

1. THE PROJECT ENGINEER (ENGINEER OF RECORD) MUST PROVIDE TO ESCAMBA COUNTY AS-BUILT RECORD DRAWINGS FOR VERIFICATION AND RECORDATION. THE ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND FOR OBTAINING THE NECESSARY CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS, AND THE AS-BUILT CERTIFICATION OF THE AS-BUILT RECORD DRAWING MUST BE SIGNED, SEALED, AND DATED BY A REGISTERED FLORENCE PROFESSIONAL ENGINEER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING UTILITIES AND FOR THE PROTECTION OF EXISTING EROSION CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE VIOLATIONS.
3. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORM WATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORM WATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT EROSION AND SEDIMENTATION.
4. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD.
5. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORM WATER TO RETENTION/DETENTION AREAS.
6. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION AREAS PRIOR TO CONSTRUCTION OF THE BUILDING. THE CONTRACTOR SHALL BE SIGNED AND DATED PRIOR TO REQUEST FOR INSPECTION.
7. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOWS THE BUILT CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOP OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL.
8. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3472. AS BUILT CERTIFICATION IS REQUIRED FOR FINAL INSPECTION APPROVAL.
9. NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/R 1-800-432-4770.
10. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS AS PER ESCAMBA COUNTY, FDOT, AND/OR FDEP REQUIREMENTS SHALL BE COMPLETED PRIOR TO ANY CONSTRUCTION OF THE BUILDING.
11. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR PERMIT APPROVAL FROM BOTH THE ENGINEER OF RECORD AND THE COUNTY ENGINEER OF RECORD.
12. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHT OF WAY.
13. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION.
14. ALL HANDICAP PARKING SPACES MUST BE CONSIDERED AND DESIGNED TO BE WRITTEN INTO THE PLANS.
15. ALL BUILDINGS AND MAILBOXES SHOULD DISPLAY THE CORRECT STREET NUMBER. THIS NUMBER MUST BE AT LEAST 3 INCHES IN HEIGHT, 4 INCHES IN WIDTH, AND 4 INCHES IN DEPTH.
16. DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.
17. THE CONTRACTOR/OWNER IS TO ENSURE THAT ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/4" RAINFALL EVENT OR AT LEAST WEEKLY. IF AN NPDES PERMIT IS REQUIRED FOR THIS PROJECT, THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS. INSPECTION REPORTS MUST BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER RECORD KEEPING.
18. CONTRACTOR IS RESPONSIBLE FOR SUBMITTING TO THE DISTRICT NOTICE OF CONSTRUCTION COMMENCEMENT CONTRACTOR IS TO CONTACT THE DISTRICT FOR APPROVAL OF THE CONSTRUCTION COMMENCEMENT. THE ENGINEER OF RECORD IS TO OBTAIN THE NECESSARY AS-BUILT CERTIFICATIONS FOR THE PROJECT WHEN COMPLETED.
19. ALL TREE REMOVAL, LAND CLEARING, (LAND DISTURBANCE ACTIVITIES), PLACEMENT OF EROSION CONTROL MATERIALS, GRADING OF LAND, OR OTHER ACTIVITIES THAT MAY CAUSE LAND DISTURBANCE SHALL BE REVIEWED AND APPROVED BY THE COUNTY ENGINEER OF RECORD, ESCAMBA COUNTY, OR ANY OTHER AGENCIES AS REQUIRED.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING EROSION CONTROL MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO ANY WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.

PROP. REF#: 13-1S-31-1100-001-050

ZONE: HC-LI FLU: COM
EXISTING USE: STORE/OFFICE/SFR

SURROUNDING ZONE: COM/MDR FLU: COM/MU-U

OWNER/DEVELOPER: SIGNATURE TECH LLC
PO BOX 17899
PENSACOLA, FL 32522

SITE ADDRESS: 7791 PINE FOREST RD.

PROPOSED USE: COMMERCIAL

<u>SHEET</u>	<u>DESCRIPTION</u>
1	EXISTING CONDITIONS/DEMO PLAN
2	SITE PLAN OVERALL
3	UTILITY PLAN
4	DRAINAGE PLAN
5	LANDSCAPE PLAN
6	POND DETAILS
7	DRAINAGE DETAILS
8	PUMPSTATION DETAILS

[illegible]

The Engineers of Record (EORs) that have affixed their seals and signatures on these plans warrant their portions of the plans have been designed in accordance with the Manual (unless otherwise directed by the ECUA Project Engineer). The EORs shall be knowledgeable of the Manual's contents and shall assume responsibility for its use on this Project.

EXISTING 36" CPP INV ELEV: 59.42
 EXISTING 36" CPP INV ELEV: 59.63
 BENCHMARK "B" COTTON GIN SPIKE IN ASPHALT ELEV. = 65.24'
 N. LINE OF LOT 50
 STRATFORD ROAD
 LESS AND EXCEPT
 S 86°52'46" E ~ 291.18' (F)
 10' BSL
 EXISTING METAL BUILDING F.F.E. = 64.60
 EXISTING CONCRETE
 EXISTING METAL COMMERCIAL BUILDING F.F.E. = 64.42
 EXISTING CONTROL PANEL
 EXISTING METAL COMMERCIAL BUILDING F.F.E. = 62.54
 EXISTING COVERED CONCRETE
 EXISTING CONCRETE TO BE REMOVED
 EXISTING ASPHALT
 EXISTING ASPHALT TO BE REMOVED
 EXISTING ASPHALT TO SERVE AS CONSTRUCTION ENTRANCE
 EXISTING ONE STORY WOOD RESIDENTIAL F.F.E. = 58.97
 EXISTING POOL
 EXISTING CHAINLINK FENCE
 UPLANDS
 LOT 50
 UPLANDS
 1" WIDE BLOCK RETAINING WALL
 1" WIDE WOOD RETAINING WALL
 10' BSL
 S 87°42'09" E ~ 411.62' (F)
 EAST ~ 424.99' (D)
 BENCHMARK "C" COTTON GIN SPIKE IN E. SIDE OF 23" OAK FEE = 58.87
 (REFERENCE BEARING) N 87°38'01" W ~ 624.76' (F)
 EAST ~ 213' (D)
 POINT OF BEGINNING (LESS AND EXCEPT)
 22°38'51" W ~ 87.55' (F)
 13-15-31-1100-002-050 CADEM FRANCIS M & BRENDA K 7621 PINE FOREST RD. PENSACOLA, FL 32526 ZONED: COM FLU: COM USE: SINGLE FAMILY RESIDENTIAL
 PROPOSED 30-FT MERS
 1" WIDE BLOCK RETAINING WALL AND JURISDICTIONAL WETLANDS LINE
 UPLANDS
 LESS AND EXCEPT
 18' (D)
 PINE FOREST ROAD (150' R/W)
 EXISTING WATER METER
 EXISTING PHONE BOX
 EXISTING MES INV ELEV: 58.63
 EXISTING 48" LF 18" CMP @SL = 0.50%
 EXISTING MES INV ELEV: 58.39
 EXISTING 107" LF 18" CMP @SL = 0.55%
 EXISTING MES INV ELEV: 60.11
 EXISTING STORM INLET TOP ELEV: 62.80 INV ELEV: 60.70
 EXISTING PHONE BOX
 EXISTING 8" CA WATERMAIN (LOCATION APPROXIMATE)
 EXISTING FIBER OPTIC (LOCATION APPROXIMATE)
 EXISTING FIRE HYDRANT (LOCATION APPROXIMATE)
 EXISTING SS MANHOLE TOP ELEV: 61.44 INV ELEV: 56.14 (LOCATION APPROXIMATE)
 EXISTING FORCEMAIN (LOCATION APPROXIMATE)
 EXISTING SANITARY SEWER (LOCATION APPROXIMATE)
 EXISTING 4" PVC GASMAIN (LOCATION APPROXIMATE)
 EXISTING WATER VALVE (LOCATION APPROXIMATE)
 EXISTING 8" PVC WATERMAIN (LOCATION APPROXIMATE)
 EXISTING SS MANHOLE (LOCATION APPROXIMATE)
 WITNESS CORNER 70' OFFSET
 EDGE OF WATER
 EDGE OF SURFACE WATER
 SURFACE WATER / EIGHT MILE CREEK
 EIGHT MILE CREEK
 S 54°26'37" W ~ 133.08' (F)
 13' (D)
 10' BSL
 1" WIDE BLOCK RETAINING WALL
 1" WIDE WOOD RETAINING WALL
 10' BSL
 S 87°01'57" W 1306.40' (F)
 N 86°42'19" W 331.14' (F)
 EXISTING 36" CPP INV ELEV: 59.16
 EXISTING 36" CPP INV ELEV: 59.49
 EXISTING 4'X6' PRIVATE PUMPSTATION TO BE REPLACED
 EXISTING UTILITY POLE, TYP.
 PROPOSED SILT FENCE TYP., SEE DETAIL
 000-048 ANIEL L LIFE EST 32516 U: MU-U MILY
 LOT 49
 N 04°20'06" E ~ 645.60' (F)
 15' BSL
 EXISTING MAN-MADE POND
 EXISTING CHAINLINK FENCE
 UPLANDS
 WETLANDS
 DOUBLE ROW OF SILT FENCE & ROW OF HAYBALES WHERE ADJACENT TO WETLANDS/SURFACE WATERS
 PROPOSED 30-FT MERS
 1" WIDE BLOCK RETAINING WALL AND JURISDICTIONAL WETLANDS LINE
 UPLANDS
 LESS AND EXCEPT
 18' (D)
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 EDGE OF SURFACE WATER
 SURFACE WATER / EIGHT MILE CREEK
 EIGHT MILE CREEK
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 13' (D)
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 N 86°42'19" W 331.14' (F)
 EXIST

A cross-sectional diagram of a straw bale water filter. A rectangular straw bale is divided into a 3x3 grid of nine smaller squares. A vertical wooden stake is driven through the center of the bale, extending above and below it. To the left of the bale, a horizontal line represents the ground surface with small tufts of grass. An arrow labeled "FILTERED RUNOFF" points from the ground into the left side of the bale. To the right of the bale, an arrow labeled "SEDIMENT LADEN RUNOFF" points from the ground into the right side of the bale. Above the bale, an arrow labeled "STAKED AND ENTRENCHED STRAW BALE" points to the top of the bale. Inside the bale, an arrow labeled "COMPACTED SOIL TO PREVENT PIPING" points to the space between the grid squares. Another arrow labeled "TIE OF FABRIC" points to the horizontal lines separating the grid squares.

Approved
ESCAMBIA COUNTY DRPC PLAN REVIEW

DRC Chairman Signature <u><i>Donna Hampton</i></u>	<u><i>6-29-20</i></u> Date
Printed Name: <u><i>Donna Hampton</i></u>	
Development Services Director or Designee	

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by the local government agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

DAVID W. FITZPATRICK
PROFESSIONAL ENGINEER, P.A.
BOARD OF PROFESSIONAL ENGINEERS
CERTIFICATE # 00008423
10256 13TH STREET
PACIFIC, MISSISSIPPI 39347
PH: (850)476-4877 FAX: (850)476-7708

PINE FOREST RV PARK

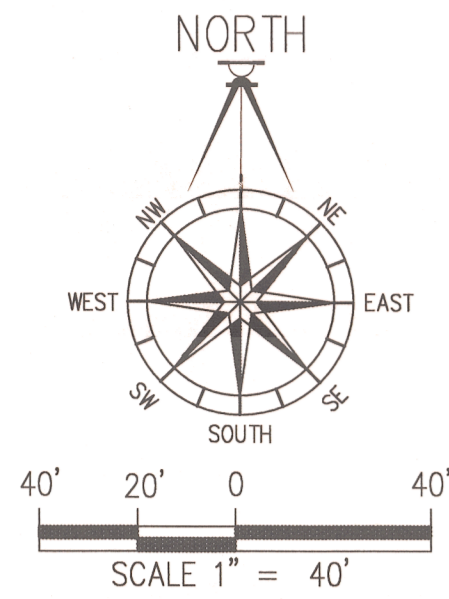
EXISTING CONDITIONS

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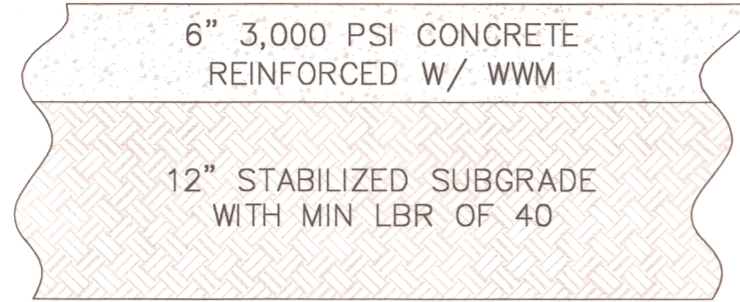
DRAWN BY: B. PEMENT	
DESIGNED BY: D. FITZPATRICK	
	
