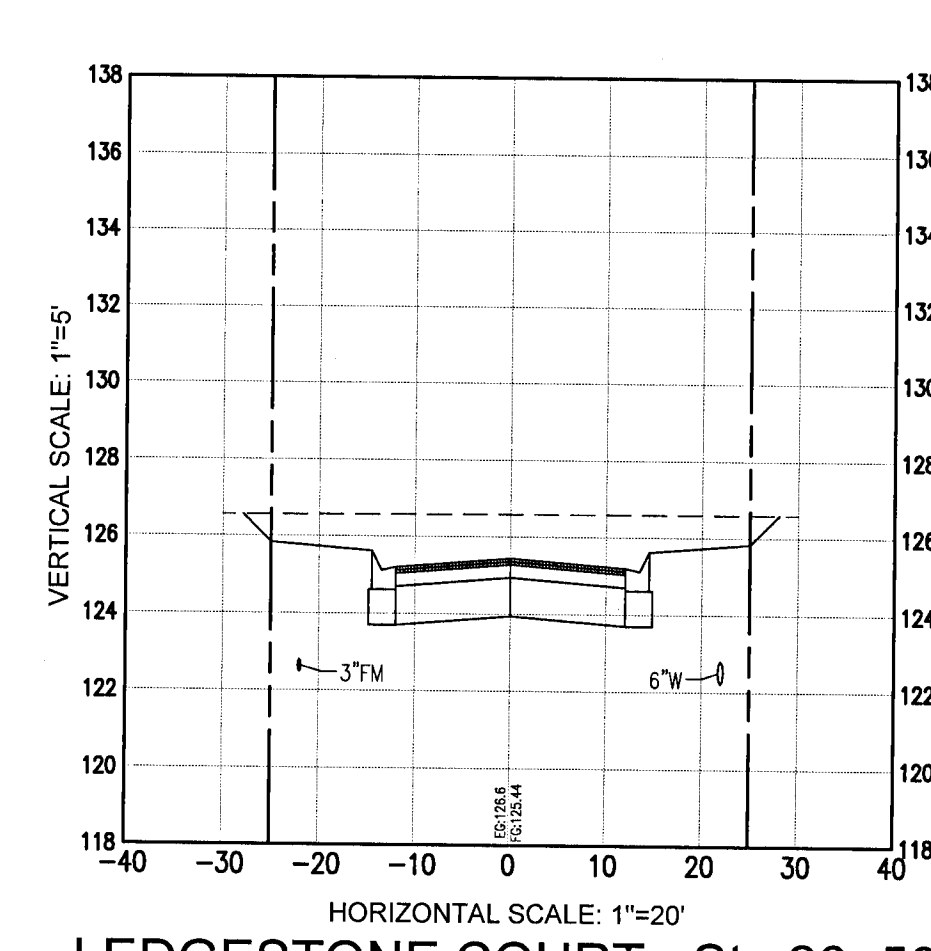
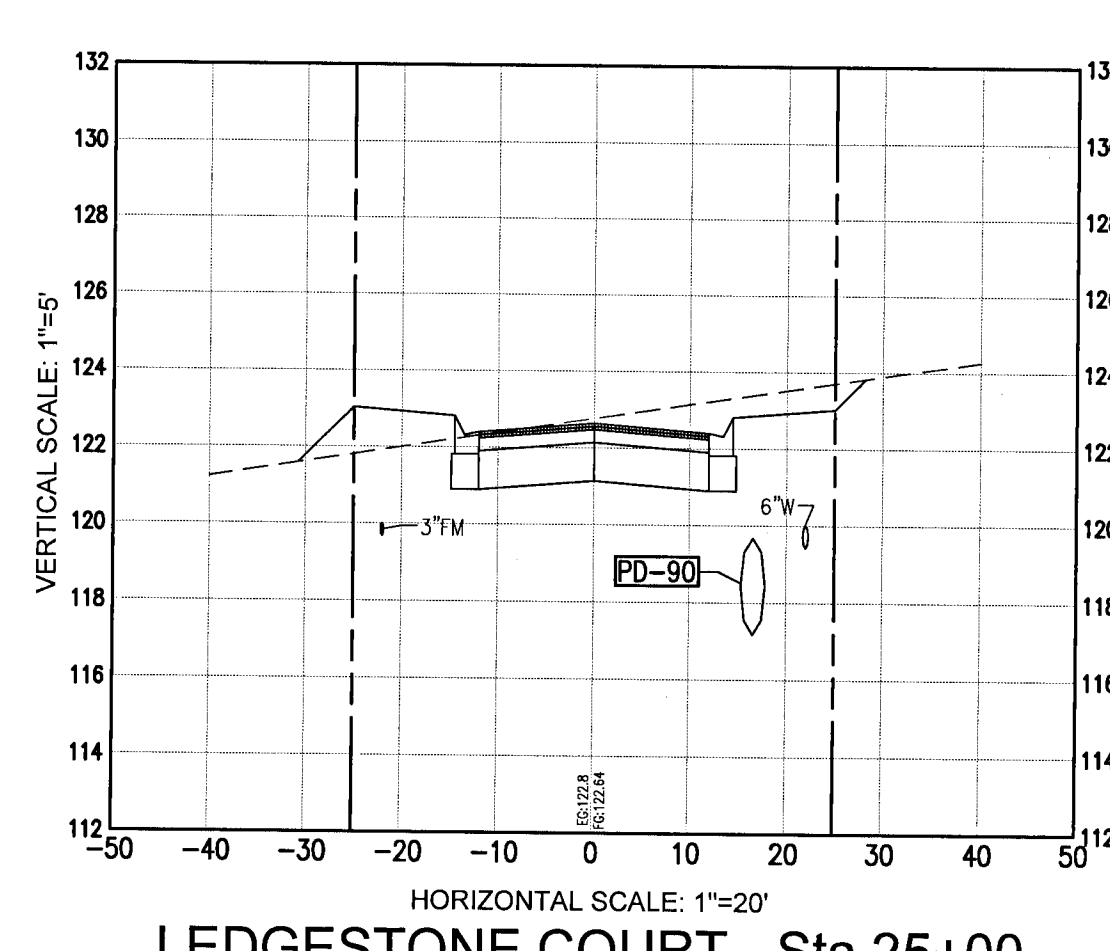
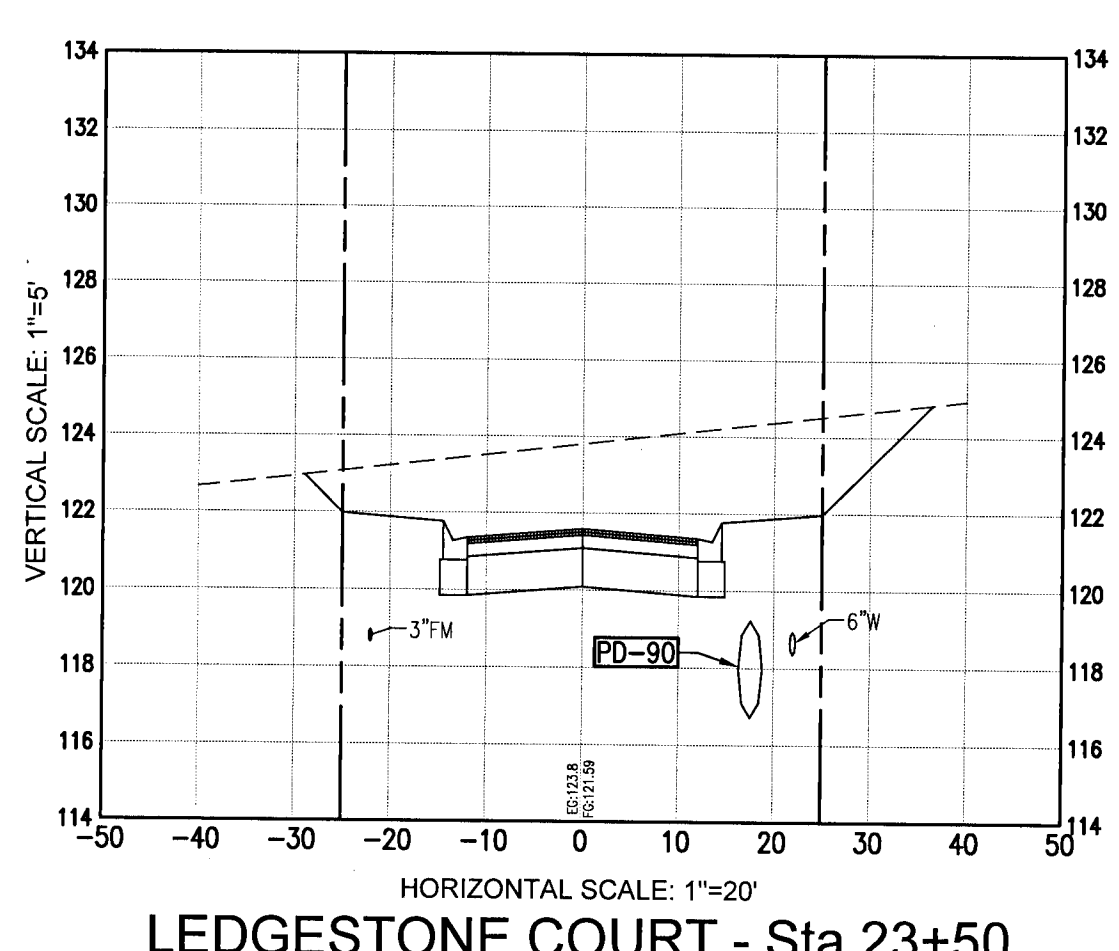
