

### GENERAL NOTES:

1. CONTRACTOR IS REQUIRED TO VISIT SITE AND FAMILIARIZE HIM/HERSELF WITH THE PROJECT PRIOR TO BIDDING.
2. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL AND STATE REGULATIONS CONCERNING NOTIFICATION TO THE REGULATORY AUTHORITIES OF ANY AND ALL BUILDING RENOVATIONS AND/OR DEMOLITION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MONITORING AND NOTIFYING THE ENGINEER OF RECORD AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND CONCLUSION OF CONSTRUCTION, AS WELL AS SUPPLYING CLEAR AND LEGIBLE REVISIONS TO THE CONSTRUCTION PLANS FOR USE DURING AS-BUILT CERTIFICATION.
4. ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER & MULCH, HYDROSEED AND/OR SOD (RECOMMEND CENTPEC, PENSACOLA BAHIA OR BERMUDA SOD). POND AND SWALE TOPS AND SIDES SHALL BE SODDED AND PINNED. ALL SOD PLACED ON SIDE SLOPES 4 TO 1 OR GREATER SHALL BE PINNED.
5. WHERE SOD IS BEING INSTALLED, TOPSOIL SHALL BE USED AS A BASE AT LEAST 3" DEEP.
6. AFTER THE SITE HAS BEEN BROUGHT TO PROPER GRADE FOR PLACEMENT OF TOPSOIL AND IMMEDIATELY PRIOR TO DUMPING AND SPREADING THE TOPSOIL, THE SUBGRADE SHALL BE LOOSENEED BY DIGGING OR SCARPING TO A DEPTH OF 2" TO INSURE BONDING OF THE TOPSOIL AND SODDING.
7. TOPSOIL SHALL NOT BE PLACED IN A MUDDY CONDITION, WHEN THE SUBGRADE IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND PROPOSED SODDING.
8. THE TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED TO A MINIMUM COMPACTED DEPTH OF 3".
9. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
10. COMPACT THE TOPSOIL ENOUGH TO ENSURE GOOD CONTACT WITH THE UNDERLYING SOIL AND TO OBTAIN A LEVEL SEED BED FOR THE ESTABLISHMENT OF HIGH MAINTENANCE TURF. AVOID UNDUO COMPACTION.
11. CONTRACTOR IS TO MAINTAIN SODDING AND GRASSING BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, RE-GRAIDING AND REPLANTING AS REQUIRED TO ESTABLISH GRASSED/SODDED AREAS FREE OF ERODED OR BARE AREAS AND REPLACE ANY REJECTED MATERIALS PROMPTLY FROM THE SITE. CONTRACTOR IS TO INCLUDE COST OF MAINTAINING SODDING AND GRASSING IN THE BID.
12. CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN A CODE ENFORCEMENT VIOLATION.
13. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE ANY DISTURBED AREAS FOUND IN RETENTION POND AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
14. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION AND PROVIDE A TOPOGRAPHICAL SURVEY (CERTIFIED BY A STATE OF FLORIDA LICENSED SURVEYOR) OF THE PROJECT AREA WHICH ILLUSTRATES AS-BUILT CONDITIONS OF ALL WORK AND SITE IMPROVEMENTS, INCLUDING OF PIPING, DRAINAGE STRUCTURES, STORMWATER POND TOPOGRAPHY, SITE ELEVATIONS, AND REMAINING DRAINAGE STRUCTURES, DIMENSIONS, ETC. THESE RECORD DRAWINGS ARE TO BE PROVIDED TO THE PROJECT ENGINEER PRIOR TO REQUESTING FINAL INSPECTION.
15. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY INSPECTIONS OFFICE (850-595-3569) AN INSPECTION OF THE EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO CONSTRUCTION, UNDERGROUND DRAINAGE STRUCTURES PRIOR TO BURIAL, ALL INTERMEDIATE INSPECTIONS AND THE FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
16. EROSION SHALL BE CONTROLLED BY THE USE OF A HAY BALE BARRIER/SILT FENCE AS SHOWN ON PLANS AND SHALL BE SETUP PRIOR TO COMMENCING CONSTRUCTION. THE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT, THE DETENTION AREA SHALL BE CLEANED OF SILT & STABILIZATION OF ALL DISTURBED AREAS SHALL BE ACCOMPLISHED.
17. CONTRACTOR SHALL NOTIFY SUNSHINE ONE UTILITIES (1-800-432-4770) TWO FULL BUSINESS DAYS IN ADVANCE PRIOR TO DIGGING WITHIN R/W.
18. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION AND ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
19. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
20. RIGHT-OF-WAY SHOULDER STABILIZATION SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).
21. ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR. IF THERE WILL BE TEMPORARY STOCKPILING OF MATERIALS ON THE SITE, THESE AREAS SHOULD CONTAIN EROSION CONTROL BMP'S (e.g. SILT FENCE, HAY BALES, ETC) AS NECESSARY.
22. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.
23. ALL BUILDING ROOF DRAINS, DOWN SPOUTS OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER RUNOFF TO ON-SITE RETENTION BASIN.
24. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES FOR REMOVAL AND RELOCATION OF EXISTING UTILITY POLES, AERIAL LINES, WATER LINES, GAS LINES AND OTHER UTILITIES AS NECESSARY.
25. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
26. UTILITY LOCATIONS ARE APPROXIMATE BASED ON LOCATION OF ABOVE GROUND APPURTENANCES, AND AS TAKEN FROM THE SURVEY. UNDERGROUND UTILITIES NOT SHOWN HEREIN MAY EXIST.
27. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
28. CONTRACTOR SHALL COMPLY WITH ANY TESTING REQUIRED BY STATE AND LOCAL GOVERNING AGENCIES SUCH AS ASPHALT CORES AND SUB-BASE/BASE COMPACTION TESTING.
29. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY CONFLICTS BETWEEN VENDOR DRAWINGS, EXISTING CONDITIONS AND THE CONSTRUCTION DOCUMENTS.
30. CONTRACTOR TO PROVIDE PROTECTION TO TREES THAT ARE TO REMAIN VIA TREE PROTECTION BARRIERS. REFER TO EROSION CONTROL PLAN FOR MORE INFORMATION.
31. IF APPLICABLE, TRENCHING OR GRADING AROUND TREES TO REMAIN SHALL BE AWAY FROM THE TREE IN A MANNER TO CAUSE NO DAMAGE TO THE TREE'S CRITICAL ROOT ZONE. THE CRITICAL ROOT ZONE IS REPRESENTED BY A CIRCLE, CENTERED ON THE TREE TRUNK AND HAVING A RADIUS OF ONE FOOT FOR EACH ONE INCH OF TRUNK DIAMETER (DBH). REFER TO LANDSCAPING PLAN FOR ADDITIONAL INFORMATION. A TREE IS NOT CONSIDERED PRESERVED IF THE ROOT ZONE AND CANOPY IMPACTS ARE EXCEEDED.

### SIGNAGE:

#### FREESTANDING SIGNAGE:

ONE (1) FREESTANDING SIGN STRUCTURE ALLOWED PER PARCEL STREET FRONTAGE (DEVELOPMENT PARCEL IS LESS THAN 2 AC), BUT A MAXIMUM OF 4 SIGN STRUCTURES ARE ALLOWED REGARDLESS OF FRONTAGE OR ACREAGE. STRUCTURES SHALL BE PLACED NO LESS THAN 200 LF FROM ANY OTHER NON-EXEMPT SIGN STRUCTURE ON THE SAME PARCEL, EXCLUDING BILLBOARDS. SIGNS SHALL NOT BE PLACED ON PUBLIC PROPERTY, INCLUDING PUBLIC RIGHTS-OF-WAYS, OR PLACED ON PRIVATE PROPERTY IN ANY MANNER THAT PROJECTS OR EXTENDS A SIGN OVER PUBLIC PROPERTY, WITHOUT APPLICABLE PUBLIC AGENCY AUTHORIZATIONS AND PERMITS. SIGN SHALL NOT OBSTRUCT VISION ON PRIVATE PROPERTY ALONG A STREET RIGHT-OF-WAY BETWEEN THREE FEET AND NINE FEET ABOVE GRADE WITHIN TEN FEET OF THE RIGHT OF WAY.

HIGHWAY 29/SR-95 (MAJOR ARTERIAL):  
FREESTANDING SIGNAGE SHALL BE LIMITED TO ONE SIGN A MAXIMUM OF 250 SF IN AREA AND A MAXIMUM OF 35 LF IN HEIGHT (LIMITED BY STREET CLASSIFICATION).

BROAD STREET (LOCAL STREET):  
FREESTANDING SIGNAGE SHALL BE LIMITED TO ONE SIGN A MAXIMUM OF 100 SF IN AREA AND A MAXIMUM OF 20 LF IN HEIGHT (LIMITED BY STREET CLASSIFICATION)

#### WALL SIGNAGE (PROPOSED BUILDING ONLY):

HIGHWAY 29 FRONTAGE (ARTERIAL/FOUR-LANE ST.): THE MAXIMUM WALL SIGN AREA SHALL BE LIMITED TO 82.50 SF (2.75 SF \* 30 LF BLDG. FRONTAGE)

BROAD STREET FRONTAGE (LOCAL ST.): THE MAXIMUM WALL SIGN AREA SHALL BE LIMITED TO 157.50 SF (2.25 SF \* 70 LF BLDG. FRONTAGE)

\*EACH BUILDING, OR EACH TENANT SPACE OF A MULTI-TENANT BUILDING, MAY HAVE MULTIPLE WALL SIGNS, BUT THE TOTAL WALL SIGN AREA OF A BUILDING OR TENANT WALL SHALL NOT EXCEED THE ALLOWANCE FOR THAT WALL. UNUSED SIGN AREA ON ONE BUILDING OR TENANT WALL IS NOT AVAILABLE TO ANY OTHER BUILDING OR TENANT WALL.

A VALID ESCAMBIA COUNTY SIGN PERMIT MUST BE OBTAINED PRIOR TO ERECTING, CONSTRUCTING, ALTERING OR RELOCATING ANY SITE SIGNAGE. FOR SIGNS PLACED ON A CORNER, THE SIDE SETBACK WILL BE DETERMINED BY MEASURING 35' ALONG THE INTERSECTIONS OF THE TWO PUBLIC RIGHTS OF WAY.

### JURISDICTIONAL CONTACTS:

#### ESCAMBIA COUNTY DEVELOPMENT SERVICES

3903 WEST PARK PLACE  
PENSACOLA, FL 32505  
PHONE NO.: (850)-595-3475  
FAX NO.: (850)-595-3481

#### EMERALD COAST UTILITIES AUTHORITY

9255 STURDEVANT STREET  
PENSACOLA, FL 32514  
PHONE NO.: (850)-478-5110  
FAX NO.: 850-494-7346

#### NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT

700 US HIGHWAY 331 SOUTH  
DEFLUNIAK SPRINGS, FL 32435  
PHONE NO.: (850)-951-4660  
FAX NO.: (850)-892-8007

#### FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

2600 BLAIR STONE ROAD  
TALLAHASSEE, FL 32399  
PHONE NO.: (888)-336-6312  
FAX NO.: (850)-297-1211

#### FLORIDA DEPARTMENT OF TRANSPORTATION

6025 OLD BAGDAD HIGHWAY.  
PENSACOLA, FL 32583  
PHONE NO.: (850)-981-3000  
FAX NO.: (850)-981-2719

### PROJECT DIRECTORY:

#### CIVIL ENGINEER

HAMMOND ENGINEERING, INC.  
3802 NORTH "S" ST  
PENSACOLA, FL 32505  
PHONE NO.: (850)-434-2603  
FAX NO.: (850)-434-2650

#### SURVEYOR

NORTHWEST FLORIDA LAND SURVEYING, INC.  
7142 BELGUM CIRCLE  
PENSACOLA, FL 32526  
PHONE NO.: (850)-432-1052

#### GEOTECHNICAL ENGINEER

NOVA ENGINEERING & ENVIRONMENTAL, LLC.  
140-A LURTON STREET  
PENSACOLA, FL 32505  
PHONE NO.: (850)-607-7782  
FAX NO.: (850)-249-6683

# SITE DEVELOPMENT PLANS FOR BROAD STREET COMMERCIAL BUILDING

SECTION 22 TOWNSHIP 1 SOUTH, RANGE 30 WEST  
ESCAMBIA COUNTY, FLORIDA

7999 PENSACOLA BOULEVARD  
PENSACOLA, FL 32534

OWNER/DEVELOPER:

DENNIS JOHNSTON

(850)-572-4635

DKJ REAL PROPERTIES, LLC.

294 SEVERIN DR

PENSACOLA, FL 32503

PROPERTY I.D NO: 22-IS-30-1101-004-010

ZONING DESIGNATION: HC/LI

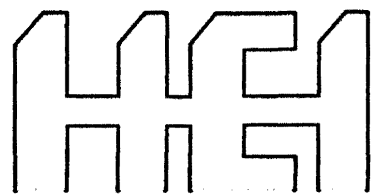
ADJACENT ZONING: HC/LI

FLU DESIGNATION: MU-U

ADJACENT FLU: MU-U

### INDEX OF DRAWINGS:

- C1 ~ COVER
- C2 ~ EXISTING CONDITIONS
- C3 ~ DEMOLITION & EROSION CONTROL PLAN
- C4 ~ SITE & GRADING PLAN
- C5 ~ UTILITY PLAN
- C6 ~ LANDSCAPING PLAN
- C7 ~ ENVIRONMENTAL IMPACT PLAN
- C8 ~ CONSTRUCTION DETAILS



HAMMOND ENGINEERING, INC.  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277

3802 NORTH "S" STREET  
PENSACOLA, FLORIDA 32505  
850-434-2603  
FAX 850-434-2650  
TDM@SELANDDESIGN.COM

REVISED JUNE 23, 2021

HEI PROJECT #: 20-089

### GENERAL NOTES:

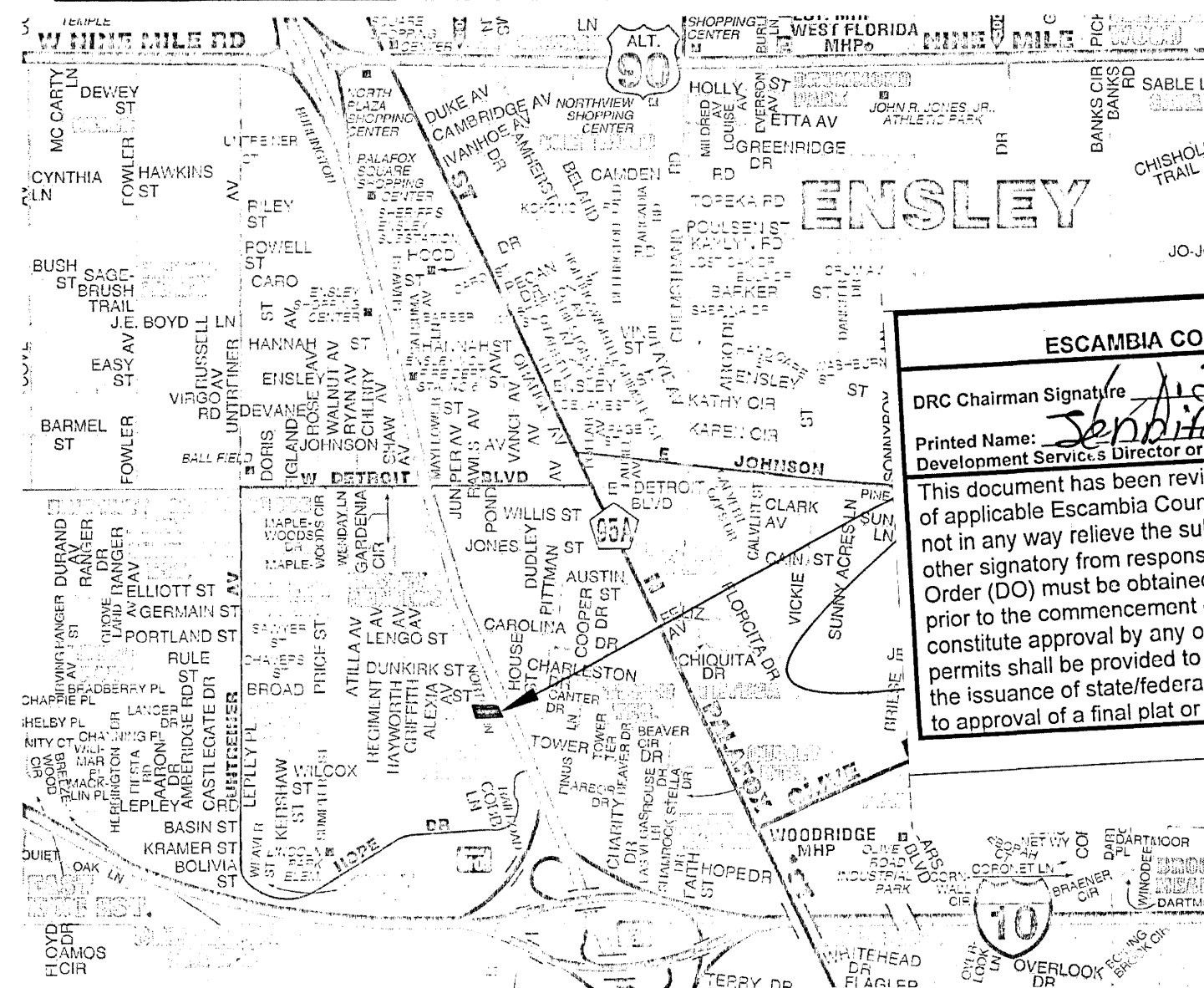
32. CONTRACTOR SHALL CONSTRUCT TEMPORARY MEASURES AND SUPPORT TO ACCESS THE SITE AND SHALL INCLUDE THE COST FOR SAME IN THE BID. CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE SATISFACTION OF THE OWNER AND/OR GOVERNING AGENCY.
33. CONTRACTOR SHALL COORDINATE HIS WORK AND COOPERATE WITH OTHER CONTRACTORS WORKING AROUND THE PROJECT AREA.
34. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL, FUEL, HYDRAULIC FLUID, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ESCAMBIA COUNTY HEALTH DEPT. 850-595-6700) AGENCIES.
35. SOLID WASTE SHALL BE KEPT IN AN APPROVED DUMPSTER THROUGHOUT CONSTRUCTION ACTIVITIES.
36. ALL VALVE BOXES SHALL BE SET FLUSH WITH GRADE(IF APPLICABLE).
37. ADEQUATE PROVISIONS SHALL BE MADE FOR FLOW OF SEWERS, DRAINS, AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
38. THE CONTRACTOR SHALL FLUSH AND CLEAN ALL STORMWATER PIPES AND STRUCTURES AT END OF CONSTRUCTION AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED.
39. PLACEMENT OF UNDERGROUND SYSTEMS, IRRIGATION, SEWER, WATER, DRAINAGE, ELECTRICAL, GAS, ETC. SHALL BE COMPLETED PRIOR TO LANDSCAPE INSTALLATION.
40. PROPERTY OBSTRUCTIONS WHICH ARE TO REMAIN IN PLACE SUCH AS BUILDINGS, SEWERS, DRAINS, WATER OR GAS PIPES, ELECTRICAL, CONDUITS, POLES, WALLS, POSTS, ETC. ARE TO BE CAREFULLY PROTECTED AND ARE NOT TO BE DISPLACED UNLESS NOTED.
41. THE CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE AND FEDERAL AGENCIES RULES CONCERNING SAFETY.
42. CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS, AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK AND UNTIL IT IS SAFE FOR BOTH PEDESTRIAN AND VEHICULAR TRAFFIC.
43. CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH DE-WATERING AND DE-MUCKING FOR INSTALLATION OF REQUIRED INFRASTRUCTURE (IF APPLICABLE).
44. THE CONTRACTORS MEANS AND METHODS OF "GROUNDWATER DE-WATERING" SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS FOR THE TEMPORARY DIVERSION OF GROUNDWATER AND ITS DISCHARGE, INCLUDING FAC CHAPTER 62-61.300(2) "GENERIC PERMIT FOR THE DISCHARGE OF PRODUCED GROUNDWATER FROM ANY NON-CONTAMINATED SITE ACTIVITY" (IF APPLICABLE)
45. CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH SELECT BACKFILL FOR INSTALLATION OF ANY INFRASTRUCTURE.
46. DEVELOPER/CONTRACTOR SHALL CLEAN UP ENTIRE SITE INCLUDING STAGING AREAS AT LEAST TWO TIMES PER WEEK. THIS SHALL INCLUDE LOCATING TRASH/SOAP RECEPTACLES AT APPROPRIATE LOCATIONS AROUND THE SITE. CONTRACTOR SHALL PICK UP ALL ROCKS, METAL, PIPE, NAILS, NUTS, BOLTS, BOARDS, PAPER, TRASH, ETC. AT LEAST TWICE A WEEK. CONTRACTOR SHALL INCLUDE COST OF SAME IN BID.
47. CONTRACTOR SHALL RESTORE ALL STAGING AREAS TO AS GOOD AS OR BETTER CONDITION THAN EXISTED PRIOR TO CONSTRUCTION. THIS INCLUDES IRRIGATION AND SOD REPLACEMENT IF NECESSARY. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 20 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE.
48. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL.
49. ANY SLOPES RECEIVING INFRASTRUCTURE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1)
50. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STANDARDS FOR EROSION CONTROL.
51. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMITS OF DISTURBANCE OR ONTO PUBLIC RIGHT OF WAY WILL BE REMOVED IMMEDIATELY.
52. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
53. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #48 ABOVE.
54. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
55. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
56. ANY DIRT THAT RUNS OFF OF THE PROJECT SITE ONTO PUBLIC STREETS SHALL BE REMOVED AND CLEANED IMMEDIATELY. FAILURE TO COMPLY CAN RESULT IN CODE ENFORCEMENT ACTION.
57. ANY AREAS USED FOR THE CONTRACTORS STAGING, INCLUDED BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (I.E. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.) SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.
58. ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT ESCAMBIA COUNTY, FDEP, AND ECMA STANDARDS AND REQUIREMENTS.
59. FOR SITES WITH DISTURBANCE EXCEEDING 1 ACRE, TO COMPLY WITH NPDES REQUIREMENTS, THE CONTRACTOR SHALL SUBMIT AN NPDES NOTICE OF INTENT TO FDEP A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ADDITIONALLY, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. A CERTIFIED STORMWATER MANAGEMENT INSPECTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL EFFORTS. INSPECTION RECORDS SHOULD BE ON HAND AT ALL TIMES AND PROVIDED TO ANY FDEP REPRESENTATIVE THAT MAY VISIT THE SITE DURING CONSTRUCTION.
60. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY OR PROVIDING CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
61. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
62. REFER TO BUILDING PLANS FOR ADDITIONAL INFORMATION.