DATE:	
PROJECT NUMBER	21-038
PLOT DATE	6/24/22
SHEET C1 OF C8	

PERMIT SET

NOT RELEASED FOR CONSTRUCTION



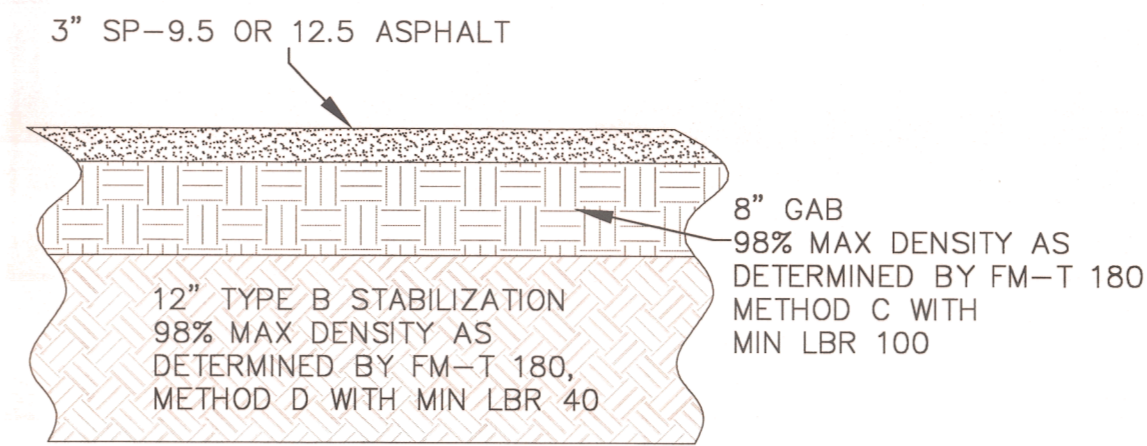
LOT COVERAGE			
TOTAL LAND AREA	274,225 SF	6.30 ACRES	
EXISTING IMPERVIOUS	32,490 SF	11.9%	
EXISTING SEMI-IMPERVIOUS	16,784 SF	6.1%	
EXISTING PERVIOUS	224,951 SF	82.0%	
EXISTING IMP. TO BE REMOVED	1,440 SF		
EXISTING SEMI-IMP. TO BE REMOVED	0 SF		
PROPOSED PAVING/CONCRETE	56,286 SF		
PROPOSED BUILDINGS	0 SF		
PROPOSED SEMI-IMPERVIOUS	0 SF		
NEW + EXISTING IMPERVIOUS	87,336 SF	31.8%	
NEW + EXISTING SEMI-IMPERVIOUS	16,784 SF	6.1%	
REMAINING PERVIOUS	170,105 SF	62.0%	



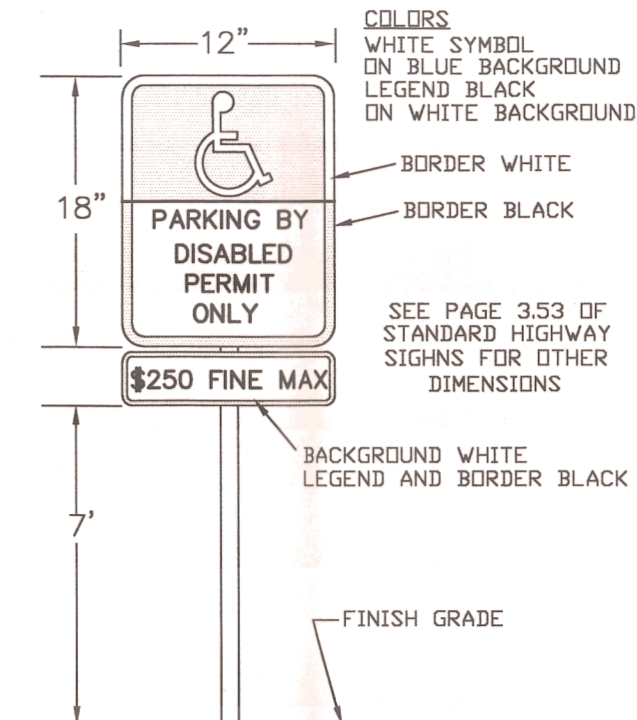
CONCRETE DETAIL
NTS

FIRE SAFETY NOTES:

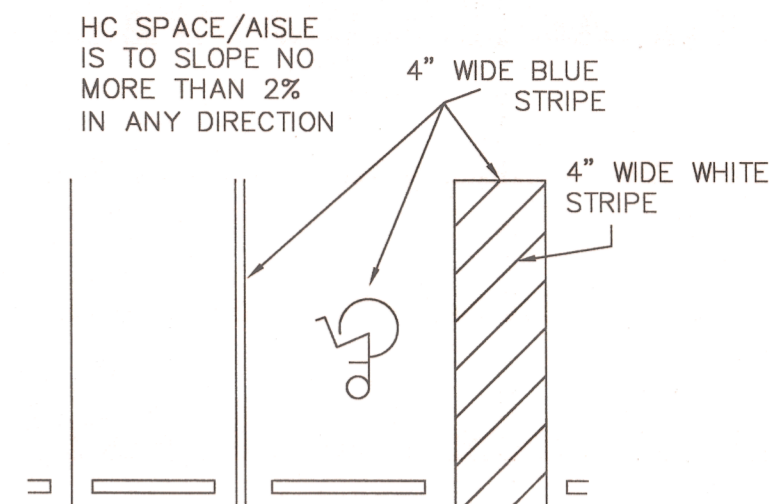
1. THE INTERIOR ROADWAY SHALL NOT BE OBSTRUCTED IN ANY MANNER THAT WOULD INHIBIT THE ACCESS OF THE FIRE DEPARTMENT, INCLUDING THE PARKING OF VEHICLES
2. THE INTERIOR ROADWAY SHALL HAVE AN UNOBSTRUCTED VERTICAL CLEARANCE OF 13'-FT, 6 INCHES MINIMUM.



ASPHALT DETAIL
NTS



DISABLED PARKING SIGN
#G-61-BE5 W/ FINE MESSAGE
NTS



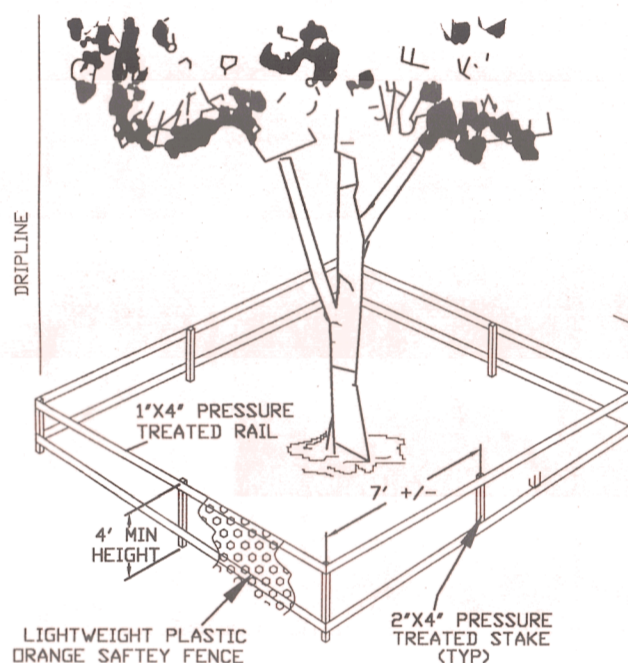
STRIPING DETAIL
NTS

NOTE: ALL TREE REMOVAL, LAND CLEARING, "LAND DISTURBANCE ACTIVITIES", PLACEMENT OF FILL MATERIALS, GRADING OF LAND, OTHER DEVELOPMENT ACTIVITIES, ETC. SHALL ONLY OCCUR AFTER ALL PROPER PERMITS &/OR APPROVALS ARE OBTAINED FROM ESCAMBIA COUNTY & ANY OTHER AGENCIES AS REQUIRED"

TREE SCHEDULE

TREE	SIZE	TYPE
T1	23"	LIVE OAK (REMAIN)
T2	18"	LIVE OAK (REMAIN)
T3	15"	LIVE OAK (REMAIN)
T4	14"	CEDAR (REMAIN)
T5	12"	LIVE OAK (REMAIN)
T6	23"	LIVE OAK (REMAIN)
T7	15"	CEDAR (REMAIN)
T8	13"	CEDAR (REMOVE)
T9	15"	CEDAR (REMOVE)

THERE ARE NO HERITAGE TREES ONSITE

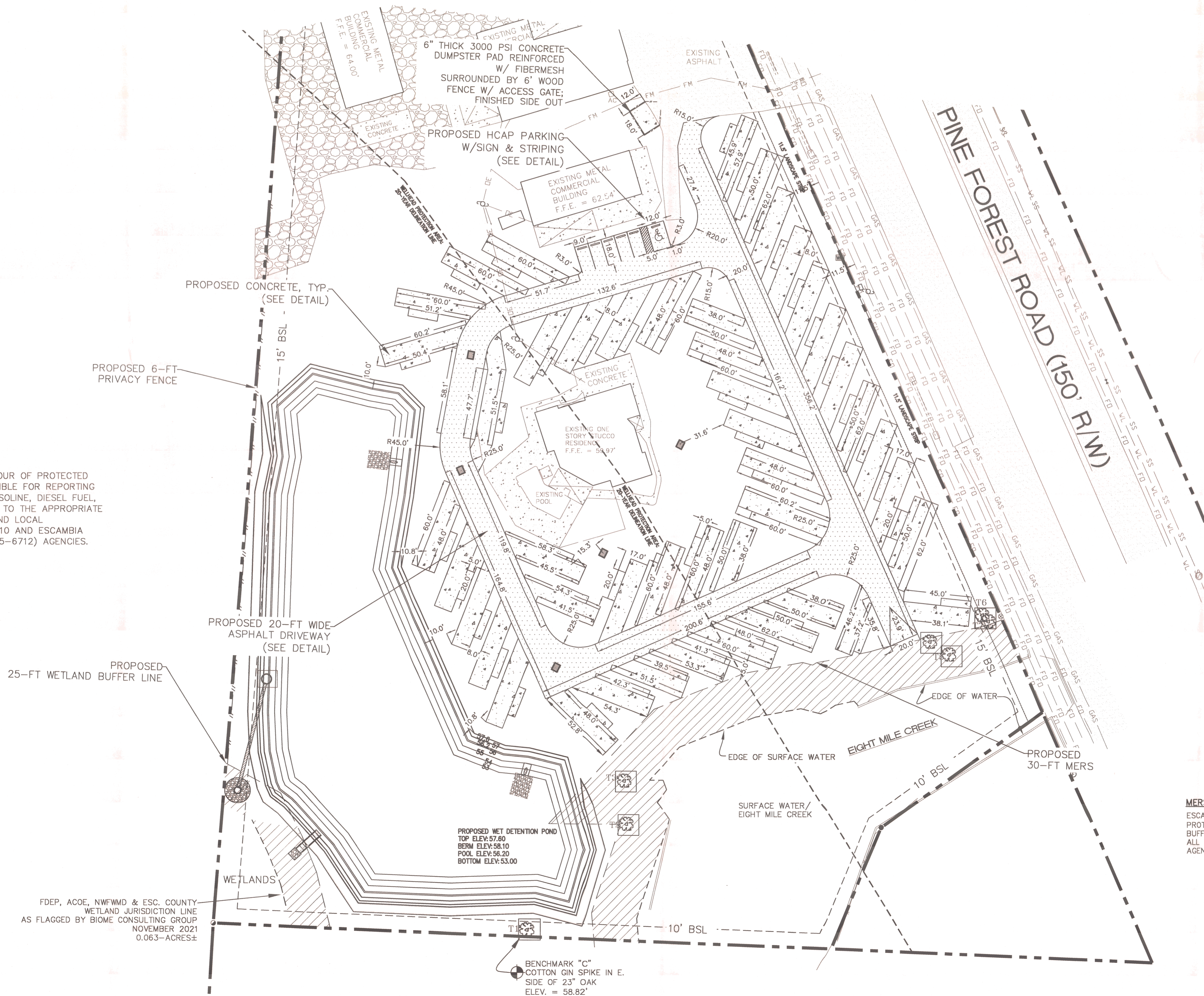


NOTE: ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE PROPERLY INSTALLED AROUND THOSE TREES SHOWN TO BE PRESERVED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL THE PROJECT IS COMPLETE AND THE SITE BECOMES STABILIZED.

TREE BARRICADE
N.T.S.

WELLHEAD PROTECTION NOTE:

THE SUBJECT PARCEL FALLS WITHIN A TRAVEL TIME CONTOUR OF PROTECTED (POTABLE) WELLHEADS. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ECUA-EMERALD COAST UTILITIES AUTHORITY 850-476-5110 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 595-6712) AGENCIES.



MERS NOTE

ESCAMBIA COUNTY'S MERS (RIVERINE SETBACK) / SHORELINE PROTECTION ZONE (SPZ), WETLANDS, & REMAINING WETLAND BUFFERS SHALL REMAIN IN THEIR NATURAL, VEGETATED STATE AT ALL TIMES UNLESS PROPERLY PERMITTED BY ALL JURISDICTIONAL AGENCIES PRIOR TO INITIATION OF SITE WORK.

DAVID W. FITZPATRICK

PROFESSIONAL ENGINEER, P.A.

BOARD OF PROFESSIONAL ENGINEERS

CERTIFICATE # 00008423

10250 NORTH PALFOX STREET
PENSACOLA, FL 32534

PH: (850)476-8677 FAX: (850)476-7708

PINE FOREST RV PARK

SITE PLAN OVERALL

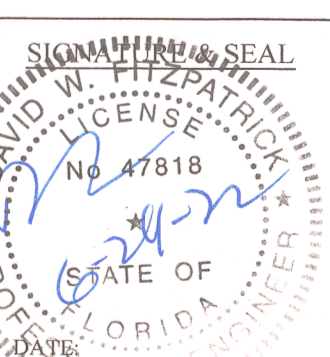
DATE	
REVISION	
NUMBER	

DRAWN BY:

B. PEMENT

DESIGNED BY:

D. FITZPATRICK



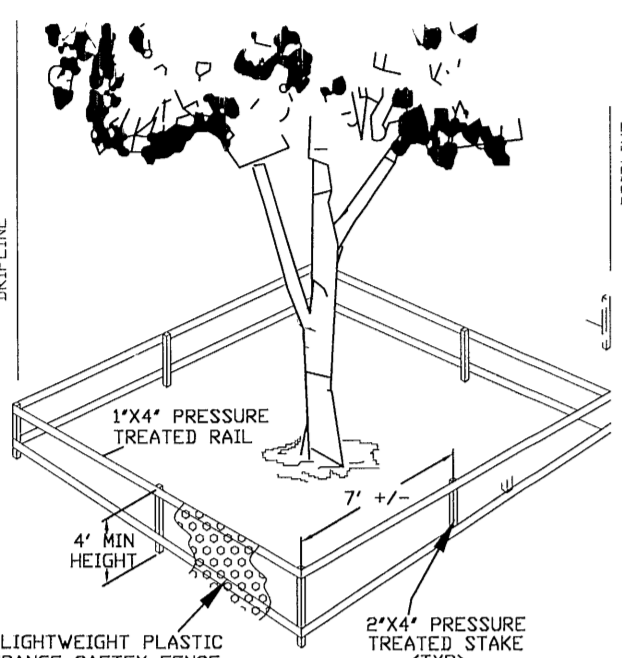
PROJECT NUMBER

21-038

PLOT DATE

6/24/22

SHEET C2 OF C8

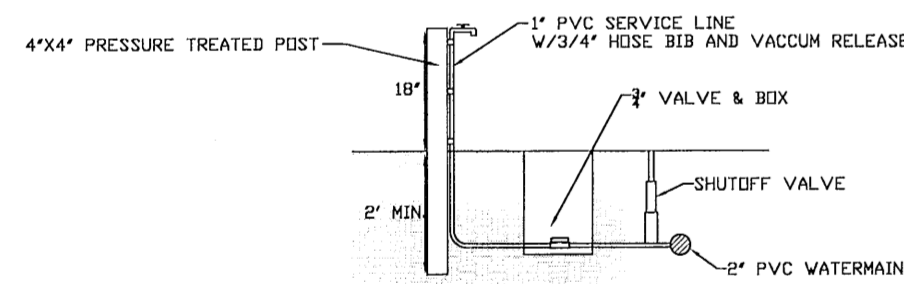


TREE BARRICADE
N.T.S.

