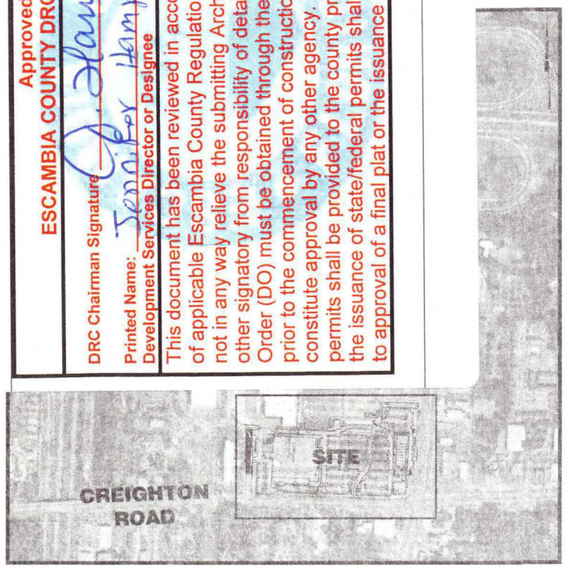
SITE PLAN MODIFICATION
HOPPES AT UNIVERSITY TOWN PLAZA
7005 N. DAVIS HIGHWAY
ESCAMBIA COUNTY, FL 32504

Approved
ESCAMBIA COUNTY DRC PLAN REVIEW

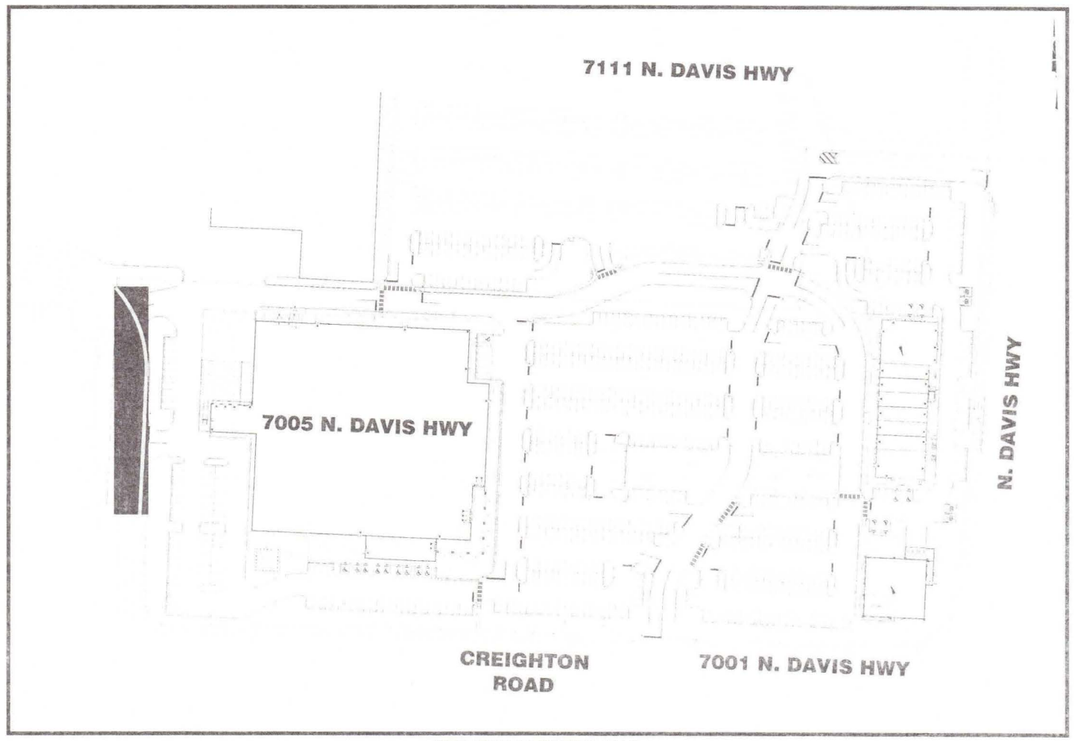
DRC Chairman Signature: J. Hampton — Date: 5-8-19

Printed Name: Jennifer Hampton
Development Services Director or Designee

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.



PROJECT VICINITY MAP
NOT TO SCALE



PROJECT LOCATION MAP
(NOT TO SCALE)
SECTION 30, TOWNSHIP 1 S, RANGE 30 W
PROPERTY I.D. 30-1S-30-3103-000-000

LEGAL DESCRIPTION

PARCEL I - FEE SIMPLE:

THAT PORTION OF GOVERNMENT LOT 3, SECTION 30, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNT, FLORIDA, DESCRIBED AS FOLLOWS: COMMENCING AT A RAILROAD SPIKE AT THE NORTHEAST CORNER OF SAID GOVERNMENT LOT 3; THENCE NORTH 88°29'05" WEST, ALONG THE NORTHLINE OF SAID LOT 3, A DISTANCE OF 132.0 FEET TO A POINT IN THE WEST RIGHT-OF-WAY LINE OF DAVIS HIGHWAY, (FLORIDA S.R. NO. 291); THENSE SOUTH 1°51'35" WEST ALONG SAID RIGHT-OF-WAY LINE, 1,616.5 FEET; THENSE SOUTH 40°58'25" EAST, ALONG SAID RIGHT-OF-WAY LINE, 124.9 FEET; THENSE SOUTH 1°51'35" WEST, ALONG SAID RIGHT-OF-WAY LINE, 170.3 FEET FOR THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 1° 51'35" WEST, ALONG SAID RIGHT-OF-WAY, 351.4 FEET TO A POINT OF CURBATURE; THENCE CONTINUE SOUTHERLY ALONG SAID RIGHT-OF-WAU LINE, BEING A CURBE TO THE RIGHT, HAVING A RADIUS OF 2,817.93 FEET, A DISTANCE OF 442.49 FEET, HAVING A CHORD BEARING OF SOUTH 6°21'30" WEST, AND A CHORD DISTANCE OF 442.04 FEET; THENCE NORTH 88°31'50" WEST, ALONG THE SOUTH LINE OF SAID LOT, 1,228.80 FEET TO THE SOUTHWEST CORNER OF SAID LOT; THENCE NORTH 1°18'00" EAST ALONG THE WEST LINE OF SAID LOT, 563.1 FEET, THENCE SOUTH 88°42'00" EAST, 961.2 FEET; THENCE NORTH 1° 18'00" EAST, 225.0 FEET; THENCE SOUTH 88°42'00" EAST, 310.0 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT ANY PORTION LYING WITHIN THE PROPERTY AS DESCRIBED IN ORDER OF TAKING RECORDED OCTOBER 6, 2003 IN OFFICIAL RECORDS BOOK 5257, PAGE 874, IN THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.

LESS AND EXCEPT ANY PORTION LYING WITHIN THE PROPERTY AS DESCRIBED IN ORDER OF TAKING RECORDED MAY 21, 1992 IN OFFICIAL RECORDS BOOK 3177, PAGE 608, AND RECORDED NOVEMBER 25, 1992 IN OFFICIAL RECORDS BOOK 3277, PAGE 218, IN THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.

PARCEL II - EASEMENTS:

TOGETHER WITH THOSE RIGHTS AND EASEMENTS AS CONTAINED IN:

(A) THAT CERTAIN DEED OF DECLARATION EXECUTED BY UNIVERSITY MALL, INC. AND SEARS, ROEBUCK AND CO. RECORDED IN OFFICIAL RECORDS BOOK 661, PAGE 302, AS AMENDED BY OFFICIAL RECORDS BOOK 954, PAGE 276 AND ASSIGNED/ASSUMED BY OFFICIAL RECORDS BOOK 3700, PAGE 447;

(B) AMENDED AND RESTATED OPERATING AGREEMENT AMONG SIMON PROPERTY GROUP, L.P., A DELAWARE LIMITED PARTNERSHIP, J.C. PENNEY PROPERTIES, INC., A DELAWARE CORPORATION AND SEARS ROEBUCK AND CO., A NEW YORK CORPORATION, DATED DECEMBER 19, 2012 AND RECORDED DECEMBER 21, 2012 IN OFFICIAL RECORD BOOK 6951, PAGE 1835, ALL OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY.

SHEET INDEX:

COVER SHEET
BOUNDARY & TOPOGRAPHIC SURVEY....1-4
OVERALL SITE PLAN....OSP-1
SITE PLAN....SP-1 - SP-2
ARCHITECTURAL FLOOR PLANS....A2.01A - A2.01D
ARCHITECTURAL ELEVATIONS....A3.01A - A3.01D
ARCHITECTURAL DETAILS....A3.02 - A8.01
PRELIMINARY ENGINEERING PLAN
LANDSCAPE PLAN
LIGHTING PLAN

LIST OF APPROVALS:

ESCAMBIA COUNTY PLANNING DEPARTMENT
ESCAMBIA COUNTY ENGINEERING DEPARTMENT
ESCAMBIA COUNTY FIRE DEPARTMENT
FLORIDA DEPARTMENT OF TRANSPORTATION
EMERALD COAST UTILITY AUTHORITY (ECUA)
NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT

SITE DATA:

LAND USE DESIGNATION....COMMERCIAL
ZONING DESIGNATION....HC/LI GENERAL COMMERCIAL
TOTAL SITE AREA....14.13 AC, 615,503 SF
WATER SERVICE....ECUA
WASTEWATER SERVICE....ECUA
STORM WATER MANAGEMENT....NORTHWEST FLORIDA
SOLID WASTE....ECUA

TOTAL GROSS BUILDING AREA:
EXISTING....131,135 SF
PROPOSED....120,002 SF

PROPOSED USE....RETAIL / RESTAURANT
BUILDING COVERAGE....120,002 SF OR 2.75 AC
FLOOR AREA RATIO....0.20

TOTAL OPEN SPACE:
LANDSCAPE AREA....108,356 SF
VEHICULAR AREA....346,299 SF

IMPROVED SPACE:
BUILDING AREA....120,002 SF
SIDEWALK AREA....40,846 SF
PAVEMENT AREA....346,299 SF

TOTAL PERVIOUS AREA....108,356 SF....18%
TOTAL IMPERVIOUS AREA....507,147 SF....82%

HC/LI ZONING REQUIREMENTS:	REQUIRED	PROVIDED
MAXIMUM HEIGHT	N/A	40
MINIMUM LOT SIZE	N/A	14.13 AC
MAXIMUM DENSITY (IMPERVIOUS)	85%	82%
MINIMUM FRONT SETBACK	15 FT	27.86 FT
MINIMUM REAR SETBACK	10 FT	41.34
MINIMUM SIDE SETBACK	15 FT	N/A

PARKING:
SHOPPING CENTER — 3 PARKING SPACES PER 1,000 SF
RESTAURANT — 15 PARKING SPACES PER 1,000 SF

	REQUIRED	PROVIDED
RETAIL (105,883 SF / 329 PS)	318	
RESTAURANT (16,119 SF / 277 PS)	242	
TOTAL	560	626

OWNER:
SERITAGE SRC FINANCE, LLC
489 FIFTH AVENUE, 18th FLOOR
NEW YORK, NY 10017
PHONE: 212-355-7800

APPLICANT:
SERITAGE SRC FINANCE, LLC
489 FIFTH AVENUE, 18th FLOOR
NEW YORK, NY 10017
PHONE: 212-355-7800

PLANNER/ENGINEER:
LAND PLAN ENGINEERING GROUP, INC.
1475 NW 126th DRIVE
CORAL SPRINGS, FL 33071
PHONE: 954-812-5651
EMAIL: LPEG@BELLSOUTH.NET

CIVIL ENGINEER:
BASKERVILLE-DONOVAN, INC.
449 W. MAIN STREET
PENSACOLA, FL 33502
PHONE: 850-430-1762

LANDSCAPE ARCHITECT:
BASKERVILLE-DONOVAN, INC.
449 W. MAIN STREET
PENSACOLA, FL 33502
PHONE: 850-430-1762

ARCHITECT:
MARC WIENER, AIA
851 S. FEDERAL HIGHWAY, SUITE 203
BOCA RATON, FL 33432
PHONE: 561-750-4111
EMAIL: MARC@MWARCHITECTURE.COM

LAND SURVEYOR:
BASKERVILLE-DONOVAN, INC.
449 W. MAIN STREET
PENSACOLA, FL 33502
PHONE: 850-430-1762

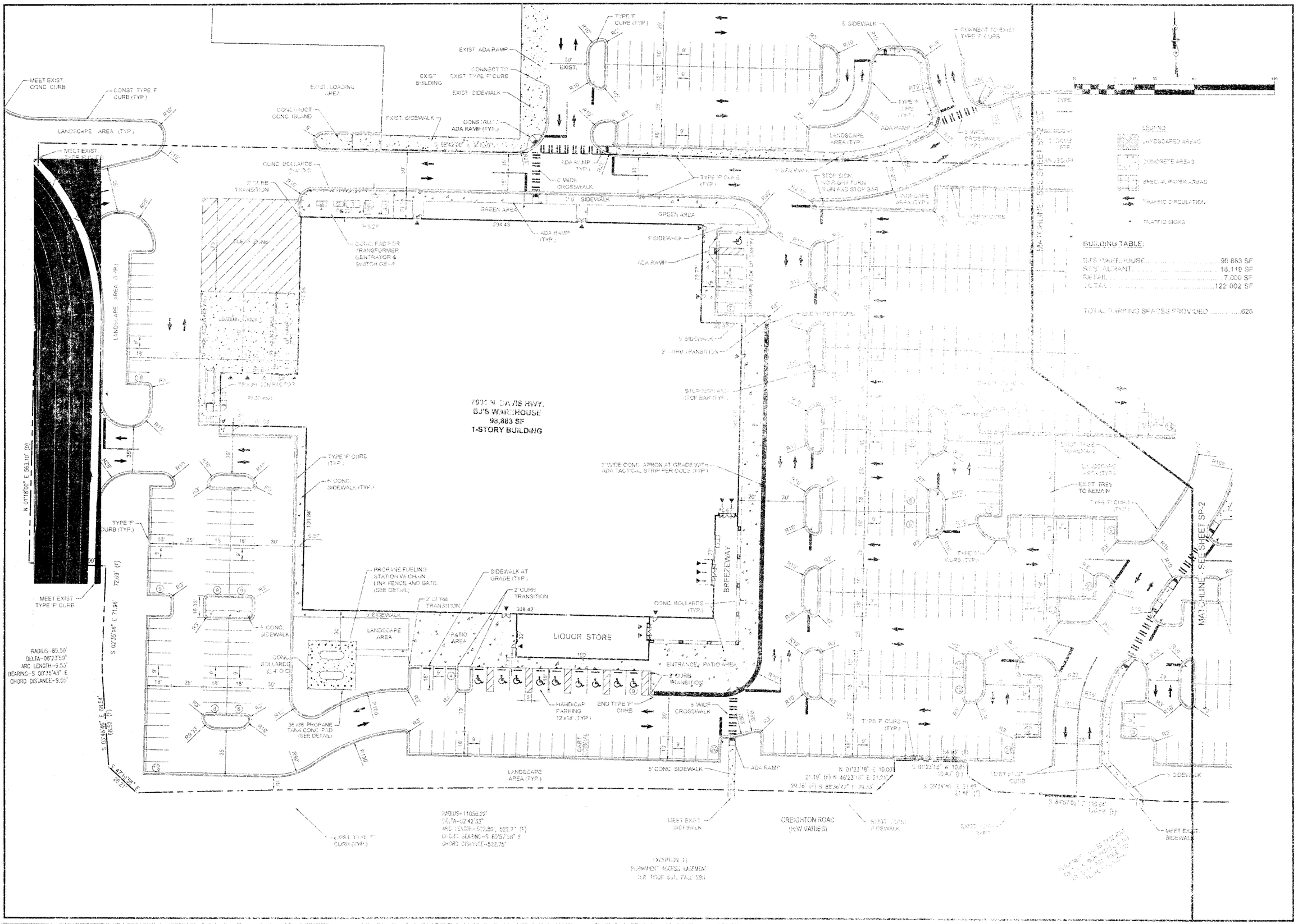
FLOOD NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 120080, MAP NO. 12033C 0380 G WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 29, 2006 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. AS SHOWN ON THE FEMA WEBSITE (HTTP://MSC/FEMA.GOV) WE HAVE LEARNED THIS COMMUNITY DOES CURRENTLY PARTICIPATE IN THE PROGRAM. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND A FLOOD ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOA A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

LANDPLAN ENGINEERING GROUP, INC.
INNOVATION • SOLUTIONS • DESIGN
1475 N.W. 126th DRIVE ~ CORAL SPRINGS, FLORIDA 33071
TEL: (954) 812-5651 ~ E-MAIL: LPEG@bellsouth.net

PROJECT NO. 21013
DATE: MAY 2018

PETER R. GALLO, P.E.
FLORIDA REG. NO. 48333
(FOR THE FIRM)



LANDPLAN ENGINEERING GROUP, INC.
PLANNING • ENGINEERING • SURVEYING
14 NORTH PALAFOX STREET, PENSACOLA, FLORIDA 32501
TEL: (850) 432-5207 • FAX: (850) 432-5211 • LEB-0006966/LB-7917

DATE	REVISIONS

DATE SEPTEMBER 2018
SCALE AS NOTED
DESIGNED BY P.R.G.
DRAWN BY P.R.G.
CHECKED BY P.R.G.
FIELD BOOK

SHOPPES AT UNIVERSITY TOWN PLAZA

ESCAMBIA COUNTY FLORIDA

SITE PLAN

SHEET No. SP-1
PROJECT No. 21015

PETER R. GALLO, P.E.
FLORIDA REG. No. 46,133
(FOR THE FIRM)

LANDPLAN ENGINEERING GROUP, INC.
PENSACOLA • OCEE • PENSACOLA BEACH
CIVIL ENGINEERING • SURVEYING • LAND PLANNING
FBPE REG. No. 27-8051 • FBSLS REG. No. LB-7846

DATE	REVISIONS

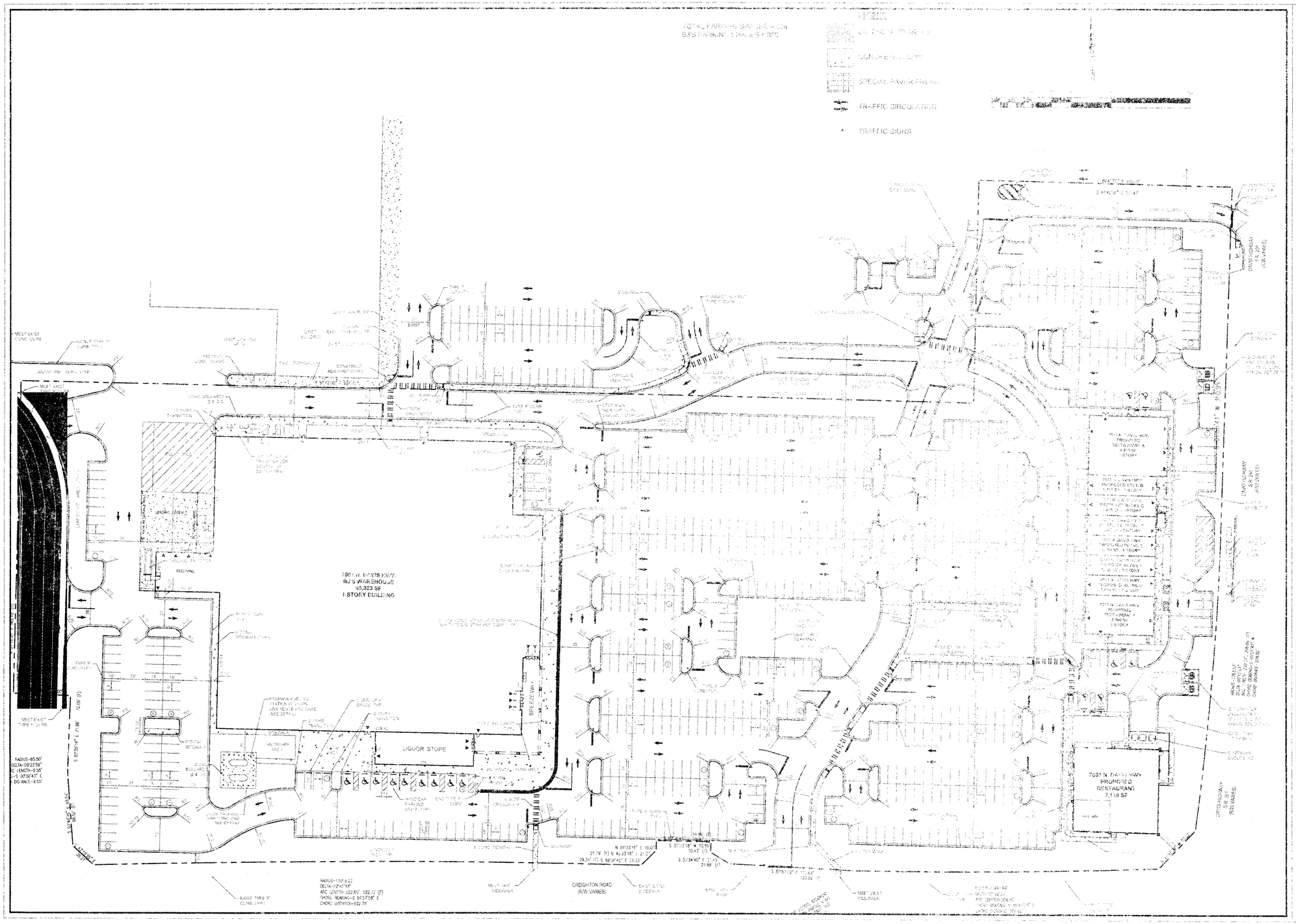
DATE SEPTEMBER 2018
SCALE AS NOTED
DESIGNED BY P.R.G.
DRAWN BY P.R.G.
CHECKED BY P.R.G.
FIELD BOOK

SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY FLORIDA

SITE PLAN

SHEET No. SP-2
PROJECT No. 21015

PETER R. GALLO, P.E.
FLORIDA REG. No. 43333
(FOR THE FIRM)



LANDPLAN ENGINEERING GROUP, INC.
INNOVATION • QUALITY • SERVICE
PANAMA CITY BEACH, FLORIDA
PHONE: 850-235-0022 CONSULTANTS@LANDPLAN.COM
FEL: 850-215-8321 FAX: 850-235-0023

DATE	REVISIONS

DATE SEPTEMBER 2018
SCALE AS NOTED
DESIGNED BY P.R.G.
DRAWN BY P.R.G.
CHECKED BY P.R.G.
FIELD BOOK

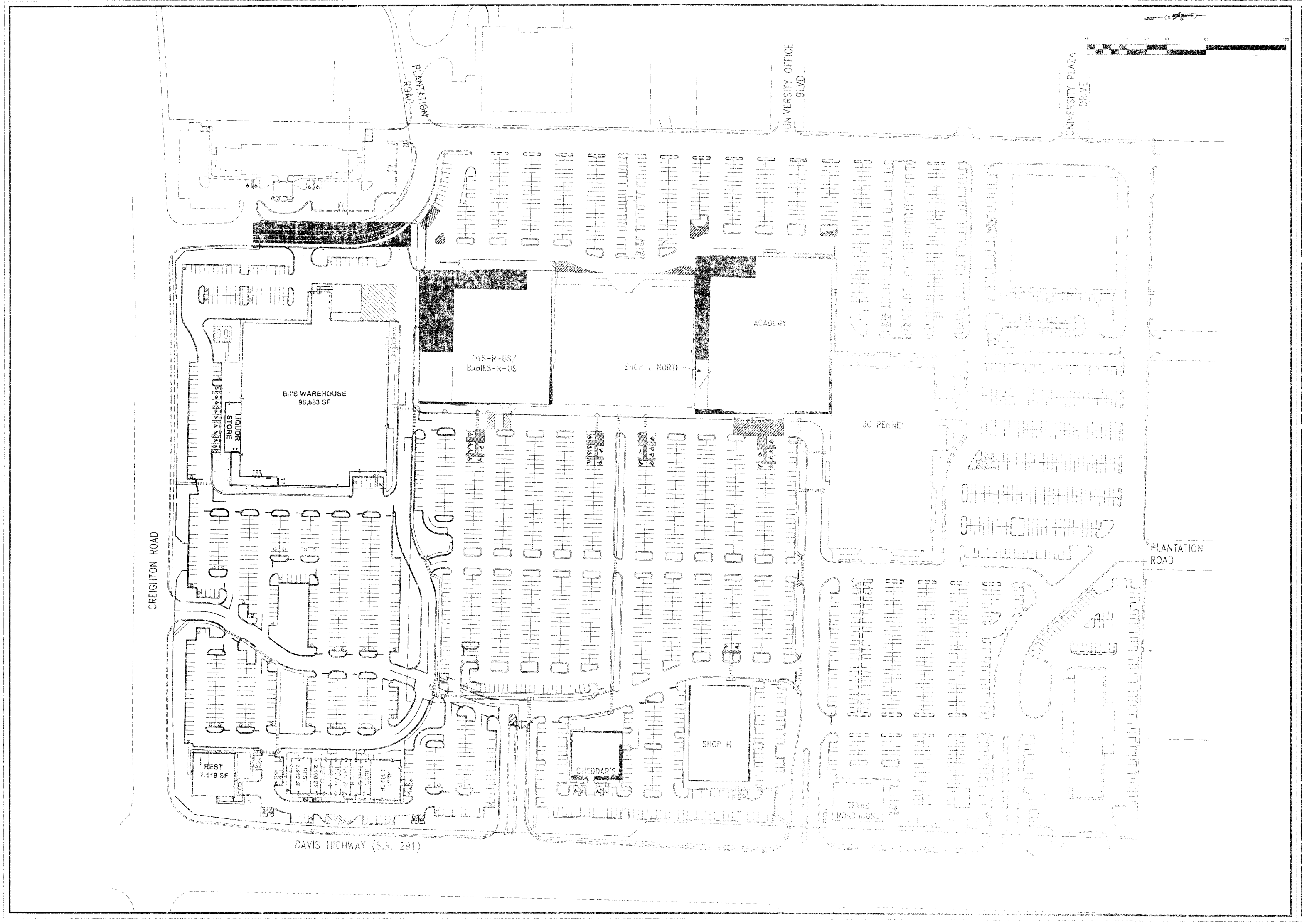
SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY FLORIDA

OVERALL SITE PLAN

SHEET No. OSP-1
PROJECT No. 21015

PETER R. GALLO, P.E.
FLORIDA REG. No. 48333
(FOR THE FIRM)

EXHIBIT "D"



LANDPLAN ENGINEERING GROUP, INC.
CIVIL ENGINEERS • SURVEYORS • DESIGN
147 N. WARRINGTON ROAD, PENSACOLA, FLORIDA 32506
TEL. (850) 476-0480 E-MAIL: LEGROUP@MSN.COM

DATE	REVISIONS

DATE MARCH 2018
SCALE AS NOTED
DESIGNED BY P.R.G.
DRAWN BY P.R.G.
CHECKED BY P.R.G.
FIELD BOOK

SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

OVERALL MALL PLAN

SHEET No.
OMP-1

PROJECT No.
21015

PETER R. GALLO, P.E.
FLORIDA REG. No. 48333
(FOR THE FIRM)

CIVIL ENGINEERING PLANS
FOR

SHOPPES AT
UNIVERSITY TOWN PLAZA

7005 NORTH DAVIS HIGHWAY
PENSACOLA, FLORIDA 32509

UTILITY PROVIDERS:

SANITARY SEWER & POTABLE WATER
ECUA
P.O.BOX 16311
PENSACOLA, FLORIDA 32514
PH: 850-476-4080
FAX: 850-494-7346

ELECTRICAL POWER:
GULF POWER COMPANY
9220 ONE ENERGY PLACE
PENSACOLA, FLORIDA 32501
PH: 850-505-5600

TELEPHONE:
AT&T
603 WEST GARDEN STREET
PENSACOLA, FLORIDA 32501
PH: 850-436-1616

CABLE TELEVISION:
MEDIACOM
4435 GULF BREEZE PARKWAY
GULF BREEZE, FLORIDA 32564
PH: 800-239-8411

NATURAL GAS:
PENSACOLA ENERGY
1625 ATWOOD DRIVE
PENSACOLA, FLORIDA 32514
PH: 850-874-5319

SITE DATA:

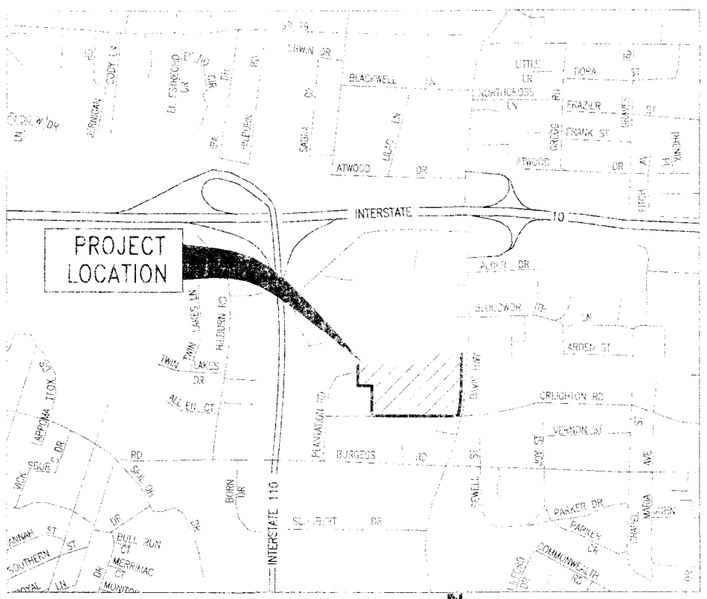
TAX APPRAISER'S PROPERTY
REFERENCE NUMBER:
30-1S-30-3103-000-000

ZONING:
HC/LI = HEAVY COMMERCIAL/LIGHT INDUSTRIAL

FEMA ZONE = X
PER FEMA MAP #12033C0530 G
MAPS REVISED: SEPTEMBER 29, 2006

OWNER/DEVELOPER:

