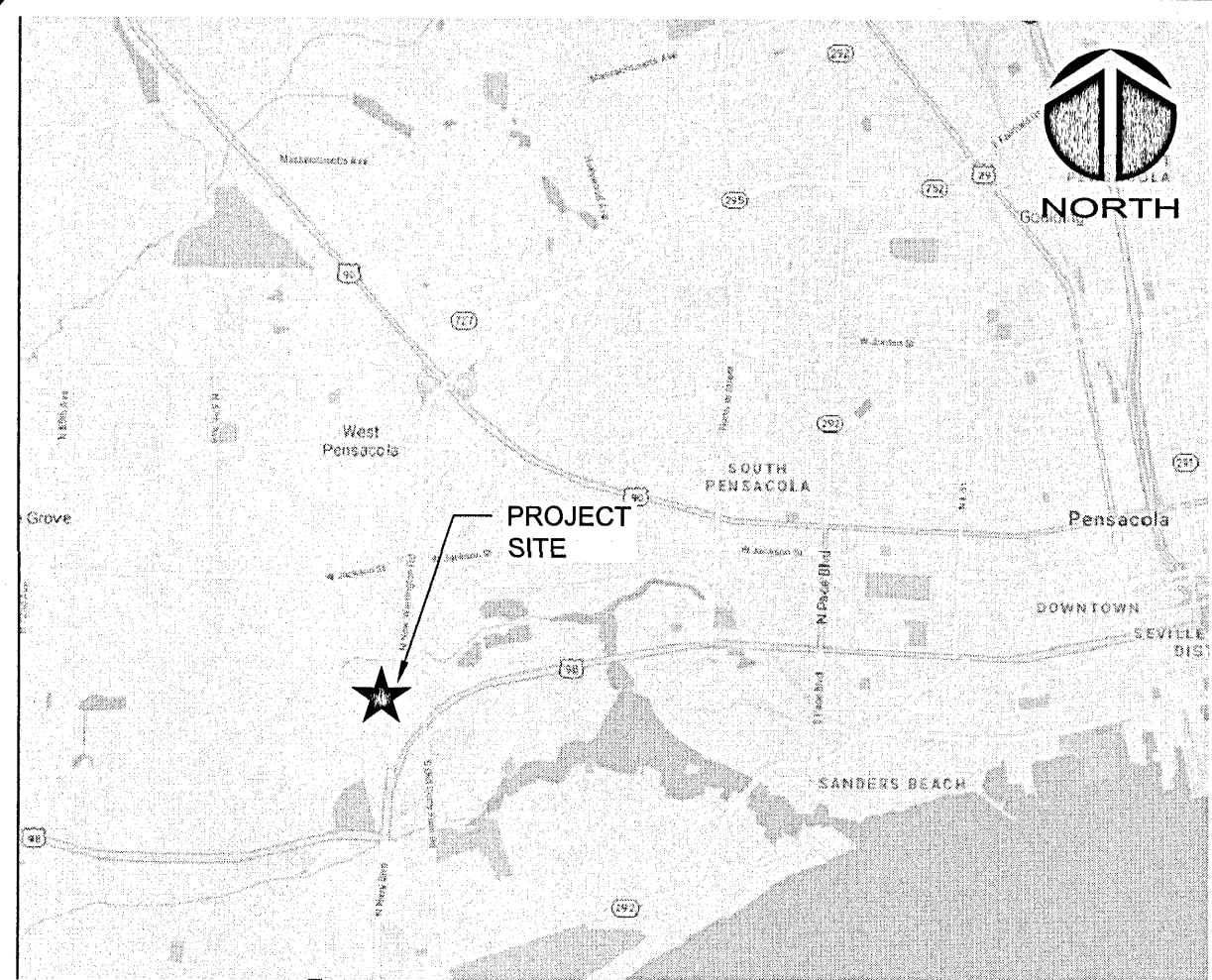


MERAKI SOLAR IMPROVEMENTS  
21 N. NEW WARRINGTON ROAD, PENSACOLA, FL 32506  
PROJ. NO. 08262-0001  
JUNE 29, 2021  
100% PLANS PERMIT SUBMITTAL

Approved  
ESCAMBIA COUNTY DRC PLAN REVIEW  
DRC Chairman Signature: *[Signature]* Date: 6-30-21  
Printed Name: *[Signature]*  
Development Services Director or Designator  
This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.



VICINITY MAP NOT TO SCALE

PROJECT NAME:  
MERAKI SOLAR IMPROVEMENTS

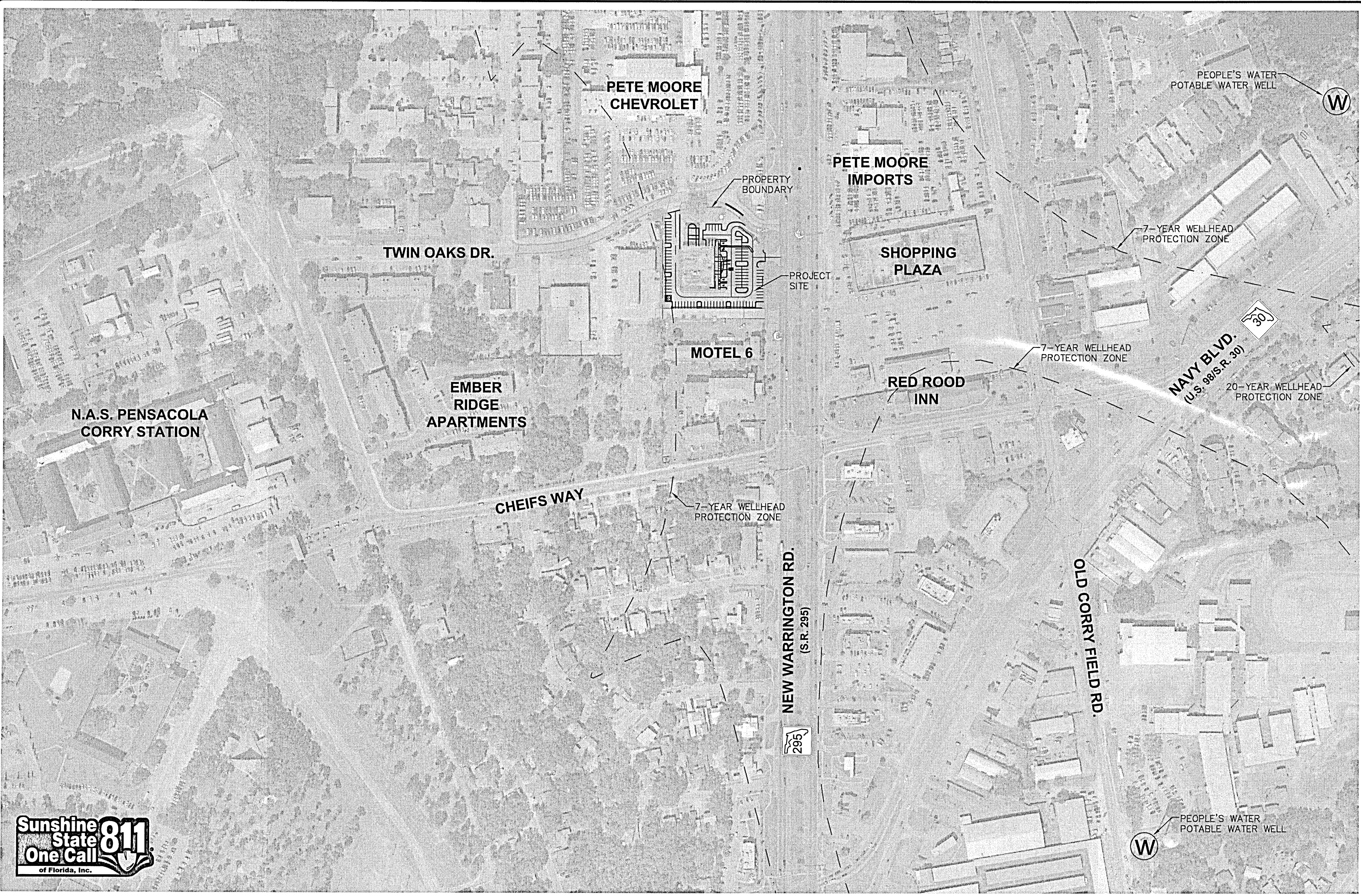
OWNER/DEVELOPER:  
MERAKI SOLAR, LLC.  
21 N. NEW WARRINGTON RD.  
PENSACOLA, FL 32506

ENGINEER:  
  
ENGINEERS SURVEYORS PLANNERS

MCKIM & CREED, INC  
1206 N. PALAFOX ST. | PENSACOLA, FL | 32501  
PHONE: 850-994-9503  
W. BRIAN WALKER, PE  
BWALKER@MCKIMCREED.COM

SURVEYOR:  
MCKIM & CREED, INC  
1206 N. PALAFOX ST. | PENSACOLA, FL | 32501  
PHONE: 850-994-9503  
GARY RUTAN, PLS  
GRUTAN@MCKIMCREED.COM

PROJECT INFORMATION



SITE MAP SCALE: 1" = 200'

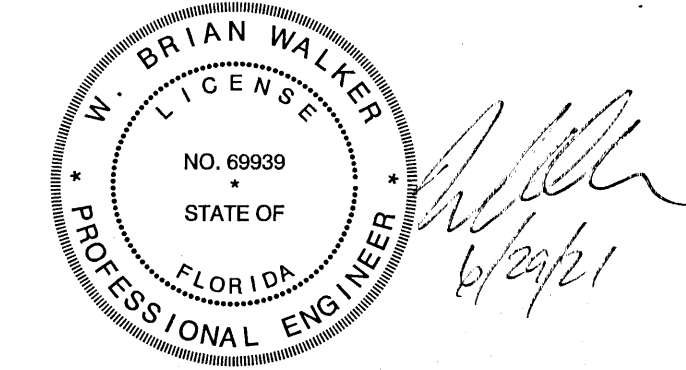
OFFICIAL RECORDS BOOK 8274, PAGE 1697

PARCEL 1  
COMMENCING AT THE SOUTHEAST CORNER OF TWIN OAKS VILLAS AS RECORDED IN PLAT BOOK 8, PAGE 89, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA; THENCE NORTH 03 DEGREES 56 MINUTES 45 SECONDS EAST FOR 360.20 FEET ALONG THE WESTERLY RIGHT OF WAY OF NEW WARRINGTON ROAD FOR THE POINT OF BEGINNING; THENCE CONTINUE NORTH 03 DEGREES 56 MINUTES 45 SECONDS EAST FOR 169.93 FEET ALONG SAID RIGHT OF WAY; THENCE WESTERLY ALONG THE ARC OF A CURVE CONCAVE TO THE NORTH OF RADIUS 77.55 FEET FOR AN ARC DISTANCE OF 61.06 FEET, SAID ARC AND THE NEXT FOUR COURSES BEING THE SOUTHERN RIGHT OF WAY LINE OF TWIN OAKS DRIVE; THENCE NORTH 40 DEGREES 56 MINUTES 24 SECONDS WEST FOR 30.01 FEET; THENCE WESTERLY ALONG THE ARC OF A CURVE CONCAVE TO THE SOUTH OF RADIUS 132.54 FEET FOR AN ARC DISTANCE OF 60.38 FEET; THENCE NORTH 87 DEGREES 03 MINUTES WEST, FOR 45.35 FEET; THENCE WESTERLY ALONG THE ARC OF A CURVE CONCAVE TO THE SOUTH OF RADIUS 407.35 FEET FOR AN ARC DISTANCE OF 130.41 FEET; THENCE SOUTH 03 DEGREES 56 MINUTES 45 SECONDS WEST FOR 222.08 FEET; THENCE SOUTH 86 DEGREES 03 MINUTES 15 SECONDS EAST FOR 300.00 FEET TO THE POINT OF BEGINNING.

PARCEL 2  
THAT PORTION OF PARCEL B, TWIN OAKS VILLAS, ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 8, PAGE 89, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA, DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHEAST CORNER OF TWIN OAKS VILLAS; THENCE NORTH 03 DEGREES 56 MINUTES 45 SECONDS EAST ALONG THE WESTERLY RIGHT OF WAY LINE OF NEW WARRINGTON ROAD FOR 310.20 FEET FOR THE POINT OF BEGINNING; THENCE CONTINUE THE SAME COURSE FOR 50.00 FEET; THENCE NORTH 86 DEGREES 03 MINUTES 15 SECONDS WEST FOR 300.00 FEET; THENCE SOUTH 03 DEGREES 56 MINUTES 45 SECONDS WEST FOR 50.00 FEET; THENCE SOUTH 86 DEGREES 03 MINUTES 15 SECONDS EAST FOR 300.00 FEET TO THE POINT OF BEGINNING. ALL LYING AND BEING IN SECTION 37, TOWNSHIP 2 SOUTH, RANGE 30 WEST.

LEGAL DESCRIPTION

Sheet List Table	
Sheet Number	Sheet Title
G-000	COVER PAGE
G-001	GENERAL NOTES
G-002	LEGEND AND ABBREVIATIONS
G-010	OVERALL KEY PLAN
C-001	EXISTING CONDITIONS SURVEY
C-101	DEMOLITION AND EROSION CONTROL PLAN
C-201	SITE LOCATION PLAN
C-301	GRADING AND DRAINAGE PLAN
C-910	EROSION CONTROL DETAILS
C-920	SITE DETAILS
C-930	DRAINAGE DETAILS



SHEET INDEX



1

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SITE WORK SPECIFICATIONS AND SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES AND OSHA STANDARDS.

2. REFERENCE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, TRUCK DOCKS, SIDEWALKS, STEPS, TRANSFORMER PADS, UTILITY ENTRANCE LOCATIONS, EXACT LOCATIONS AND DIMENSIONS OF ENTRIES, SIDEWALKS, DOWNSPOUTS, ETC.

3. IN THE CASE OF DISCREPANCY ON THESE DRAWINGS AND THE DRAWINGS OF OTHER DISCIPLINES OR CONDITIONS IN THE FIELD, THE MORE STRINGENT REQUIREMENT SHALL BE MET. REPORT ANY DISCREPANCY TO THE ENGINEER PRIOR TO ACTION.

5. LOCATIONS AND ELEVATIONS OR UTILITIES SHOWN ON THE PLANS ARE TO BE CONSIDERED APPROXIMATE ONLY. THE CONTRACTOR MUST EMPLOY THE USE OF GROUND PENETRATING RADAR (GPR) EQUIPMENT BY A QUALIFIED COMPANY AND PERSONNEL TO LOCATE, IDENTIFY, AND PROTECT EXISTING UNDERGROUND UTILITIES IN THE AREA OF WORK. ANY UTILITIES SPOTTED MUST BE DRAWN ON THE SITE PLAN PROVIDED BY THE ARCHITECT/ENGINEER AND SUBMITTED AS PART OF THE AS-BUILT DRAWINGS. NOTIFY UTILITY AND ARCHITECT/ENGINEER OF CONFLICTS BETWEEN EXISTING AND PROPOSED FACILITIES.

6. SIGNS AND BARRICADES SHALL BE IN ACCORDANCE WITH THE U.S. DEPARTMENT OF TRANSPORTATION'S MUTCD AND THE FDOTS ROADWAY AND TRAFFIC DESIGN STANDARD PLANS.

7. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE PUBLIC AGENCY(IES) PRIOR TO COMMENCING WORK WITHIN THEIR JURISDICTION(S).

8. THE CONTRACTOR SHALL MAINTAIN COPIES OF ALL APPLICABLE PERMITS ON-SITE AND SHALL BE RESPONSIBLE TO ADHERE TO ALL PERMIT CONDITIONS DURING CONSTRUCTION.

9. CONTRACTOR SHALL BE RESPONSIBLE FOR PENALTIES/FINES LEVED DUE TO WORK THAT IS NOT IN ACCORDANCE WITH PERMIT CONDITIONS.

10. THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE PROVISIONS OF THE TRENCH SAFETY ACT (FLORIDA STATUTES, SECTION 553.60 ET. SEQ.) AND THE OSHA SAFETY STANDARDS (29 C.F.R. SECTION 1926.650, SUBPART P) WHICH SHALL APPLY TO THIS WORK.

11. REQUIRED EROSION CONTROL MEASURES MUST REMAIN INTACT THROUGHOUT CONSTRUCTION. FAILURE TO INSTALL OR PROPERLY MAINTAIN THESE BARRICADES WILL RESULT IN ENFORCEMENT ACTION WHICH MAY INCLUDE CITATIONS, AS PROVIDED BY ORDINANCE #91-17, AND CHAPTERS 400-4 AND 400-40, F.A.C. WHICH CAN RESULT IN A PENALTY NT TO EXCEED \$10,000 PER OFFENSE WITH EACH DATE DURING WHICH SUCH VIOLATIONS OCCURS CONSTITUTING A SEPARATE OFFENSE.

12. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO ANY EXISTING IMPROVEMENTS, ONSITE OR OFF SITE, SUCH AS PAVEMENT, UTILITIES, STORM DRAINAGE, ETC. THE REPAIR MUST BE APPROVED BY QUALIFIED PROFESSIONAL ENGINEER AND PROPERTY OWNER AND BE EQUAL OR BETTER THAN EXISTING CONDITIONS.

13. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS.

14. SITE CONTRACTOR SHALL SUPPLY AS-BUILT PLANS INDICATING ALL CHANGES AND DEVIATIONS.

15. ANY DEVIATION FROM THESE PLANS MAY CAUSE THE WORK TO BE UNACCEPTABLE.

16. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL OFF-SITE EASEMENTS NOT DELINEATED ON PLANS OR KNOWN OF AT TIME OF PLAN ISSUANCE.

17. THE CONTRACTOR SHALL IMMEDIATELY REPORT IN WRITING WITH ADEQUATE SUPPORTING DOCUMENTATION TO THE OWNER AND ENGINEER ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING WITH WORK.

18. CONTRACTOR AGREES TO REPAIR ANY DAMAGE TO THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE STANDARDS OF THE FDOT.

2

EROSION CONTROL NOTES

1. TEMPORARY STABILIZATION IS REQUIRED OF ALL SOIL LEFT BARE FOR GREATER THAN 14 DAYS.

2. PERMANENT SOIL STABILIZATION REQUIRED. SEE LANDSCAPE PLANS FOR SOD AND OTHER IMPROVEMENT LOCATIONS.

3. STORMWATER RETENTION AREAS SHOULD BE CONSTRUCTED FIRST TO PREVENT DISCHARGE FROM THE SITE DURING CONSTRUCTION.

4. REQUIRED INSPECTIONS BY CONTRACTOR DURING CONSTRUCTION:

a. ONCE EACH WEEK OR WITHIN 24 HRS OF A STORM EVENT (GREATER THAN 1/2 IN.) INSPECT ALL CONTROL MEASURES.

b. REPAIR ALL DAMAGED AREAS WITHIN 24 HRS OF DISCOVERY.

c. REMOVE ANY BUILT-UP SEDIMENT AROUND FENCES THAT REACHES 1/3 OF THE SILT FENCE HEIGHT.

d. SILT FENCES SHOULD BE INSPECTED FOR DEPTH OF SEDIMENT AND TEARS TO INSURE FABRIC HAS NOT PULLED AWAY FROM POSTS.

e. INSPECT ALL TEMPORARY AND PERMANENT SOIL STABILIZATION FOR WASHOUTS OR BARE SPOTS.

f. INSPECTION REPORTS MUST BE AVAILABLE FOR INSPECTION AT ALL TIMES. THE SITE SUPERINTENDENT SHALL CONDUCT ALL INSPECTIONS AND MAINTAIN RECORDS.

g. DATES OF ALL MAJOR GRADING ACTIVITIES MUST BE RECORDED AND MAINTAINED WITH SITE INSPECTIONS WHEN MAJOR GRADING HAS CEASED IN ANY AREA, THE DATE MUST ALSO BE RECORDED.

5. THE SITE SHOULD BE KEPT IN AN ORDERLY FASHION, THE CONTRACTOR SHALL ENSURE THE FOLLOWING ITEMS ARE ADDRESSED:

a. AN EFFORT TO STORE ONLY WHAT IS NEEDED ON THE SITE.

b. KEEP ALL STORED MATERIALS IN A NEAT AND ORDERLY FASHION IN THE ORIGINAL CONTAINERS WHEN POSSIBLE.

c. FOLLOW ALL MANUFACTURERS RECOMMENDED PROCEDURES FOR DISPOSAL OF WASTE MATERIAL.

d. INSPECT DAILY TO INSURE WASTE MATERIAL IS DISPOSED OF PROPERLY.

e. THE COUNTY RESERVES THE RIGHT TO TERMINATE ALL CONSTRUCTION ACTIVITIES UNTIL CONTRACTOR ADEQUATELY INSTALLS, MAINTAINS, AND/OR REPLACES EROSION CONTROL MEASURES TO CONDITION ACCEPTED BY THE COUNTY AT NO ADDITIONAL COST.

6. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.

4

SPILL CONTROL NOTES

1. IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE EROSION CONTROL NOTES OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

a. MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

b. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.

c. SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF SIZE.

d. THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

e. THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.

5

DEMOLITION NOTES

1. CONTRACTOR SHALL OBTAIN NECESSARY PERMITS AND LICENSES FOR PERFORMING THE DEMOLITION WORK AND SHALL FURNISH A COPY OF SAME TO THE ENGINEER PRIOR TO COMMENCING THE WORK. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE PERMITS.

2. NO WORK WITHIN THE RIGHT-OF-WAY IS AUTHORIZED UNTIL A RIGHT-OF-WAY PERMIT IS OBTAINED.

3. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES OR LOCAL AUTHORITIES FURNISHING GAS, WATER, ELECTRICAL, TELEPHONE, OR SEWER SERVICE SO THEY CAN REMOVE, RELOCATE, DISCONNECT, CAP OR PLUG THEIR EQUIPMENT IN ORDER TO FACILITATE DEMOLITION.

4. CONTRACTOR SHALL PROTECT ALL UTILITIES AND OTHER IMPROVEMENTS SHOWN ON THESE PLANS AND UTILITIES AND OTHER IMPROVEMENTS NOT SHOWN. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR REPAIRS OF UTILITIES AND OTHER IMPROVEMENTS DAMAGED DURING CONSTRUCTION AND SHALL MAINTAIN SUFFICIENT PROTECTION FOR ALL UTILITIES REQUIRED TO PROTECT THEM FROM DAMAGE AND TO PROTECT THE PUBLIC DURING CONSTRUCTION. CONTRACTOR SHALL ALSO SUPPORT EXISTING UTILITIES AS REQUIRED FOR INSTALLATION OF ALL PROPOSED IMPROVEMENTS. ALL COSTS ASSOCIATED WITH PROTECTING, SUPPORTING, REPAIRING, AND OTHER ACTIVITIES RESULTING FROM CONTRACTOR DAMAGE TO UTILITIES SHALL BE THE CONTRACTORS RESPONSIBILITY AT NO ADDITIONAL COST TO THE OWNER OR LOCAL UTILITY.

5. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL TREES, STRUCTURES, AND UTILITIES NOT MARKED FOR REMOVAL OR DEMOLITION AND SHALL PROMPTLY REPAIR ANY DAMAGE AS DIRECTED BY THE ENGINEER AT NO COST TO THE OWNER. TREES NOT MARKED FOR REMOVAL SHALL BE PROTECTED IN ACCORDANCE WITH FDOT PLAN No. 580-001 TREE PROTECTION BARRICADE.

6. CONTRACTOR SHALL CLEAR AND GRUB THE SITE AS NECESSARY TO CONSTRUCT PROPOSED IMPROVEMENTS. REMOVE TREES MARKED FOR REMOVAL WHICH INCLUDES THE ROOTS ASSOCIATED WITH THE TREE.

7. ALL UNSUITABLE MATERIALS, INCLUDING ORGANICS AND MUCK, MUST BE EXCAVATED AND REMOVED FROM THE SITE AND REPLACED WITH CLEAN SAND PRIOR TO GRADING THE SITE.

8. CONTRACTOR SHALL TAKE PROPER MEASURES TO ENSURE EXCAVATED OR UNSALVAGEABLE MATERIAL STORED ON-SITE ARE PROTECTED AGAINST EROSION AND SEDIMENTATION. CONTRACTOR SHALL REMOVE UNSALVAGEABLE MATERIALS AND YARD WASTE FROM THE SITE IN A TIMELY MANNER AND DISPOSE OF IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS.

9. CONTRACTOR SHALL REMOVE BUILDING STRUCTURES MARKED FOR DEMOLITION WHICH INCLUDES FOOTERS ASSOCIATED WITH THE STRUCTURE, FLOOR LINES TO THE METER LOCATION, LATERALS TO THE RIGHT-OF-WAY LINE (CAP PRIOR TO BACKFILLING THE TRENCH), AND UNDERGROUND ELECTRICAL WIRING NOT ASSOCIATED WITH THE APPROPRIATE POWER COMPANY.

10. UNLESS OTHERWISE NOTED, ALL DEMOLISHED MATERIALS (PAVING, CURB, UTILITY PIPE, ETC.) SHALL BE REMOVED AND DISPOSED OF OFF SITE. NOTHING IDENTIFIED FOR DEMOLITION SHALL BE ABANDONED IN PLACE.

11. CONTRACTOR SHALL SAW-CUT A SMOOTH STRAIGHT EDGE ON ANY PAVEMENT PROPOSED FOR DEMOLITION PRIOR TO ITS REMOVAL. PRIOR TO CONNECTING PROPOSED PAVEMENT TO EXISTING PAVEMENT, THE CONTRACTOR SHALL ENSURE THAT THE EDGE OF THE EXISTING PAVEMENT IS STRAIGHT AND UNIFORM.

12. CONTRACTOR SHALL REMOVE PAVING MARKED FOR DEMOLITION WHICH INCLUDES ALL ASPHALT, CONCRETE, BASE, AND RETAINING WALLS (INCLUDING THE FOOTERS).

13. FULL DEPTH PAVEMENT SECTION REMOVAL INCLUDES ANY ASSOCIATED ASPHALT OR CONCRETE PAVEMENT, BASE MATERIAL, AND COMPACTED SUBGRADE TO A DEPTH TO REACH OF NATURAL SOIL.

6

EARTHWORK, GRADING, AND STABILIZATION NOTES

1. INFORMATION CONCERNING SITE SOIL CONDITIONS WILL BE PROVIDED BY THE GEOTECH REPORT.

2. COMPACT ALL UTILITY TRENCHES WITHIN ROADWAYS TO 98% OF THE MODIFIED PROCTOR MAXIMUM DENSITY (AASHTO T - 180) AND TO 95% WITHIN OTHER AREAS.

3. ALL EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL PLANS AND SPECIFICATIONS.

4. ALL ON-SITE AREAS DISTURBED BY THE CONSTRUCTION SHALL BE STABILIZED IN ACCORDANCE WITH LANDSCAPE PLANS OR WITH SOD (SAME AS SURROUNDING AREA OR BETTER) OR APPROVED EQUAL.

5. ALL DEWATERING COSTS ASSOCIATED WITH THE PERMITTING, INSTALLATION, MAINTENANCE, AND CONSTRUCTION OF THE UNDERGROUND UTILITIES; STORM WATER PIPES AND MANHOLES; SANITARY SEWER MAINS, FORCE MAINS, MANHOLES, AND LIFT STATIONS; AND STORM WATER MANAGEMENT SYSTEMS SHALL BE INCLUDED AS PART OF THE CONSTRUCTION BID COSTS. THE CONTRACTOR SHALL SUBMIT FOR WATER USE PERMITS IF REQUIRED FOR DEWATERING ACTIVITIES.

6. PLANS AND SPECIFICATIONS REQUIRE THAT COMPACTED BACKFILL BE PLACED ALONG SIDE OF AND OVER ALL UTILITIES. ENGINEER MAY REQUIRE THAT COMPACTION TESTS BE TAKEN TO VERIFY BACKFILL COMPACTION. COST OF SUCH COMPACTION TESTS WILL BE BORNE BY THE CONTRACTOR.

7. UNLESS SHOWN OTHERWISE ON THE PLANS, CONTRACTOR SHALL APPLY 4" OF TOP SOIL TO ALL DISTURBED AREAS OF THE SITE, PLANT GLASS SEED OR SOD, APPLY STRAW, AND WATER. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN A HEALTHY STAND OF GRASS ON ALL SEEDED OR SODDED AREAS. IF A HEALTHY STAND OF GRASS CAN NOT BE ESTABLISHED BY THE TIME THE BUILDING BECOMES OCCUPIED, THEN SOD SHALL BE INSTALLED AND WATERED UNTIL GRASS IS ESTABLISHED.

8. THE CONTRACTOR MUST INSTALL AND MAINTAIN GRASS OR SOD ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETED FINAL GRADES, AS NOTED ON PLANS, AND AT ANY OTHER TIME AS NECESSARY TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES TO ANY DOWNSTREAM WATER BODY, WETLAND, OR OFF-SITE PROPERTY. SODDING ON SLOPES 3:1 AND STEEPER SHALL BE STAKED.

9. CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO CONTROL TURBIDITY AND SEDIMENT INCLUDING, BUT NOT LIMITED TO THE INSTALLATION OF TURBIDITY BARRIERS AND SILT FENCES AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. TURBIDITY AND SEDIMENT BARRIERS MUST BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND MAINTAINED AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING THE BARRIERS. AT NO TIME SHALL THERE BE ANY OFFSITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS IN CHAPTERS 62-302 AND 62-4, FAC.

7

PAVING, GRADING, AND DRAINAGE NOTES

1. CONTRACTOR SHALL FIELD VERIFY THE EXISTING CONDITIONS ALONG THE ALIGNMENT OF ALL PROPOSED SIDEWALKS, CURBS, AND GUTTERS. CONTRACTOR SHALL ALSO HAVE VERTICAL AND HORIZONTAL CONTROL POINTS FIELD MARKED BY HIS SURVEY CREW AND SHALL HAVE THE MARKERS REVIEWED AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

2. EXISTING GRADES SHOWN ON THE DRAWINGS (IN PLACE OR IN SECTION) ARE APPROXIMATE ONLY. CONTRACTOR IS RESPONSIBLE FOR GRADING, INCLUDING PLACEMENT OR REMOVAL OF FILL MATERIAL AS APPROPRIATE, TO PROVIDE PROPER RELATIONSHIP BETWEEN WALKS/RAMPS AND ADJACENT ROADWAYS, CURBS, LOTS, UTILITIES, AND OTHER APPURTENANCES, AS INDICATED.

