

GENERAL NOTES:

- CONTRACTOR IS REQUIRED TO VISIT SITE AND FAMILIARIZE HIM/HERSELF WITH THE PROJECT PRIOR TO BIDDING.
- THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL AND STATE REGULATIONS CONCERNING NOTIFICATION TO THE REGULATORY AUTHORITIES OF ANY AND ALL BUILDING RENOVATIONS AND/OR DEMOLITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MONITORING AND NOTIFYING THE ENGINEER OF RECORD AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND CONCLUSION OF CONSTRUCTION, AS WELL AS SUPPLYING CLEAR AND LEGIBLE REVISIONS TO THE CONSTRUCTION PLANS FOR USE DURING AS-BUILT CERTIFICATION.
- ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER & MULCH, HYDROSEED AND/OR SOO (RECOMMEND CENTIPEDE, PENSACOLA BAMA OR BERMIUDA SOO). POND AND SWALE TOPS AND SIDES SHALL BE SODDED AND PINNED. ALL SOD PLACED ON SIDE SLOPES 4 TO 1 OR GREATER SHALL BE PINNED.
- WHERE SOO IS BEING INSTALLED, TOPSOIL SHALL BE USED AS A BASE AT LEAST 3" DEEP.
- AFTER THE SITE HAS BEEN BROUGHT TO PROPER GRADE FOR PLACEMENT OF TOPSOIL AND IMMEDIATELY PRIOR TO DUMPING AND SPREADING THE TOPSOIL, THE SUBGRADE SHALL BE LOOSENEED BY DISKING OR SCARPING TO A DEPTH OF 2" TO INSURE BONDING OF THE TOPSOIL AND SOOING.
- TOPSOIL SHALL NOT BE PLACED IN A MUDDY CONDITION, WHEN THE SUBGRADE IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND PROPOSED SODDING.
- THE TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED TO A MINIMUM COMPACTED DEPTH OF 3".
- ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
- COMPACT THE TOPSOIL ENOUGH TO ENSURE GOOD CONTACT WITH THE UNDERLYING SOIL AND TO OBTAIN A LEVEL SEED BED FOR THE ESTABLISHMENT OF HIGH MAINTENANCE TURF. AVOID UNDUE COMPACTION.
- CONTRACTOR IS TO MAINTAIN SODDING AND GRASSING BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, RE-GRAVING AND REPLANTING AS REQUIRED TO ESTABLISH GRASSES/SODS FREE OF ERODED OR BARE AREAS AND REPLACE ANY REJECTED MATERIALS PROMPTLY FROM THE SITE. CONTRACTOR IS TO INCLUDE COST OF MAINTAINING SODDING AND GRASSING IN THE BID.
- CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN A CODE ENFORCEMENT VIOLATION.
- DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE ANY DISTURBED AREAS FOUND IN RETENTION POND AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
- CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION AND PROVIDE A TOPOGRAPHICAL SURVEY (CERTIFIED BY A STATE OF FLORIDA LICENSED SURVEYOR) OF THE PROJECT AREA WHICH ILLUSTRATES AS-BUILT CONDITIONS OF ALL WORK AND SITE IMPROVEMENTS, INCLUSIVE OF PIPING, DRAINAGE STRUCTURES, STORMWATER POND TOPOGRAPHY, SITE ELEVATIONS AND GRADING, GUTTER STRUCTURES, DIMENSIONS, ETC. THESE RECORD DRAWINGS ARE TO BE PROVIDED TO THE PROJECT ENGINEER PRIOR TO REQUESTING FINAL INSPECTION.
- THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY INSPECTIONS OFFICE (850-595-3569) AN INSPECTION OF THE EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO CONSTRUCTION, UNDERGROUND DRAINAGE STRUCTURES PRIOR TO BURIAL, ALL INTERMEDIATE INSPECTIONS AND THE FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/ APPROVAL.
- EROSION SHALL BE CONTROLLED BY THE USE OF A HAY BALE BARRIER/SILT FENCE AS SHOWN ON PLANS AND SHALL BE SETUP PRIOR TO COMMENCING CONSTRUCTION. THE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT, THE DETENTION AREA SHALL BE CLEANED OF SILT & STABILIZATION OF ALL DISTURBED AREAS SHALL BE ACCOMPLISHED.
- CONTRACTOR SHALL NOTIFY SUNSHINE ONE UTILITIES (1-800-432-4770) TWO FULL BUSINESS DAYS IN ADVANCE PRIOR TO DIGGING WITHIN R/W.
- ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION AND ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
- NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM THE DESIGN ENGINEER, ESCAMBIA COUNTY, AND ECUA. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
- RIGHT-OF-WAY SHALLOWS, STABILIZATION SHALL BE IN ACCORDANCE WITH F.D.O.C. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).
- ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR. IF THERE WILL BE TEMPORARY STOCKPILING OF MATERIALS ON THE SITE, THESE AREAS SHOULD CONTAIN EROSION CONTROL BMP'S (E.G. SILT FENCE, HAY BALES, ETC) AS NECESSARY.
- ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.
- ALL BUILDING ROOF DRAINS, DOWN SPOUTS OR DITCHES SHALL BE INSTALLED TO CARRY ALL STORMWATER RUNOFF TO AN ON-SITE DETENTION BASIN.
- CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES FOR REMOVAL AND RELOCATION OF EXISTING UTILITY POLES, AERIAL LINES, WATER LINES, GAS LINES AND OTHER UTILITIES AS NECESSARY. REMOVAL AND RELOCATION OF ANY UTILITIES SHALL BE AT THE DEVELOPER'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- UTILITY LOCATIONS ARE APPROXIMATE BASED ON LOCATION OF ABOVE GROUND APPURTENANCES, AND AS TAKEN FROM THE SURVEY. UNDERGROUND UTILITIES NOT SHOWN HEREIN MAY EXIST.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- CONTRACTOR SHALL COMPLY WITH ANY TESTING REQUIRED BY STATE AND LOCAL GOVERNING AGENCIES SUCH AS ASPHALT CORES AND SUB-BASE/BASE COMPACTION TESTING.
- THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY CONFLICTS BETWEEN VENDOR DRAWINGS, EXISTING CONDITIONS AND THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR TO PROVIDE PROTECTION TO TREES THAT ARE TO REMAIN VIA TREE PROTECTION BARRIERS. REFER TO EROSION CONTROL PLAN FOR MORE INFORMATION.
- TRIMMING OR GRADING AROUND TREES TO REMAIN SHALL BE AWAY FROM THE TREE IN A MANNER TO CAUSE NO DAMAGE TO THE TREE'S CRITICAL ROOT ZONE. THE CRITICAL ROOT ZONE IS REPRESENTED BY A CIRCLE, CENTERED ON THE TREE TRUNK AND HAVING A RADIUS OF ONE FOOT FOR EACH ONE INCH OF TRUNK DIAMETER (DBH). REFER TO LANDSCAPING PLAN FOR ADDITIONAL INFORMATION.

SIGNAGE:

FREESTANDING SIGNAGE:
ONE (1) FREESTANDING SIGN STRUCTURE ALLOWED PER PARCEL STREET FRONTAGE (DEVELOPMENT PARCEL IS LESS THAN 3 AC).
STRUCTURES SHALL BE PLACED NO LESS THAN 200 LF FROM ANY OTHER NON-EXEMPT SIGN STRUCTURES ON THE SAME PARCEL, EXCLUDING BILLBOARDS. SIGNS SHALL NOT BE PLACED ON PUBLIC PROPERTY, INCLUDING PUBLIC RIGHTS-OF-WAYS, OR PLACED ON PRIVATE PROPERTY IN ANY MANNER THAT PROJECTS OR EXTENDS A SIGN OVER PUBLIC PROPERTY, WITHOUT APPLICABLE PUBLIC AGENCY AUTHORIZATIONS AND PERMITS. SIGN SHALL NOT OBSTRUCT VISION ON PRIVATE PROPERTY ALONG A STREET RIGHT-OF-WAY BETWEEN THREE FEET AND NINE FEET ABOVE GRADE WITHIN TEN FEET OF THE RIGHT OF WAY.

GULF BEACH HIGHWAY (COLLECTOR STREET):
FREESTANDING SIGNAGE SHALL BE LIMITED TO ONE SIGN A MAXIMUM OF 150 SF (15'0" FRONTAGE * 1 SF/LF OF FRONTAGE) IN AREA AND A MAXIMUM OF 25 LF IN HEIGHT.