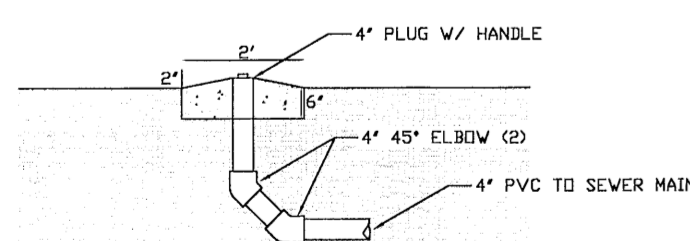
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T9	15"	CEDAR (REMOVE)

THERE ARE NO HERITAGE TREES ONSITE

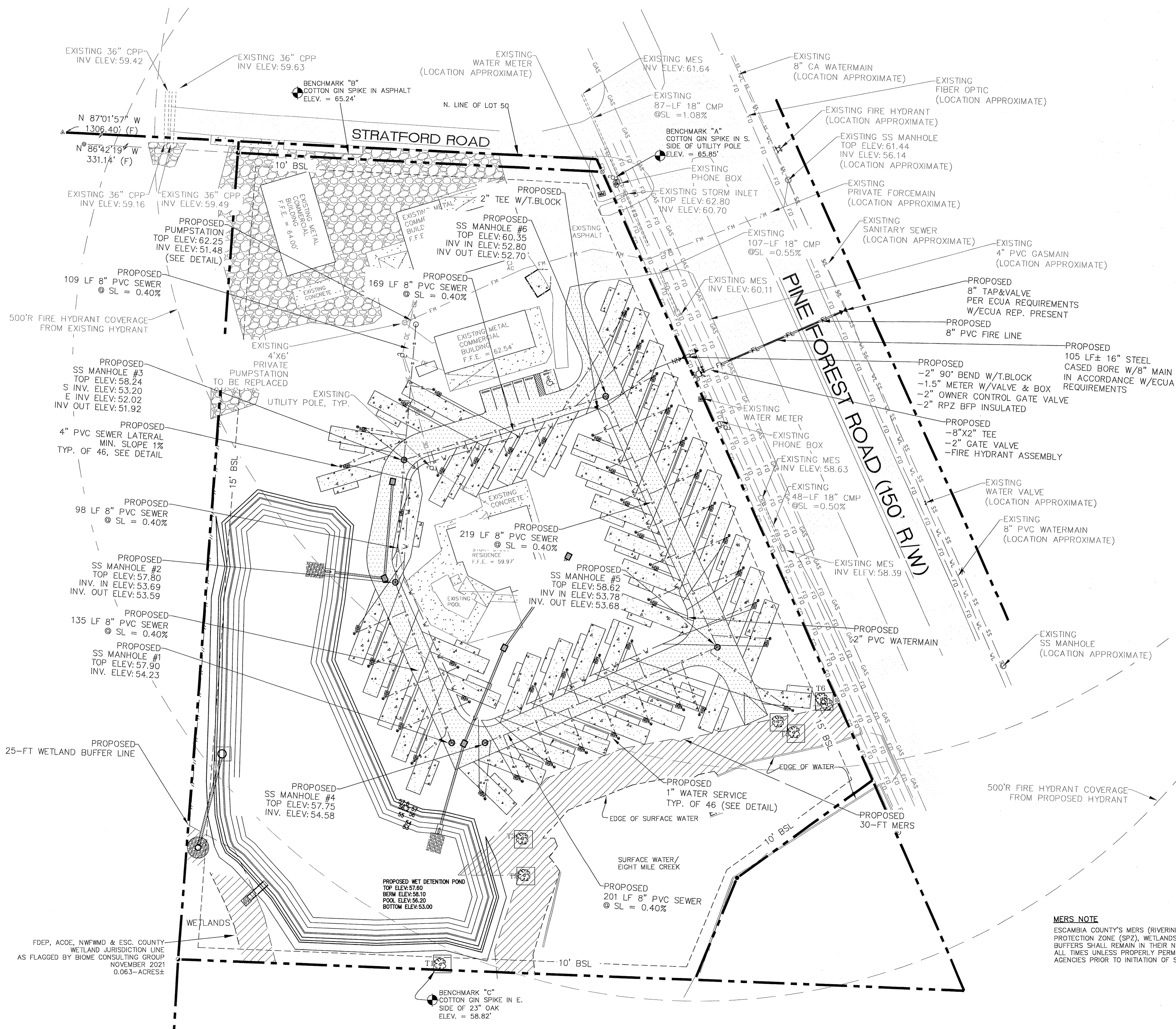


HOSE BIB DETAIL
NTS



SEWER CONNECTION DETAIL
NTS

FDEP, ACOE, NFWMD & ESC. COUNTY:
WETLAND JURISDICTION LINE
AS FLAGGED BY BIOME CONSULTING GROUP
NOVEMBER 2021
0.063-ACRES±



MERS NOTE

ESCAMBIA COUNTY'S MERS (RIVERINE SETBACK) / SHORELINE PROTECTION ZONE (SPZ), WETLANDS, & REMAINING WETLAND BUFFERS SHALL REMAIN IN THEIR NATURAL, VEGETATED STATE AT ALL TIMES UNLESS PROPERLY PERMITTED BY ALL JURISDICTIONAL AGENCIES PRIOR TO INITIATION OF SITE WORK.

DAVID W. FITZPATRICK
PROFESSIONAL ENGINEER, P.A.
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CERTIFICATE # 00008423
10259 N.W. 10TH AVENUE, STREET
PENSACOLA, FL 32533
PH: (850)476-8677 FAX: (850)476-7708

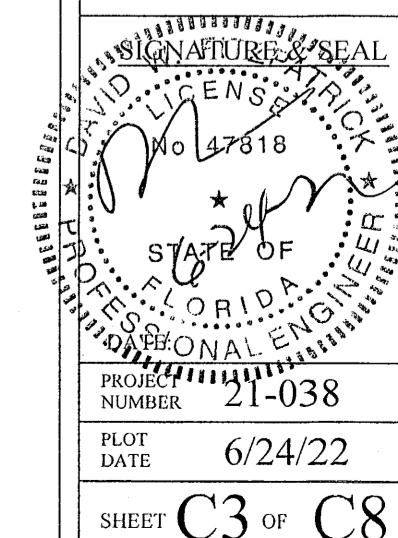
PINE FOREST RV PARK

UTILITY PLAN

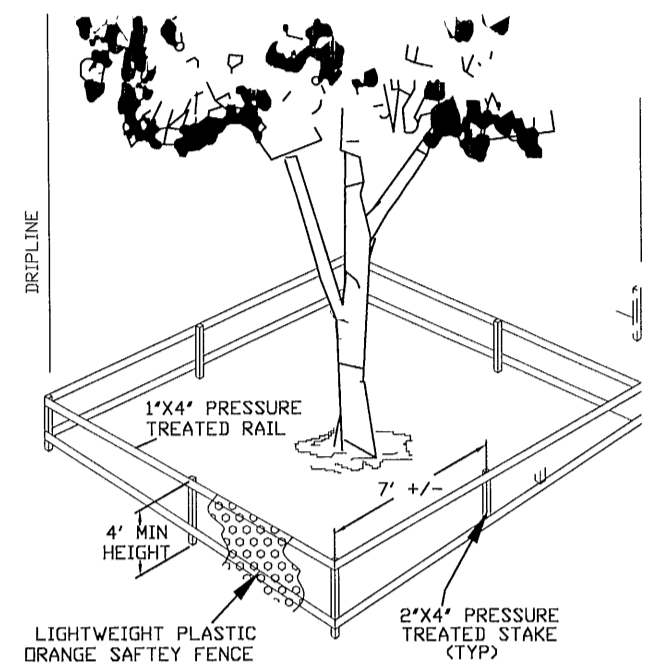
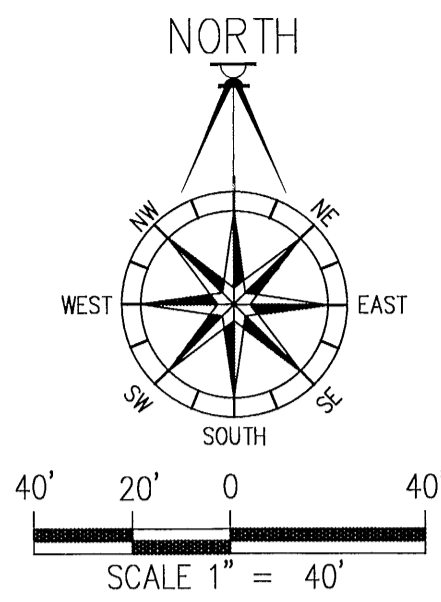
[illegible]

DRAWN BY:
B. PEMENT

DESIGNED BY:
D. FITZPATRICK



SHEET C3 OF C8



NOTE: ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE PROPERLY INSTALLED AROUND THOSE TREES SHOWN TO BE PRESERVED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL THE PROJECT IS COMPLETE AND THE SITE BECOMES STABILIZED.

TREE BARRICADE
N.T.S.

NOTE: ALL TREE REMOVAL, LAND CLEARING, "LAND DISTURBANCE ACTIVITIES", PLACEMENT OF FILL MATERIALS, GRADING OF LAND, OTHER DEVELOPMENT ACTIVITIES, ETC. SHALL ONLY OCCUR AFTER ALL PROPER PERMITS &/OR APPROVALS ARE OBTAINED FROM ESCAMBIA COUNTY & ANY OTHER AGENCIES AS REQUIRED"

TREE SCHEDULE

TREE	SIZE	TYPE
T1	23"	LIVE OAK (REMAIN)
T2	18"	LIVE OAK (REMAIN)
T3	15"	LIVE OAK (REMAIN)
T4	14"	CEDAR (REMAIN)
T5	12"	LIVE OAK (REMAIN)
T6	23"	LIVE OAK (REMAIN)
T7	15"	CEDAR (REMAIN)
T8	13"	CEDAR (REMOVE)
T9	15"	CEDAR (REMOVE)

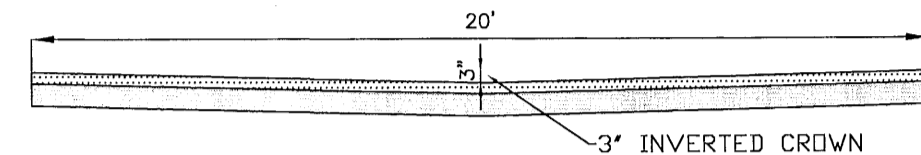
THERE ARE NO HERITAGE TREES ONSITE

EROSION CONTROL NOTES:

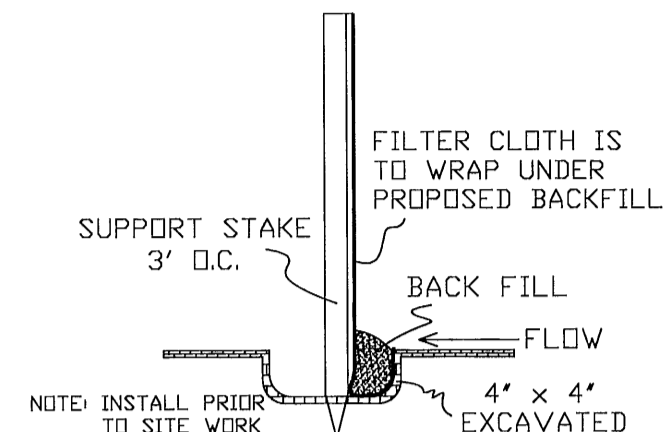
1. THE OWNER, VIA A CERTIFIED EROSION CONTROL SPECIALIST, WILL SUBMIT A CONSTRUCTION COMMENCEMENT NOTICE AT LEAST 48 HOURS PRIOR TO INITIATING CONSTRUCTION ACTIVITIES. UPON INITIATING CONSTRUCTION ACTIVITIES THE OWNER WILL IMMEDIATELY INSTALL ALL BMP'S AS SHOWN ON THE DRAINAGE PLAN BEFORE INITIATING ANY OTHER ACTIVITIES. THE OWNER, VIA THE ENGINEER OF RECORD, WILL SUBMIT AS-BUILT CERTIFICATION FOR THE PROJECT.
2. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
3. DEVELOPER/CONTRACTOR/ SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND AT THE END OF THE 2 YEAR WARRANTY PERIOD.

