

TREE SCHEDULE		
TREE	SIZE	TYPE
T1	54"	LIVE OAK (REMAIN)

- TREE PRESERVATION NOTES:
- All adequate tree protection measures and barricades shall be installed prior to site disturbance and maintained in good working order until project is complete and site becomes stabilized.
 - 54" live oak to be preserved to maintain healthy root growth and canopy spread. see Escambia County LDC DSM Section 2-3 for recommendations for root zone and canopy preservation.

UNPLATTED
TAX #20-25-31-3304-000-000
FAIRFIELD PRESBYTERIAN CHURCH INC
MAIL: 410 S FAIRFIELD DR
PENSACOLA, FL 32506
O.R. 2631, PAGE 963

Approved
ESCAMBIA COUNTY DRC PLAN REVIEW

DRC Chairman Signature: *[Signature]* Date: 6-27-22
Printed Name: *[Signature]*
Development Services Director or Designee

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as shown. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

PRELIMINARY PLAT
WESTPOINTE PLACE
A 46 LOT SUBDIVISION
BEING A PORTION OF
SECTION 20, T-2-S, R-31-W,
ESCAMBIA COUNTY, FLORIDA

Curve Table		
Curve #	Radius	Arc Length
C1	58.00'	1.96'
C2	58.00'	26.64'
C3	39.75'	15.28'
C4	39.75'	4.31'
C5	39.75'	13.79'
C6	39.75'	5.82'
C7	58.00'	28.60'
C8	58.00'	1.37'
C9	58.00'	34.24'
C10	39.75'	9.08'
C11	39.75'	15.33'
C12	39.75'	4.17'
C13	39.75'	18.74'
C14	58.00'	24.88'
C15	58.00'	10.73'
C16	17.25'	10.50'
C17	86.50'	20.39'
C18	3.50'	2.30'
C19	3.50'	5.74'
C20	86.50'	20.39'
C21	17.25'	12.19'
C22	17.25'	11.59'
C23	86.50'	20.39'
C24	3.50'	5.74'
C25	3.50'	2.30'
C26	86.50'	20.39'
C27	17.25'	10.31'

- LEGEND:
- HOA Home Owners Association
 - B.S.L. Building setback line
 - BM Benchmark
 - ELEV Elevation
 - P.O.B. Point of beginning
 - O.R. Official record book
 - P.O.A. Point of commencement
 - P. Page
 - R/W Right of way
 - (R) Radial line
 - (NR) Non radial line
 - P.R.A. Point of reverse curvature
 - P.C. Point of curvature
 - P.T. Point of tangency
 - P.I. Point of intersection
 - 4" Round concrete monument found no #
 - 1/2" Capped iron rod set #1073
 - 1/2" Capped iron rod found #noted
 - 1/2" Iron rod found
 - 1" Iron pipe found
 - 4"x4" Concrete monument found #noted
 - 6"x6" Concrete monument D.O.T.
 - Power pole
 - 123 Contour line
 - c Cable line
 - e Electric line
 - s Gas line
 - t Telephone line
 - w Water line
 - o Fence - wood
 - h Fence - chain link
 - ~~~~~ Silt fence - proposed
 - ss Proposed sewer
 - p Proposed water
 - Subdivision entrance sign

ENGINEERS CERTIFICATE:
I, David W. Fitzpatrick, hereby certify that this is a true and correct copy of the record for Westpointe Place. I hereby certify that all proposed roadways, drainage, and other improvements under my responsibility will be designed to comply with all applicable federal, state and local development requirements.

David W. Fitzpatrick, P.E.
Professional Engineer No. 47818
State of Florida

I hereby certify that this survey was made under my responsible charge and meets the Standards of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17.050, 5J-17.051 and 5J-17.052, pursuant to Section 472.027 Florida Statutes.

David D. Glaze
Digitally signed by David D. Glaze
Date: 2022.06.23 15:02:08 -05'00'

David D. Glaze
PSM #5605

Walter J. Glaze
PSM #6190

This survey is valid only if it contains the original seal and original signature of the signing surveyor.