WALL SIGNAGE:
GULF BEACH HIGHWAY FRONTAGE (COLLECTOR ST.): THE MAXIMUM WALL SIGN AREA SHALL BE LIMITED TO 112.50 SF (2.25 SF * 50 LF BLDG. FRONTAGE)

*EACH BUILDING, OR EACH TENANT SPACE OF A MULTI-TENANT BUILDING, MAY HAVE MULTIPLE WALL SIGNS, BUT THE TOTAL WALL SIGN AREA ON A BUILDING OR TENANT WALL SHALL NOT EXCEED THE ALLOWANCE FOR THAT WALL UNLESS SIGN AREA ON ONE BUILDING OR TENANT WALL IS NOT AVAILABLE TO ANY OTHER BUILDING OR TENANT WALL. THE CALCULATED MAXIMUM WALL SIGN AREA OF 100 SF IS FOR THE FRONT WALL.

A VALID ESCAMBIA COUNTY SIGN PERMIT MUST BE OBTAINED PRIOR TO ERRECTING, CONSTRUCTING, ALTERING OR RELOCATING ANY SITE SIGNAGE. FOR SIGNS PLACED ON A CORNER, THE SIDE SETBACK WILL BE DETERMINED BY MEASURING 35' ALONG THE INTERSECTIONS OF THE TWO PUBLIC RIGHTS OF WAY.

JURISDICTIONAL CONTACTS:

- ESCAMBIA COUNTY DEVELOPMENT SERVICES**
3363 WEST PARK PLACE
PENSACOLA, FL 32505
PHONE NO.: (850)-595-3475
FAX NO.: (850)-595-3481
- EMERALD COAST UTILITIES AUTHORITY**
9255 STURDEVANT STREET
PENSACOLA, FL 32514
PHONE NO.: (850)-476-5110
FAX NO.: 850-494-7346
- NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT**
700 US HIGHWAY 331 SOUTH
DEPUINAK SPRINGS, FL 32435
PHONE NO.: (850)-951-4660
FAX NO.: (850)-892-8007
- FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION**
2600 BLAIR STONE ROAD
TALLAHASSEE, FL 32399
PHONE NO.: (866)-336-6312
FAX NO.: (850)-297-1211

PROJECT DIRECTORY:

- CIVIL ENGINEER**
HAMMOND ENGINEERING, INC.
3802 NORTH "S" ST.
PENSACOLA, FL 32505
PHONE NO.: (850)-434-2603
FAX NO.: (850)-434-2650
- SURVEYOR**
MERRILL PARKER SHAW, INC.
4928 N. DAVIS HWY.
PENSACOLA, FL 32501
PHONE NO.: (850)-478-4923
FAX NO.: (850)-478-4924
- ENVIRONMENTAL CONSULTANT**
WETLAND SCIENCES, INC.
3308 GULF BEACH HIGHWAY
PENSACOLA, FL 32507
PHONE NO.: (850)-453-4700
FAX NO.: (850)-453-1010

ECUA Engineering Manual Reference Note*
*Note shall be inserted in the upper right corner of title sheet
*Applicable only to ECUA infrastructure to be constructed in public ROW or in public easement, not to be applied to private owner/tenant facilities on private property (see Building Code)

A. ECUA Engineering Manual Incorporated by Reference
The ECUA Engineering Manual, dated December 18, 2014, along with Update # 1 dated September 1, 2016 (hereinafter "Manual"), located at www.ecua.org, is hereby incorporated by reference into this Project's official contract documents as if fully set forth therein. It is the Contractor's responsibility to be knowledgeable of the Manual's contents and to construct the Project in accordance with the Manual. The Contractor shall provide its employees access to the Manual at all times, via Project site or office, via digital or paper format. In the event of a conflict between the Manual and Plans, Contractor shall consult Engineer of Record for proper resolution.

B. Additional Documents (to be completed by the Engineer of Record)
Does this Project have additional technical specifications or construction details that supplement and/or supersede the Manual listed above? **YES NO**. If yes, Contractor shall construct Project in accordance with said documents as listed and located below:

Document Name	Document Type	Location			
		Specifi- cation	Detail	Plans	Project Manual*
LOW-PRESSURE DETAIL		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

*Project Manuals used only with ECUA OP Projects

C. Engineer of Record Responsibilities
The Engineers of Record (EORs) that have affixed their seals and signatures on these plans warrant that their portions of the plans have been designed in accordance with the Manual (unless otherwise directed by the ECUA Project Engineer). The EORs shall be knowledgeable of the Manual's contents and shall assume responsibility for its use on this Project.
ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MOST RECENT EDITION OF ECUA'S ENGINEERING MANUAL.

Approved
ESCAMBIA COUNTY DRC PLAN REVIEW

DRC Chairman Signature: *Thomas Hammond* Date: **2-23-22**

Printed Name: **Thomas Hammond**
Development Services Director of Destination

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

SITE DEVELOPMENT PLANS FOR PENSACOLA BIG GAME FISHING CLUB CLUBHOUSE

SECTION 24, TOWNSHIP 3 SOUTH, RANGE 31 WEST
ESCAMBIA COUNTY, FLORIDA
10413 GULF BEACH HIGHWAY
PENSACOLA, FL 32507

OWNER/DEVELOPER:
THOMAS HAMMOND
PENSACOLA BIG GAME FISHING CLUB, INC.
4021 WEST NAVY BOULEVARD
PENSACOLA, FL 32507
(850)-544-9389

PROPERTY I.D. NO.'S: 24-3S-31-2100-001-004
24-3S-31-2100-000-004

ZONING DESIGNATION: COM
ADJACENT ZONING: COM
FLU DESIGNATION: MU-S
ADJACENT FLU: MU-S

CONDITIONAL USE APPROVAL BY ESCAMBIA COUNTY
BOARD OF ADJUSTMENT GRANTED ON SEPTEMBER 15TH,
2021 TO ALLOW FOR A PRIVATE CLUB IN COMMERCIAL
ZONING WITHIN AN AREA OF MIXED RESIDENTIAL USES
UNDER COM ZONING. SEE CU-2021-14

INDEX OF DRAWINGS:

- C1 ~ COVER
- C2 ~ EXISTING CONDITIONS
- C3 ~ DEMOLITION & EROSION CONTROL PLAN
- C4 ~ STORMWATER POLLUTION PREVENTION PLAN
- C5 ~ SITE PLAN
- C6 ~ GRADING & DRAINAGE PLAN
- C7 ~ UTILITY PLAN
- C8 ~ LANDSCAPING PLAN
- C9 ~ ENVIRONMENTAL IMPACT PLAN
- C10 ~ CONSTRUCTION DETAILS
- C11 ~ CONSTRUCTION DETAILS
- C12 ~ UTILITY DETAILS
- C13 ~ LIFT STATION DETAILS



HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH "S" STREET
PENSACOLA, FLORIDA 32505
850-434-2603
FAX 850-434-2650
TOM@SELANDDESIGN.COM

REVISED FEBRUARY 11, 2022
HEI PROJECT #: 21-063

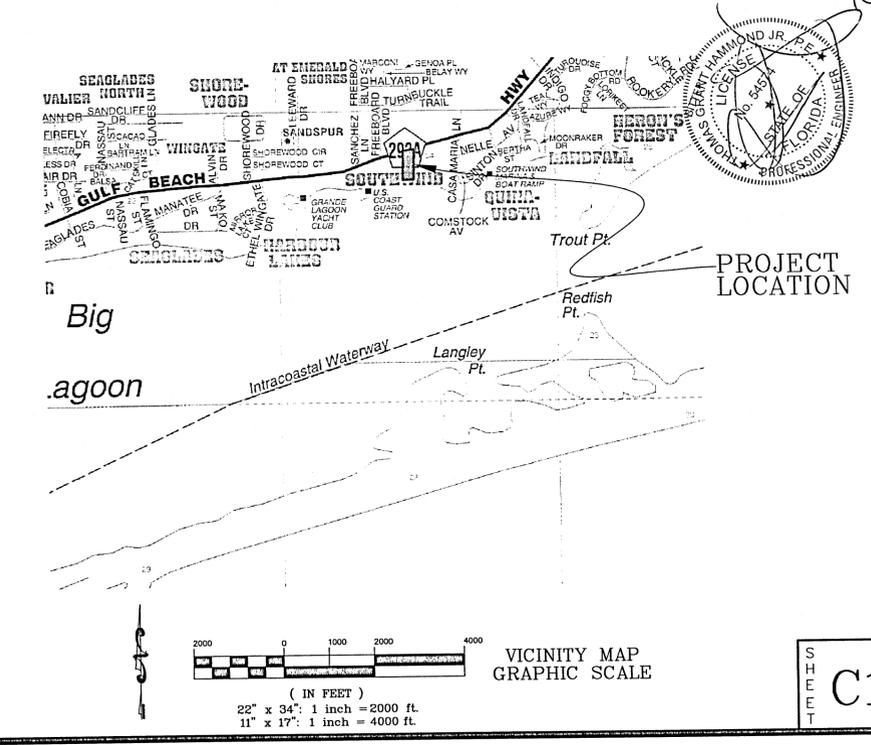
GENERAL NOTES:

- CONTRACTOR SHALL CONSTRUCT TEMPORARY MEASURES AND SUPPORT TO ACCESS THE SITE AND SHALL INCLUDE THE COST FOR SAME IN THE BID. CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE SATISFACTION OF THE OWNER AND/OR GOVERNING AGENCY.
- CONTRACTOR SHALL COORDINATE HIS WORK AND COOPERATE WITH OTHER CONTRACTORS WORKING AROUND THE PROJECT AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0370) AND LOCAL (ESCAMBIA COUNTY HEALTH DEPT. 850-595-6700) AGENCIES.
- SOLID WASTE SHALL BE KEPT IN AN APPROVED DUMPSTER THROUGHOUT CONSTRUCTION ACTIVITIES.
- ALL VALVE BOXES SHALL BE SET FLUSH WITH GRADE (IF APPLICABLE).
- ADEQUATE PROVISIONS SHALL BE MADE FOR FLOW OF SEWERS, DRAINS, AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL FLUSH AND CLEAN ALL STORMWATER PIPES AND STRUCTURES AT END OF CONSTRUCTION AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- PLACEMENT OF UNDERGROUND SYSTEMS, IRRIGATION, SEWER, WATER, DRAINAGE, ELECTRICAL, GAS, ETC. SHALL BE COMPLETED PRIOR TO LANDSCAPE INSTALLATION.
- PROPERTY OBSTRUCTIONS WHICH ARE TO REMAIN IN PLACE SUCH AS BUILDINGS, SEWERS, DRAINS, WATER OR GAS PIPES, ELECTRICAL, CONDUITS, POLES, WALLS, POSTS, ETC. ARE TO BE CAREFULLY PROTECTED AND ARE NOT TO BE DISPLACED UNLESS NOTED.
- THE CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE AND FEDERAL AGENCIES RULES CONCERNING SAFETY.
- CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS, AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK AND UNTIL IT IS SAFE FOR BOTH PEDESTRIAN AND VEHICULAR TRAFFIC.
- CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH DE-WATERING AND DE-MUCKING FOR INSTALLATION OF REQUIRED INFRASTRUCTURE (IF APPLICABLE).
- CONTRACTOR MEANS AND METHODS OF GROUNDWATER DE-WATERING SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS FOR THE TEMPORARY DIVERSION OF GROUNDWATER AND ITS DISCHARGE, INCLUDING FAC CHAPTER 62-621.30(2) "GENERIC PERMIT FOR THE DISCHARGE OF PRODUCE GROUNDWATER FROM ANY NON-CONTAMINATED SITE ACTIVITY" (IF APPLICABLE).
- CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH SELECT BACKFILL FOR INSTALLATION OF ANY INFRASTRUCTURE.
- CONTRACTOR SHALL CLEAN UP ENTIRE SITE INCLUDING STAGING AREAS AT LEAST TWO TIMES PER WEEK. THIS SHALL INCLUDE LOCATING TRASH/SCRAP RECEPTACLES AT APPROPRIATE LOCATIONS AROUND THE SITE. CONTRACTOR SHALL PICK UP ALL ROCKS, METAL, PIPE, NAILS, BOLTS, BOARDS, PAPER, TRASH, ETC. AT LEAST TWICE A WEEK. CONTRACTOR SHALL INCLUDE COST OF SAME IN BID.
- CONTRACTOR SHALL RESTORE ALL STAGING AREAS TO AS GOOD AS OR BETTER CONDITION THAN EXISTED PRIOR TO CONSTRUCTION. THIS INCLUDES IRRIGATION AND SOO REPLACEMENT OF NECESSARY. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 20 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL AT A RATE OF TWO (2) TONS PER ACRE.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL.
- ANY SLOPES RECEIVING INFRASTRUCTURE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).
- SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STANDARDS FOR EROSION CONTROL.
- ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMITS OF DISTURBANCE OR ONTO PUBLIC RIGHT OF WAY WILL BE REMOVED IMMEDIATELY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #48 ABOVE.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
- ANY DIRT THAT RUNS OFF OF THE PROJECT SITE ONTO PUBLIC STREETS SHALL BE REMOVED AND CLEANED IMMEDIATELY. FAILURE TO COMPLY CAN RESULT IN CODE ENFORCEMENT ACTION.
- ANY AREAS USED FOR THE CONTRACTOR'S STAGING, INCLUDED BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (I.E. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.) SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.
- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT ESCAMBIA COUNTY, FDEP, AND ECUA STANDARDS AND REQUIREMENTS.
- FOR SITES WITH DISTURBANCE EXCEEDING 1 ACRE... TO COMPLY WITH NPDES REQUIREMENTS, THE CONTRACTOR SHALL SUBMIT AN NPDES NOTICE OF INTENT TO FDEP A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ADDITIONALLY, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. A CERTIFIED STORMWATER MANAGEMENT INSPECTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL EFFORTS. INSPECTION RECORDS SHOULD BE ON HAND AT ALL TIMES AND PROVIDED TO ANY CITY REPRESENTATIVE THE 15th DAY OF EACH MONTH OF CONSTRUCTION.
- THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ECUA "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
- OPERATION/DEFLECTION TESTS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER FLOW RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
- REFER TO BUILDING PLANS FOR ADDITIONAL INFORMATION.

FLOOD ZONE DATA

THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:

FLOOD ZONE(S)	NPFP COMMUNITY NUMBER	MAP NUMBER	PANEL NUMBER(S)	SUFFIX	MAP REVISION DATE
VE (BE 10)	120080	12033C	052B	G	SEPTEMBER 29, 2006
AE8	120080	12033C	052B	G	SEPTEMBER 29, 2006
AE9	120080	12033C	052B	G	SEPTEMBER 29, 2006



NO.	DATE	REVISIONS
1	01/21/22	REVISED PLANS AS PER ECUA INITIAL PERMIT REVIEW COMMENTS
2	02/11/22	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

SHEET
C1

GRAPHIC SCALE

22"x34" SCALE 1 inch = 40 ft.



11"x17" SCALE 1 inch = 80 ft.