GENERAL NOTES:

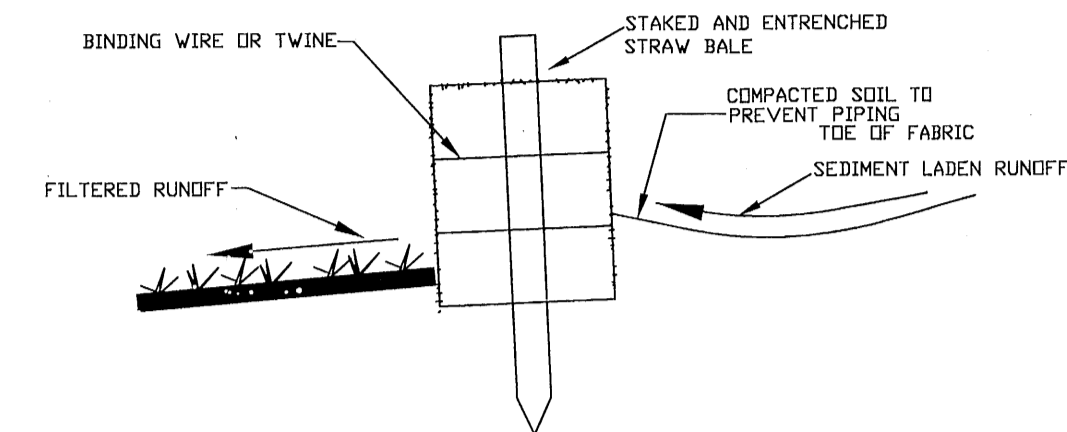
1. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
2. THE CONTRACTOR SHALL CONTROL STORM WATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXISTING POND FROM BLINDING DUE TO SEDIMENTS.
3. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD.



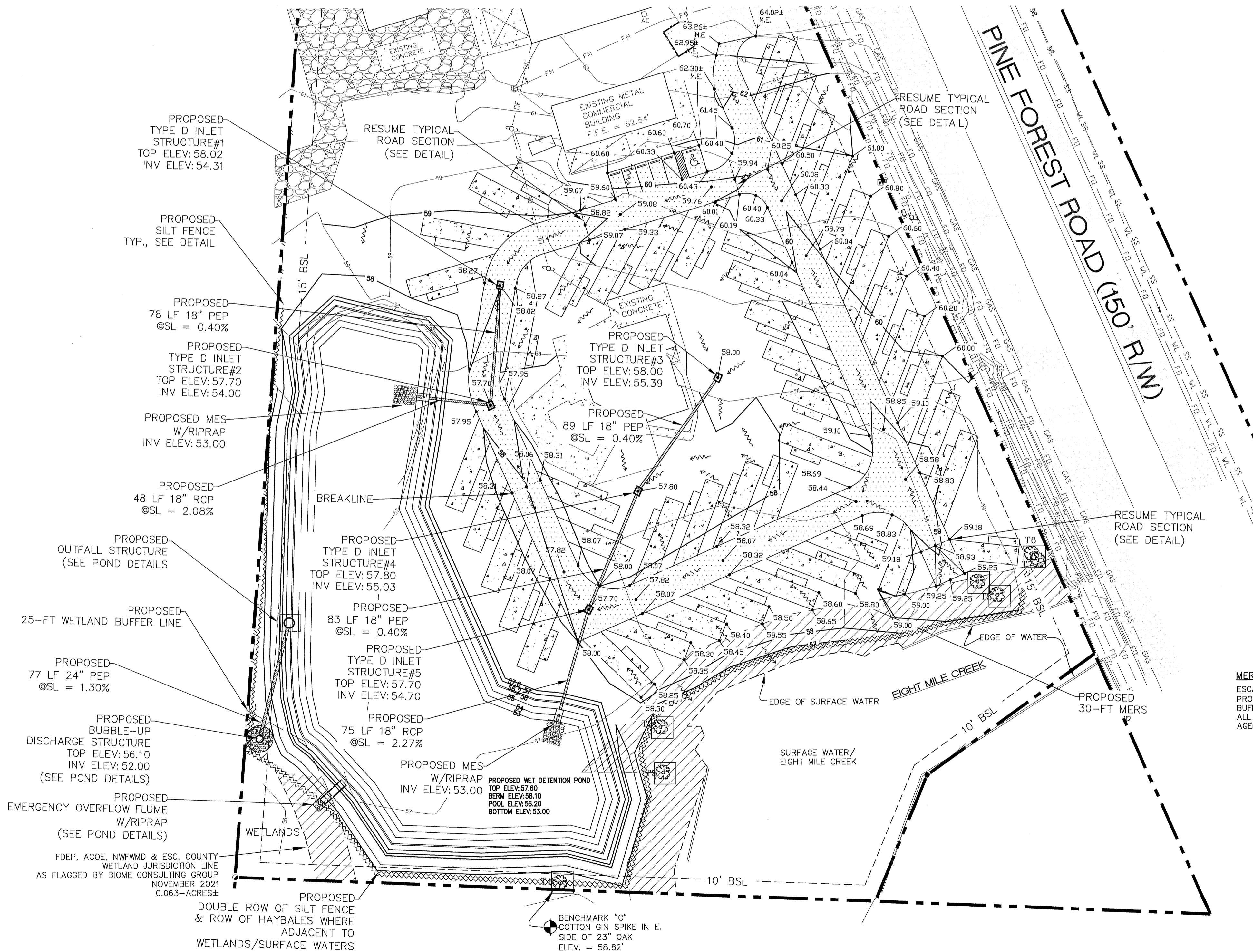
TYPICAL ROAD SECTION
N.T.S.



SILT FENCE DETAIL
N.T.S.



DETAIL OF PROPERLY
INSTALLED STRAW BALE



MERS NOTE

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CERTIFICATE # 00008423
10250 NORTH PALMWAY STREET
PENSACOLA, FL 32504
PH: (850) 966-8577 FAX: (850) 966-7708

PINE FOREST RV PARK

DRAINAGE PLAN

DATE	
REVISION	
NUMBER	

DRAWN BY:
B. PEMENT

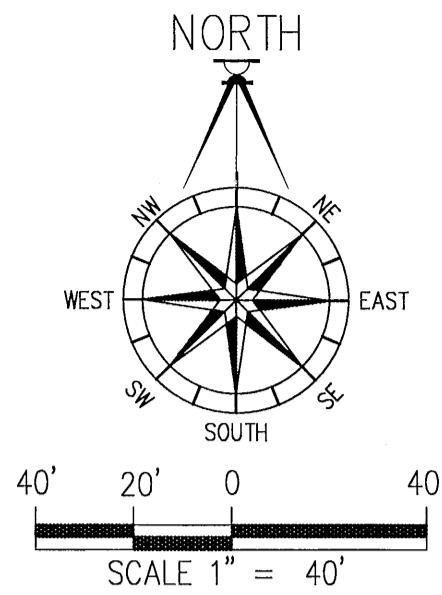
DESIGNED BY:
DAVID W. FITZPATRICK

PROJECT NUMBER: 21-038

DATE: 6/24/22

PILOT DATE: 6/24/22

SHEET C4 OF C8



LANDSCAPE NOTES:

1. LANDSCAPE BY SODDING OR PLANTING OF SHRUBS OR OTHER GROUND COVER A MINIMUM OF 10' BEYOND ALL NEW PAVED AREAS.
2. TREES ARE TO BE CARED FOR BY WATERING, FERTILIZATION, INSECTICIDES, ETC. UNTIL THE OWNER ACCEPTS COMPLETE RESPONSIBILITY IN WRITING.
3. SOD IS TO BE CARED FOR BY WATERING, FERTILIZATION, INSECTICIDES, ETC. UNTIL THE OWNER ACCEPTS COMPLETE RESPONSIBILITY IN WRITING.
4. NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD HAPPEN UNDER THE DRIPLINE OF PROTECTED TREES TO REMAIN ON THE SITE. STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
5. TREE PROTECTION BARRICADES SHOULD BE PLACED AROUND THE DRIPLINE OF ALL PROTECTED TREES MARKED FOR PRESERVATION PRIOR TO ANY LAND DISTURBANCE CONSISTENT WITH THE DEVELOPMENT ORDER.
6. FOR LONG TERM VIABILITY OF THE TREES ON SITE, THE FOLLOWING SHALL BE PERFORMED WHEN APPLICABLE. ROOT PRUNING SHALL BE PERFORMED BEFORE GRADING, PAD PREPARATION, OR EXCAVATION FOR PARKING AREAS, CURBS, SIDEWALKS, OR DRIVEWAYS WHEN ROOTS OF 1" DIAMETER OR GREATER ARE ENCOUNTERED. THE ROOTS OF IMPACTED TREES MUST BE PRUNED OR CUT CLEANLY WITH APPROPRIATE EQUIPMENT, NOT TORN AS WITH USING A BACK HOE. ROOTS SHALL BE PRUNED TO A DEPTH OF 18" BELOW THE EXISTING GRADE OR TO THE DEPTH OF DISTURBANCE IF LESS THAN 18" FROM THE EXISTING GRADE.
7. EXISTING TREES THAT MEET THE TREE PLANTING REQUIREMENTS CAN BE COUNTED TOWARD THE BUFFER REQUIREMENTS.

LANDSCAPE BUFFER CALCULATIONS:

PER LDC-DSM SECTION 2-2.3(A)(1)(B) A TYPE-- B LANDSCAPE BUFFER SUPPLEMENTED WITH AN OPAQUE FENCE OR WALL IS REQUIRED BETWEEN GENERAL COMMERCIAL AND RESIDENTIAL PARCELS. THE LDC DEFINES THE TYPE B LANDSCAPE BUFFER AS BEING 16-FT WIDE WITH THE FOLLOWING PLANTINGS:

- 2.5" CANOPY TREES
- 2.0" UNDERSTORY TREES
- 20" SHRUBS

*PER 100 LINEAR FEET OF BUFFER

THE WEST TYPE B LANDSCAPE BUFFER IS 396 LINEAR FEET THEREFORE THE WEST LANDSCAPE BUFFER SHALL HAVE A MINIMUM OF 10 CANOPY TREES, 8 UNDERSTORY TREES, AND 80 SHRUBS

TREE MITIGATION CALCULATIONS:

MITIGATION

28" OF PROTECTED TREES ARE TO BE REMOVED (T8,T9). HALF OF THE CALIPER INCHES REMOVED ARE REQUIRED TO BE REPLACED.
 $28"/2 = 14"$

A TOTAL OF 14" MUST BE MITIGATED.

THEREFORE, THE CONTRACTOR IS TO PLANT 14 CALIPER INCHES OF MITIGATION TREES THROUGHOUT THE SITE.

(5) 3" CALIPER TREES HAVE BEEN SHOWN FOR MITIGATION (SEE BELOW FOR DIVERSITY REQUIREMENTS)

NOTE: IF 5, 3" TREES CANNOT BE OBTAINED, THEN 6 2.5" TREES SHALL BE PLANTED, BUT ANY COMBINATION OF PLANTINGS MUST MEET 14" MINIMUM.

REQUIRED TREE TYPE DIVERSITY

THERE ARE A TOTAL OF 5 (M1 THRU M7) CANOPY TREES PROPOSED FOR MITIGATION

THERE ARE 2 (P1, P2) CANOPY TREES PROPOSED IN THE PARKING AREA

THERE ARE 10 (LB1-LB10) CANOPY TREES PROPOSED IN THE LANDSCAPE BUFFER AREAS

A TOTAL OF 17 CANOPY TREES ARE PROPOSED

PER LDC, ONLY 67% OF THESE CAN BE THE SAME SPECIES (SEE LEGEND FOR SPECIES)

6 LIVE OAKS AND 11 BALD CYPRESS ARE PROPOSED

THERE ARE A TOTAL OF 8 (LB11-LB18) UNDERSTORY TREES PROPOSED IN THE LANDSCAPE BUFFER

PER LDC, ONLY 67% OF THESE CAN BE THE SAME SPECIES (SEE LEGEND FOR DETAILS)

5 RED BUCKEYE AND 3 FLOWERING DOGWOOD ARE PROPOSED

ADDITIONAL TREE PLANTING NOTE:

ADDITIONAL PLANTINGS (TREES OR SHRUBS) MAY BE PROVIDED ONSITE THAT ARE NOT SPECIFICALLY SHOWN AS A PART OF THESE PLANS. ADDITIONAL PLANTINGS CAN IMPROVE THE AESTHETIC OF THE SITE, AND PROVIDE SHADE & PRIVACY/SCREENING AROUND THE RV SITES. CONTACT ESCAMBIA COUNTY DEVELOPMENT REVIEW FOR QUESTIONS (850-595-3472).

WELLHEAD PROTECTION NOTE:

THE SUBJECT PARCEL FALLS WITHIN A TRAVEL TIME CONTOUR OF PROTECTED (POTABLE) WELLHEADS. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ECUA-EMERALD COAST UTILITIES AUTHORITY 850-476-5110 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 595-6712) AGENCIES.

FDEP, ACOE, NFWMD & ESC. COUNTY WETLAND JURISDICTION LINE AS FLAGGED BY BIOME CONSULTING GROUP NOVEMBER 2021 0.063-ACRES±

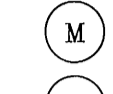
LANDSCAPING LEGEND



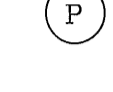
EXISTING TREE TO REMAIN W/ BARRICADE



EXISTING TREE TO BE REMOVED



PROPOSED MITIGATION CANOPY TREE (6' RADIUS SHOWN)



PROPOSED PARKING CANOPY TREE (6' RADIUS SHOWN)

NOTE: ALL TREE PLANTINGS MUST BE A MINIMUM OF 2.5 CALIPER INCHES

RECOMMENDED SPECIES FOR PLANTING	
INLAND LOCATIONS	UNDERSTORY TREES
CANOPY TREE:	RED BUCKEYE
RED MAPLE	REDJUD
RIVER BIRCH	FLOWERING DOGWOOD
SWEETGUM	DAHON HOLLY
SOUTHERN MAGNOLIA	YAUON HOLLY
SWEETBAY	CRAB APPLE
SYCAMORE	WAX MYRTLE
LIVE OAK	SHRUBS
BALD CYPRESS	AZALEA

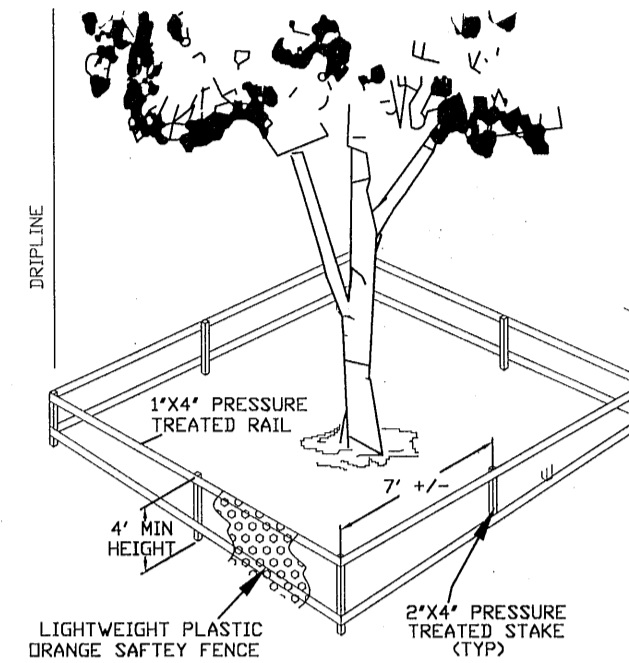
NOTE: GRAPE MYRTLES DO NOT MEET COUNTY PLANTING REQUIREMENTS.