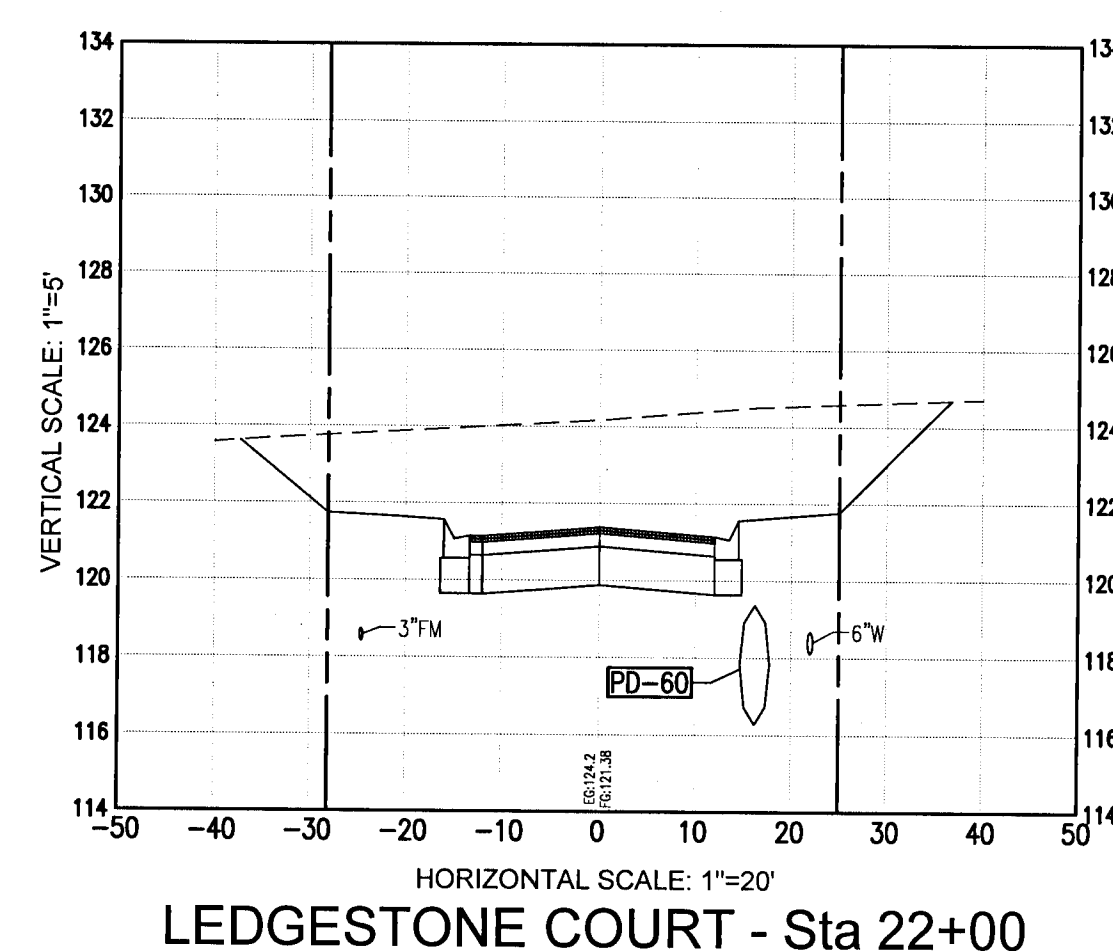
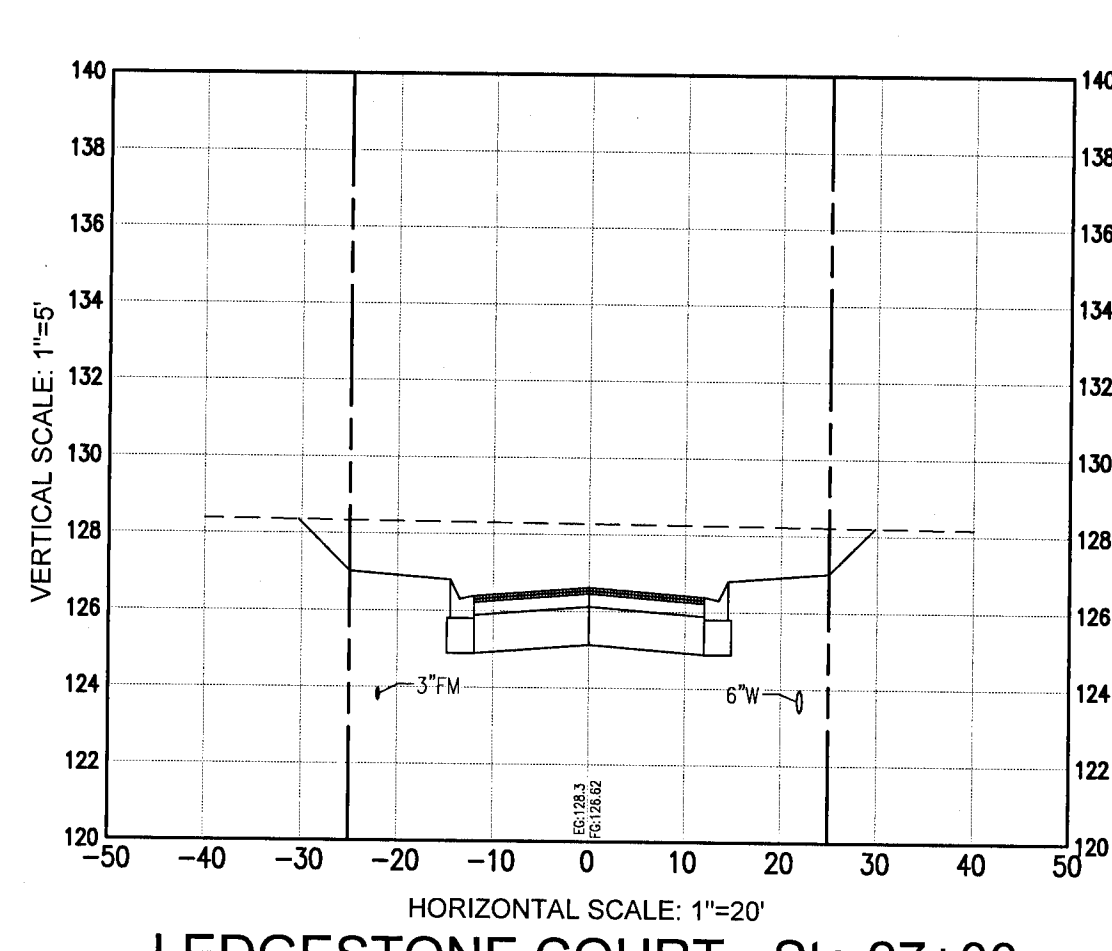
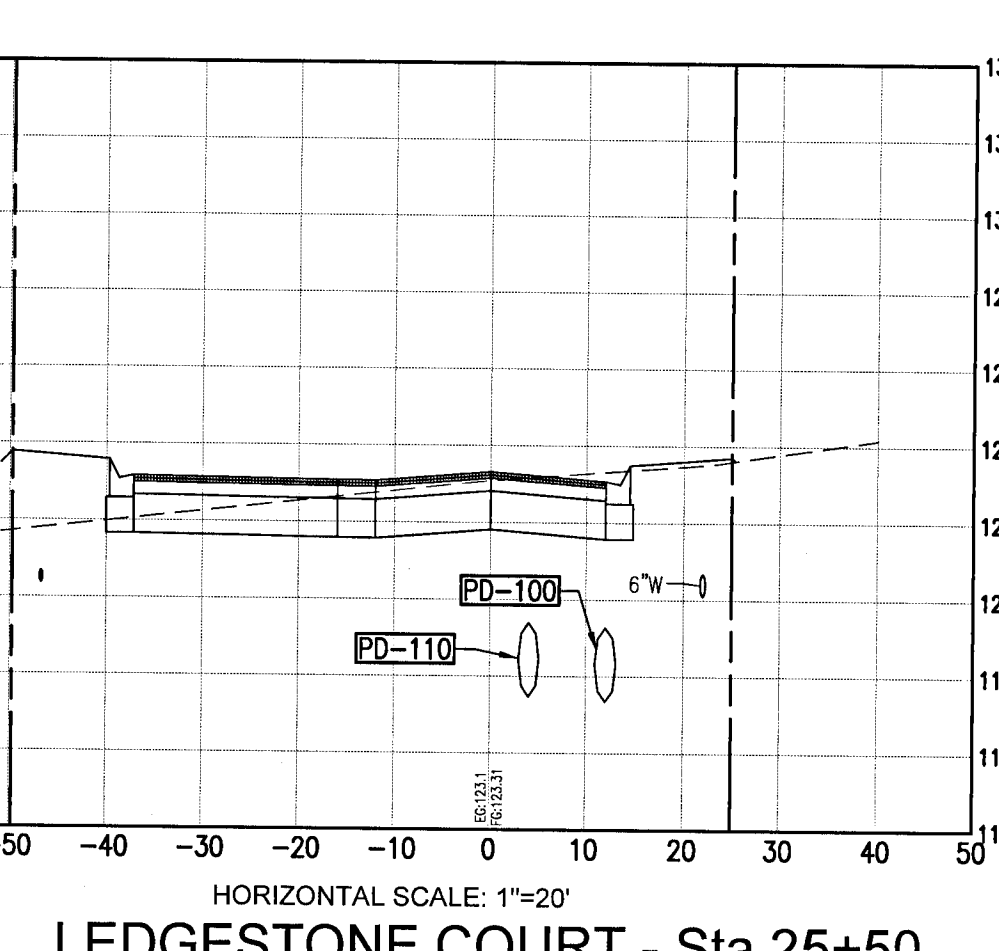
