

CERTIFICATION OF OWNERSHIP AND DEDICATION:

LENNAR HOMES, LLC, A FLORIDA LIMITED LIABILITY COMPANY, THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED AS "MAHOGANY WOODS," BEING A PORTION OF SECTION 37, TOWNSHIP 1 NORTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED HEREIN, HAS CAUSED THE SAME TO BE SURVEYED AND PLATTED AS SHOWN HEREON AND DOES HEREBY MAKE THE FOLLOWING DEDICATIONS: (1) TO THE APPROPRIATE PUBLIC OR PRIVATE UTILITY PROVIDERS: THE NON-EXCLUSIVE EASEMENT OVER AND ACROSS THE 50 FOOT PRIVATE RIGHT-OF-WAY AND THE 5 & 10 FOOT UTILITY EASEMENTS ALONG THE PRIVATE RIGHT-OF-WAY REFLECTED ON THE PLAT, IN PERPETUITY, FOR THE INSTALLATION, OPERATION, MAINTENANCE, REPAIR, EXPANSION, AND REPLACEMENT OF UTILITIES, BOTH PUBLIC AND PRIVATE; THESE UTILITY EASEMENTS ARE THE PERPETUAL MAINTENANCE AND OPERATION OBLIGATION OF THE RESPECTIVE PUBLIC OR PRIVATE UTILITY PROVIDERS, THEIR SUCCESSORS AND ASSIGNS, WITHOUT RECOURSE TO ESCAMBIA COUNTY; (2) TO MAHOGANY WOODS HOMEOWNERS ASSOCIATION, INC.: ALL PRIVATE DRAINAGE AND ACCESS EASEMENTS; ALL PRIVATE RIGHT-OF-WAYS, INCLUDING CAMELLIA DRIVE; AND PRIVATE PARCELS A, B, AND C, AS SHOWN HEREON; THE PRIVATE DRAINAGE AND ACCESS EASEMENTS, PRIVATE RIGHT-OF-WAYS, AND NAMED PARCELS ARE THE PERPETUAL MAINTENANCE OBLIGATION OF THE ASSOCIATION, ITS SUCCESSORS AND ASSIGNS, WITHOUT RECOURSE TO ESCAMBIA COUNTY, FLORIDA; AND (3) TO ESCAMBIA COUNTY, FLORIDA: PUBLIC RIGHT-OF-WAY PARCEL A.

TODD McCRORY, DIVISION MANAGER
LENNAR HOMES, LLC.

WITNESS 1

WITNESS 2

PRINT NAME

PRINT NAME

ACKNOWLEDGEMENT TO DEDICATION:

STATE OF FLORIDA
COUNTY OF ESCAMBIA

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF _____ PHYSICAL PRESENCE OR _____ ONLINE NOTORIZATION ON THIS _____ DAY OF _____, 2022, BY TODD MCCRORY AS DIVISION MANAGER OF LENNAR HOMES, LLC, A DELAWARE LIMITED LIABILITY COMPANY, WHO _____ IS PERSONALLY KNOWN TO ME OR _____ HAS PRODUCED _____ AS IDENTIFICATION.

SIGNATURE OF NOTARY

NAME, LEGIBLY PRINTED,
TYPEWRITTEN OR STAMPED

(SEAL)

MY COMMISSION EXPIRES: _____

CERTIFICATE OF ATTORNEY:

I, _____, AS A MEMBER OF THE FLORIDA BAR ASSOCIATION, AND ON BEHALF OF THE OWNERS, HEREBY CERTIFY THAT I HAVE EXAMINED THE PLAT HEREON AND THE ACCOMPANYING DOCUMENTS AND HAVE FOUND THEM TO BE IN PROPER LEGAL FORM AND TO MEET ALL THE REQUIREMENTS OF THE FLORIDA PLAT ACT AND THE ESCAMBIA COUNTY LAND DEVELOPMENT CODE, AS AMENDED.

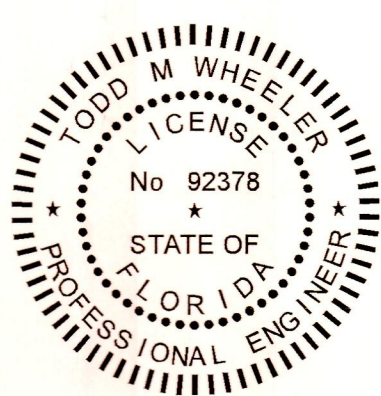
SIGNED ON THIS THE _____ DAY OF _____, 2022.

ENGINEERS CERTIFICATE:

I, TODD M. WHEELER, HEREBY CERTIFY THAT ALL CONSTRUCTED ROADWAYS, DRAINAGE, AND OTHER IMPROVEMENTS ARE DESIGNED TO COMPLY WITH ALL FEDERAL, STATE AND LOCAL DEVELOPMENT REQUIREMENTS AND THAT I AM THE ENGINEER OF RECORD FOR MAHOGANY WOODS (SUBDIVISION).