### WELLHEAD PROTECTION NOTE:

THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOUR OF A PROTECTED (POTABLE) WELLHEAD. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ECUA-EMERALD COAST UTILITIES AUTHORITY (850-476-5110 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 595-6712) AGENCIES.

### FLOOD ZONE DATA

THE SUBJECT PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT-ANNUAL-CHANCE FLOODPLAINS. NO OFE'S OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBER 12033C0295G, MAP REVISIONS DATED SEPTEMBER 29, 2006.					
FLOOD ZONE(S)	NFP COMMUNITY NUMBER	MAP NUMBER	PANEL NUMBER(S)	SUFFIX	MAP REVISION DATE
X	120080	12033C	0295	G	SEPTEMBER 29, 2006



Approved  
ESCAMBIA COUNTY DRC PLAN REVIEW

DRC Chairman Signature: *[Signature]* Date: 6-30-21

Printed Name: *[Signature]*

Development Services Director or Designee

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Developer Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

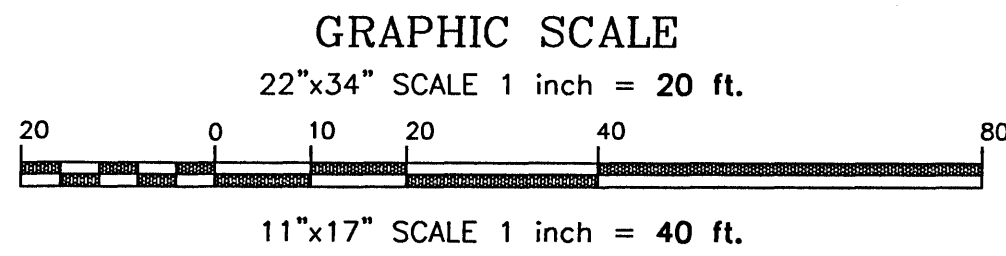
VICINITY MAP  
GRAPHIC SCALE

2000 0 1000 2000 4000  
( IN FEET )  
22" x 34": 1 inch = 2000 ft.  
11" x 17": 1 inch = 4000 ft.

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NO.	DATE	REVISIONS
△	06/23/2021	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS





DENOTES:

- ~ 1/2" CAPPED IRON ROD, NUMBERED 7277 (PLACED)
- ~ 1/2" IRON ROD, UNNUMBERED (FOUND)
- (D) ~ DEED INFORMATION
- (F) ~ FIELD INFORMATION
- R/W ~ RIGHT OF WAY
- P.O.B. ~ POINT OF BEGINNING
- O.R. ~ OFFICIAL RECORD
- P.G. ~ PAGE
- ~ BENCHMARK
- ~ TRAFFIC CONTRL BOX
- ~ FIBER OPTIC CABLE BOX
- ~ UTILITY POLE
- ~ STORM WATER INLET
- ~ GREASE TRAP
- ~ GRINDER STATION

SPECIAL LINES:

- ~ WATER SERVICE LINE
- ~ SANITARY SEWER FORCE MAIN
- ~ OVERHEAD ELECTRICAL

BENCHMARK DATA:

BM~1 NAIL AND DISK IN ASPHALT  
ELEVATION= 129.28' (NAVD88)

BM~2 NAIL AND DISK IN ASPHALT  
ELEVATION= 128.97' (NAVD88)

DESCRIPTION AS FURNISHED: (OFFICIAL RECORDS BOOK: 7820, PAGE 360)

THAT PORTION OF LOT 10 OF THE SUBDIVISION OF SECTION 22, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, ACCORDING TO THE PLAT OF THE NATIONAL LAND SALES COMPANY'S SUBDIVISION AS RECORDED IN DEED BOOK 89, AT PAGE 280, OF THE PUBLIC RECORDS OF SAID COUNTY, DESCRIBED AS FOLLOWS:

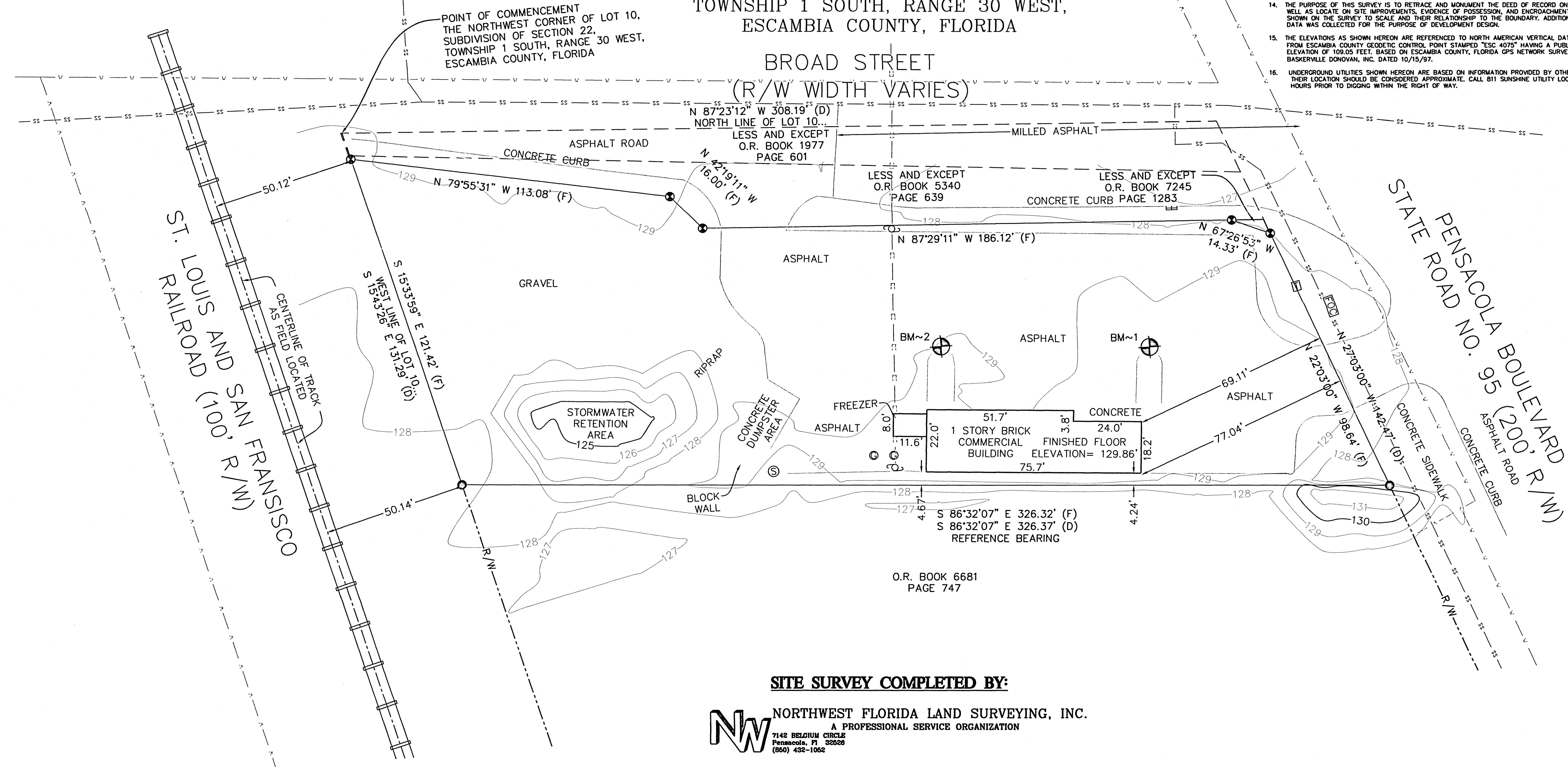
BEGIN AT THE NORTHWEST CORNER OF SAID LOT 10; THENCE S15°43'26"E ALONG THE WEST LINE OF SAID LOT (EAST RIGHT OF WAY LINE OF SAN FRANCISCO RAILROAD, 100 FOOT R/W) FOR A DISTANCE OF 151.29 FEET; THENCE S86°32'07"E FOR A DISTANCE OF 326.37 FEET TO THE WESTERLY RIGHT OF WAY LINE OF U.S. HIGHWAY #29 (S.R. #95 - 200 FOOT R/W); THENCE N27°03'00"W ALONG SAID WESTERLY RIGHT OF WAY LINE FOR A DISTANCE OF 142.47 FEET TO THE NORTH LINE OF SAID LOT 10; THENCE N87°23'12"W ALONG THE NORTH LINE OF SAID LOT FOR A DISTANCE OF 308.19 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT THOSE DESCRIBED IN OFFICIAL RECORDS BOOK 1977, PAGE 601; OFFICIAL RECORDS BOOK 5340, PAGE 639 AND OFFICIAL RECORDS BOOK 7245, PAGE 1283, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.

BOUNDARY WITH IMPROVEMENTS  
AND TOPOGRAPHIC SURVEY  
OF A PORTION OF SECTION 22,  
TOWNSHIP 1 SOUTH, RANGE 30 WEST,  
ESCAMBIA COUNTY, FLORIDA

BROAD STREET

(R/W WIDTH VARIES)



GENERAL NOTES:

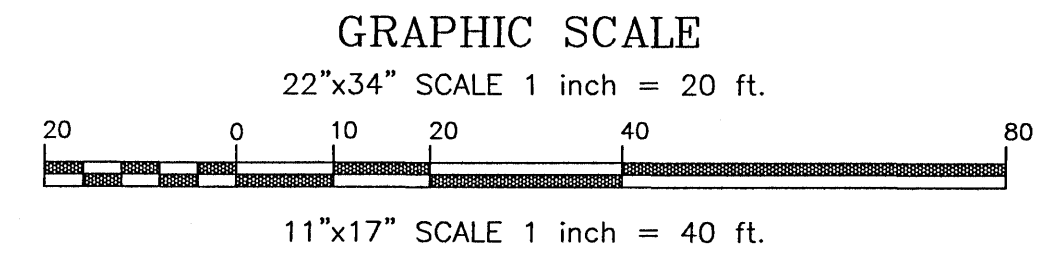
- THE BEARINGS AS SHOWN HEREON ARE REFERENCED TO THE ASSUMED BEARING OF SOUTH 86 DEGREES 32 MINUTES 07 SECONDS EAST ALONG THE SOUTH LINE OF THE PROPERTY AS PER THE DESCRIPTION AS FURNISHED.
- THE SURVEY DATUM AS SHOWN HEREON IS REFERENCED TO THE DESCRIPTION AS FURNISHED AND TO EXISTING FIELD MONUMENTATION.
- NO TITLE SEARCH WAS PROVIDED TO NOR PERFORMED BY NORTHWEST FLORIDA LAND SURVEYING, INC., FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, STATE AND/OR FEDERAL JURISDICTIONAL AREAS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE SUBJECT PROPERTY.
- THE PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE "X", OUTSIDE 0.2% ANNUAL CHANCE OF FLOOD, AS DETERMINED FROM FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA (UNINCORPORATED AREAS), MAP NUMBER 12033C 0295 G, REVISED SEPTEMBER 29, 2006.
- THIS SURVEY DOES NOT DETERMINE OWNERSHIP.
- THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.051 - 5J-17.053 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, TO THE BEST OF MY KNOWLEDGE AND BELIEF.
- THE MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS.
- THE MEASUREMENTS OF THE BUILDINGS AND/OR FOUNDATIONS SHOWN HEREON DO NOT INCLUDE CONCRETE FOOTERS OR EAVE OVERHANGS.
- FENCE LOCATIONS SHOWN HEREON MAY BE EXAGGERATED AND NOT TO SCALE FOR CLARITY PURPOSES.
- FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM, WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER, FRED R. THOMPSON, AND IS TO BE RETURNED TO OWNER UPON REQUEST.
- THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY ISSUED ON THE SURVEY DATE WITH A RAISED SEAL TO INSURE THE ACCURACY OF THE INFORMATION AND TO FURTHER INSURE THAT NO CHANGES, ALTERATIONS OR MODIFICATIONS HAVE BEEN MADE. NO RELIANCE SHOULD BE MADE ON A DOCUMENT TRANSMITTED BY COMPUTER OR OTHER ELECTRONIC MEANS UNLESS FIRST COMPARED TO THE ORIGINAL SIGNED AND SEALED DOCUMENT.
- THIS SURVEY MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS BY COUNTY, STATE OR OTHER AGENCIES.
- ENCROACHMENTS ARE AS SHOWN.
- THE PURPOSE OF THIS SURVEY IS TO RETRACE AND MONUMENT THE DEED OF RECORD ON THE GROUND AS WELL AS LOCATE ON SITE IMPROVEMENTS, EVIDENCE OF POSSESSION, AND ENCROACHMENTS TO BE SHOWN ON THE SURVEY TO SCALE AND THEIR RELATIONSHIP TO THE BOUNDARY. ADDITIONALLY, TOPOGRAPHIC DATA WAS COLLECTED FOR THE PURPOSE OF DEVELOPMENT DESIGN.
- THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988, FROM ESCAMBIA COUNTY GEODETIC CONTROL POINT STAMPED "ESC 4075" HAVING A PUBLISHED ELEVATION OF 109.05 FEET, BASED ON ESCAMBIA COUNTY, FLORIDA GPS NETWORK SURVEY PERFORMED BY BASKERVILLE DONOVAN, INC. DATED 10/15/97.
- UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON INFORMATION PROVIDED BY OTHERS AND THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. CALL 811 SUNSHINE UTILITY LOCATORS 48 HOURS PRIOR TO DIGGING WITHIN THE RIGHT OF WAY.

SITE SURVEY COMPLETED BY:



NORTHWEST FLORIDA LAND SURVEYING, INC.  
A PROFESSIONAL SERVICE ORGANIZATION  
7142 BELGIUM CIRCLE  
PENSACOLA, FL 32506  
(850) 432-1062

REVISIONS		DATE	NO.	DATE	NO.
REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS		06/23/2021	1		
HAMDON ENGINEERING, INC.					
FLORIDA AUTHORIZATION NO. 9130					
ALABAMA AUTHORIZATION NO. 3277					
3802 NORTH "S" STREET					
PENSACOLA, FLORIDA 32505					
850 434-2603					
FAX 850-434-2650					
TOM@SELANDESIGN.COM					
SITE DEVELOPMENT PLANS FOR					
BROAD STREET					
COMMERCIAL BUILDING					
EXISTING CONDITIONS					
ESCAMBIA COUNTY					
FLORIDA					
DRAWN BY: GJB	DESIGNED BY: RLS	CHECKED BY: TGH	DATE: 05-20-21	SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION
BY: DATE:					PROJECT NO: 20-089
SHEET: C2					



LEGEND:					
	DENOTES EXISTING ASPHALT		DENOTES EXISTING GRINDER STATION		DENOTES EXISTING GREASE TRAP
	DENOTES EXISTING CONCRETE		DENOTES EXISTING TRAFFIC CONTROL BOX		DENOTES EXISTING UTILITY POLE
	DENOTES EXISTING MILLED ASPHALT/ROCK TO BE REMOVED		DENOTES EXISTING OVERHEAD SIGN		DENOTES EXISTING STORMWATER INLET
	DENOTES EXISTING ASPHALT TO BE REMOVED		DENOTES EXISTING FORCE MAIN		DENOTES EXISTING FORCE MAIN TO BE CUT
	DENOTES EXISTING CONCRETE TO BE REMOVED		DENOTES EXISTING PROPOSED SILT FENCE		
	DENOTES EXISTING OVERHEAD ELECTRICAL				

DEMOLITION/EROSION CONTROL NOTES

- WHERE ASPHALT/CONCRETE TO BE REMOVED EXTENDS PAST PROPERTY LINE, CONTRACTOR TO COORDINATE PROPOSED REMOVAL WITH ADJACENT PROPERTY OWNER TO ASSURE HE/SHE DESIRES MISCELLANEOUS IMPERVIOUS SURFACE TO BE REMOVED.
- WHERE EXISTING ASPHALT/CONCRETE IS BEING REMOVED ON PROPERTY LINE, REMOVAL SHALL BEGIN AT THE PROPERTY LINE AND WORK TOWARDS THE INTERIOR OF THE PROPERTY. INITIALLY, A 3± STRIP OF EXISTING ASPHALT/CONC. SHALL BE REMOVED NEXT TO THE PROPERTY LINE TO ALLOW FOR INSTALLATION OF PROPOSED EROSION CONTROL BMP'S.
- IT IS UNDERSTOOD THAT WHERE SILT FENCING IS ILLUSTRATED ON EXISTING ASPHALT/CONC. THAT THE EXISTING ASPHALT/CONC. SHALL BE REMOVED IN THAT IMMEDIATE AREA PRIOR TO INSTALLATION OF BMP.
- THE EROSION AND SEDIMENT CONTROL RULES ARE PERFORMANCE ORIENTED. THAT IS, THE MEASURES USED AT A CONSTRUCTION SITE MUST BE EFFECTIVE IN CONTROLLING EROSION AND PREVENTING OFF-SITE SEDIMENTATION FOR THE SITE TO BE IN COMPLIANCE. FOLLOWING AN APPROVED PLAN AND INSTALLING THE CONTROL MEASURES MAY NOT BE ENOUGH FOR A SITE TO BE IN COMPLIANCE WITH THE RULES. IF EROSION AND OFF-SITE SEDIMENTATION OCCUR, THE CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLING ADDITIONAL MEASURES TO CORRECT ANY PROBLEM ASSOCIATED WITH COMPLIANCE OF THE NPDES PERMIT OR ANY OTHER PERMIT REQUIRED FOR THE SITE CONSTRUCTION. THE CONTRACTOR WILL ALSO BE COMPLETELY RESPONSIBLE FOR ANY FINES LEVIED BY ANY GOVERNING AGENCY ON THE PROJECT DURING CONSTRUCTION.
- EROSION CONTROL MEASURES SHOWN ARE MINIMUM REQUIREMENTS ONLY. CONTRACTOR SHALL REINFORCE AND/OR ADD ADDITIONAL MEASURES AS CONDITIONS WARRANT AND/OR AS DIRECTED BY THE PROPER REGULATORY AUTHORITIES.
- ON SITES > 1 ACRE, IF > 1 CONTIGUOUS ACRE IS DECLARED, A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED WITHIN 10 WORKING DAYS ON THE PORTION OF THE SITE UPON WHICH FURTHER ACTIVE CONSTRUCTION WILL NOT BE UNDERTAKEN WITHIN 90 DAYS.
- TO COMPLY WITH NPDES REQUIREMENTS, EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS; INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO FDOT.
- IF APPLICABLE, TREE PROTECTION BARRICADES SHALL BE INSTALLED PRIOR TO ANY SITE DISTURBANCE AND EARTH MOVING IMPACTS (I.e. ROOT RAKING, TRENCHING, GRADING, ETC.) SHOULD TAKE PLACE OUTSIDE OF THE PROTECTION BARRICADE.
- IF APPLICABLE, PROTECTED TREES SHALL REMAIN ONSITE AND ANY PROPOSED LAND CLEARING/"LAND DISTURBING ACTIVITIES", INCLUDING THE PLACEMENT OF FILL/FILL MATERIALS, GRADING, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PERMIT(S) ARE ISSUED FOR SUCH SITE WORK.
- THE LAND SHALL REMAIN VEGETATED (TREES INCLUDED, NO FILL MATERIALS PLACED ONSITE, GRADING, EXCAVATING, ETC.) UNTIL SUCH TIME AS PLAN APPROVAL &/OR PROPER PERMITTING ALLOWS FOR SUCH PER CODE. ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, "LAND DISTURBING ACTIVITIES", ETC. SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION.