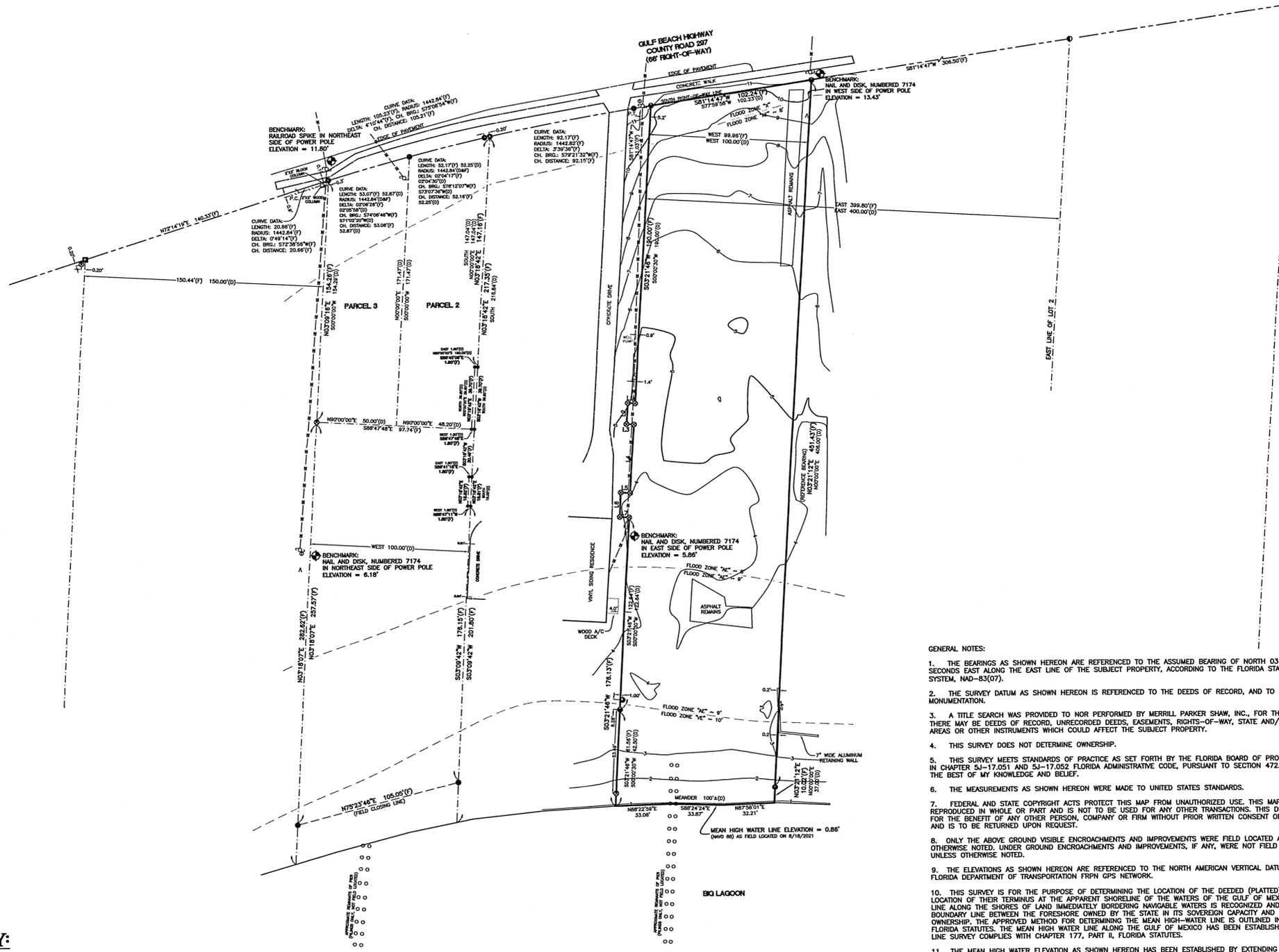


DENOTES:

- ⊙ - 1/2" CAPPED IRON ROD, NUMBERED 7174 (PLACED)
- - 1/2" IRON ROD, UNNUMBERED (FOUND)
- - 1/2" CAPPED IRON ROD, "COE" (FOUND)
- ⊙ - 1/2" CAPPED IRON ROD, NUMBERED 7277 (FOUND)
- ⊙ - 1/2" CAPPED IRON ROD, ILLEGIBLE (FOUND)
- - 4"x4" CONCRETE MONUMENT, UNNUMBERED (FOUND)

- R/W - RIGHT-OF-WAY
- (D) - DEED INFORMATION
- (F) - FIELD INFORMATION
- PC - POINT OF CURVATURE
- PT - POINT OF TANGENCY
- COE - CORPUS OF ENGINEERS
- — — — — OVERHEAD ELECTRIC
- ⊙ - POWER POLE
- ▲ - GUY ANCHOR
- - TELEPHONE PEDESTAL
- — — — — 4' WOOD RAIL FENCE

LINE	BEARING	LENGTH
L1(F)	N86°38'14"W	4.70'
L1(D)	N89°59'30"W	4.70'
L2(F)	S03°21'46"W	13.40'
L2(D)	S00°00'30"W	13.40'
L3(F)	S86°38'14"E	4.70'
L3(D)	S89°59'30"E	4.70'
L4(F)	S03°21'46"W	43.84'
L4(D)	S00°00'30"W	43.84'
L5(F)	N86°38'14"W	6.00'
L5(D)	N89°59'30"W	6.00'
L6(F)	S03°21'46"W	15.66'
L6(D)	S00°00'30"W	15.66'
L7(F)	S86°38'14"E	6.00'
L7(D)	S89°59'30"E	6.00'



GENERAL NOTES:

1. THE BEARINGS AS SHOWN HEREON ARE REFERENCED TO THE ASSUMED BEARING OF NORTH 03 DEGREES 21 MINUTES 12 SECONDS EAST ALONG THE EAST LINE OF THE SUBJECT PROPERTY, ACCORDING TO THE FLORIDA STATE PLANE COORDINATE SYSTEM, NAD-83(07).
2. THE SURVEY DATUM AS SHOWN HEREON IS REFERENCED TO THE DEEDS OF RECORD, AND TO EXISTING FIELD MONUMENTATION.
3. A TITLE SEARCH WAS PROVIDED TO NOR PERFORMED BY MERRILL PARKER SHAW, INC., FOR THE SUBJECT PROPERTY, THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, STATE AND/OR FEDERAL JURISDICTIONAL AREAS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE SUBJECT PROPERTY.
4. THIS SURVEY DOES NOT DETERMINE OWNERSHIP.
5. THIS SURVEY MEETS STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.051 AND 5J-17.052 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, TO THE BEST OF MY KNOWLEDGE AND BELIEF.
6. THE MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS.
7. FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED FOR ANY OTHER TRANSACTIONS. THIS DRAWING CANNOT BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER AND IS TO BE RETURNED UPON REQUEST.
8. ONLY THE ABOVE GROUND VISIBLE ENCROACHMENTS AND IMPROVEMENTS WERE FIELD LOCATED AS SHOWN HEREON, UNLESS OTHERWISE NOTED. UNDER GROUND ENCROACHMENTS AND IMPROVEMENTS, IF ANY, WERE NOT FIELD LOCATED OR VERIFIED, UNLESS OTHERWISE NOTED.
9. THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988, USING THE FLORIDA DEPARTMENT OF TRANSPORTATION FRPN GPS NETWORK.
10. THIS SURVEY IS FOR THE PURPOSE OF DETERMINING THE LOCATION OF THE DEEDED (PLATTED) UPLAND LINES AND THE LOCATION OF THEIR TERMINUS AT THE APPARENT SHORELINE OF THE WATERS OF THE GULF OF MEXICO. THE MEAN-HIGH WATER LINE ALONG THE SHORES OF LAND IMMEDIATELY BORDERING NAVIGABLE WATERS IS RECOGNIZED AND DECLARED TO BE THE BOUNDARY LINE BETWEEN THE FORESHORE OWNED BY THE STATE IN ITS SOVEREIGN CAPACITY AND UPLAND SUBJECT TO PRIVATE OWNERSHIP. THE APPROVED METHOD FOR DETERMINING THE MEAN-HIGH-WATER LINE IS OUTLINED IN CHAPTER 177, PART II, FLORIDA STATUTES. THE MEAN HIGH WATER LINE ALONG THE GULF OF MEXICO HAS BEEN ESTABLISHED. THIS MEAN HIGH WATER LINE SURVEY COMPLIES WITH CHAPTER 177, PART II, FLORIDA STATUTES.
11. THE MEAN HIGH WATER ELEVATION AS SHOWN HEREON HAS BEEN ESTABLISHED BY EXTENDING THE ELEVATION SHOWN AT MEAN HIGH WATER INTERPOLATION POINT NUMBER _____.
12. THE MEAN HIGH WATER LINE SURVEY COMPLIES WITH WITH CHAPTER 177, PART II, FLORIDA STATUTES.
13. THE CONTOUR LINES AS SHOWN HEREON ARE AT 1 FOOT INTERVALS OF ELEVATION.
14. THE UTILITIES AS SHOWN HEREON IS BASED UPON FIELD LOCATION WHERE VISIBLE. THERE MAY BE OTHER UNDER GROUND UTILITIES THAT HAVE NOT BEEN LOCATED OR VERIFIED. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY SUNSHINE 811 PRIOR TO THE COMMENCEMENT OF WORK OR EXCAVATION.
15. FLOOD ZONE "X", (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD); FLOOD ZONE "AE" (AREAS INSIDE THE 0.2% ANNUAL CHANCE FLOOD), BASE FLOOD ELEVATION 8 FEET; FLOOD ZONE "AE" (AREAS INSIDE THE 0.2% ANNUAL CHANCE FLOOD), BASE FLOOD ELEVATION 9 FEET AND FLOOD ZONE "VE" (AREAS INSIDE THE 0.2% ANNUAL CHANCE FLOOD), BASE FLOOD ELEVATION 10 FEET, AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, (AND INCORPORATED AREAS), COMMUNITY: ESCAMBIA COUNTY, NUMBER: 12033C, PANEL: 528, SUFFIX: G, DATED: SEPTEMBER 29, 2006, MAP REVISED: SEPTEMBER 29, 2006.