TODD M. WHEELER, P.E., FLORIDA P.E. # 92378

4/29/22
DATE



SITE DATA

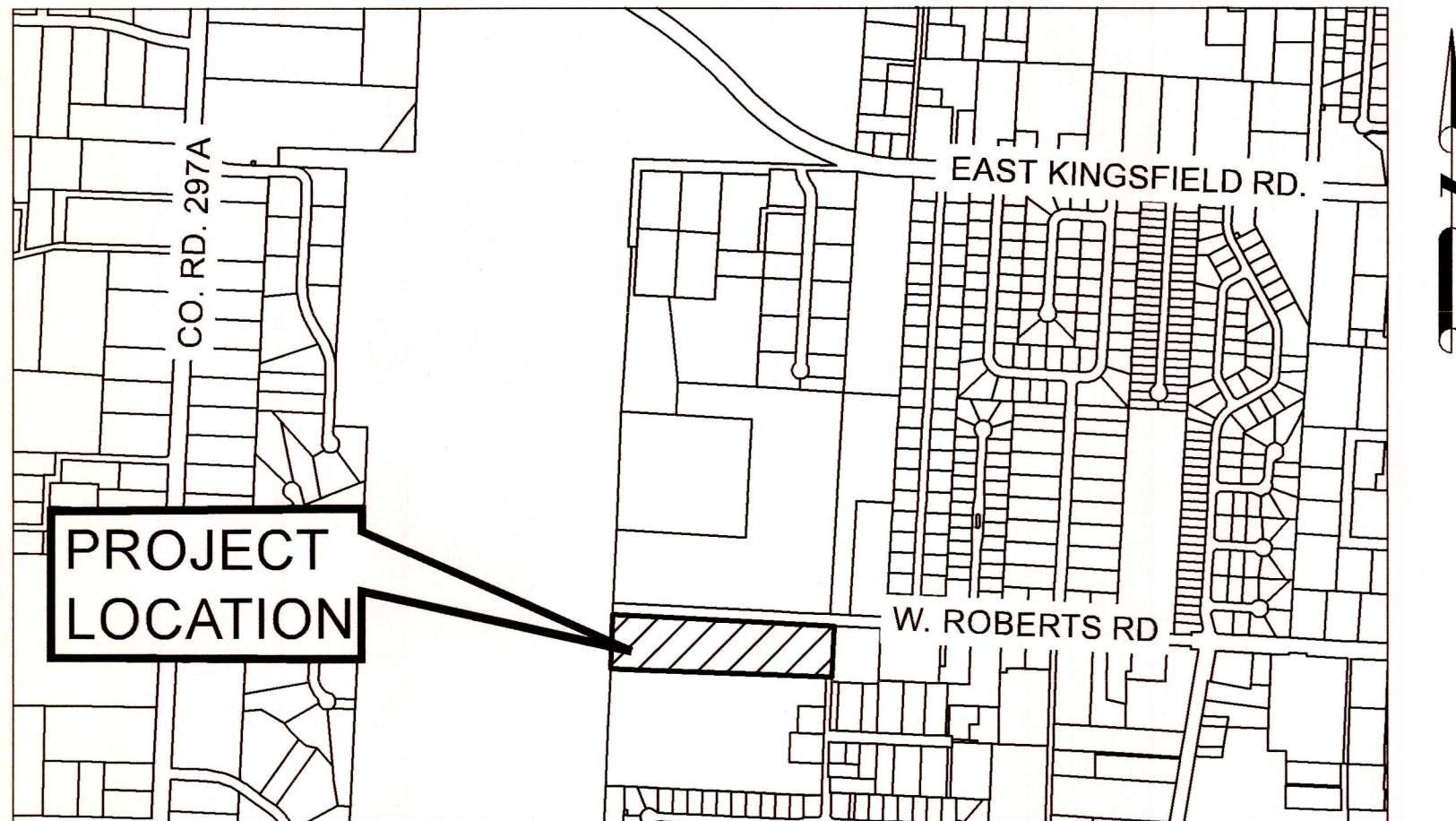
Parcel Number	37-1N-31-1201-000-000
Gross Project Area:	9.13 Acres
Wetland Area:	0 Acres
Gross Density:	4.0 Units / Acre (Residential)
Current Zoning:	MDR
Type of Subdivision:	Single-Family
Number of Lots:	37 Lots
Datum:	FLORIDA NORTH NAD 1983(2011) & NAVD 88
Street Length:	841.92 L.F.
Type of Streets:	Private
R/W Width:	50'
Pavement Width:	26' B.O.C. To B.O.C.
Street Maintenance:	Private
Stormwater Maintenance:	Private
Min. Lot Area:	52,00' x 130' (6,760 SF)
Min. Lot Width at Building Line:	52.00 feet
Min. Depth of Front Yard:	20 feet
Min. Depth of Rear Yard:	20 feet
Min. Width of Each Side Yard:	On each side, 5 feet or 10 percent of the lot width at the street right-of-way, whichever is greater, but not required to exceed 15 feet.
Max. Building Area as % of Gross Lot Area:	N/A
Max. Building Height (feet):	45 feet