TREE PROTECTION NOTE:

THERE ARE NO PROTECTED TREES LOCATED ON THE PROJECT SITE AND NO PROTECTED TREES ARE TO BE REMOVED AS PART OF THIS PROJECT

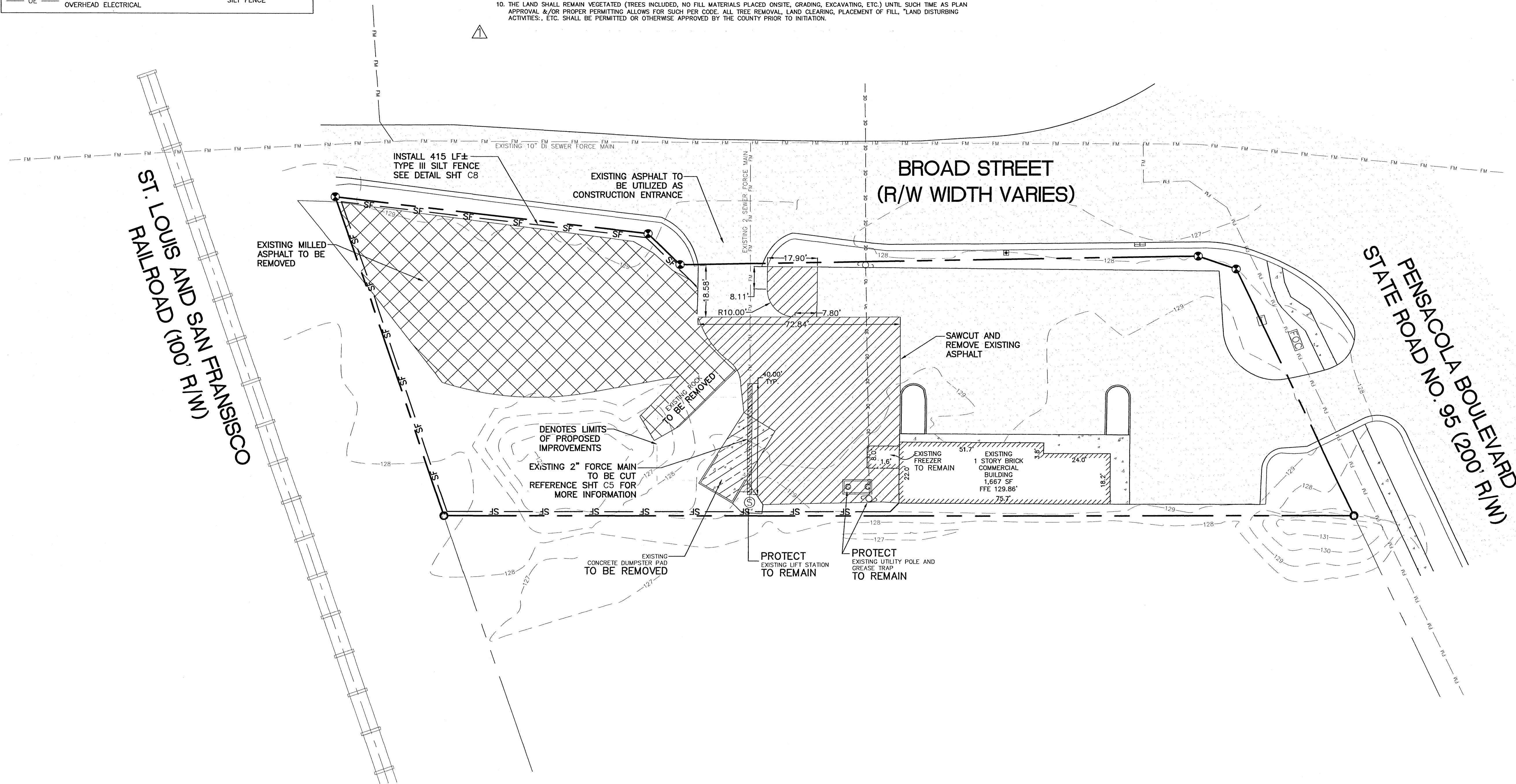
FDOT NOTE:

THE CONTRACTOR SHALL NOTIFY FDOT 2 BUSINESS DAYS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHT-OF-WAY



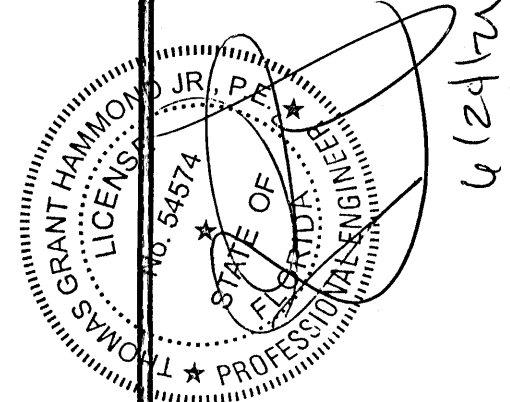
Know what's below  
Call before you dig

CONTRACTOR TO NOTIFY SUNSHINE 811 A MINIMUM 2 BUSINESS DAYS IN ADVANCE PRIOR TO DIGGING WITHIN THE RIGHT OF WAY; 1-800-432-4770



NO.	DATE	REVISIONS
1	06/23/2021	REVISED PLANS AS PER ESCAMBIA COUNTY DRG REVIEW COMMENTS

HAMMOND ENGINEERING, INC.  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH "S" STREET  
PENSACOLA, FLORIDA 32505  
850 434-2603  
FAX 850-434-2650  
TOM@SELANDDESIGN.COM



SITE DEVELOPMENT  
PLANS FOR  
BROAD STREET  
COMMERCIAL BUILDING  
DEMOLITION & EROSION  
CONTROL PLAN  
ESCAMBIA COUNTY FLORIDA

DRAWN BY: CJB	DESIGNED BY: RLB
CHECKED BY: TGH	DATE: 05-20-21
SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION
BY:	DATE:

PROJECT NO: 20-089  
SHEET: C3



GRAPHIC SCALE  
22"x34" SCALE 1 inch = 20 ft.  
11"x17" SCALE 1 inch = 40 ft.

LEGEND:

	DENOTES EXISTING ASPHALT		DENOTES EXISTING GRINDER STATION
	DENOTES EXISTING CONCRETE		DENOTES EXISTING GREASE TRAP
	DENOTES PROPOSED ASPHALT		DENOTES EXISTING TRAFFIC CONTROL BOX
	DENOTES PROPOSED CONCRETE		DENOTES EXISTING UTILITY POLE
	DENOTES EXISTING OVERHEAD ELECTRICAL		DENOTES EXISTING OVERHEAD SIGN
	DENOTES QUANTITY OF PARKING STALLS PER ROW		DENOTES EXISTING STORMWATER INLET
	DENOTES PROPOSED DUAL SPOT ELEVATION		DENOTES BENCHMARK LOCATION
	TOP # = TOP OF CURB/SIDEWALK BOTTOM # = ASPHALT/CONC. ELEV.		MATCH EXISTING GRADE
			DENOTES EXISTING SPOT ELEVATION
			DENOTES PROPOSED SPOT ELEVATION

EXISTING SITE AREA: 31,271 SF = 0.72 ACRES					
IMPERVIOUS and PERVIOUS AREA					
BUILDINGS	1,667 SF	0 SF	2,100 SF	3,767 SF	+2,100 SF
ASPHALT/CONCRETE	14,471 SF	4,415 SF	2,753 SF	12,809 SF	(-1,662 SF)
MILLED ASPHALT AREA	6,380 SF	6,380 SF	0 SF	0 SF	(-6,380 SF)
TOTAL IMPERVIOUS AREA	22,518 SF	10,795 SF	4,853 SF	16,576 SF	(-5,942 SF)
ROCK AREA	477 SF	477 SF	0 SF	0 SF	(-477 SF)
LANDSCAPE AREA	8,276 SF	4,853 SF	11,272 SF	14,695 SF	+6,419 SF
PERCENTAGE OF LANDSCAPE	26%			47%	+21%
PARKING DATA					
NON-HANDICAPPED SPACES	26	1	0	25	-1
HANDICAPPED SPACES	2	0	1	3	+1

SITE DATA:  
7999 PENSACOLA BOULEVARD  
PARCEL ZONING: HC/LI  
FLU: MU-U

BUILDING SETBACKS REQUIRED (HC/LI ZONED PARCEL):  
FRONT SETBACK =15'  
REAR SETBACK =15'  
SIDE SETBACK =10'

MAXIMUM IMPERVIOUS SURFACE: 85%  
MAXIMUM BUILDING HEIGHT: 150'  
MAXIMUM FLOOR AREA RATIO: 2.0 (MU-U)

PROPOSED FLOOR AREA RATIO:  
TOTAL GROSS FLOOR AREA = 3,767 SF  
GROSS LOT AREA = 31,271 SF  
FLOOR AREA RATIO = 3,767 SF/31,271 SF = 0.12

FIRE SAFETY NOTES

- FIRE DEPT. ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 20'
- FIRE DEPT. ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED VERTICAL CLEARANCE OF 13'-6"
- THE REQUIRED WIDTH OF A FIRE DEPT. ACCESS ROAD SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING BY THE PARKING OF VEHICLES.
- FIRE DEPARTMENT ACCESS ROAD SHALL EXTEND TO WITHIN 50 FT (150 FT IF THE BUILDING IS PROTECTED BY A FIRE SPRINKLER SYSTEM) OF AT LEAST ONE EXTERIOR DOOR THAT CAN BE OPENED FROM THE OUTSIDE AND THAT PROVIDES ACCESS TO THE INTERIOR OF THE BUILDING.
- FIRE DEPARTMENT ACCESS ROADS SHALL BE PROVIDED SUCH THAT ANY PORTION OF THE FACILITY OR ANY PORTION OF AN EXTERIOR WALL OF THE FIRST STORY OF THE BUILDING IS LOCATED NOT MORE THAN 150 FT (450 FT IF THE BUILDING IS PROTECTED BY A FIRE SPRINKLER SYSTEM) FROM FIRE DEPARTMENT ACCESS ROADS AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- FIRE DEPARTMENT ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE PROVIDED WITH AN ALL-WEATHER DRIVING SURFACE. MINIMUM OF 40 TONS

PARKING CALCULATIONS:  
EXISTING 1,574 SF BARBER SHOP

AS PER 3-1.2 ESCAMBIA COUNTY DESIGN STANDARDS MANUAL:  
2 PARKING STALLS PER CHAIR REQUIRED  
7 CHAIRS PROVIDED \* 2 = 14 STALLS REQUIRED

PROPOSED 2,100 SF RETAIL BUILDING

AS PER 3-1.2 ESCAMBIA COUNTY DESIGN STANDARDS MANUAL:  
3 PARKING STALLS 1,000 SF REQUIRED  
(2,100/1,000)\*3 ~ 7 STALLS REQUIRED

21 TOTAL PARKING STALLS REQUIRED

25 REGULAR STALLS EXISTING  
2 HANDICAP STALLS EXISTING  
1 HANDICAP STALL PROPOSED  
28 TOTAL STALLS PROPOSED

NOTE: HANDICAP PARKING SIGNS SHALL CONFORM TO FDOT ROADWAY AND TRAFFIC DESIGN STANDARD INDEX NUMBER 17355, SHEET 2 OF 11, FTP-20-06, FTP-21-06, FTP-22-06

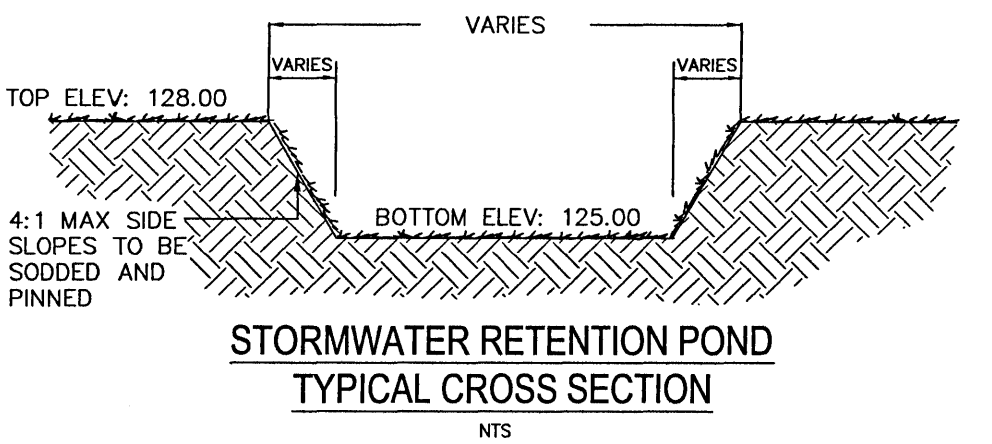
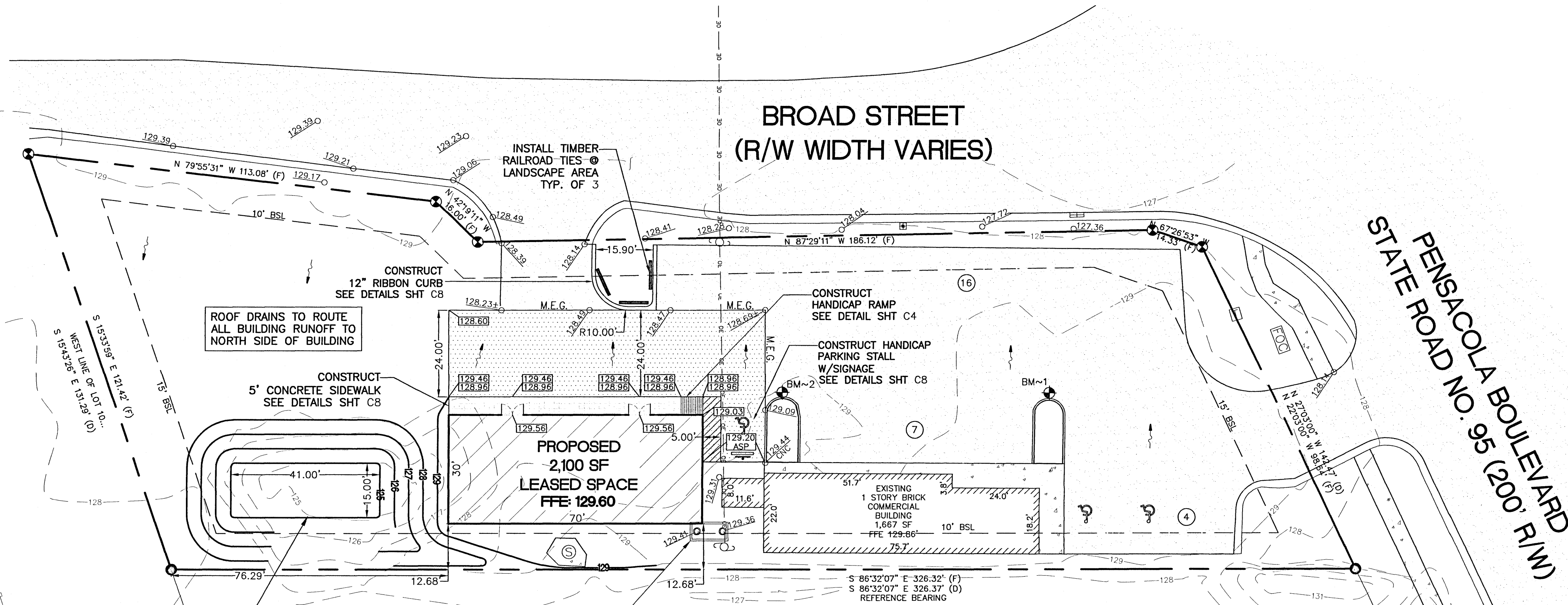
SOLID WASTE NOTE:  
SOLID WASTE TO BE DISPOSED OF VIA 55 GAL. TRASH CAN AND PRIVATE HAULER

FDOT NOTE:  
THE CONTRACTOR SHALL NOTIFY FDOT 2 BUSINESS DAYS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHT-OF-WAY

PROTECTED TREE NOTE:  
1. IF APPLICABLE, PROTECTED TREES SHALL REMAIN ON-SITE AND ANY PROPOSED LAND CLEARING/LAND DISTURBING ACTIVITIES, INCLUDING THE PLACEMENT OF FILL/FILL MATERIALS, GRADING, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PERMIT(S) ARE ISSUED FOR SUCH SITE WORK.

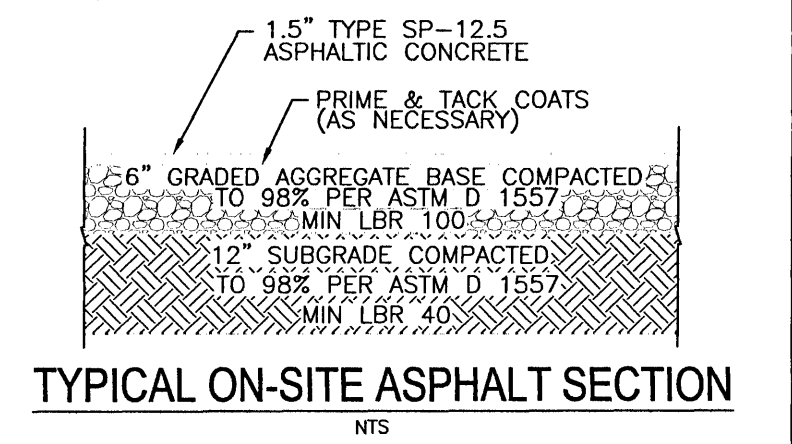
PARKING STALL NOTES:  
• ALL HANDICAP PARKING STALLS ARE TO MEASURE 12' x 18' WITH AN ADJACENT 5' WIDE AISLE  
• ALL STANDARD PARKING STALLS ARE TO MEASURE 9' x 18'  
• ALL PARKING STALLS ARE TO BE DEMARCATED WITH 4" SOLID WHITE LINES UNLESS OTHERWISE NOTED

ST. LOUIS AND SAN FRANCISCO (100' R/W)



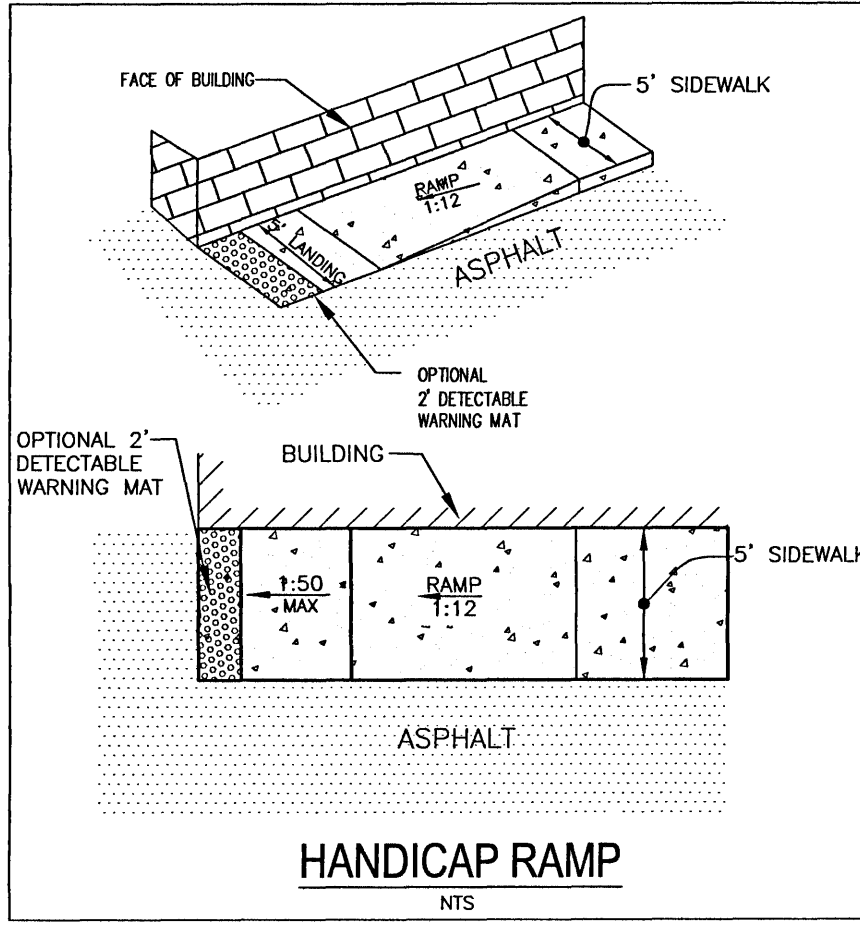
DETENTION BASIN CONSTRUCTION

- INITIALLY INSTALL ALL EROSION AND SEDIMENT CONTROL BMP'S AS ILLUSTRATED ON THE EROSION CONTROL PLAN PROVIDED AS PART OF THESE PLANS (SHEET C3)
- CONSTRUCT THE DETENTION BASIN TO ROUGH GRADE BY UNDER-EXCAVATING THE BASIN BOTTOM AND SIDES BY ABOUT 6 INCHES.
- AFTER THE DRAINAGE AREA CONTRIBUTING TO THE BASIN HAS BEEN FULLY STABILIZED, THE INTERIOR SIDE SLOPES AND BASIN BOTTOM SHALL BE EXCAVATED TO FINAL DESIGN SPECIFICATIONS. THE EXCESS SOIL AND UNDESIRABLE MATERIAL MUST BE CAREFULLY EXCAVATED AND REMOVED FROM THE POND SO THAT ALL ACCUMULATED SILTS, CLAYS, ORGANICS, AND OTHER FINE SEDIMENT MATERIAL HAS BEEN REMOVED FROM THE POND AREA. THE EXCAVATED MATERIAL SHALL BE DISPOSED OF BEYOND THE LIMITS OF THE DRAINAGE AREA OF THE BASIN.
- ONCE THE BASIN HAS BEEN EXCAVATED TO FINAL GRADE, THE ENTIRE BASIN BOTTOM MUST BE DEEP RAKED AND LOOSENEED FOR OPTIMAL FILTRATION.
- FINALLY, THE ENTIRE BANK SLOPE AND POND BOTTOM SHALL BE PERMANENTLY STABILIZED IN A MANNER THAT GUARANTEES HEALTHY GROWTH OF GRASS (FREE FROM NOXIOUS WEEDS) SUCH AS PANGOLA, ARGENTINE BAHIA, BERMUDA, CENTIPEDE OR OTHER SUITABLE GRASS.