SERITAGE SRC FINANCE, LLC



VICINITY MAP
NOT TO SCALE

MAY 2019

PROJECT NO. 98409.01

PREPARED BY

BASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions

449 W. MAIN ST., PENSACOLA, FL 32502 (850)438-9661
ENGINEERING BUSINESS: EB-0000040

Pensacola - Panama City Beach - Tallahassee - Mobile

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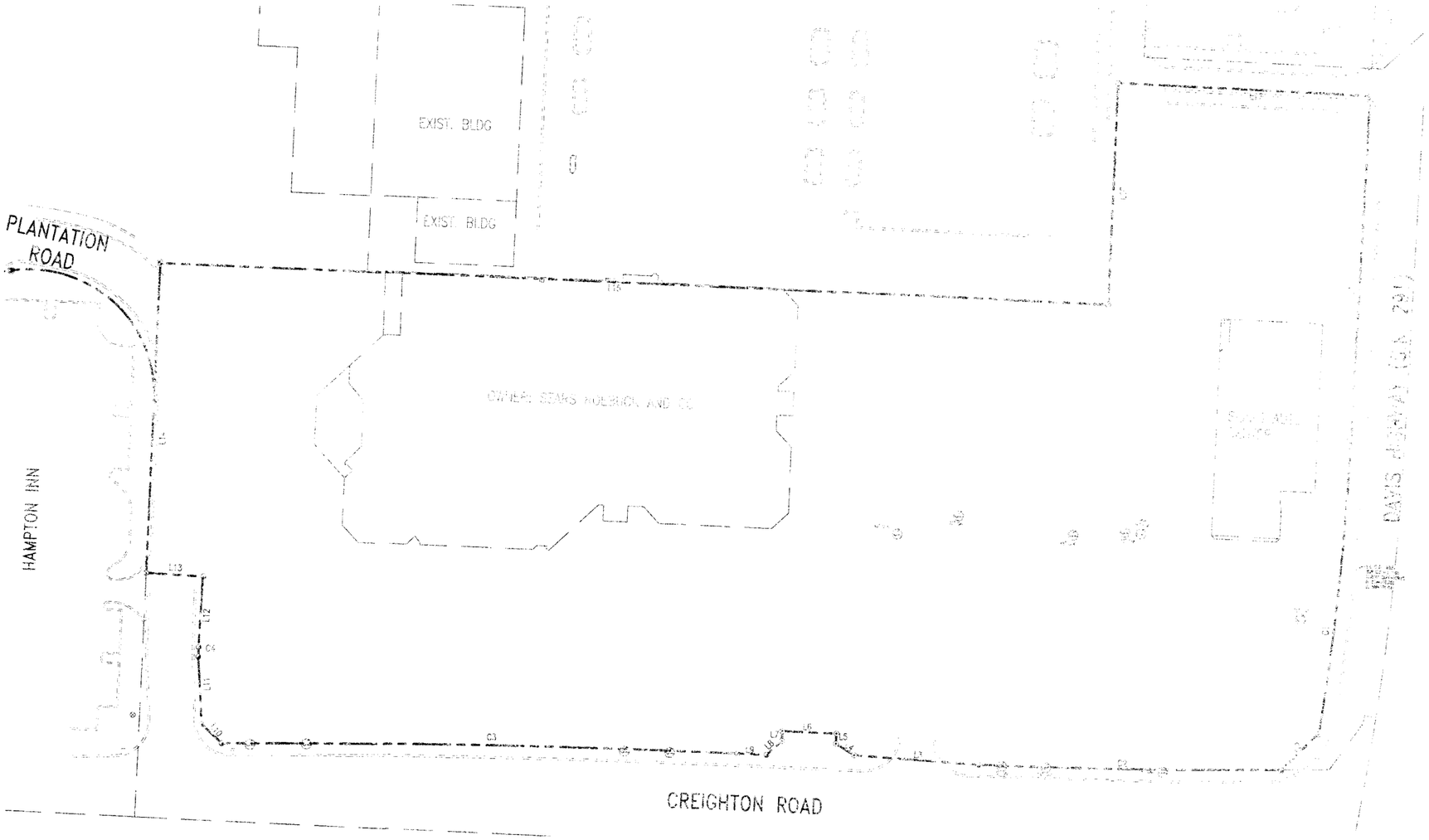
DRC SUBMITTAL


EXIST. BLDG
EXIST. BLDG
PLANTATION ROAD
HAMPTON INN
OWNER: SEARS ROEBUCK AND CO.
DAVIS HIGHWAY (S.R. 291)
CREIGHTON ROAD
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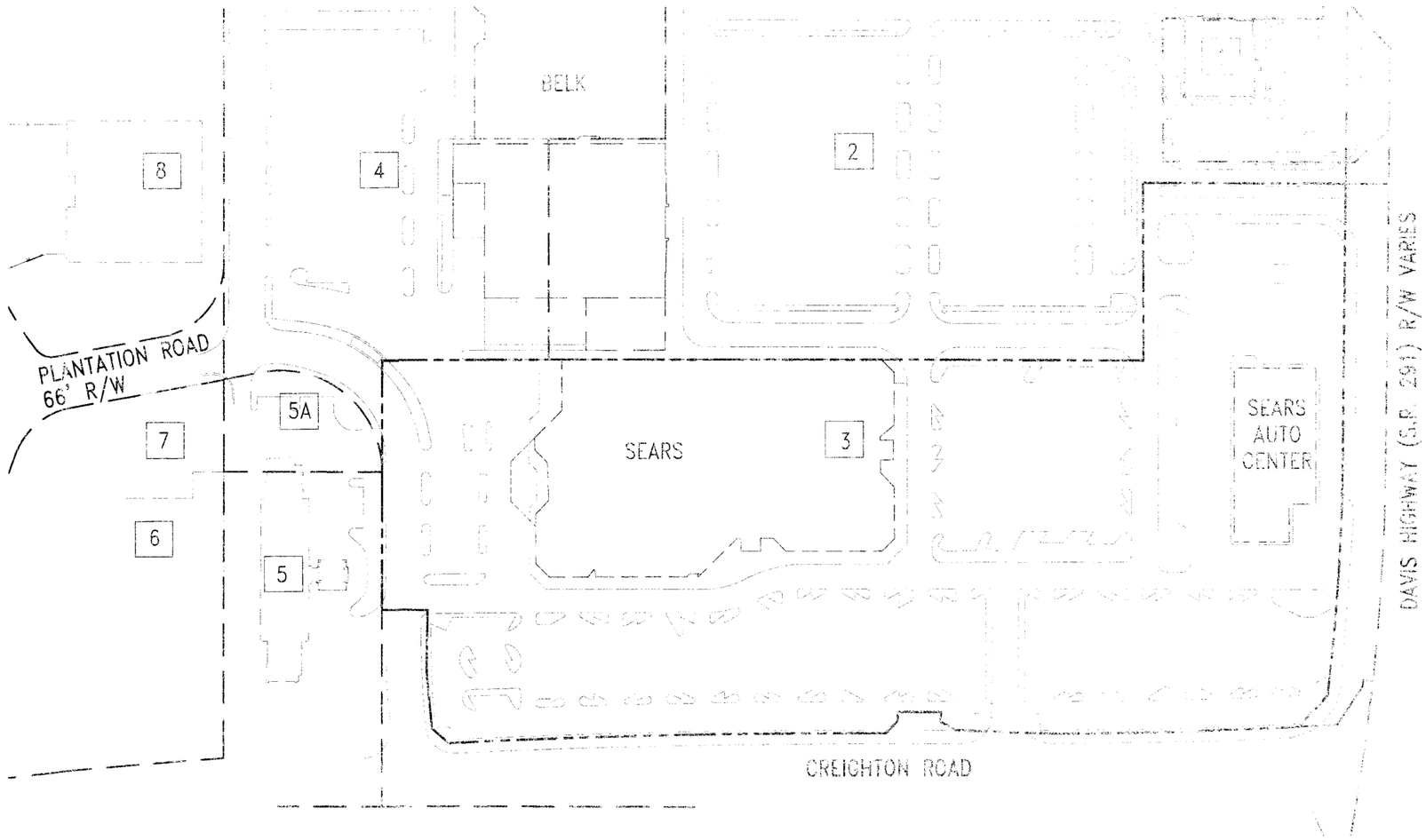

PROPERTY INFORMATION PLAN

SCALE: 1" = 80' 0 40' 80' 160'

PROPERTY INFORMATION

[1] TAX PARCEL ID: 30-1S-30-3102-000-000
OWNER: UNIVERSITY TOWN PLAZA LLC
ADDRESS: C/O WP GLIMCHER ACCOUNTS PAYABLE
180 E BROAD ST.
COLUMBUS, OH 43215
ZONE: HO/TI
FUTURE LAND USE: C
EXISTING LAND USE: RESTAURANT, CAFETERIA

[2] TAX PARCEL ID: 30-1S-30-3104-001-001
OWNER: UNIVERSITY TOWN PLAZA LLC
ADDRESS: C/O WP GLIMCHER ACCOUNTS PAYABLE
180 E BROAD ST.
COLUMBUS, OH 43215
ZONE: HO/TI
FUTURE LAND USE: C
EXISTING LAND USE: RESTAURANT, SHOPPING CENTER

[3] TAX PARCEL ID: 30-1S-30-3102-000-000
OWNER: PORTAGE CPG FINANCE LLC
ADDRESS: 900 PARK AVE, STE 1600
NEW YORK, NY 10110-1502
ZONE: HO/TI
FUTURE LAND USE: C
EXISTING LAND USE: DEPARTMENT STORE

[4] TAX PARCEL ID: 30-1S-30-3104-000-002
OWNER: UNIVERSITY TOWN PLAZA LLC
ADDRESS: C/O WP GLIMCHER ACCOUNTS PAYABLE
180 E BROAD ST.
COLUMBUS, OH 43215
ZONE: HO/TI
FUTURE LAND USE: C
EXISTING LAND USE: DEPARTMENT STORE

[5] TAX PARCEL ID: 30-1S-30-4101-003-001
OWNER: RLJ SELECT HOTELS PROPERTIES LLC
ADDRESS: C/O PROPERTY TAX HOTEL
P.O. BOX A 3956
CHICAGO, IL 60690
ZONE: HO/TI
FUTURE LAND USE: C
EXISTING LAND USE: HOTEL/MOTEL

[5A] TAX PARCEL ID: 30-1S-30-3104-001-002
OWNER: RLJ SELECT HOTELS PROPERTIES LLC
ADDRESS: C/O PROPERTY TAX HOTEL
P.O. BOX A 3956
CHICAGO, IL 60690
ZONE: HO/TI
FUTURE LAND USE: C
EXISTING LAND USE: VACANT COMMERCIAL

[6] TAX PARCEL ID: 30-1S-30-4101-000-000
OWNER: LANDRUM FAMILY PARTNERSHIP LTD
ADDRESS: 6723 PLANTATION RD
PENSACOLA, FL 32504
ZONE: HO/TI
FUTURE LAND USE: C
EXISTING LAND USE: VACANT COMMERCIAL

[7] TAX PARCEL ID: 30-1S-30-4101-001-002
OWNER: LANDRUM FAMILY PARTNERSHIP LTD
ADDRESS: 6723 PLANTATION RD
PENSACOLA, FL 32504
ZONE: HO/TI
FUTURE LAND USE: C
EXISTING LAND USE: PARKING LOTS

[8] TAX PARCEL ID: 30-1S-30-4101-006-004
OWNER: FL FLORIDA, LLC
ADDRESS: 401 MISSION AVENUE, PMB 23602
PENSACOLA, FL 32501-2197
ZONE: HO/TI
FUTURE LAND USE: C
EXISTING LAND USE: WAREHOUSE, DISTRIBUTION

BASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions
440 W. MAIN ST., PENSACOLA, FL 32502 (850)438-9661
ENGINEERING BUSINESS: EB-0000240
Pensacola - Panama City Beach - Tallahassee - Mobile

LANDPLAN ENGINEERING GROUP, INC.
INNOVATION • SOLUTIONS • DESIGN
1475 N.W. 159th AVENUE - COPELA SPRINGS, FLORIDA 32071
TEL: (904) 212-9457 - E-MAIL: LPEG@bellsouth.net

DATE	REVISIONS
06-23-18	REV ACCESS
07-01-18	REV CURB LINE
07-11-18	REV BJ FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

DATE MAY 2019
SCALE AS NOTED
DESIGNED BY KPG
DRAWN BY RGG
CHECKED BY
FIELD BOOK

SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

PROPERTY INFORMATION

SHEET No. G-002

PROJECT No. 21015

KEITH P. GUTHRIE, P.E.
FL Reg. Engineer #47905

LEGEND:

- EXISTING WATER VALVE
- EXISTING WATER MAIN
- EXISTING GAS MAIN
- EXISTING SANITARY SEWER
- EXISTING SANITARY SEWER MANHOLE
- EXISTING CONTOUR LINE
- 112.50 FINISHED CONTOUR LINE
- NEW ASPHALT
- NEW CONCRETE
- DRAINAGE FLOW DIRECTION
- 6.67 FINISHED GRADE ELEVATION
- 6.67 CURB / 6.37 PVMT
- PARCEL LINE
- PROPERTY BOUNDARY
- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT
- SIGN

SITE DATA

SITE AREA: 14.13 AC (615, 503 SF)
JURISDICTION: ESCAMBIA COUNTY
EXISTING ZONING: HC/LI HEAVY COMMERCIAL/LIGHT INDUSTRY
FLU: HC/LI

SETBACK SUMMARY:

FRONT YARD = 15'
REAR YARD = 15'
SIDE YARD = 10'
MAX. BUILDING HEIGHT = 150'
MAXIMUM IMPERVIOUS LOT COVERAGE = 85%

EXISTING LOT COVERAGE

IMPERVIOUS AREA = 578,355 SF (13.28 AC)
PERVIOUS AREA = 37,148 SF (0.85 AC)

PROPOSED LOT COVERAGE

IMPERVIOUS AREA = 507,147 SF (11.64 AC) (82%)
PERVIOUS AREA = 108,356 (2.49 AC) (18%)

WETLANDS: NOT WETLANDS ON SITE

GENERAL NOTES:

1. THE CONTRACTOR IS CAUTIONED TO VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE PROJECT PRIOR TO BIDDING.
2. ELEVATIONS SHOWN ARE RELATIVE TO N.G.V.D. 88.
3. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE EXACT LOCATIONS AND DEPTHS OF ALL UTILITIES INCLUDING, BUT NOT LIMITED TO, WATER LINES, BURIED TELEPHONE LINES, BURIED ELECTRICAL LINES AND GAS MAINS PRIOR TO COMMENCEMENT OF CONSTRUCTION. CONTRACTOR IS TO COORDINATE WITH UTILITY COMPANIES FOR REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES, AERIAL LINES, BURIED CABLE AND OTHER UTILITIES.
4. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY CONFLICTS BETWEEN CONTRACT DOCUMENTS AND EXISTING CONDITIONS. THESE DRAWINGS REPRESENT KNOWN STRUCTURES AND UTILITIES LOCATED IN THE PROJECT AREA. THE CONTRACTOR IS CAUTIONED THAT OTHER STRUCTURES AND UTILITIES, ABOVE OR BELOW GROUND, MAY BE ENCOUNTERED DURING THE COURSE OF THE PROJECT. THE CONTRACTOR SHOULD NOTIFY THE UTILITY, THEN THE ENGINEER, IMMEDIATELY UPON ENCOUNTERING ANY UNEXPECTED STRUCTURE, UTILITY LINE, OR OTHER UNUSUAL CONDITION. EXISTING CONDITIONS ARE BASED ON SURVEYS BY BASKERVILLE-DONOVAN, INC.
5. CONTRACTOR SHALL SAFETY-BARRICADE ALL EXCAVATIONS AND OTHER HAZARDS.
6. CONTRACTOR SHALL PROVIDE ACCESS TO PROPERTIES ADJACENT TO THE CONSTRUCTION AREAS. ADEQUATE BARRICADES, CONSTRUCTION SIGNAGE AND OTHER TRAFFIC CONTROL DEVICES SHALL BE PROVIDED IN ACCORDANCE WITH FDOT CONSTRUCTION STANDARDS.
7. THE CONTRACTOR SHALL EMPLOY THE USE OF SILT FENCES, HAY BALES, DITCHES OR WHATEVER MEANS NECESSARY TO CONTROL EROSION AND SEDIMENTATION AT ALL TIMES. WATERS OF THE STATE, ADJACENT PROPERTIES, AND ANY NEW DRAINAGE CONSTRUCTION SHALL BE PROTECTED DURING THE CONSTRUCTION PERIOD. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND SHALL REMAIN UNTIL THE COMPLETION OF CONSTRUCTION AND APPROVAL BY THE OWNER.
8. ADEQUATE PROVISIONS SHALL BE MADE FOR THE FLOW OF SEWERS, DRAINS, WATER COURSES AND OTHER UTILITIES ENCOUNTERED DURING CONSTRUCTION.
9. ALL PAVEMENT OPTIONS SHALL BE NEW SP.
10. ALL TREES IN THE PROJECT AREA ARE TO REMAIN UNDAMAGED UNLESS NOTED FOR REMOVAL OR APPROVED BY THE ENGINEER.
11. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE CONFORM ELEVATIONS AND PLACES DRAINAGE FACILITIES, PIPES AND STRUCTURES SUCH AS CURBS, SIDEWALKS, OR OTHER IMPROVEMENTS ADJACENT AREA TO PROPER CONSTRUCTION GRADES, CONSISTENT WITH THE PLANS OR FDOT.
12. ALL NEW CONCRETE FOR SITE WORK SHALL ACHIEVE A 28 DAY STRENGTH OF 3000 P.S.I. (MIN.) UNLESS OTHERWISE SPECIFIED.
13. ALL TRAFFIC CONTROL SIGNS AND MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), FHWA, LATEST EDITION.
14. DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN-OFF FROM THE COUNTY.
15. PARTIAL SCREENING SHALL BE PROVIDED AT THE MULTI-TENANT SERVICE CORRIDORS.
16. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.
17. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHT-OF-WAY.
18. THE SUBJECT PARCEL FALLS WITHIN TIME TRAVEL CONTOURS OF A PROTECTED (POTABLE) WELLHEAD. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 595-6712) AGENCIES.

ESCAMBIA COUNTY NOTES:

1. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
2. THE DEVELOPER/CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURE MAY RESULT IN CODE ENFORCEMENT VIOLATION.
3. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD.
4. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, DRAINING ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
5. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850)595-3472. AS-BUILT CERTIFICATION is REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
6. [illegible] FURNISH CURBS 48 HOURS IN ADVANCE PRIOR TO POURING WITHIN R/W, [illegible]-452-4774.
7. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION.
8. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM THE PROJECT ENGINEER AND ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN COUNTY ACCEPTANCE OF IMPROVEMENTS.

ECUA UTILITY NOTES

1. ECUA WATER DISTRIBUTION AND WASTEWATER COLLECTION/TRANSMISSION CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ECUA ENGINEERING MANUAL.
2. CONTRACTOR SHALL NOTIFY THE ECUA INSPECTOR 48 HRS. IN ADVANCE WHEN HIS PRESENCE IS REQUIRED ON SITE.
3. CONTRACTOR SHALL NOTIFY THE ECUA INSPECTOR 72 HRS. IN ADVANCE OF A SCHEDULED SHUTDOWN/TIE-IN AFFECTING CUSTOMER WATER SERVICE. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL CUSTOMERS AFFECTED BY ANY SCHEDULED UTILITY OUTAGE.

FDOT NOTES

1. NO WORK WILL BE CONDUCTED WITHIN THE FDOT R/W WITHOUT FIRST SECURING PROPER PERMITS.
2. CONTRACTOR IS REQUIRED TO ADHERE TO ALL FDOT PERMITS ACQUIRED BY THE OWNER.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF TRAFFIC CONTROL ALONG R/W FOR ALL WORK CONDUCTED WITHIN COUNTY OR STATE R/W. TRAFFIC CONTROL SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. REFER TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LATEST EDITION OF FDOT DESIGN STANDARDS FOR TRAFFIC CONTROL THROUGH WORK ZONES (SERIES 600) FOR FURTHER GUIDANCE.

BASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions
413 W. MAIN ST., PENSACOLA, FL 32502 (850)438-9661
ENGINEERING BUSINESS EB-0000040
Pensacola · Panama City Beach · Tallahassee · Mobile

LANDPLAN ENGINEERING GROUP, INC.
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1472 NW 20th DRIVE - CORAL SPRINGS, FLORIDA 33071
TEL: (954) 979-6501 - E-MAIL: LPEG@holsinger.net

DATE	REVISIONS
06-21-18	REV ACCESS
07-01-18	REV CURB LINE
07-11-18	REV BJ FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

DATE MAY 2019
SCALE AS NOTED
DESIGNED BY KPG
DRAWN BY RGG
CHECKED BY
FIELD BOOK

CHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

GENERAL NOTES, LEGEND & SITE DATA

SHEET No. G-003
PROJECT No. 21015

KEITH P. GUTHRIE, P.E.
FL Reg. Engineer #47905

LEGEND:

- ASPHALT PAVEMENT
- CONCRETE
- SPECIAL PAVERS
- MILL & RESURFACE
- TRAFFIC FLOW

NOTE: REFER TO SITE PLAN FOR ADDITIONAL DETAILS

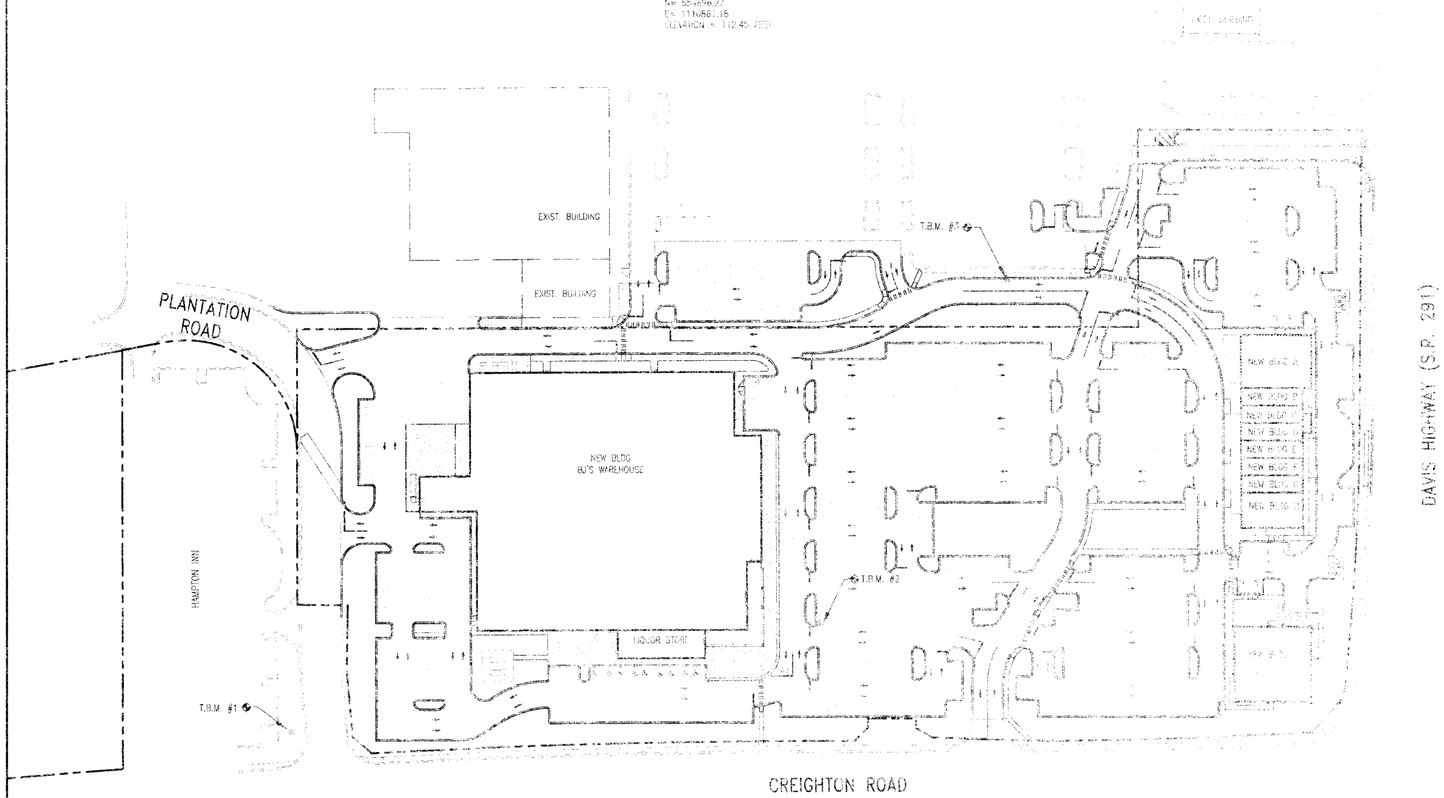
TEMPORARY BENCH MARK DATA

T.B.M. #1
TOP OF 1/2" CAPPED IRON ROD NO. 6349
N= 554424.76
E= 1110019.17
ELEVATION = 103.47 FEET

T.B.M. #2
TOP OF NAIL SET IN ASPHALT
N= 554518.23
E= 1111627.87
ELEVATION = 110.30 FEET

T.B.M. #3
TOP OF NAIL SET IN ASPHALT
N= 554646.27
E= 1110881.18
ELEVATION = 112.49 FEET

0 20' 60' 120'
SCALE: 1" = 60'



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Innovative Infrastructure Solutions
416 E. MAIN ST. PENSACOLA FL 32502 (850)438-9661
ENGINEERING BUSINESS: 00000340
Pensacola - Panama City Beach - Tallahassee - Mobile

LANDPLAN ENGINEERING GROUP, INC.
INNOVATION • SOLUTIONS • DESIGN
14701 N. DESOTO AVE. - CORAL SPRINGS, FLORIDA 33071
TEL: (954) 752-0001 - EMAIL: info@lpgroupinc.com

DATE	REVISIONS
06-23-18	REV. ACCESS
07-01-18	REV. CURB LINE
07-11-18	REV. BJ FOOT PRINT
07-11-18	ADD 14 PARKING SPACES

DATE MAY 2019
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SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

OVERALL PLAN

SHEET No. C-100

PROJECT No. 21015

KEITH P. GUTHRIE, P.E.
FL Reg. Engineer #47905

BASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions
449 W. MAIN ST., PENSACOLA, FL 32502 (850) 438-9661
ENGINEERING BUSINESS EB-0000349
Pensacola - Panama City Beach - Tallahassee - Mobile

LANDPLAN ENGINEERING GROUP, INC.
INNOVATION • SOLUTIONS • DESIGN
1475 N.W. 120th DRIVE - CORAL SPRINGS, FLORIDA 33071
TEL (954) 917-9651 - E-MAIL: LPG_99@HOTMAIL.COM

DATE	REVISIONS
06-21-18	REV ACCESS
07-01-18	REV CURB LINE
07-11-18	REV BJ FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

DATE MAY 2019
SCALE AS NOTED
DESIGNED BY KPG
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SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

EXISTING CONDITIONS PLAN

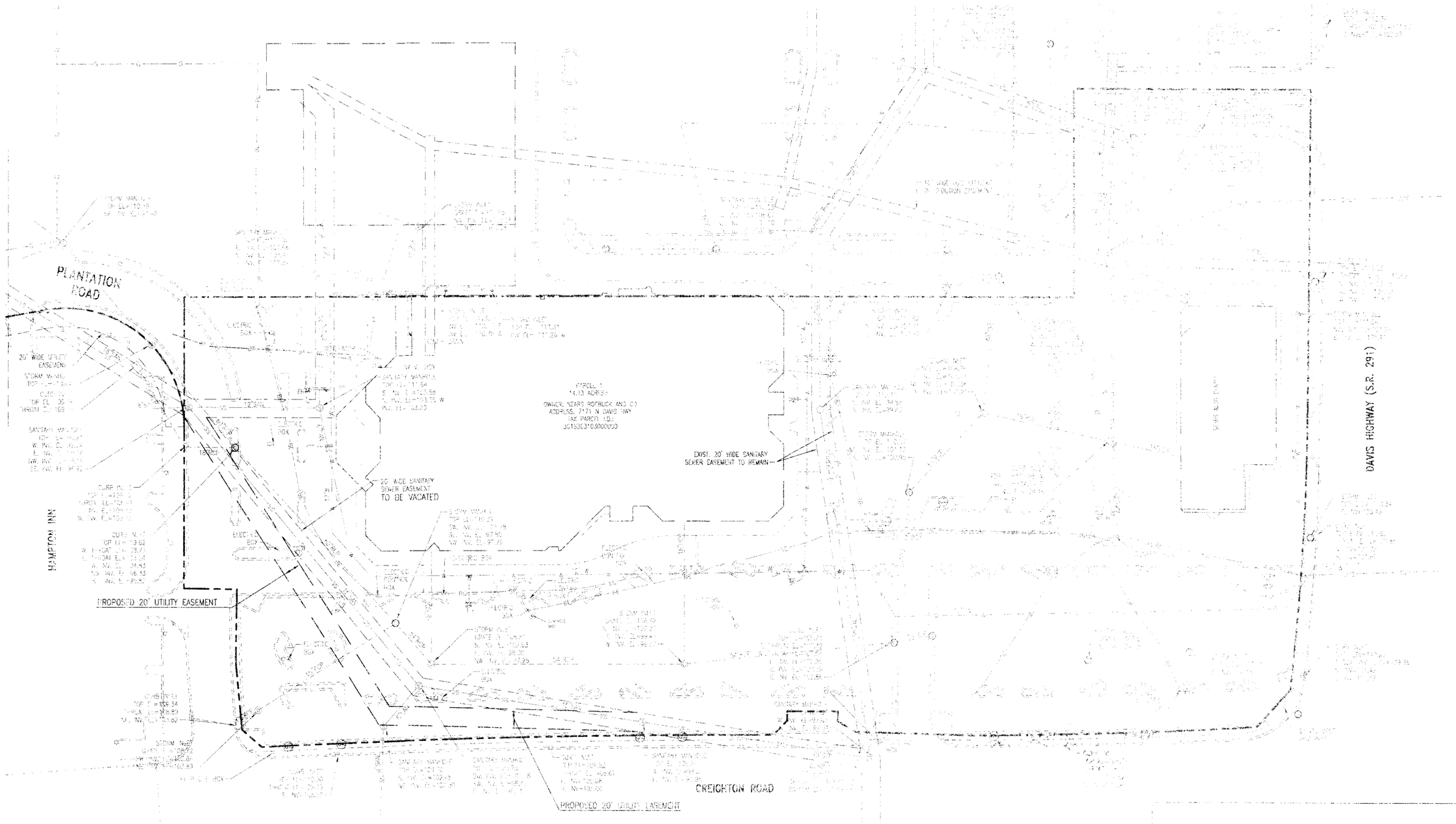
SHEET No. C-101
PROJECT No. 21015

KEITH P. GUTHRIE, P.E.
FL Reg. Engineer #47905

LEGEND:

EXISTING WATER VALVE	EXISTING FIRE HYDRANT
EXISTING WATER MAIN	EXISTING STORM DRAINAGE PIPES
EXISTING GAS MAIN	EXISTING STORM DRAINAGE STRUCTURE
EXISTING SANITARY SEWER	EXISTING BURIED TELEPHONE
EXISTING SANITARY SEWER MANHOLE	EXISTING BURIED ELECTRIC

SCALE: 1" = 50'



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Innovative Infrastructure Solutions

LANDPLAN ENGINEERING GROUP, INC.
INNOVATION • SOLUTIONS • DESIGN
1477 N.W. 42nd DRIVE - CORAL GABLES, FLORIDA 33071
TEL (954) 912-5651 - E-MAIL LPE-G@bellsouth.net

DATE	REVISIONS
06-23-18	REV ACCESS
07-01-18	REV CURB LINE
07-11-18	REV BJ FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