MAHOGANY WOODS

IN A PORTION OF SECTION 37, TOWNSHIP 1 NORTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA

37 LOTS, ZONED: MDR FUTURE LAND USE: MU-S

June 2022



LOCATION MAP
NOT TO SCALE

GENERAL NOTES:

- THERE IS DEDICATED HERewith A 5 FOOT UTILITY EASEMENT ON ALL LOT LINES ADJACENT TO RIGHTS-OF-WAY UNLESS OTHERWISE SPECIFIED.
- THERE SHALL BE A 10 FOOT PRIVATE DRAINAGE EASEMENT ALONG ALL COMMON LOT LINES, BEING 5 FOOT ON EACH SIDE OF SAID LINE, FENCES AND OTHER STRUCTURES SHALL NOT IMPEDE STORMWATER FLOW.
- FENCES OR OTHER STRUCTURES SHALL NOT BE INSTALLED IN DRAINAGE/ACCESS EASEMENTS (PUBLIC OR PRIVATE). THESE EASEMENTS SHALL BE ACCESSIBLE AT ALL TIMES.
- ALL PLATTED UTILITY EASEMENTS AS SHOWN HEREON SHALL ALSO SERVE AS EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE AND OPERATION OF CABLE TELEVISION SERVICES IN ACCORDANCE WITH AND SUBJECT TO THE PROVISIONS OF SECTION 177.091 (28) FLORIDA STATUTES.
- SUBJECT TO EASEMENT FOR FLORIDA POWER AND LIGHT COMPANY AS PER OR. BOOK 8755 PAGE 275, FOUND IN THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.

SURVEY NOTES:

- ACTUAL BEARINGS AND NORTH ARROW REFERENCED TO REAL TIME KINEMATIC GPS OBSERVATIONS (GRID NORTH) (FLORIDA NORTH NAD1983) (FDDOT PRN).
- BASIS OF BEARINGS: N 02°29'21" E, ALONG THE WESTERLY LINE OF THE SUBJECT PROPERTY.
- DATUM: NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88), BENCHMARK UTILIZED: FLORIDA DOT PERMANENT REFERENCE NETWORK.
- REFERENCES USED: OR BOOK 8127 PAGE 81, OR BOOK 8892 PAGE 1216, PLAT BOOK 4 PAGE 61, ALL FOUND IN THE PUBLIC RECORDS OF ESCAMBIA COUNTY FLORIDA.
- THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT ANNUAL-CHANCE FLOODPLAINS. NO BFEs OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCMABIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0280G, MAP REVISION DATED SEPTEMBER 29, 2006.

LEGAL DESCRIPTION OF MAHOGANY WOODS:

COMMENCING AT THE NORTHWEST CORNER OF THE NORTHWEST ¼ OF THE NORTHEAST ¼ OF SECTION 37, TOWNSHIP 1 NORTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA;

THENCE FROM THE POINT OF COMMENCEMENT S 02°29'21" W A DISTANCE OF 8.31 FEET TO A 4" X 4" CONCRETE MONUMENT SET, STAMPED "P.R.M. LB 8349", SAID POINT FURTHER DESCRIBED AS THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT;

THENCE FROM THE POINT OF BEGINNING S 86°48'59" E A DISTANCE OF 1248.50 FEET TO A 4" X 4" CONCRETE MONUMENT SET, STAMPED "P.R.M. LB 8349";

THENCE S 02°03'10" W A DISTANCE OF 310.65 FEET TO A 4" X 4" CONCRETE MONUMENT SET, STAMPED "P.R.M. LB 8349";

THENCE N 87°30'35" W A DISTANCE OF 1250.78 FEET TO A 4" X 4" CONCRETE MONUMENT SET, STAMPED "P.R.M. LB 8349";

THENCE N 02°29'21" E A DISTANCE OF 325.75 FEET TO A 4" X 4" CONCRETE MONUMENT SET, STAMPED "P.R.M. LB 8349", WHICH IS THE POINT OF BEGINNING, CONTAINING 9.13 ACRES, MORE OR LESS.