3. HORIZONTAL GEOMETRY REFERS TO ROADWAY OR PARKING LOT EDGE OF PAVEMENT.

4. ALL CURBS (EXISTING OR NEW) SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE. ALL CHIPPED OR CRACKED PORTIONS OF CURB SHALL BE REPLACED AT CONTRACTOR'S EXPENSE. IN ADDITION, ANY MORTAR, CONCRETE, SOIL AND OTHER DEPOSITS OR STAINS SHALL BE CLEANED TO RETURN THE CURBS TO THEIR ORIGINAL CONDITION.

5. ALL ISLANDS WITH CURB SHALL BE LANDSCAPED. THOSE ISLANDS ARE TO HAVE CURB AS SHOWN ON THE CONSTRUCTION DRAWINGS.

6. UPON COMPLETION OF FINAL ASPHALT PAVING, TOOL AND CLEAN ALL MANHOLE AND VALVE COVERS OF DIRT, DEBRIS AND ASPHALT. ALL MANHOLE AND VALVE COVERS SHALL BE CLEAN AND OPERABLE PRIOR TO OWNER'S ACCEPTANCE.

7. IN ADDITION TO THE REQUIREMENTS IN THE ENGINEER'S TECHNICAL SPECIFICATIONS, ALL ROADWAY CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH APPLICABLE STATE OR LOCAL GOVERNMENT SPECIFICATIONS.

8. CONTRACTOR TO PROVIDE MOT PLAN FOR REVIEW AND APPROVAL TO THE APPLICABLE STATE OR LOCAL GOVERNMENT PRIOR TO WORK IN THE RIGHT-OF-WAY. CONTRACTOR SHALL EXECUTE AND IMPLEMENT THE MOT PLAN IN ACCORDANCE WITH FDOT STANDARDS.

9. STABILIZED SUBGRADE TO BE FDOT TYPE "B".

10. ASPHALTIC CONCRETE TO FDOT STANDARD SPECIFICATION (LATEST EDITION) SECTION 916.1.

11. ALL CONCRETE STRUCTURES, SUCH AS, BUT NOT LIMITED TO: FLUMES, WALKS, CURBS AND DRAINAGE STRUCTURES, SHALL BE TO FDOT STANDARD SPECIFICATIONS (LATEST EDITION).

12. NON-STRUCTURAL CONCRETE SHALL BE MINIMUM COMPRESSIVE STRENGTH 3,000 PSI AT 28 DAY COMPRESSIVE STRENGTH. ALL STRUCTURAL CONCRETE SHALL BE A MINIMUM OF 4,000 PSI AT 28 DAY COMPRESSIVE STRENGTH.

7

PAVING, GRADING, AND DRAINAGE NOTES (CONT.)

13. COMPLETE CONSTRUCTION WITHOUT IMPACTING THE NORMAL OPERATION OF PEDESTRIAN AND VEHICULAR TRAFFIC.

14. LEADING EDGE OF SIDEWALK RAMP SHALL ALIGN WITH SIDEWALK OR RAMP ON OPPOSITE SIDE OF INTERSECTION.

15. WHERE A CURB CUT RAMP IS CONSTRUCTED WITHIN AN EXISTING CURB, CURB AND GUTTER AND/OR SIDEWALK, THE EXISTING CURB AND GUTTER SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE DROP OF CURB OR TO THE EXTENT THAT NO REMAINING SECTION OF CURB OR CURB AND GUTTER IS LESS THAN 5' LONG. THE EXISTING SIDEWALK SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE TRANSITION SLOPE OR TO THE EXTENT THAT NO REMAINING SECTION OF SIDEWALK IS LESS THAN 5' LONG.

16. THE EXISTING GRADES SHOWN ON THE DRAWINGS (IN PLAN OR IN SECTION) ARE APPROXIMATE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR GRADING, INCLUDING PLACEMENT OR REMOVAL OF FILL MATERIAL AS APPROPRIATE TO PROVIDE PROPER RELATIONSHIP BETWEEN WALKS/RAMPS AND ADJACENT ROADWAYS, CURBS, LOTS, UTILITIES, AND OTHER APPURTENANCES, AS INDICATED.

17. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY PROVIDER FOR THE ADJUSTMENT OF ANY EXISTING OR PROPOSED UTILITY BOXES OR COVERS WITHIN SIDEWALK CONSTRUCTION LIMITS SHOWN ON THE DRAWINGS.

18. CONTRACTOR SHALL MAINTAIN CLEAR, SAFE WALKWAYS AND WALKING DETOURS FOR NORMAL PEDESTRIAN AND GUEST TRAFFIC AT ALL TIMES DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PEDESTRIAN AND GUEST MOT PLANS.

19. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.

20. PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED IN DRAWINGS. IF CURBING IS REQUIRED, SPOT ELEVATIONS WILL BE SHOWN AT THE EDGE OF ALL PAVEMENT ONLY.

21. IT MAY BE NECESSARY TO FIELD ADJUST PAVEMENT ELEVATIONS TO PRESERVE THE ROOT SYSTEM OF TREES SHOWN TO BE SAVED. CONTRACTOR TO COORDINATE WITH ENGINEER PRIOR TO ANY ELEVATION CHANGES.

22. THE INTENT OF THE GRADING DESIGN IS TO BALANCE THE EARTHWORK OF THE SITE SUCH THAT NO OFF-SITE FILL NOR EXCESS SOIL REMOVAL IS REQUIRED. AS CONSTRUCTION PROCEEDS THE OWNER RESERVES THE RIGHT TO ALTER THE PROPOSED SITE GRADING TO ENSURE THE EARTHWORK IS BALANCED. ANY GRADE CHANGES PROPOSED TO MEET THIS GRADING INTENT SHALL BE ACCOMMODATED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

23. ANY FILL USED TO INCREASE THE ELEVATION OF THE FLOOR SLAB OR ANY FILL TO BE USED AS BACKFILL, SHALL BE CLEAN, GRANULAR MATERIAL. PRIOR TO THE USE OF ANY GRANULAR FILL, GRADATION ANALYSIS SHALL BE PERFORMED ON REPRESENTATIVE SAMPLES OF THE FILL MATERIAL BY THE GEOTECHNICAL ENGINEER TO DETERMINE WHETHER THE MATERIAL IS SUITABLE AS FILL. COMPACTED FILL SHALL BE PLACED IN LAYERS OF NOT MORE THAN 8-INCHES IN THICKNESS, AT MOISTURE CONTENTS WITHIN 3-PERCENT OF OPTIMUM, AND COMPACTED TO MINIMUM DENSITY OF 95% OF THE MAXIMUM DRY DENSITY OR AS REQUIRED BY CONTOUR ENGINEERING AS DETERMINED BY THE MODIFIED PROCTOR METHOD, ASTM D-1557.

24. ON-SITE STORMWATER MANAGEMENT AND DRAINAGE SYSTEM WILL BE PRIVATELY OWNED AND MAINTAINED.

25. ALL PIPES SHALL HAVE 3-FEET MINIMUM COVER UNLESS OTHERWISE SPECIFIED IN PLANS, CONTRACTOR SHALL TAKE CARE TO PROVIDE PROPER GRADE ELEVATIONS AND ALIGNMENTS.

26. ALL DRAINAGE PIPE 36" AND LARGER IN DIAMETER SHALL BE REINFORCED CONCRETE PIPE CLASS III (ASTM C-76), OR CLASS IV AT LOCATIONS WITH LESS THAN 2-FT OF COVER TO FINISHED SURFACE, UNLESS OTHERWISE NOTED.

27. ALL STORM DRAINAGE INLETS AND PIPES SHALL BE PROTECTED FROM SILT, SAND AND DEBRIS DURING CONSTRUCTION. ANY ACCUMULATION WITHIN THE STORM DRAINAGE PIPE SYSTEM SHALL BE REMOVED WITHOUT PUMPING OR FLUSHING INTO THE PONDS. STORM DRAINAGE SYSTEM SHALL BE CLEANED AND FREE OF DEBRIS PRIOR TO CONSTRUCTION MANAGER'S ACCEPTANCE.

28. PROVIDE SOCK DRAIN OR SEDIMENT FILTER IN FRONT OF ALL DRAINAGE CURB INLETS AND PROVIDE FILTER FABRIC UNDER THE GRATE OF ALL DITCH BOTTOM INLETS AFTER INITIAL COMPLETION OF THE DRAINAGE STRUCTURES. MAINTAIN THESE MEASURES DAILY (WHICH MAY INCLUDE FULL REPLACEMENT AT THE DISCRETION OF THE CONSTRUCTION MANAGER) TO MINIMIZE SILT ACCUMULATION IN THE STORM DRAINAGE SYSTEM.

29. TOP ELEVATION OF ALL CURB INLETS ARE SHOWN WHERE THE EDGE OF PAVEMENT ELEVATION MEETS THE THROAT APRON OF THE CURB INLET.

30. ALL PIPE CALL OUTS ARE MEASURED CENTER LINE TO CENTER LINE FOR MANHOLES AND INLETS AND FROM THE END OF THE PIPE FOR MITERED END SECTIONS.

31. ALL DRAINAGE PIPE JOINTS TO BE WRAPPED WITH FILTER FABRIC CLOTH PER FDOT PLAN 430-001.

32. ALL DRAINAGE STRUCTURES (EXISTING AND PROPOSED) SHALL REMAIN CLEAR OF SILT, SAND, AND DEBRIS. PRIOR TO FINAL CERTIFICATION BY THE EOR, THE CONTRACTOR SHALL SUBMIT INSPECTION OF THE STORMWATER CONVEYANCE SYSTEM FOR REVIEW.

8

SIGNING AND MARKING NOTES

1. ALL FINAL TRAFFIC PAVEMENT MARKINGS IN THE RIGHT-OF-WAY SHALL BE SOLID, REFLECTIVE, ALKYD THERMOPLASTIC 100 MILS IN THICKNESS IN ACCORDANCE WITH FDOT SPECIFICATIONS SECTION 701. ALL FINAL TRAFFIC PAVEMENT MARKINGS ON PRIVATE PROPERTY, EXCEPT PARKING STALLS, SHALL BE ALKYD THERMOPLASTIC. ALL TEMPORARY PAVEMENT MARKINGS SHALL BE PAINTED.

2. PARKING STALLS SHALL BE STRIPED WITH A 4" WHITE PAINT UNLESS OTHERWISE NOTED IN THESE PLANS. PARKING LOT AND DRIVEWAY STRIPING SHALL BE PAINTED IN TWO COATS OF LATEX PAINT APPLIED PER MANUFACTURER'S RECOMMENDATIONS. PAINT SHALL BE APPLIED IN TWO COATS, WITH THE SECOND COAT APPLIED 30 DAYS AFTER THE FIRST.

3. ALL PAVEMENT MARKINGS SHALL BE SLIP-RESISTANT PAINT.

4. SIGNING AND PAVEMENT MARKINGS ARE TO BE PLACED IN ACCORDANCE WITH MUTCD, FDOT ROADWAY AND TRAFFIC CONTROL STANDARDS, AND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND LOCAL GOVERNMENT STANDARDS.

5. REFLECTIVE PAVEMENT MARKERS (RPM) ARE NOT SHOWN BUT ARE REQUIRED ALONG ALL NEW STRIPING IN ACCORDANCE WITH FDOT PLAN 706-001.

6. PAVEMENT MARKINGS AT ALL EXISTING/PROPOSED INTERFACE LOCATIONS ARE TO MATCH IN TERMS OF ALIGNMENT AND COLOR.

7. ALL HANDICAP ACCESSIBLE PARKING SIGNS AND STRIPING SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS AND STATE CODE.

8. CAUTION SHOULD BE EXERCISED IN THE INSTALLATION OF POST MOUNTED SIGNS IN ORDER TO PREVENT POSSIBLE DAMAGE TO BURIED UTILITIES.

9. SIGN ASSEMBLY LOCATIONS SHOWN ON THE DRAWINGS WHICH ARE IN CONFLICT WITH LIGHTING, UTILITIES, DRIVEWAYS, WHEELCHAIR RAMPS, ETC., MAY BE ADJUSTED SLIGHTLY AS DIRECTED BY THE ENGINEER. EXTREME LOCATION CHANGES MUST BE APPROVED BY THE EOR AND OWNER.

10. ALL EXISTING SIGNS ARE TO REMAIN UNLESS OTHERWISE NOTED. ANY SIGNS TO REMAIN THAT ARE DAMAGED DURING THE CONSTRUCTION PROCESS SHALL BE REPLACED IN KIND AT THE CONTRACTOR'S EXPENSE.

11. ANY EXISTING PAVEMENT MARKINGS SCHEDULED TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT THEIR EXPENSE.

9

GENERAL UTILITY NOTES

1. ALL UTILITY WORK SHALL CONFORM TO AND SHALL BE INSTALLED, TESTED AND CLEARED FOR SERVICE IN ACCORDANCE WITH THE WORK SHALL ALSO CONFORM TO THE APPROVED PROJECT SPECIFICATIONS, LOCAL UTILITY SPECIFICATIONS, AND/OR FDEP PERMIT.

2. WHEN POSSIBLE, THE CONTRACTOR SHALL PLACE GATE VALVES OUTSIDE OF PAVEMENT.

3. PROTECT THE UTILITY SYSTEMS AT ALL TIMES DURING CONSTRUCTION. SHOULD A SYSTEM BECOME DAMAGED, ALTERED OR EXTENDED AFTER THE INITIAL TESTING, THE AFFECTED PORTION OF THE SYSTEM SHALL BE RESTORED AS NECESSARY AND RETESTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

4. ALL POTABLE WATER MAINS MUST BEAR "NS" "PM" LOGO.

5. UNDERGROUND FIRE LINES SHALL MEET NFPA 24 REQUIREMENTS.

6. ALL UNDERGROUND UTILITIES MUST BE INSTALLED, SURVEYED, AND AS-BUILTS APPROVED BEFORE THE ROADWAY BASE AND SURFACE ARE CONSTRUCTED.

7. ALL UNDERGROUND UTILITY PIPING SHALL HAVE A MINIMUM OF 3-FEET OF COVER UNLESS SHOWN OTHERWISE ON THE PLANS OR AS DIRECTED BY THE ENGINEER.

8. ALL RIGHT-OF-WAY INSTALLATIONS WILL BE IN ACCORDANCE WITH PRACTICES REFERENCED IN THE STATE OF FLORIDA UTILITIES ACCOMMODATION MANUAL.

9

GENERAL UTILITY NOTES (CONT.)

9. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITY FOR UTILITY LOCATE TICKETS, ELECTRICAL PERMITS OR OTHER PERMITS AS APPLICABLE. CONTRACTOR IS TO COORDINATE FULLY WITH LOCAL UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION. THE UTILITY COMPANIES LISTED IN THE TABLE BELOW SHALL BE CONTACTED BY THE CONTRACTOR AT LEAST 3 FULL WORK DAYS IN ADVANCE.

10. LOCATIONS OF ALL EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER OR ENGINEER ASSUMES NO RESPONSIBILITY FOR ACCURACY. PRIOR TO THE START OF CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE LOCAL UTILITY COMPANIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE UTILITY COMPANY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY. EXISTING UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED AS DIRECTED ON THE PLANS.