LB No. 7078
DAVID D. GLAZE
No. 5605
STATE OF FLORIDA
PROFESSIONAL SURVEYOR

File No. C-2717
Job No. 34500-22
Scale: 1" = 50'
Date of Survey 3-11-2022
Date of Plat 2-10-2022
Date of Revision 6-23-2022
FB 1675 PG 30-47
FB PG
Drawn by FMJ
Checked by DDC

LEGAL DESCRIPTION:
Commence at the Southwest corner of Section 20, Township 2 South, Range 31 West, Escambia County, Florida; thence South 88°19'11" E along the South line of said section for a distance of 13.78 feet to the easterly right of way line of Fairfield Drive State Road 289-A (100 feet right of way); thence North 01°21'00" E along said easterly right of way line for a distance of 660.68 feet to the south line of the North Half of the Southwest Quarter of the Southwest Quarter of said Section 20 for the point of beginning.
Thence continue North 01°21'00" E along said easterly right of way line for a distance of 246.96 feet to the south line of parcel described in Official Record Book 2631 at page 463 of the public records of said County; thence South 88°19'11" E East along the south line of said parcel described in Official Record Book 2631 at page 463 for a distance of 1285.44 feet to the west line of West Lake as recorded in Plat Book 19 at page 77 of the public records of said County; thence South 01°21'00" E West along said west line for a distance of 217.91 feet to the south line of the North Half of the Southwest Quarter of the Southwest Quarter of said Section 20; thence North 88°16'40" W West along said south line for a distance of 1286.32 feet to the point of beginning.
All lying and being in Section 20, Township 2 South, Range 31 West, Escambia County, Florida. Containing 8.78 acres, more or less.

FLOOD STATEMENT:
I hereby certify that the subject property is located in Flood Zone "X", areas determined to be outside the 0.2% annual chance floodplain and is not in a Special Flood Hazard Area as determined by Federal Emergency Management Agency (FEMA). Reference Community Panel Number 12089C08646. Effective September 24, 2006.

- SURVEYOR'S NOTES:
- Subject to setbacks, easements and restrictions of record.
 - This survey is subject to any facts that may be disclosed by a full and accurate title search. No title work performed by this firm.
 - This survey does not reflect or determine ownership.
 - This drawing only reflects setback lines, which appear on the recorded plat. This property may also be subject to setback lines mandated by zoning ordinances and/or restrictive covenants of record.
 - Sub-surface improvements, if any, not located.
 - Subject parcel contains 8.78 acres, more or less.
 - Subject parcel is located in the 500 block of Fairfield Drive.
 - The minimum lot width is 40 feet.
 - The entrance signs for this subdivision will be located within the Home Owners Association parcels.
 - No fences or other structures shall be constructed in the public drainage/access easement. These easements shall be accessible at all times.
 - This subdivision contains 46 lots.

Measurements made in accordance with United States Standards.