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T7	19"	CEDAR (REMAIN)
T8	13"	CEDAR (REMOVE)
T9	15"	CEDAR (REMOVE)

THERE ARE NO HERITAGE TREES ONSITE



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TREE BARRICADE

N.T.S.

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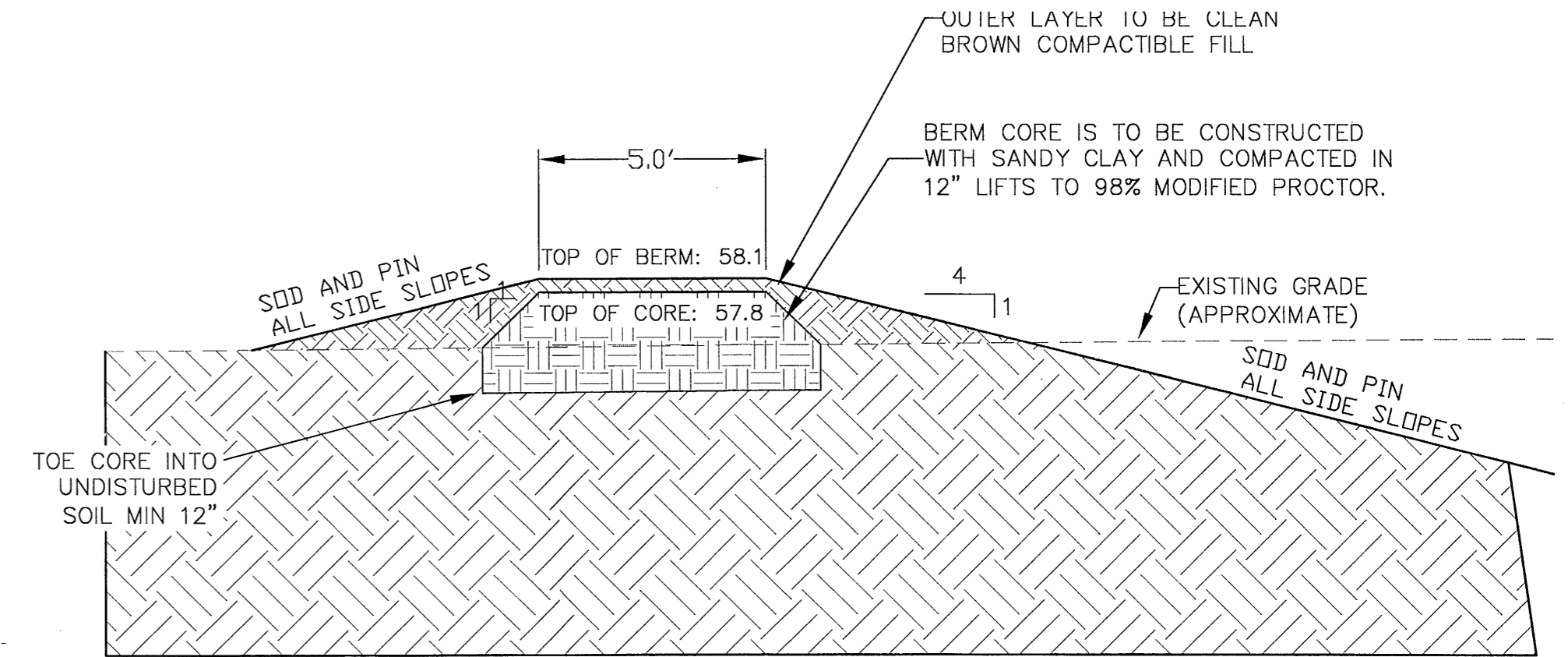
10250 NW 30TH ST.
FORT LAUDERDALE, FL 33309
PH: (850) 476-8877 FAX: (850) 476-7708

PINE FOREST RV PARK

LANDSCAPE PLAN

DATE	
REVISION	
NUMBER	
DRAWN BY:	B. PEMENT
DESIGNED BY:	D. FITZPATRICK
CHECKED BY:	D. FITZPATRICK
DATE	6/24/22
PROJECT NUMBER	21-038
PLOT DATE	6/24/22
SHEET	C5 OF C8

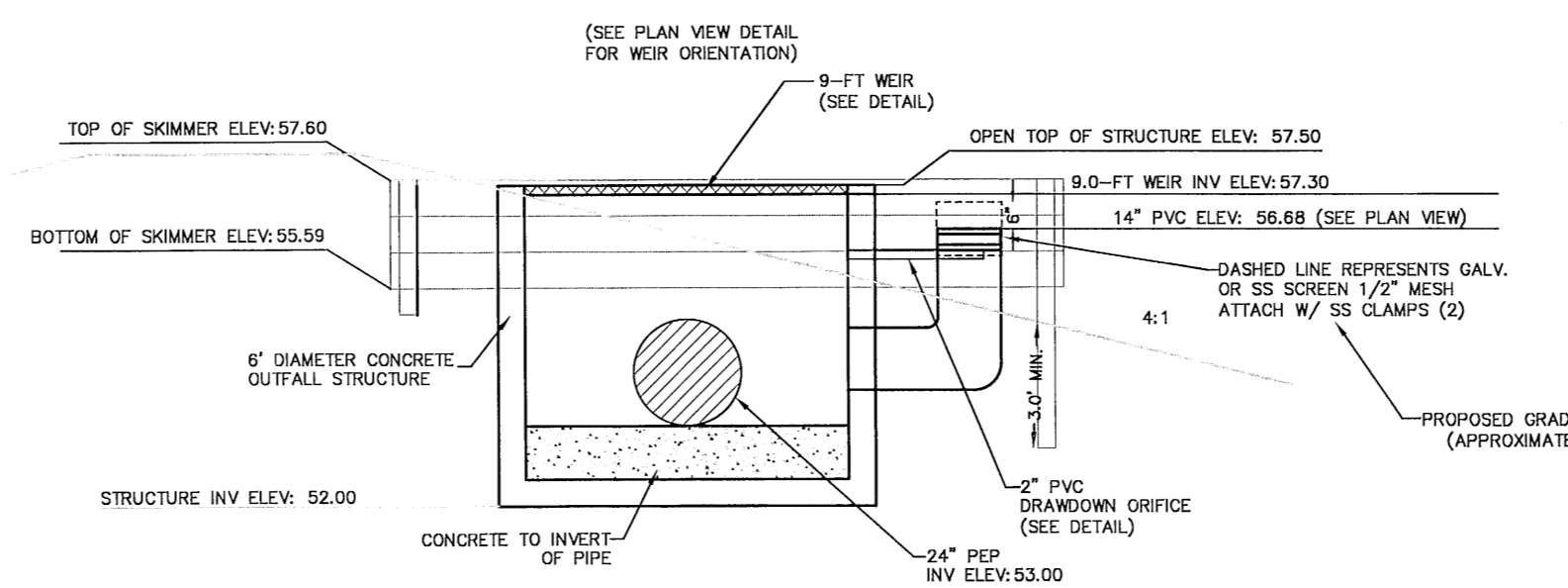
STABILIZATION NOTE: CONTRACTOR IS TO SOD & PIN ALL SIDE SLOPES OF POND & BERM ABOVE PERMANENT POOL WITH BAHIA SOD ONLY ONCE FINAL GRADES ARE ESTABLISHED



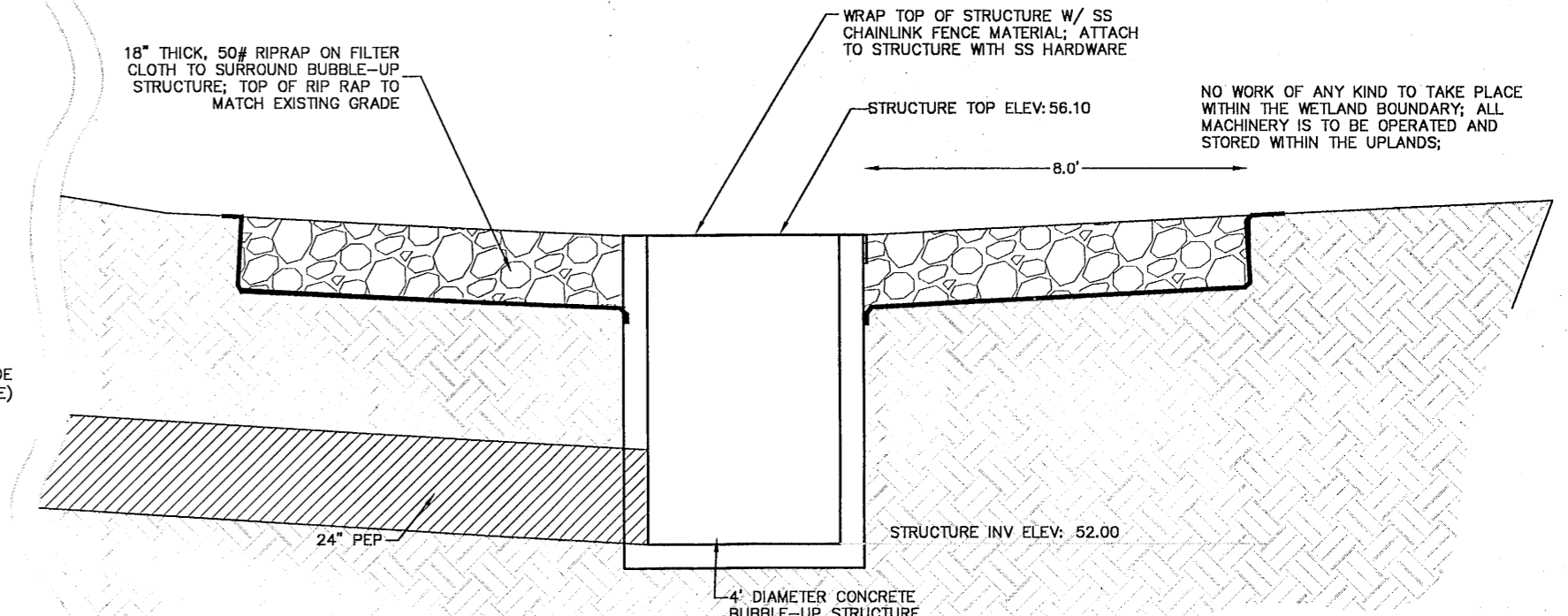
BERM DETAIL
NTS

TOP OF BERM ELEV: 58.1
EXISTING GRADE (APPROXIMATE)
TOP OF POND ELEV: 57.60
PERM. POOL ELEV: 56.2
BOTTOM OF POND ELEV: 53.0

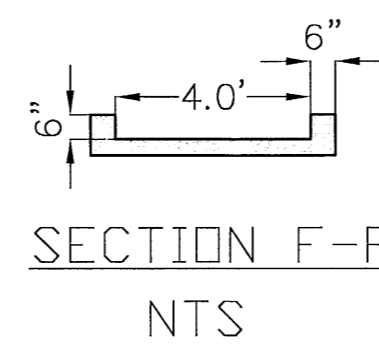
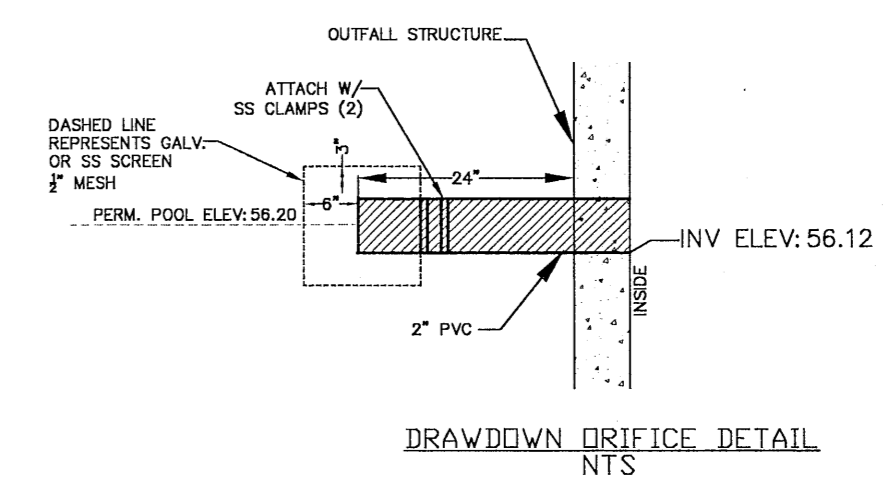
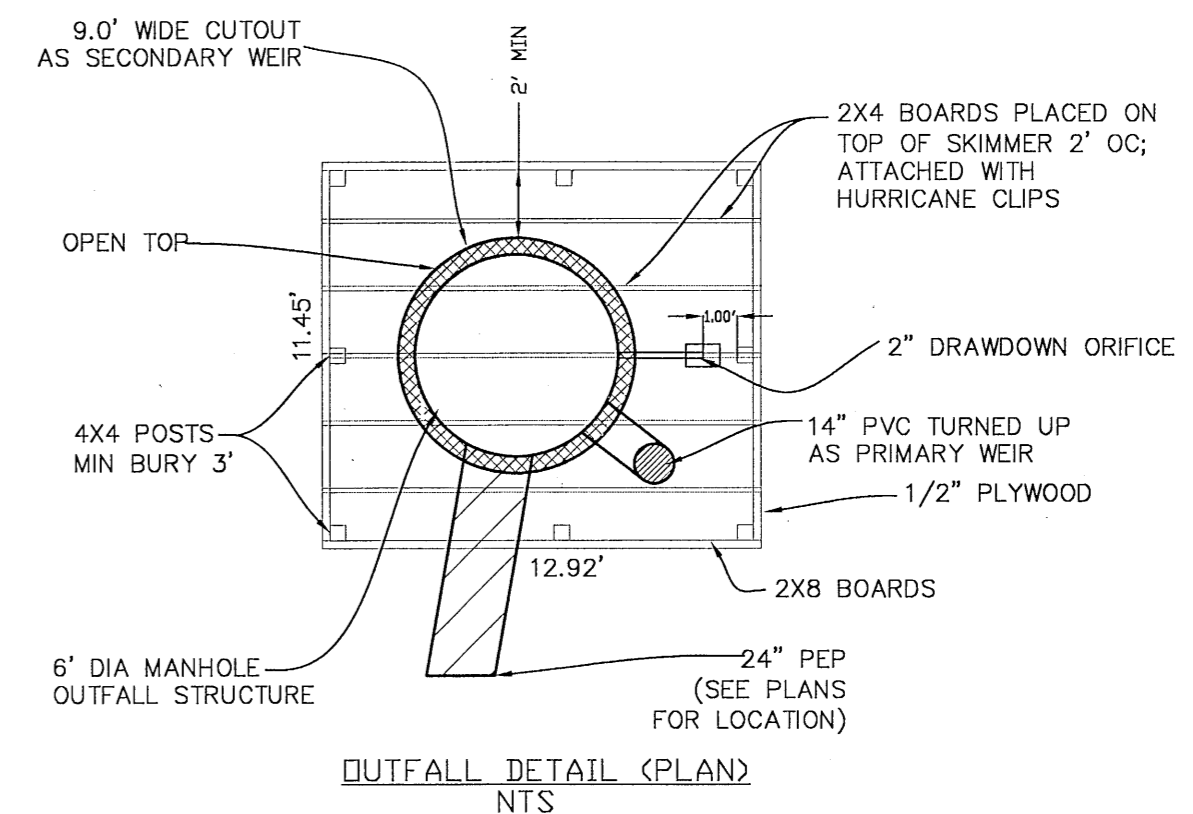
POND SECTION A-A
NTS