11. CONTRACTOR SHALL LOCATE AND VERIFY ALL HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.

12. ALL UTILITY LINES ARE TO BE CAPPED TEMPORARILY AT THEIR OPEN ENDS UNTIL CONNECTIONS ARE CONSTRUCTED.

13. ALL PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTED UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.

14. A 48-HOUR NOTICE WILL BE GIVEN TO THE ENGINEER OF RECORD AND LOCAL UTILITY INSPECTORS PRIOR TO TESTING ANY UTILITY SHOWN ON THESE PLANS.

15. UTILITY MAINS DESIGNATED TO BE OWNED AND MAINTAINED BY LOCAL UTILITY IN THE PLANS SHALL CONFORM TO THE FOLLOWING NOTES AND "ECUA ENGINEERING MANUAL 2016, UPDATE #1".

16. PROPOSED FIRE LINE PIPING FOR THE FIRE PROTECTION SYSTEM, INCLUDING BACKFLOW PREVENTER SHALL BE INSTALLED BY A CLASS I, II, OR V CONTRACTOR PER CHAPTER 633.102 F.S. THE UNDERGROUND FIRE RISER SHALL EXTEND TO 1'- FOOT ABOVE FINISH FLOOR (AFF) OR FINISH GRADE.

TESTING AND INSPECTION

17. CONTRACTOR TO TAKE BACTERIOLOGICAL SAMPLES AS INDICATED ON THE DRINKING WATER PERMIT OR AS DIRECTED BY THE PERMITTING AGENCY. SAMPLES SHALL BE TAKEN AT A MINIMUM OF 2 LOCATIONS ALONG THE WATER SYSTEM.

18. CONTRACTOR SHALL DISINFECT ALL SECTIONS OF THE WATER DISTRIBUTION SYSTEM AND RECEIVE APPROVAL THEREOF FROM THE PERMITTING AGENCY AND ENGINEER OF RECORD, PRIOR TO PLACING IN SERVICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE WATER PERMIT FROM THE OWNER AND MAINTAIN ON THE JOB SITE AT ALL TIMES. DISINFECTION OF THE WATER DISTRIBUTION SYSTEM SHALL BE PERFORMED IN ACCORDANCE WITH AWWA 651 "DISINFECTION WATER MAINS".

10

UTILITY - WATER SYSTEM NOTES

1. ALL WATER MAINS SHALL HAVE A MINIMUM OF 3-FEET OF COVER.

2. ALL WATER SYSTEM WORK SHALL CONFORM TO LOCAL REGULATORY STANDARDS AND SPECIFICATIONS.

3. CONFLICTS BETWEEN WATER AND STORM OR SANITARY SEWER SHALL BE RESOLVED BY ADJUSTING THE WATER LINES AS REQUIRED.

4. ALL DUCTILE IRON PIPE SHALL BE PRESSURE CLASS 350 IN ACCORDANCE WITH ANSI A 21.51 (AWWA C151) AND PIPE SHALL RECEIVE EXTERIOR BITUMINOUS COATING IN ACCORDANCE WITH ANSI A 21.51 (AWWA C151) AND SHALL BE CEMENT MORTAR LINED, STANDARD THICKNESS IN ACCORDANCE WITH ANSI A 21.4 (AWWA C104).

5. ALL FITTINGS 3-INCHES OR LARGER SHALL BE MECHANICAL JOINT, DUCTILE IRON PRESSURE CLASS 350 IN ACCORDANCE WITH ANSI A 21.10 AND A 21.11 (AWWA C110 AND AWWA C111 RESPECTIVELY). FITTINGS SHALL BE CEMENT MORTAR LINED AND BITUMINOUS COATED IN ACCORDANCE WITH AWWA C104 AND AWWA C151 RESPECTIVELY.

6. CONTRACTOR SHALL INSTALL TEMPORARY BLOW-OFFS AT THE END OF WATER SERVICE LATERALS TO ASSURE ADEQUATE FLUSHING AND DISINFECT ION.

7. ALL PVC WATER MAINS 4-INCHES THROUGH 12-INCHES SHALL BE IN ACCORDANCE WITH AWWA C900. PIPE SHALL BE CLASS 150 AND MEET THE REQUIREMENTS OF SDR 18-INCHES ACCORDANCE WITH ASTM D-2241.

8. WATER MAIN PIPING LARGER THAN 2-INCHES AND SMALLER THAN 4-INCHES SHALL BE PRESSURE CLASS 200 AND MEET THE REQUIREMENTS OF SDR 21 IN ACCORDANCE WITH ASTM D2241 UNLESS SPECIFIED OTHERWISE.

9. ALL PIPE AND FITTINGS 2-INCHES AND SMALLER SHALL BE SCHEDULE 40 PVC WITH SOLVENT WELDED SLEEVE TYPE JOINTS.

10. ALL GATE VALVES 2-INCHES OR LARGER SHALL BE RESILIENT SEAT OR RESILIENET WEDGE MEETING THE REQUIREMENTS OF AWWA C509.

11. ALL FIRE HYDRANTS SHALL MEET THE REQUIREMENTS OF AWWA C502 AND SHALL BE APPROVED BY THE LOCAL UTILITY AND FIRE MARSHAL.

12. MATERIALS AND CONSTRUCTION METHODS FOR WATER DISTRIBUTION SYSTEMS SHALL BE IN ACCORDANCE WITH ALL LOCAL REGULATORY PLANS, AND SPECIFICATIONS FOR CONSTRUCTION, LATEST REVISION THEREOF, AND SUPPLEMENTAL SPECIFICATIONS THERETO. APPROVAL AND CONSTRUCTION OF ALL POTABLE WATER SERVICE MAIN EXTENSIONS AND CONNECTIONS MUST BE COORDINATED THROUGH THE LOCAL REGULATORY AGENCY.

13. THE CONTRACTOR SHALL PROVIDE CERTIFIED UTILITY RECORD DRAWINGS, SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR. THE RECORD DRAWINGS SHALL SHOW THE LOCATIONS, DIMENSIONS AND ELEVATIONS OF ALL WATER MAINS, SERVICES, MANHOLES, GRAVITY WATER MAINS, SERVICE LATERALS, PUMP STATIONS, AND RESTRAINED JOINTS SHALL BE SHOWN ON THE RECORD DRAWINGS. THE CONTRACTOR SHALL PROVIDE TEN COPIES OF THE CERTIFIED RECORD DRAWINGS TO THE ENGINEER.

11

UTILITY - SEWER SYSTEM NOTES

1. ALL SANITARY SEWER MAINS AND LATERALS SHALL HAVE A MINIMUM OF 3-FEET OF COVER.

2. ALL SANITARY SEWER WORK SHALL CONFORM TO LOCAL REGULATORY STANDARDS AND SPECIFICATIONS.

3. PRIOR TO COMMENCING WORK WHICH REQUIRES CONNECTING NEW WORK TO EXISTING LINES OR APPURTENANCES, THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF EXISTING CONNECTION POINT AND NOTIFY ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.

4. SANITARY SEWER PIPES SHALL MEET THE FOLLOWING MINIMUM CRITERIA:

12" DEPTH

12' - 18" DEPTH SDR-26

18" DEPTH DIP

5. ALL SANITARY SEWER PIPELINES SHALL BE SOLID GREEN IN COLOR.

6. ALL PVC FORCE MAINS SHALL BE PRESSURE CLASS 200, SDR 21, COLOR GREEN, WITH A GREEN MAGNETIC TAPE A MINIMUM OF 2-INCHES WIDE PLACED 1-FOOT BELOW THE PROPOSED GRADE. THE PRINTING ON THE MAGNETIC TAPE SHALL READ "FORCE MAIN"

7. ALL DUCTILE IRON PIPE SHALL BE PRESSURE CLASS 350 IN ACCORDANCE WITH ANSI A 21.51-91 (AWWA C151) AND PIPE SHALL RECEIVE EXTERIOR BITUMINOUS COATING IN ACCORDANCE WITH ANSI A 21.51 (AWWA C151) AND SHALL BE CEMENT MORTAR LINED, STANDARD THICKNESS IN ACCORDANCE WITH ANSI A 21.4 (AWWA C104).

8. ALL SANITARY SEWER PIPING MAINS OR SANITARY SEWER FORCE MAINS THAT REQUIRE DIP ARE TO BE POLYLINED OR EPOXY LINED.

9. ALL SANITARY SEWER RIMS AND COVERS SHALL BE TRAFFIC RATED FOR H-20 LOADING.

10. CONTRACTOR SHALL PROVIDE CERTIFIED UTILITY RECORD DRAWINGS, SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR IN STATE PLANE COORDINATES NAD 1983. THE RECORD DRAWINGS SHALL SHOW FINAL GRADES AND LOCATIONS ON ALL SANITARY SEWER MAINS, STRUCTURES AND SERVICES. ALL RESTRAINED JOINTS SHALL BE SHOWN ON THE RECORD DRAWINGS. THE CONTRACTOR SHALL PROVIDE TEN COPIES OF THE CERTIFIED RECORD DRAWINGS TO THE ENGINEER.

11. THE SUBJECT PARCEL FALLS THE TRAVEL TIME CONTOURS OF PROTECTED (POTABLE) WELLHEAD. CONTRACTORS SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE AGENCIES: FDEP STATE WARNING POINT (1-800-320-0519); PEOPLE'S WATER SERVICE INC. (850-455-8552);AND THE ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH (850-595-6712).

REV. NO.

DESCRIPTION

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REV.NO.	DESCRIPTION	DATE
5	ECSAMBIA COUNTY PERMIT SUBMITTAL	6/29/2021
4	NWPWMD PERMIT EXEMPTION	6/28/2021
3	ECSAMBIA COUNTY PERMIT SUBMITTAL	6/25/2021
2	ECSAMBIA COUNTY PERMIT SUBMITTAL	6/11/2021
1	ECSAMBIA COUNTY PERMIT SUBMITTAL	5/6/2021
REVISIONS		

W. BRIAN WALKER REG. No. 69939

DATE: JUNE 29, 2021

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**MERAKI SOLAR, LLC**

21 N New Warrington Road  
Pensacola, FL 32506

[www.merakisolutions.com](http://www.merakisolutions.com)

## MERAKI SOLAR IMPROVEMENTS

### 21 N. NEW WARRINGTON ROAD

GENERAL

## LEGEND AND ABBREVIATIONS

PROJ. START DATE: 6/29/2021

MCE PROJ. # 08262-0001

DRAWN C.HAMBRIGHT

DESIGNED C.HAMBRIGHT

CHECKED B.HALSTEAD

PROJ. MGR. B.WALKER

SCALE

HORIZONTAL: AS SHOWN

VERTICAL: AS SHOWN

**G-002**

DRAWING NUMBER

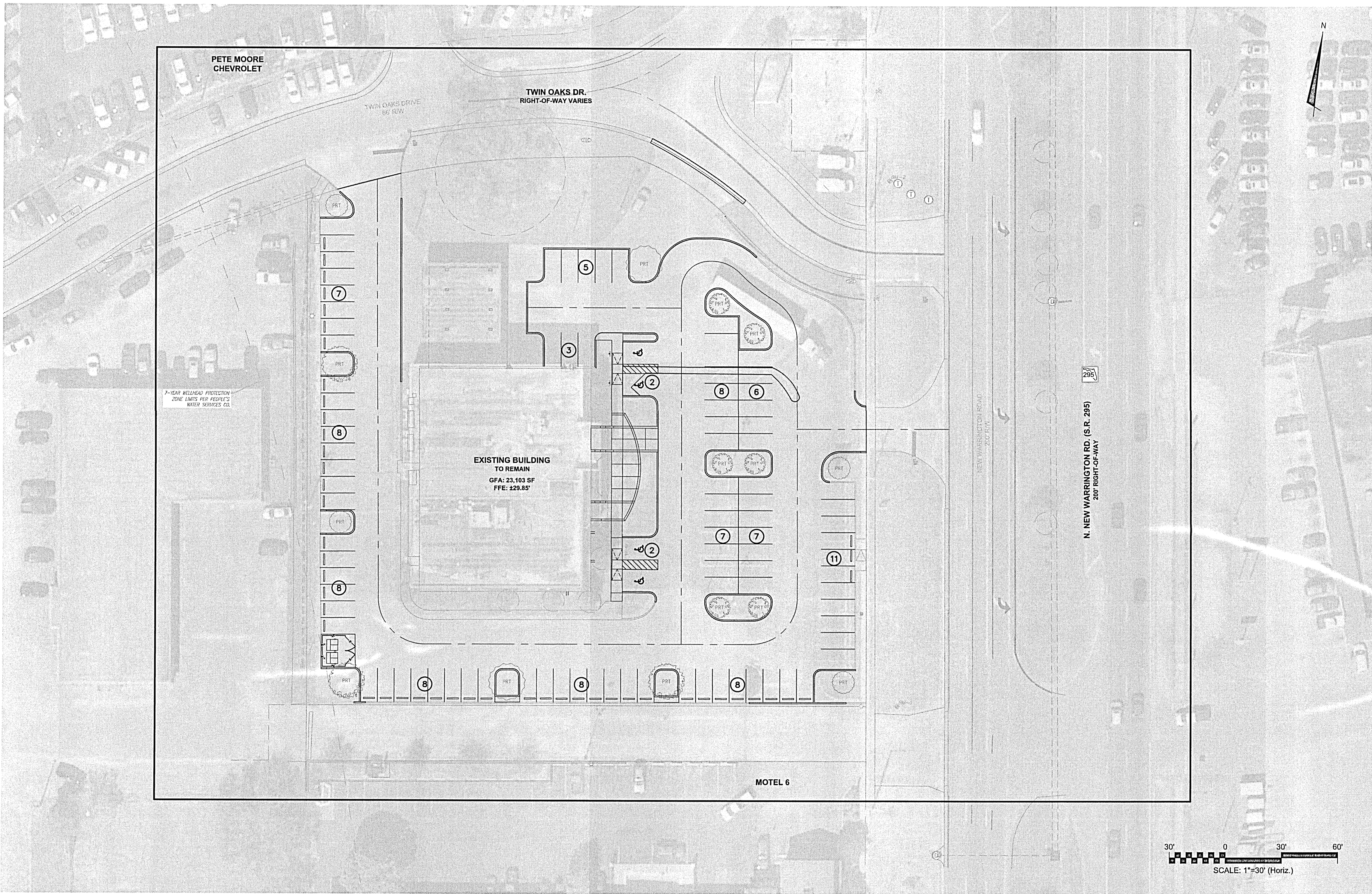
REVISION

STATUS:

**100% PLANS**

**PERMIT SUBMITTAL**





## 1 SITE DATA TABLE

**PROPERTY OWNER:** 21 N. NEW WARRINGTON, LLC  
**DEVELOPER:** MERAKI SOLAR, INC.  
**PROPERTY LOCATION:** 21 N. NEW WARRINGTON ROAD, PENSACOLA, FLORIDA 32506  
**PARCEL NUMBER:** 37-25-30-5002-0000-58 AND 37-25-30-5002-0020-58  
**LEGAL DESCRIPTION:** (SEE COVER SHEET FOR LEGAL DESCRIPTION)  
**PARCEL AREA:** 2.10 AC

**PROPERTY USE:**  
EXISTING LAND USE: VACANT - PROFESSIONAL SERVICE OFFICE

**ZONING**  
SITE: COMMERCIAL (COM)  
N: RIGHT-OF-WAY  
E: RIGHT-OF-WAY  
S: COMMERCIAL (COM)  
W: COMMERCIAL (COM)

**MAX IMPERVIOUS COVERAGE [LDC 3-2.10(d)(6)]**  
ALLOWED: 85%  
PROPOSED: SEE LOT COVERAGE TABLE

**FUTURE LAND USE**  
COMMERCIAL (COMM)

**BUILDING SETBACKS (COM) [LDC 3-2.10(d)(7)]**  
FRONT: 15'  
SIDE: 10'  
SIDE STREET: N/A  
REAR: 15'

### LANDSCAPE BUFFERS [DSM 2-2.3]

FRONT: N/A  
SIDE: N/A  
SIDE: N/A  
REAR: N/A

### VEHICULAR PARKING [DSM 3-1.2 (d)]

PROFESSIONAL SERVICE OFFICE: 3.5 SPACES/1000 GFA

NAME	UNITS	SPACES REQUIRED	SPACES PROVIDED
OFFICE	23,103 GFA	(23,103 /1000)*3.5=80.9=81	
TOTAL		81	99

### ACCESSIBLE PARKING

ACCESSIBLE SPACES REQUIRED PER TABLE 208.2  
IN THE ADA STANDARDS FOR ACCESSIBLE DESIGN MANUAL (VER 2010).