ALSO, "R/W PARCEL A", BEING ALL THAT PART OF A PUBLIC RIGHT OF WAY BEING DEDICATED TO ESCAMBIA COUNTY, FLORIDA BY THIS PLAT, LYING SOUTH OF THE NORTH LINE OF SECTION 37, TOWNSHIP 1 NORTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA AND LYING WEST OF THE PRESENT RIGHT OF WAY OF WEST ROBERTS ROAD, MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BEGINNING AT THE NORTHWEST CORNER OF THE NORTHWEST ¼ OF THE NORTHEAST ¼ OF SECTION 37, TOWNSHIP 1 NORTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA;

THENCE ALONG THE NORTH LINE OF SAID SECTION S 87°21'30" E A DISTANCE OF 1266.26 FEET TO A POINT OF INTERSECTION OF WITH THE PRESENT WESTERLY RIGHT OF WAY OF WEST ROBERTS ROAD;

THENCE ALONG SAID PRESENT WESTERLY RIGHT OF WAY S 02°03'07" W A DISTANCE OF 330.72 FEET;

THENCE N 87°30'35" W A DISTANCE OF 18.00 FEET;

THENCE N 02°03'10" E A DISTANCE OF 310.65 FEET;

THENCE N 86°48'59" W A DISTANCE OF 1248.50 FEET;

THENCE N 02°29'21" E A DISTANCE OF 8.31 FEET TO THE POINT OF BEGINNING, CONTAINING 0.54 ACRES, MORE OR LESS.

PREPARED BY: J. KEVIN GARDNER PSM
FLORIDA LICENSE NO. 7258

CERTIFICATE OF COUNTY CLERK:

I, PAM CHILDERS, CLERK OF THE CIRCUIT COURTS OF ESCAMBIA COUNTY, FLORIDA, HEREBY CERTIFY THAT THE PLAT COMPLIES WITH ALL THE REQUIREMENTS OF THE PLAT ACT (CHAPTER 177, SECTIONS 177.011 THROUGH 177.151 OF THE FLORIDA LEGISLATIVE STATUTES) AND THE SAME WAS RECORDED

ON THE _____ DAY OF _____, 2022, IN PLAT BOOK

_____ AT PAGE _____ OF THE PUBLIC RECORDS OF SAID COUNTY.

PAM CHILDERS, CLERK OF THE CIRCUIT COURT

CERTIFICATE OF PLAT REVIEW:

THIS IS TO CERTIFY THAT THIS PLAT HAS BEEN REVIEWED FOR CONFORMITY TO FLORIDA STATUTES CHAPTER 177, PART 1, PLATTING, BY THE OFFICE OF THE COUNTY SURVEYOR OF ESCAMBIA COUNTY,

FLORIDA ON THIS _____ DAY OF _____, 2022.

JOSEPH BARRETT, P.S.M., COUNTY SURVEYOR

PROFESSIONAL SURVEYOR AND MAPPER, FLORIDA CERTIFICATION No. 6260

CERTIFICATE OF APPROVAL OF COUNTY COMMISSIONERS:

I, PAM CHILDERS, CLERK OF THE CIRCUIT COURT OF ESCAMBIA COUNTY, FLORIDA, HEREBY CERTIFY THAT THE PLAT BEING PRESENTED TO THE BOARD OF COUNTY COMMISSIONERS OF SAID COUNTY AT

THEIR MEETING HELD ON THE _____ DAY OF _____, 2022, WAS APPROVED FOR FILING BY SAID BOARD, AND I AS SAID CLERK OF THE CIRCUIT COURT, WAS INSTRUCTED TO SO CERTIFY HEREON.

PAM CHILDERS, CLERK OF THE CIRCUIT COURT

NOTICE:

FLORIDA STATUTE 177.091 (27)

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT.

THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE PLAT SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF THE LAND SURVEYED, THAT THE SURVEY WAS MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION, THAT THIS PLAT COMPLIES WITH ALL THE PROVISIONS OF THE FLORIDA PLAT ACT, CHAPTER 177, SECTION 177.011 - 177.151, FLORIDA STATUTES, AS AMENDED FROM TIME TO TIME; THAT THE BOUNDARY INFORMATION ON THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS / STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS, PURSUANT TO CHAPTER 5J-17.050, 5J-17.051 AND 5J-17.052 FLORIDA ADMINISTRATIVE CODE AND SECTION 472.027, FLORIDA STATUTES, AS AMENDED FROM TIME TO TIME; THAT PERMANENT REFERENCE MONUMENTS AND PERMANENT CONTROL POINTS HAVE BEEN PLACED AS REQUIRED BY THE LAND DEVELOPMENT CODE OF ESCAMBIA FLORIDA, AS AMENDED FROM TIME TO TIME; AND THAT SAID LAND HAS BEEN SUBDIVIDED AS SHOWN HEREON.

SIGNED ON THIS THE 29th DAY OF JUNE, 2022.