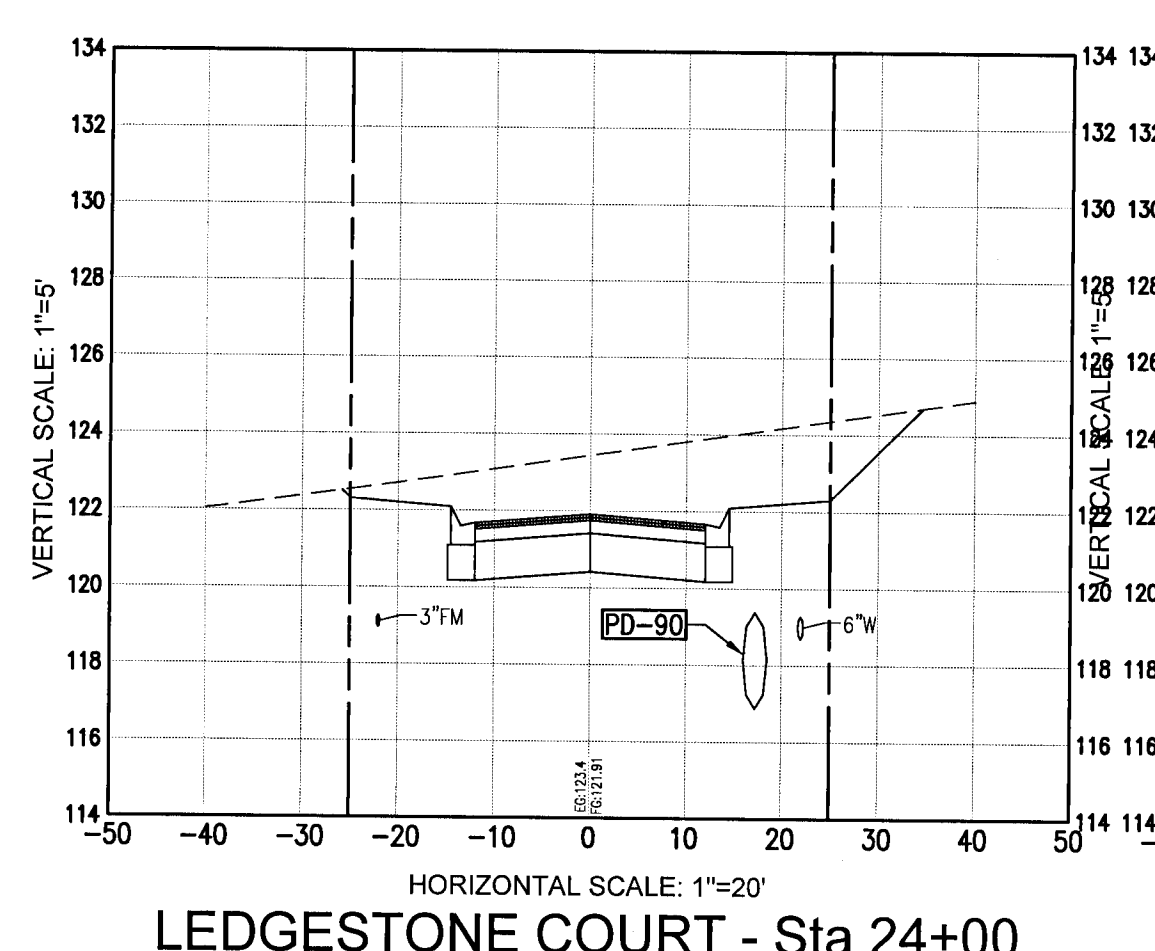
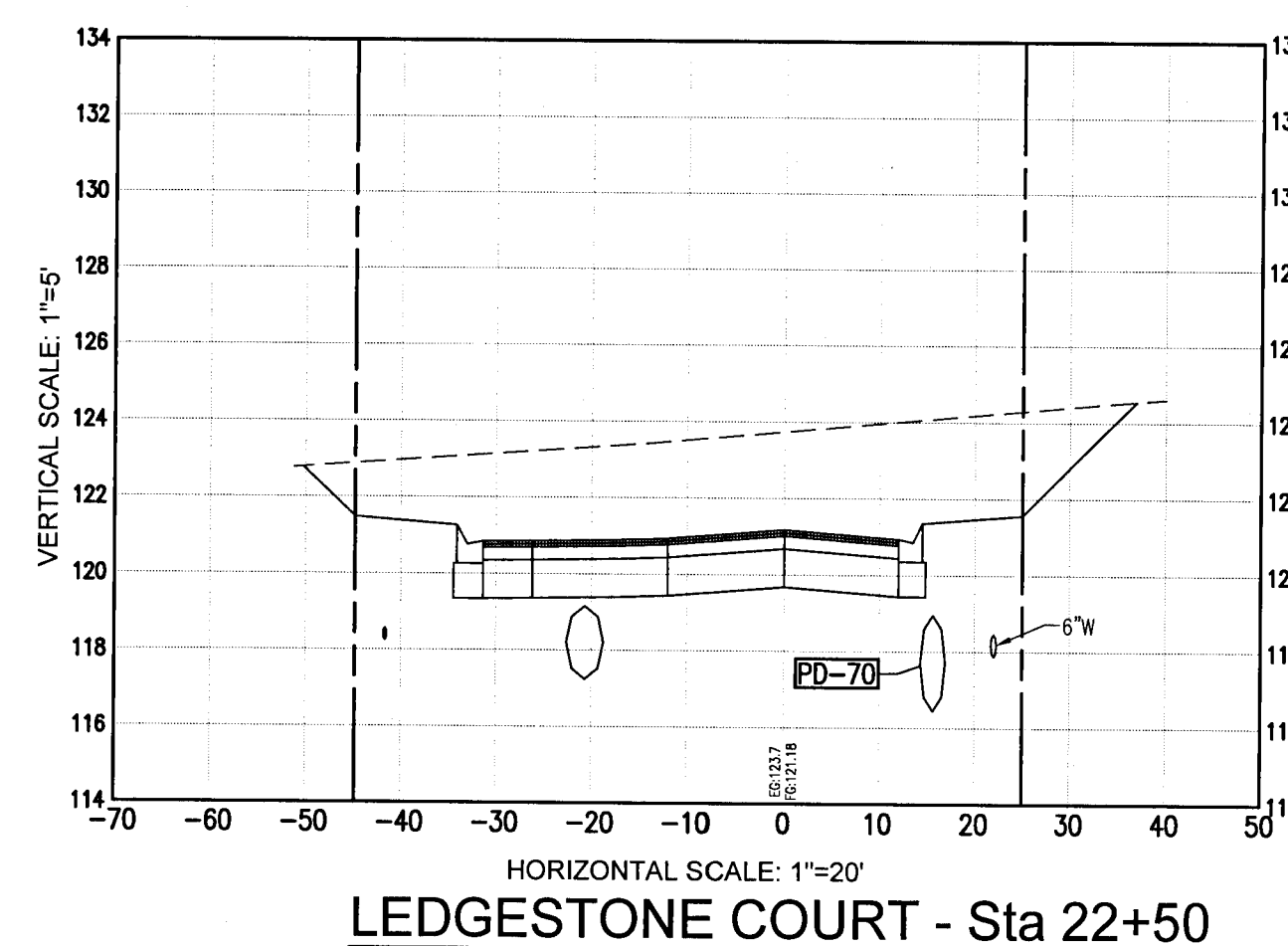
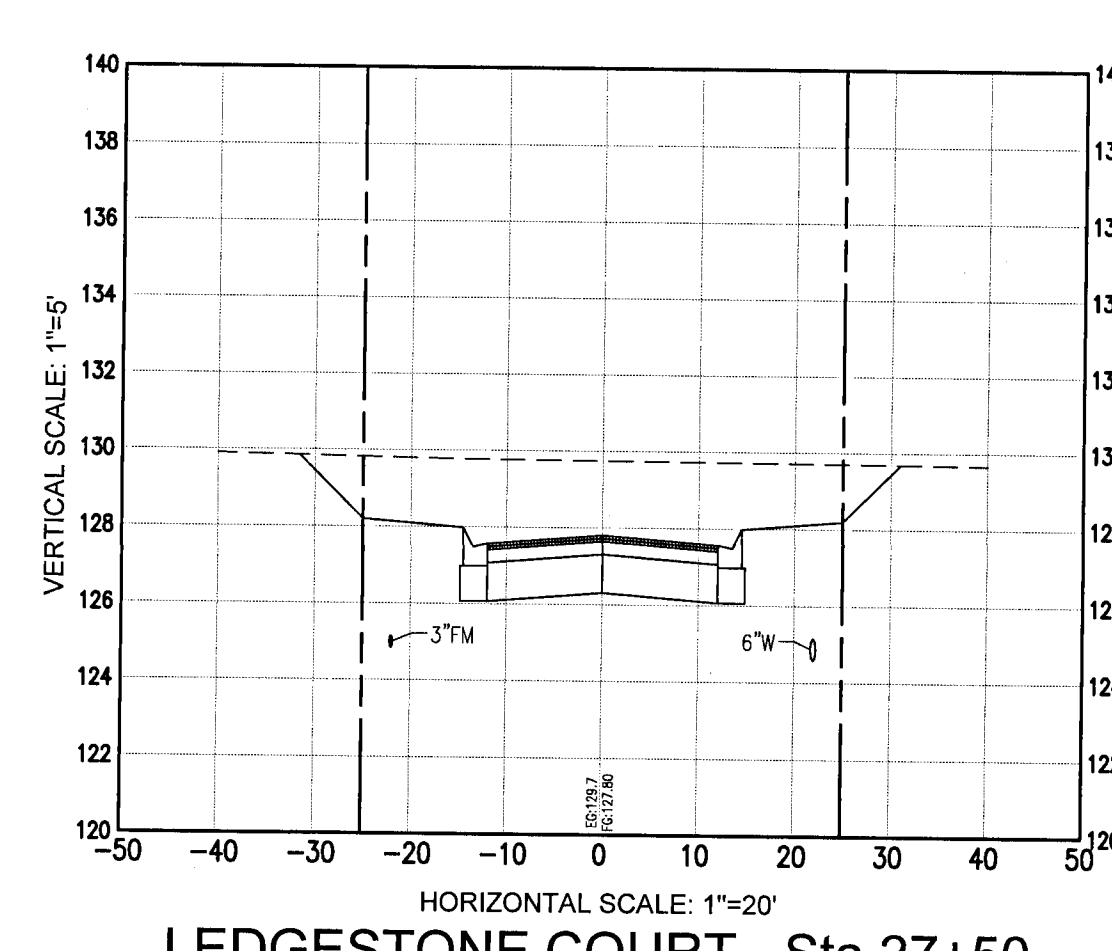