NAME	TOTAL SPACES PROVIDED	ACCESSIBLE SPACES REQUIRED	ACCESSIBLE SPACES PROVIDED
ADA SPACES	100	4	4

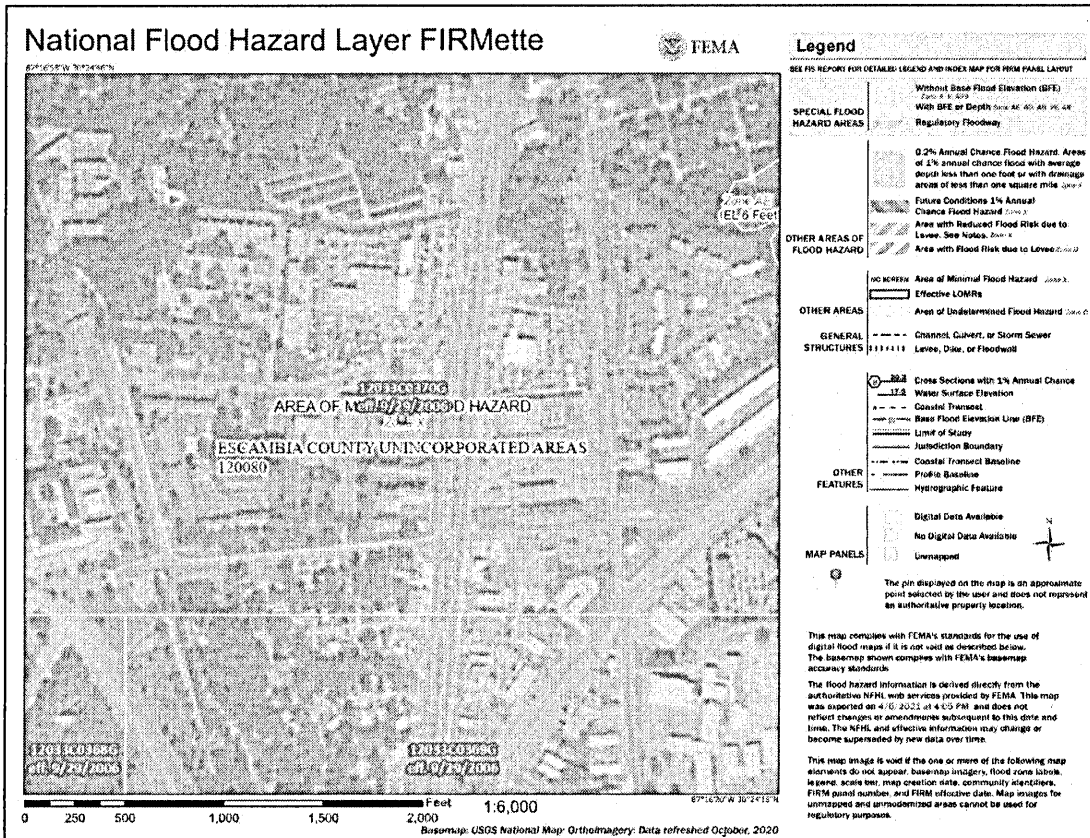
### LOT COVERAGE

COVERAGE TYPE	EXISTING (AC)	EXISTING (%)	PROPOSED (AC)	PROPOSED (%)
BLDG AREA	0.25	12.13%	0.25	12.13%
IMPERVIOUS	1.53	73.06%	1.38	65.83%
PERVIOUS	0.31	14.81%	0.46	22.05%
POND	0.00	0.00%	0.00	0.00%
OVERALL	2.10	100.00%	2.10	100.00%

## 2 FEMA FLOOD MAP

### FLOOD ZONE

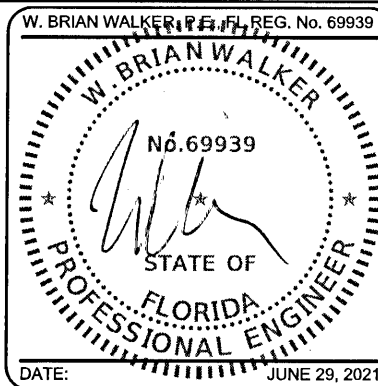
THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X. NO BFFS OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF THE CITY OF PENSACOLA, FLORIDA, COMMUNITY 20082, FIRM MAP PANEL NUMBERS 12033C0370G, MAP REVISION DATED OCTOBER, 2020.



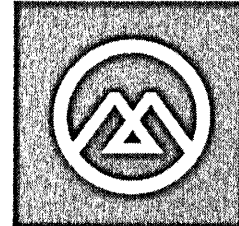
## 3 ESCAMBIA COUNTY NOTES

- THE PROJECT ENGINEER (ENGINEER OF RECORD) MUST PROVIDE ESCAMBIA COUNTY WITH THE SIGNED/SEALED "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
- ALL ASPECTS OF THE STORM DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS MUST BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
- NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR WILL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION PRIOR TO CONSTRUCTION AND MAINTENANCE/REPAIRS DURING CONSTRUCTION OF SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS AND EROSION ON THE SITE OF DEVELOPMENT. THE PROVISIONS AS SHOWN HEREON REPRESENT THE MINIMUM EROSION CONTROL MEASURES TO BE TAKEN. THE CONTRACTOR IS RESPONSIBLE FOR INCLUDING ANY ADDITIONAL ADDITIONAL MEASURES AS NECESSARY AT NO ADDITIONAL COST TO THE OWNER DURING CONSTRUCTION. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
- RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETED PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
- CONTRACTOR IS RESPONSIBLE FOR SODDING ALL AREAS INDICATED ON THE PLANS AND ALL OTHER EXISTING SODDED AREAS WHICH ARE DISTURBED AS A RESULT OF CONSTRUCTION ACTIVITIES. WHETHER SUCH AREAS AND OR ACTIVITIES ARE INDICATED ON THE PLANS OR NOT, ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED, AND/OR SOD.
- ALL SITE DRAINAGE INCLUDING NEW ROOF DRAINS, DOWN SPOUTS, OR GUTTERS MUST BE ROUTED TO CARRY ALL STORM WATER AWAY FROM BUILDINGS, WALKS AND PADS TO THE PROPOSED DRAINAGE SYSTEM.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH A SIGNED AND SEALED "AS-BUILT" SURVEY FOR THE ENGINEER'S USE IN PREPARING "AS-BUILT" CERTIFICATIONS AND RECORD DRAWINGS FOR THE OWNER. "AS-BUILT" INFORMATION MUST INCLUDE BUT NOT BE LIMITED TO: ROUTING OF ALL EXISTING AND PROPOSED UNDERGROUND UTILITIES WITH DISTANCES, TO/LOCATIONS OF LINES, BENDS, FITTINGS, STRUCTURES, AND OTHER APPURTENANCES MEASURED FROM AT LEAST TWO FIXED POINTS; TOP, BOTTOM, AND PIPE INVERT ELEVATIONS OF ALL STORM WATER AND SANITARY SEWER STRUCTURES, INCLUDING CLEANOUTS, RELATIVE TO FINISHED FLOOR; AND REVISIONS TO SITE LAYOUT DEPICTED IN THE PLANS.
- CONTRACTOR MUST MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET CONTROL STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS MUST BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
- OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION OF CONSTRUCTION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3472. "AS-BUILT" CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
- PRIOR TO CONSTRUCTION, A SEPERATE BUILDING INSPECTION DEPARTMENT PERMIT(S) SHALL BE OBTAINED FOR ALL RETAINING WALL HIGHER THAN 2-FEET.
- NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770.
- ANY DAMAGE TO EXISTING ROADS, CURBS, SIDEWALKS, PARKING LOTS OR OTHER IMPROVEMENTS DURING CONSTRUCTION MUST BE REPAIRED BY THE CONTRACTOR PRIOR TO FINAL "AS-BUILT" SIGN-OFF FROM THE COUNTY AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL NOTIFY FDOT 48-HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK WITHIN THE STATE RIGHT-OF-WAY.

REV. NO.	DESCRIPTION	DATE
5	ESCAMBIA COUNTY PERMIT SUBMITTAL	6/29/2021
4	NWFWMD PERMIT EXEMPTION	6/29/2021
3	ESCAMBIA COUNTY PERMIT SUBMITTAL	6/29/2021
2	ESCAMBIA COUNTY PERMIT SUBMITTAL	6/11/2021
1	ESCAMBIA COUNTY PERMIT SUBMITTAL	6/9/2021



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**MERAKI SOLAR IMPROVEMENTS**  
21 N. NEW WARRINGTON ROAD  
GENERAL  
OVERALL KEY PLAN

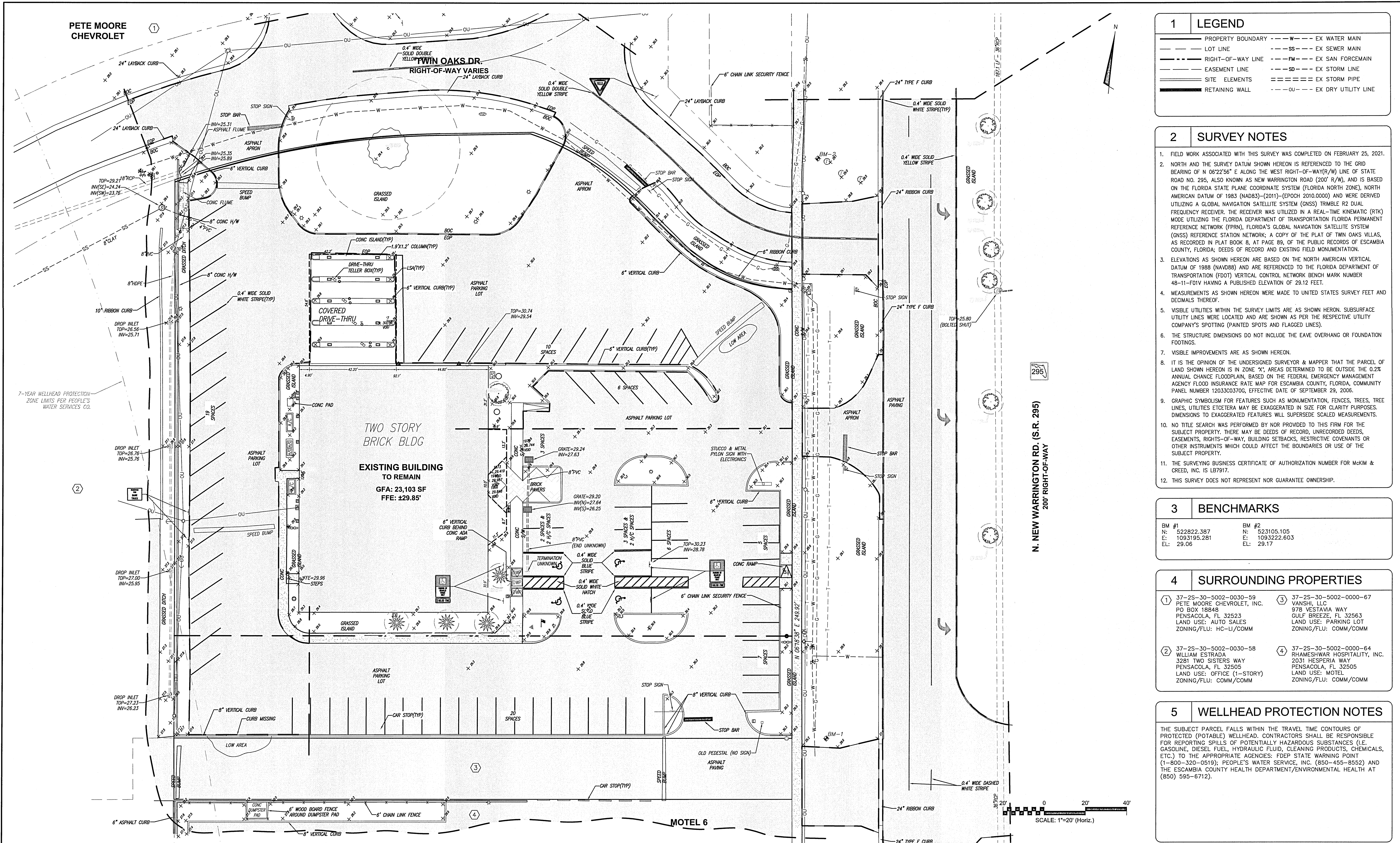
PROJ. START DATE: 6/29/2021  
MCE PROJ. # 08262-0001  
DRAWN C.HAMBRIGHT  
DESIGNED C.HAMBRIGHT  
CHECKED G.HALSTEAD  
PROJ. MGR. B.WALKER