J. KEVIN GARDNER, P.S.M.
FLORIDA LICENSE NO. 7258
MULLINS, LLC
240 EAST INTENDENCIA STREET
PENSACOLA, FLORIDA 32502
BUSINESS CERTIFICATE NO. LB 8349



DEVELOPER/PROPERTY OWNER:

LENNAR HOMES, LLC
240 EAST INTENDENCIA STREET
PENSACOLA, FL 32502
PH# (850) 465-3590

ENGINEER:

MULLINS, LLC
240 EAST INTENDENCIA STREET
PENSACOLA, FLORIDA 32502
BUSINESS LICENSE NO. 32689
TODD M. WHEELER
P.E. LICENSE NO. 92378
PH# (205) 937-9553 / todd.wheeler@mullinsllc.net

SURVEYOR:

MULLINS, LLC
240 EAST INTENDENCIA STREET
PENSACOLA, FLORIDA 32502
LICENSE NO. LB 8349
J. KEVIN GARDNER, P.L.S.
FLORIDA LICENSE NO. 7258
PH# (850) 378-8141 / kevin@mullinsllc.net

INDEX OF SHEETS:

- DEDICATION AND CERTIFICATE SHEET
- PLAT BOUNDARY INFORMATION

SHEET 1 OF 2

RESTRICTIVE COVENANTS,
OFFICIAL RECORDS BOOK

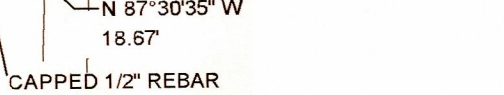
, PAGE(S)

PLAT BOOK

, PAGE

June 2022

- | | |
|----------|--|
| □ | ~ 4" X 4" CONCRETE MONUMENT SET, STAMPED "P.R. M. LB 8349" |
| ○ | ~ CAPPED 1/2" REBAR SET, STAMPED "MULLINS LB 8349" |
| ● | ~ PK NAIL AND WASHER SET, STAMPED "P.C. P. LB 8349" |
| △ | CALCULATED POINT |
| P.R. M. | ~ PERMANENT REFERENCE MONUMENT |
| P.C. P. | ~ PERMANENT CONTROL POINT |
| BSL | ~ BUILDING SETBACK LINE |
| R/W | ~ RIGHT OF WAY |
| H.O.A. | ~ HOME OWNERS ASSOCIATION |
| AC | ~ ACRES |
| SF | ~ SQUARE FEET |
| ESMT | ~ EASEMENT |
| P.C. | ~ POINT OF CURVATURE |
| P.I. | ~ POINT OF INTERSECTION |
| P.R.C. | ~ POINT OF REVERSE CURVATURE |
| R.P. | ~ RADIUS POINT |
| (R) | ~ RADIAL |
| (NR) | ~ NON-RADIAL |
| PSM | ~ PROFESSIONAL SURVEY AND MAPPER |
| P.L.S. | ~ PROFESSIONAL LAND SURVEYOR |
| P.E. | ~ PROFESSIONAL ENGINEER |
| LB | ~ LICENSED BUSINESS |
| FDOT | ~ FLORIDA DEPARTMENT OF TRANSPORTATION |
| FFRN | ~ FLORIDA PERMANENT REFERENCE NETWORK |
| NAD | ~ NORTH AMERICAN DATUM |
| HDR | ~ HIGH DENSITY RESIDENTIAL |
| M-US | ~ MIXED USED - SUBURBAN |
| LLC | ~ LIMITED LIABILITY COMPANY |
| OR.BK | ~ OFFICIAL RECORDS BOOK |
| NORTHVMD | ~ NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT |
| GPS | ~ GLOBAL POSITIONING SYSTEM |
| USACE | ~ UNITED STATES ARMY CORPS OF ENGINEERS |



LOTS - INDIVIDUAL OWNERSHIP
STREET RIGHT-OF-WAYS - PRIVATE
PARCEL 'A' - COMMON AREA - POND - PRIVATE H.O.A.
PARCEL 'B' - COMMON AREA - SIGN - PRIVATE H.O.A.
PARCEL 'C' - COMMON AREA - MAIL KIOSK - PRIVATE H.O.A.
NOTE: SUBDIVISION IS PRIVATE, AS SUCH ALL DRAINAGE/ACCESS
EASEMENTS SHALL REMAIN PRIVATE.

REAR: 20 FEET
SIDES: ON EACH SIDE, 5 FEET OR 10 PERCENT OF THE LOT WIDTH
AT THE STREET RIGHT-OF-WAY, WHICHEVER IS GREATER, BUT
NOT REQUIRED TO EXCEED 15 FEET.