SITE SURVEY COMPLETED BY:



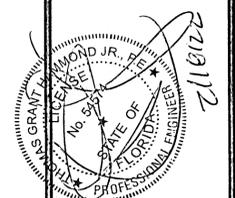
MERRILL PARKER SHAW, INC.
PROFESSIONAL LAND SURVEYING SERVICES

4928 N. DAVIS HWY. PENSACOLA, FL 32503
PH: (850) 478-4923
FAX: (850) 478-4924
FLORIDA CORPORATION NUMBER 7174



NO.	DATE	REVISIONS
1	01/26/22	REVISED PLANS AS PER ESCAMBIA COUNTY PERMIT REVIEW COMMENTS
2	02/11/22	REVISED PLANS AS PER ESCAMBIA COUNTY PER REVIEW COMMENTS

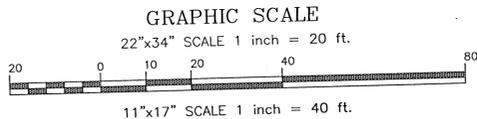
HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH "S" STREET
PENSACOLA, FLORIDA 32505
850 434-2603
FAX 850-434-2650
TOM@SELANDDESIGN.COM



SITE DEVELOPMENT PLANS FOR
PENSACOLA BIG GAME FISHING CLUB CLUBHOUSE
EXISTING CONDITIONS
ESCAMBIA COUNTY FLORIDA

DRAWN BY: CUG	DESIGNED BY: RLS
CHECKED BY: TGH	DATE: 12-09-2021
SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION
BY:	DATE:

PROJECT NO: 21-063
SHEET: **C2**



LEGEND:

	DENOTES EXISTING ASPHALT
	DENOTES EXISTING CONCRETE
	DENOTES PROPOSED SILT FENCE
	DENOTES EXISTING CONTOUR
	DENOTES EXISTING OVERHEAD ELECTRIC
	DENOTES EXISTING UTILITY POLE



CONTRACTOR TO NOTIFY SUNSHINE 811 A MINIMUM 2 BUSINESS DAYS IN ADVANCE PRIOR TO DIGGING WITHIN THE RIGHT OF WAY. 1-800-432-4770

DEMOLITION/EROSION CONTROL NOTES

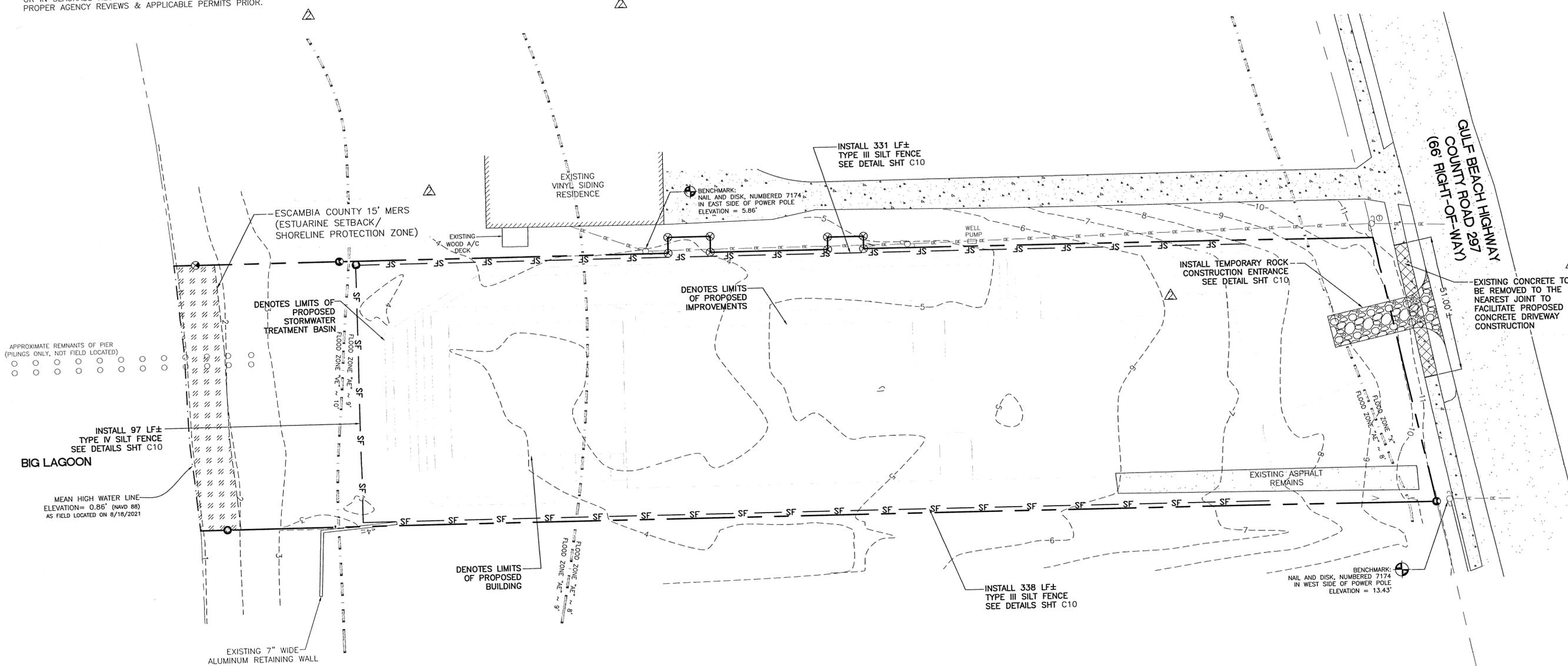
- WHERE EXISTING ASPHALT/CONCRETE IS TO BE REMOVED EXTENDS PAST PROPERTY LINE, CONTRACTOR TO COORDINATE PROPOSED REMOVAL WITH ADJACENT PROPERTY OWNER TO ASSURE HE/SHE DESIRES MISCELLANEOUS IMPERVIOUS SURFACE TO BE REMOVED.
- WHERE EXISTING ASPHALT/CONCRETE IS BEING REMOVED ON PROPERTY LINE, REMOVAL SHALL BEGIN AT THE PROPERTY LINE AND WORK TOWARDS THE INTERIOR OF THE PROPERTY. INITIALLY, A 2'-6" STRIP OF EXISTING ASPHALT/CONC. SHALL BE REMOVED NEXT TO THE PROPERTY LINE TO ALLOW FOR INSTALLATION OF PROPOSED EROSION CONTROL BMP'S.
- IT IS UNDERSTOOD THAT WHERE SILT FENCING IS ILLUSTRATED ON EXISTING ASPHALT/CONC. THAT THE EXISTING ASPHALT/CONC. SHALL BE REMOVED IN THAT IMMEDIATE AREA PRIOR TO INSTALLATION OF BMP.
- THE EROSION AND SEDIMENT CONTROL RULES ARE PERFORMANCE ORIENTED. THAT IS, THE MEASURES USED AT A CONSTRUCTION SITE MUST BE EFFECTIVE IN CONTROLLING EROSION AND PREVENTING OFF-SITE SEDIMENTATION FOR THE SITE TO BE IN COMPLIANCE. FOLLOWING AN APPROVED PLAN AND INSTALLING THE CONTROL MEASURES MAY NOT BE ENOUGH FOR A SITE TO BE IN COMPLIANCE WITH THE RULES. IF EROSION AND OFF-SITE SEDIMENTATION OCCUR, THE CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLING ADDITIONAL MEASURES TO CORRECT ANY PROBLEM ASSOCIATED WITH COMPLIANCE OF THE NPDES PERMIT OR ANY OTHER PERMIT REQUIRED FOR THE SITE. CONSTRUCTION. THE CONTRACTOR WILL ALSO BE COMPLETELY RESPONSIBLE FOR ANY FINES LEVIED BY ANY GOVERNING AGENCY ON THE PROJECT DURING CONSTRUCTION.
- EROSION CONTROL MEASURES SHOWN ARE MINIMUM REQUIREMENTS ONLY. CONTRACTOR SHALL REINFORCE AND/OR ADD ADDITIONAL MEASURES AS CONDITIONS WARRANT AND/OR AS DIRECTED BY THE PROPER REGULATORY AUTHORITIES.
- ON SITES > 1 ACRE, IF > 1 CONTIGUOUS ACRE IS DECLARED, A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED WITHIN TO WORKING DAYS ON THE PORTION OF THE SITE UPON WHICH FURTHER ACTIVE CONSTRUCTION WILL NOT BE UNDERTAKEN WITHIN 90 DAYS.
- TO COMPLY WITH NPDES REQUIREMENTS, EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS; INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO FDEP.
- TREE PROTECTION BARRICADES SHALL BE INSTALLED PRIOR TO ANY SITE DISTURBANCE AND EARTH MOVING IMPACTS (i.e. ROOT RAKING, TRENCHING, GRADING, ETC.) SHOULD TAKE PLACE OUTSIDE OF THE PROTECTION BARRICADE.
- PROTECTED TREES SHALL REMAIN ON-SITE AND ANY PROPOSED LAND CLEARING/LAND DISTURBING ACTIVITIES, INCLUDING THE PLACEMENT OF FILL/FILL MATERIALS, GRADING, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PERMIT(S) ARE ISSUED FOR SUCH SITE WORK.
- THE LAND SHALL REMAIN VEGETATED (TREES INCLUDED, NO FILL MATERIALS PLACED ON-SITE, GRADING, EXCAVATING, ETC.) UNTIL SUCH TIME AS PLAN APPROVAL &/OR PROPER PERMITTING ALLOWS FOR SUCH PER CODE. ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, LAND DISTURBING ACTIVITIES, ETC. SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION.