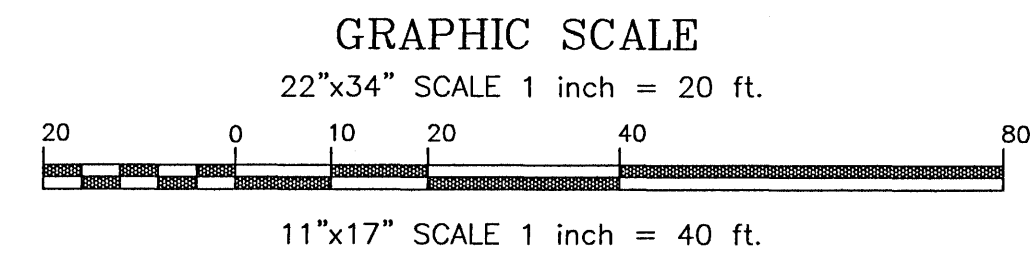
NOTE:  
CONTRACTOR MUST PROVIDE ENGINEER OF RECORD WITH BASE AND SUBGRADE COMPACTION TESTING RESULTS PRIOR TO CONSTRUCTING ANY ASPHALT SURFACE. CONTRACTOR MUST PROVIDE ENGINEER OF RECORD WITH ASPHALT CORE TESTING RESULTS PRIOR TO FINAL "AS-BUILT" APPROVAL AND SUBMITTAL TO A.H.J. CONTRACTOR TO COORDINATE WITH E.O.R. TO DETERMINE TEST LOCATIONS.

22-15-30-1101-003-010  
MOON LLOYD C TRUSTEE  
FOR MOON LLOYD C TRUST  
1540 W NINE ONE HALF MILE ROAD  
CANTONMENT, FL 32533  
ZONING: HC/LI  
FLU: MU-U  
USE: REPAIR SERVICE



HAMMOND ENGINEERING, INC. FLORIDA AUTHORIZATION NO. 9130 ALABAMA AUTHORIZATION NO. 3277 3802 NORTH "S" STREET PENSACOLA, FLORIDA 32505 850 434-2603 FAX 850-434-2650 TOM@SELANDESIGN.COM		SITE DEVELOPMENT PLANS FOR BROAD STREET COMMERCIAL BUILDING SITE & GRADING PLAN FLORIDA	
DRAWN BY: GJS	DESIGNED BY: RLS	CHECKED BY: TGH	DATE: 05-20-21
SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION	BY:	DATE:
PROJECT NO: 20-089		SHEET: C4	





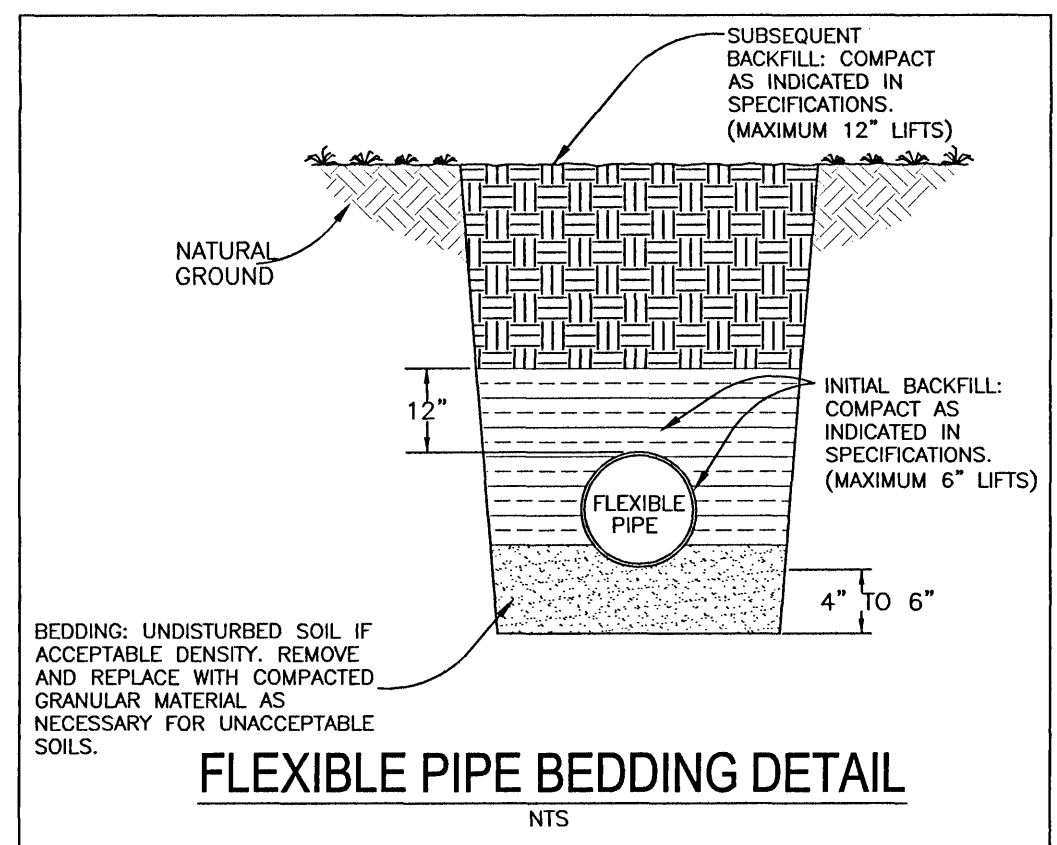
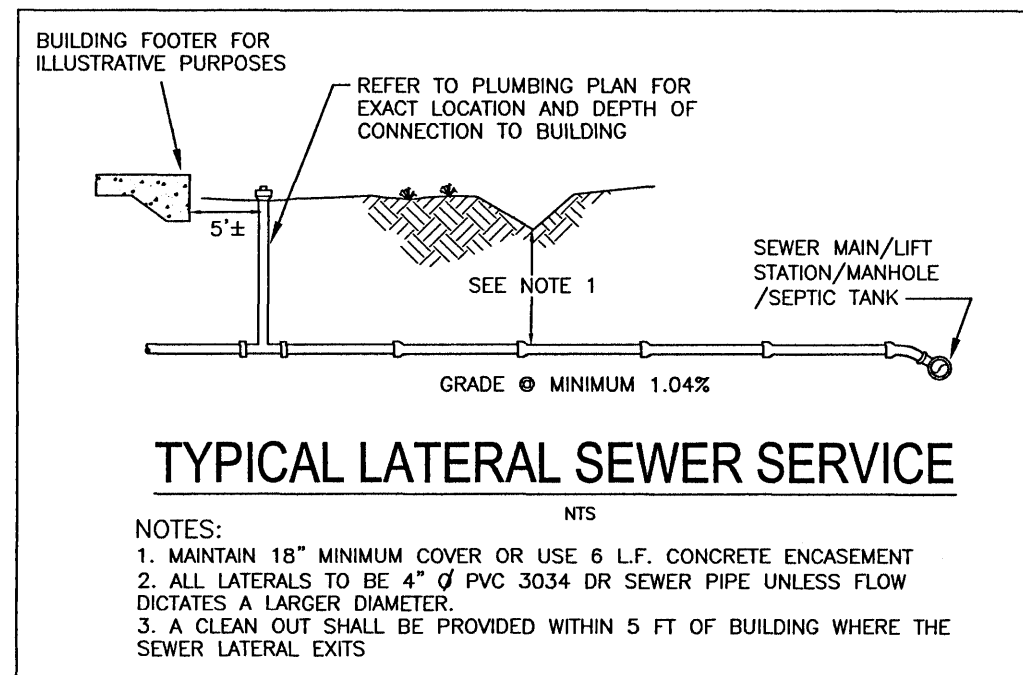
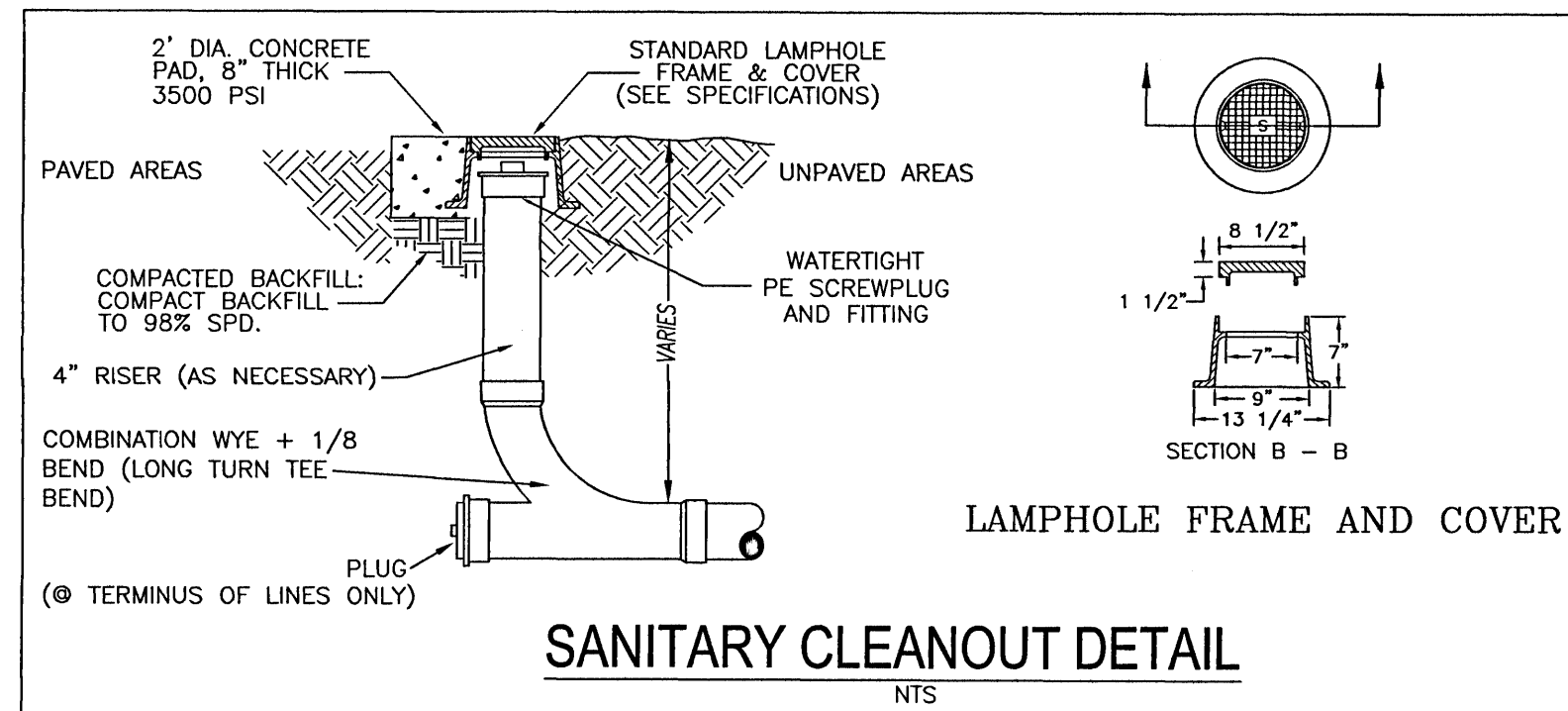
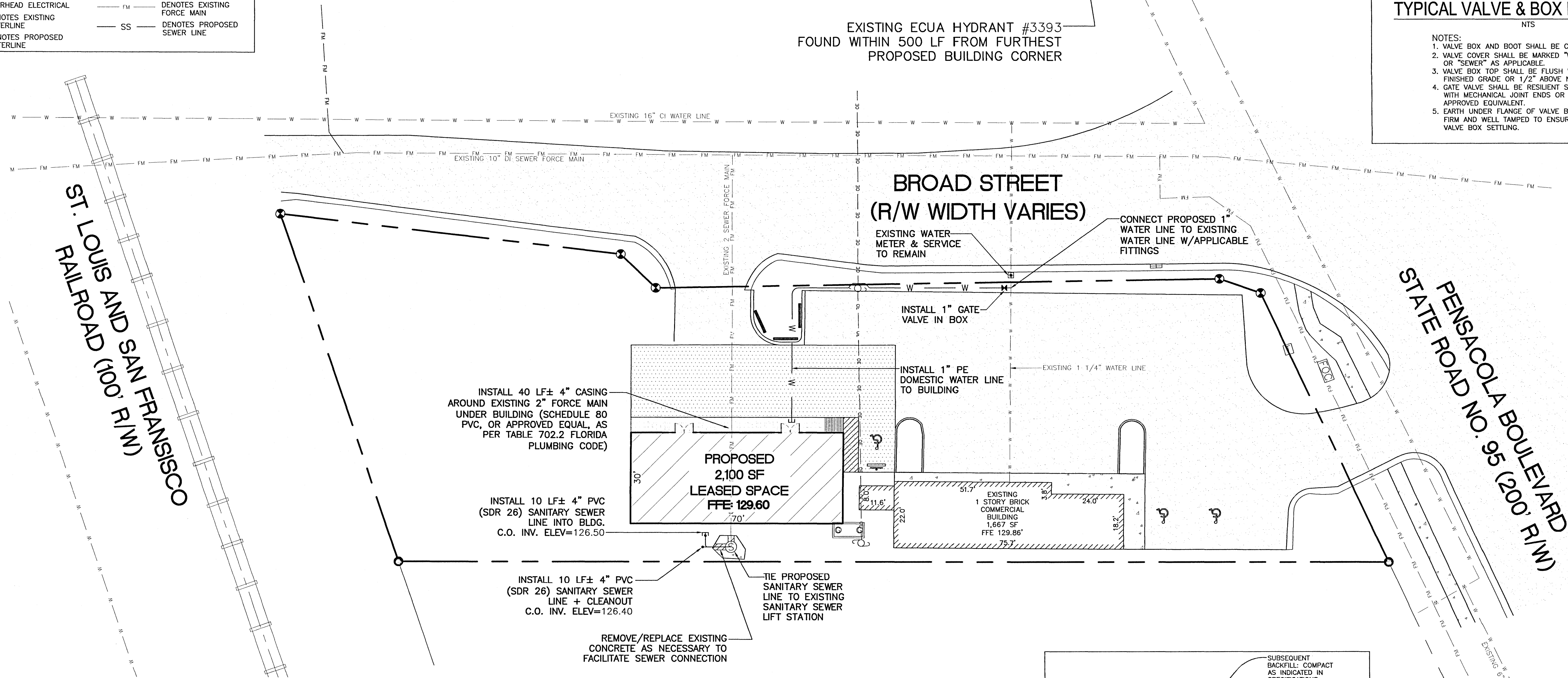
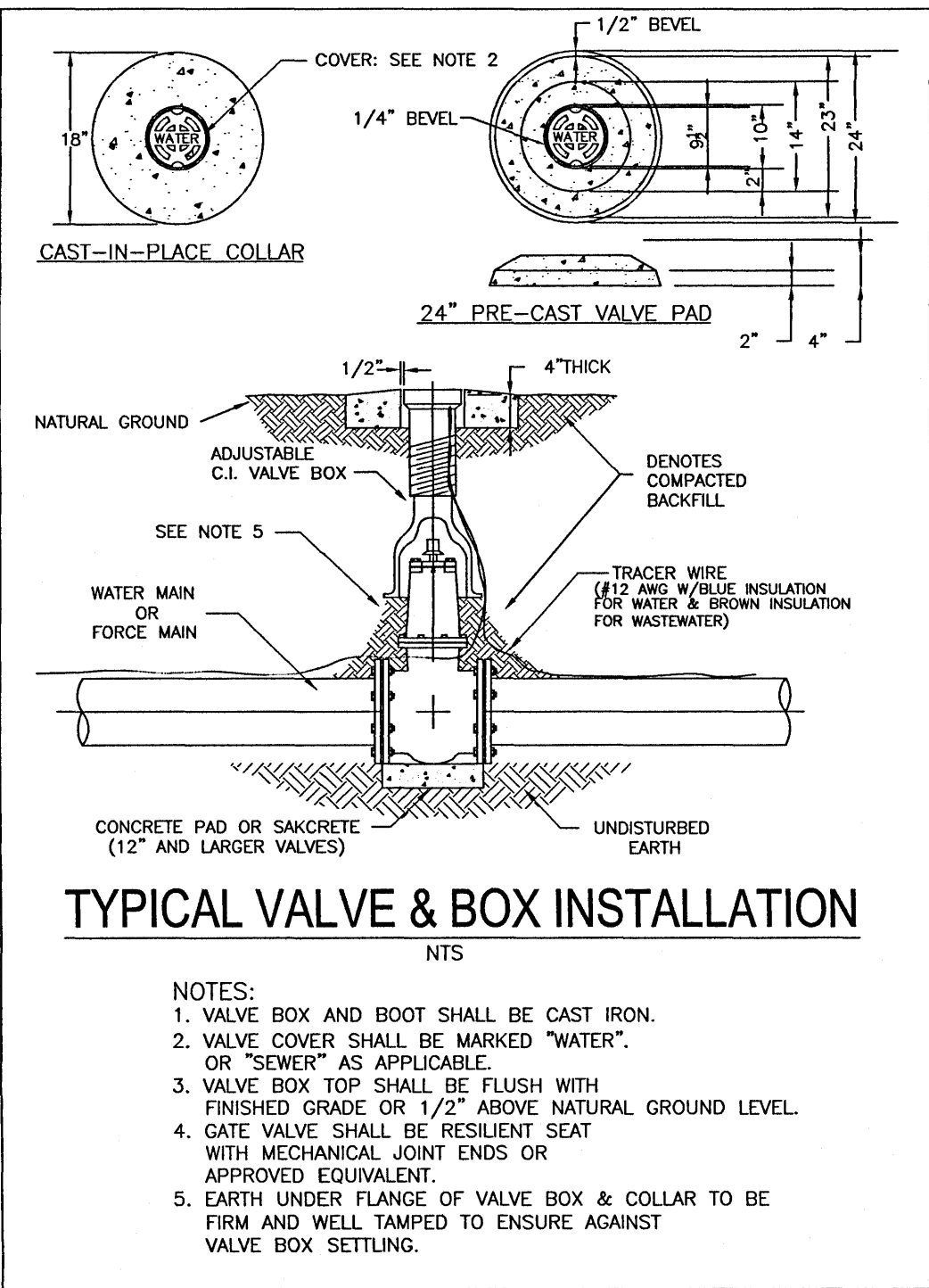
LEGEND:

DENOTES EXISTING ASPHALT	DENOTES EXISTING WATER METER
DENOTES EXISTING CONCRETE	DENOTES EXISTING GRINDER STATION
DENOTES PROPOSED ASPHALT	DENOTES EXISTING GREASE TRAP
DENOTES PROPOSED CONCRETE	DENOTES EXISTING TRAFFIC CONTROL BOX
DENOTES EXISTING CONCRETE TO BE REMOVED/REPLACED AS NECESSARY TO FACILITATE UTILITY INSTALLATION	DENOTES EXISTING UTILITY POLE
OE DENOTES EXISTING OVERHEAD ELECTRICAL	FOC DENOTES EXISTING OVERHEAD SIGN
W DENOTES EXISTING WATERLINE	FM DENOTES EXISTING FORCE MAIN
W DENOTES PROPOSED WATERLINE	SS DENOTES PROPOSED SEWER LINE

GENERAL UTILITY NOTES:

1. All potable water and sanitary sewer work shall be done in accordance with ECUA's engineering manual.
2. Contractor shall notify ECUA, F.D.O.T. and the County Engineer 48 hours prior to the commencement of this project.
3. Contractor shall make sewer service connections and potable water connections with an ECUA inspector present.
4. All work shall comply with applicable standards and codes established by ECUA and the Florida Department of Environmental Protection and written specifications.
5. Contractor shall notify Sunshine One Utilities two business days in advance prior to digging within R/W; 1-800-432-4770.
6. The Contractor shall notify the superintendents of the water, gas, sewer, telephone and power companies 10 days in advance, that he intends to start work in a specific area. The Owner disclaims any responsibility for the support and protection of sewers, drains, water pipes, gas pipes, conduits of any kind, utilities or other structures owned by the City, County, State or by private or public utilities legally occupying any street, alley, public place or right-of-way.
7. Florida State Statute 553.85 requires that all excavators notify gas companies of their intention to perform any excavation at least two business days (excluding Sat., Sun. & holidays) prior to beginning work.
8. Locations of existing utilities shown on plans are approximate only and it shall be the responsibility of the Contractor to verify the location and sizes before construction. Failure of the plans to show the existence of any underground utilities, structures, etc., shall not relieve the Contractor from the responsibility of locating, preserving and protecting said utility or structures.
9. Property obstructions which are to remain in place, such as buildings, sewer, storm drains, water or gas pipes, electrical conduits, poles, walls, posts, etc., are to be carefully protected and are not to be displaced, unless noted.
10. Relocation of the obstructions owned by private property Owner, such as mailboxes, shall be the responsibility of the Contractor who must coordinate with the property Owner.
11. Control of sedimentation and erosion shall be the Contractor's responsibility.
12. Contractor shall dispose of by hauling away all excess material.
13. The Utility Contractor shall make connections to the sanitary sewer as shown and shall verify locations and elevations of all utility lines prior to beginning work. The Utility Contractor shall include the cost of protection and/or relocation of other utilities in his bid and shall coordinate his work with other utility sub-contractors to prevent conflicts with other utility lines.
14. Contractor shall be responsible for and comply with any testing required by the local governing agency in addition to the testing requirements outlined in the specifications.
15. Proposed water line shall have a minimum cover of 30" and a maximum cover of 36" below finished grade unless otherwise noted.
16. "As-built" drawings showing all service lines, laterals, mains and valve locations measured from permanent reference points shall be furnished to the Engineer prior to acceptance.
17. Grading around trees which are to remain shall be away from the tree in a manner to cause no damage to the tree.
18. Contractor shall be responsible for the seeding and mulching and/or sodding of street and road shoulder areas in accordance with FDOT and applicable county requirements and standards.
19. Water supply facilities, including mains, shall be installed, cleaned, disinfected and bacteriologically cleared for service in accordance with the latest applicable AWWA Standards and coordinated with the designated ECUA Inspector and Quality Control Supervisor.
20. All onsite water and sewer facilities shall be privately owned, operated and maintained.
21. Contractor is responsible for adjustment of existing utilities if proposed improvements impact existing utilities.
22. All work to take place within the right of way or to be owned and maintained by ECUA post-construction shall be performed by a certified underground utility contractor.
23. Contractor must locate existing water main, sanitary sewer line and gas line to be tied into and verify configuration to establish the best location for connection.
24. Contractor shall obtain an Escambia County right of way permit prior to working within the county R/W.
25. Contractor to video/document all right of way areas to be impacted prior to construction.
26. Reference utility details provided on sheet C5.
27. Contractor to coordinate power supply to building with Gulf Power...850-429-2861
28. Contractor to coordinate proposed natural gas service with Energy Services of Pensacola...850-983-5434.

FDOT NOTE:  
THE CONTRACTOR SHALL NOTIFY FDOT 2 BUSINESS DAYS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHT-OF-WAY



REVISIONS

NO.	DATE	REVISION
1	05/23/2021	REVISED PLANS AS PER ESCAMBIA COUNTY DRG REVIEW COMMENTS

DATE: 05/23/2021

NO. 1

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DATE: 12/12/21

BY: [Signature]

PROJECT NO: 20-089

SHEET: C5

SITE DEVELOPMENT PLANS FOR BROAD STREET COMMERCIAL BUILDING

UTILITY PLAN

ESCAMBIA COUNTY FLORIDA

DRAWN BY: GJB

DESIGNED BY: RLS

CHECKED BY: TGH

DATE: 05-20-21

SCALE: AS SHOWN

NOT RELEASED FOR CONSTRUCTION

BY: [Signature]

DATE:

HAMMOND ENGINEERING, INC.  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH "S" STREET  
PENSACOLA, FLORIDA 32505  
850 434-2603  
FAX 850-434-2650  
TOM@SELANDDESIGN.COM



GRAPHIC SCALE  
22"x34" SCALE 1 inch = 20 ft.  
11"x17" SCALE 1 inch = 40 ft.

LEGEND:

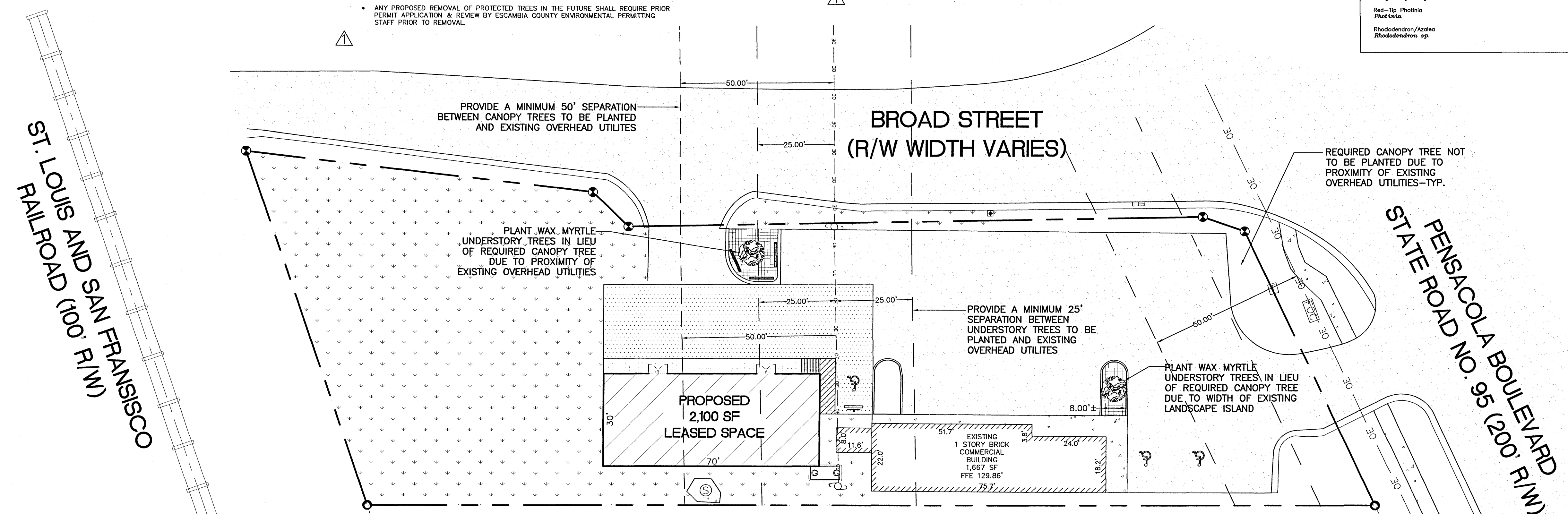
	DENOTES EXISTING ASPHALT		DENOTES EXISTING OVERHEAD ELECTRICAL
	DENOTES EXISTING CONCRETE		DENOTES EXISTING GRINDER STATION
	DENOTES PROPOSED ASPHALT		DENOTES EXISTING TRAFFIC CONTROL BOX
	DENOTES PROPOSED CONCRETE		DENOTES EXISTING UTILITY POLE
	DENOTES PROPOSED SOD (BAHAI RECOMMENDED)		DENOTES EXISTING OVERHEAD SIGN
	DENOTES PROPOSED CYPRESS MULCH W/UNDERLYING WEED FABRIC		DENOTES EXISTING STORMWATER INLET
			DENOTES WAX MYRTLE UNDERSTORY TREE TO BE PLANTED (OR APPROVED EQUAL) TYP. OF 2

- ESCAMBIA COUNTY LANDSCAPING REQUIREMENTS:
- 15 PERCENT OF THE TOTAL DEVELOPABLE SITE SHALL BE DEVOTED TO LANDSCAPING/GREEN SPACE.
  - QUALITY. ALL PLANTS REQUIRED BY THIS SECTION SHALL CONFORM TO THE STANDARDS FOR FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
  - SPECIES. ALL LANDSCAPING SHALL UTILIZE NATIVE PLANT SPECIES OR THOSE SPECIES LISTED IN THE FLORIDA-FRIENDLY LANDSCAPING GUIDE TO PLANT SELECTION AND LANDSCAPE DESIGN.
  - TREES. TREES PLANTED TO FULFILL THE MINIMUM LANDSCAPE REQUIREMENTS OF THIS ARTICLE SHALL NORMALLY ATTAIN A MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES OR GREATER MEASURED AT FOUR INCHES ABOVE ROOT BALL AT PLANTING. THE FOLLOWING ADDITIONAL CRITERIA APPLY:
    - 1. NON-NATIVE SPECIES. NON-NATIVE SPECIES ARE LIMITED TO 25 PERCENT OR LESS OF THE TOTAL REQUIRED TREES PLANTED.
    - 2. DIVERSITY. THE DIVERSITY OF ANY TREES REQUIRED TO BE PLANTED ON A SITE SHALL COMPLY WITH THE FOLLOWING LIMITS TO AVOID UNIFORM SITE TREE DECLINE FROM PESTS OR DISEASE:
      - A MAXIMUM OF 67% OF THE TOTAL TREES TO BE PLANTED MAY BE OF THE SAME SPECIES.
    - 3. USE OF PALMS. PALMS DO NOT COMPLY WITH DEFINITION OF TREE FOR THE PURPOSES OF THESE LANDSCAPING PROVISIONS. HOWEVER, WIND-RESISTANT SPECIES MAY BE SUBSTITUTED AT THE RATIO OF TWO PALMS FOR ONE REQUIRED TREE FOR UP TO 50 PERCENT OF TREES REQUIRED FOR DEVELOPMENT ON SANTA ROSA ISLAND OR PERIODIC KEY, EXCLUDING ANY TREES REQUIRED SPECIFICALLY FOR BUFFERING OR REPLACEMENTS FOR PROTECTED TREE REMOVAL. SUCH PALMS INCLUDE: DATE PALM (PHOENIX SPP. EXCEPT P. RECLINATA) AND CABBAGE OR SABAL (SABAL PALMETTO).
    - 4. ALL SHRUBS SHALL BE A MINIMUM OF 12 INCHES IN HEIGHT AT TIME OF PLANTING.
    - 5. TURF GRASS. CONSISTENT WITH FLORIDA-FRIENDLY PRACTICES, DEVELOPMENT SHOULD CONSOLIDATE AND LIMIT THE USE OF MOST TURF GRASSES TO ESSENTIAL AREAS. WHEN USED, GRASS SHALL BE SPECIES NORMALLY GROWN AS PERMANENT LAWNS IN ESCAMBIA COUNTY. ALL SOIL SHALL BE CLEAN AND REASONABLY FREE OF WEEDS, NOXIOUS PESTS, AND DISEASES. WHEN GRASS AREAS ARE TO BE SEED, SPRIGGED, OR PLUGGED, SPECIFICATIONS MUST BE SUBMITTED. SUBSTANTIAL COVERAGE MUST BE ACHIEVED WITHIN 180 DAYS AND NURSE GRASS SHALL BE SOWN FOR IMMEDIATE EFFECTS AND PROTECTION UNTIL COVERAGE IS OTHERWISE ACHIEVED.
    - 6. ALL PLANTS SHALL CONFORM TO THE STANDARDS OF FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF "GRADES AND STANDARDS OF NURSERY PLANTS", DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
    - 7. ANY PROPOSED REMOVAL OF PROTECTED TREES IN THE FUTURE SHALL REQUIRE PRIOR PERMIT APPLICATION & REVIEW BY ESCAMBIA COUNTY ENVIRONMENTAL PERMITTING STAFF PRIOR TO REMOVAL.

- LANDSCAPING NOTES:
- THE CONTRACTOR IS TO BE AWARE OF UNDERGROUND UTILITIES THROUGHOUT LANDSCAPED AREAS THAT MAY NOT BE ILLUSTRATED ON THIS PLAN. CONTRACTOR SHALL VERIFY LOCATION AND PROTECT ALL UTILITIES DURING EXCAVATION AND/OR FINISH GRADING ACTIVITIES.
  - THE CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGE TO EXISTING UTILITIES, WALKWAYS, PAVING OR OTHER ELEMENTS IN PLACE AT THE COMMENCEMENT OF HIS WORK, AT NO ADDITIONAL COST TO THE OWNER.
  - ANY ADJUSTMENT TO THIS PLAN DUE TO EXISTING CONDITIONS NOT REFLECTED ON THIS PLAN WILL BE RESOLVED AT THE TIME OF INSTALLATION.
  - FINISH GRADES FOR ALL PLANTING, SOD AND SEED AREAS SHALL BE ESTABLISHED AND APPROVED BY THE OWNER/DEVELOPER PRIOR TO PLANTING, SODDING OR SEEDING.
  - ALL TRASH AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE PRIOR TO ESTABLISHMENT OF FINISH GRADES.
  - ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTED HORTICULTURE PRACTICES. THIS SHALL INCLUDE PROPER PLANTING SOIL MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING, FERTILIZATION AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY OWNER/DEVELOPER.
  - ALL PLANT MATERIALS USED SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1 OR BETTER AS GIVEN IN "GRADES AND STANDARDS FOR NURSERY PLANTS", CURRENT EDITION, STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRY, TALLAHASSEE, FLORIDA. IN ADDITION, ALL PLANT MATERIAL SHALL BE FREE FROM INSECT AND DISEASE.
  - PLANT CONTAINERS SHALL BE REMOVED PRIOR TO PLANTING. IF PLANTS ARE NOT CONTAINER GROWN, REMOVE A MINIMUM OF THE TOP 1/3 OF BURLAP, FABRIC OR WIRE MESH.
  - ROOT BALLS SHALL BE FLUSH WITH FINISHED GRADE.
  - BACKFILL SHALL BE LOOSEENED EXISTING SOIL. REMOVE ROCKS, STICKS OR OTHER DELETERIOUS MATERIAL GREATER THAN 1" IN ANY DIRECTION PRIOR TO BACKFILLING. WATER AND TAMP TO REMOVE AIR POCKETS. IF EXISTING SOILS CONTAIN EXCESSIVE SAND, CLAY OR OTHER EXTRANEOUS MATERIAL, NOT CONDUCE TO PROPER PLANT GROWTH CONTACT LANDSCAPE ARCHITECT PRIOR TO PLANTING.
  - SOIL RINGS SHALL BE CONSTRUCTED OF EXISTING SOIL AT THE OUTER EDGE OF THE TREE PLANTING PIT WITH A HEIGHT AND WIDTH OF 4".
  - STRAPPING SHALL BE MINIMUM 1" WIDE NYLON OR POLYPROPYLENE. GUYING MATERIAL IN CONTACT WITH TREE SHALL BE SOFT, PLIABLE, FLEXIBLE RUBBER.
  - SABAL PALMS (IF PLANTED) MAY BE HURRICANE CUT. ALL OTHERS MUST HAVE FRONDS TIED WITH BIODEGRADABLE STRAP. TRUNKS SHALL HAVE NO SCARS OR SANDING.
  - ALL GREEN AREAS FOUND WITHIN THE PROJECT BOUNDARIES ARE TO BE FULLY STABILIZED PRIOR TO REQUESTING FINAL INSPECTION. AREAS NOT ILLUSTRATED AS SODDED OR CONTAINING CYPRESS MULCH MUST BE SEED.

List of Recommended Native and Non-Invasive Plants

Shrubs (mature height 36" min.)	Understory Trees (mature height 15-29 feet)	Canopy Trees (mature height over 30 feet)
<i>Abelia grandiflora</i>	Flowering Dogwood <i>Cornus florida</i>	Red Maple <i>Acer rubrum</i>
<i>Aucuba japonica</i>	Loblolly Bay <i>Gordonia lasianthus</i>	Silver Maple <i>Acer saccharum</i>
<i>Berberis sp.</i>	American Holly <i>Nex opaca</i>	American Hornbeam <i>Carpinus caroliniana</i>
<i>Japanese Boxwood</i> <i>Buxus microphylla</i>	Dahoon Holly <i>Nex castanea</i>	Southern Red Cedar <i>Juniperus sitchiana</i>
<i>Beauty Berry</i> <i>Callicarpa americana</i>	Crape Myrtle <i>Lagerstroemia indica</i>	Leyland Cypress <i>Cupressus leylandii</i>
<i>Cephalanthus harringtonia</i>	Glossy Privet <i>Ligustrum lucidum</i>	River Birch <i>Betula nigra</i>
<i>Silverthorn Elegans</i> <i>Elaeagnus pungens</i>	Saucer Magnolia <i>Magnolia s. soulangeana</i>	Pignut Hickory <i>Carya glabra</i>
<i>Fatsia</i> <i>Fatsia japonica</i>	Sweetbay Magnolia <i>Magnolia virginiana</i>	Green Ash <i>Fraxinus pennsylvanica</i>
<i>Gardenia</i> <i>Gardenia jasminoides</i>	Southern Crab Apple <i>Malus angustifolia</i>	Maidenhair Tree <i>Ginkgo biloba (male)</i>
<i>Barford Holly</i> <i>Nex cornuta</i>	Wax Myrtle <i>Myrica cerifera</i>	Sweetgum <i>Liquidambar styraciflua</i>
<i>Japanese Privet</i> <i>Ligustrum japonicum</i>	Bradford Pear <i>Pyrus calleryana</i>	Tulip Poplar <i>Liriodendron tulipifera</i>
<i>Southern Wax Myrtle</i> <i>Myrica cerifera</i>	Yaupon Holly <i>Nex vomitoria</i>	Southern Magnolia <i>Magnolia grandiflora</i>
<i>Firethorn</i> <i>Pyracantha coccinea</i>	Laquat <i>Eriobotrya japonica</i>	Tupelo/Sour Gum <i>Nyssa sylvatica</i>
<i>Dwarf Japanese Holly</i> <i>Nex crenata</i>	Eastern Redbud <i>Cercis canadensis</i>	Silch Pine <i>Pinus strobus</i>
<i>Chinese Holly</i> <i>Nex cornuta</i>	Fringe Tree <i>Chionanthus virginicus</i>	Longleaf Pine <i>Pinus palustris</i>
<i>Dwarf Yaupon Holly</i> <i>Nex vomitoria 'Nana'</i>	Hawthorn <i>Crataegus spp.</i>	Sycamore <i>Platanus occidentalis</i>
<i>Chinese Juniper</i> <i>Juniperus chinensis</i>	Silverbell <i>Illicium caroliniana</i>	White Oak <i>Quercus alba</i>
<i>Indian Hawthorn</i> <i>Raphiolepis sp.</i>		Live Oak <i>Quercus virginiana</i>
<i>Red-Tip Photinia</i> <i>Photinia</i>		Shumard Oak <i>Quercus shumardii</i>
<i>Rhododendron/Azalea</i> <i>Rhododendron sp.</i>		Southern Red Oak <i>Quercus falcata</i>



REQUIRED LANDSCAPE PLANTING DATA

<b>WEST BOUNDARY LINE:</b> NO BUFFER REQUIRED. PUBLIC RIGHT OF WAY. PROVIDE 5' LANDSCAPING STRIP AS PER CH. 2, ART. 2, SEC. 2-2.2(b) DESIGN STANDARDS MANUAL.	<b>NORTH BOUNDARY LINE:</b> NO BUFFER REQUIRED. BROAD STREET RIGHT OF WAY. PROVIDE 5' LANDSCAPING STRIP AS PER CH. 2, ART. 2, SEC. 2-2.2(b) DESIGN STANDARDS MANUAL.
<b>EAST BOUNDARY LINE:</b> NO BUFFER REQUIRED. PENSACOLA BOULEVARD RIGHT OF WAY. PROVIDE 5' LANDSCAPING STRIP AS PER CH. 2, ART. 2, SEC. 2-2.2(b) DESIGN STANDARDS MANUAL.	<b>SOUTH BOUNDARY LINE:</b> NO BUFFER REQUIRED. ADJACENT PROPERTY IS COMMERCIAL USE. PROVIDE 5' LANDSCAPING STRIP AS PER CH. 2, ART. 2, SEC. 2-2.2(b) DESIGN STANDARDS MANUAL.
<b>REQUIRED MITIGATION:</b> NO PROTECTED TREES TO BE REMOVED AS PART OF THIS PROJECT, NO MITIGATION REQUIRED.	<b>INTERIOR PARKING LOT:</b> PLANT ONE (1) CANOPY TREE AT TERMINUS OF PARKING ROWS AS PER CH. 2, ART. 2, SEC. 2-2.2(c) DESIGN STANDARDS MANUAL. PLANT TWO (2) UNDERSTORY TREE IN LIEU OF DUE TO PROXIMITY OF OVERHEAD UTILITIES

REQUIRED MITIGATION

THERE ARE NO PROTECTED TREES LOCATED ON THE PROJECT SITE AND NO PROTECTED TREES ARE TO BE REMOVED AS PART OF THIS PROJECT, NO MITIGATION REQUIRED

PROTECTED TREE NOTE:

- IF APPLICABLE, PROTECTED TREES SHALL REMAIN ON-SITE AND ANY PROPOSED LAND CLEARING/LAND DISTURBING ACTIVITIES, INCLUDING THE PLACEMENT OF FILL/FILL MATERIALS, GRADING, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PERMIT(S) ARE ISSUED FOR SUCH SITE WORK.