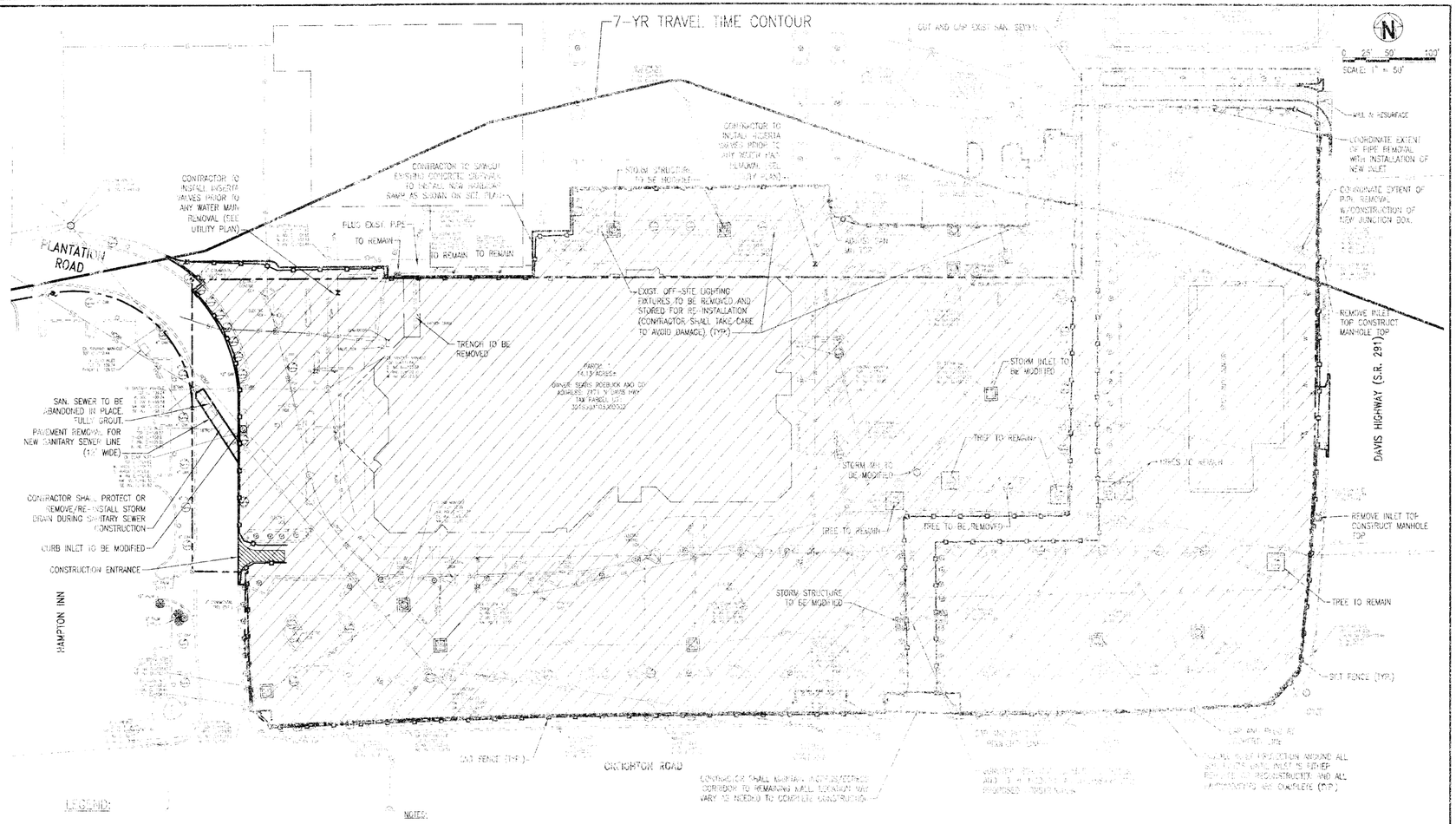
DATE MAY 2019
SCALE AS NOTED
DESIGNED BY KPG
DRAWN BY RGG
CHECKED BY
FIELD BOOK

SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

EXISTING UTILITY PLAN

SHEET No. C-102
PROJECT No. 21015

KEITH P. GUMMIE, P.E.
FL Reg. Engineer #47905



LEGEND:

- TRAVEL TIME CONTOUR
- EXISTING WATER VALVE
- EXISTING WATER MAIN
- EEXISTING STORM DRAINAGE STRUCTURE
- EXISTING SANITARY SEWER
- EXISTING SANITARY SEWER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING STORM DRAINAGE PIPES
- EXISTING BURIED TELEPHONE
- EXISTING BURIED ELECTRIC
- DEMOLITION AREA
- PROPERTY BOUNDARY
- SANITARY SEWER TO BE ABANDONED
- WATERMAIN TO BE REMOVED
- STORM DRAIN TO BE REMOVED
- SILT FENCE

NOTES:

1. CONTRACTOR IS REQUIRED TO PREPARE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR THIS PROJECT. THE NOTICE OF INTENT (NOI) AND PROPER FEES SHALL BE SUBMITTED TO FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. COPIES OF THIS NOTICE SHALL BE PROVIDED TO THE OWNER PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
2. NO SITE WORK ACTIVITIES SHALL TAKE PLACE WITHOUT COUNTY SITE REVIEW/APPROVAL OF PROPOSED EROSION CONTROL MEASURES AND ADVANCED NOTIFICATION OF THE REQUESTED INSPECTION IS REQUIRED.
3. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE SEDIMENT RUNOFF FROM THE SITE. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION. MAINTAIN EROSION CONTROL MEASURES, AND TAKE ALL NECESSARY MEASURES TO PREVENT THE TRANSPORT OF SEDIMENTS FROM THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
4. EROSION CONTROL MEASURES SHOWN ARE CONSIDERED THE MINIMUM NECESSARY MEASURES.
5. DISTURBED AND NON-DISTURBED AREAS SHALL BE WATERED REGULARLY TO PREVENT DUST.
6. CONTRACTOR SHALL UTILIZE A TEMPORARY CONSTRUCTION ENTRANCE (SEE DETAIL) TO PREVENT THE TRANSPORT OF SEDIMENTS FROM THE SITE.
7. CONTRACTOR WILL OBTAIN ALL NECESSARY PERMITS FOR LAND CLEARING AND BUILDING DEMOLITION PRIOR TO BEGINNING WORK.
8. CONTRACTOR SHALL ARRANGE/COORDINATE WITH ALL UTILITY COMPANIES TO IDENTIFY UTILITIES AND ARRANGE FOR SHUT-OFF/ DISCONNECT PRIOR TO DECOMMISSIONING. ALL UTILITIES SERVING THE BUILDING WILL BE REMOVED AND CAPPED OR SEALED AT THE PROPERTY LINE PRIOR TO BUILDING DEMOLITION.
9. BUILDING DEMOLITION SHALL INCLUDE ALL ABOVE AND BELOW GRADE IMPROVEMENTS LOCATED ON THE PROJECT SITE.
10. CONTRACTOR SHALL CONSULT WITH OWNER FOR ANY AVAILABLE ENVIRONMENTAL REPORTS REGARDING PROPERTY THAT COULD AFFECT DEMOLITION.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF TRAFFIC CONTROL ALONG R/W FOR ALL WORK CONDUCTED WITHIN COUNTY OR STATE R/W. TRAFFIC CONTROL SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES PER TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LATEST EDITION OF FDOT DESIGN STANDARDS FOR TRAFFIC CONTROL THROUGH WORK ZONE (SERIES 600) FOR FURTHER GUIDANCE.
12. SEE LANDSCAPE PLAN FOR TREE REMOVAL SUMMARY.
13. CONTRACTOR SHALL DEVELOP PLAN FOR REVIEW APPROVAL TO MAINTAIN WATER, SEWER & STORMWATER FLOW PRIOR TO START OF DEMOLITION OF THOSE UTILITIES.

BASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions
251 W. MAIN ST., PENSACOLA, FL 32502 (850)438-9661
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INNOVATION • SOLUTIONS • DESIGN
1470 W. HIGHWAY 20, LOCAL SERVICES, FLORIDA 32571
(850) 835-0051 • E-MAIL: LPEG@landplanengroup.net

DATE	REVISIONS
06-23-18	REV ACCESS
07-01-18	REV CURB LINE
07-11-18	REV (U) FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

DATE MAY 2019
SCALE AS NOTED
DESIGNED BY KPG
DRAWN BY RGG
CHECKED BY
FIELD BOOK

SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

DEMOLITION & EROSION CONTROL PLAN

SHEET No. C-103
PROJECT No. 21015

KEITH P. GUTHRIE, P.E.
FL Reg. Engineer #47905

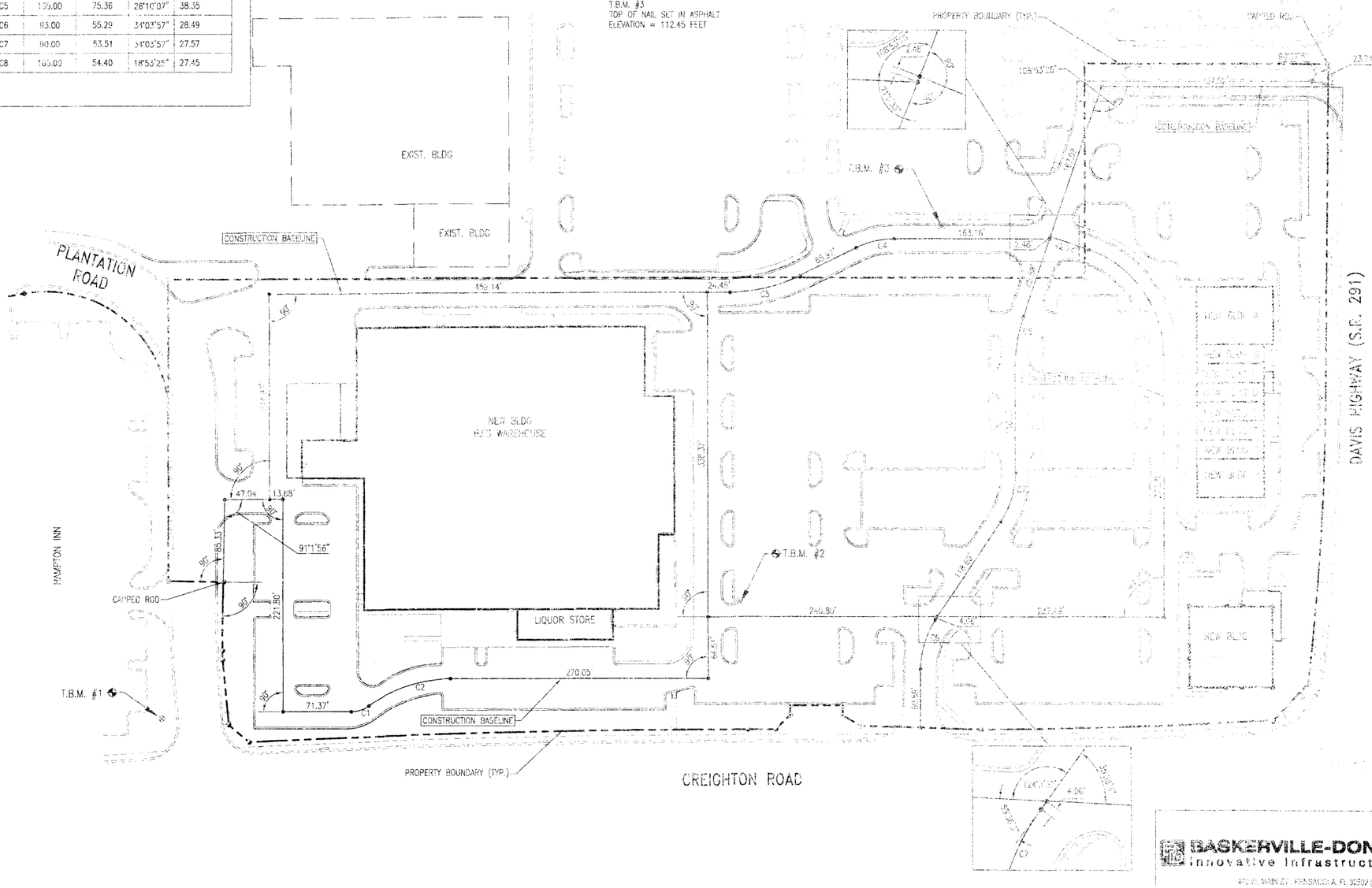
Curve Table				
Curve #	Radius (FT)	Length (FT)	Delta	Tangent (FT)
C1	30.15	19.67	37°20'54"	10.20
C2	145.00	91.40	36°06'55"	47.27
C3	115.00	142.73	71°06'35"	82.19
C4	60.00	41.11	26°10'07"	20.92
C5	135.00	75.36	26°10'07"	38.35
C6	93.00	55.29	34°03'57"	28.49
C7	90.00	53.51	34°03'57"	27.57
C8	105.00	54.40	18°53'25"	27.45

TEMPORARY BENCH MARK DATA

T.B.M. #1
TOP OF 1/2" CAPPED IRON ROD NO. 0340
ELEVATION = 109.47 FEET

T.B.M. #2
TOP OF NAIL SET IN ASPHALT
ELEVATION = 110.30 FEET

T.B.M. #3
TOP OF NAIL SET IN ASPHALT
ELEVATION = 112.45 FEET



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Innovative Infrastructure Solutions
416 W. MAIN ST. PENSACOLA, FL 32502 (850) 438-9661
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14794 W. 10th DRIVE - CEDAR SPRINGS, FLORIDA 32527
TEL: (1-844-1-TOPMAN) - E-MAIL: LPEG@earthlink.net

DATE	REVISIONS
06-25-18	REV ACCESS
07-01-18	REV CURB LINE
07-11-18	REV BJ FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

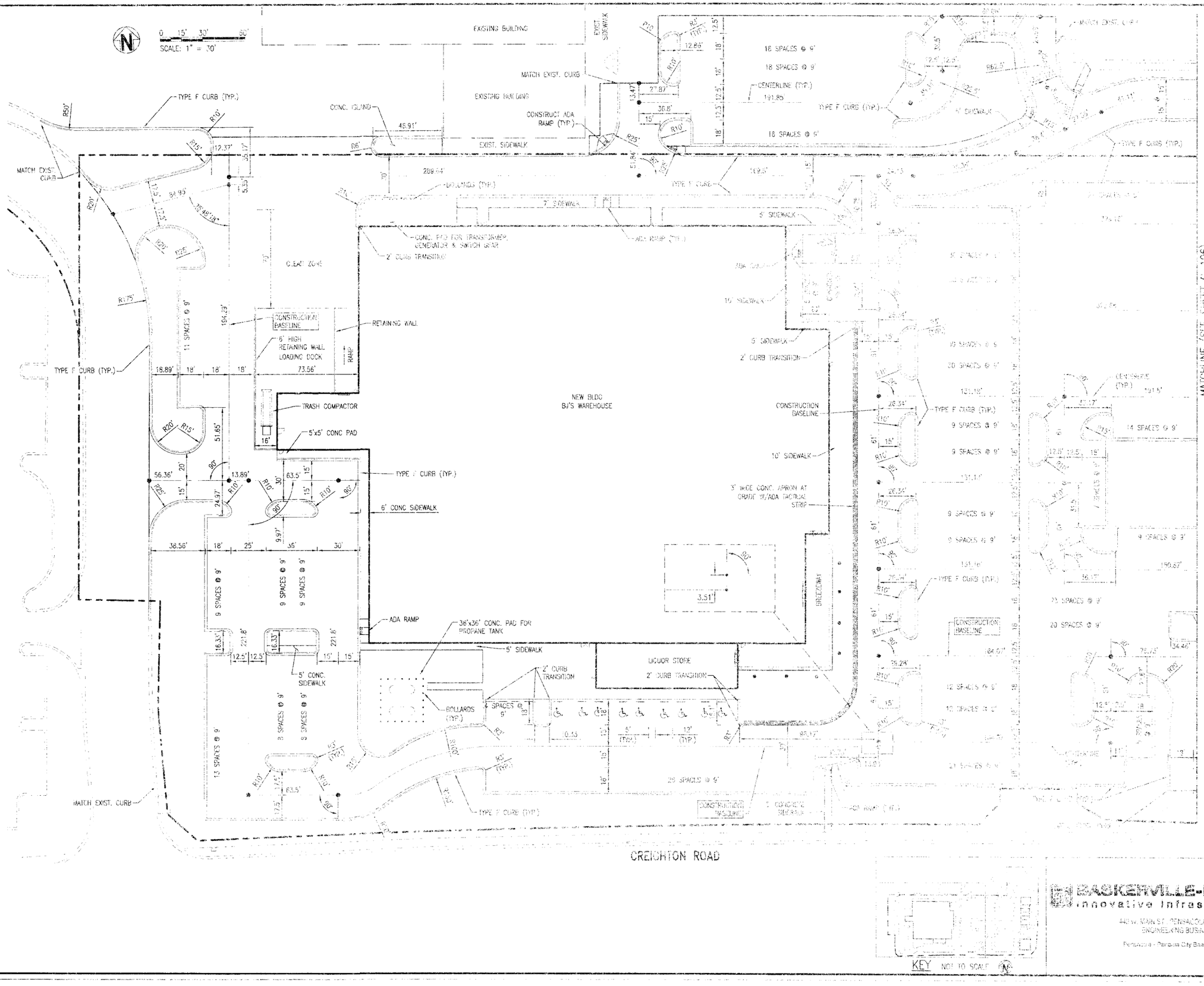
DATE MAY 2019
SCALE AS NOTED
DESIGNED BY KPG
DRAWN BY RGG
CHECKED BY
FIELD BOOK

SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

CONTROL PLAN

SHEET No. C-104
PROJECT No. 21015

KEITH P. RUTHRE, P.E.
FL Reg. Engineer #47905



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Innovative Infrastructure Solutions
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INNOVATION • SOLUTIONS • DESIGN
5475 N.W. 15th DRIVE - COTAL GIFFONS, FLORIDA 32071
TEL (904) 612-3695 - E-MAIL LPEG@comcast.net

DATE	REVISIONS
06-23-18	REV. ACCESS
07-01-18	REV. CURB LINE
07-11-18	REV. BJ FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

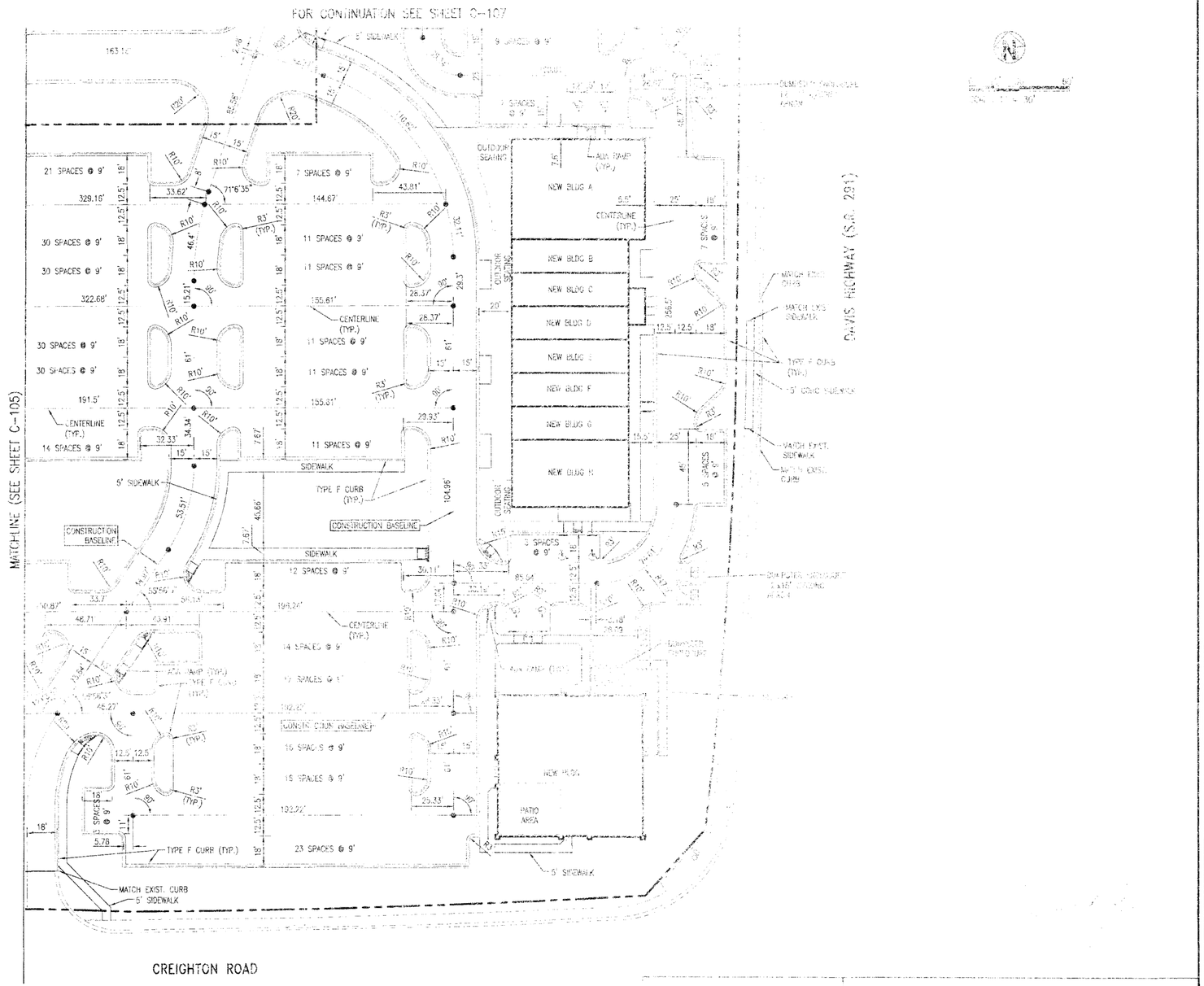
DATE MAY 2018
SCALE AS NOTED
DESIGNED BY KPG
DRAWN BY RGG
CHECKED BY
FIELD BOOK

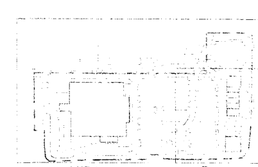
SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

STAKING PLAN

SHEET No. C-105
PROJECT No. 21015

KEITH P. GUTHRIE, P.E.
FL Reg. Engineer #47905





KEY NOT TO SCALE

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Innovative Infrastructure Solutions
403 W. MAIN ST., PENSACOLA, FL 32502 (850) 438-9661
ENGINEERING BUSINESS: EB-0000040
Pensacola • Panama City Beach • Tallahassee • Mobile

LANDPLAN ENGINEERING GROUP, INC.
INNOVATION • SOLUTIONS • DESIGN
1475 N.W. 79th DRIVE - CORAL SPRINGS, FL 33071-6027
TEL (954) 812-9551 - E-MAIL LPEG@landplan.net

DATE	REVISIONS
06-23-18	REV ACCESS
07-01-18	REV CURB LINE
07-11-18	REV 50' FOOT PRINT
07-11-18	ADD 14 PARKING SPACES

DATE MAY 2019
SCALE AS NOTED
DESIGNED BY KPG
DRAWN BY RGG
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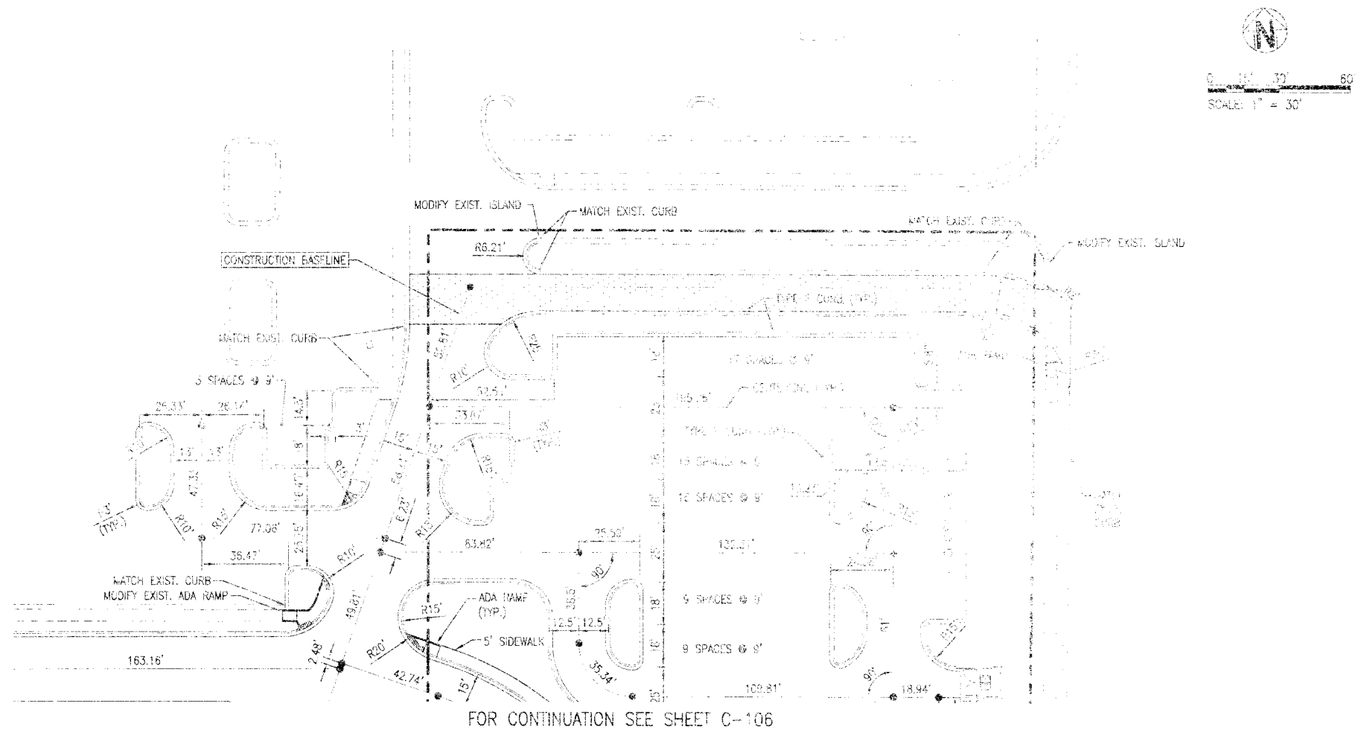
FIELD BOOK

SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

STAKING PLAN

SHEET No. C-106
PROJECT No. 21015

KEITH P. GUTHRIE, P.E.
FL Reg. Engineer #47905



FOR CONTINUATION SEE SHEET C-106

KEY

GASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions

LANDPLAN ENGINEERING GROUP, INC.
INNOVATION • SOLUTIONS • DESIGN
14751 N.W. 126th DRIVE - CORAL SPRINGS, FLORIDA 33071
TEL (954) 312-3651 - E-MAIL LPE@BellSouth.net

DATE	REVISIONS
06-23-18	REV ACCESS
07-01-18	REV CURB LINE
07-11-18	REV BJ FOOT PRINT
07-12-18	ADD 14 PARKING SPACES

DATE MAY 2019
SCALE AS NOTED
DESIGNED BY KPG
DRAWN BY RGG
CHECKED BY
FIELD BOOK

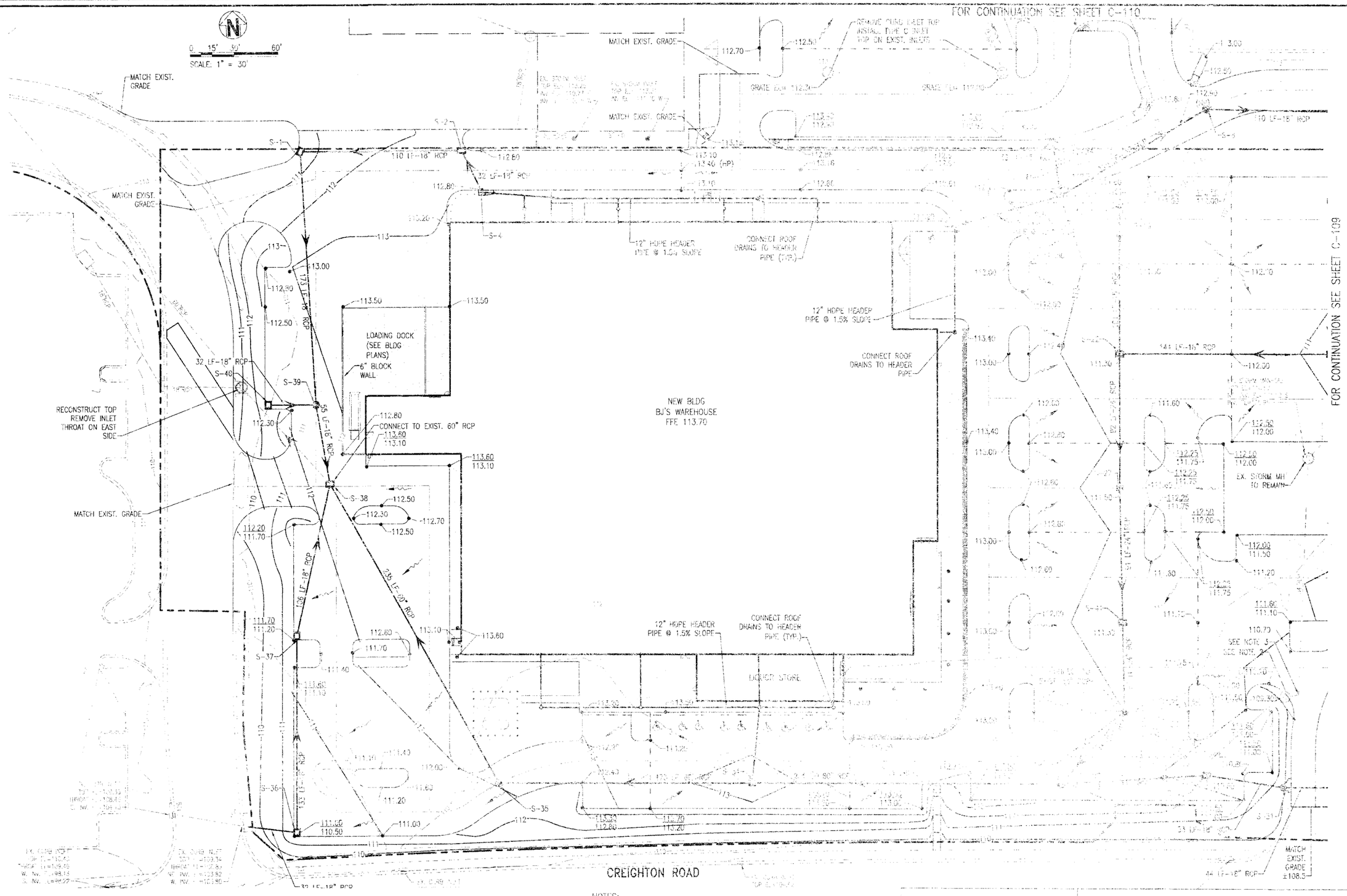
SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

STAKING PLAN

SHEET No. C-107

PROJECT No. 21015

KEITH P. GUTHRIE, P.E.
FL Reg. Engineer #47905

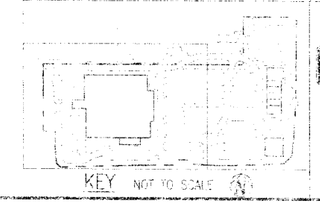


LEGEND:

EXISTING CONTOUR LINE	
FINISHED CONTOUR LINE	
STANDARD ASPHALT PAVEMENT SECTION	
HEAVY DUTY ASPHALT PAVEMENT SECTION	
NEW CONCRETE	
112.40	SPOT GRADES
TOP OF CURB	SPOT GRADES
EOP	SPOT GRADES
(TC)	TOP OF CURB
(HP)	HIGH POINT
(LP)	LOW POINT
	DRAINAGE FLOW DIRECTION
	GRADE BREAK

NOTES:

1. ALL ROOF DRAIN HEADER PIPES SHALL HAVE SMOOTH WALLED INTERIOR.
2. REMOVE INLET TOP PLACE FLAT 6" REINFORCED CONC. TOP OVER INLET.
3. INSTALL MANHOLE TOP/LID AT JUNCTION. TOP EL = 108.6±. MATCH PAVEMENT.