ESL PROTECTIONARY NOTE:

NOTE: WETLANDS, WETLAND BUFFERS, & AREAS LOCATED WITHIN ESCAMBIA COUNTY'S 15' MERS (ESTUARINE SETBACK/SHORELINE PROTECTION ZONE) SHALL REMAIN IN A NATURAL STATE. NO SITE DEVELOPMENT FEATURES OR ACTIVITIES ARE PERMITTED IN THESE AREAS, OVER WATERWAYS, OR IN SEAGRASS RESOURCES WITHOUT FIRST OBTAINING ALL PROPER AGENCY REVIEWS & APPLICABLE PERMITS PRIOR.

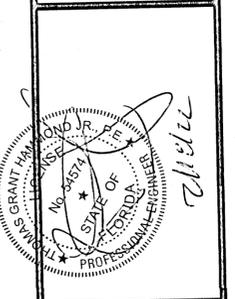
TREE PROTECTION NOTE:

THERE ARE NO PROTECTED TREES LOCATED ON THE PROJECT SITE AND NO PROTECTED TREES ARE TO BE REMOVED AS PART OF THIS PROJECT



NO.	DATE	REVISIONS
1	01/26/22	REVISED PLANS AS PER ECUA PERMIT REVIEW COMMENTS
2	02/11/22	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

HAMMOND ENGINEERING, INC.
 FLORIDA AUTHORIZATION NO. 9130
 ALABAMA AUTHORIZATION NO. 3277
 3802 NORTH 'S' STREET
 PENSACOLA, FLORIDA 32505
 850 434-2603
 850 434-2650
 TOM@SELANDESIGN.COM



SITE DEVELOPMENT PLANS FOR PENSACOLA BIG GAME FISHING CLUB CLUBHOUSE	DEMOLITION & EROSION CONTROL PLAN
DRAWN BY: CUG DESIGNED BY: RLS CHECKED BY: TGM DATE: 12-09-2021 SCALE: AS SHOWN NOT RELEASED FOR CONSTRUCTION	ESCAMBIA COUNTY FLORIDA

Site Description

The proposed Pensacola Big Game Fishing Club Clubhouse project is located at 10413 Gulf Beach Highway and within the limits of Escambia County, Florida.

The project consists of the construction of a 3,600-sf, single-story, clubhouse on pilings and associated infrastructure. The project parcel is 1.01 acres and currently stands clear and undeveloped. The site is located within the Southwest Side Drainage Basin. The site slopes to the south across the property and directs the majority of stormwater runoff towards Big Lagoon (a tidally influenced body of water). Following construction, all stormwater runoff generated from the proposed improvements will be treated by an onsite stormwater treatment basin located near the southern boundary of the site. The pond will treat the first one inch of runoff per NFWFMD requirements. All runoff from the areas of disturbance should naturally sheet flow into the proposed stormwater treatment basin. Should runoff discharge from the site during a heavy rainfall event, the expected latitude and longitude of the discharge point are 30°19'38.73" N & 87°21'43.60" W.

Improvements proposed with this project include a single structure, a 15,000 sf parking lot constructed with rock and asphalt millings, a concrete handicap parking stall, sidewalks, a 2,800 cft stormwater treatment basin, potable water & sanitary sewer connections, etc.

According to a the USDA SC5 maps, the predominant soil type found on-site consists of #15 Resota sand, 0 to 5 percent slopes. Groundwater is not expected to be encountered or adversely impact the development of this property.

Erosion and Sedimentation Controls

Erosion and sedimentation from the construction site shall be controlled at all times using Best Management Practices (BMPs). Perimeter controls shall be installed prior to clearing activities or any construction activity that disturbs soils. Installation of these controls may be staged to correspond with the clearing and construction schedule. Immediate after clearing activities appropriate controls shall be installed to limit and minimize the velocity of stormwater runoff over unprotected soils. Temporary BMPs shall be used as necessary inside the perimeter controls as the construction progresses. Perimeter controls shall be actively maintained until final stabilization of those portions of the site uphill of the perimeter controls. Temporary controls shall be removed when stabilization is achieved or when necessary for the next stage of construction. Controls shall be consistent with the performance standards for erosion and sedimentation control as set forth in Section 62-40.432 F.A.C.

Stabilization and Structural Practices

Stabilization practices may include, but not limited to, temporary seeding, mulching, geotextiles, permanent sod and preservation of existing vegetation. Preservation of the existing vegetation should always be the first choice BMP. Where disturbed soils are to remain for extended periods, temporary seeding should be considered prior to final sod stabilization. A record shall be maintained of the dates when major grading activities occur, when construction activities temporarily or permanently cease on a portion of the site and when stabilization measures are initiated. Stabilization measures shall be initiated as soon as practicable, but in no case more than 14 days, in those areas of the site where construction activities have temporarily or permanently ceased.

Structural practices shall divert flows from exposed soils, store flows, retain sediment on-site, or otherwise limit runoff and the discharge of pollutants from exposed areas of the site. Such practices may include, but not limited to, silt fences, earth dikes, diversion swales, sediment traps, check dams, subsurface drains, pipe slope drains, level spreaders, storm drain inlet protection, rock outlet protection, reinforced soil retaining systems and temporary or permanent sediment basins.

Stormwater Management

Prior to any site disturbance, a single row of type IV silt fencing shall be installed along the south boundary of the development parcel. Additionally, a single row of type III silt fencing shall be installed along the east and west boundaries of the development parcel as illustrated on the demolition & erosion control plan. This will limit the extent of construction and help deter encroachment onto the adjacent properties as well as assist in preventing downstream sedimentation. All of the aforementioned BMP's shall be in place prior to any activity that disturbs soils. After the required light clearing and rough grading activities, check dams and additional silt fencing and hay bales shall be installed, as necessary, uphill of the perimeter controls to reduce runoff velocities and the potential for excessive erosion. The proposed stormwater treatment basin shall first be constructed and utilized for storage and disposal of all stormwater runoff to help avoid sedimentation onto the adjacent properties. The treatment basin should be under-excavated and all feasible on-site runoff shall be directed towards this basin during construction activities. Runoff from uphill areas shall be directed to the treatment basin by diversion swales. These swales may require temporary seeding and check dams to minimize velocities and avoid excessive erosion. Erosion control facilities shall be actively maintained throughout the course of construction and shall remain until final stabilization is achieved and acceptance by the owner.

Controls for Other Potential Pollutants

A materials management area shall be designated on-site for protected storage of chemicals, solvents, fertilizers and other potentially toxic materials. Storage areas can become a risk source of risk due to possible mishandling of materials and accidental spills. An inventory should be compiled and maintained of the storage area and the site. Special care should be taken to identify any materials that have the potential to come into contact with stormwater.

Petroleum products such as oil gasoline, lubricants and asphaltic substances should be handled carefully to minimize their exposure to stormwater. These management practices should be used to reduce the risks of using petroleum products:

- Have equipment available to contain and clean up petroleum spills in fuel storage areas or on board maintenance and fueling vehicles.
- Where possible, store petroleum products and fuel vehicles in covered areas and construct dikes to contain any spills.
- Contain and clean up petroleum spills immediately.
- Perform preventative maintenance for on-site equipment to prevent leakage.
- Apply asphaltic substances properly according to the manufacturer's instructions.