REVISIONS

NO.	DATE	REVISIONS
1	06/23/2021	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

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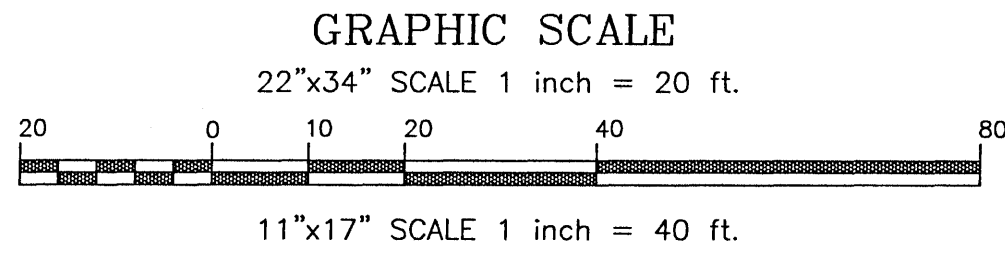
Hammond Engineering, Inc.  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH "S" STREET  
PENSACOLA, FLORIDA 32505  
850 434-2603  
FAX 850-434-2650  
TOM@SELANDESIGN.COM

SITE DEVELOPMENT PLANS FOR BROAD STREET COMMERCIAL BUILDING LANDSCAPING PLAN

ESCAMBIA COUNTY FLORIDA

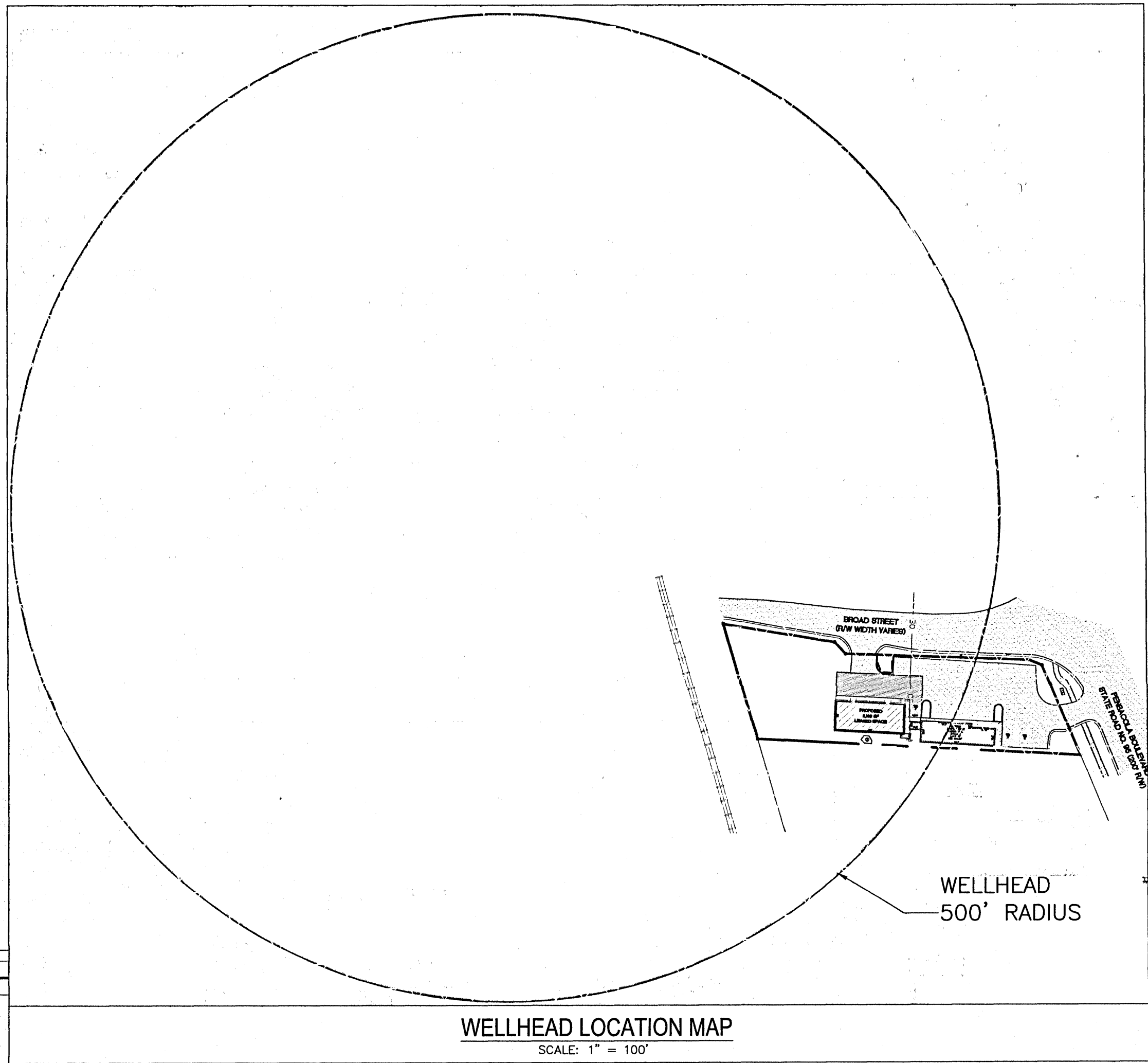
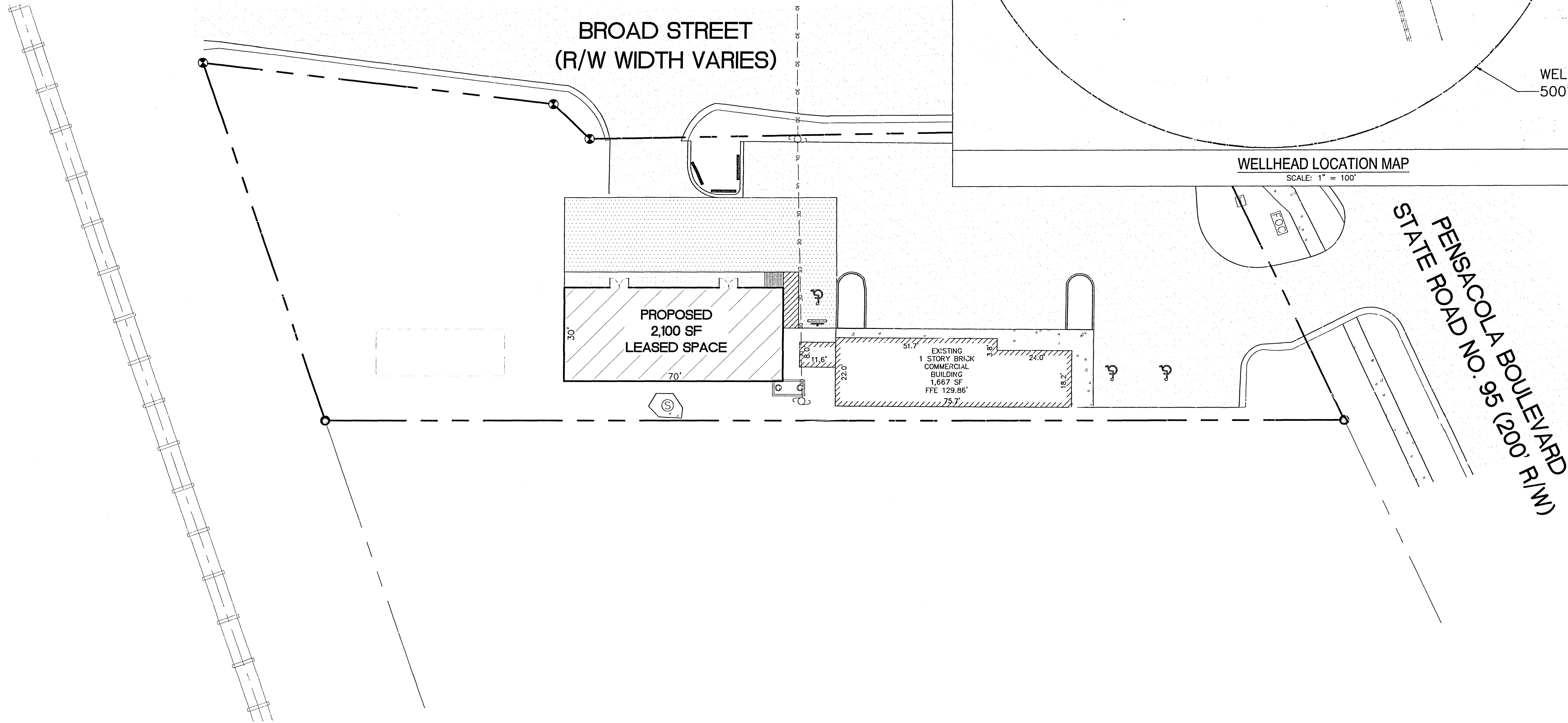
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DESIGNED BY: RLS  
CHECKED BY: TGH  
DATE: 05-20-21  
SCALE: AS SHOWN  
NOT RELEASED FOR CONSTRUCTION  
BY: DATE:

PROJECT NO: 20-089  
SHEET: C6



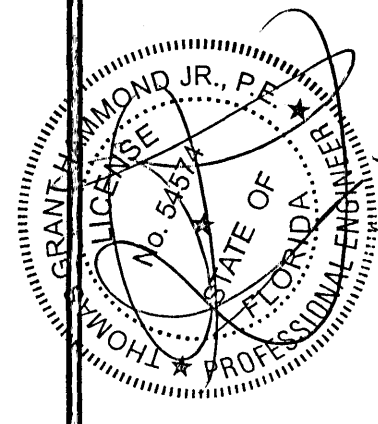
LEGEND:			
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	DENOTES EXISTING CONCRETE		DENOTES EXISTING GREASE TRAP
	DENOTES PROPOSED ASPHALT		DENOTES EXISTING TRAFFIC CONTROL BOX
	DENOTES PROPOSED CONCRETE		DENOTES EXISTING UTILITY POLE
	DENOTES WELLHEAD PROTECTION AREA, 7 YEAR TRAVEL TIME CONTOUR		DENOTES EXISTING OVERHEAD SIGN
	DENOTES EXISTING OVERHEAD ELECTRICAL		DENOTES EXISTING STORMWATER INLET

**WELLHEAD PROTECTION NOTE:**  
THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOUR OF A PROTECTED (POTABLE) WELLHEAD. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ECUA-EMERALD COAST UTILITIES AUTHORITY (850-476-5110 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 595-6712) AGENCIES.



REVISIONS		DATE	NO.	DESCRIPTION
REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS		06/23/2021	1	

HAMMOND ENGINEERING, INC.  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH "S" STREET  
PENSACOLA, FLORIDA 32505  
850 434-2603  
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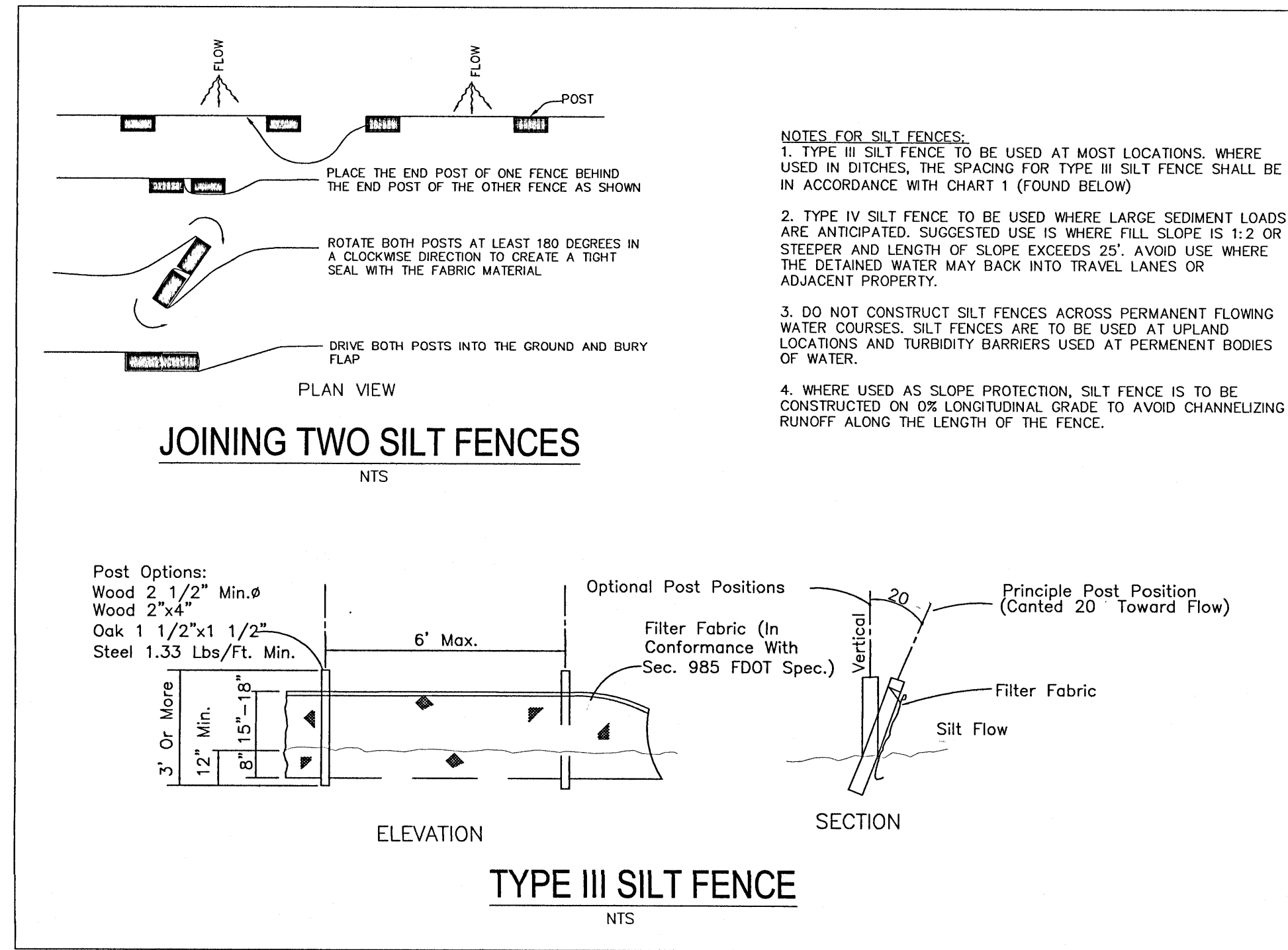


SITE DEVELOPMENT  
PLANS FOR  
BROAD STREET  
COMMERCIAL BUILDING  
ENVIRONMENTAL  
IMPACT PLAN  
ESCAMBIA COUNTY FLORIDA

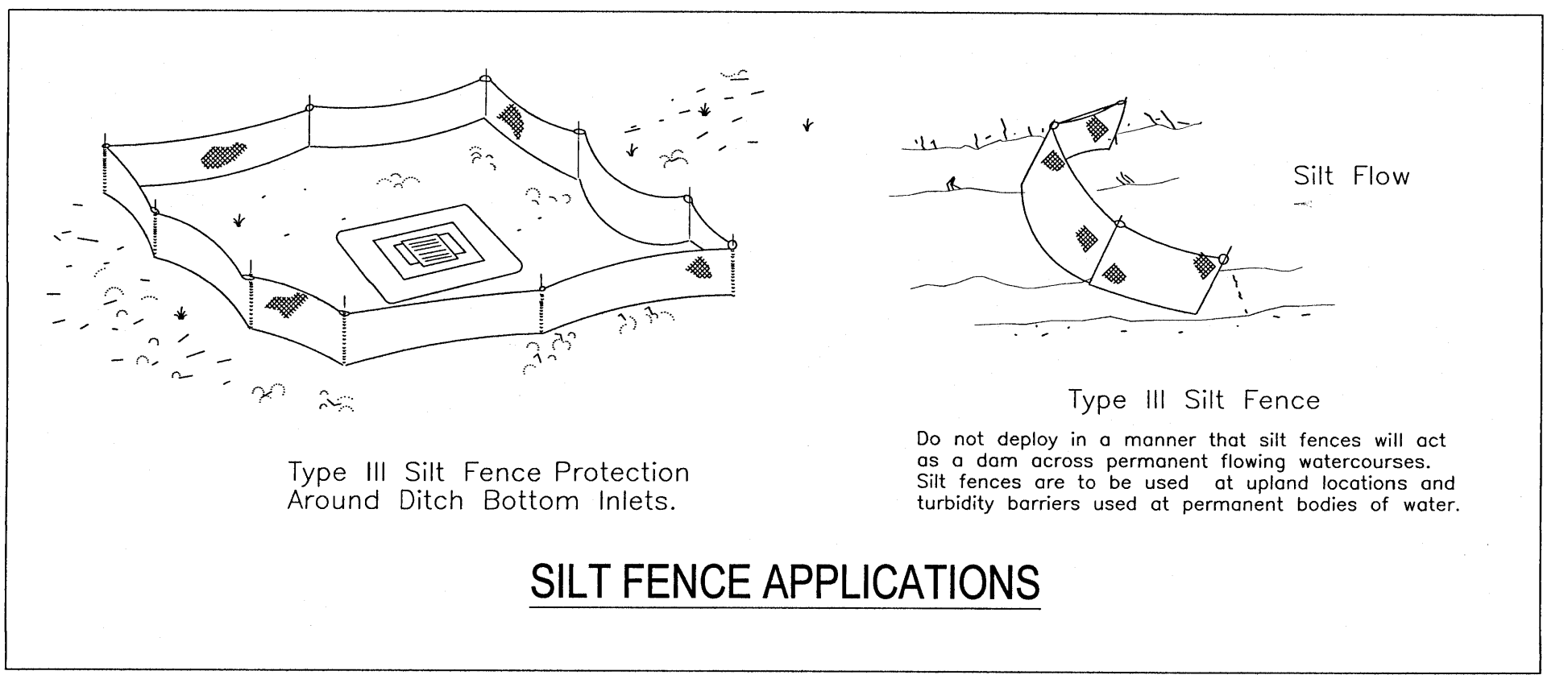
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CHECKED BY: TGH	DATE: 05-20-21
SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION
BY:	DATE:

PROJECT NO: 20-089  
SHEET: C7

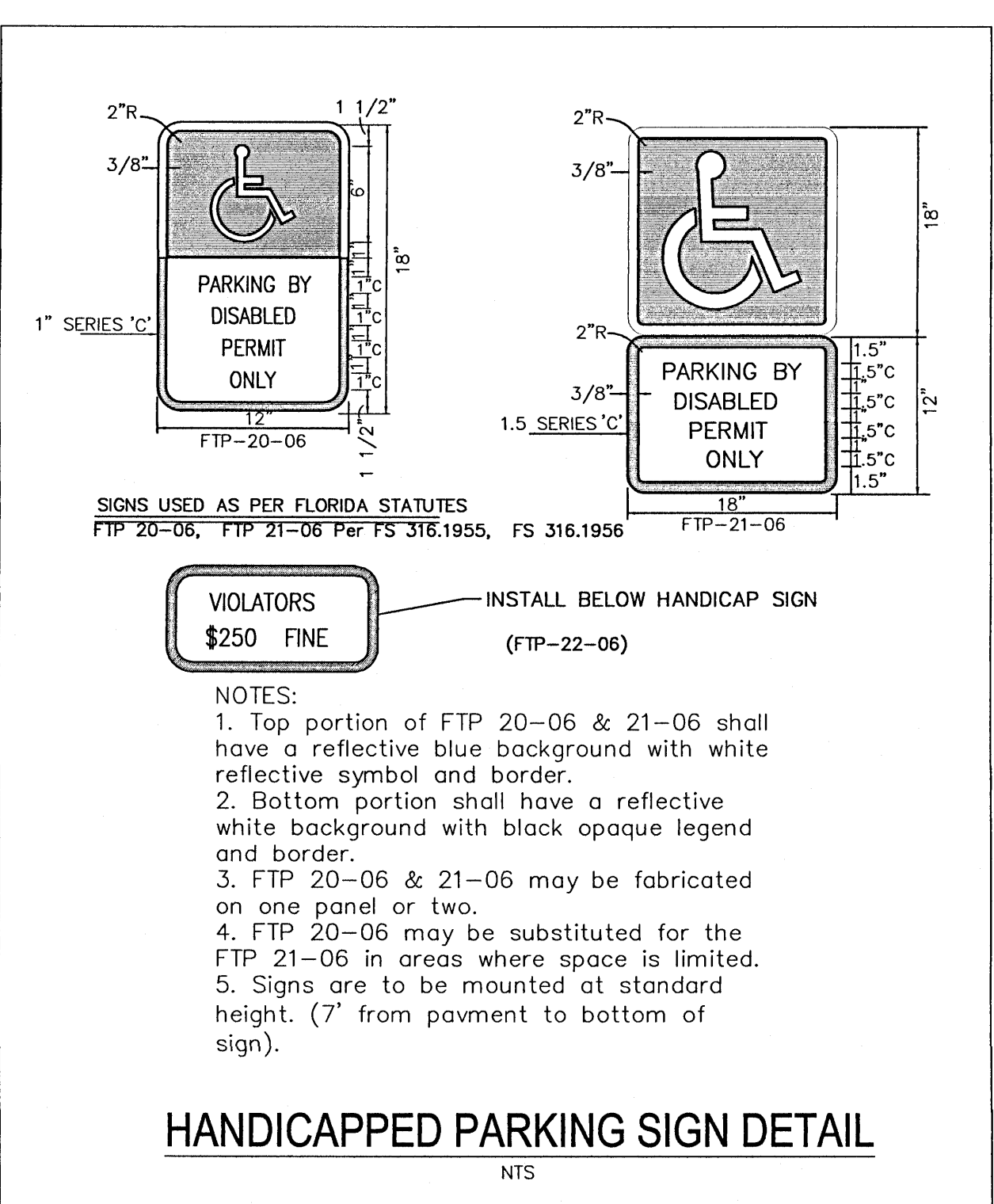




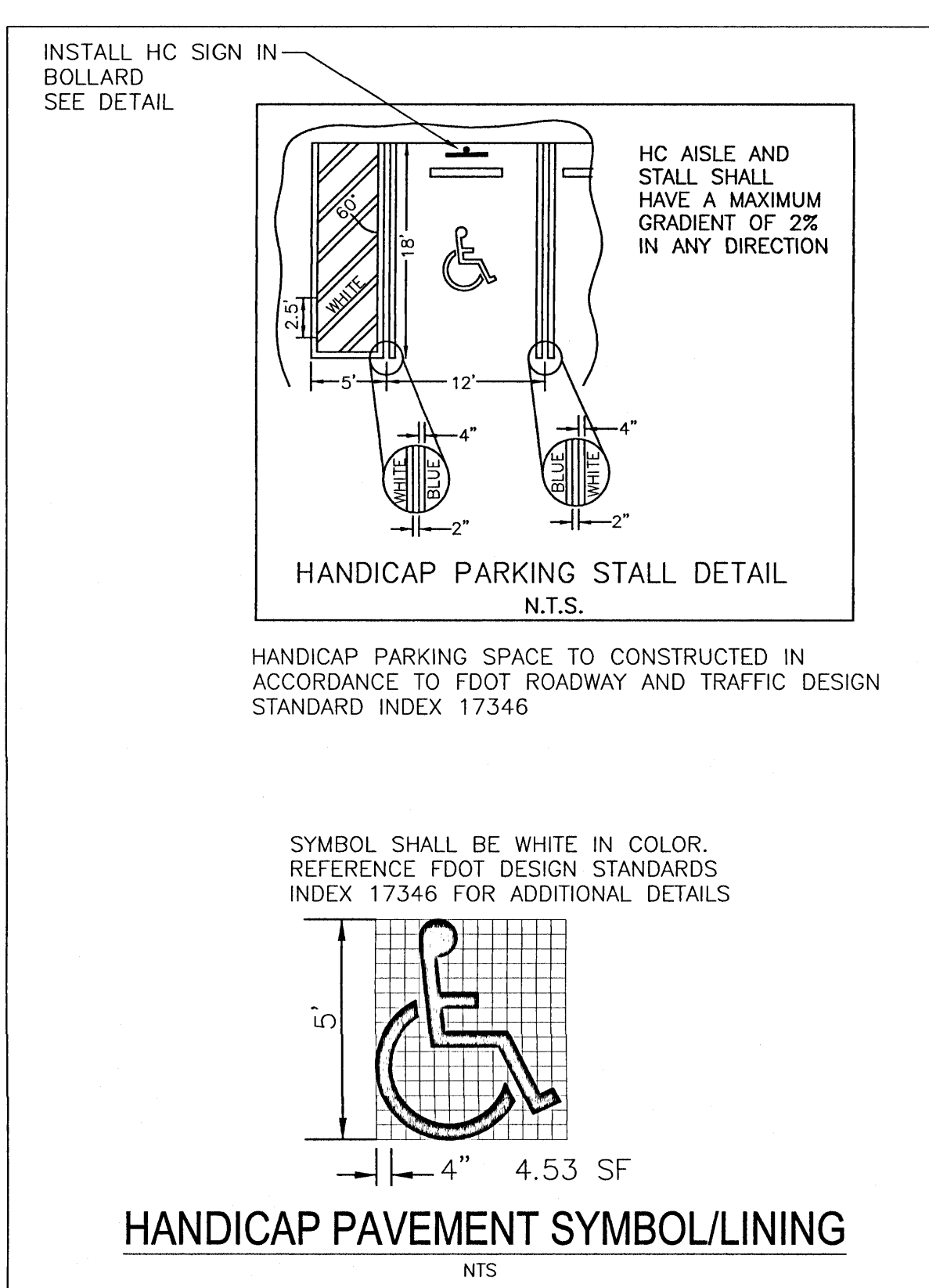
**JOINING TWO SILT FENCES**  
NTS



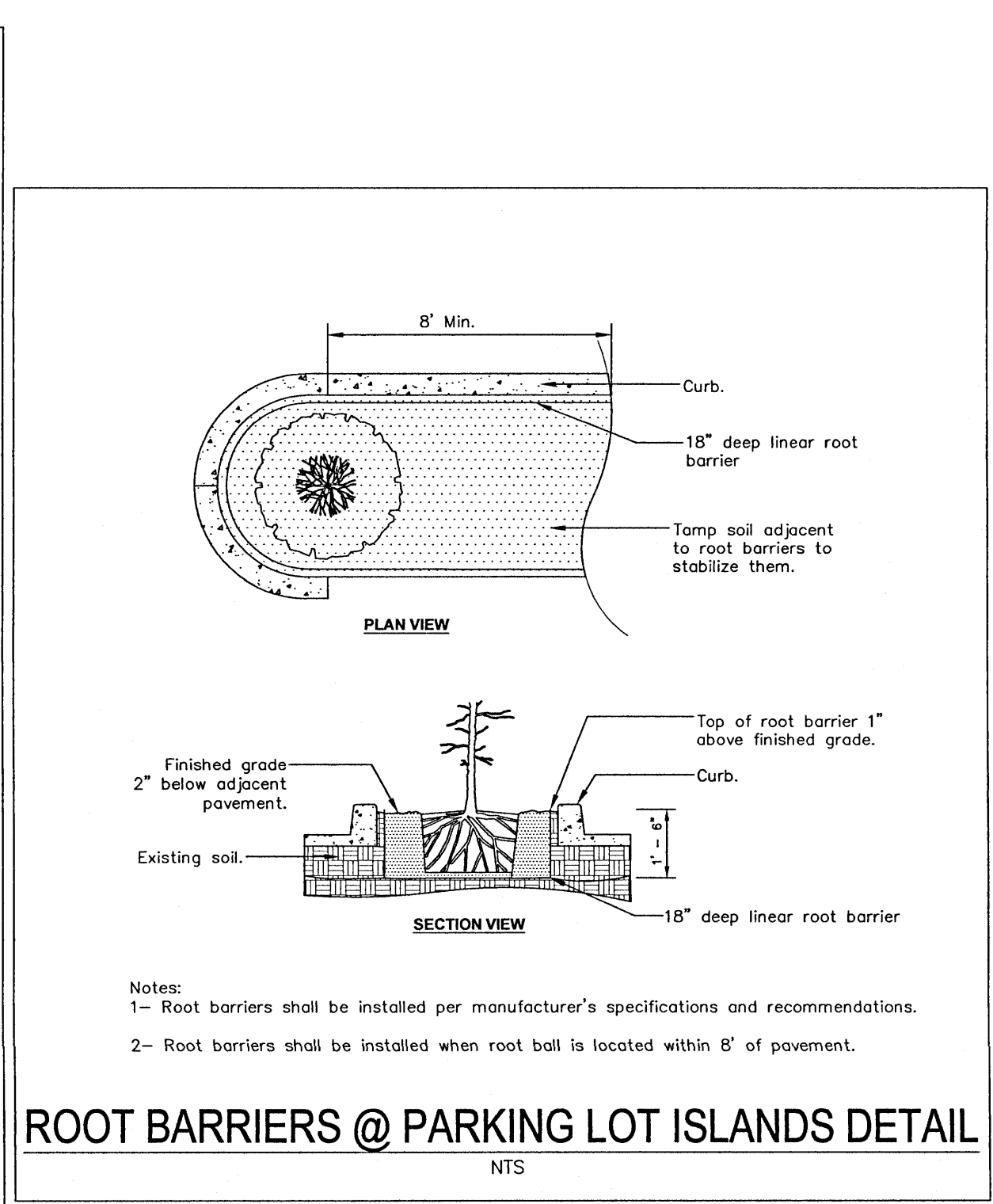
**SILT FENCE APPLICATIONS**



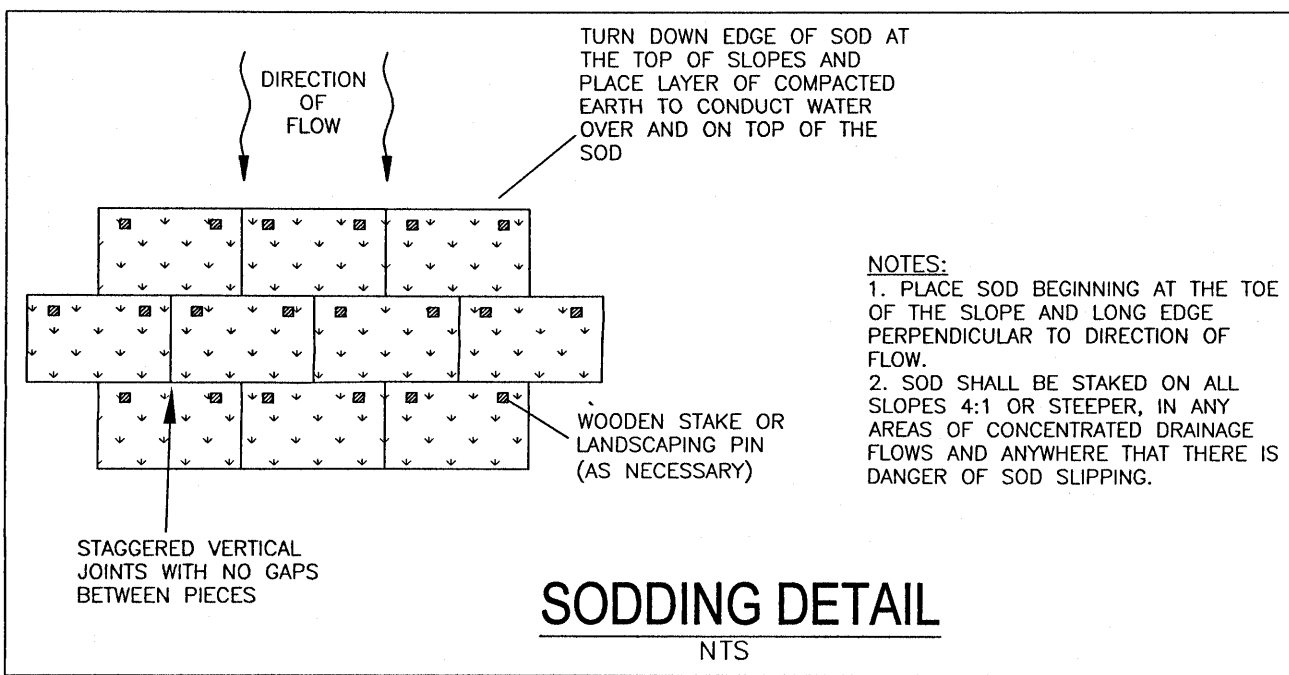
**HANDICAPPED PARKING SIGN DETAIL**  
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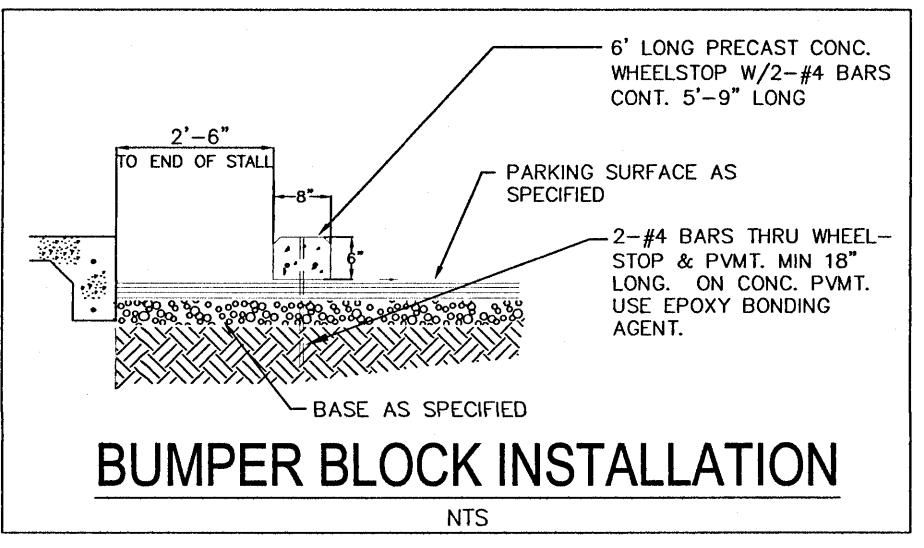
**HANDICAP PAVEMENT SYMBOL/LINING**  
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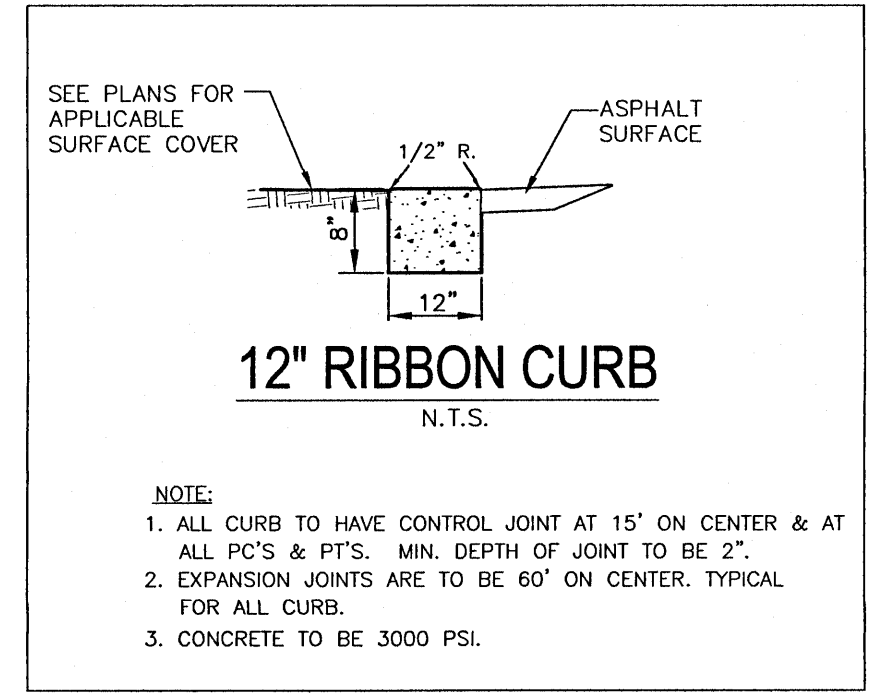
**ROOT BARRIERS @ PARKING LOT ISLANDS DETAIL**  
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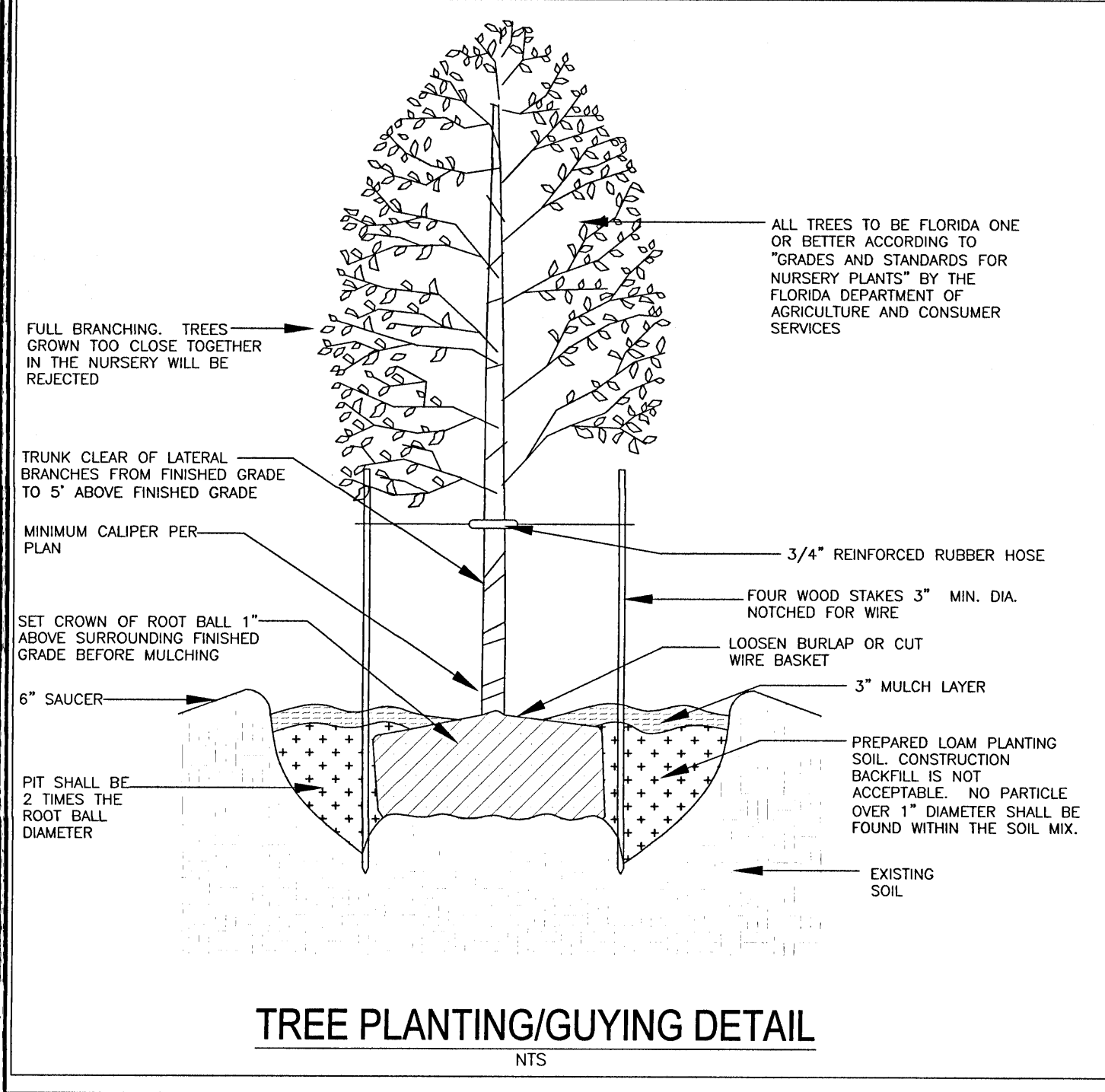
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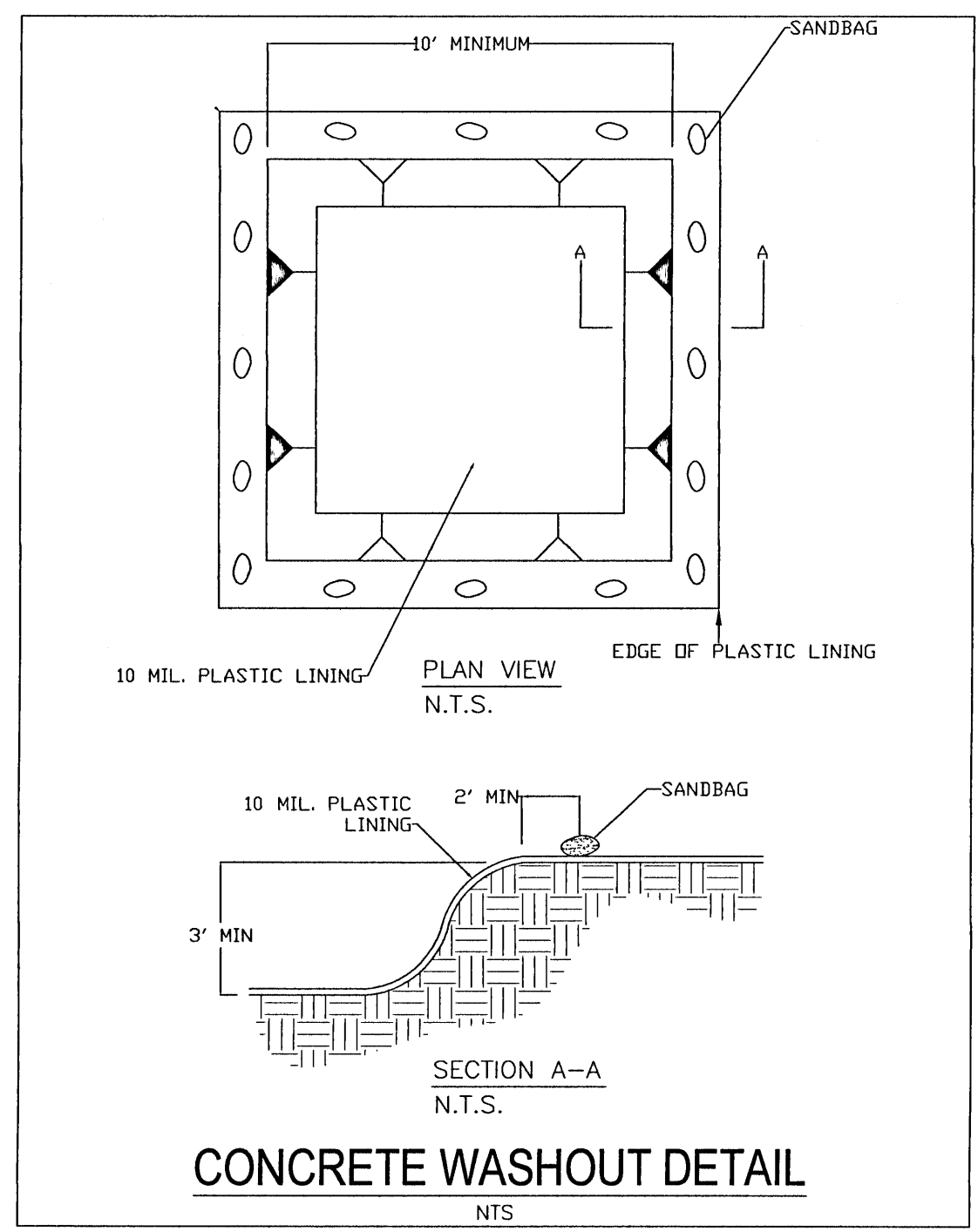
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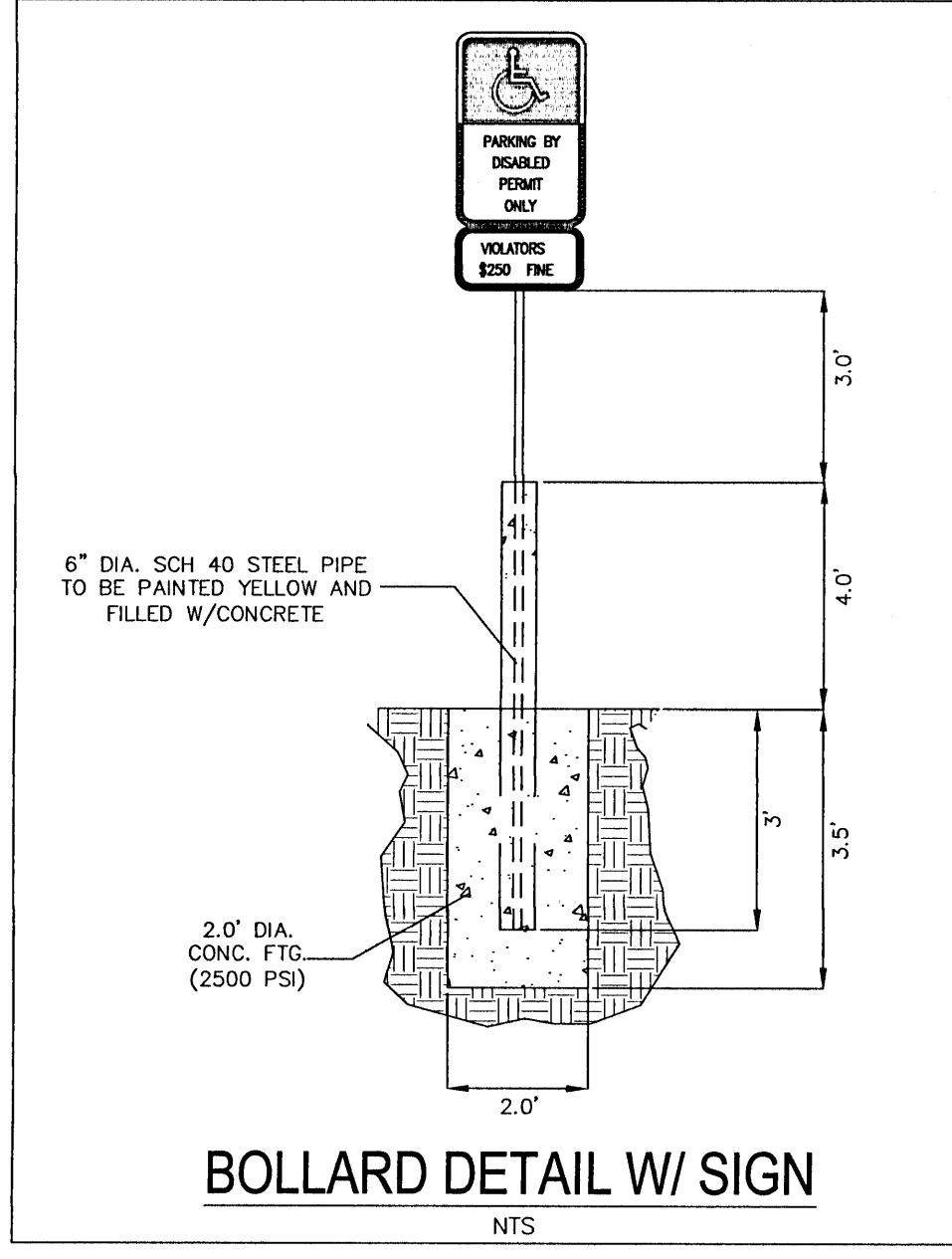
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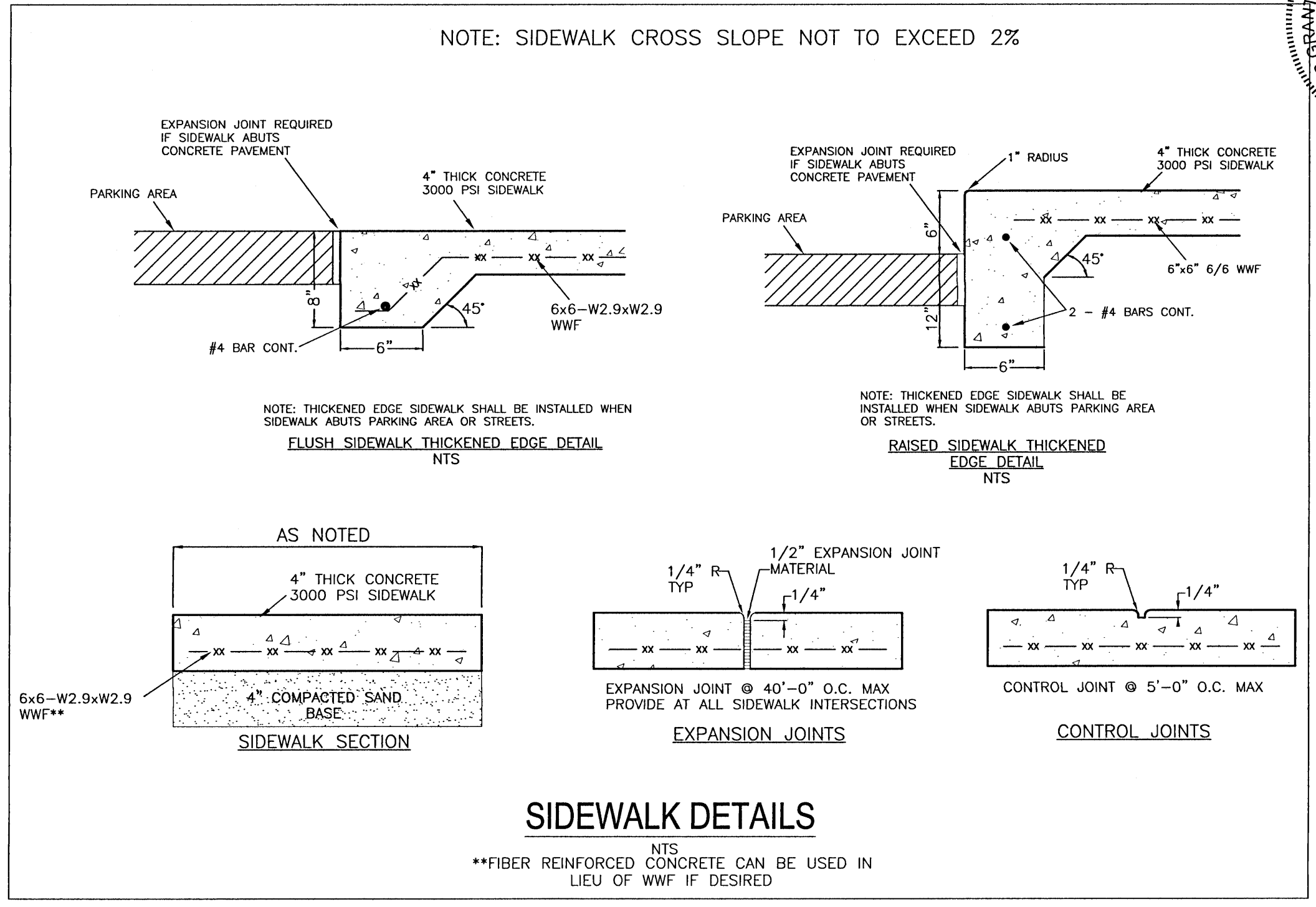
**TREE PLANTING/GUYING DETAIL**  
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**CONCRETE WASHOUT DETAIL**  
NTS