LENNAR HOMES, LLC
801 W. ROMANA STREET
PENSACOLA, FL 32502
PH# (850) 465-3590

OWNER:
MULLINS, LLC.
240 EAST INTENDENCIA STREET
PENSACOLA, FLORIDA 32502
BUSINESS LICENSE NO. 32689
TODD M. WHEELER
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STATION	NORTHING (FT)	EASTING (FT)	LATITUDE NORTH	LONGITUDE WEST	SCALE FACTOR	CONVERGENCE (SF)	ELEVATION	ELEVATION FACTOR	COMBINED SCALE FACTOR
GPS-1	579216.4701	1082036.7771	N 30°33'45.20"	W 87°19'00.21"	.99997215	-01°24'55.72"	116.52	.99999876	.99997091
GPS-2	579526.9356	1082047.8849	N 30°33'48.28"	W 87°19'00.18"	.99997225	-01°24'55.70"	122.98	.99999845	.99997070
GPS-3	579596.2385	1080801.3216	N 30°33'48.65"	W 87°19'14.45"	.99997226	-01°25'02.87"	82.24	1.0000004	.99997266

LOCATION ESTABLISHED FROM GPS OBSERVATIONS.
TO CONVERT A GROUND DISTANCE TO A GRID DISTANCE, MULTIPLY THE GROUND DISTANCE BY THE AVERAGE COMBINED
SCALE FACTOR.

INDEX OF SHEETS:

1. DEDICATION AND CERTIFICATE SHEET
2. PLAT BOUNDARY INFORMATION

SHEET 2 OF 2

**RESTRICTIVE COVENANTS,
OFFICIAL RECORDS BOOK _____, PAGE(S)**

PLAT BOOK _____, PAGE _____

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TODD McCRORY, DIVISION MANAGER
LENNAR HOMES, LLC.

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SIGNATURE OF NOTARY

NAME, LEGIBLY PRINTED,
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MY COMMISSION EXPIRES: _____

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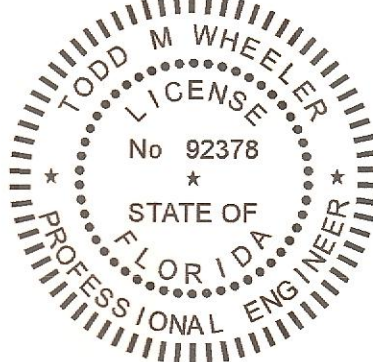
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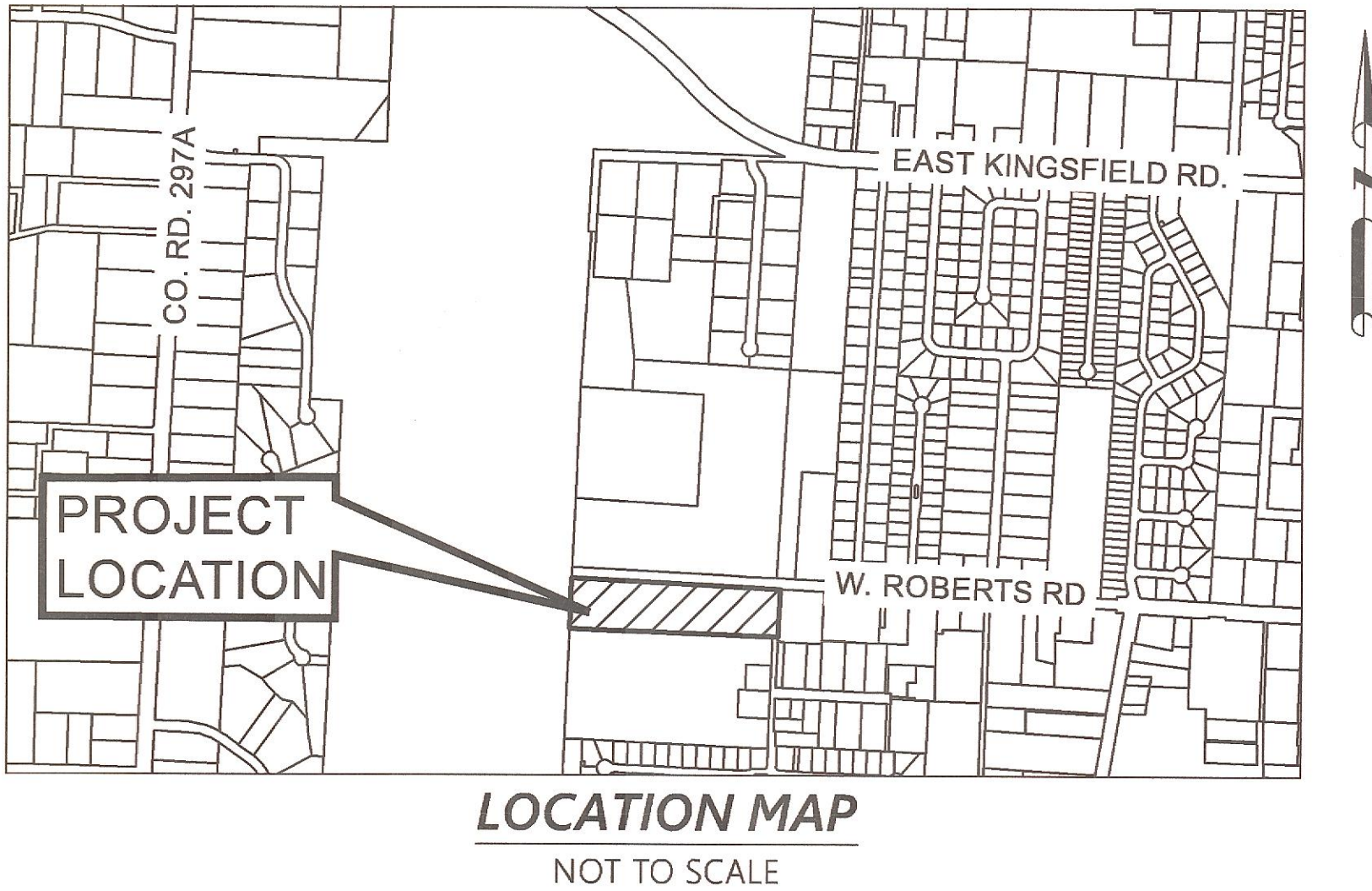
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Street Maintenance:	Private
Stormwater Maintenance:	Private
Min. Lot Area:	52.00' x 130' (6,760 SF)
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Min. Depth of Front Yard:	20 feet
Min. Depth of Rear Yard:	20 feet
Min. Width of Each Side Yard:	On each side, 5 feet or 10 percent of the lot width at the street right-of-way, whichever is greater, but not required to exceed 15 feet.
Max. Building Area as % of Gross Lot Area:	N/A
Max. Building Height (feet):	45 feet