Bearing Reference NORTH BASED ON THE EAST R/W OF FAIRFIELD DRIVE
AS N 01°21'00" E (DEED CALL)

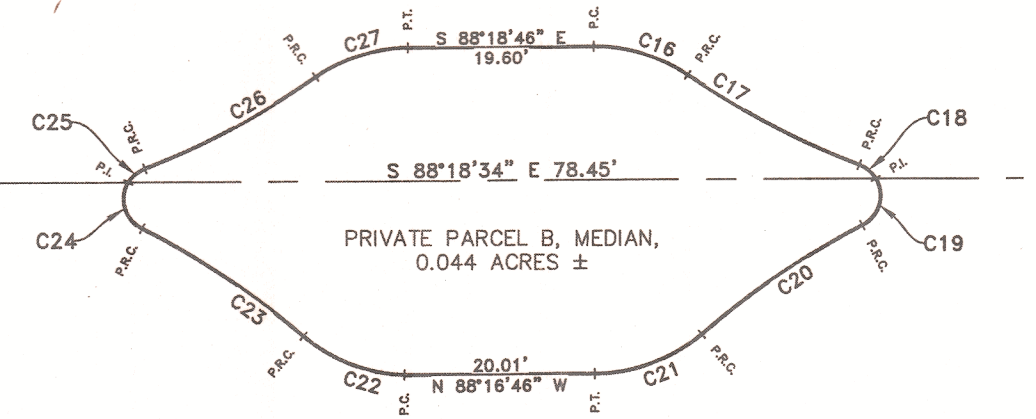
Ordered By MR. BLAKE MCKINNEY Elevation Reference NAVD 88

Encroachments FENCE

Source of information TAX MAPS, PUBLIC RECORDS, RECORDED PLAT:
WEST LAKE (P.B. 13, P. 77)

PRELIMINARY PLAT OF WESTPOINTE PLACE, A 46
LOT SUBDIVISION, BEING A PORTION OF SECTION
20, T-2-S, R-31-W, ESCAMBIA COUNTY, FLORIDA

PITTMAN, GLAZE AND ASSOCIATES, INC.
LAND SURVEYORS
5700 N. DAVIS HIGHWAY, SUITE 3
PENSACOLA, FL 32503
Phone: (850) 434-6666 Fax: (850) 434-6661
Email: pgsurvey@bellsouth.net



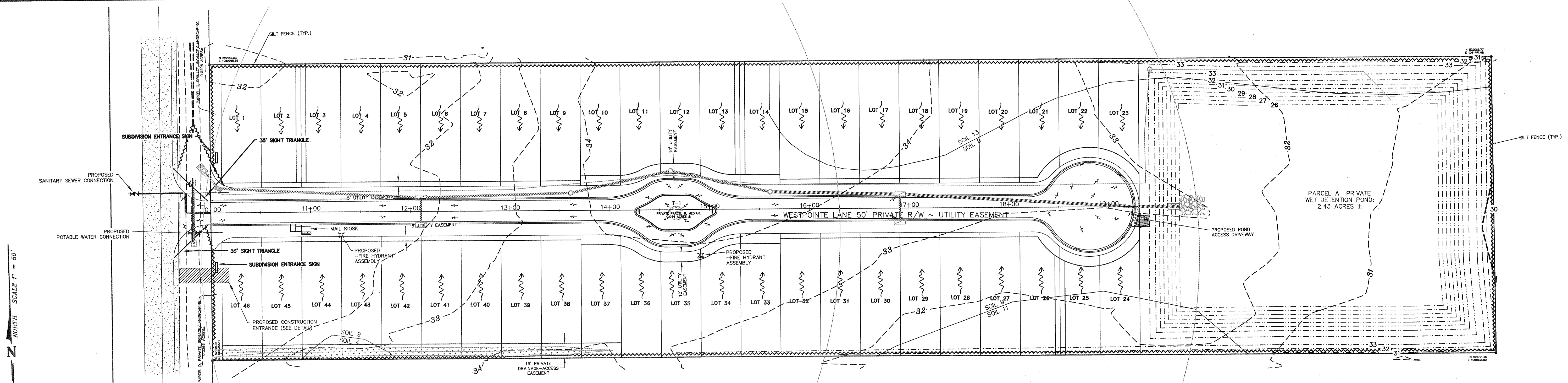
DETAIL SCALE 1" = 20'

VICINITY MAP

14.03' DEED
13.78' EXIST
NO #

S 88°15'32" E EXIST
S 88°15'23" E DEED

P.O.C. SOUTHWEST CORNER
SECTION 20, T-2-S, R-31-W



LEGEND:
R/W
RIGHT-OF-WAY
FINISHED GRADE
CENTERLINE
WATER
SANITARY SEWER
FORCE MAIN
GAS MAIN
STORM SEWER
UNDERGROUND POWER
UNDERGROUND TELEPHONE CABLE

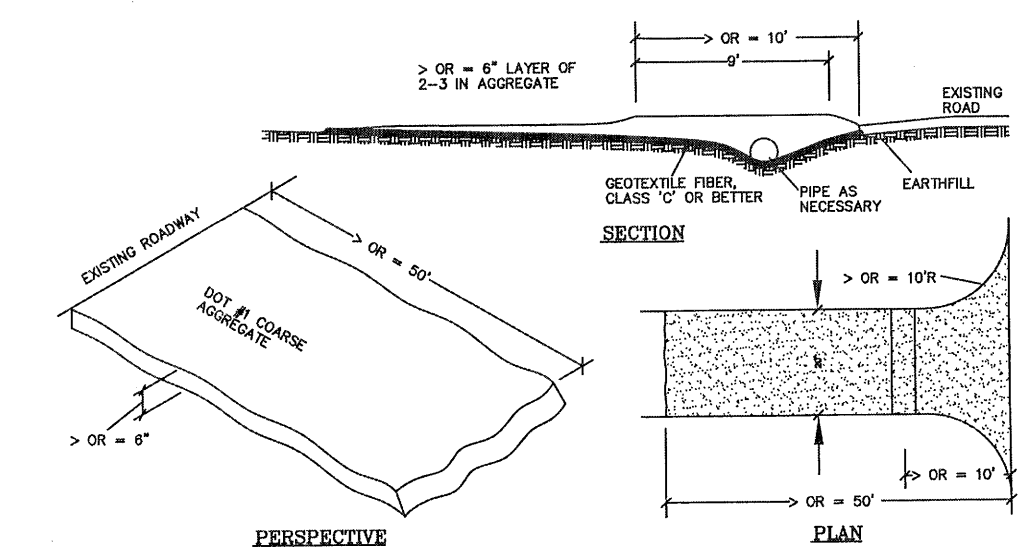
GENERAL NOTES:
1. ALL UTILITIES WITHIN THE RIGHT OF WAY SHALL HAVE A MIN. COVER OF 30 INCHES FROM FINISHED GRADE.