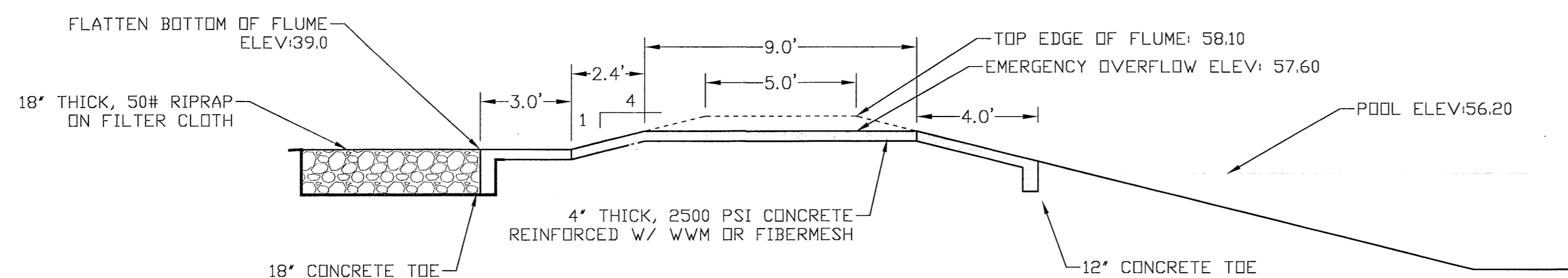
OUTFALL DETAIL (PROFILE)
NTS



NOTE:
USE TREATED 4x4 POSTS FOR CORNERS, MIN. BURY 3'.
USE 2x8 TREATED MATERIAL FOR SKIMMER BOARDS.
USE 16d GALV. NAILS MIN. 2 PER CONNECTION.
ENTIRE INTERIOR SURFACE OF ALL SKIMMERS ARE TO BE LINED WITH SOLID 1/2" TREATED PLYWOOD ATTACHED TO 2x8'S WITH 1-1/2" SS WOOD SCREWS @ 18" OC.



POND EMERGENCY OVERFLOW STRUCTURE DETAIL
NTS



SECTION E-E
NTS

DAVID W. FITZPATRICK

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CERTIFICATE # 00008423
10250 NORTH PALMAY STREET
PENSACOLA, FL 32514
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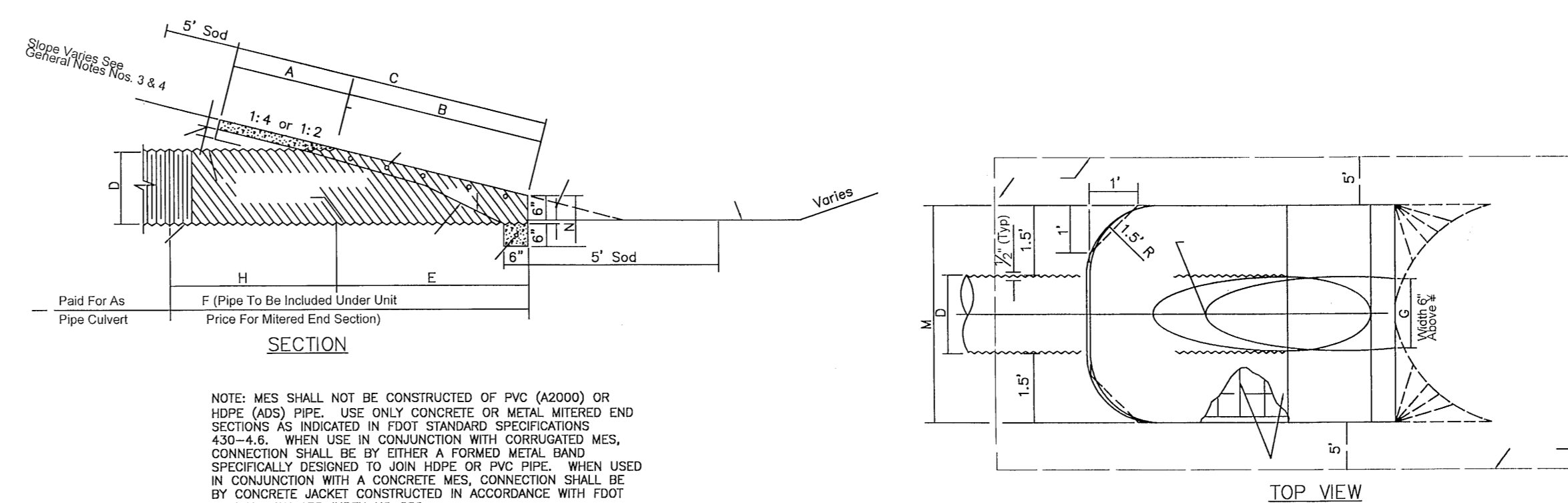
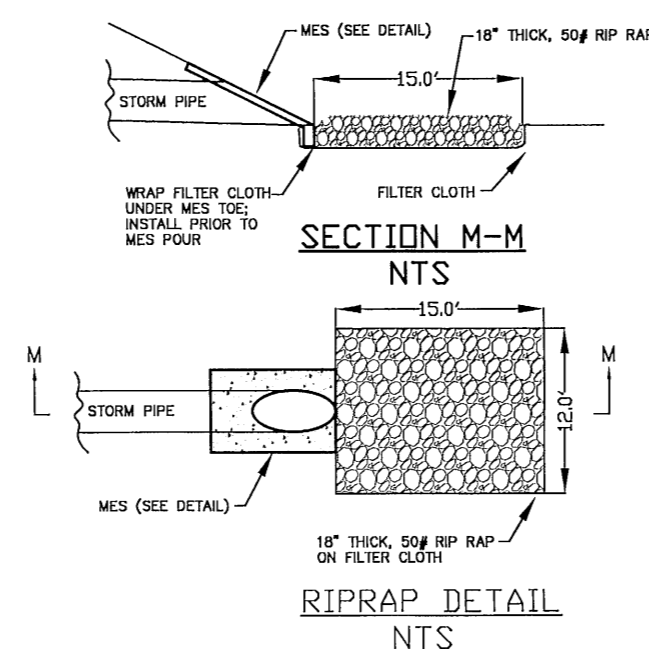
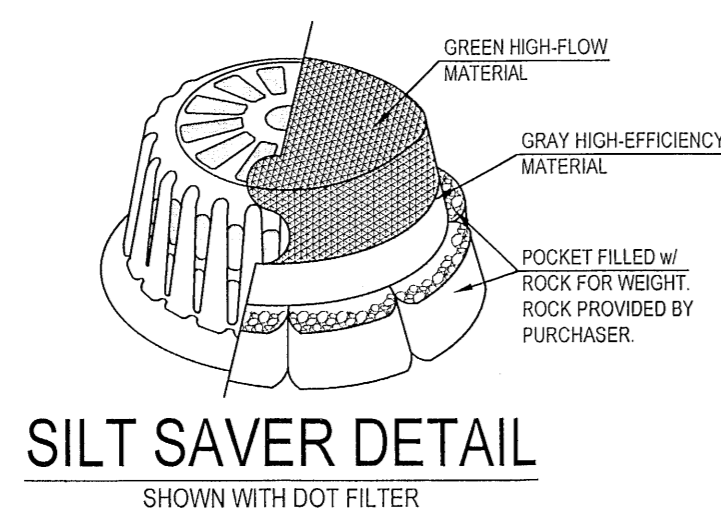
PINE FOREST RV PARK

POND DETAILS

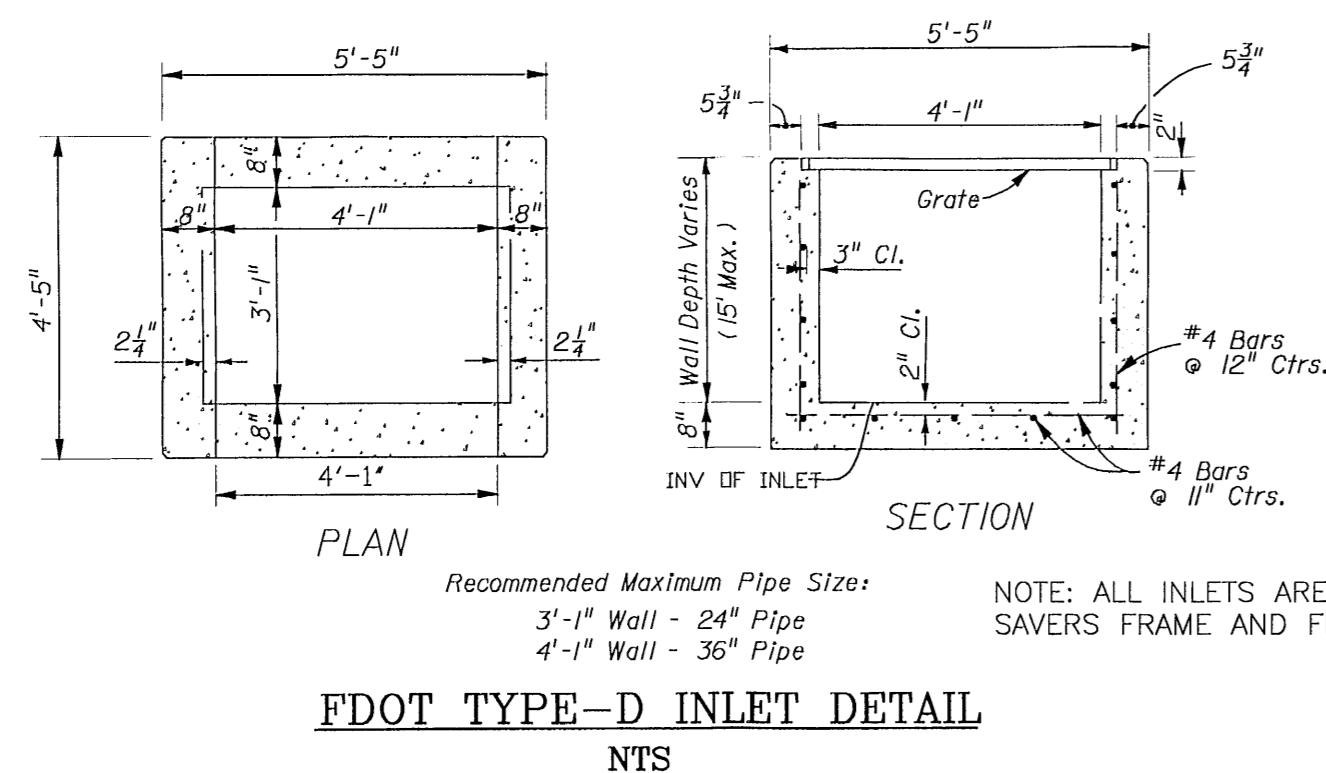
DATE	
REVISION	
NUMBER	

DRAWN BY:
B. PEMENT
DESIGNED BY:
D. FITZPATRICK
PROJECT NUMBER
21-038
PLOT DATE
6/24/22
SHEET C6 OF C8

MAINTENANCE
ALL TEMPORARY EROSION, SEDIMENTATION, & POLLUTION CONTROL PRACTICES SHOULD BE INSPECTED DAILY. CONTRACTOR SHALL REMOVE SEDIMENT AND DISPOSE OF IN A PROPER MANNER. INSPECT FRAME AND FILTER DAILY FOR CUTS, ABRASIONS, AND PROPER INSTALLATION. REPLACE OR REPOSITION AS NECESSARY.