MAHOGANY WOODS

IN A PORTION OF SECTION 37, TOWNSHIP 1 NORTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA

37 LOTS, ZONED: MDR FUTURE LAND USE: MU-S

June 2022



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LEGAL DESCRIPTION OF MAHOGANY WOODS:

COMMENCING AT THE NORTHWEST CORNER OF THE NORTHWEST ¼ OF THE NORTHEAST ¼ OF SECTION 37, TOWNSHIP 1 NORTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA;

THENCE FROM THE POINT OF COMMENCEMENT S 02°29'21" W A DISTANCE OF 8.31 FEET TO A 4" X 4" CONCRETE MONUMENT SET, STAMPED "P.R.M. LB 8349", SAID POINT FURTHER DESCRIBED AS THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT;

THENCE S 02°03'10" W A DISTANCE OF 1248.50 FEET TO A 4" X 4" CONCRETE MONUMENT SET, STAMPED "P.R.M. LB 8349";

THENCE S 02°03'10" W A DISTANCE OF 310.65 FEET TO A 4" X 4" CONCRETE MONUMENT SET, STAMPED "P.R.M. LB 8349";

THENCE N 87°30'35" W A DISTANCE OF 1250.78 FEET TO A 4" X 4" CONCRETE MONUMENT SET, STAMPED "P.R.M. LB 8349";

THENCE N 02°29'21" E A DISTANCE OF 325.75 FEET TO A 4" X 4" CONCRETE MONUMENT SET, STAMPED "P.R.M. LB 8349", WHICH IS THE POINT OF BEGINNING, CONTAINING 9.13 ACRES, MORE OR LESS.

ALSO, "R/W PARCEL A", BEING ALL THAT PART OF A PUBLIC RIGHT OF WAY BEING DEDICATED TO ESCAMBIA COUNTY, FLORIDA BY THIS PLAT, LYING SOUTH OF THE NORTH LINE OF SECTION 37, TOWNSHIP 1 NORTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA AND LYING WEST OF THE PRESENT RIGHT OF WAY OF WEST ROBERTS ROAD, MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BEGINNING AT THE NORTHWEST CORNER OF THE NORTHWEST ¼ OF THE NORTHEAST ¼ OF SECTION 37, TOWNSHIP 1 NORTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA;

THENCE ALONG THE NORTH LINE OF SAID SECTION S 87°21'30" E A DISTANCE OF 1266.26 FEET TO A POINT OF INTERSECTION OF WITH THE PRESENT WESTERLY RIGHT OF WAY OF WEST ROBERTS ROAD;

THENCE ALONG SAID PRESENT WESTERLY RIGHT OF WAY S 02°03'07" W A DISTANCE OF 330.72 FEET;

THENCE N 87°30'35" W A DISTANCE OF 18.00 FEET;

THENCE N 02°03'10" E A DISTANCE OF 310.65 FEET;

THENCE N 86°48'59" W A DISTANCE OF 1248.50 FEET;

THENCE N 02°29'21" E A DISTANCE OF 8.31 FEET TO THE POINT OF BEGINNING, CONTAINING 0.54 ACRES, MORE OR LESS.