Hazardous products including, but not limited to, paints, acids for cleaning masonry surfaces, cleaning solvents, chemical additives used for soil stabilization, and concrete curing compounds should be properly handled. These practices will help avoid pollution of stormwater by these materials:

- Keep equipment to contain and clean up spills of hazardous materials in the areas where the materials are stored.
- Contain and clean up spills immediately after they occur.
- Keep materials in a dry, covered area.
- Store materials in the original manufacturer's containers whenever possible, because special handling instructions usually are printed on the containers.

Pesticides include insecticides, rodenticides, and herbicides that are commonly used on construction sites. These management practices will reduce the amounts of pesticides that could contact stormwater:

- Handle pesticides as infrequently as possible.
- Store materials in the original manufacturer's containers whenever possible, because special handling instructions usually are printed on the containers.
- Observe all applicable federal, state and local regulations when using, handling, or disposing of pesticides.
- Store pesticides in a dry, covered area.
- Provide curbs or dikes to contain spills.
- Have measures on site to contain and clean up spills.
- Strictly follow recommended application rates and methods.

Fertilizers and detergents usually contain nutrients that can be a major source of pollution in stormwater. These practices should be used to reduce the risks of nutrient pollution:

- Limit the application of fertilizers to the minimum area and the minimum recommended amounts.
- Reduce exposure of nutrients to stormwater runoff by working the fertilizer into the soil to a depth of 4 to 6 inches.
- Apply fertilizer more frequently, but at lower application rates.
- Limit hydroseeding in which lime and fertilizers are applied to the ground surface in one application.
- Implement good erosion and sediment control to help reduce the amount of fertilizer lost as a result of erosion.
- Limit the use of detergents on the site. Wash water containing detergents should not be discharged to the stormwater management system.
- Apply fertilizer and use detergents only in the recommended manner and amounts.

Proper management and disposal of building materials and other construction site wastes are an essential part of pollution prevention. Construction wastes include surplus or refuse building materials as well as hazardous wastes. Management practices for these wastes include trash disposal, recycling, material handling, and spill prevention and clean up. These practices should provide for proper disposal of construction wastes:

- Designate a waste disposal area on the site.
- Provide an adequate number of containers with lids or covers that can be placed over the container prior to rainfall.
- Locate containers in covered areas, where possible.
- Arrange for scheduled waste pick up. Adjust waste collection schedule as necessary to prevent overflow of the containers.
- Ensure that construction waste is collected, removed, and disposed of only at authorized disposal areas in compliance with applicable State and/or local waste disposal regulations.

Offsite vehicle tracking of sediments and the generation of dust shall be minimized. A stabilized construction access road shall be utilized to reduce off-site tracking. Off-site sediment removal should be conducted at a frequency necessary to minimize impacts. Vehicle wash area should be considered if off-site tracking becomes excessive.

The construction site must have temporary sanitary sewer facilities for on-site personnel. Portable facilities may be utilized throughout the site. Licensed domestic waste haulers must be contracted to regularly remove the sanitary wastes and to maintain the facilities in good working order. The temporary construction trailer may have sanitary sewer facilities with a holding tank. A licensed domestic waste hauler shall also service this facility. An on-site septic system for the construction trailer is not allowed. Temporary sanitary sewer facilities shall be permitted by the local building department in accordance with applicable State and local regulations.

Maintenance and Inspection Controls

Controls of pollutants shall be maintained throughout construction period and until final stabilization is achieved. Qualified personnel shall inspect all points of discharge and all disturbed areas of the construction site that have not been finally stabilized, areas used for storage of materials that are exposed to precipitation, structural controls, and locations where vehicles enter or exit the site at least once every seven calendar days and within 24 hours of the end of every storm event that produces at least 0.50 inches of rainfall. Where sites have been finally stabilized, such inspection shall be conducted at least once every month until a Notice of Termination has been submitted.

- Stabilization Measures** - Disturbed areas and areas used for storage of materials that are exposed to precipitation shall be inspected for evidence of or the potential for, pollutants leaving the site. The inspection should reveal whether the area was stabilized correctly, whether there has been damage to the area since it was stabilized, and what should be done to correct any problems.
- Structural Controls** - Silt fences, hay bales and other erosion control measures shall be inspected regularly for proper positioning, anchoring, and effectiveness in trapping sediments. The inspection should reveal whether the control was installed correctly, whether there has been damage to the control since installation, and what should be done to correct any problems. Sediment should be removed from the uphill side of the silt fence and the fence should be reconstructed as necessary. Hay bales shall be added or replaced as necessary to provide effective control.
- Discharge Points** - Discharge points shall be inspected to determine whether erosion control measures are effective in preventing significant amounts of pollutants from leaving the site. Silt fences and hay bales shall be maintained or replaced as necessary. The inspection should reveal whether the on-site BMPs are effective, and what should be done to increase the effectiveness.
- Construction Entrances** - Locations where vehicles enter or exit the site shall be inspected for evidence of off-site sediment tracking. The inspection should reveal whether the stabilization of the construction entrance is effective, and what should be done to increase the effectiveness.
- Areas Used for Storage of exposed Materials** - These are locations where construction materials (including excavated soils) are stored. The inspection should reveal the potential for excessive erosion and sedimentation, and what actions should be implemented to reduce the risks of pollution.

Based on the result of the inspection, all maintenance operations needed to assure proper function of all controls, BMPs, practices or measures identified in this Plan shall be done in a timely manner, but in no case later than 7 calendar days following the inspection.

A Report summarizing the scope of each inspection, name(s) and qualifications of personnel making the inspection, the date(s) of the inspection, major observations related to the implementation of the stormwater pollution prevention plan, and modifications to the stormwater pollution prevention plan shall be prepared and retained as part of the stormwater pollution prevention plan for at least three years from the date that the site is finally stabilized. Such report shall identify any incidence of non-compliance.

IMPLEMENTED BMP'S

Type:	Implemented by:	Company Name, Contact Person, Address & Phone Number
Perimeter Silt Fencing/ Hay Bales		
Inlet Protection		
Temporary Construction Entrance		
Tree Barricades		

Contractor Certification

This Stormwater Pollution Prevention Plan must clearly identify, for each measure identified within the Stormwater Pollution Prevention Plan, the contractor(s) or subcontractor(s) that will implement each measure. All contractor(s) and subcontractor(s) identified in the Stormwater Pollution Prevention Plan must sign the following certification:

"I certify under penalty of law that I understand, and shall comply with, the terms and conditions of the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities and this Stormwater Pollution Prevention Plan prepared thereunder"

Name, Title	Signature	Company Name, Address & Phone Number	Date

Contractor Requirements

- The contractor is responsible for obtaining the required FDEP NPDES permit prior to land disturbance.
- The contractor must have technical expertise in erosion prevention and sediment control. The contractor must at all time maintain erosion control methods that prevent any violation of the NPDES program.

Faulty Installation and/or Poor Maintenance

Most noncompliance occurs because measures were not installed correctly or maintained properly, or both. Determining the reason why the measures are failing requires technical knowledge about the devices and how to construct them properly. Contractors failure to control erosion, sedimentation or turbidity both onsite and offsite is not acceptable. Failure to do so may result in possible fines and/or termination from the site without payment for construction progress.

Compliance

The goal of the program is to prevent accelerated erosion and off-site sedimentation. The contractor is the first person to be effective in controlling erosion and preventing off-site sedimentation for the site to be in compliance. Following an approved plan and installing the control measures may not be enough for a site to be in compliance with the rules. If erosion and off-site sedimentation occur, the contractor will be responsible for installing additional measures to correct any problem associated with compliance of the NPDES permit or any other permit required for the site construction. The contractor will also be completely responsible for any fines levied by any governing agency on the project during construction.

The erosion and sediment control rules are performance oriented. That is, the measures used at a construction site must be effective in controlling erosion and preventing off-site sedimentation for the site to be in compliance. Following an approved plan and installing the control measures may not be enough for a site to be in compliance with the rules. If erosion and off-site sedimentation occur, the contractor will be responsible for installing additional measures to correct any problem associated with compliance of the NPDES permit or any other permit required for the site construction. The contractor will also be completely responsible for any fines levied by any governing agency on the project during construction.

The rules are also flexible, allowing the contractor to decide the most economical and effective means of erosion control. This encourages the use of innovative techniques and specifically designed erosion control systems. The contractor is the key individual in making this kind of performance based rule work because the contractor is the first person to recognize performance failures and remedy the problems.

The contractor's job is to:

- Determine that an erosion and sediment control plan for the site has been approved.
- Determine that all specified practices have been installed and are being maintained according to the plan.
- Determine that both on-site and off-site sedimentation, erosion or turbidity is being prevented. If the contractor finds deficiencies, appropriate action must be taken to attain compliance.