MES DIMENSIONS AND QUANTITIES																						
														5/2" CONCRETE SLAB (CY)				SODDING (SY)				
D	X	A	B	C	E	F	G	H	M				N									
									Single Pipe	Double Pipe	Triple Pipe	Quad Pipe	Single Pipe	Double Pipe	Triple Pipe	Quad Pipe						
16 Slope	15"	2'-7"	2.5'	1.68"	4.18"	1.5'	5.0'	1.23'	3.5'	4.33'	6.92'	9.50'	12.08'	1.04'	0.35	0.54	0.74	0.94	21	24	27	29
	18"	2'-10"	2.5'	2.24"	4.74"	2.0'	6.0'	1.41'	4'	4.58'	7.42'	10.25'	13.08'	1.04'	0.38	0.62	0.87	1.12	22	25	28	31
	24"	3'-5"	2.5'	3.35"	5.85"	3.0'	7.0'	1.73'	4'	5.08'	8.50'	11.92'	15.33'	1.04'	0.47	0.76	1.05	1.34	23	27	31	35
	30"	4'-3"	2.5'	4.47"	6.92"	4.0'	8.0'	2.00'	5'	5.58'	9.50'	13.33'	17.17'	1.04'	0.57	0.86	1.17	1.77	25	30	35	39
	36"	5'-1"	2.5'	5.59"	8.91"	5.0'	9.0'	2.24'	4'	6.08'	11.17'	16.25'	21.33'	1.04'	0.67	1.01	1.52	2.26	27	33	38	44
	42"	6'-0"	2.5'	6.71"	9.21"	6.0'	10.0'	2.45'	4'	6.58'	12.58'	18.58'	24.58'	1.04'	0.78	1.49	2.17	2.87	29	36	42	49
	48"	7'-0"	2.5'	7.83"	9.33"	7.0'	11.0'	2.65'	5'	7.08'	13.92'	19.52'	26.58'	1.04'	0.89	1.71	2.37	3.36	30	38	46	54
	54"	7'-8"	2.5'	8.94"	11.44"	8.0'	12.0'	2.83'	4'	7.58'	15.25'	22.92'	30.58'	1.04'	1.02	2.08	3.10	4.14	33	41	50	58
	60"	8'-6"	2.5'	10.06"	12.56"	9.0'	13.0'	3.00'	4'	8.08'	16.58'	23.98'	33.58'	1.04'	1.14	2.38	3.63	4.89	34	44	53	63
	18"	2'-7"	2.5'	3.09	5.59	3.0'	7.0'	1.23'	4'	4.33'	6.92'	9.50'	12.08'	1.04'	0.44	0.69	0.91	1.15	22	25	28	31
16 Flat	18"	2'-10"	2.5'	4.12'	6.92'	4.0'	8.0'	1.41'	4'	4.58'	7.42'	10.25'	13.08'	1.04'	0.49	0.77	1.03	1.34	24	27	30	33
	24"	3'-5"	2.5'	6.18'	8.58'	6.0'	10.0'	1.73'	4'	5.08'	8.50'	11.92'	15.33'	1.04'	0.65	1.09	1.38	1.77	27	30	34	38
	30"	4'-3"	2.5'	8.25'	10.75'	8.0'	12.0'	2.00'	4'	5.58'	9.50'	13.33'	18.33'	1.04'	0.81	1.34	1.90	2.44	29	34	39	44
	36"	5'-1"	2.5'	10.33'	12.81'	10.0'	14.0'	2.24'	4'	6.08'	11.17'	16.25'	21.33'	1.04'	0.97	1.68	2.41	3.14	32	38	44	50
	42"	6'-0"	2.5'	12.37'	14.87'	12.0'	16.0'	2.45'	4'	6.58'	12.58'	18.58'	24.58'	1.04'	1.13	2.08	3.06	4.02	35	42	48	55
	48"	6'-9"	2.5'	14.43'	16.93'	14.0'	18.0'	2.65'	4'	7.08'	13.83'	20.58'	27.33'	1.04'	1.29	2.49	3.69	4.88	38	46	53	60
	54"	7'-8"	2.5'	16.49'	18.99'	16.0'	20.0'	2.83'	4'	7.58'	15.25'	22.92'	30.58'	1.04'	1.48	2.98	4.47	5.98	41	49	58	66
	60"	8'-6"	2.5'	18.55'	21.05'	18.0'	22.0'	3.00'	5'	8.08'	16.58'	23.98'	33.58'	1.04'	1.67	3.48	5.00	6.51	44	53	63	73



NOTE: ALL INLETS ARE TO UTILIZE SILT
SAVERS FRAME AND FILTER ASSEMBLY.

FDOT MES DETAILS

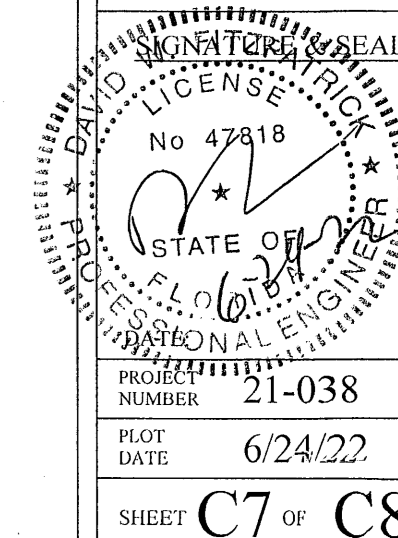
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PINE FOREST RV PARK

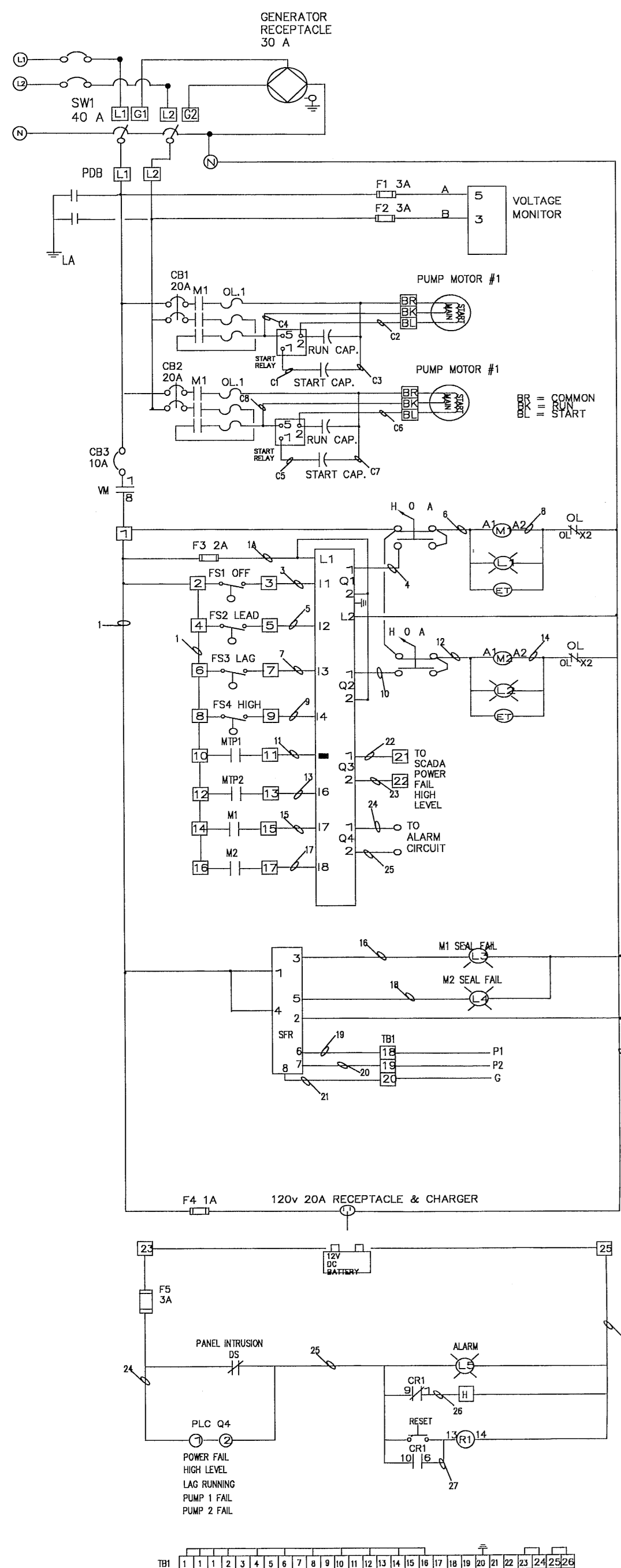
DRAINAGE DETAILS

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DRAWN BY: B. PEMENT
DESIGNED BY: D. FITZPATRICK



PROJECT NUMBER	21-038
PLOT DATE	6/24/22
SHEET	C7 OF C



CONTROLLER DETAIL

LIFT STATION SPECIFICATIONS

SUBMERSIBLE GRINDER PUMP. THE PUMPS SHALL HAVE THE FOLLOWING FEATURES:
CAST IRON MOTOR HOUSING AND VOLUTE
HARDENED STAINLESS STEEL GRINDER COMPONENTS
416 SERIES STAINLESS STEEL SHAFT
MECHANICAL SEALS - SILICON CARBIDE VS SILICON CARBIDE

UPPER AND LOWER BALL BEARINGS

FASTENERS OF AISI 316 STAINLESS STEEL

NITRILE RUBBER ELECTRIC CABLES AND "O" RINGS

1.15 MOTOR SERVICE FACTOR

GUIDE RAIL SYSTEM SHALL CONSIST OF:
ASTM A48, CLASS 40B CAST IRON BASE ELBOWS WITH FLANGED OUTLET
ASTM A48, CLASS 40B CAST IRON PUMP SEALING FLANGE WITH BUNA GASKET. THE SEALING FLANGE SHALL CONNECT TO THE BASE BY A ROTATIONAL MOVEMENT THAT WILL COMPRESS THE GASKET BETWEEN THE TWO METAL TO METAL SYSTEMS, OR SYSTEMS USING ONLY A LINEAR DOWNWARD MOTION TO SEAL WILL NOT BE ACCEPTABLE.

1" STAINLESS STEEL PIPE GUIDE RAILS
STAINLESS STEEL UPPER GUIDE RAIL BRACKETS
STAINLESS STEEL LIFTING CHAINS WITH STAINLESS STEEL SCREW PIN SHACKLES

MERCURY FLOAT SWITCHES SHALL BE THE SUSPENDED TYPE
FLOAT AND PUMP ELECTRICAL CABLES SHALL EXTEND TO CONTROLLER TERMINALS
FIBERGLASS BASIN SHALL BE BUILT BY A MANUFACTURER REGULARLY ENGAGED IN THE BUSINESS FOR A PERIOD OF NOT LESS THAN 5 YEARS.

CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH ASTM D3753-99 AND SHALL INCLUDE AN ANTI-FLOTATION FLANGE AT THE BOTTOM. CONTRACTOR SHALL APPLY CONCRETE AROUND THE TOP OF THE FLANGE WITH A WEIGHT EQUAL TO THE BUOYANCY OF THE BASIN.

THE STATION SHALL BE ASSEMBLED BY THE PUMP MANUFACTURER OR THEIR AUTHORIZED DISTRIBUTOR. THE COMPANY ASSEMBLING THE STATION SHALL HAVE A MINIMUM OF 5 YEARS EXPERIENCE BUILDING THIS TYPE OF SYSTEM. THE PUMPS SHALL HAVE ALL GUIDE RAIL COMPONENTS, INCLUDING LIFTING CHAINS MOUNTED ON THEM AND SHIPPED LOOSE FOR FIELD INSTALLATION. THE CONTROLLER FLOAT SWITCHES AND SEALING ADAPTERS FOR THE ELECTRICAL AND INCOMING PIPE SHALL BE FIELD MOUNTED. THE REMAINING PORTION OF THE NET WELL AND VALVE BOX SHALL BE DELIVERED TO THE JOB SITE ASSEMBLED, REQUIRING ONLY THE DISCHARGE PIPES AND DRAIN TO BE COUPLED TOGETHER.

PUMP CONTROLLER, TO MEET LOCAL BUILDING CODES, D.E.P. STANDARDS AND BE UL LISTED:

DUPLEX CONTROLLER SHALL BE IN A NEMA 4X FIBERGLASS ENCLOSURE WITH DEAD FRONT. CONTROLLER SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING COMPONENTS:

- 1 - MAIN POWER BREAKER
- 1 - POWER CIRCUIT BREAKERS
- 1 - CONTROL CIRCUIT BREAKER
- 2 - MAGNETIC STARTERS WITH OL PROTECTION
- 2 - HOA SELECTOR SWITCHES*
- 1 - LIGHTING ARRESTER
- 1 - VOLTAGE MONITOR
- 2 - PUMP RUN LIGHTS*
- 2 - ELAPSED TIME METERS*
- 1 - FLASHING HIGH WATER ALARM LIGHT**
- 1 - ALARM HORN/BUZZER**
- 1 - SILENCE BUTTON**
- 1 - ALARM TEST SWITCH*
- 1 - 115v GFI convenience receptacle
- 1 - GENERATOR RECEPTACLE FOR AUXILIARY POWER
- 1 - EMERGENCY TRANSFER SWITCH TO MOVE FROM UTILITY POWER TO STANDBY GENERATOR POWER*
- 1 - 12 VOLT BATTERY BACKUP SYSTEM WITH CHARGER.
- 1 - POWER FAILURE ALARM AND UNAUTHORIZED ENTRY ALARM