2. A HEALTHY GROWTH OF GRASS WITHIN DISTURBED RIGHT-OF-WAY AREAS IS REQUIRED PRIOR TO COUNTY APPROVAL/ACCEPTANCE. IF TIME CONSTRAINTS EXIST DURING THE FINAL PLAT APPROVAL AND ACCEPTANCE PROCESS, A MINIMUM OF TWO STRIPS OF SOD (MINIMUM 2' WIDE) BEHIND THE BACK OF CURB WITH ALL OTHER DISTURBED AREAS SEED/MULCHED/FERTILIZED WILL BE ACCEPTABLE.

PAVEMENT SECTION NOTES:
1. WATER SHALL BE A MIN. OF 30" BELOW GRADE.
2. ALL UNSUITABLE MATERIALS BENEATH THE ROAD REQUIRE EXCAVATION AND BACKFILL WITH REARLY COMPACTABLE SOLS IN 6" LIFTS AND STABILIZED TO A MINIMUM SOIL DENSITY OF 98% OF THE MODIFIED PROCTOR TEST (ASTM D1557).
3. 6" BASE REQUIRES A MINIMUM SOIL DENSITY OF 98% OF THE MODIFIED PROCTOR TEST (ASTM D1557).
4. 12" SUBGRADE REQUIRES A MINIMUM SOIL DENSITY OF 98% OF THE MODIFIED PROCTOR TEST (ASTM D1557).
5. CRUSHED UNDERLAYER BASE FROM ANY FOOT APPROVED SOURCE MAY BE USED INSTEAD OF GAB.
6. CRUSHED CONCOURSE IS NOT ALLOWED AS A BASE MATERIAL IN THIS SUBDIVISION PROPOSED IN ESCAMBIA COUNTY.
7. FILL MATERIAL UNDER PROPOSED PAVEMENT SHALL BE COMPACTED TO A MINIMUM OF 98% OF THE MODIFIED PROCTOR TEST (ASTM D1557).