SCALE  
HORIZONTAL: AS SHOWN  
VERTICAL: AS SHOWN

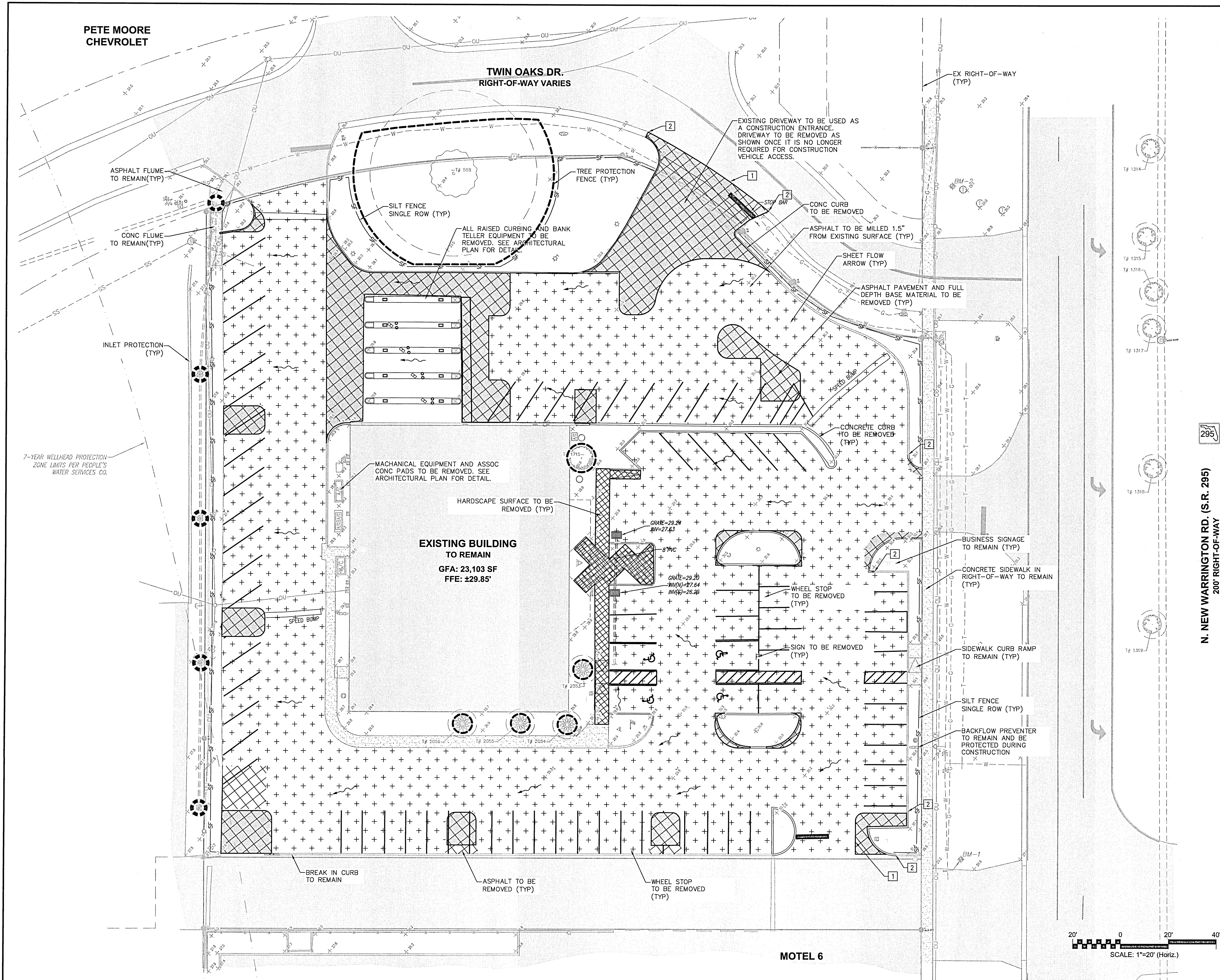
**G-010**  
DRAWING NUMBER  
REVISION

STATUS: 100% PLANS  
PERMIT SUBMITTAL









1	LEGEND
—	PROPERTY BOUNDARY
—	SITE ELEMENTS TO REMAIN
—	SITE ELEMENTS TO BE REMOVED
---	SAWCUT LINE
SF—SF—	SILT FENCE SINGLE ROW
⊙	INLET PROTECTION
⊙	SIGN TO BE REMOVED/RELOCATED
⊙	TREE TO BE PROTECTED
⊙	TREE TO BE REMOVED
□	EX BUILDING TO REMAIN
▨	PAVEMENT TO BE REMOVED
▨	FULL DEPTH PVTM SECTION REMOVED
+	ASPHALT TO BE MILLED AS NOTED
▨	HARDSCAPES TO BE REMOVED

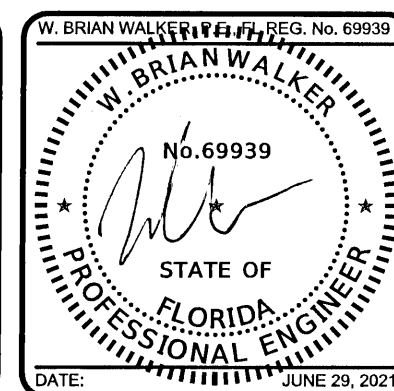
2	KEYNOTES
1	SAW CUT PAVEMENT PRIOR TO REMOVAL FOR SMOOTH TRANSITION
2	SAW CUT AND REMOVE EXISTING CONC CURB
3	EX SIGN TO BE REMOVED AND SALVAGED FOR RELOCATION
4	PROVIDE SEDIMENT FILTER TO PROTECT EX DRAINAGE INLET

3	DEMOLITION NOTES
1.	NO WORK WITHIN THE RIGHT-OF-WAY IS AUTHORIZED UNTIL A RIGHT-OF-WAY PERMIT IS OBTAINED.
2.	DEMOLITION AREAS SHOWN ON THIS PLAN ARE NOT PHASED, BUT SHOWN IN THEIR ENTIRETY.
3.	FULL DEPTH PAVEMENT SECTION REMOVAL INCLUDES ANY ASSOCIATED ASPHALT OR CONCRETE PAVEMENT, BASE MATERIAL, AND COMPACTED SUBGRADE TO A DEPTH TO REACH OF NATURAL SOIL.
4.	ALL UNSUITABLE MATERIALS, INCLUDING ORGANICS AND MUCK, MUST BE EXCAVATED AND REMOVED FROM THE SITE AND REPLACED WITH CLEAN SAND PRIOR TO GRADING THE SITE.
5.	THE EXISTING STORMWATER POND CANNOT BE FILLED UNTIL THE PROPOSED STORMWATER POND IS COMPLETED AND ACCEPTED BY THE AHJ. THE REQUIRED TREATMENT VOLUME MUST BE MAINTAINED AT ALL TIMES.

4	EROSION CONTROL NOTES
1.	SEE SHEET G-001 FOR ADDITIONAL NOTES RELATED TO EROSION CONTROL MEASURES ASSOCIATED WITH THIS PLAN.
2.	THE CONTRACTOR SHALL PROVIDE EROSION CONTROL FOR ALL EXISTING DRAINAGE STRUCTURES TO REMAIN UNLESS OTHERWISE NOTED.
3.	CONTRACTOR SHALL TAKE DUE CARE WHEN INSTALLING SILT FENCE ACROSS EXISTING UNDERGROUND UTILITIES.
4.	CONTRACTOR MAY ADJUST SILT FENCE LOCATIONS WITHIN INDICATED LIMITS OF CONSTRUCTION AS NEEDED TO PERFORM WORK.
5.	A TURBIDITY CONTROL PLAN/MEANS AND METHODS PLAN SHALL BE SUBMITTED BY THE CONTRACTOR IN ADDITION TO THE SWPPP PLAN FOR REVIEW AND APPROVAL BY FDEP PRIOR TO COMMENCEMENT OF CONSTRUCTION.
6.	EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIRED. CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY. ADDITIONAL TURBIDITY BARRIERS AND EROSION CONTROL MEASURES MAY BE REQUIRED AT THE DISCRETION OF THE AHJ.
7.	IN DISTURBED AREAS, INSTALL SILT FENCE ALONG PERIMETER PRIOR TO COMMENCEMENT OF DEMOLITION.
8.	ALL DISTURBED AREAS SHALL BE STABILIZED WITH ARGENTINE BAHIA GRASS UNLESS SPECIFIED OTHERWISE.
9.	DEMOLISHED SITE WILL REQUIRE STABILIZATION WITHIN 7 DAYS OF COMPLETION.
10.	ANY FILL REMOVED FOR UNDERGROUND UTILITY CONSTRUCTION WILL BE PLACED ON PLASTIC AND COVERED TO PREVENT WASHOUT DURING RAIN EVENTS.


5	TREE REMOVAL SCHEDULE						
TREE #	SPECIES	PROTECTED	CANOPY	DIAMETER	REMOVE	MITIGATION	STATUS
568	OAK	YES	70'	42"	---	---	
1314	CAPE MYRTLE	YES	12'		---	---	OFFSITE - 6x 4" CLUSTER
1315	CAPE MYRTLE	YES	12'		---	---	OFFSITE - 6x 4" CLUSTER
1316	CAPE MYRTLE	YES	12'		---	---	OFFSITE - 6x 4" CLUSTER
1317	CAPE MYRTLE	YES	12'		---	---	OFFSITE - 6x 4" CLUSTER
1318	CAPE MYRTLE	YES	12'		---	---	OFFSITE - 6x 4" CLUSTER
1319	CAPE MYRTLE	YES	12'		---	---	OFFSITE - 6x 4" CLUSTER
1715	MAGNOLIA	YES	12'	6"	---	---	
2053	HOLLY	YES	12'	4"	---	---	
				4"	---	---	
2054	HOLLY		12'	4"	---	---	
				4"	---	---	
2055	HOLLY	YES	12'	4"	---	---	
				4"	---	---	
2056	HOLLY	YES	12'	4"	---	---	
				4"	---	---	
			SUM	80"	0"	0"	

REV. NO.	DESCRIPTION	DATE
1	ECSAMBIA COUNTY PERMIT SUBMITTAL	6/29/2021
2	NWFWMD PERMIT EXEMPTION	6/29/2021
3	ECSAMBIA COUNTY PERMIT SUBMITTAL	6/29/2021
4	ECSAMBIA COUNTY PERMIT SUBMITTAL	6/17/2021
5	ECSAMBIA COUNTY PERMIT SUBMITTAL	6/29/2021



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CIVIL

**DEMOLITION AND EROSION CONTROL PLAN**

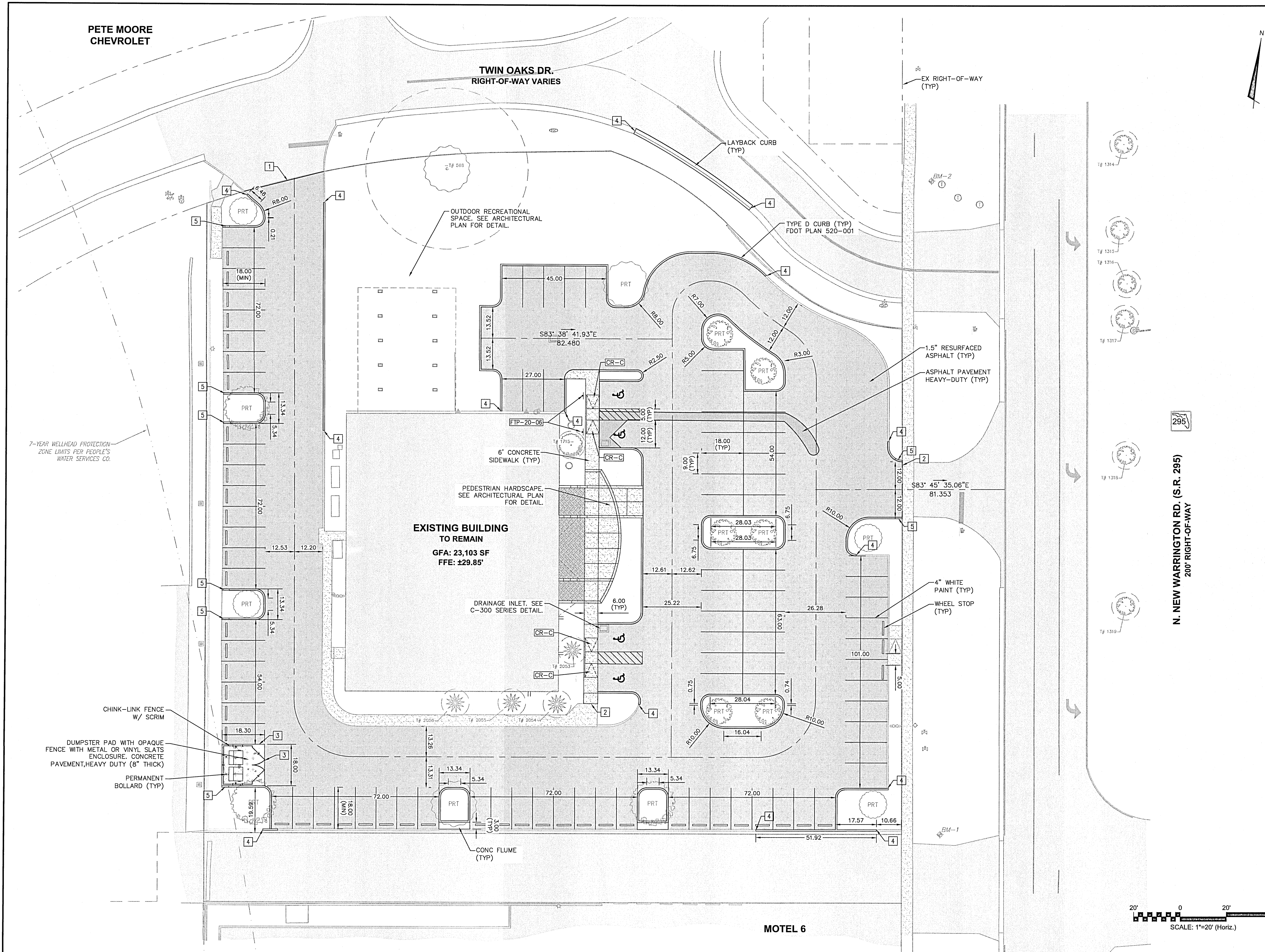
PROJ. START DATE: 6/29/2021  
MCE PROJ. # 08262-0001  
DRAWN C.HAMBRIGHT  
DESIGNED C.HAMBRIGHT  
CHECKED G.HALSTEAD  
PROJ. MGR. B.WALKER

SCALE  
HORIZONTAL: AS SHOWN  
VERTICAL: AS SHOWN

**C-101**  
DRAWING NUMBER  
REVISION

STATUS: 100% PLANS  
PERMIT SUBMITTAL





1

LEGEND

PROPERTY BOUNDARY

LIMITS OF WORK

EASEMENT LINE

SITE ELEMENTS

RETAINING WALL

TREE LINE

WOOD FENCE

CHAIN-LINK FENCE

SCREENWALL

PROPOSED BUILDING/RETAINING WALL

ASPHALT PAVEMENT LIGHT-DUTY

ASPHALT PAVEMENT HEAVY-DUTY

ASPHALT PAVEMENT RESURFACED

CONCRETE PAVERS

PEDESTRIAN HARDSCAPE

12 PARKING COUNTS

VEHICULAR SIGNAGE

WHEEL STOP

PERMANENT BOLLARD

LIGHT POLE

LIGHTED BOLLARD

2

KEYNOTES

1

CONNECT TO EXISTING ASPHALT PAVEMENT

R1-1

STOP

30"x30"

2

CONNECT TO EXISTING HARDSCAPE PAVEMENT

R3-5R

ONLY

30"x24"

3

ASPHALT TO CONCRETE EDGE CONNECTION

R5-1

DO NOT ENTER

30"x30"

4

TIE INTO EXISTING CONCRETE CURB

FTP-20-06

18"x12"

5

3' CURB TRANSITION

FTP-22-06

6"x12"

6

3' CURB TRANSITION: TYPE F TO TYPE D

CR-C

CURB RAMP TYPE CR-C

FDOT PLAN 522-002

7

3' CURB TRANSITION: TYPE D TO RIBBON CURB

CR-D

CURB RAMP TYPE CR-D

FDOT PLAN 522-002

8

3' CURB TRANSITION: TYPE F TO RIBBON CURB

CR-E

CURB RAMP TYPE CR-E

FDOT PLAN 522-002

CR-G

CURB RAMP TYPE CR-G

FDOT PLAN 522-002

3

SITE NOTES

1. DIMENSIONS ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

2. ALL RADII ARE 4' UNLESS NOTED OTHERWISE.

3. CURB ON HIGH SIDE OF ROADWAYS SHALL BE A "SPILL" CURB WITH CROSS SLOPE OF GUTTER MATCHING THE SLOPE OF THE ADJACENT PAVEMENT PER FDOT PLAN 520-001.