KEY NOT TO SCALE

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Innovative Infrastructure Solutions
416 W. MAIN ST., PENSACOLA, FL 32502 (850)433-9661
ENGINEERING BUSINESS EB-0000340
Pensacola • Panama City Beach • Tallahassee • Mobile

LANDPLAN ENGINEERING GROUP, INC.
INNOVATION • SOLUTIONS • DESIGN
1475 N.W. 103RD DRIVE, CORAL SPRINGS, FLORIDA 33071
TEL: (954) 972-5651 E-MAIL: LPEG@BELLSOUTH.NET

DATE	REVISIONS
06-27-18	REV ACCESS
07-01-18	REV CURB LINE
07-11-18	REV BJ FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

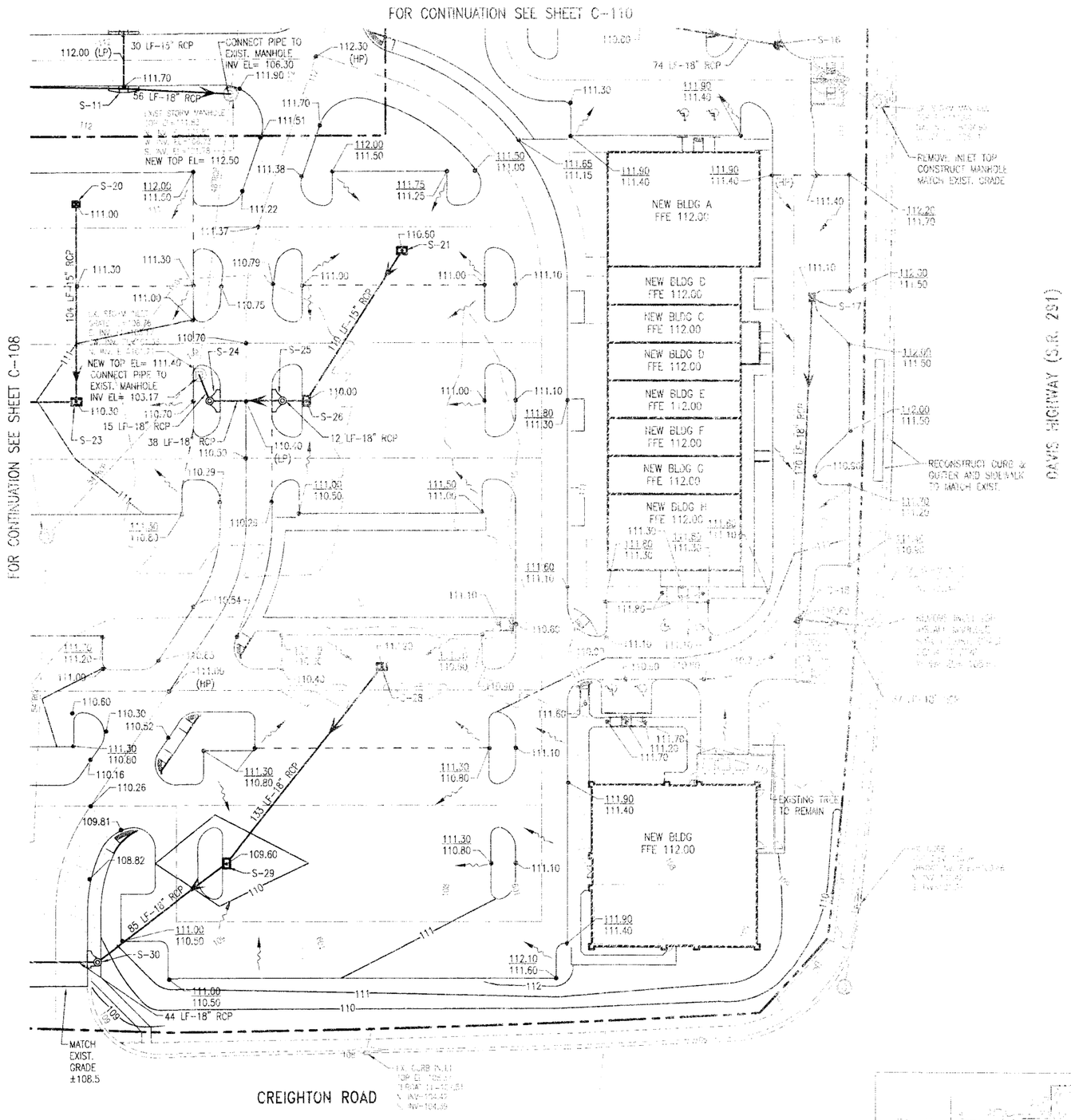
DATE MAY 2019
SCALE AS NOTED
DESIGNED BY KPG
DRAWN BY RGG
CHECKED BY
FIELD BOOK

SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

GRADING & DRAINAGE PLAN

SHEET No. C-108
PROJECT No. 21015

KEITH P. GUTHRIE, P.E.
FL Reg. Engineer #47905



SCALE: 1" = 30'

LEGEND:

- EXISTING CONTOUR LINE
- FINISHED CONTOUR LINE
- STANDARD ASPHALT PAVEMENT SECTION
- HEAVY DUTY ASPHALT PAVEMENT SECTION
- NEW CONCRETE
- DRAINAGE FLOW DIRECTION
- 112.40 / TOP OF CURB / EOP — SPOT GRADES
- GRADE BREAK
- (HP) HIGH POINT
- (LP) LOW POINT

LANDPLAN ENGINEERING GROUP, INC.
INNOVATION • SOLUTIONS • DELIVERY
14479 N.W. 129th DRIVE - CORAL SPRINGS, FLORIDA 33071
TEL (954) 812-9661 - E-MAIL LPEG@BellSouth.net

DATE	REVISIONS
06-21-18	REV ACCESS
07-01-18	REV CURB LINE
07-11-18	REV BJ FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

DATE MAY 2019
SCALE AS NOTED
DESIGNED BY KPG
DRAWN BY RGG
CHECKED BY
FIELD BOOK

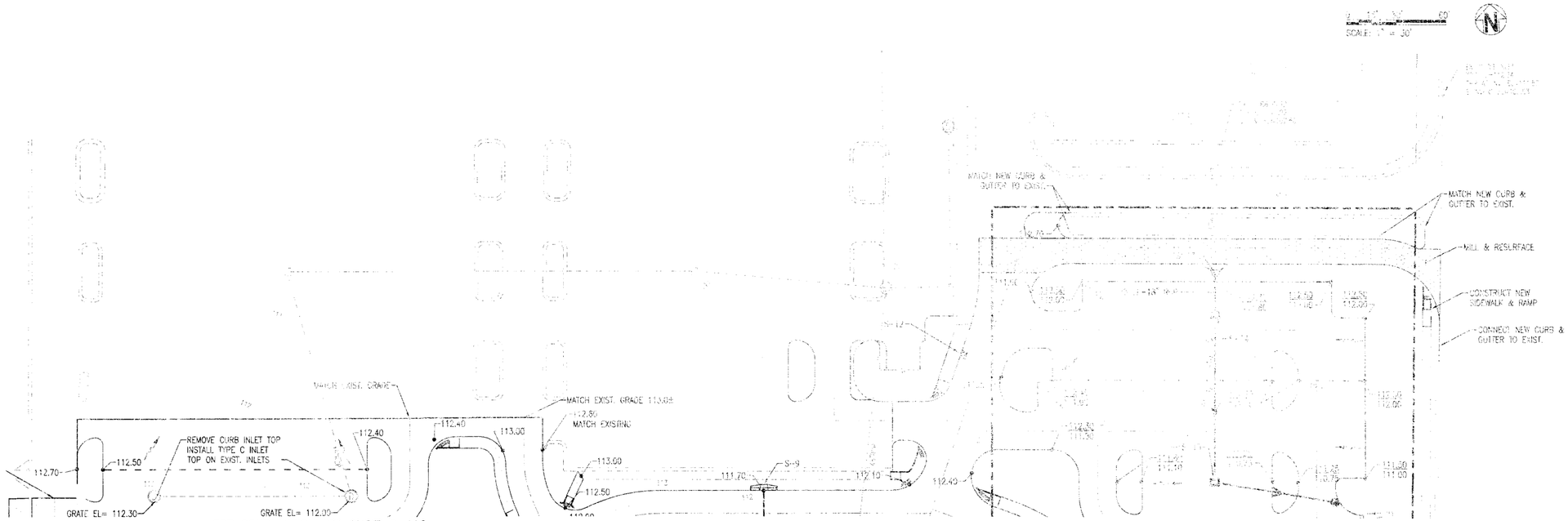
SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

GRADING & DRAINAGE PLAN

SHEET No. C-109

PROJECT No. 21015

BASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions
440 W. MAIN ST., PENSACOLA, FL 32502 (850) 438-9661
ENGINEERING BUSINESS: EB-0000340
Pensacola · Panama City Beach · Tallahassee · Mobile
KEITH P. GUTHRIE, P.E.
FL Reg. Engineer #47905



STORM STRUCTURE TABLE

S-1
FDOT TYPE E INLET
GRATE EL= 110.80
E INV EL= 105.75
S INV EL= 106.65

S-2
FDOT TYPE E INLET
GRATE EL= 112.70
SE INV EL= 107.35
W INV EL= 107.25

S-4
FDOT TYPE 5 CURB INLET
TOP EL= 113.16
NW INV EL= 107.5

S-5
FDOT TYPE 4 CURB INLET
TOP EL= 112.80
S INV EL= 107.58

S-7
FDOT TYPE 4 CURB INLET
TOP EL= 112.80
N INV EL= 107.50
E INV EL= 107.40
SW INV EL= 107.30

S-8
JUNCTION BOX
TOP EL= 112.80±
SW INV EL= 107.15
E INV EL= 107.05

S-9
FDOT TYPE 6 CURB INLET
TOP EL= 112.06
S INV EL= 106.90

S-11
FDOT TYPE 6 CURB INLET
TOP EL= 112.08
N INV EL= 106.80
W INV EL= 106.70
E INV EL= 106.60

S-12
FDOT TYPE C INLET
GRATE EL= 111.50
NW INV EL= 105.88 (EX)

S-13
FDOT TYPE 4 CURB INLET
TOP EL= 112.30
N INV EL= 107.40 (EX)
S INV EL= 107.20

S-14
FDOT TYPE E INLET
GRATE EL= 111.50
N INV EL= 106.92
S INV EL= 105.82

S-15
FDOT TYPE E INLET
GRATE EL= 110.60
N INV EL= 105.42
SE INV EL= 105.32

S-16
JUNCTION BOX
TOP EL= 111.00±
W INV EL= 104.02
SE INV EL= 103.92 (EX)

S-17
FDOT TYPE E INLET
GRATE EL= 111.10
S INV EL= 106.50

S-18
FDOT TYPE E INLET
GRATE EL= 110.50
N INV EL= 105.86
E INV EL= 105.76

S-19
FDOT TYPE C INLET
GRATE EL= 111.10
INV EL= 107.1

S-20
FDOT TYPE C INLET
GRATE EL= 111.00
INV EL= 107.00

S-21
FDOT TYPE E INLET
GRATE EL= 110.60
INV EL= 105.50

S-22
FDOT TYPE E INLET
GRATE EL= 111.30
S INV EL= 105.00
N INV EL= 106.54
E INV EL= 105.03

S-23
FDOT TYPE E INLET
GRATE EL= 110.30
N INV EL= 106.49
W INV EL= 106.25

S-24
FDOT TYPE 4 INLET
TOP EL= 110.50
E INV EL= 104.07
NW EL= 103.97

S-25
FDOT TYPE 4 INLET
TOP EL= 110.50
E INV EL= 104.31
W INV EL= 104.21

S-26
FDOT TYPE E INLET
GRATE EL= 110.00
NE INV EL= 104.75
W INV EL= 104.45

S-27
FDOT TYPE C INLET
GRATE EL= 111.00
N INV EL= 104.55
S INV EL= 104.45

S-28
FDOT TYPE E INLET
GRATE EL= 110.20
SW INV EL= 100.00

S-29
FDOT TYPE E INLET
GRATE EL= 109.60
NE INV EL= 105.33
SW INV EL= 105.23

S-30
FDOT TYPE 3 CURB INLET
TOP EL= 109.00
NE INV EL= 104.81
W INV EL= 104.71

S-31
FDOT TYPE 3 CURB INLET
TOP EL= 109.00
E INV EL= 104.56
W INV EL= 104.46

S-32
JUNCTION BOX
TOP EL= 112.00
E INV EL= 99.93 (EX)
N INV EL= 103.50
SW INV EL= 99.83

S-33
JUNCTION BOX
TOP EL= 112.08
W INV EL= 99.50
E INV EL= 103.13
NE INV EL= 99.60

S-34
FDOT TYPE C INLET
W/O BOTTOM
GRATE EL= 112.30
W INV EL= 98.62
E INV EL= 98.52

S-35
JUNCTION BOX
TOP EL= 112.00
N INV EL= 97.56
E INV EL= 97.66

S-36
FDOT TYPE D INLET
GRATE EL= 110.50
W INV EL= 103.60
N INV EL= 103.50

S-37
FDOT TYPE D INLET
GRATE EL= 111.20
NE INV EL= 102.74
S INV EL= 102.84

S-38
FDOT TYPE E INLET
W/O BOTT
GRATE EL= 112.20
NW INV EL= 96.43 (EX)
N INV EL= 105.48
SE INV EL= 96.53
SW INV EL= 102.20

S-39
JUNCTION BOX
TOP EL= 112.60±
N INV EL= 105.85
S INV EL= 105.75
W INV EL= 107.00

S-40
FDOT TYPE C INLET
GRATE EL= 112.00
E INV EL= 109.00

S-41
FDOT TYPE C INLET
GRATE EL= 111.30
N INV EL= 106.00
S INV EL= 103.90

S-42
FDOT TYPE E INLET
GRATE EL= 110.00
SE INV EL= 104.03
W INV EL= 103.93

NOTES:

1. ALL CURB CUT RAMPS SHALL MEET ADA REQUIREMENTS.
2. ALL HANDICAP PARKING SHALL HAVE MAX. 2% GRADE IN ANY DIRECTION.
3. ALL MANHOLE TOPS SHALL BE ADJUSTED TO MATCH FINISHED GRADE.
4. TYPE 4 CURB INLETS - TOP ELEVATION IS CENTER OF M.P. LID ASSUMING 2% SLOPE TOWARDS THE CURB.

LEGEND:

- 111 — EXISTING CONTOUR LINE
- 112 — FINISHED CONTOUR LINE
- STANDARD ASPHALT PAVEMENT SECTION
- HEAVY DUTY ASPHALT PAVEMENT SECTION
- NEW CONCRETE
- MILL & RESURFACE
- DRAINAGE FLOW DIRECTION
- 112.40 / TOP OF CURB 10F — SPOT GRADES
- GRADE BREAK
- (HP) HIGH POINT
- (LP) LOW POINT

KEY NOT TO SCALE

BROWNSVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions
145 W. MAIN ST. PENSACOLA, FL 32502 (850)438-6661
LICENSE # NO 8 (NUSS) 99-000349
Pensacola • Panama City Beach • Tallahassee • Mobile

LANDPLAN ENGINEERING GROUP, INC.
INNOVATION • SOLUTION • BE-16A
145 S.A. 200 DRIVE - CORAL SPRINGS, FL 33071
TEL (954) 812-9401 - E-MAIL LPEG@bellsouth.net

DATE	REVISIONS
06-2-18	REV ACCESS
07-0-18	REV CURB LINE
07-1-18	REV SQ FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

DATE MAY 2019
SCALE AS NOTED
DESIGNED BY KPG
DRAWN BY RGG
CHECKED BY
FIELD BOOK

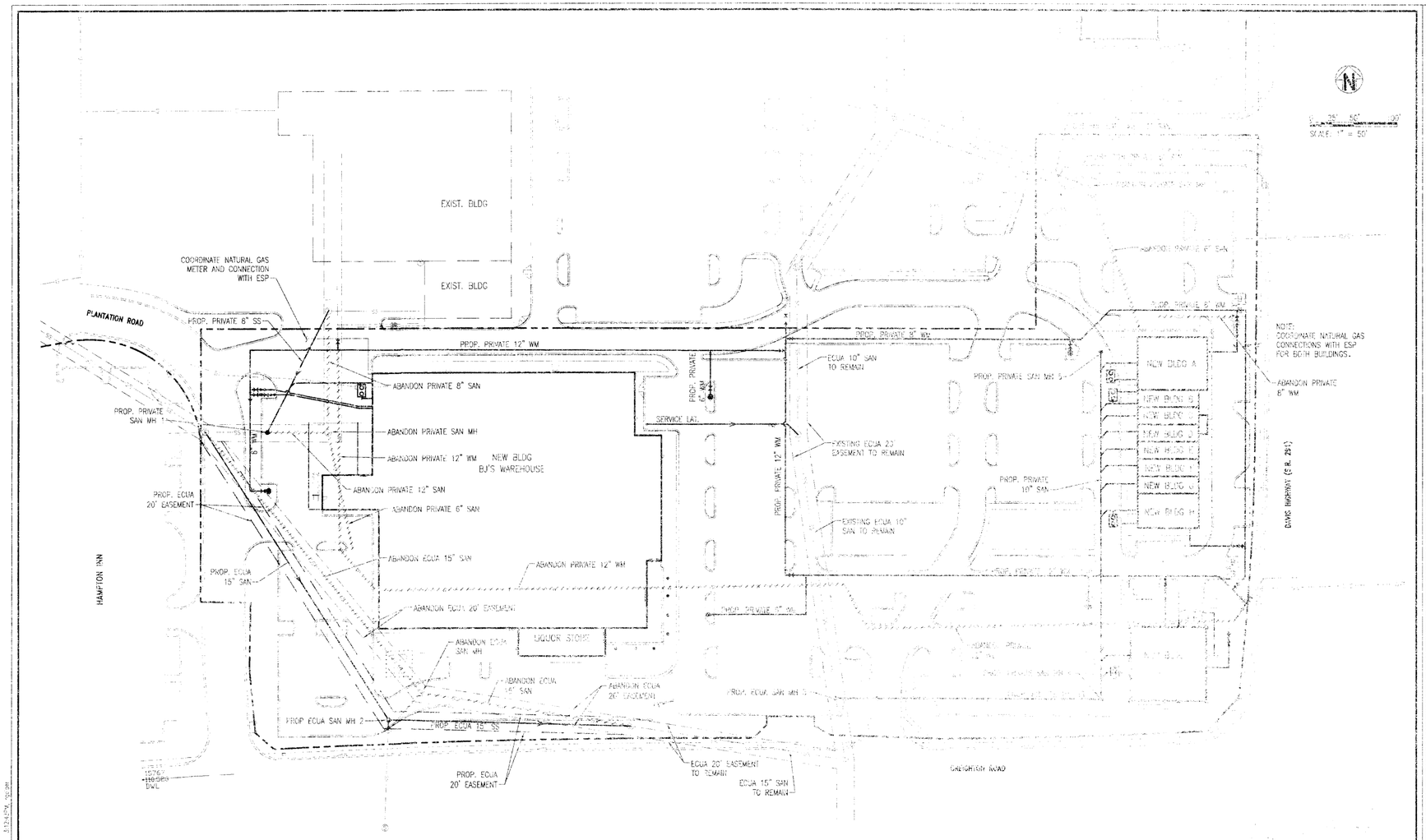
SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

GRADING & DRAINAGE PLAN

SHEET No. C-110

PROJECT No. 21015

KEIN P. GUMBS, P.E.
FL Reg. Engineer #47905



NOTES:

1. ECUA MAINTAINS ONLY WATER METER. ALL OTHER PORTIONS OF WATER SYSTEM ARE PRIVATE.
2. ECUA ONLY MAINTAINS THE PORTION OF SANITARY SEWER WITHIN THEIR EASEMENT.

NOTE:

THE ENGINEER OF RECORD HAS REVIEWED THE PROPOSED 15" GRAVITY SEWER MAIN RELOCATION. THE PROPOSED SEWER MAIN IS SLOPED AT 0.13%, WHICH IS LESS THAN THE RECOMMENDED 0.15% MINIMUM. HOWEVER, THE PROPOSED SLOPE IS GREATER THAN THE AVERAGE EXISTING SLOPE OF THE CURRENT SEWER MAIN. THE PROPOSED PDV REPLACEMENT SEWER PIPE HAS A MANNING'S COEFFICIENT OF 0.010, RESULTING IN A FULL FLOW VELOCITY OF 3.53 FT/SEC WHICH IS GREATER THAN THE RECOMMENDED 2.0 FT/SEC MINIMUM. THIS RELOCATION, AS DESIGNED, WILL HAVE NO ADVERSE AFFECTS ON THE EXISTING SEWER SYSTEM AND WILL PROVIDE IMPROVED FLOW CHARACTERISTICS FOR THIS SEGMENT OF SANITARY SEWER MAIN. THIS RELOCATION MEETS THE INTENT OF THE STANDARD REQUIREMENTS FOR SANITARY SEWER DESIGN.

BASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions
416 W. MAIN ST. PENSACOLA, FL 32502 850/432-9661
ENGINEERING BUSINESS EB-0000340
Pensacola • Panama City Beach • Tallahassee • Atlanta

LANDPLAN ENGINEERING GROUP, INC.
INNOVATIONS • SOLUTIONS • DESIGN
1375 NW 100th GROVE - POSTAL OFFICE, FLORIDA 32071
TEL (904) 472-9401 - E-MAIL LPEG@landplan.net

DATE	REVISIONS
06-22-18	REV. ACCESS
07-01-18	REV. CURB LINE
07-11-18	REV. BJ FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

DATE MAY 2019
SCALE AS NOTED
DESIGNED BY KPG
DRAWN BY RCG
CHECKED BY
FIELD BOOK

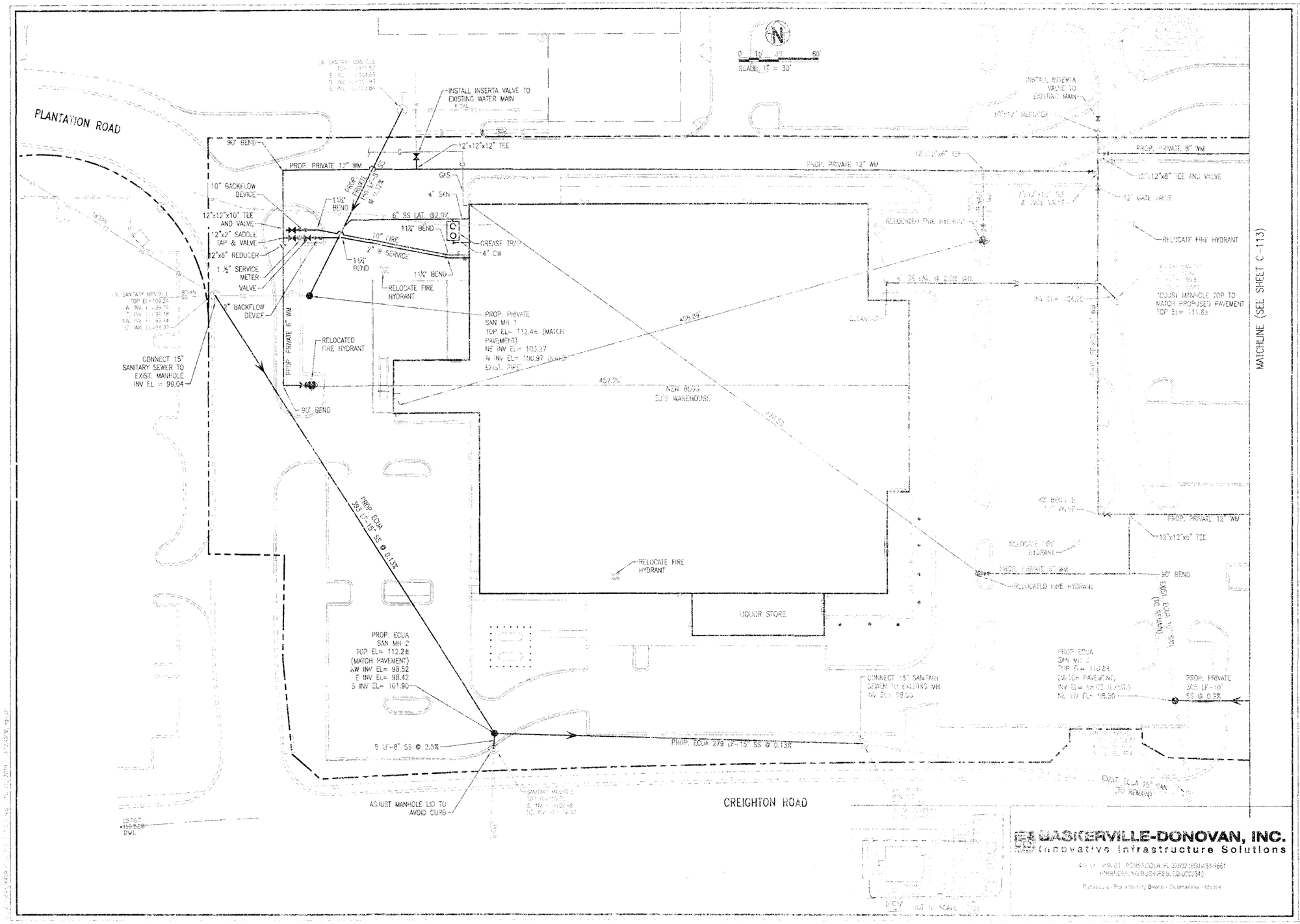
SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

OVERALL UTILITY PLAN

SHEET No. C-111

PROJECT No. 21015

KEITH P. GUIRE, P.E.
FL Reg. Engineer #47905



LANDPLAN ENGINEERING GROUP, INC.
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1175 N.W. 126th DRIVE - CORAL SPRINGS, FLORIDA 33071
TEL (954) 612-5601 - E-MAIL LPEG@bellsouth.net

DATE	REVISIONS
06-23-18	REV ACCESS
07-31-18	REV CURB LINE
07-11-18	REV EX FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

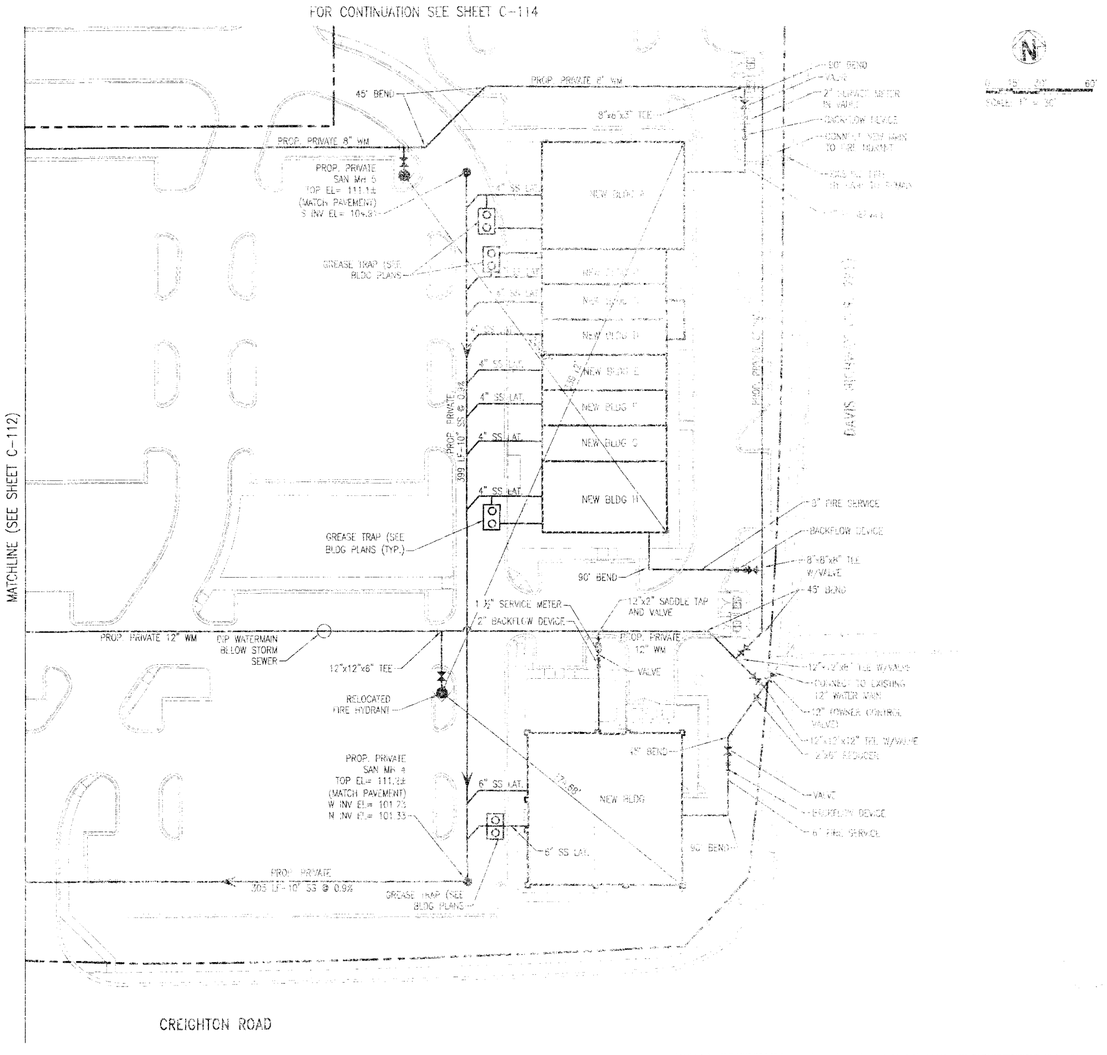
DATE MAY 2019
SCALE AS NOTED
DESIGNED BY KPG
DRAWN BY RGG
CHECKED BY
FIELD BOOK

SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

UTILITY PLAN

SHEET No. C-112
PROJECT No. 21015

KEITH P. GUIDRY, P.E.
FL Reg. Engineer #47505



BASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions
448 W. WINN ST., PENSACOLA, FL 32502 (850)435-9561
ENGINEERING BUSINESS: EB 0000340
Pensacola • Panama City Beach • Tallahassee • Mobile

LANDPLAN ENGINEERING GROUP, INC.
INNOVATION • COLLABORATION • DESIGN
1425 N.W. 13th DRIVE, CORAL SPRINGS, FLORIDA 33071
TEL: (954) 972-5661 - EMAIL: LPEG@landplan.net

DATE	REVISIONS
06-23-18	REV ACCESS
07-01-18	REV CURB LINE
07-11-18	REV BJ FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

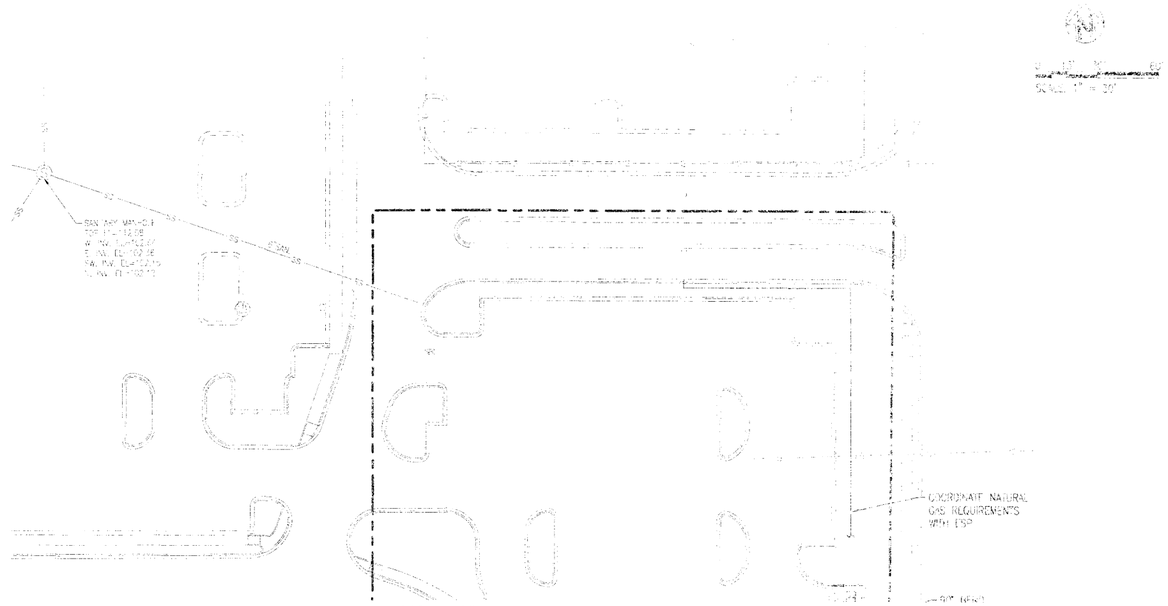
DATE MAY 2019
SCALE AS NOTED
DESIGNED BY KPG
DRAWN BY RGC
CHECKED BY
FIELD BOOK

SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY FLORIDA

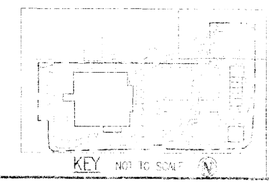
UTILITY PLAN

SHEET No. C-113
PROJECT No. 21015

KEITH P. GUTHRIE, P.E.
FL Reg. Engineer #47905



FOR CONTINUATION SEE SHEET C-113



BASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions
418 W. MAIN ST., PENSACOLA, FL 32502 (850) 432-9661
ENGINEERING BUSINESS: 26-0000340
Pensacola - Panama City Beach - Tallahassee - Mobile