PREPARED BY: J. KEVIN GARDNER PSM
FLORIDA LICENSE NO. 7258

CERTIFICATE OF COUNTY CLERK:

I, PAM CHILDERS, CLERK OF THE CIRCUIT COURTS OF ESCAMBIA COUNTY, FLORIDA, HEREBY CERTIFY THAT THE PLAT COMPLIES WITH ALL THE REQUIREMENTS OF THE PLAT ACT (CHAPTER 177, SECTIONS 177.011 THROUGH 177.151 OF THE FLORIDA LEGISLATIVE STATUTES) AND THE SAME WAS RECORDED

ON THE _____ DAY OF _____, 2022, IN PLAT BOOK

_____ AT PAGE _____ OF THE PUBLIC RECORDS OF SAID COUNTY.

PAM CHILDERS, CLERK OF THE CIRCUIT COURT

CERTIFICATE OF PLAT REVIEW:

THIS IS TO CERTIFY THAT THIS PLAT HAS BEEN REVIEWED FOR CONFORMITY TO FLORIDA STATUTES CHAPTER 177, PART 1, PLATTING, BY THE OFFICE OF THE COUNTY SURVEYOR OF ESCAMBIA COUNTY,

FLORIDA ON THIS _____ DAY OF _____, 2022.

JOSEPH BARRETT, P.S.M., COUNTY SURVEYOR

PROFESSIONAL SURVEYOR AND MAPPER, FLORIDA CERTIFICATION No. 6260

CERTIFICATE OF APPROVAL OF COUNTY COMMISSIONERS:

I, PAM CHILDERS, CLERK OF THE CIRCUIT COURT OF ESCAMBIA COUNTY, FLORIDA, HEREBY CERTIFY THAT THE PLAT BEING PRESENTED TO THE BOARD OF COUNTY COMMISSIONERS OF SAID COUNTY AT

THEIR MEETING HELD ON THE _____ DAY OF _____, 2022, WAS APPROVED FOR FILING BY SAID BOARD, AND I AS SAID CLERK OF THE CIRCUIT COURT, WAS INSTRUCTED TO SO CERTIFY HEREON.

PAM CHILDERS, CLERK OF THE CIRCUIT COURT

NOTICE:

FLORIDA STATUTE 177.091 (27)

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT.

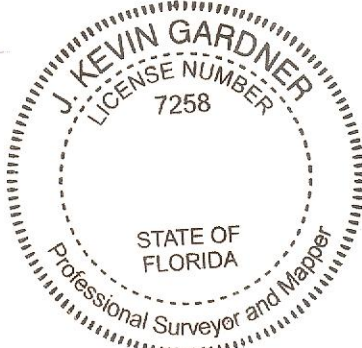
THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE PLAT SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF THE LAND SURVEYED; THAT THE SURVEY WAS MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION; THAT THIS PLAT COMPLIES WITH ALL THE PROVISIONS OF THE FLORIDA PLAT ACT, CHAPTER 177, SECTION 177.011 - 177.151, FLORIDA STATUTES, AS AMENDED FROM TIME TO TIME; THAT THE BOUNDARY INFORMATION ON THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS / STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS, PURSUANT TO CHAPTER 5J-17.050, 5J-17.051 AND 5J-17.052 FLORIDA ADMINISTRATIVE CODE AND SECTION 472.027, FLORIDA STATUTES, AS AMENDED FROM TIME TO TIME; THAT PERMANENT REFERENCE MONUMENTS AND PERMANENT CONTROL POINTS HAVE BEEN PLACED AS REQUIRED BY THE LAND DEVELOPMENT CODE OF ESCAMBIA FLORIDA, AS AMENDED FROM TIME TO TIME, AND THAT SAID LAND HAS BEEN SUBDIVIDED AS SHOWN HEREON.

SIGNED ON THIS THE 29TH DAY OF JUNE, 2022.

J. KEVIN GARDNER, P.S.M.
FLORIDA LICENSE NO. 7258
MULLINS, LLC
240 EAST INTENDENCIA STREET
PENSACOLA, FLORIDA 32502
BUSINESS CERTIFICATE NO. LB 8349



DEVELOPER/PROPERTY OWNER:
LENNAR HOMES, LLC
240 EAST INTENDENCIA STREET
PENSACOLA, FL 32502
PH# (850) 465-3590

ENGINEER:
MULLINS, LLC.
240 EAST INTENDENCIA STREET
PENSACOLA, FLORIDA 32502
BUSINESS LICENSE NO. 32698
TODD M. WHEELER
P.E. LICENSE NO. 92378
PH# (205) 937-9553 / todd.wheeler@mullinsllc.net

SURVEYOR:
MULLINS, LLC.
240 EAST INTENDENCIA STREET
PENSACOLA, FLORIDA 32502
LICENSE NO. LB 8349
J. KEVIN GARDNER, P.L.S.
FLORIDA LICENSE NO. 7258
PH# (850) 378-8141 / kevin@mullinsllc.net

INDEX OF SHEETS:

1. DEDICATION AND CERTIFICATE SHEET
2. PLAT BOUNDARY INFORMATION

SHEET 1 OF 2

RESTRICTIVE COVENANTS,
OFFICIAL RECORDS BOOK _____, PAGE(S) _____

PLAT BOOK _____, PAGE _____