4. PAVEMENT MARKINGS NOT SHOWN FOR CLARITY. SEE SHEET SIGNING AND MARKING PLAN SERIES FOR SIGNAGE, STRIPING AND PAVEMENT MARKINGS.

5. SIGNS, STORM INLETS, AT-GRADE UTILITIES, LIGHT POLES, AND TREES THAT MAY AFFECT THE SITE DESIGN ARE SHOWN ON THIS PLAN FOR REFERENCE. SEE THE RESPECTIVE DRAWING PLAN SERIES FOR DETAIL.

4. SEE THE DETAIL FOR PLACEMENT OF MARKERS AND POSTS ALONG THE FIRE LANE PATH. FIRE LANE MARKERS OR POSTS SHALL BE PLACED NO GREATER THEN 50' O.C. IN NON-PAVEMENT AREAS.

5. THIS SITE PLAN ILLUSTRATES THE LAYOUT AND DETAILS THROUGH THE BACK OF CURB AND CURB RAMPS. SEE THE AREA DEVELOPMENT PLANS FOR DETAIL BEYOND THESE LOCATIONS.

6. SEE AREA DEVELOPMENT PLANS FOR CONCRETE TYPES AND SPACING IN PEDESTRIAN AREAS; DETAILS FOR DETECTABLE WARNING SURFACE MATERIAL AND COLOR ADJACENT TO PEDESTRIAN CROSSWALKS; AND PLANTING DETAILS.

7. SEE THE ELECTRICAL PLAN FOR LIGHTING AND ELECTRICAL UTILITY DETAIL. SEE THE STRUCTURAL PLAN FOR WALL AND FOUNDATION DETAIL.

REV. NO.	DESCRIPTION	DATE
5	ECSAMBIA COUNTY PERMIT SUBMITTAL	6/29/2021
4	NNFWMG PERMIT EXEMPTION	6/29/2021
3	ECSAMBIA COUNTY PERMIT SUBMITTAL	6/29/2021
2	ECSAMBIA COUNTY PERMIT SUBMITTAL	6/10/2021
1	ECSAMBIA COUNTY PERMIT SUBMITTAL	5/6/2021

REVISIONS

W. BRIAN WALKER, P.E. REG. NO. 69939

W. BRIAN WALKER

No. 69939

STATE OF FLORIDA

PROFESSIONAL ENGINEER

DATE: JUNE 29, 2021

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CIVIL

SITE LOCATION PLAN

PROJ. START DATE: 6/29/2021

MCE PROJ. # 08262-0001

DRAWN C.HAMBRIGHT

DESIGNED C.HAMBRIGHT

CHECKED G.HALSTEAD

PROJ. MGR. B.WALKER

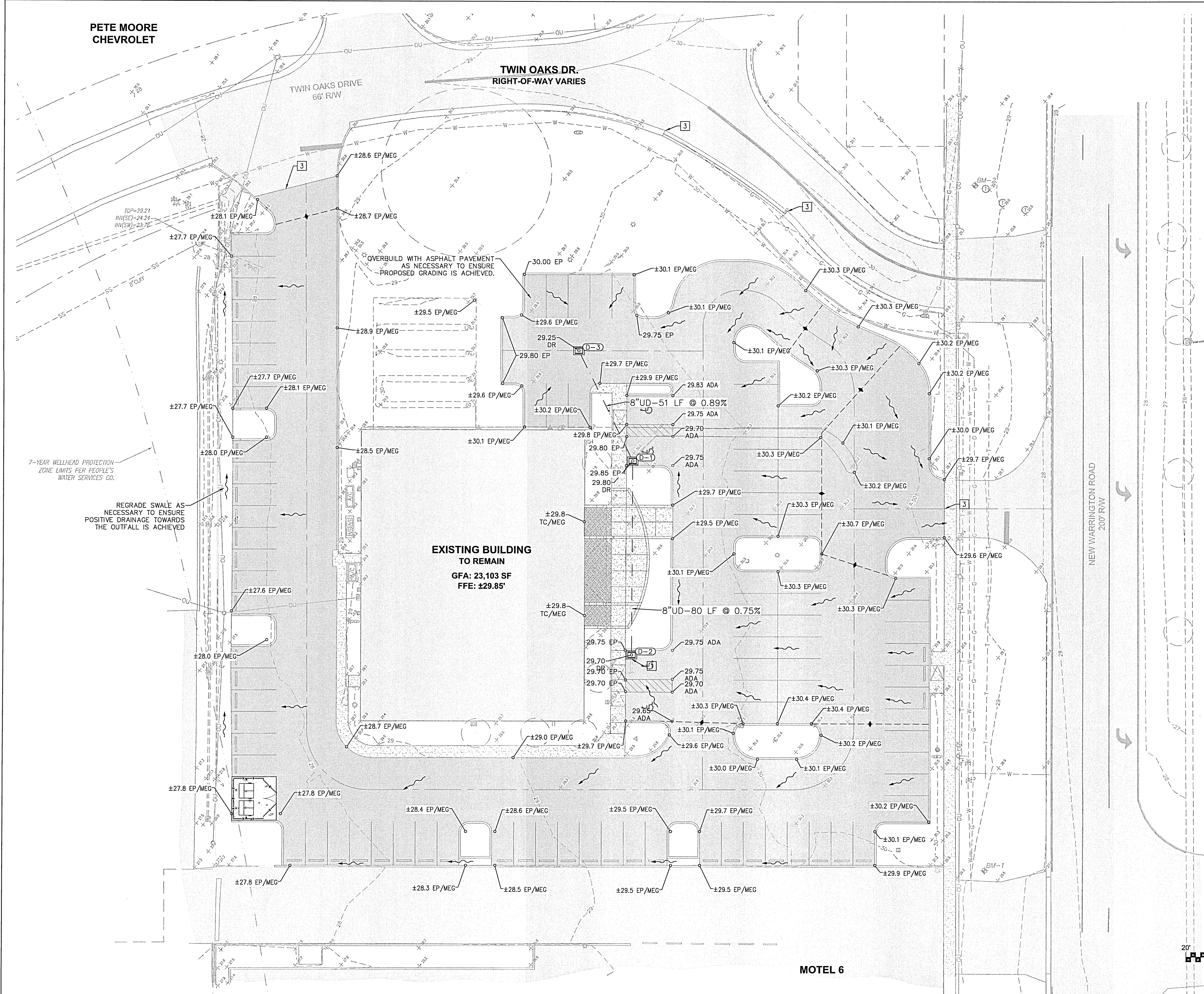
SCALE HORIZONTAL: AS SHOWN VERTICAL: AS SHOWN

C-201 DRAWING NUMBER

REVISION

STATUS: 100% PLANS PERMIT SUBMITTAL





1	LEGEND
	PROPERTY BOUNDARY
	LIMITS OF WORK
	EASEMENT LINE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	GRADE BREAK LINE
	GRADE BREAK LINE HIGH POINT
	GRADE BREAK LINE LOW POINT
	DITCH TOP OF BANK
	DITCH TOE OF SLOPE
	DITCH CENTERLINE
	EX. AREA DRAIN PIPE
	EX. STORM PIPE
	AREA DRAIN PIPE
	STORM PIPE
	UNDER DRAIN PIPE
	SURFACE FLOW ARROW
	SURFACE FLOW GRADE
	SIDE SLOPE GRADE
	CURB INLETS
	DITCH BOTTOM INLET
	STORM MANHOLE
	MITERED END SECTION
	EX. STORM STRUCTURE LABEL
	STORM STRUCTURE LABEL
	CLEANOUT LABEL
	EXISTING BUILDING
	BANK & SHORE RIP RAP FDOT SECTION 530
	DITCH LINING RIP RAP FDOT SECTION 530

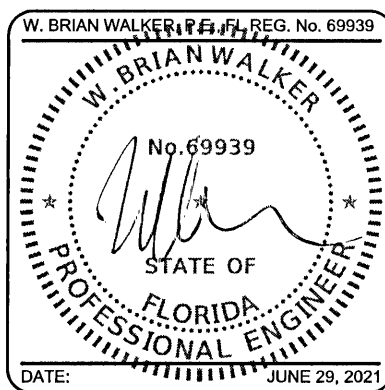
2	KEYNOTES
	CONNECT TO EXISTING PIPE
	CONNECT TO EX. PIPE USING DISSIMILAR PIPE CONNECTION COLLAR
3	MATCH EX. PAVEMENT GRADE
4	MATCH PROPOSED GRADE

3	GRADING AND DRAINAGE NOTES
	1. EX. DRAINAGE STRUCTURES (INLETS, MANHOLES, ETC.) INVERTS AND TOP ELEVATIONS SHOULD BE FIELD VERIFIED PRIOR TO START OF CONSTRUCTION.
	2. ALL EX. DRAINAGE STRUCTURES TO REMAIN SHALL REMAIN CLEAR OF SILT, SAND, AND DEBRIS BEFORE FINAL ACCEPTANCE.
	3. ALL UTILITIES SHOWN ON THIS PLAN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF EX. UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND NOTIFY THE ENGINEER OF A POTENTIAL CONFLICTS.
	4. PRIOR TO FINAL CERTIFICATION BY THE ENGINEER OF RECORD, THE CONTRACTOR SHALL SUBMIT INSPECTION VIDEO OF THE STORMWATER SYSTEM FOR REVIEW.

DRAINAGE STRUCTURE TABLE				
STRUCTURE NAME	STRUCTURE DESCRIPTION	NORTHING EASTING	RIM/GRATE ELEVATION	PIPE INVERT
D-1	TYPE C INLET FDOT PLAN 425-052	N: 523006.89 E: 1093070.06	29.80	INV IN=26.80 N 8" UD INV OUT=26.80 S 8" UD
D-2	TYPE C INLET FDOT PLAN 425-052	N: 522926.95 E: 1093060.88	29.70	INV IN=26.20 N 8" UD
D-3	TYPE C INLET FDOT PLAN 425-052	N: 523054.68 E: 1093053.27	29.25	INV OUT=27.25 S 8" UD

REV. NO.	DESCRIPTION	DATE
5	EC SAMBIA COUNTY PERMIT SUBMITTAL	6/29/2021
4	NW FMD PERMIT EXEMPTION	6/29/2021
3	EC SAMBIA COUNTY PERMIT SUBMITTAL	6/29/2021
2	EC SAMBIA COUNTY PERMIT SUBMITTAL	6/11/2021
1	EC SAMBIA COUNTY PERMIT SUBMITTAL	5/6/2021

REVISIONS	



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**21 N. NEW WARRINGTON ROAD**

CIVIL

**GRADING AND DRAINAGE PLAN**

PROJ. START DATE: 6/29/2021

MCE PROJ. #: 08262-0001

DRAWN: C.HAMBRIGHT

DESIGNED: C.HAMBRIGHT

CHECKED: G.HALSTEAD

PROJ. MGR.: B.WALKER

SCALE

HORIZONTAL: AS SHOWN

VERTICAL: AS SHOWN

**C-301**

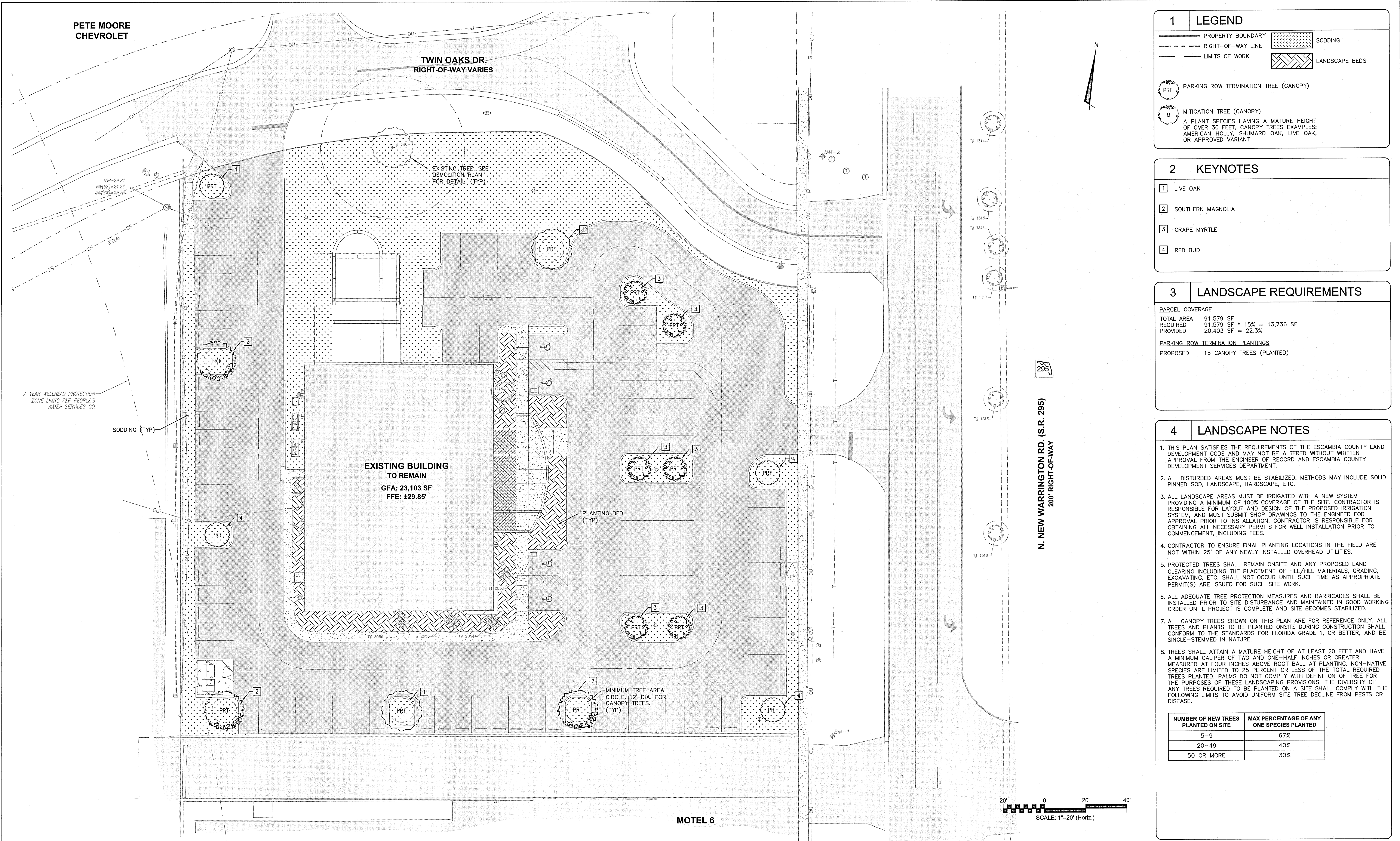
DRAWING NUMBER

REVISION

STATUS: 100% PLANS

**PERMIT SUBMITTAL**





REV. NO.	DESCRIPTION	DATE
5	ECSCAMBIA COUNTY PERMIT SUBMITTAL	6/28/2021
4	WARRINGTON PERMIT SUBMITTAL	6/28/2021
3	ECSCAMBIA COUNTY PERMIT SUBMITTAL	6/25/2021
2	ECSCAMBIA COUNTY PERMIT SUBMITTAL	6/11/2021
1	ECSCAMBIA COUNTY PERMIT SUBMITTAL	5/6/2021

W. BRIAN WALKER, P.E., REG. No. 69939

No. 69939

FLORIDA PROFESSIONAL ENGINEER

DATE: JUNE 29, 2021

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CIVIL

**CIVIL LANDSCAPE PLAN**

PROJ. START DATE: 6/29/2021

MCE PROJ. # 08262-0001

DRAWN C.HAMBRIGHT

DESIGNED C.HAMBRIGHT

CHECKED G.HALSTEAD

PROJ. MGR. B.WALKER

SCALE: HORIZONTAL: AS SHOWN VERTICAL: AS SHOWN

STATUS: 100% PLANS PERMIT SUBMITTAL

**C-801**

DRAWING NUMBER

REVISION



N.T.S.