LANDPLAN ENGINEERING GROUP, INC.
INNOVATION • SOLUTIONS • DESIGN
4475 N.W. 120th DRIVE - CORAL SPRINGS, FLORIDA 33071
TEL: (954) 752-5551 - E.MAIL: LPEG@earthlink.net

DATE	REVISIONS
06-21-18	REV. ACCESS
07-01-18	REV. CURB LINE
07-11-18	REV. BLDG FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

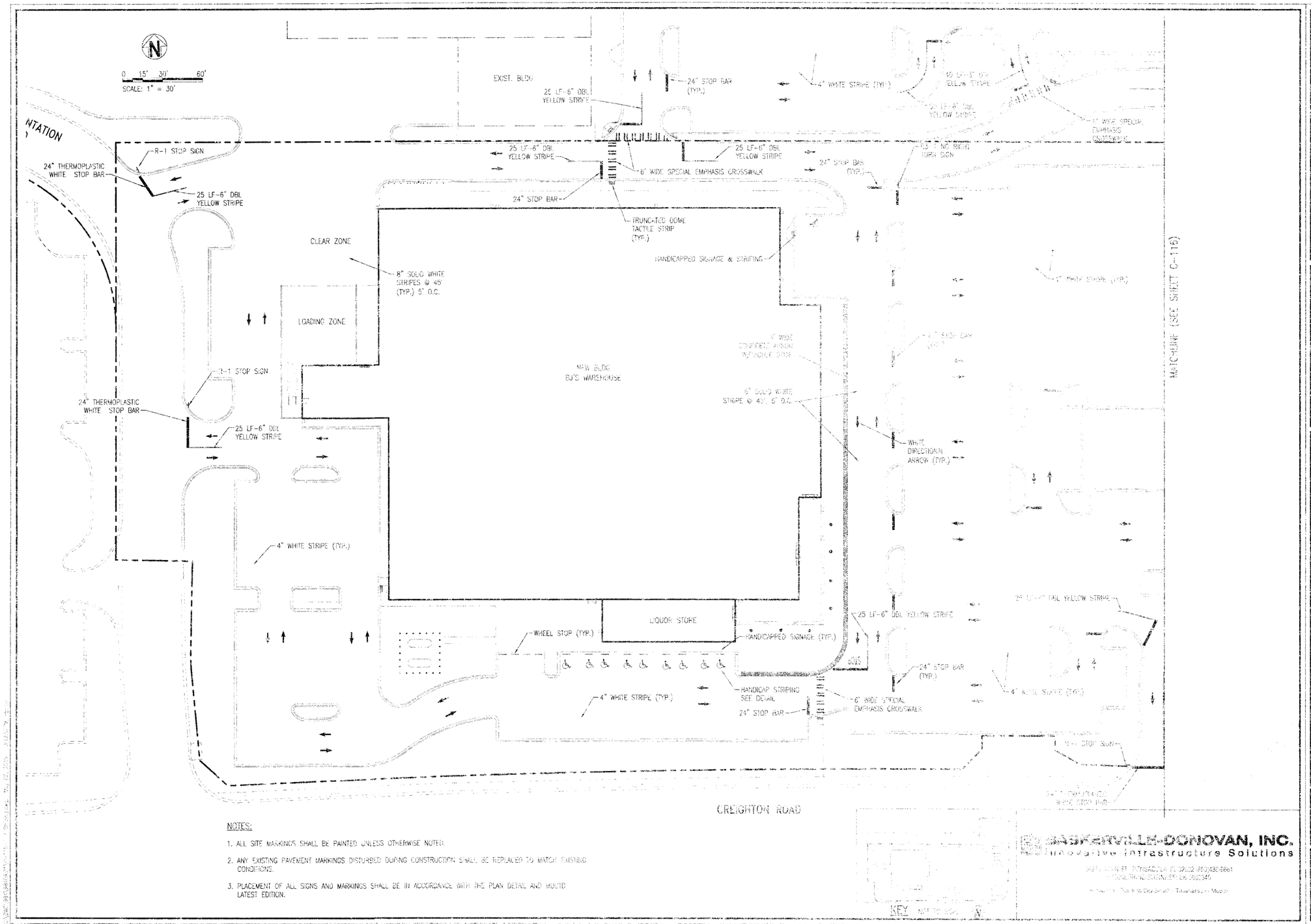
DATE MAY 2019
SCALE AS NOTED
DESIGNED BY KPG
DRAWN BY RGG
CHECKED BY
FIELD BOOK

SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

UTILITY PLAN

SHEET No. C-114
PROJECT No. 21015

KEITH P. GUTHRIE, P.E.
FL Reg. Engineer #47905



NOTES:

1. ALL SITE MARKINGS SHALL BE PAINTED UNLESS OTHERWISE NOTED.
2. ANY EXISTING PAVEMENT MARKINGS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED TO MATCH EXISTING CONDITIONS.
3. PLACEMENT OF ALL SIGNS AND MARKINGS SHALL BE IN ACCORDANCE WITH THE PLAN DETAIL AND MUTCD LATEST EDITION.

KEY

BASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions

LANDPLAN ENGINEERING GROUP, INC.
INNOVATION • SOLUTIONS • DESIGN
1475 N.A. 17th AVENUE • CORAL GABLES, FLORIDA 33071
TEL (305) 642-3651 • E-MAIL LPE@landplanenc.com

DATE	REVISIONS
06-23-13	REV. ACCESS
07-01-18	REV. CURB LINE
07-11-18	REV. BJ FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

DATE MAY 2019
SCALE AS NOTED
DESIGNED BY KPG
DRAWN BY RGG
CHECKED BY
FIELD BOOK

SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

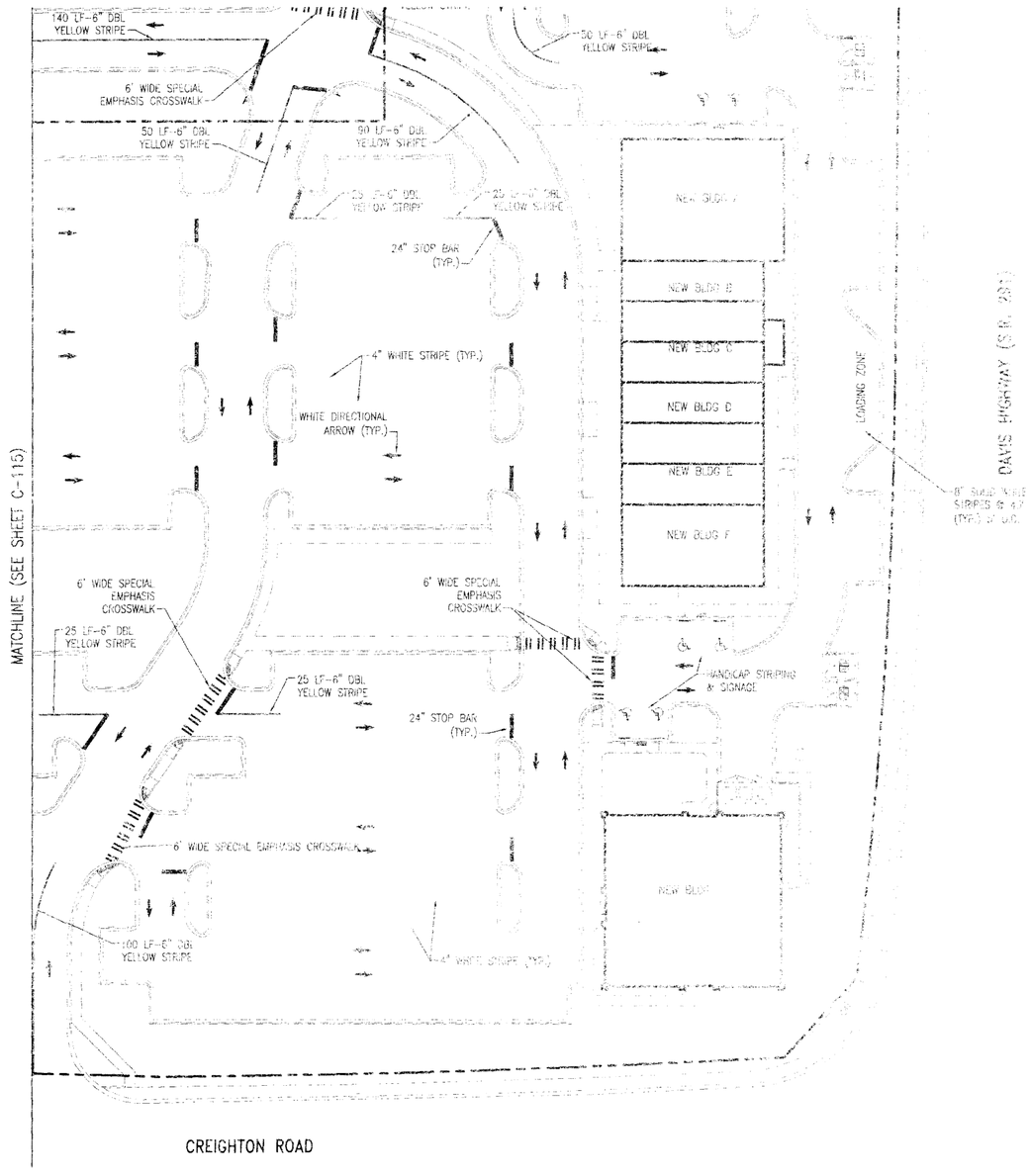
STRIPING & SIGNAGE PLAN

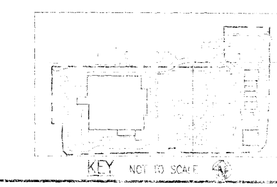
SHEET No. C-115

PROJECT No. 21015

KEITH P. GUTHRIE, P.E.
FL Reg. Engineer #47905

FOR CONTINUATION SEE SHEET C-117





BASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions
44 W. MAIN ST. PENSACOLA, FL 32502 (850) 438-9661
ENGINEERING BUSINESS: EB-0000340
Pensacola · Panama City Beach · Tallahassee · Mobile

LANDPLAN ENGINEERING GROUP, INC.
INNOVATION • SOLUTIONS • DESIGN
54 SHAW TERRACE - CEDAR SPRINGS FLORIDA 34201
TEL (941) 778-5511 - EMAIL LPEG@NEPLUS.NET

DATE	REVISIONS
06-23-18	REV ACCESS
07-01-18	REV CURB LINE
07-11-18	REV BJ FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

DATE MAY 2019
SCALE AS NOTED
DESIGNED BY KPG
DRAWN BY RCC
CHECKED BY
FIELD BOOK

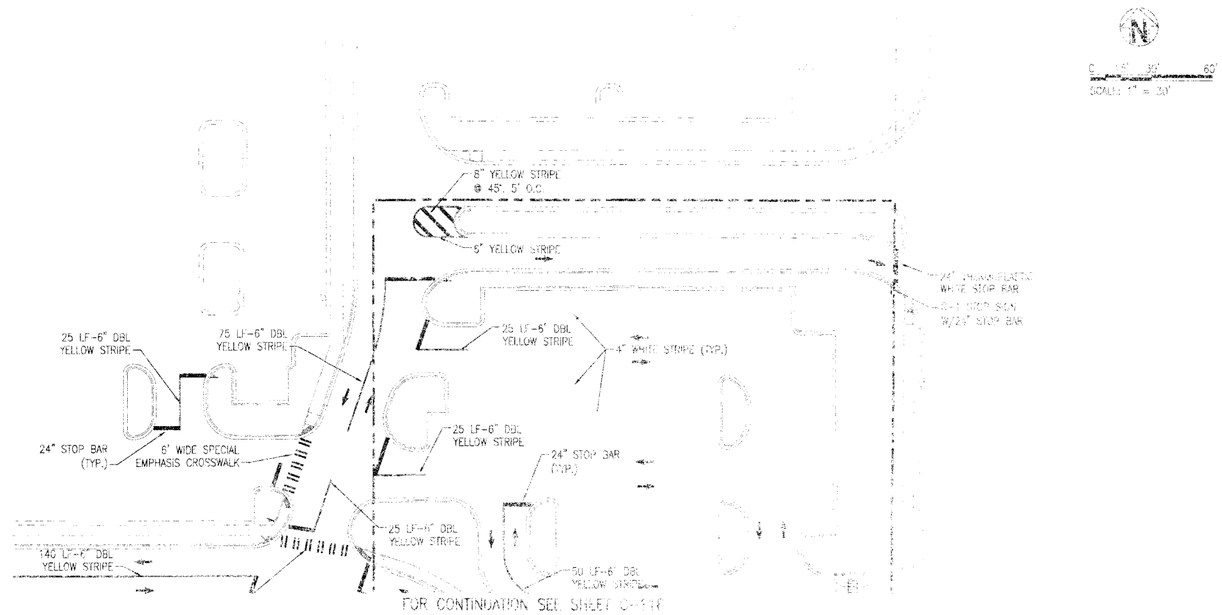
SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

STRIPING & SIGNAGE PLAN

SHEET No. C-116

PROJECT No. 21015

KEITH P. GUMBEL, P.E.
FL Reg. Engineer #47905



SCALE: 1" = 30'

KEY MAP TO SCALE

BASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions

LANDPLAN ENGINEERING GROUP, INC.
INNOVATION • SOLUTIONS • DESIGN

DATE	REVISIONS
06-23-18	REV ACCESS
07-01-18	REV CURB LINE
07-11-18	REV BJ FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

DATE MAY 2019
SCALE AS NOTED
DESIGNED BY KPG
DRAWN BY RGG
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FIELD BOOK

SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

STRIPING & SIGNAGE PLAN

SHEET No. C-117
PROJECT No. 21015

KEITH P. GATRIS, P.E.
FL Reg. Engineer #47905

ECUA ENGINEERING MANUAL INCORPORATED BY REFERENCE

THE ECUA ENGINEERING MANUAL, DATED DECEMBER 18, 2014, ALONG WITH UPDATE #1 DATED SEPTEMBER 1, 2016 (HEREINAFTER "MANUAL"), LOCATED AT www.ecua.fl/gov, IS HEREBY INCORPORATED BY REFERENCE INTO THIS PROJECT'S OFFICIAL CONTRACT DOCUMENTS AS IF FULLY SET FORTH THEREIN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE KNOWLEDGEABLE OF THE MANUAL'S CONTENTS AND TO CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE MANUAL. THE CONTRACTOR SHALL PROVIDE ITS EMPLOYEES ACCESS TO THE MANUAL AT ALL TIMES, VIA PROJECT SITE OR OFFICE, VIA DIGITAL OR PAPER FORMAT. IN THE EVENT OF A CONFLICT BETWEEN THE MANUAL AND PLANS, CONTRACTOR SHALL CONSULT ENGINEER OF RECORD FOR PROPER RESOLUTION.

PLEASE REFER TO ECUA DETAILS IN THE MANUAL FOR CONSTRUCTION DETAILS.

SEWER ABANDONMENT

1. ALL SEWER PIPE AND STRUCTURES ABANDONED IN PLACE SHALL BE CAPPED OR PLUGGED PRIOR TO GROUT PLACEMENT
2. GROUT (FLOWABLE FILL) SHALL MEET SPECIFICATIONS OF FDOT SECTION 121 FLOWABLE FILL.
3. MANHOLES SHALL BE DEMOLISHED A MINIMUM OF 4 FEET BELOW FINISHED GRADE AND SHALL NOT CONFLICT WITH ANY PROPOSED IMPROVEMENTS
4. ALL ABANDONED SEWERS SHALL BE COMPLETELY FILLED WITH FLOWABLE FILL

BASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions
440 S. MAIN ST., PENSACOLA, FL 32502 (850) 436-9661
ENGINEERING BUSINESS: ER-0000340
Pensacola - Panama City Beach - Tallahassee - Mobile

LANDPLAN ENGINEERING GROUP, INC.
INNOVATIONS • SOLUTIONS • DESIGN
14751-1H GRAND PINE - CORAL SPRINGS, FLORIDA 33071
TEL (954) 752-1400 - E-MAIL LPG@LANDPLANGROUP.NET

DATE	REVISIONS
06-23-18	REV. ACCESS
07-01-18	REV. CURB LINE
07-11-18	REV. BLDG FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

DATE MAY 2018
SCALE AS NOTED
DESIGNED BY KPC
DRAWN BY RGG
CHECKED BY
FIELD BOOK

SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

UTILITY DETAILS

SHEET No. C-900

PROJECT No. 21015

KEITH P. GUTHRIE, P.E.
FL Reg. Engineer #47905

STORMWATER POLLUTION PREVENTION PLAN GENERAL NOTES & DETAILS FOR SOIL EROSION AND SEDIMENT CONTROL

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.

2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 20 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ANCHORING TO SITE STANDARDS.

3. PERMANENT VEGETATION TO BE SEEDED OR SODDED ON ALL DISTURBED AREAS WITHIN TEN (10) DAYS AFTER GRADING. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.

4. ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION, SECTIONS 104, 570, 575 AND 980 TO 986.

5. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL, ACCORDING TO STATE STANDARDS.

6. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).

7. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.

8. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.

9. UNFILTERED DEWATERING IS NOT PERMITTED. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER.

10. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.

11. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

13. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE NUMBER 2 (ABOVE).

14. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.

15. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.

16. ALL CATCH BASIN INLETS SHALL BE PROTECTED WITH HAY BALES AS SHOWN ON DETAIL.

17. THE CONTRACTOR SHALL PREPARE A PLAN FOR THE PROPER DEWATERING AND DOWNSTREAM EROSION PROTECTION.

18. ANY AREAS USED FOR THE CONTRACTOR'S STAGING, INCLUDING BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (E.G. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.), SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.

19. THE CONTRACTOR'S MEANS AND METHODS OF GROUNDWATER DEWATERING SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS FOR THE TEMPORARY DIVERSION OF GROUNDWATER AND ITS DISCHARGE, INCLUDING FDEP CHAPTER 62-621 "GENERAL PERMIT FOR THE DISCHARGE OF PRODUCED GROUNDWATER FROM ANY NON-CONTAMINATED SITE ACTIVITY".

* WHERE APPLICABLE

TEMPORARY SEEDING DETAILS

SEED BED PREPARATION

SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 280 LBS/ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS./ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE

CONSISTING OF ANNUAL RYE (LOLIUM MULTIFLORUM) AT A RATE OF 174 LBS/ACRE.

PERMANENT SEEDING DETAILS

SEED BED PREPARATION

SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 280 LBS/ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS./ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE CONSISTING OF	RATE	PURITY	GERMINATION
ARGENTINE BAHIA	260 LBS/AC.	90%	80% 40%(MIN.)-80
PENSACOLA BAHIA	260 LBS/AC.	95%	85%(TOTAL)

SODDING

SOD SHALL BE WELL ROOT MATTED COMMERCIALLY CUT TO A MINIMUM DIMENSION OF 12" x 24" OR IN A ROLL A MAXIMUM OF 72 HOURS PRIOR TO PLACEMENT. SOD SHALL BE LIVE, FRESH AND UNINJURED, REASONABLY FREE OF WEEDS AND OTHER GRASSES, WITH A HEAVY SOIL MAT ADHERING TO THE ROOT SYSTEM. SOD SHALL BE GROWN, CUT, AND SUPPLIED BY A STATE CERTIFIED GROWER.

TREE PROTECTION

1. DAMAGED TRUNKS OR EXPOSED ROOTS WILL BE PAINTED IMMEDIATELY WITH A QUALITY GRADE OF "TREE PAINT".

2. TREE LIMB REMOVAL, WHERE NECESSARY, WILL BE DONE FLUSH TO TRUNK OR MAIN BRANCH AND THAT AREA PAINTED IMMEDIATELY WITH A QUALITY GRADE OF TREE PAINT.

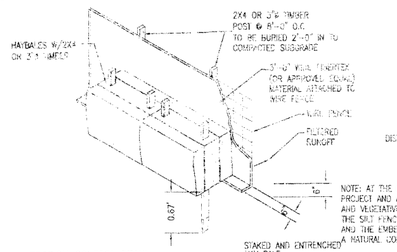
DUST CONTROL

1. ALL AREAS OF CLEARING AND EMBANKMENT AS WELL AS CONSTRUCTION HAUL ROADS SHALL BE TREATED AND MAINTAINED IN SUCH A MANNER AS TO MINIMIZE ANY DUST GENERATION.

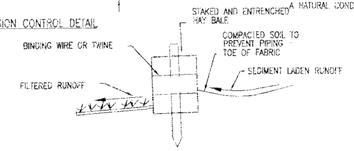
2. DISTURBED AREAS SHALL BE MAINTAINED IN A ROUGH GRADED CONDITION AND TEMPORARILY SEEDED AND/OR MULCHED UNTIL PROPER WEATHER CONDITIONS EXIST FOR THE ESTABLISHMENT OF PERMANENT VEGETATION COVER.

3. IN EVENT OF EMERGENCY CONDITIONS, TILLAGE WILL BE SATISFACTORY FREE BEFORE SOIL BLOWING STARTS.

4. CALCIUM CHLORIDE MAY BE APPLIED TO UNPAVED ROADWAY AREAS, ONLY, SUBJECT TO THE ENGINEER'S APPROVAL AND CONFORMANCE WITH FDOT STANDARD SPECIFICATIONS, SECTION 102-5, LATEST EDITION.

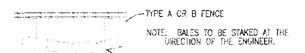


EROSION CONTROL DETAIL



DETAIL OF PROPERLY INSTALLED HAY BALE

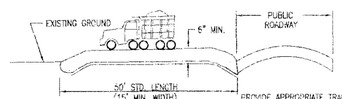
NOT TO SCALE



NOTE: BALES TO BE STAKED AT THE DIRECTION OF THE ENGINEER.

BALES BACKED BY FENCE

NOT TO SCALE

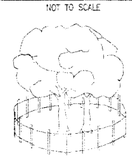


A CRUSHED LIMEROCK VEHICLE WHEEL-CLEANING BLANKET SHALL BE INSTALLED AT THE CONTRACTOR'S STAGING YARD AND/OR STOCKPILE AREAS TO PREVENT OFF-SITE TRACKING OF SEDIMENT BY CONSTRUCTION VEHICLES ONTO PUBLIC ROADS. BLANKET SHALL BE 15FT. X 50FT. X 6IN. (MINIMUM). CRUSHED LIMEROCK 2 1/2 INCHES IN DIAMETER. SAID BLANKET SHALL BE UNDERLAIN WITH A FDOT CLASS 3 SYNTHETIC FILTER FABRIC AND MAINTAINED IN GOOD ORDER.

PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC R.O.W.

STABILIZED CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE



NOTE:
TO SPECIMEN TREES AS SHOWN ON THE PLANS TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION, THE CONTRACTOR SHALL INSTALL SNOW OR SILT FENCING AT THE DRIP LINE OF EACH SPECIMEN TREE BEFORE WORKING IN THE VICINITY OF THE TREE, AS DIRECTED BY THE ENGINEER.

CORRECT FENCING FOR SPECIMEN TREE PROTECTION

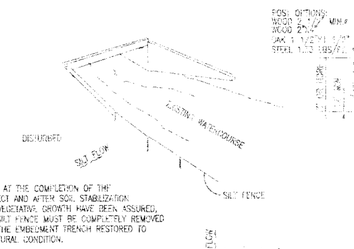
NOT TO SCALE

DESCRIPTION:
FILTER BAGS WILL BE USED AS AN EFFECTIVE FILTER MEDIUM TO CONTAIN SAND, SILT AND FINES WHEN TRENCH DEWATERING. THE WETLAND FILTER BAG CONTAINS THESE MATERIALS WHILE ALLOWING THE WATER TO FLOW THROUGH THE FABRIC.

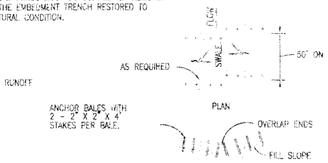
INSTALLATION:
WETLAND FILTER BAGS MAY REPLACE HAY BALE CORRALS DURING TRENCH DEWATERING, AT THE DISCRETION OF THE ENGINEER INSPECTOR. TO INSURE PROPER INSTALLATION, FILTER BAGS WILL BE PLACED ON RELATIVELY FLAT TERRAIN FREE OF BRUSH AND STUMPS TO AVOID RUPTURES AND PUNCTURES. PROPER INSTALLATION REQUIRES CUTTING A SMALL HOLE IN THE CORNER OF THE BAG, INSERTING THE PUMP DISCHARGE HOSE, AND THEN SECURING THE DISCHARGE HOSE TO THE BAG WITH A HOSE CLAMP. FILTER BAGS WILL BE PLACED AS FAR AWAY FROM FLOWING STREAMS AND WETLANDS AS POSSIBLE.

MAINTENANCE:
PRIOR TO REMOVING A BAG FROM THE HOSE, THE BAG WILL BE TIED OFF BELOW THE END OF THE HOSE ALLOWING THE BAG TO DRAIN. DRAINAGE WILL NOT BE ALLOWED THROUGH THE INLET HOLE, TO AVOID RUPTURE. THE BAGS WILL BE ATTENDED AND PUMPING RATES MONITORED. ONCE THE BAG IS INFLATED TO A HEIGHT OF 4 FEET, PUMPING WILL STOP TO AVOID RUPTURE. FILTER BAGS USED DURING CONSTRUCTION WILL BE BUNDLED AND REMOVED FOR PROPER DISPOSAL.

SPECIFICATION:
FILTER BAGS ARE CONSTRUCTED OF NON-WOVEN GEOTEXTILE FABRIC. A MAXIMUM OF ONE SIX INCH DISCHARGE HOSE WILL BE ALLOWED PER FILTER BAG. BAG CAPACITY WILL BE EXCEEDED BEYOND 2,000 GALLONS PER MINUTE. TYPICAL BAG DIMENSIONS ARE 15 FEET BY 13.25 FEET. TO HELP PREVENT PUNCTURES, GEOTEXTILE FABRIC WILL BE PLACED BENEATH THE FILTER BAG WHEN USED IN WOODED LOCATIONS. UNATTENDED FILTER BAGS WILL BE ENCIRCLED WITH A HAY BALE OR SILT FENCE CORRAL. HOSE CLAMPS WILL BE USED TO SECURE THE DISCHARGE HOSE. WIRE OR STRING WILL NOT BE USED.

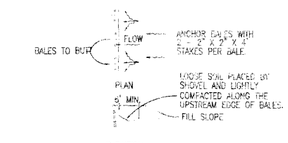


NOTE: AT THE COMPLETION OF THE PROJECT AND AFTER SOIL STABILIZATION AND VEGETATIVE GROWTH HAVE BEEN ASSURED, THE SILT FENCE MUST BE COMPLETELY REMOVED AND THE EMBELLISHMENT TRENCH RESTORED TO A NATURAL CONDITION.



ELEVATION

TO BE USED AT SELECTED SITES WHERE THE NATURAL GROUND SLOPES TOWARD THE TOE OF SLOPE

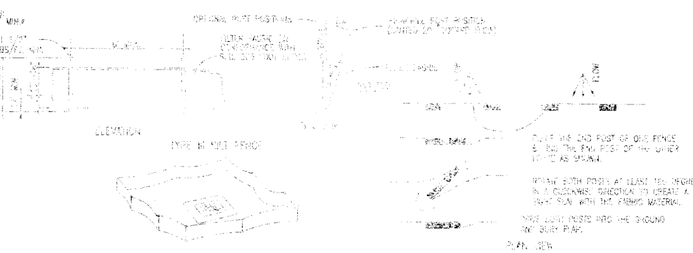


ELEVATION

TO BE USED AT SELECTED SITES WHERE THE NATURAL GROUND SLOPES AWAY FROM THE TOE OF SLOPE

BARRIERS FOR FILL SLOPES

NOT TO SCALE



NOTES FOR SILT FENCES

1. TYPE III SILT FENCE SHALL BE USED WHERE USED IN LIEU OF TYPE A OR B SILT FENCE. THE SPACING FOR TYPE III SILT FENCE SHALL BE IN ACCORDANCE WITH CHART 1, SHEET 1, OF FDOT DESIGN STANDARDS INDEX NO. 102, LATEST EDITION.

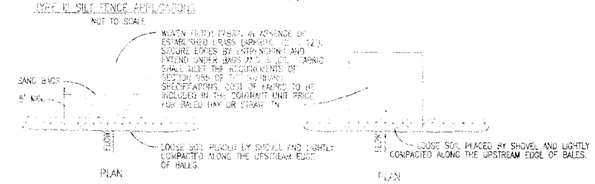
2. DO NOT CONSTRUCT SILT FENCES ACROSS PERMANENT FLOWING WATERCOURSES.

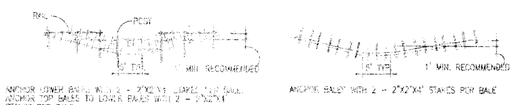
3. WHERE USED AS SLOPE PROTECTION, SILT FENCE IS TO BE CONSTRUCTED ON AN EQUIPOTENTIAL GRADE TO AVOID CHANNELIZING RUNOFF ALONG THE LENGTH OF THE FENCE.

4. SILT FENCE TO BE PAID FOR UNDER THE CONTRACT UNIT PRICE FOR SINGLE SILT FENCE (LF).

TYPE III SILT FENCE PROTECTION

NOT TO SCALE





ELEVATION

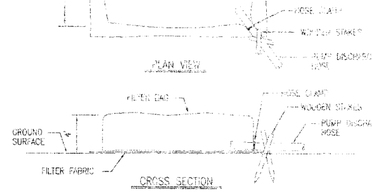
APPLICATION AND LOCATION TO BE IN ACCORDANCE WITH CHART 1, SHEET 1 OF 3, INDEX NO. 102

TYPE I

ELEVATION

TYPE I

BARRIER FOR FILL SLOPES

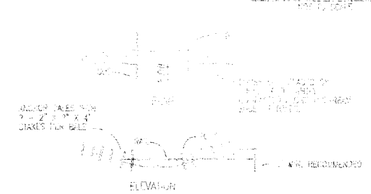


CROSS SECTION

FILTER BAG DETAIL

FOR TRENCH DEWATERING OPERATIONS

NOT TO SCALE



BARRIER FOR FILL SLOPES

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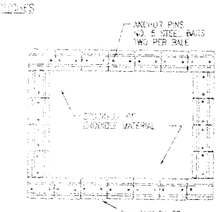
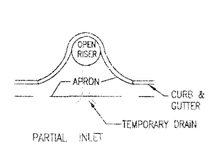
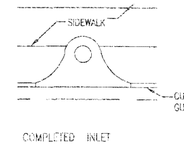


MATERIAL STOCKPILE DETAIL

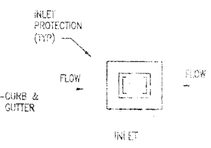
NOT TO SCALE



PARTIAL INLET



COMPLETED INLET



INLET

ANCHOR INLET PROTECTION WITH 2 - 2" X 2" X 4' STAKES

PROTECTION AROUND INLETS OR SIMILAR STRUCTURES

NOT TO SCALE

DITCH BOTTOM INLET

BASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions
418 W. MAIN ST. PENSACOLA, FL 32502 (850) 438-9661
ENGINEERING BUSINESS: EB-0000240
Pensacola - Panama City Beach - Tallahassee - Mobile

LANDPLAN ENGINEERING GROUP, INC.
INNOVATION • SOLUTION • DESIGN
1415 N.W. 10th DRIVE, LAKE CITY, FLORIDA 32055
TEL: (386) 752-5651 - FE MAIL: LPEGROUP@BELLSOUTH.NET

DATE	REVISIONS
06-23-18	REV ACCESS
07-01-18	REV CURB LINE
07-11-18	REV BJ FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

DATE MAY 2019
SCALE AS NOTED
DESIGNED BY KPG
DRAWN BY RGG
CHECKED BY
FIELD BOOK

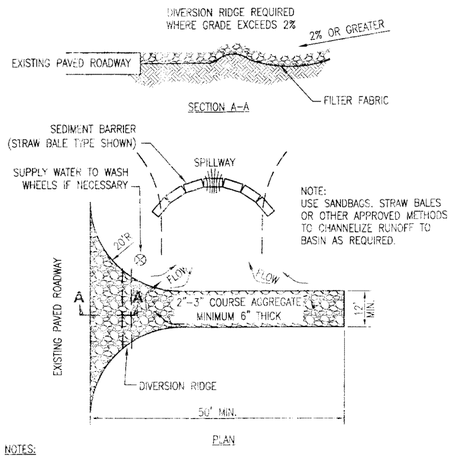
SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

DETAILS

SHEET No. C-901

PROJECT No. 21015

KEITH P. GUIMIE, P.E.
FL Reg. Engineer #47905

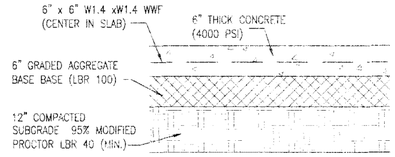


NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

NOT TO SCALE

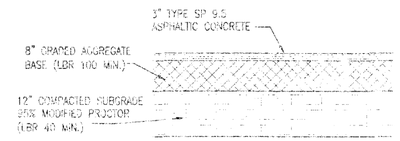


TYPICAL CONCRETE PAVEMENT SECTION

NOT TO SCALE

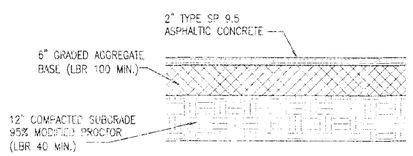
NOTES:

1. INSTALL ISOLATION JOINTS AT PAVEMENT/CURB INTERFACES.
2. 1½"D x 3/16"W SAW CUT JOINT SPACING 15' MAX.
3. JOINT SEALER SHALL BE EUCOLASTIC URETHANE SEALANT OR APPROVED EQUAL.