8. FILL MATERIAL SHALL BE COMPACTED TO THE SPECIFICATIONS.

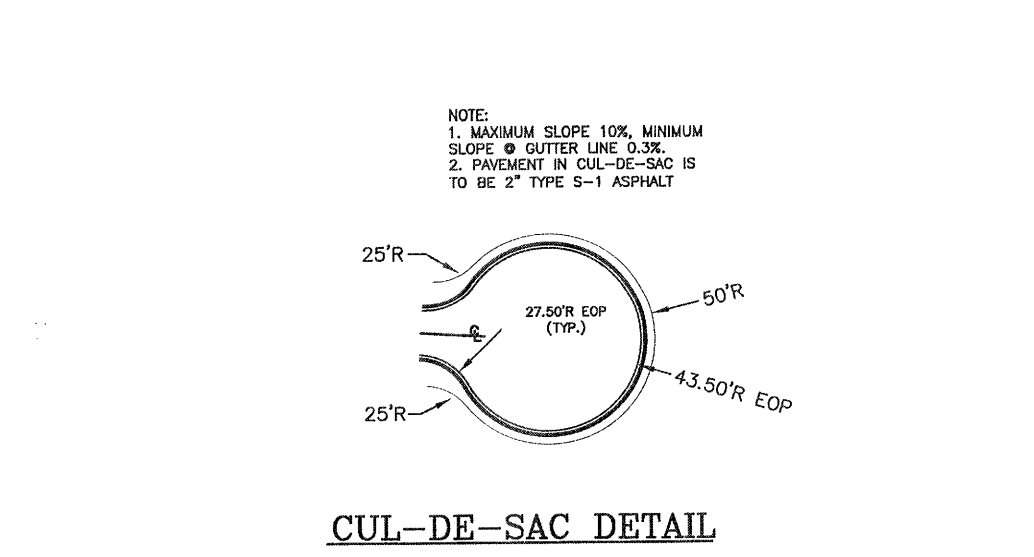
UTILITY NOTES:
1. CONTRACTORS SHALL INSTALL EACH UTILITY SERVICE IN THE LOCATION AS SHOWN IN THE COMMON TRENCH DETAIL. SEE CONSTRUCTION PLANS/UTILITY ADJUSTMENTS TO DETERMINE WHICH SIDE OF THE R/W ACTUALLY RECEIVES THE UTILITY. SOME UTILITIES MAY ONLY BE ON ONE SIDE OF THE ROAD (I.E. WATER & FORCE MAIN).
2. ALL PROPOSED UNDERGROUND UTILITIES WITHIN THE RIGHT-OF-WAY SHALL BE INSTALLED PRIOR TO PAVING. NO STREETS UNDER THE TWO YEAR WARRANTY WILL BE ALLOWED TO BE OPEN-CUT OR JACK AND BORED TO ACCOMPLISH THE REQUIREMENT. COMMON TRENCHING IS REQUIRED. COMMON TRENCHING SHALL NOT TAKE PLACE UNTIL ALL ROW BOUNDARIES HAVE BEEN ESTABLISHED TO ENSURE PROPER UTILITY DEPTHS. IF COMMON TRENCHING IS NOT A FEASIBLE OPTION, THE DEVELOPER SHALL INSTALL CONDUIT FOR THE UTILITY NOT PARTICIPATING IN THE COMMON TRENCHING FOR ALL ROAD CROSSINGS AND THE UTILITY COMPANY WILL BE REQUIRED TO USE THE CONDUIT. THIS SHALL REQUIRE PLANNING BETWEEN THE DEVELOPER AND THE UTILITY.

CONTRACTORS SHALL INSTALL EACH UTILITY SERVICE IN THE LOCATION AS SHOWN IN THE COMMON TRENCH DETAIL.