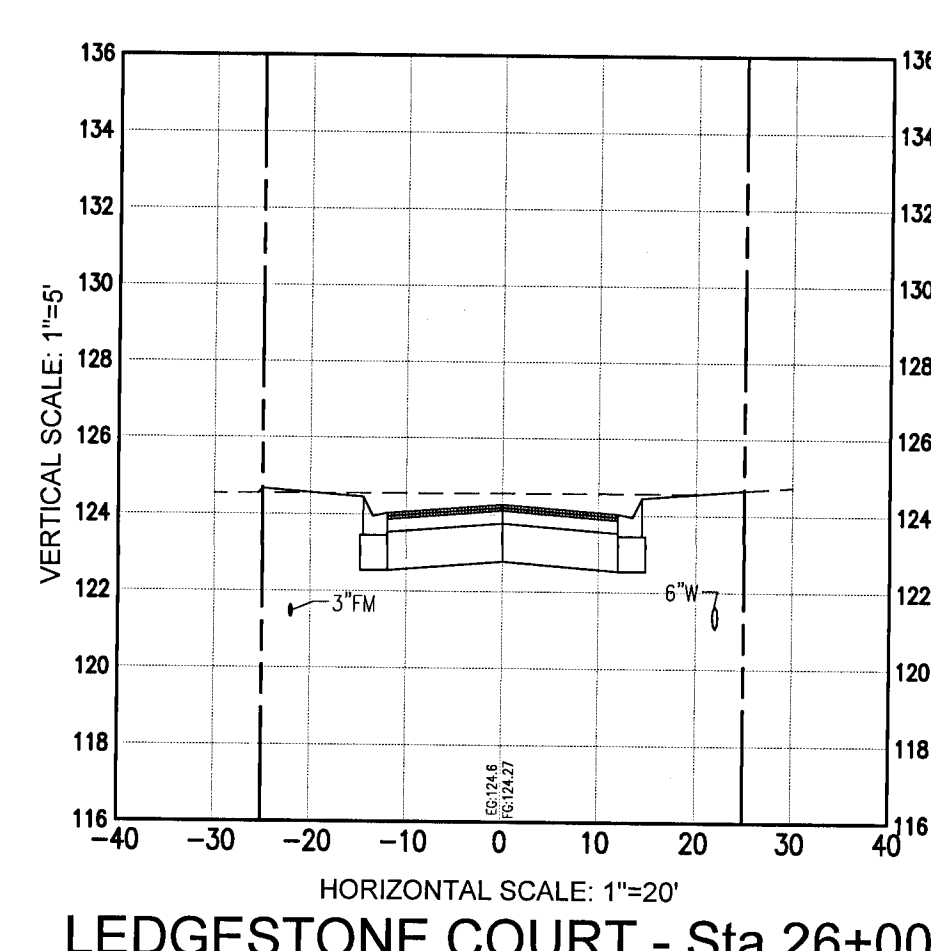
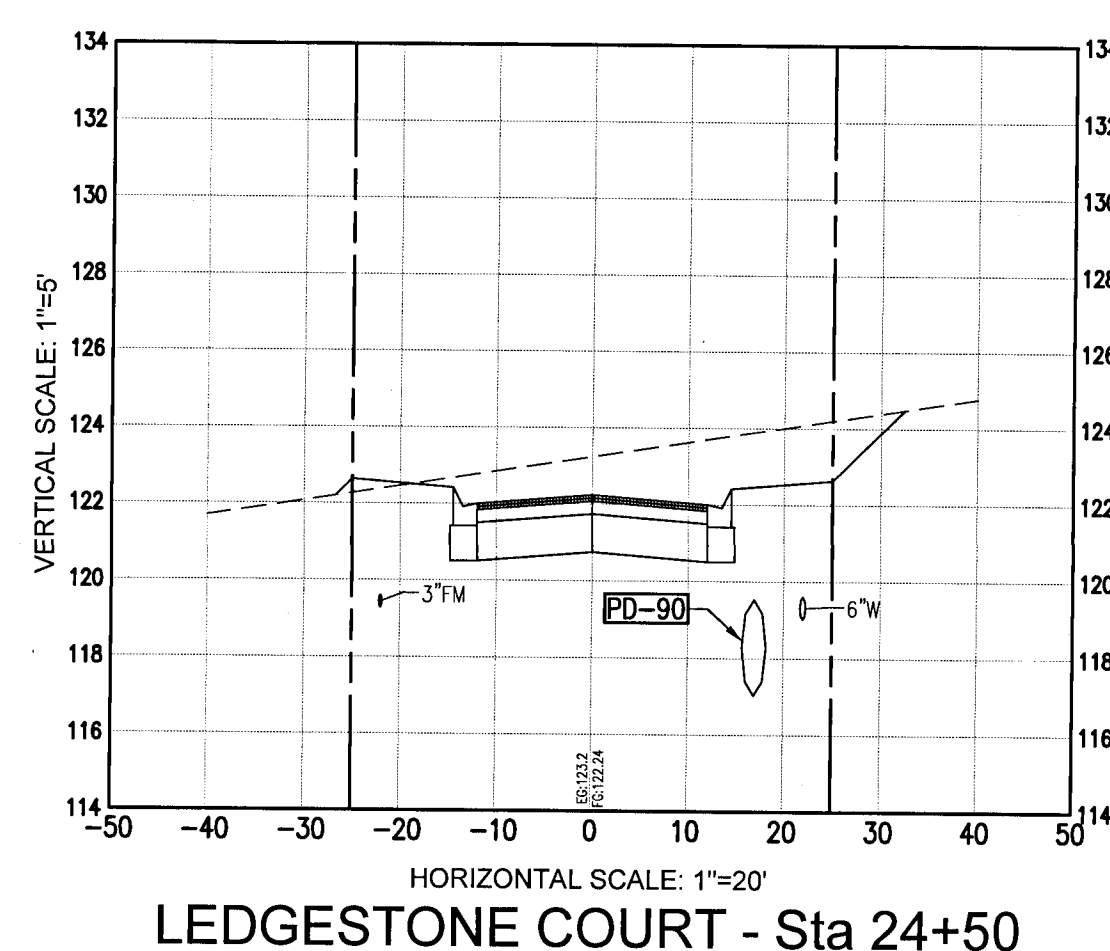
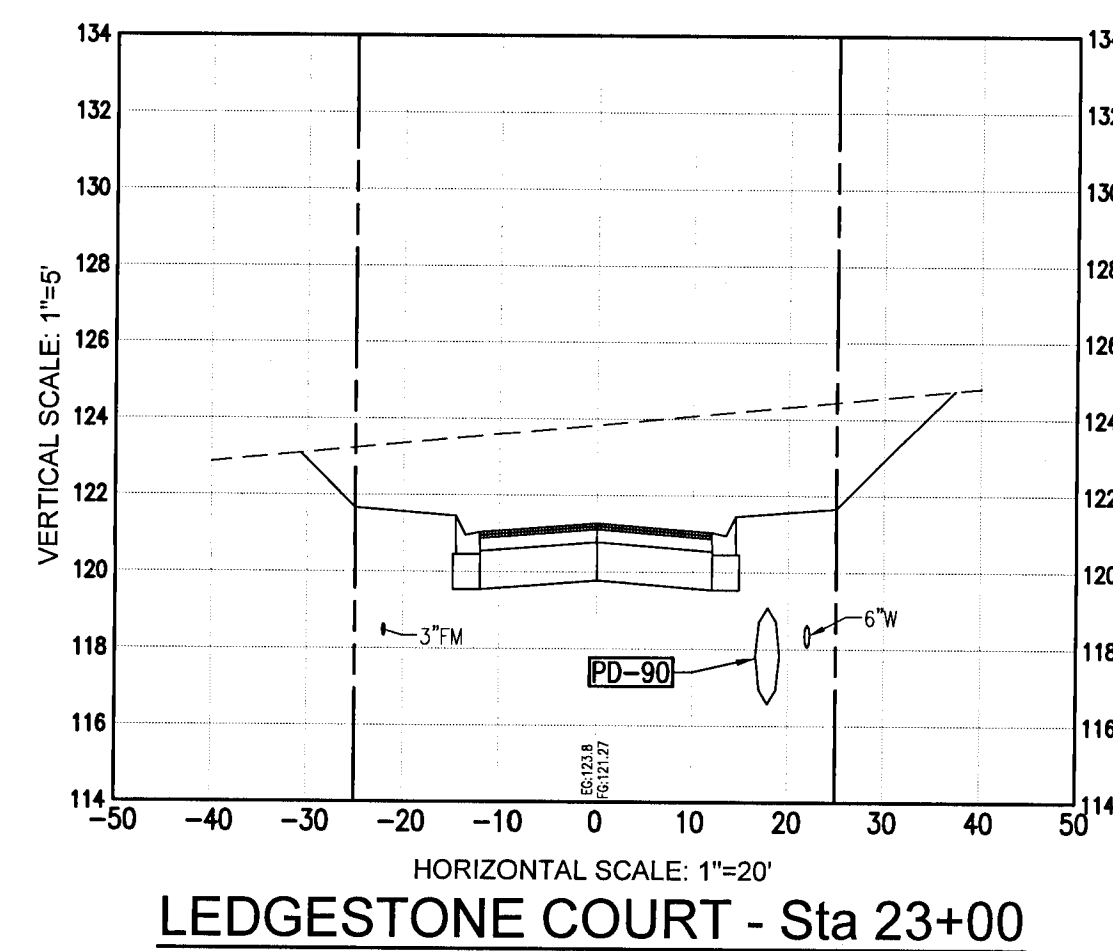


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Date: 4/21/2021

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C6.2

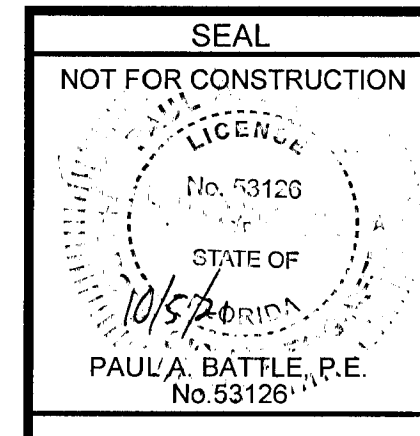
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Ledgestone Subdivision
A 36 LOT RESIDENTIAL SUBDIVISION
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ESCAMBIA COUNTY, FLORIDA

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Job No.: 2018.158
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C6.3

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