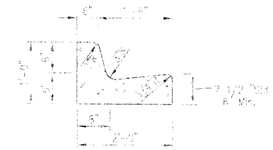
HEAVY DUTY ASPHALT PAVEMENT

NOT TO SCALE



STANDARD ASPHALT PARKING LOT PAVEMENT SECTION

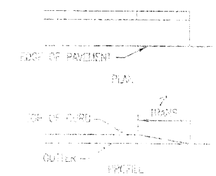
NOT TO SCALE



NOTE: WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.

FDOT TYPE F CURB

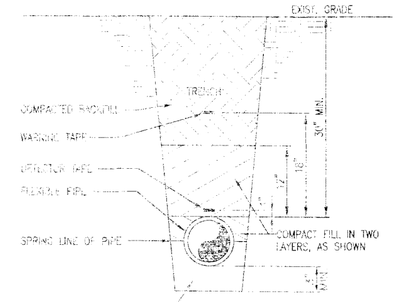
NOT TO SCALE



STRAIGHT END

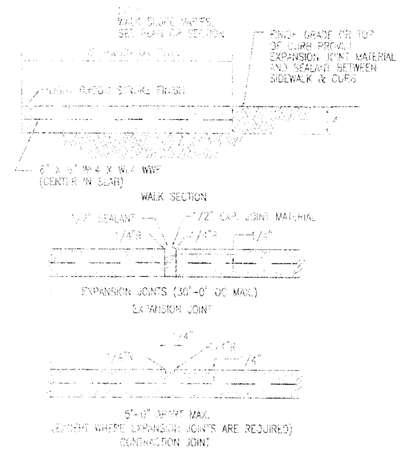
CURB & GUTTER ENDING

NOT TO SCALE



TYPICAL PIPE BEDDING

NOT TO SCALE



TYPICAL CONCRETE SIDEWALK DETAILS

NOT TO SCALE

BASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions
4019 N. JAMES ST. PENSACOLA FL 32503 (850) 435-9661
ENGINEERING BUSINESS EB-0000040
Pensacola | Panama City | Fort Walton Beach | Mobile

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INNOVATION • SOLUTIONS • DESIGN
4278 N.W. 120th DRIVE, CORAL SPRINGS, FLORIDA 33071
TEL (954) 812-5051 - E-MAIL LPEG@bellsouth.net

DATE	REVISIONS
06-23-18	REV. ACCESS
07-01-18	REV. CURB LINE
07-11-18	REV. BJ FOOT PRINT
01-13-18	ADD 14 PARKING SPACES

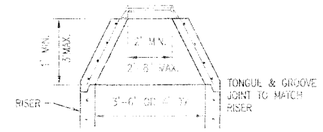
DATE MAY 2019
SCALE AS NOTED
DESIGNED BY KPG
DRAWN BY RGG
CHECKED BY
FIELD BOOK

SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

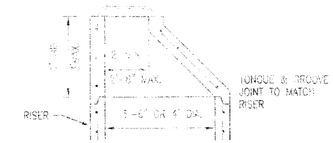
DETAILS

SHEET No. C-902
PROJECT No. 21015

KEITH P. GIPHIRE, P.E.
FL Reg. Engineer #47905



PRECAST CONCENTRIC CONE



PRECAST ECCENTRIC CONE

BRICK OR CONCRETE

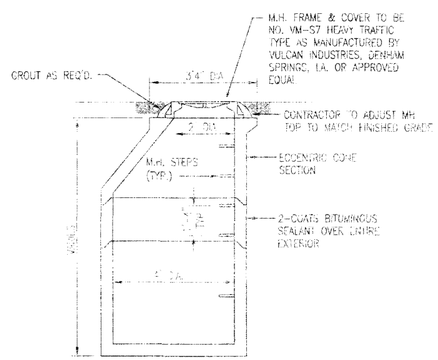
TYPE 8 MANHOLES

NOTES (TOPS)

1. MANHOLE TOP TYPE 8 MAY BE OF CAST-IN-PLACE OR PRECAST CONCRETE CONSTRUCTION OR BRICK CONSTRUCTION. FOR CONCRETE CONSTRUCTION, THE CONCRETE AND STEEL REINFORCEMENT SHALL BE THE SAME AS THE SUPPORTING WALL UNIT. AN ECCENTRIC CONE MAY BE USED.
2. MANHOLE TOPS SHALL BE SECURED TO STRUCTURES BY OPTIONAL CONSTRUCTION JOINTS AS SHOWN.

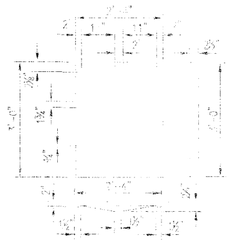
MANHOLE TOPS

NOT TO SCALE



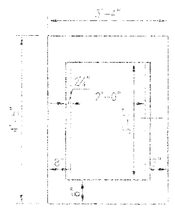
JUNCTION BOX

NOT TO SCALE

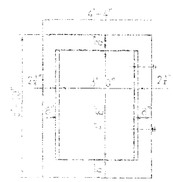


TYPE "C" GRATE

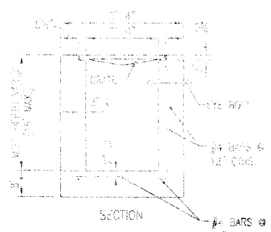
TYPE E GRATE



PLAN

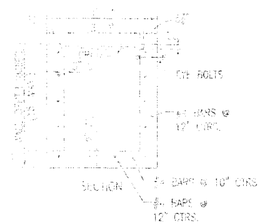


PLAN



EDOT TYPE C INLET

NOT TO SCALE



EDOT TYPE E INLET

NOT TO SCALE

BASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions
140 W. MAIN ST., PENSACOLA, FL 32502 (850) 438-9661
ENGINEERING BUSINESS: EB-0003940
Pensacola - Panama City Beach - Tallahassee - Mobile

LANDPLAN ENGINEERING GROUP, INC.
INNOVATION • SOLUTIONS • DESIGN
5470 N.W. 20th STREET CORAL SPRINGS, FLORIDA 33313
TEL: (954) 972-9551 - E-MAIL: LPEG@bellsouth.net

DATE	REVISIONS
06-23-18	REV ACCESS
07-01-18	REV CURB LINE
07-17-18	REV BLK FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

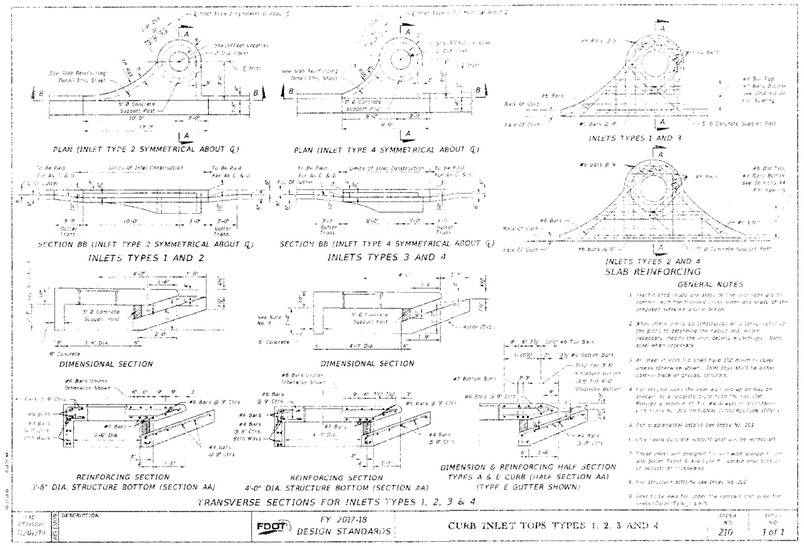
DATE MAY 2019
SCALE AS NOTED
DESIGNED BY KPG
DRAWN BY RGG
CHECKED BY
FIELD BOOK

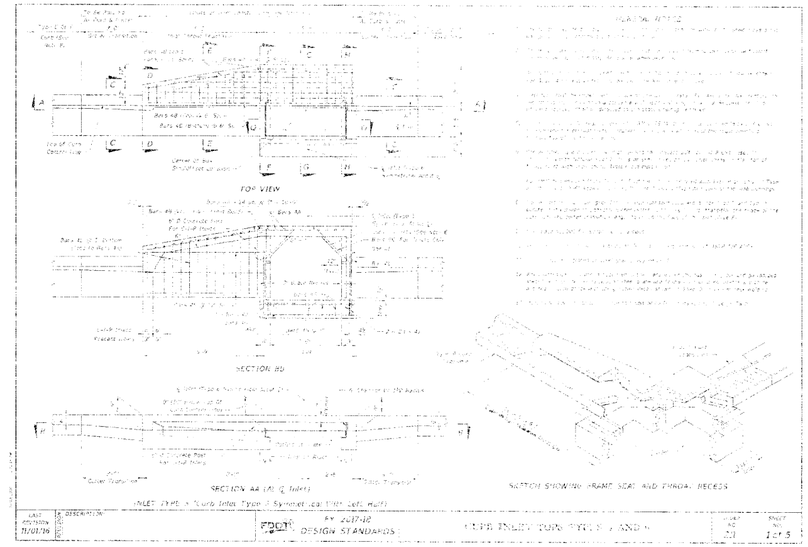
SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY FLORIDA

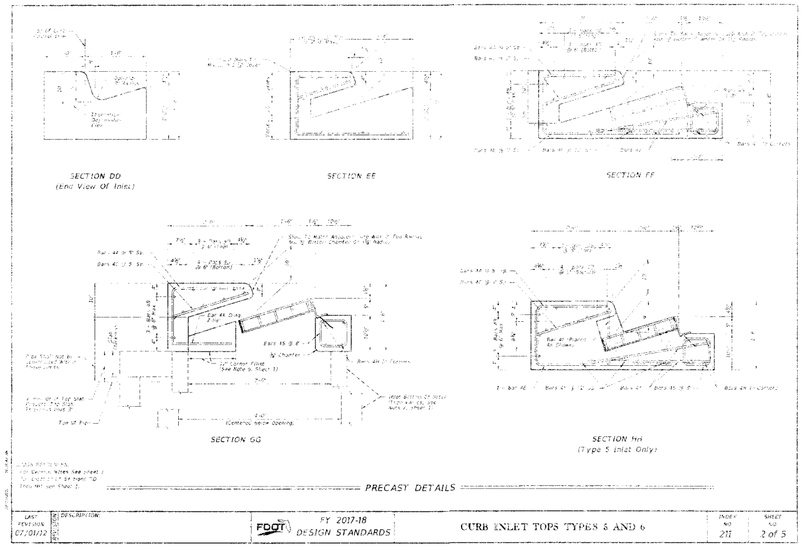
DETAILS

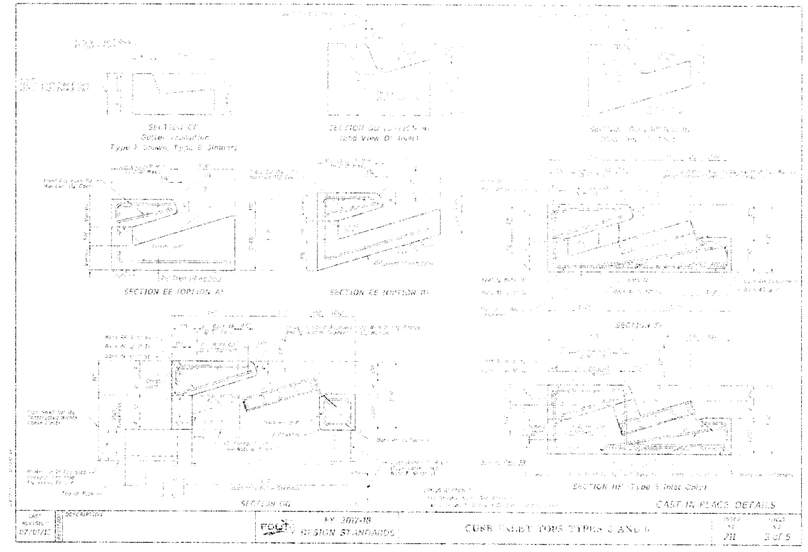
SHEET No. C-603
PROJECT No. 21015

KURT P. GUHRE, P.E.
FL Reg. Engineer #47905









LANDPLAN ENGINEERING GROUP, INC.
INNOVATION • SOLUTIONS • DESIGN
14701 N.W. 100th DRIVE - CORAL SPRINGS, FLORIDA 33071
TEL (954) 812-3451 - E-MAIL LPEG@earthlink.net

DATE	REVISIONS
06-23-18	REV ACCESS
07-03-18	REV CURB LINE
07-11-18	REV BJ FOOT PRINT
07-12-18	ADD 14 PARKING SPACES

DATE MAY 2019
SCALE AS NOTED
DESIGNED BY KPG
DRAWN BY RGG
CHECKED BY
FIELD BOOK

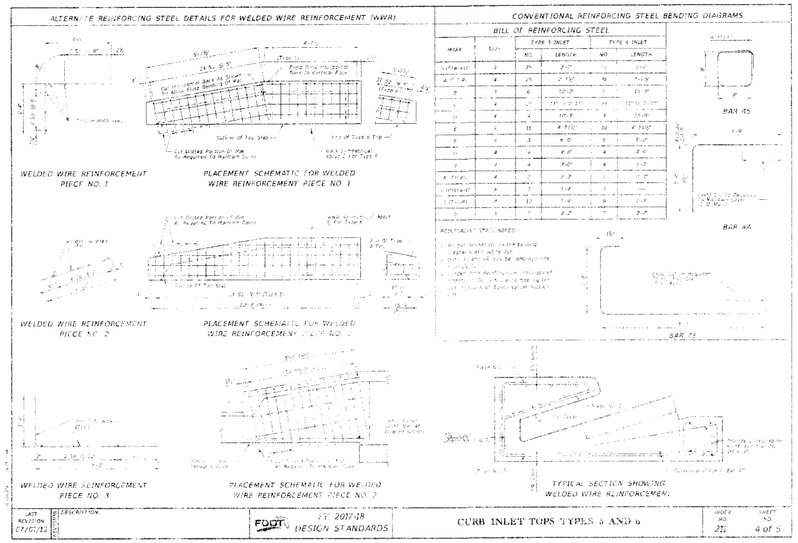
SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

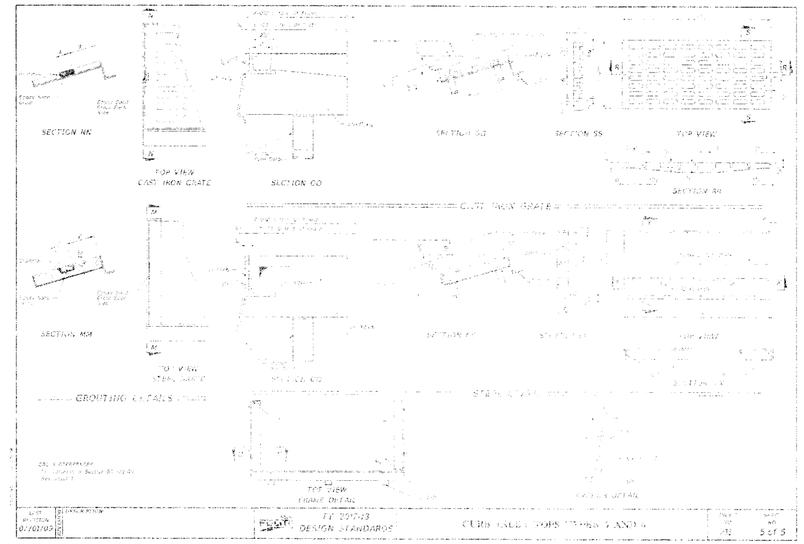
DETAILS

SHEET No. C-904
PROJECT No. 21015

KEITH P. DUTARE, P.E.
FL Reg. Engineer #47905

BASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions
415 W. MAIN ST., PENSACOLA, FL 32502 (850)438-3661
ENGINEERING BUSINESS: EB-0000040
Pensacola - Panama City Beach - Tallahassee - Mobile





SAGREVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions
14 W. MAIN ST. PENSACOLA, FL 32502 (850)438-9611
ENGINEERING BUSINESS: EB-0006340
Pensacola - Panama City Beach - Tallahassee - Mobile

LANDPLAN ENGINEERING GROUP, INC.
INNOVATION • SOLUTIONS • DESIGN
1475 N.W. 120th DRIVE - CORAL SPRINGS, FLORIDA 33071
TEL (954) 942-9501 - E-MAIL LPE-ENG@BellSouth.net

DATE	REVISIONS
05-23-18	REV ACCESS
07-01-18	REV CURB LINE
07-11-18	REV BJ FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

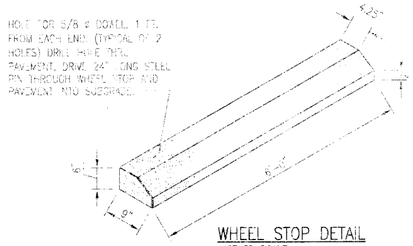
DATE MAY 2019
SCALE AS NOTED
DESIGNED BY KPG
DRAWN BY RGC
CHECKED BY
FIELD BOOK

SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

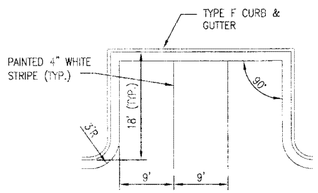
DETAILS

SHEET No. C-905
PROJECT No. 21015

KEITH P. OUTHWIE, P.E.
FL Reg. Engineer #47905



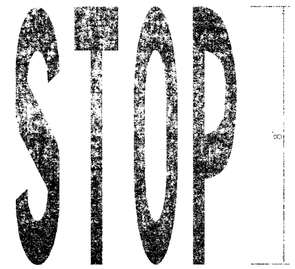
WHEEL STOP DETAIL
NOT TO SCALE



WITH CURB

STANDARD STRIPING DETAIL
NOT TO SCALE

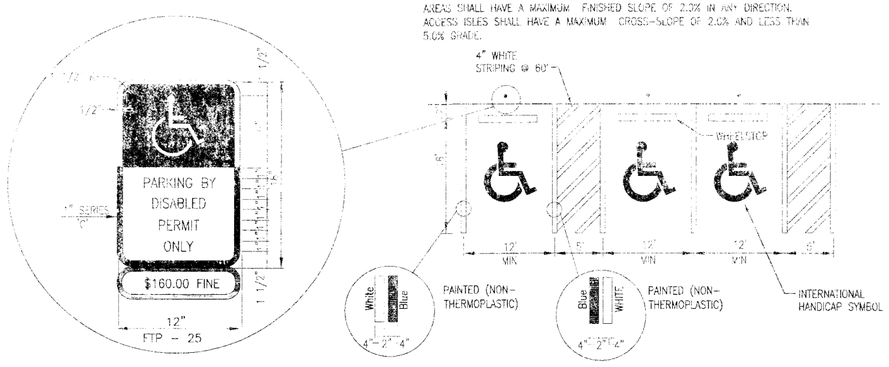
NOTES:
1. TOP PORTION OF FTP 25 & 25 SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER.
2. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
3. FTP 25 & 26 MAY BE FABRICATED ON ONE PANEL OR TWO.
4. FTP 25 MAY BE SUBSTITUTED FOR THE FTP 26 IN AREAS WHERE SPACE IS LIMITED.
5. SIGNS ARE TO BE MOUNTED AT STANDARD HEIGHT. (7' FROM PAVEMENT TO BOTTOM OF SIGN).



22 S.F.

STOP -- PAVEMENT MARKING
NOT TO SCALE

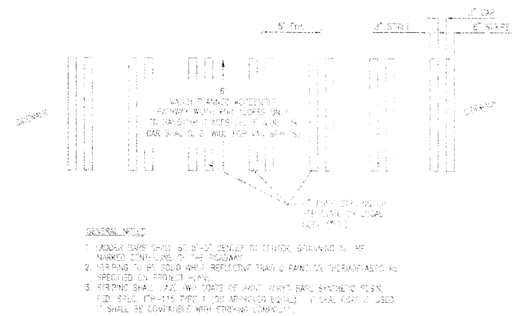
NOTES:
1. EACH SUCH PARKING SPACE SHALL BE CONSPICUOUSLY OUTLINED IN BLUE PAINT, AND SHALL BE POSTED AND MAINTAINED WITH A PERMANENT, ABOVE-GRADE SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY OR THE CAPTION "PARKING BY DISABLED PERMIT ONLY," OR BEARING BOTH SUCH SYMBOL AND CAPTION. SUCH SIGNS SHALL NOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE.
2. ALL HANDICAPPED PARKING SPACES MUST BE SIGNED AND MARKED IN ACCORDANCE WITH THE STANDARDS ADOPTED BY THE DEPARTMENT OF TRANSPORTATION. CONTRACTOR SHALL INSURE THAT ALL HANDICAPPED PARKING AREAS SHALL HAVE A MAXIMUM FINISHED SLOPE OF 2.0% IN ANY DIRECTION. ACCESS ISLES SHALL HAVE A MAXIMUM CROSS-SLOPE OF 2.0% AND LESS THAN 5.0% GRADE.



HANDICAPPED SIGNAGE AND STRIPING DETAIL
NOT TO SCALE

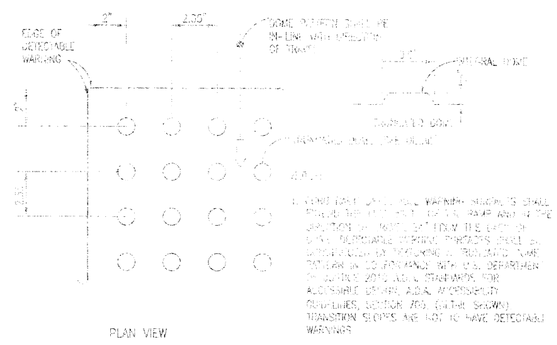
THROUGH LANE
NOT TO SCALE

HC SYMBOL
NOT TO SCALE



GENERAL NOTES:
1. PAVEMENT MARKINGS SHALL BE 4" CENTER OF CENTER, BREAKING AT THE NUMBER OF PAVEMENT MARKERS TO THE ROADWAY.
2. STRIPING TO BE SOLID WHITE REFLECTIVE TRAFFIC PAINT OR THERMOPLASTIC AS SPECIFIED ON PROJECT PLANS.
3. STRIPING SHALL USE TWO COATS OF HIGH QUALITY BASE SYNTHETIC RESIN, FED. SPEC. TT-P-1119, TYPE I, OR MINNESOTA EQUAL. 1 COAT ONLY IS USED. IT SHALL BE COMPATIBLE WITH STRIPING COMPOUND.

SPECIAL EMPHASIS CROSSWALK STRIPING
NOT TO SCALE



1. EXCEPT FOR PARALLEL WARNING SURFACES, SHALL BE PLACED 6" FROM THE EDGE OF THE RAMP AND A TYPICAL DISTANCE OF 60" FROM THE EDGE OF THE ROADWAY. ALTERNATE DETAIL PLACEMENTS SHALL BE ALLOWED IN ACCORDANCE WITH THE DEPARTMENT OF JUSTICE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, ADA ACCESSIBILITY GUIDELINES, SECTION 705. (UNLESS SHOWN) TRANSITION SLOPES ARE NOT TO HAVE DETECTABLE WARNINGS.
2. UNLESS OTHERWISE CALLED OUT IN THE PLANS, THE RAMP DETECTABLE WARNING SURFACE SHALL BE COLORED IN ACCORDANCE WITH SECTION 351 OF THE STANDARD SPECIFICATIONS.
3. SURFACE SHALL BE CONSTRUCTED OF NAUGAU ADA PAVERS. COLOR SHALL BE #-15. PATTERN SHALL BE ADP. 2.

CURB RAMP
DETECTABLE WARNING
NOT TO SCALE

BASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions
4439 W. MAIN ST., PENSACOLA FL 32502 (850) 438-9661
ENGINEERING BUSINESS: FB-0000340
Pensacola - Panama City Beach - Tallahassee - Mobile

LANDPLAN ENGINEERING GROUP, INC
INNOVATION • SOLUTION • DESIGN
14279 N.W. 170th TERRACE - CORAL SPRINGS, FL 33323
TEL (954) 812-9083 - E-Mail: LPE@flbatch.net

DATE	REVISIONS
06-21-18	REV ACCESS
07-01-18	REV CURB LINE
07-11-18	REV BJ FOOT PRINT
07-12-18	ADD 14 PARKING SPACES

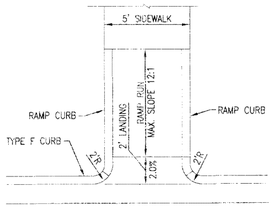
DATE MAY 2019
SCALE AS NOTED
DESIGNED BY KPG
DRAWN BY RGG
CHECKED BY
FIELD BOOK

SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

DETAILS

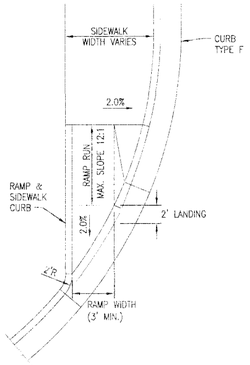
SHEET No. C-906
PROJECT No. 21015

KEITH P. GUTHRIE, P.E.
FL Reg. Engineer #47905



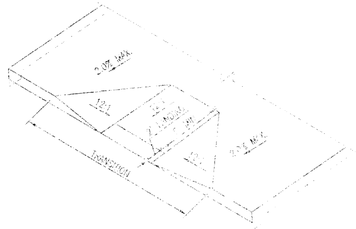
CURB RAMP AT SIDEWALK

NOT TO SCALE



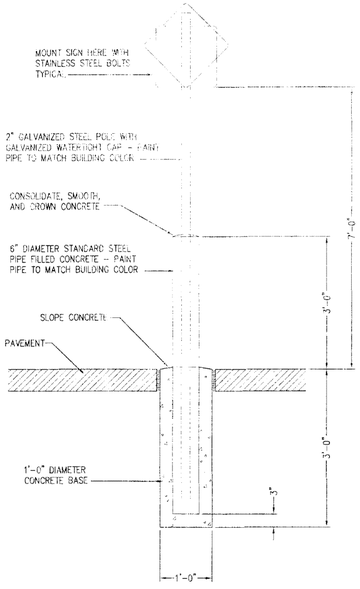
FDOT CURB RAMP CR 20

NOT TO SCALE



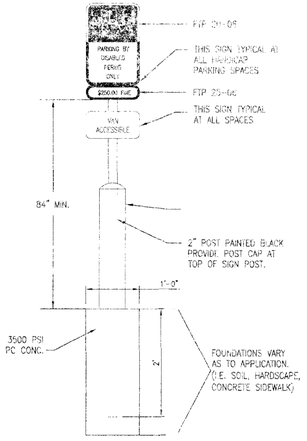
RAMP AT THICKENED EDGE SIDEWALK

NOT TO SCALE



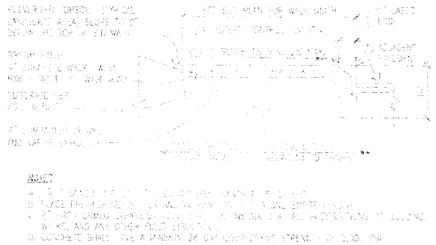
INTERIOR REGULATORY SIGN

NOT TO SCALE



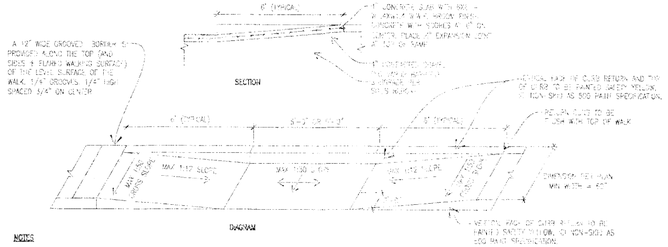
HC SIGN ASSEMBLY

NOT TO SCALE



CONCRETE SIDEWALK

NOT TO SCALE



NOTES:

A. CURB RAMP SHOWN IN DIAGRAM SHALL HAVE NON-FLARING SLOPES ON EITHER SIDE.
B. WARNING SIGN AND STYLE (SIMILAR TO FDOT CR 20) SHALL BE PLACED AT RAMP WITH SITE INFORMATIONAL SIGNS.
C. CROSS SLOPE (ACROSS RAMP MAX SLOPE) SHALL NOT EXCEED 1:48 (2.08% CLOSE CONS FRICTION) (SEE).

ACCESSIBLE CURB RAMP

NOT TO SCALE

NOTE:

SIGNS NOT LOCATED IN PAVEMENT SECTIONS SHALL MEET STANDARD FDOT REQUIREMENTS FOR POST INSTALLATION AND MOUNTING.

BASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions

LANDPLAN ENGINEERING GROUP, INC.
INNOVATIONS • SOLUTIONS • DESIGN
14 N.W. ENGLEWOOD, CORAL SPRINGS, FLORIDA 33071
TEL: (954) 812-8601 - E-MAIL: LPEG@earthlink.net

DATE	REVISIONS
06-23-18	REV. ACCESS
07-01-18	REV. CURB UNIT
07-11-18	REV. BU FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

DATE MAY 2019
SCALE AS NOTED
DESIGNED BY KPG
DRAWN BY RGG
CHECKED BY
FIELD BOOK

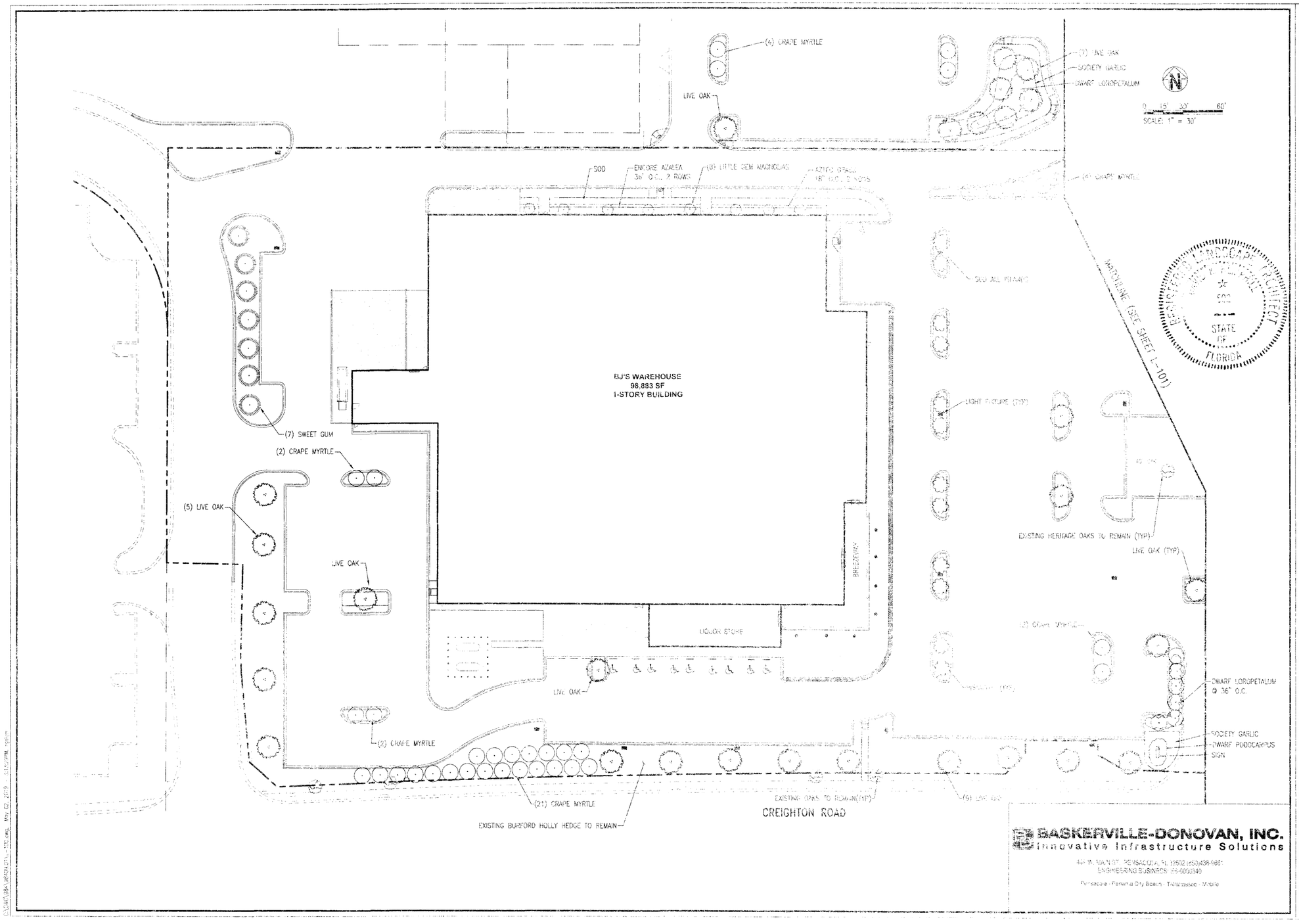
SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

DETAILS

SHEET No. C-907

PROJECT No. 21015

KEITH P. GOTHBE, P.E.
FL Reg. Engineer #47905



BASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions
435 N. MAIN ST., PENSACOLA, FL 32502 (850)436-9861
ENGINEERING BUSINESS: 23-00020340
Pensacola - Panama City Beach - Tallahassee - Mobile

LANDPLAN ENGINEERING GROUP, INC.
INNOVATIVE • SOLUTIONS • DESIGN
1473 N.W. 100th DRIVE - CORAL SPRINGS, FLORIDA 33071
TEL (954) 816-2663 - E-MAIL LPEG@BELLSOUTH.NET

DATE	REVISIONS
06-23-18	REV ACCESS
07-01-18	REV CURB LINE
07-11-18	REV BJ FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

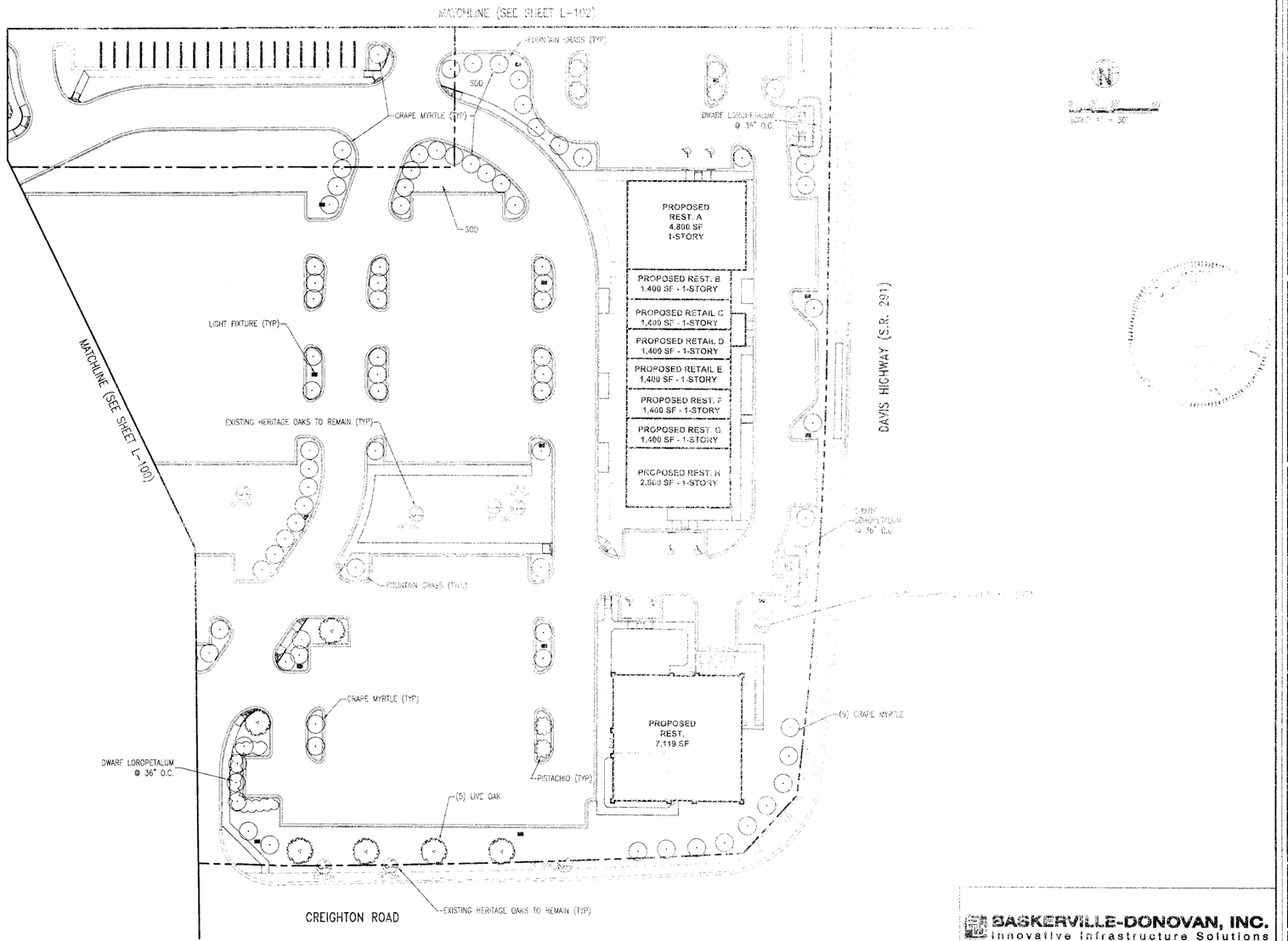
DATE MAY 2019
SCALE AS NOTED
DESIGNED BY D.K.H
DRAWN BY T.H.O.
CHECKED BY D.K.H.
FIELD BOOK

SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

LANDSCAPE PLAN

SHEET No.
L-100
PROJECT No.
21015

DAVE K. HEMPHILL
FL REG LANDSCAPE ARCHITECT
#LA0000502



BASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions
416 W. MAIN ST. - PENSACOLA, FL 32502 - 850.435.9661
ENGINEERING BUSINESS: FB-0000240
Pensacola - Panama City Beach - Tallahassee - Mobile

LANDPLAN ENGINEERING GROUP, INC.
CONSULTING • COLLECTIVE • DESIGN
4474 HWY 90W BONIFAY, FL 32425 - Local: 850.547.5000
TEL: (844) 512-0951 - EMAIL: LPEG@landplanengroup.net

DATE	REVISIONS
06-23-18	REV. ACCESS
07-31-18	REV. CURB LINE
07-11-18	REV. ALT FOOT PRINT
07-12-18	ADD 14 PARKING SPACES

DATE MAY 2019
SCALE AS NOTED
DESIGNED BY D.K.H.
DRAWN BY T.H.O.
CHECKED BY D.K.H.
FIELD BOOK

SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

LANDSCAPE PLAN

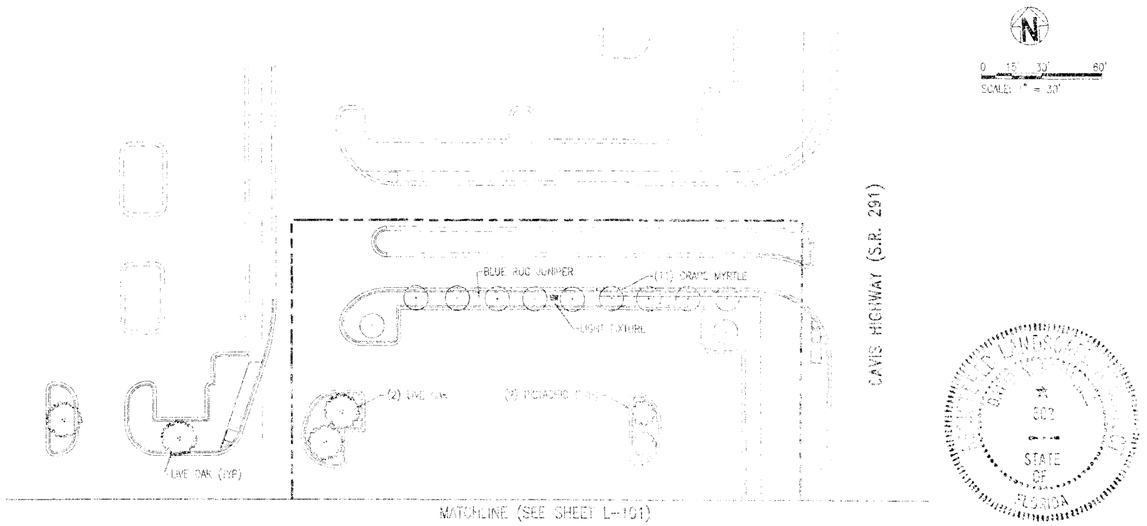
SHEET No. L-101
PROJECT No. 21015

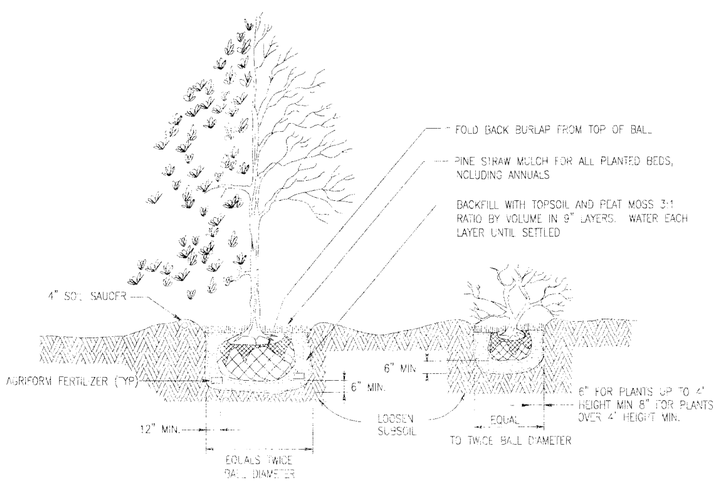
DAVE K. HEMPHILL
FL REG. LANDSCAPE ARCHITECT
#LA0000502

PLANTING SCHEDULE

QTY.	SYMBOL	COMMON NAME	BOTANICAL NAME	HEIGHT	ROOTS	COMMENTS
18		PISTACHIO	Pistacia vera	14'	CONTAINER	3" CALIPER
23		LIVE OAK	Quercus virginiana	18'	B&B	4" CALIPER AT BASE
143		CRAPE MYRTLE	Lagerstroemia indica 'Tuscarora'	9'	B&B	SINGLE STEM 3" CALIPER WATERMELON RED
8		LITTLE GEM MAGNOLIA	Magnolia grandiflora	10'	CONTAINER	3" CALIPER
7		SWEET GUM	Liquidambar styraciflua	16'	B&B	4" CALIPER
820ea.		FOUNTAIN GRASS	Pennisetum setaceum	18"	2 gal.	
		SOD	Empire zoysia			ALL DISTURBED AREAS
140		BLUE RUG JUNIPER	Juniperus horizontalis		2 gal.	30" O.C.
120		DWARF LOROPETALUM	Loropetalum		3 gal.	36" O.C.
140		ENCORE AZALEA	Rhododendron		3 gal.	30" O.C.
300		SOCIETY GARLIC	Tulbaghia violacea		gal.	
200		AZTEC GRASS	Liriope muscare		1 gal.	

ALL PLANT MATERIAL TO BE GRADED 'FLORIDA FANCY'.





A1 TREE & SHRUB PLANTING DETAIL
NOT TO SCALE

BASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions

LANDPLAN ENGINEERING GROUP, INC.
INNOVATION • SOLUTIONS • DESIGN
1475 N.W. 120th DRIVE, CORAL SPRINGS FL 33071
TEL (954) 612-2991 - E-MAIL LPEG@mindspring.com

DATE	REVISIONS
06-23-18	REV. ACCESS
07-01-18	REV. CURB LINE
07-11-18	REV. BJ FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

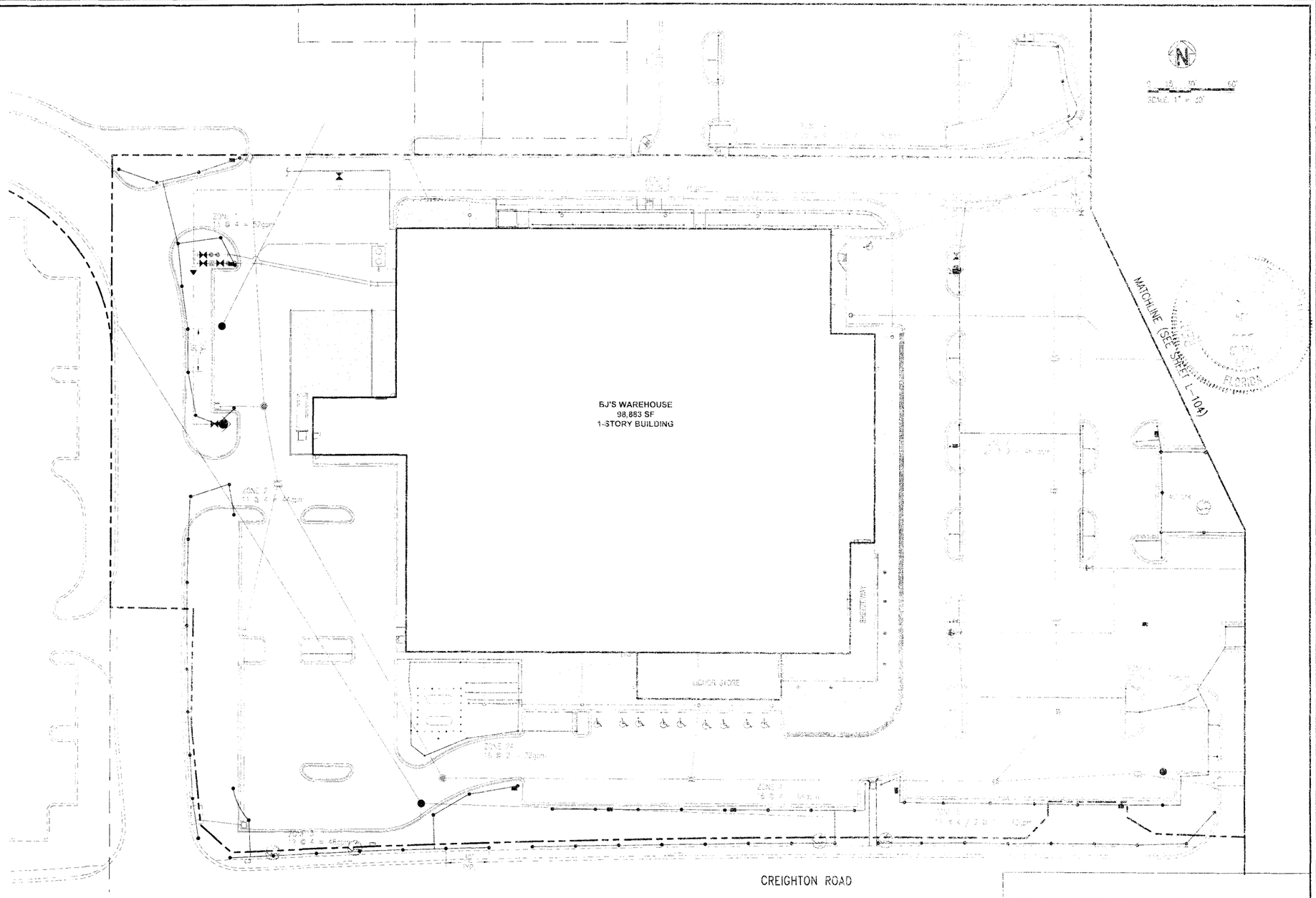
DATE MAY 2018
SCALE AS NOTED
DESIGNED BY D.K.H
DRAWN BY T.H.O.
CHECKED BY D.K.H.
FIELD BOOK

SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

LANDSCAPE PLAN 3 OF 3

SHEET No. L-102
PROJECT No. 21015

DAVE K. HEMPHILL
FL REG. LANDSCAPE ARCHITECT
#LA0000502



BASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions
443 W. MAIN ST. PENSACOLA, FL 32502 (850) 438-9661
ENGINEERING BUSINESS EB-0000340
Pensacola - Panama City Beach - Tallahassee - Mobile

LANDPLAN ENGINEERING GROUP, INC.
INNOVATION • SOLUTIONS • DESIGN
4475 A N. 12th DRIVE - CORAL SPRINGS, FLORIDA 33071
TEL. (954) 917-0651 - E-MAIL: LPG@landplangroup.net

DATE	REVISIONS
06-23-18	REV. ACCESS
07-01-18	REV. CURB LINE
07-11-18	REV. BJ FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

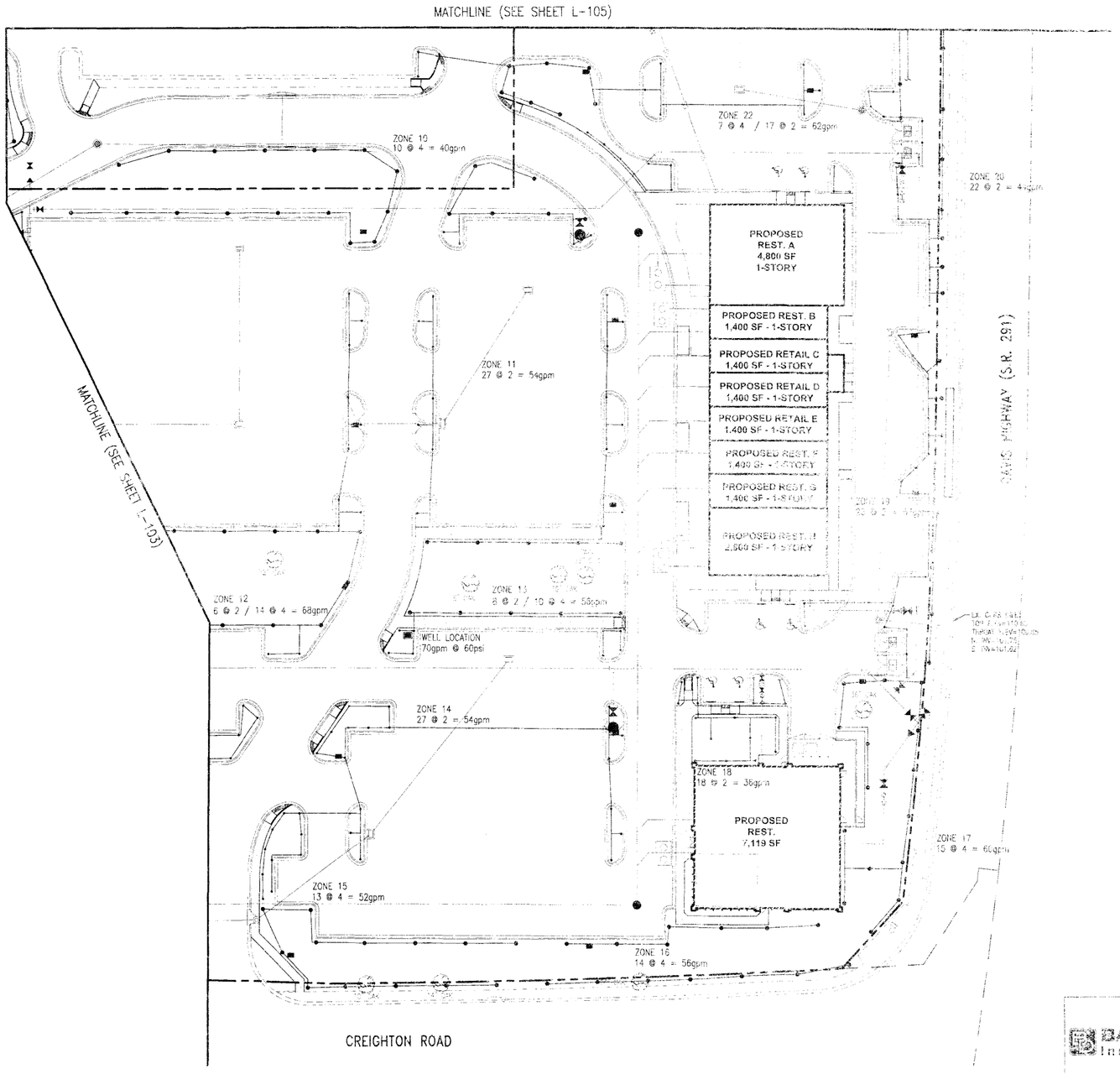
DATE MAY 2019
SCALE AS NOTED
DESIGNED BY D.K.H.
DRAWN BY T.H.O.
CHECKED BY D.K.H.
FIELD BOOK

SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

IRRIGATION PLAN

SHEET No. L-103
PROJECT No. 21015

DAVE K. HEMPHILL
FL REG. LANDSCAPE ARCHITECT
#LA0000502



BASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions
249 N. MAIN ST., PENSACOLA, FL 32502 (850)438-9661
ENGINEERING BUSINESS: EB-0000045
Pensacola - Panama City Beach - Tallahassee - Mobile

LANDPLAN ENGINEERING GROUP, INC.
INNOVATION • SOLUTIONS • DESIGN
1475 N.W. 109th DRIVE - CORAL SPRINGS, FLORIDA 33071
TEL: (954) 812-9551 - E-MAIL: LPEG@bellsouth.net

REGISTERED LANDSCAPE ARCHITECT DAVID K. HEMPHILL No. 502 STATE OF FLORIDA

DATE	REVISIONS
06-23-18	REV. ACCESS
07-01-18	REV. CURB LINE
07-11-18	REV. BU FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

DATE MAY 2019
SCALE AS NOTED
DESIGNED BY D.K.H.
DRAWN BY T.H.O.
CHECKED BY D.K.H.
FIELD BOOK

SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

IRRIGATION PLAN

SHEET No. L-104
PROJECT No. 21015

DAVE K. HEMPHILL
FL REG LANDSCAPE ARCHITECT
#LA0000502

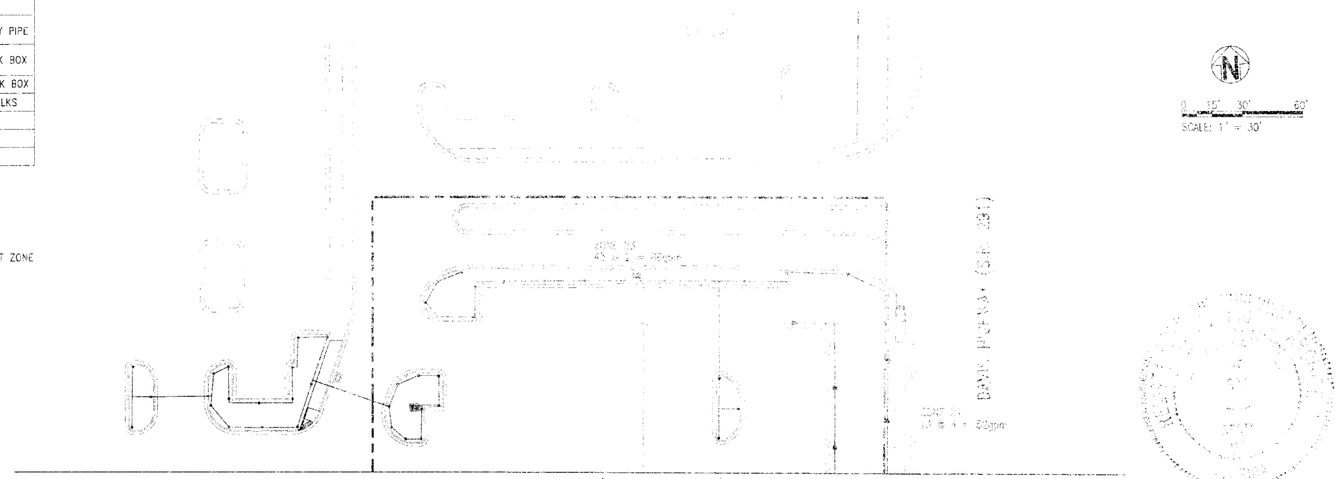
IRRIGATION SCHEDULE

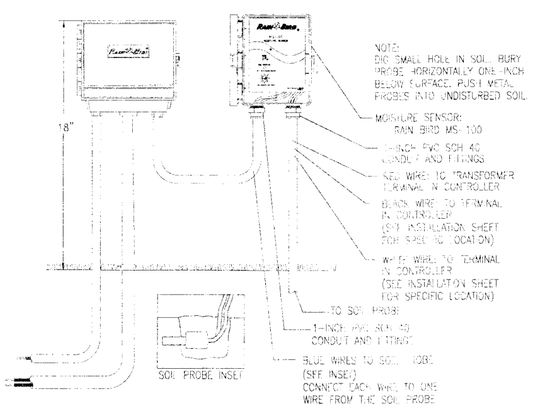
QUANTITY	SYMBOL	MNFTR	DESCRIPTION	MODEL NO.	COMMENTS
		WATTS BACKFLOW PREVENTER 007M1QT			
–	•	RAINBIRD	POP-UP SPRAY HEAD	6" 570 R 13 USE ROTARY NOZZLES	INSTALL W/ FUNNY PIPE
14		RAINBIRD	ELEC. SOLENOID VALVE W / BRASS GATE VALVE	150-PEB	INSTALL IN AMETEK BOX
4			ISOLATION GATE VALVE	SAME SIZE AS PIPE	BRONZE, IN AMETEK BOX
			SDR21 – PVC LATERAL	SCH. 40 SLEEVES FOR ROADS AND WALKS	
			2" MAIN		
1		RAINBIRD	CONTROLLER	ESP-SMTE	
		PAIGE	CONTROLLER WIRE	UF-14	

WATER DEMAND BY ZONE		
ZONE	HEADS	GPM
1	13	52
2	11	44
3	12	48
4	16	64
5	19	70
6	22	44
7	23	46
8	37	74
9	20	60
10	10	40
11	27	54
12	20	68
13	18	56
14	27	54
15	13	56
16	14	56
17	15	60
18	18	36
19	26	52
20	22	44
21	13	52
22	24	62
23	43	86
24	16	32

7
VALVE AND ZONE NUMBER

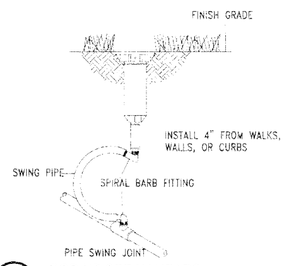
(17) NUMBER OF HEADS IN THAT ZONE



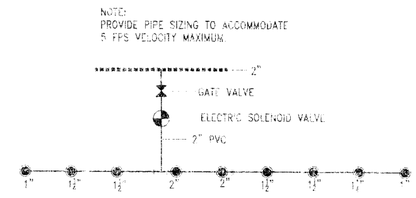


A1 CONTROLLER INSTALLATION
NOT TO SCALE

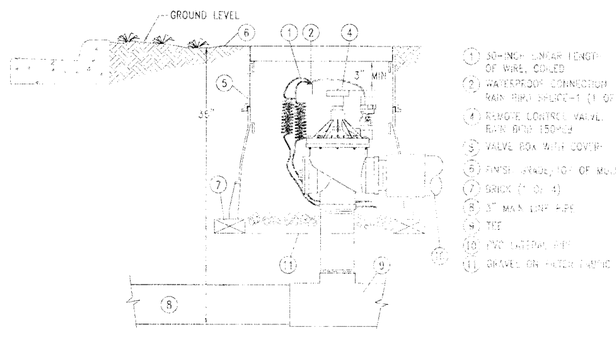
MOUNT ON EXTERIOR WALL ON DEVILLIERS STREET. COORDINATE WITH ELECTRICAL.