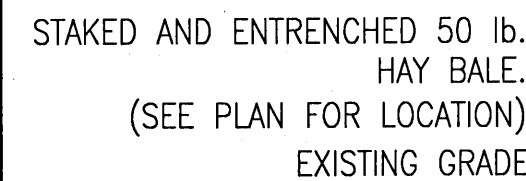


N.T.S.



NOTE:  
SYNTHETIC BALES OR SEDIMENT LOG WILL BE PLACED AT COMMENCEMENT OF CONSTRUCTION OR IMMEDIATELY AFTER INLET INSTALLATION AND MAINTAINED THROUGHOUT PROJECT COMPLETION AND STABILIZATION.

N.T.S.



BALES WILL BE PLACED IN A SINGLE ROW, LENGTHWISE ON THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING EACH OTHER. ALL BALES WILL BE EITHER WIRE-BOUND OR STRING-TIED. THE BARRIER WILL BE ENTRENCHED AND BACKFILLED. THE FIRST STAKE IN EACH BALE WILL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE TO FORCE THE BALES TOGETHER. THE GAPS BETWEEN BALES MUST BE CHINKED (FILLED BY WEDGING) WITH STRAW.

N.T.S.



**NOTES:**

1. CONSTRUCTION ENTRANCES PROVIDE AN AREA WHERE MUD CAN BE REMOVED FROM VEHICLE TIRES BEFORE THEY LEAVE THE CONSTRUCTION SITE. THE MOTION OF THE VEHICLE AS IT MOVES OVER THE GRAVEL CONSTRUCTION MATERIAL DISLODGES CAKED MUD.
2. IF THE ACTION OF THE VEHICLE ON THE GRAVEL PAD IS NOT SUFFICIENT TO DISLODGE MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLE LEAVES THE SITE.
3. UTILIZE GRAVEL, 2"-3" (MIN.) IN DIAMETER. GRAVEL LAYER SHOULD BE AT LEAST 6" THICK. THE PAD SHOULD BE AT LEAST 50' LONG. WIDTH SHOULD BE APPROPRIATE TO VEHICLE SIZE.

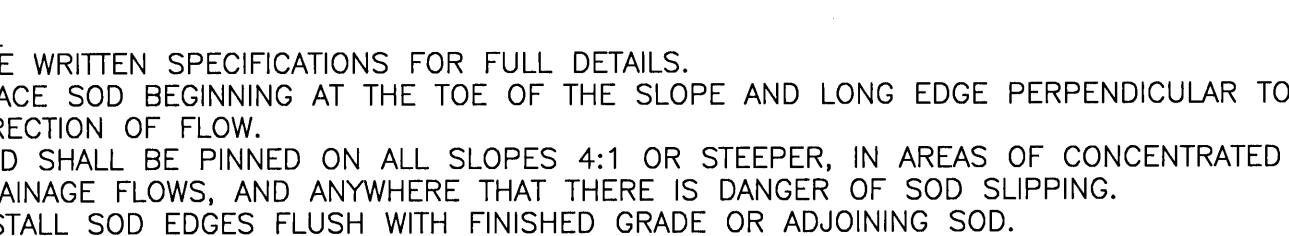
N.T.S



**NOTES:**

1. FOR TEMPORARY USE DURING CONSTRUCTION. BARRICADE SHALL BE PLACED PRIOR TO ANY LAND DISTURBANCE.
2. TREE BARRICADE SHALL BE PLACED AT THE CRITICAL ROOT ZONE BOUNDARY (1-FOOT RADIUS PER 1-INCH OF TREE DBH).
3. NONE OF THE FOLLOWING ACTIVITIES SHALL OCCUR WITHIN THE TREE PROTECTION BARRICADE: DRIVING, PARKING, STORING MATERIALS, DUMPING WASTE, CONCRETE WASHOUT, ADDING FILL SOIL, TRENCHING, REMOVING SOIL OR GRUBBING.

N.T.S.



## REVISIONS



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## DETAILS

## EROSION CONTROL DETAILS

STATUS:

HORIZONTAL:  
AS SHOWN  
VERTICAL:  
AS SHOWN

DRAWING NUMBER

—

REVISION

## % PLANS

**SUBMITTAL**

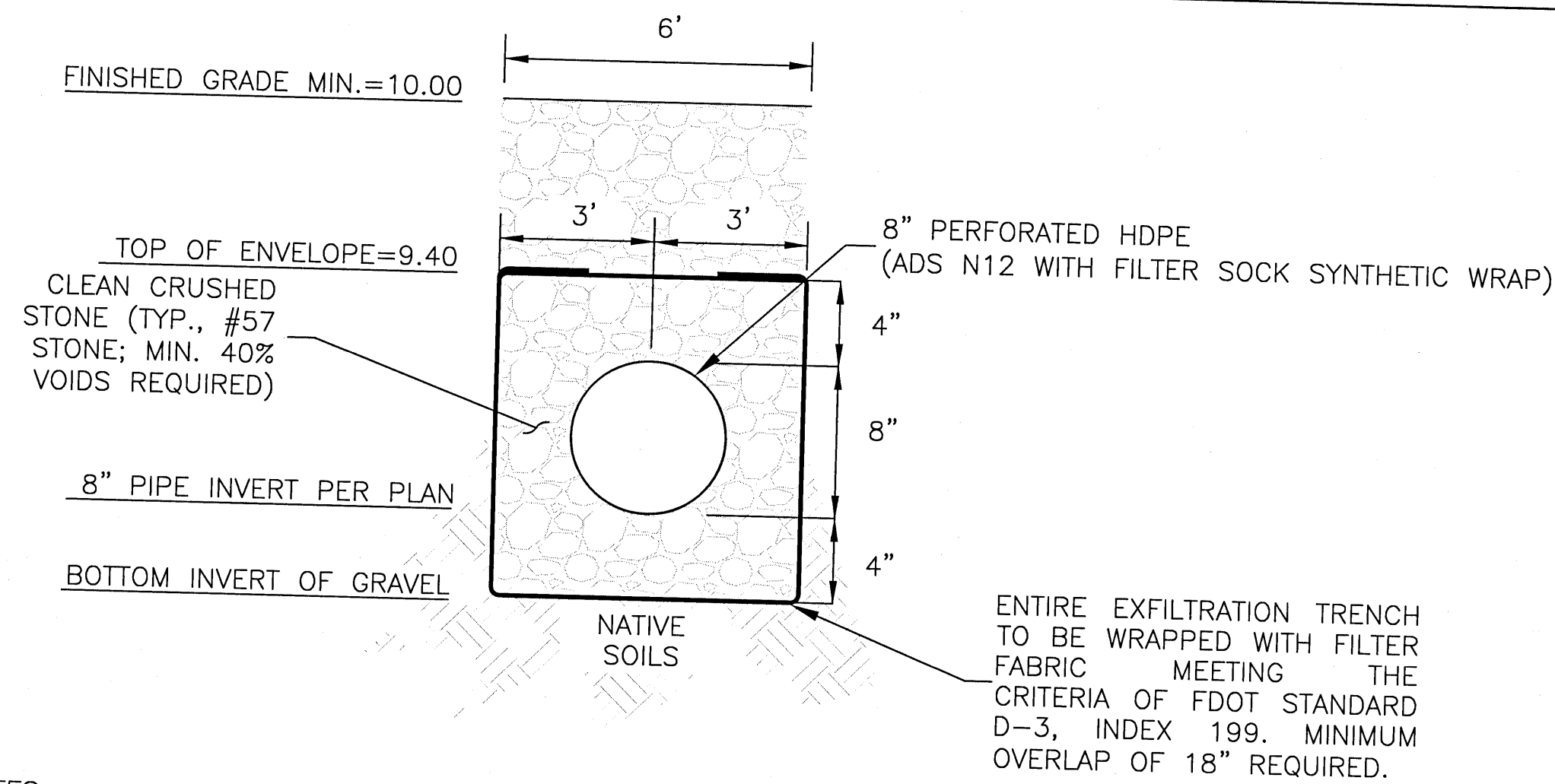






1 UNDERDRAIN SECTION

N.T.S.

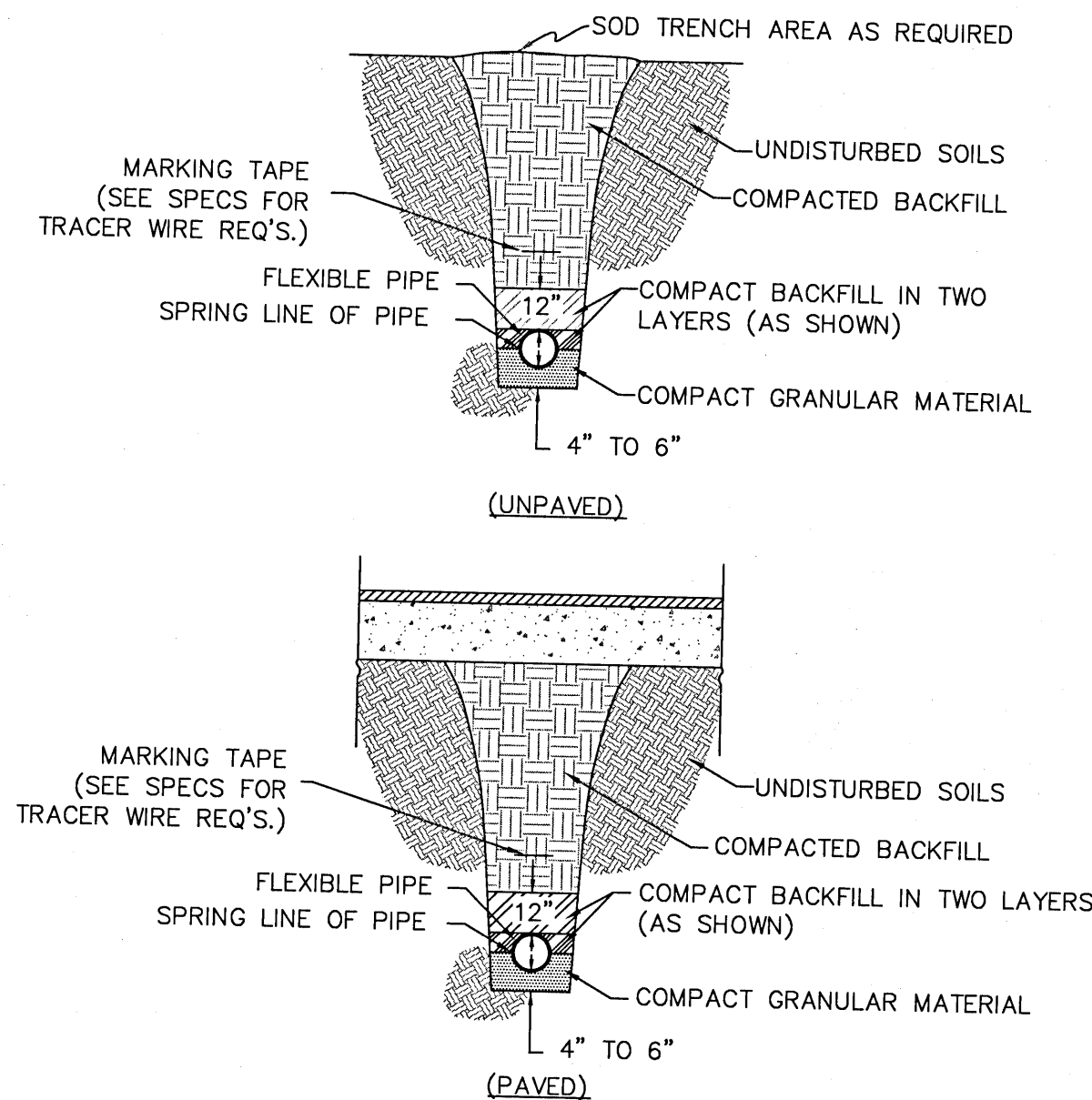


NOTES:

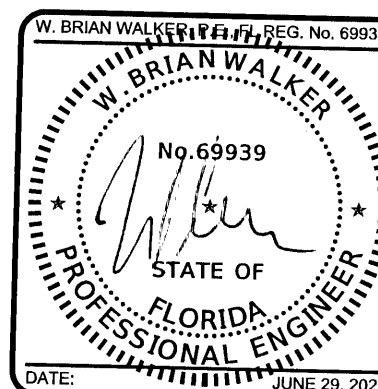
1. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION OF EACH RUN OF PIPE.
2. ONLY PIPE WITHIN TRENCH RUNS TO BE PERFORATED. ALL OTHER PIPE, CONNECTIONS, ETC. TO BE NON-PERFORATED.
3. COVER ENTIRE TRENCH AREA WITH FILTER FABRIC PRIOR TO BACKFILLING.
4. CONTRACTOR SHALL SUBMIT DOCUMENTATION THAT THE PROPOSED STONE BACKFILL MEETS THE REQUIREMENTS OF FDOT STANDARD SPECIFICATION SECTION 901, INCLUDING THE GRADATION REQUIREMENTS OUTLINED IN SECTION 901-1.4.

2 TYPICAL PIPE BEDDING

N.T.S.

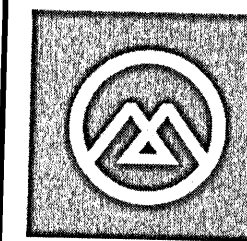


REV. NO.	DESCRIPTION	DATE
5	ECSAMBIA COUNTY PERMIT SUBMITTAL	6/29/2021
4	NWFWMD PERMIT EXEMPTION	6/28/2021
3	ECSAMBIA COUNTY PERMIT SUBMITTAL	6/25/2021
2	ECSAMBIA COUNTY PERMIT SUBMITTAL	6/11/2021
1	ECSAMBIA COUNTY PERMIT SUBMITTAL	5/6/2021
REVISIONS		



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**MERAKI SOLAR IMPROVEMENTS**  
**21 N. NEW WARRINGTON ROAD**  
DETAILS  
**DRAINAGE DETAILS**

PROJ. START DATE:	6/29/2021
MCE PROJ. #	08262-0001
DRAWN	C.HAMBRIGHT
DESIGNED	C.HAMBRIGHT
CHECKED	G.HALSTEAD
PROJ. MGR.	B.WALKER

SCALE	AS SHOWN
HORIZONTAL:	AS SHOWN
VERTICAL:	AS SHOWN

**C-930**  
DRAWING NUMBER  
REVISION

STATUS: 100% PLANS  
PERMIT SUBMITTAL