**BOLLARD DETAIL W/ SIGN**  
NTS



**SIDEWALK DETAILS**  
NTS

REVISIONS

NO.	DATE	REVISIONS
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**HAMMOND ENGINEERING, INC.**  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH 15<sup>TH</sup> STREET  
PENSACOLA, FLORIDA 32505  
850 434-2603  
FAX 850-434-2650  
TOM@SELANDESIGN.COM

06/24/21

**SITE DEVELOPMENT  
PLANS FOR  
BROAD STREET  
COMMERCIAL BUILDING  
CONSTRUCTION  
DETAILS**

**FLORIDA**

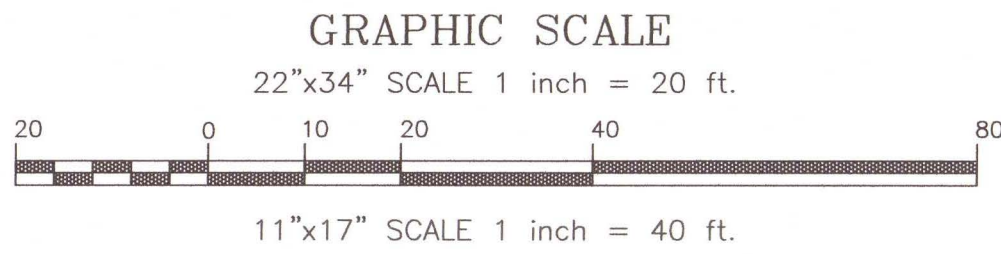
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DESIGNED BY: RLS  
CHECKED BY: TGH  
DATE: 02-20-21  
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PROJECT NO: 20-089

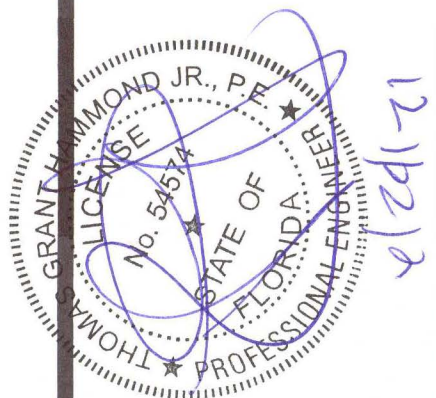
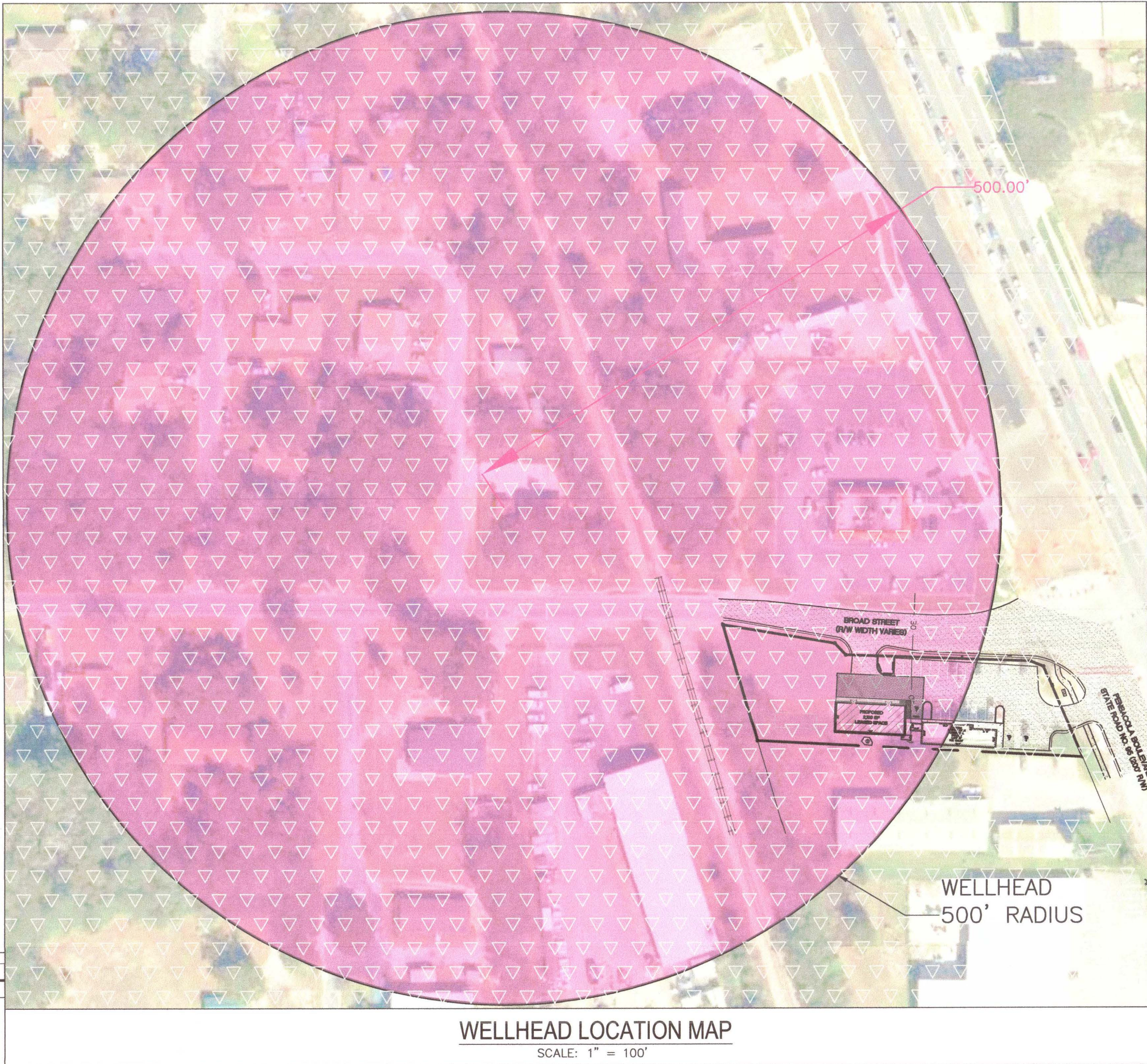
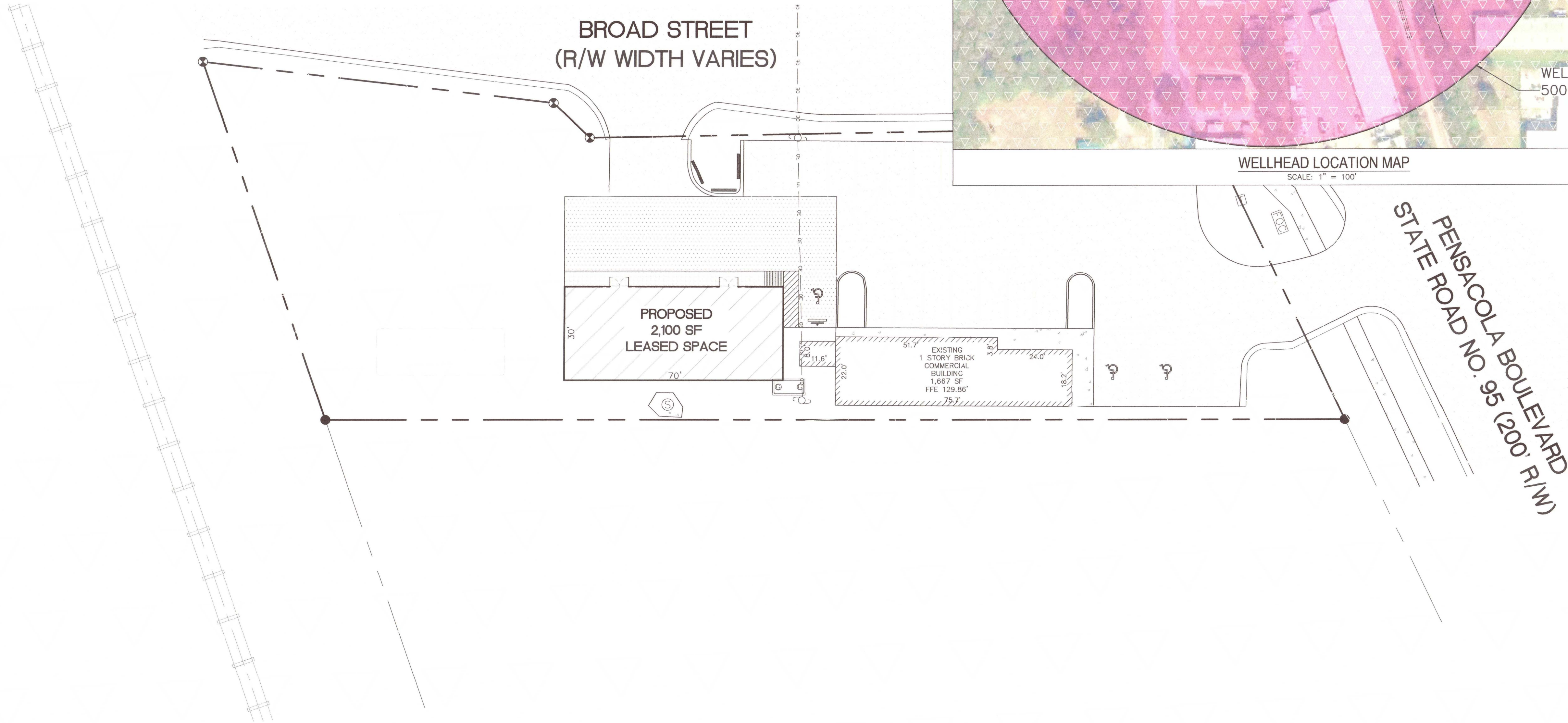
**SHEET: C8**





LEGEND:			
	DENOTES EXISTING ASPHALT		DENOTES EXISTING GRINDER STATION
	DENOTES EXISTING CONCRETE		DENOTES EXISTING GREASE TRAP
	DENOTES PROPOSED ASPHALT		DENOTES EXISTING TRAFFIC CONTROL BOX
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	DENOTES WELLHEAD PROTECTION AREA, 7 YEAR TRAVEL TIME CONTOUR		DENOTES EXISTING OVERHEAD SIGN
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SITE DEVELOPMENT  
PLANS FOR  
BROAD STREET  
COMMERCIAL BUILDING  
ENVIRONMENTAL  
IMPACT PLAN  
ESCAMBIA COUNTY FLORIDA

DRAWN BY: CJB  
DESIGNED BY: RLS  
CHECKED BY: TGH  
DATE: 05-20-21  
SCALE: AS SHOWN  
NOT RELEASED FOR  
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BY: DATE:

PROJECT NO: 20-089

SHEET: C7

REVISIONS		
NO.	DATE	REVISED PLANS AS PER ESCAMBIA COUNTY IRC REVIEW COMMENTS
1	06/23/2021	
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