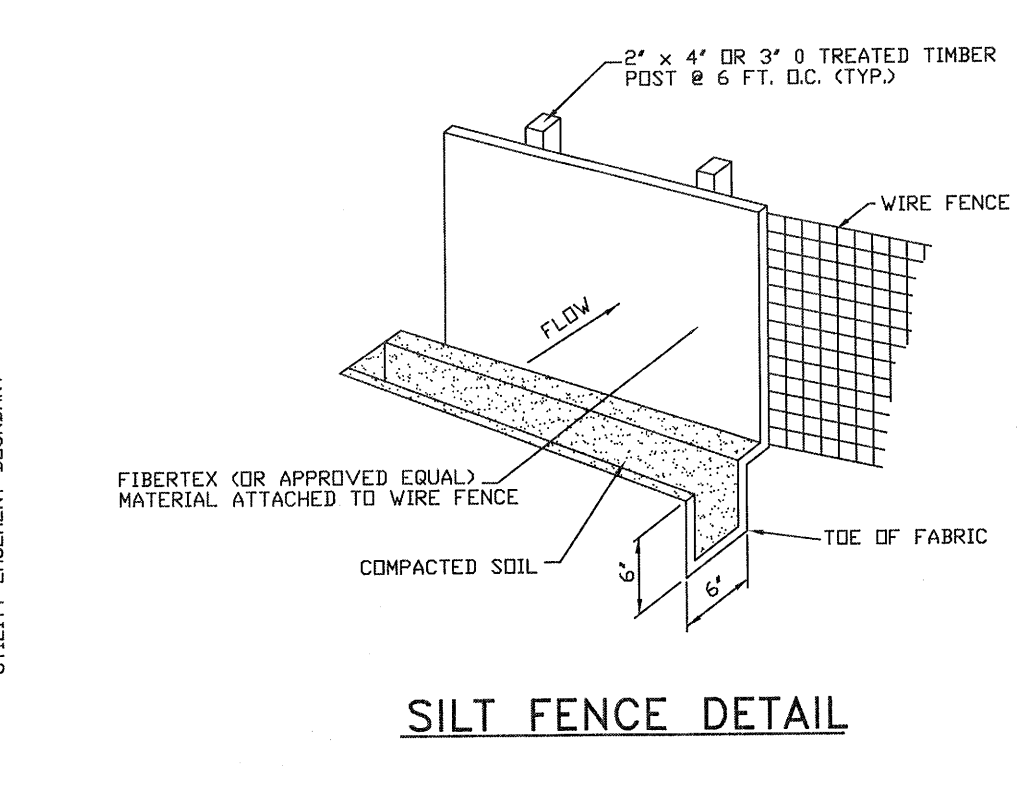
COMMON TRENCH DETAIL/ROAD CROSS SECTION
NOT TO SCALE



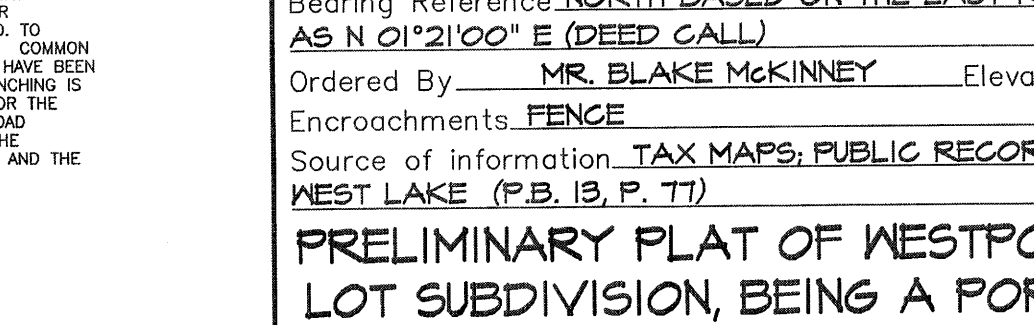
CONSTRUCTION ENTRANCE/EXIT PLAN VIEW
NTS



SIGHT TRIANGLE DETAIL



CUL-DE-SAC DETAIL
NTS



SILT FENCE DETAIL

GENERAL NOTES:
1. The developer/contractor shall install prior to the start of construction and maintain during construction all sediment control measures as required to retain all sediments on the site. Improper sediment control measures may result in code enforcement violation. Control of sedimentation and erosion shall be the contractor's responsibility. Areas of control and typical section of barrier are suggestions only and does not relieve the contractor of any of his responsibility.