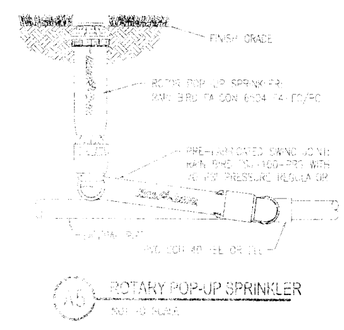
B2 POP-UP SPRAY HEADS
NOT TO SCALE



B3 PIPE SIZING DETAIL
NOT TO SCALE



A2 ELECTRIC REMOTE-CONTROL VALVE
NOT TO SCALE



A5 ROTARY POP-UP SPRINKLER
NOT TO SCALE

BASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions
840 W MAIN ST. PENSACOLA FL 32502 (850) 438-9661
ENGINEERING BUSINESS: ER-0010340
Pensacola - Panama City Beach - Tallahassee - Mobile

LANDPLAN ENGINEERING GROUP, INC.
INNOVATION • SOLUTIONS • DESIGN
14-A N.W. 16th DRIVE, CORAL SPRINGS, FLORIDA 33071
TEL. (954) 812-5051 - E-Mail: LPEG@bellsouth.net

DATE	REVISIONS
06-27-18	REV. ACCESS
07-01-18	REV. CURB LINE
07-11-18	REV. SQ FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

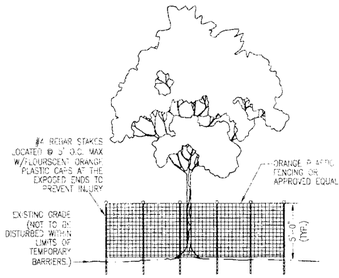
DATE MAY 2019
SCALE AS NOTED
DESIGNED BY D.K.H
DRAWN BY T.H.O.
CHECKED BY D.K.H.
FIELD BOOK

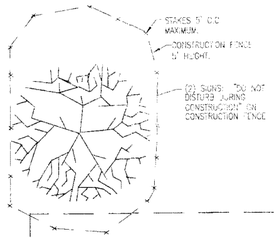
SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

IRRIGATION PLAN

SHEET No. L-105
PROJECT No. 21015

DAVE K. HEMPHILL
FL REG LANDSCAPE ARCHITECT
#LA0000502





TREE PROTECTION DETAIL
NOT TO SCALE

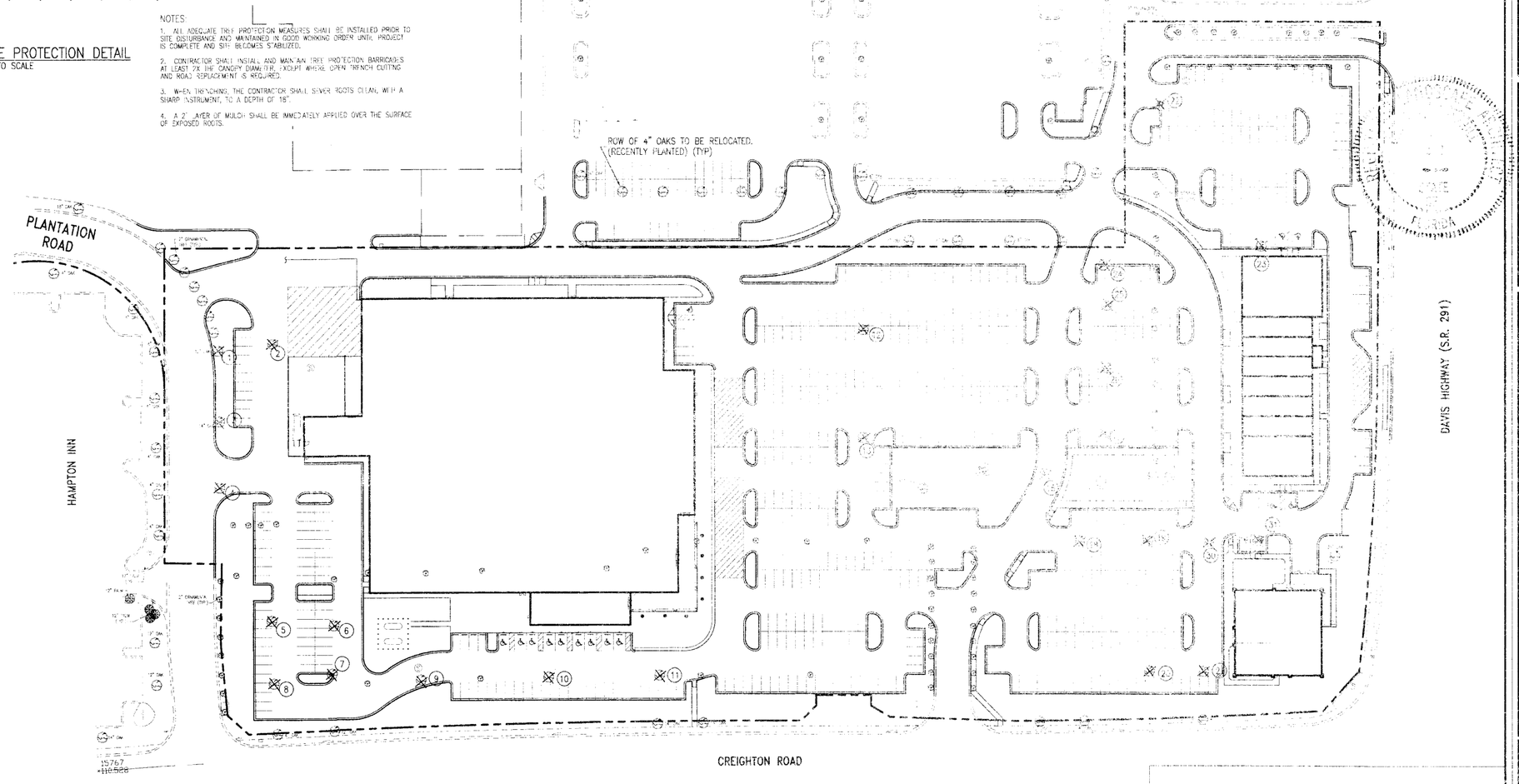
NOTES:

1. ALL ADEQUATE TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.
2. CONTRACTOR SHALL INSTALL AND MAINTAIN TREE PROTECTION BARRICADES AT LEAST 2X THE CANOPY DIAMETER, EXCEPT WHERE OPEN TRENCH CUTTING AND ROAD REPLACEMENT IS REQUIRED.
3. WHEN TRENCHING, THE CONTRACTOR SHALL SEVER ROOTS CLEAN, WITH A SHARP INSTRUMENT, TO A DEPTH OF 18".
4. A 2" LAYER OF MULCH SHALL BE IMMEDIATELY APPLIED OVER THE SURFACE OF EXPOSED ROOTS.

TREES TO BE REMOVED

NO.	TREE TYPE	CALIPER (INCHES)
1	OAK	12
2	OAK	5
3	OAK	14
4	OAK	4
5	OAK	8
6	OAK	8
7	OAK	6
8	OAK	6
9	OAK	14
10	OAK	12
11	OAK	14
12	OAK	6
13	MIX	4
14		
15		
16		
17	OAK	10
18	OAK	8
19	OAK	12
20	OAK	8
21	OAK	8
22	PINE	16
23	OAK	12
24	OAK	8
25	OAK	8
26	PINE	8
27	PINE	8
28	PINE	8
29	PINE	8
30	OAK	12
31	OAK	8

(24) MAJOR TREES (18" CALIPER OR GREATER)
(31) MINOR TREES (8" CALIPER OR GREATER)
TOTAL TREE REMOVAL: 661 DIAMETER INCHES (19.7 ACRES)



BASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions
443 W. MAIN ST., PENSACOLA, FL 32502 (850) 438-9661
ENGINEERING BUSINESS: EB-0000040
Pensacola · Panama City Beach · Tallahassee · Mobile

LANDPLAN ENGINEERING GROUP, INC.
INNOVATIONS • SOLUTIONS • DESIGN
447 NW 23RD DRIVE CORAL SPRINGS, FLORIDA 33071
TEL (954) 812-5651 · E-MAIL LPEG@bellsouth.net

DATE	REVISIONS
06-23-18	REV ACCESS
07-01-18	REV CURB LINE
07-11-18	REV BJ FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

DATE MAY 2019
SCALE AS NOTED
DESIGNED BY D.K.H
DRAWN BY R.R.G.
CHECKED BY D.K.H.
FIELD BOOK

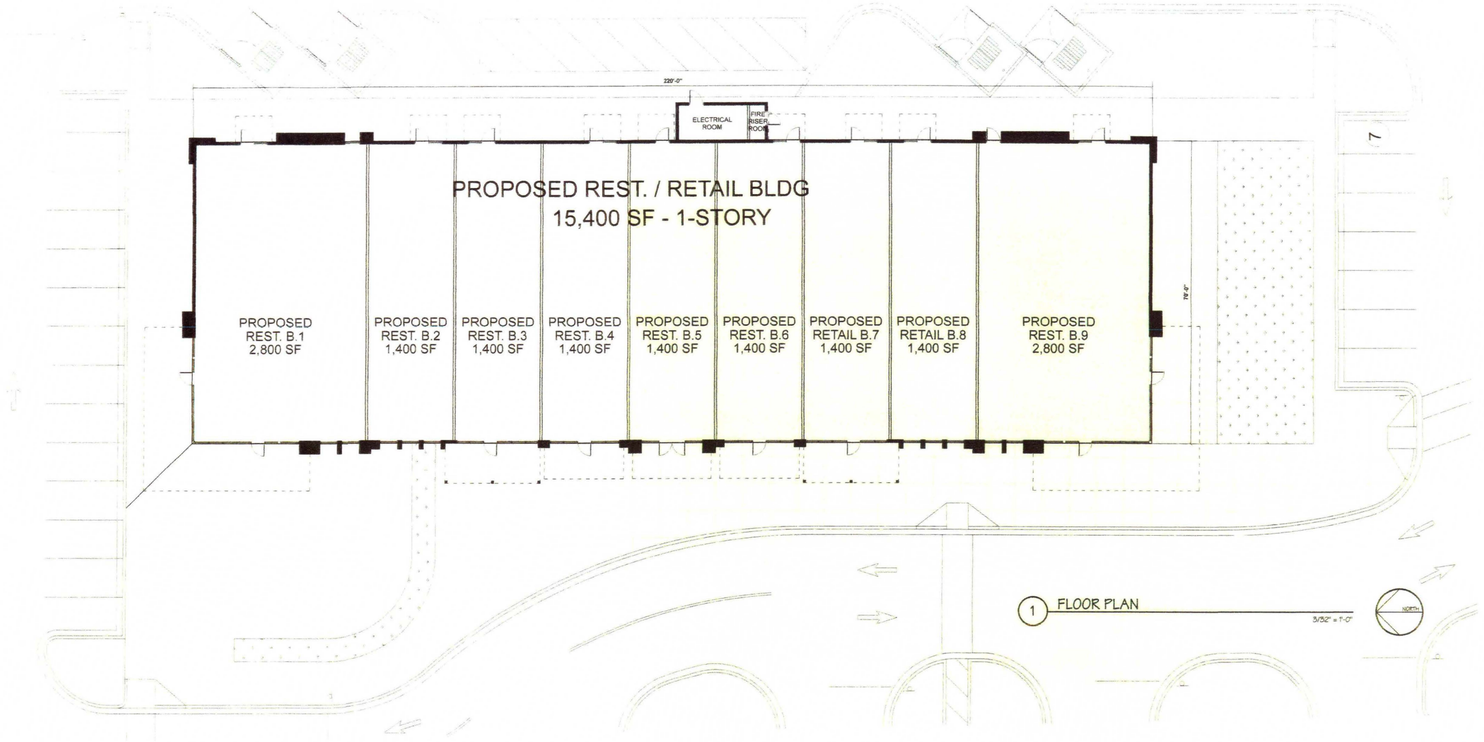
SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

TREE PROTECTION / MITIGATION PLAN

SHEET No. L-106
PROJECT No. 21015

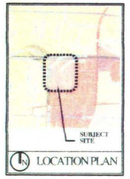
DAVE K. HEMPHILL
FL REG LANDSCAPE ARCHITECT
#LA0000502

University Town Plaza, Escambia County, Florida
S1096



15122-FP1-01 - 10.11.12

SERITAGE GROWTH PROPERTIES



MARC WIENER, AIA
Architecture / Planning
AR # 0010016
851 S FEDERAL HWY., SUITE 203
BOCA RATON, FLORIDA 33432
O: 561-750-4111
F: 561-750-5298

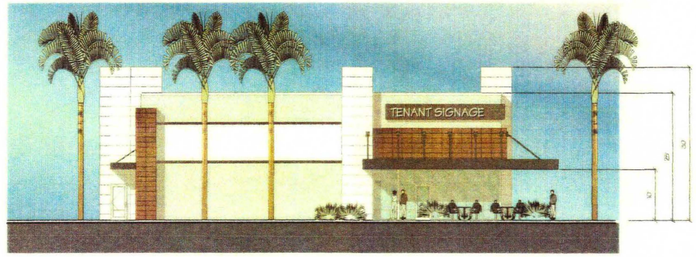
A-1 11.12.15 Job # 15122

STATE OF FLORIDA MARC WIENER 10416 REGISTERED ARCHITECT

University Town Plaza, Escambia County, Florida
S1096

WEST ELEVATION 3/32" = 1'-0"

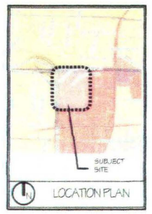
EAST ELEVATION 3/32" = 1'-0"



NORTH END ELEVATION (SOUTH SIMILAR) 3/32" = 1'-0"

15122-AC3.01-02 - 18.10.23

SERITAGE GROWTH PROPERTIES



BUILDING 'B'

MARC WIENER, AIA
Architecture / Planning
AR # 0010416
881 S FEDERAL HWY, SUITE 203
BOCA RATON, FLORIDA 33432
O: 561-750-4111
F: 561-750-5298

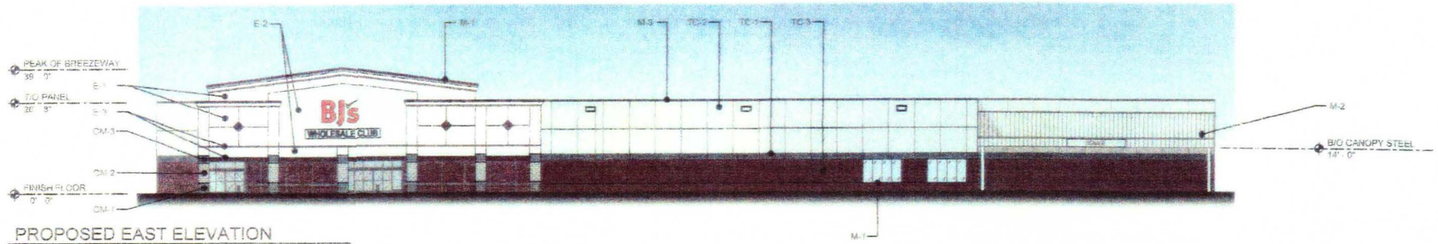
STATE OF FLORIDA M. L. WIENER 10416 REGISTERED ARCHITECT

A-2 11.12.18 Job # 15122

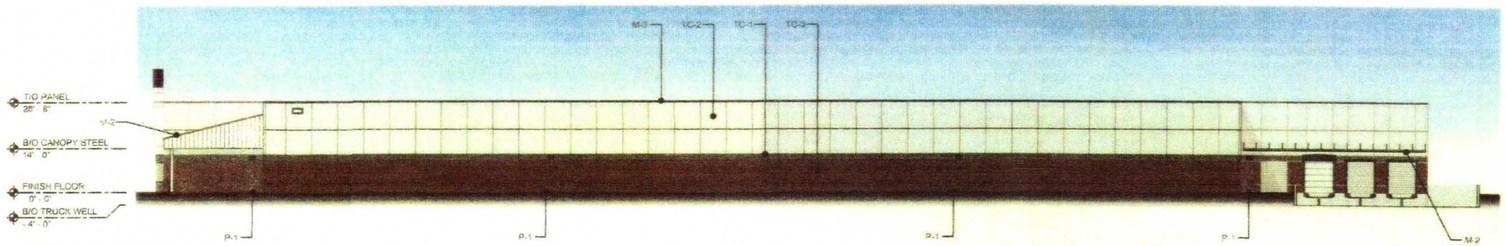
INTERPLAN LLC
ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
PROJECT MANAGEMENT

AA 003420
CA 8060

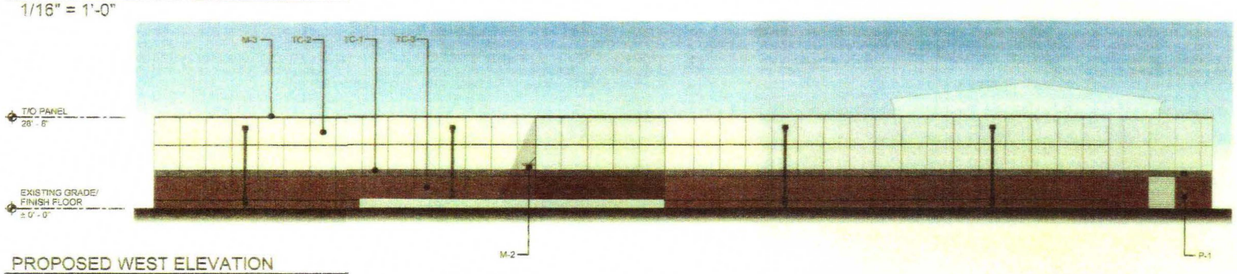
ONE SOUTH 280 SUMMIT AVE
SUITE D
OAKBROOK TERRACE, IL 60181
PH 630.932.2336
FX 630.932.2335



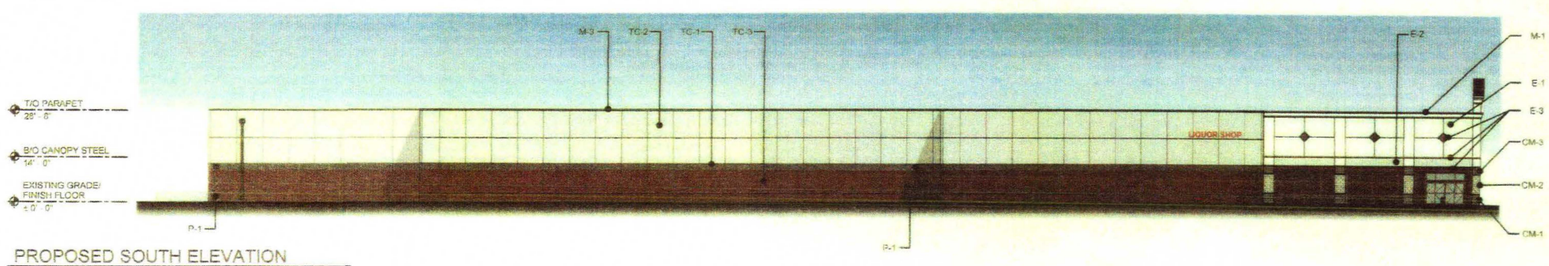
PROPOSED EAST ELEVATION
1/16" = 1'-0"



PROPOSED NORTH ELEVATION
1/16" = 1'-0"



PROPOSED WEST ELEVATION
1/16" = 1'-0"



PROPOSED SOUTH ELEVATION
1/16" = 1'-0"

TC-1 BENJAMIN MOORE 'TROUT GRAY' #2124-20 ON CONCRETE WALL PANEL

TC-2 BENJAMIN MOORE 'GRAY OWL' #2137-60 ON CONCRETE WALL PANEL

E-1 DRYVIT #310 'CHINA WHITE'

TC-3 BENJAMIN MOORE 'RED ROCK' #2005-10 ON CONCRETE WALL PANEL

E-2 DRYVIT #104 'DOVER SKY'

E-3 TO MATCH TC-3

CM-1 CENTER SCORED SPLIT FACE CMU INTEGRAL COLOR TO MATCH EP HENRY #54 N 'DARK GRAY'

CM-2 SPLIT FACE CMU INTEGRAL COLOR TO MATCH EP HENRY #509 SP 'SILVER GRAY'

CM-3 CENTER SCORED GROUND FACE CMU INTEGRAL COLOR TO MATCH EP HENRY #54 N 'DARK GRAY'

★ GROUT COLOR TO MATCH

P-1 BENJAMIN MOORE 'RED ROCK' #2005-10

M-1 PAC-CLAD 'COLONIAL RED'

M-2 PAC-CLAD 'BONE WHITE'

M-3 PAC-CLAD 'CHARCOAL'

DESIGN INTENT DRAWING

This design intent drawing is provided for jurisdictional approval of the exterior appearance of the building. Even though it is signed and sealed by the Architect of Record, it is not a "construction document". After jurisdictional approval of this design intent drawing, Architectural construction drawings will be submitted for permit and construction, and those construction drawings will incorporate the color, material, and proportional specifications described on this design intent drawing.

BJ's WHOLESALE CLUB

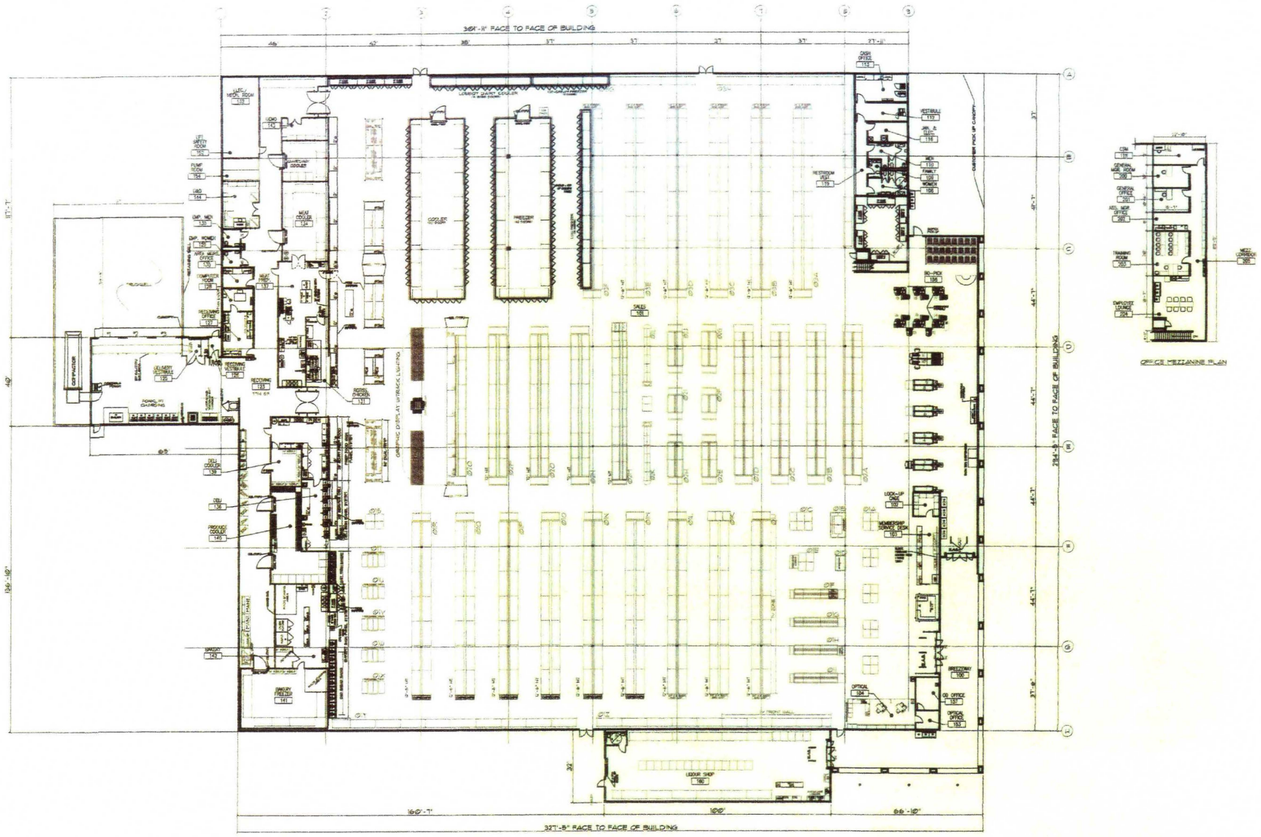
BJ'S Wholesale Club
PENSACOLA, FLORIDA

INTERPLAN LLC
11.08 18

INTERPLAN LLC
ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
PROJECT MANAGEMENT

AA 0034120
CA 6660

ONE SOUTH 280 SUMMIT AVE
SUITE D
OAKBROOK TERRACE, IL 60181
PH 630.932.2336
FX 630.932.2339



PROPOSED FLOOR PLAN

NORTH

DESIGN INTENT DRAWING

This design intent drawing is provided for jurisdictional approval of the conceptual layout of the building. Even though it is signed and sealed by the Architect of Record, it is not a "construction document". After jurisdictional approval of this design intent drawing, Architectural construction drawings will be submitted for permit and construction, and those construction drawings will incorporate the general proportional specifications described on this design intent drawing.

BJ'S WHOLESALE CLUB

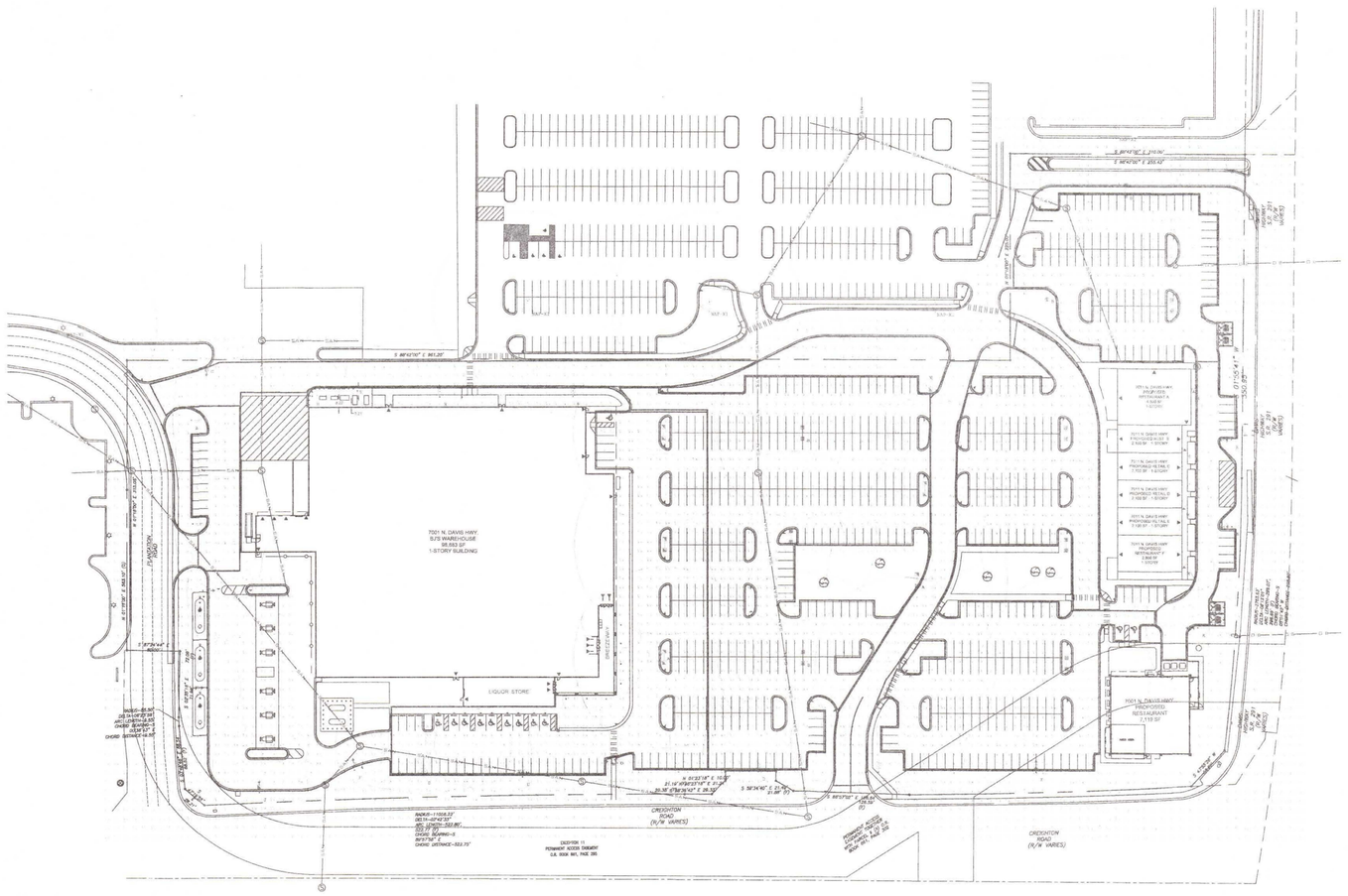
BJ'S Wholesale Club
PENSACOLA, FLORIDA

INTERPLAN LLC

11.08.18

REVISIONS

REV #	DATE	BY:
1	3/13/19	TO
2	3/26/19	TO



Luminaire Schedule

WLS14675 BJS WHOLESALE-SERITAGE PENSACOLA, FL FRI FTFL PLEASE LEVEL SITE AS NECESSARY/ILLUMINATION/FOR PRICING.

Symbol	Qty	Label	Lamps	LLF	Description	Lum. Watts
	1	WSP-2L	1 LED	0.800	MCS-WSP-SCS-1-LED-NW 3K-HS 32" MOUNTING HEIGHT	107W
	1	WSP-3L	1 LED	0.800	MCS-WSP-SCS-1-LED-NW-NW-HS 32" MOUNTING HEIGHT	107W
	7	A	N.A.	0.900	WLS-SLS-NS-G-SGL-T-LED 15'6" MOUNTING HEIGHT	42W
	9	B	N.A.	0.900	WLS-SLS-NS-G-SGL-LG-LED 15'6" MOUNTING HEIGHT	42W
	1	C	N.A.	0.900	WLS-SLS-G-SGL-W-LED 20' MOUNTING HEIGHT	42W
	3	D	N.A.	0.900	WLS-SLS-NS-G-SGL-TS-LED-S-SP 25'6" MOUNTING HEIGHT	56W
	2	E	N.A.	0.900	WLS-SLS-NS-G-SGL-TS-LED-S-SP-BLK 25'6" MOUNTING HEIGHT	42W
	2	F	N.A.	0.900	WLS-SLS-NS-G-SGL-TS-LED-S-SP-BLK 25'6" MOUNTING HEIGHT	56W
	1	G	N.A.	0.900	WLS-SLS-W-G-SGL-LG-LED 25'6" MOUNTING HEIGHT	28W
	3	H	N.A.	0.900	WLS-SLS-W-G-SGL-SGL-LED 25'6" MOUNTING HEIGHT	28W
	3	I	N.A.	0.900	WLS-SLS-G-SGL-TS-LED-S-SP 25'6" MOUNTING HEIGHT	28W
	2	E	N.A.	0.900	WLS-SLS-G-SGL-T-LED-BLK 25'6" MOUNTING HEIGHT	42W
	2	J	N.A.	0.900	WLS-SLS-W-SGL-T-LED 20' MOUNTING HEIGHT	28W
	3	K	N.A.	0.900	WLS-SLS-W-G-SGL-LG-LED 14' MOUNTING HEIGHT	14W
	9	M	N.A.	0.900	WLS-SFBA-LED-4-G-NW-BZ-S-HS 20' MOUNTING HEIGHT	21W

Calculation Summary

Label	Avg	Max	Min	Avg/Min	Max/Min	Avg/Max	Avg/Min
BJS ENTRANCE AND DRIVE	4.4	10.2	1.4	3.3	8.1	16	16
BJS RECEIVING ENTRANCE AREA	5.1	9.7	2.1	2.4	4.6	16	16
BJS PARKING FIELD	5.3	8.1	1.6	3.3	5.1	16	16
BJS RECEIVING AREA	5.2	6.9	2.8	1.9	2.5	16	16
PROP RETAIL-REST FRONT PARKING	4.4	6.2	1.7	2.6	3.7	16	16
PROP RETAIL-REST REAR OF BLDG	3.2	9.6	1.4	2.3	6.9	16	16
PROP RETAIL-REST SIDE PARKING	5.2	5.8	2.3	2.3	2.5	16	16
PROPOSED REST PARKING	3.2	4.8	2.4	1.3	2.0	16	16

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.

WLS LIGHTING
a WLS company
1919 WINDSOR PLACE
FORT WORTH, TX 76110
www.WLSLIGHTING.COM
800-633-8711

PM: MIKE | BY: TO | SHEET 1 OF 1

WLS- 14675A | DATE - 3/5/19 | SCALE: 1"=60'

BJ'S WHOLESALE - SERITAGE
PENSACOLA, FL

LANDPLAN ENGINEERING GROUP, INC.
INNOVATION • SOLUTIONS • DESIGN
1475 N.W. 129th DRIVE - CORAL SPRINGS, FLORIDA 33071
TEL. (954) 812-5551 - E-MAIL: LPEG@bellsouth.net

DATE	REVISIONS
06-23-18	REV. ACCESS
07-01-18	REV. CURB LINE
07-11-18	REV. BJ FOOT PRINT
07-13-18	ADD 14 PARKING SPACES

DATE MAY 2019
SCALE AS NOTED
DESIGNED BY
DRAWN BY
CHECKED BY
FIELD BOOK

SHOPPES AT UNIVERSITY TOWN PLAZA
ESCAMBIA COUNTY, FLORIDA

SITE LIGHTING

SHEET No. E-100

PROJECT No. 21015