* - MOUNTED ON OR THROUGH INNER DOOR

** - MOUNTED ON OUTSIDE OF ENCLOSURE

PANEL LOGIC - FOUR FLOAT SWITCH OPERATION

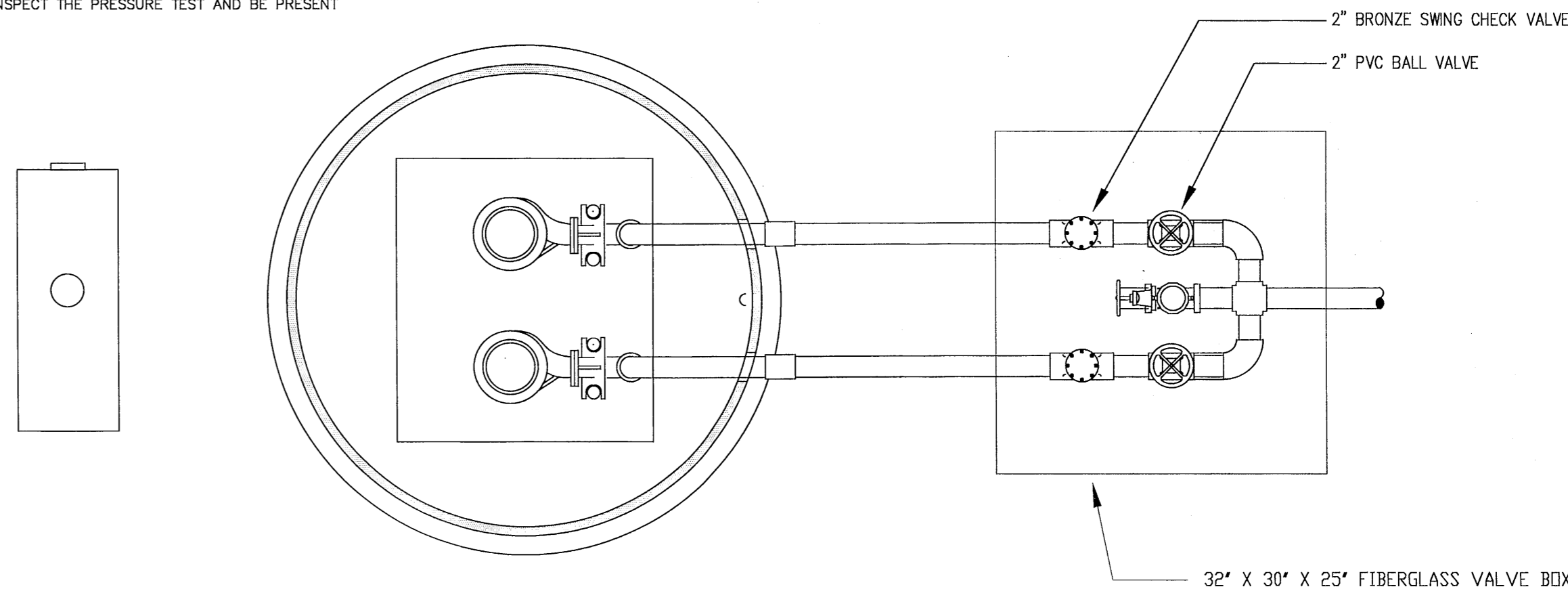
CONTROLLER SHALL AUTOMATICALLY START LEAD PUMP WHEN LIQUID LEVEL RISES TO THE SWITCH FS2. UNDER NORMAL OPERATION, THE LEAD PUMP WILL PUMP THE LIQUID DOWN TO FS3 WHICH WILL SHUT THE PUMP OFF. THE CONTROLLER WILL THEN ALTERNATE THE PUMPS SO THE LAG PUMP WILL BECOME THE LEAD PUMP ON THE NEXT SEQUENCE. SHOULD THE LIQUID LEVEL CONTINUE TO RISE TO FS3, THE LAG PUMP CIRCUIT WILL BE ENERGIZED. AT THIS POINT BOTH PUMPS WILL RUN UNTIL THE LIQUID LEVEL DROPS TO FS1 WHERE BOTH PUMPS WILL STOP. SHOULD THE LEVEL CONTINUE TO RISE TO FS4 THE HIGH WATER ALARMS WILL BE ACTIVATED.

GENERAL NOTES:

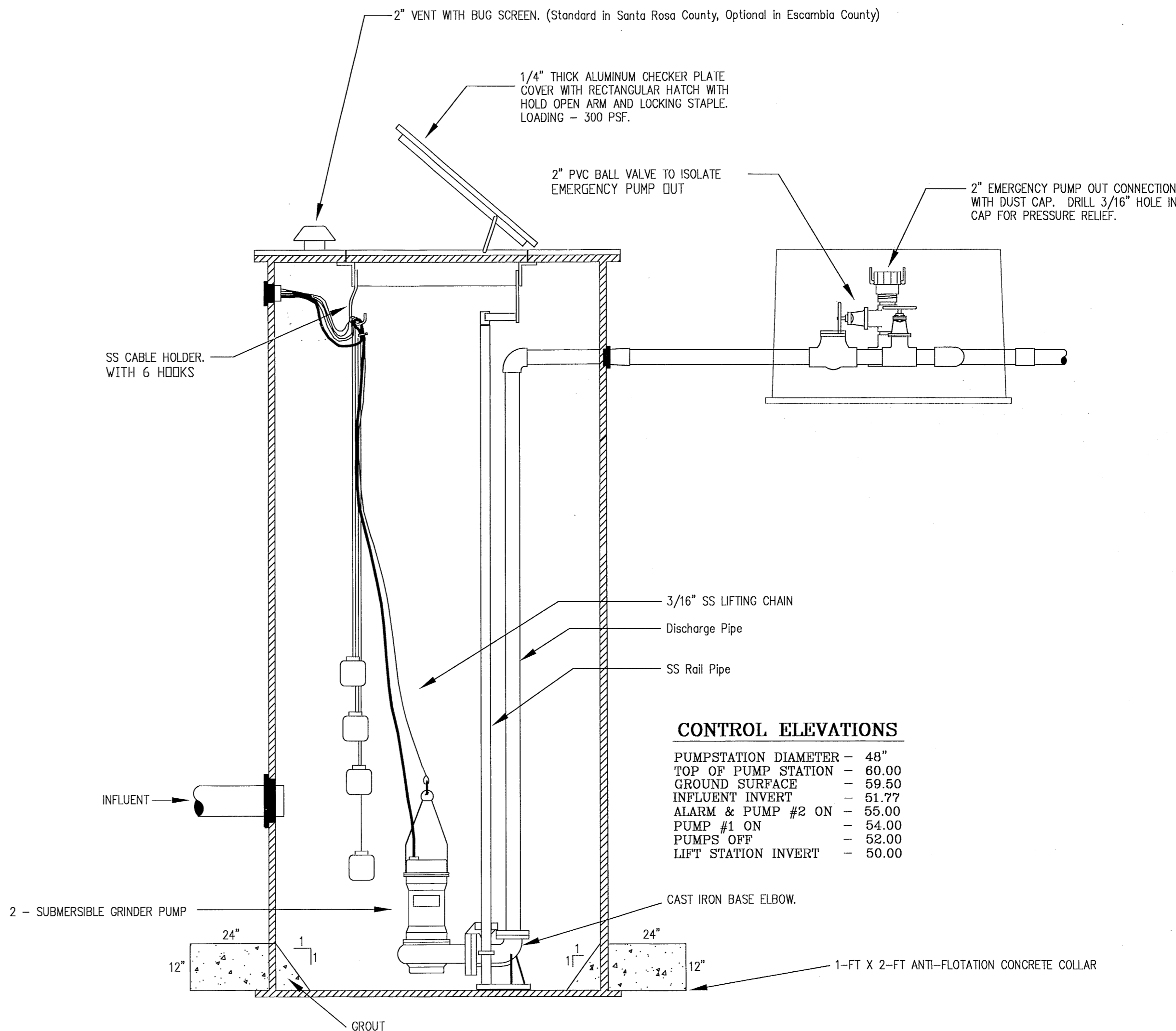
1. CONTRACTOR IS RESPONSIBLE FOR LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK. IF UNFORESEEN OBSTRUCTIONS ARE DISCOVERED CONTACT THE ENGINEER IMMEDIATELY.
2. CONTRACTOR SHOULD VISIT THE SITE AND FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS. INCLUDING ELECTRICAL WORK THAT MAY BE REQUIRED.
3. ALL DISTURBED AREAS ARE TO BE RESTORED TO PRE-EXISTING CONDITIONS OR BETTER TO INCLUDE BUT NOT LIMITED TO SODDING, SEED AND MULCH, CONCRETE, OR ASPHALT PATCHING. THE CONTRACTOR IS ADVISED TO TAKE PICTURES AND/OR VIDEO TAPE THE RIGHT OF WAY PRIOR TO COMMENCING WORK.
4. SEPTIC TANK ABATEMENT PERMITS ARE REQUIRED.
5. PLUMBING PERMITS ARE REQUIRED.
6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL PERMITS REQUIRED.
7. ALL WORK IS TO BE IN ACCORDANCE WITH THESE SPECIFICATIONS AND THE FLORIDA BUILDING/ PLUMBING CODE AND THE LATEST SSRU SPECIFICATIONS AND FDEP REQUIREMENTS.
8. ASBUILT PLANS SHALL BE KEPT UP TO DATE AT ALL TIMES.
9. CONTRACTOR SHALL CONTACT ECJA AT LEAST 2 WORKING DAYS PRIOR TO ANY WORK WITH COUNTY RIGHT OF WAY AND 2 WORKING DAYS PRIOR TO CONNECTION OF PROPOSED FORCEMAIN TO EXISTING SSRU FORCEMAIN. INSPECTOR SHALL BE PRESENT FOR ALL TAPS & TIE INS.
10. FORCEMAIN SHALL BE PRESSURE TESTED PER AWWA C-605 PRIOR TO CONNECTION OF PROPOSED FACILITIES TO EXISTING SSRU FACILITIES. SSRU PERSONNEL SHALL INSPECT THE PRESSURE TEST AND BE PRESENT FOR ALL TAPS.

EXISTING UTILITY NOTE:

CONTRACTOR IS CAUTIONED THAT THERE ARE OTHER EXISTING BURIED UTILITIES IN THE AREA OF CONSTRUCTION. NO UNDERGROUND UTILITY LOCATION WORK HAS BEEN PERFORMED

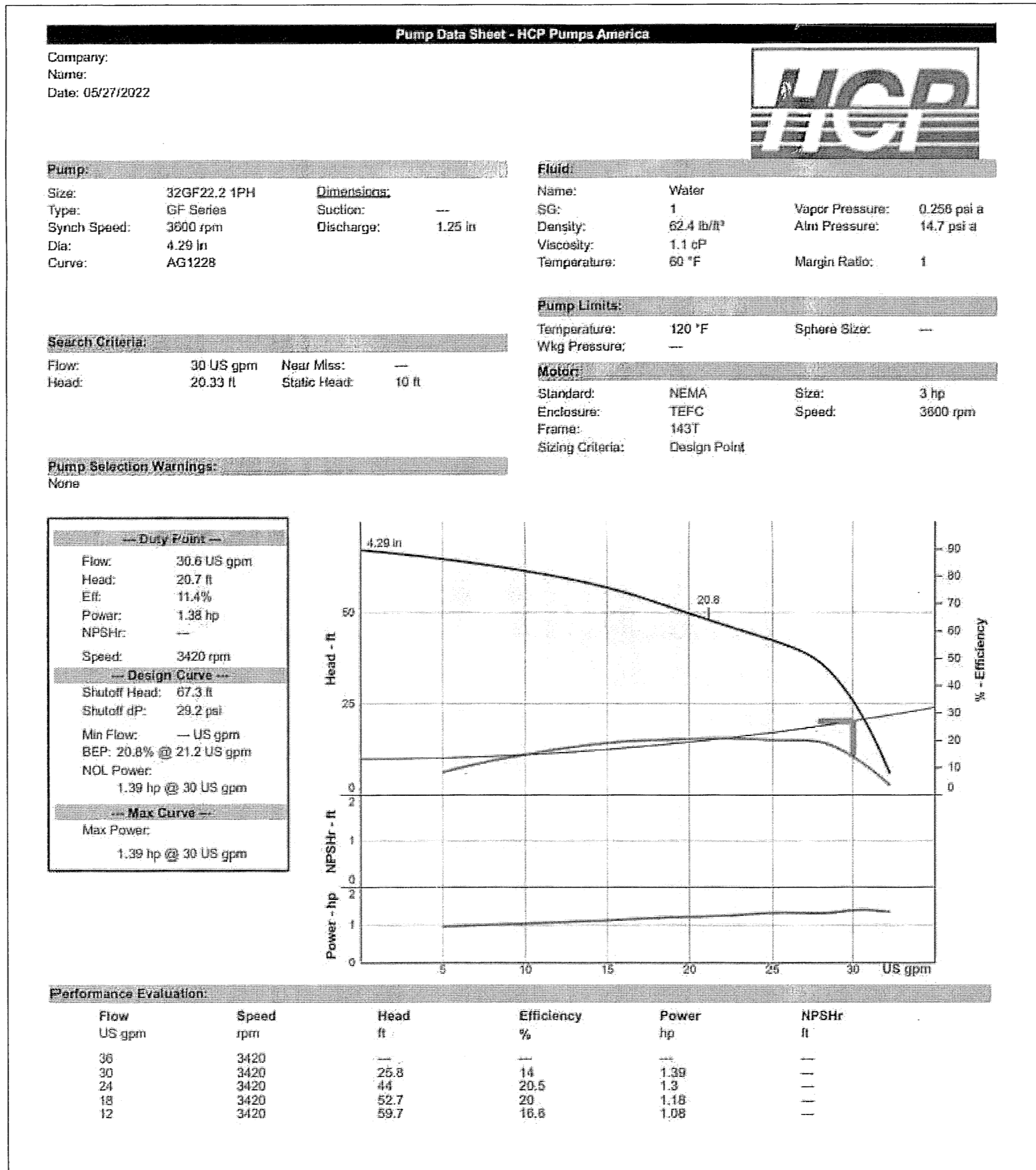


LIFT STATION PLAN



CONTROL ELEVATIONS

PUMPSTATION DIAMETER - 48"
TOP OF PUMP STATION - 60.00
GROUND SURFACE - 59.50
INFLUENT INVERT - 51.77
ALARM & PUMP #2 ON - 55.00
PUMP #1 ON - 54.00
PUMPS OFF - 52.00
LIFT STATION INVERT - 50.00



LIFT STATION SECTION

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PINE FOREST RV PARK
PUMPSTATION DETAILS

DATE	
NUMBER	
REVISION	

DRAWN BY: B. FEMENT
DESIGNED BY: D. FITZPATRICK
PROJECT NUMBER: 21-038
PLOT DATE: 6/24/22
SHEET C8 OF C8