2. Contractor shall maintain record drawings during construction which show as-built conditions of all work including piping, drainage structures, outlet structures, dimensions, elevations, grading etc. Record drawings shall be provided to the engineer of record prior to requesting final inspection.
3. The project engineer (engineer of record) shall provide to Escambia County "as-built" record drawings for verification and approval by Escambia County one week prior to request a final inspection, or provide as-built certification that the project construction adheres to the permitted plans and specifications. The as-built certification or the as-built record drawings must be signed and sealed and dated by a registered Florida professional engineer.
4. All disturbed areas which are not paved shall be stabilized with seeding, fertilizer and mulch, hydroseed and/or sod. Seeded areas shall include a bahia mix to ensure continued growth after winter months in accordance with FDOT Section 570 and standard index 105.
5. All aspects of the stormwater/drainage components and or transportation components shall be completed prior to requesting a final inspection.
6. No deviation or revisions from these plans by the contractor shall be allowed without prior approval from both the design engineer, Escambia County, and ECUA. Any deviations may result in delays in county acceptance of improvements.
7. To comply with NPDES requirements, all erosion control measures shall be inspected after each 1/2" rainfall event or at least weekly. The contractor shall document such inspections and erosion control maintenance efforts; inspection records shall be provided to the NPDES permit applicant for proper reporting to FDEP.
8. Notify sunshine utilities 48 hours in advance prior to digging within R/W. 1-800-432-4770
9. Retention/detention areas shall be substantially completed prior to any construction activities that may increase stormwater runoff rates. The developer/contractor shall control stormwater during all phases of construction.
10. All new building roof drains, down spouts, or gutters shall be routed to carry all stormwater to retention/detention areas.
11. Developer/contractor/home owners association shall reshape per plan specifications, clean out accumulated silt, and stabilize the detention pond at the end of construction when all disturbed areas have been stabilized and at the end of the 2-year compliance period.
12. The owner or his agent shall arrange/schedule with the county a final inspection of the development upon completion and any intermediate inspections at 950-545-3475. As-built certification is required prior to request for final inspection/approval.
13. The contractor shall notify FDOT within 48 hours in advance prior to initiating any work in the state rights-of-way.
14. The subject parcel falls within several travel time contours of protected (potable) wellheads. Contractors shall be responsible for reporting spills of potentially hazardous substances (i.e. Gasoline, diesel fuel, hydraulic fluid, cleaning products, chemicals, etc.) To the appropriate state (FDEP state warning point 1-800-320-0514) and local (ECUA-emerald coast utilities authority 850-545-3475 and Escambia County health department/environmental health 945-6712) agencies.
15. All adequate tree protection measures and barricades shall be installed prior to site disturbance and maintained in good working order until project is complete and site becomes stabilized.
16. Proposed residential lots shall remain in their natural state (trees included) until such time as a building permit for the dwelling is issued. Furthermore, per code, no land disturbance activities shall occur onsite, including land clearing, placing of fill materials, grading activities, etc. Or the removal of trees, until such time as construction plans are approved and appropriate permit(s) are issued for the development work or otherwise.

SOIL LEGEND:
Soil 4: Pickney Sand
Soil 9: Leon Sand, 0 to 2 percent slopes
Soil 11: Hurricane Sand, 0 to 5 percent slopes
Soil 13: Lakeland Sand, 0 to 5 percent slopes

DENSITY CALCULATION:
1. Total parcel acreage: 8.78±
2. # dwelling units: 46
3. Density= 46 units/8.78 acres
4. Density= 5.24 dwelling units per acre

Allowable density (hdr): 18 dwelling units per acre
Allowable density (ndm): 25 dwelling units per acre

LOT WIDTH/SETBACK REQUIREMENTS
Sec 9-2.2: High Density Residential District (HDR)
(a) sight and building requirements. The following site and building requirements apply to uses within the HDR district:
(i) lot width requirement:
For a new lot with a majority of its frontage along the outside of a street right-of-way curve whose radius is 100 feet or less, the minimum lot width at the right-of-way is 40 percent of the radius length, but not less than 20 feet. The minimum width for all other new lots is as follows:
(a) single-family detached:
(i) forty feet at the street right-of-way for single family detached dwellings.
(ii) structure setbacks: for all principle structures, minimum setbacks are:
(a) front and rear: twenty feet in the front and 15 feet in the rear.
(b) sides: ten feet on each side of a group of attached townhouses. On each side of all other structures, ten feet or ten percent of the lot width at the street right of way, whichever is less, but at least five feet.

UTILITIES NARRATIVE:
Potable water:
After receiving ERP, FDEP, ECUA, FDOT, and Escambia County approvals, the developer plans to connect to the existing, adjacent system of ECUA, constructing all necessary underground water mains, valves, and fire hydrants to serve this development. Upon completion, the entire systems will then be turned over to ecua for acceptance and approval.
Sanitary sewer:
After receiving ERP, FDEP, ECUA, FDOT, and Escambia County approvals, the developer plans to connect to the existing, adjacent system of ECUA, constructing all necessary underground force mains and laterals to serve this development. Upon completion, the entire system will be turned over to ECUA for acceptance and maintenance. Grinder pump stations on each residential lot shall be maintained by the homeowners.
Storm sewer:
After receiving ERP, ECUA, FDOT, and Escambia County approvals, the developer plans to construct all necessary stormwater manholes, pipes, and stormwater ponds to serve this development. The engineer will design the storm drainage system to comply with Escambia County subdivision and stormwater ordinances. Upon completion, the entire system will remain under private ownership.
Electric, gas, telephone, and tv cable:
These services to be installed and maintained by the appropriate utility company.

ENGINEERS CERTIFICATE:
I, David M. Fitzpatrick, hereby certify that I am the engineer of record for Westpointe Place. I hereby certify that all proposed roadway, drainage, and other improvements under my responsibility will be designed to comply with all applicable federal, state, and local development requirements.

David M. Fitzpatrick, P.E.
Professional Engineer No. 47818
State of Florida

David D. Glaze
Walter J. Glaze
PSM #5605
PSM #6190
This survey is valid only if it contains the original seal and original signature of the signing surveyor.

Bearing Reference NORTH BASED ON THE EAST R/W OF FAIRFIELD DRIVE
AS N 01°21'00" E (DEED CALL)
Ordered By MR. BLAKE MCKINNEY Elevation Reference NAVD 88
Encroachments: FENCE
Source of information: TAX MAPS; PUBLIC RECORDS; RECORDED PLAT;
WEST LAKE (P.B. 13, P. 77)
PRELIMINARY PLAT OF WESTPOINTE PLACE, A 46
LOT SUBDIVISION, BEING A PORTION OF SECTION
20, T-2-S, R-31-W, ESCAMBIA COUNTY, FLORIDA

PITTMAN, GLAZE AND ASSOCIATES, INC.
LAND SURVEYORS
500 N. DAVIS HIGHWAY, SUITE 3
PENSACOLA, FL 32503
Phone: (850) 434-6666 Fax: (850) 434-6661
Email: pgsurvey@bellsouth.net

LB No. 7078
DAVID D. GLAZE
No. 5605
STATE OF FLORIDA
SURVEYOR & MAPPING ENGINEER
No. 47818
File No. C-2717
Job No. 34500-22
Scale: 1" = 50'
Date of Survey: 2-11-2020
Date of Plat: 2-18-2022
Date of Revision: 6-23-2022
FB 1675_PG 38-47
FB 1675_PG 38-47
Drawn by: FMJ
Checked By: DDE