Control of Non-Stormwater Discharges

It is expected that the following non-stormwater discharges may occur from the site during construction period: water from water line flushing, pavement wash water (where no spills or leaks of toxic or hazardous materials have occurred), and uncontaminated groundwater (from dewatering excavation). If solid discharges do occur, they will be directed to the temporary sediment basin prior to discharge. Turbid water from the stormwater pond shall not be pumped directly into either of the receiving waters. Any pumped water from the stormwater pond shall be treated so as to not allow a discharge of polluted stormwater. Treatment can include silt fences, settling ponds, the proper use of flocculating agents or other appropriate means.

Responsible Authority

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Project Name and location information:	PENSACOLA BIG GAME FISHING CLUB CLUBHOUSE 10413 GULF BEACH HWY PENSACOLA 325 07
Responsible Authority Information:	PENSACOLA BIG GAME FISHING CLUB, INC. TOM HAMMOND, PRES. PO BOX 401 PENSACOLA, FL 32591 850-554-9389
Project Contact:	TOM HAMMOND PO BOX 401 PENSACOLA, FL 32591 850-554-9389

Name (Operator and/or Responsible Authority)

Date



NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER NOTICE OF TERMINATION (RULE 62-621.300(6), F.A.C.)

You must use this form to terminate coverage under the Generic Permit for Stormwater Discharge from Large and Small Construction Activities provided in subsection 62-621.300(4), F.A.C., the Multi-Sector Generic Permit for Stormwater Discharge Associated with Industrial Activity provided in subsection 62-621.300(5), F.A.C. as well as the conditional exclusion for "no exposure" of industrial activities and materials to stormwater provided in paragraph 62-620.100(2)(o), F.A.C.

All information provided on this form shall be typed or printed in ink.

I. TERMINATION INFORMATION:

A. Facility ID/Project Number:	
B. Reason for Termination: <input type="checkbox"/> Check all that apply:	
<input type="checkbox"/>	No longer operator of the facility/project.
<input type="checkbox"/>	Final stabilization criteria is met and all stormwater discharges associated with construction activity including dewatering operations have ceased (for construction activity only).
<input type="checkbox"/>	All stormwater discharges associated with industrial activity have ceased (for industrial activity only).
<input type="checkbox"/>	No longer meet the condition of "no exposure" (for industrial activity only).

II. OPERATOR INFORMATION:

A. Operator Name:		
B. Address:		
C. City:	D. State:	E. Zip Code:
F. Responsible Authority:		G. Responsible Authority's Phone No.:
H. Responsible Authority's E-mail Address:		I. Responsible Authority's Fax No.:

III. FACILITY/PROJECT INFORMATION:

A. Name:		
B. Address/Location:		
C. City:	D. State:	E. Zip Code:
F. County:		

IV. CERTIFICATION:

I certify under penalty of law that all stormwater discharges associated with industrial or construction activity from the identified facility or project that are authorized by the referenced State of Florida generic permit have been eliminated; the facility no longer meets the conditional exclusion for "no exposure" outlined in paragraph 62-620.100(2)(o), F.A.C., or that I am no longer the operator of the facility or project. I understand that by submitting this Notice of Termination, I am no longer authorized to discharge stormwater associated with industrial or construction activity under a generic permit, and that discharging pollutants in stormwater associated with industrial or construction activity to surface waters of the State is unlawful unless authorized by a permit issued pursuant to Section 403.0885, F.S. I also understand that the submission of this Notice of Termination does not release an operator from liability for any violations of their generic permit or conditional exclusion for "no exposure" from NPDES stormwater permitting for industrial activities.

Responsible Authority Name and Official Title (Type or Print):
--

Responsible Authority Signature: _____ Date Signed: _____

¹ Signatory requirements are contained in Rule 62-620.305, F.A.C.

FDEP Form 62-621.300(6)
Effective Date: 02/2015

Stormwater Pollution Prevention Plan Inspection Report Form

Inspections must occur at least once a week and within 24 hours of the end of a storm event that is 0.50 inches or greater.

Project Name: _____ FDEP NPDES Stormwater Identification Number: _____

Location	Rain data	Type of control (see below)	Date installed/modified	Current Condition (see below)	Corrective Action / Other Remarks
	Weekly Report				

Condition Code:
G = Good M = Marginal, needs maintenance or replacement soon P = Poor, needs immediate maintenance or replacement
C = Needs to be cleaned O = Other

Control Type Codes

1. Silt Fence	10. Storm drain inlet protection	19. Reinforced soil retaining system	28. Tree protection
2. Earth berm	11. Vegetative buffer strip	20. Stabilized aggregate roadway/parking	29. Detention pond
3. Structural diversion	12. Vegetative preservation area	21. Sediment Basin	30. Retention pond
4. Swale	13. Retention Pond	22. Temporary seed / sod	31. Waste disposal / housekeeping
5. Sediment Trap	14. Construction driveway stabilization	23. Permanent seed / sod	32. Dam
6. Check dam	15. Perimeter ditch	24. Mulch	33. Sand Bag
7. Subsurface drain	16. Curb and gutter	25. Hay Bales	34. Turbidity Barrier
8. Pipe slope drain	17. Paved road surface	26. Geotextile	35. Dewatering (pump/hose/fitter/well point, etc.)
9. Level spreaders	18. Rock outlet protection	27. Rip-rap	36. Other

Inspector Information:
Name: _____ Qualification: _____ Date: _____

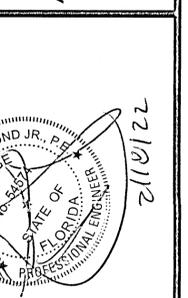
The above signature also shall certify that this facility is in compliance with the Stormwater Pollution Prevention Plan and the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities if there are not any incidents of non-compliance identified above.

¹ certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Name (Responsible Authority) _____ Date _____

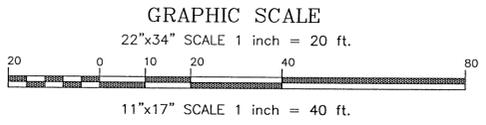
REVISED PLANS AS PER EDA PERMIT REVIEW COMMENTS	REVISIONS
01/26/22	DATE
02/11/22	DATE
	NO.

HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH 51ST STREET
PENSACOLA, FLORIDA 32505
850 434-2603
FAX 850-43-4-2650
TOM@BELANDESIGN.COM



SITE DEVELOPMENT PLANS FOR PENSACOLA BIG GAME FISHING CLUB CLUBHOUSE STORMWATER POLLUTION PREVENTION PLAN FLORIDA

DRAWN BY: GJB
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 12-09-2021
SCALE: AS SHOWN
NOT RELEASED FOR CONSTRUCTION
BY: _____ DATE: _____



LEGEND:

	DEOTES EXISTING ASPHALT		DEOTES EXISTING UTILITY POLE
	DEOTES EXISTING CONCRETE		DEOTES EXISTING GUY ANCHOR
	DEOTES PROPOSED ROCK/ASPHALT MILLINGS		DEOTES EXISTING TELEPHONE PEDESTAL
	DEOTES PROPOSED CONCRETE		DEOTES QUANTITY OF PARKING STALLS PER ROW
	DEOTES PROPOSED RETAINING WALL		DEOTES PROPOSED FIRE HYDRANT

LINE BEARING LENGTH

L1(F)	N86°38'14"W	4.70'
L1(D)	N89°59'30"E	4.70'
L2(F)	S03°21'46"W	13.40'
L2(D)	S00°00'30"W	13.40'
L3(F)	S86°38'14"E	4.70'
L3(D)	S89°59'30"E	4.70'
L4(F)	S03°21'46"W	43.84'
L4(D)	S00°00'30"W	43.84'
L5(F)	N86°38'14"W	6.00'
L5(D)	N89°59'30"E	6.00'
L6(F)	S03°21'46"W	15.66'
L6(D)	S00°00'30"W	15.66'
L7(F)	S86°38'14"E	6.00'
L7(D)	S89°59'30"E	6.00'

PARKING CALCULATIONS:
 PROPOSED 3,250 SF CLUBHOUSE WITH 120 MEMBERS
 AS PER 3-1.2 ESCAMBIA COUNTY DESIGN STANDARDS MANUAL:
 1 PARKING STALL PER 3 PERSONS REQUIRED
 120 MEMBERS/3 ~ 40 STALLS REQUIRED
40 TOTAL PARKING STALLS REQUIRED
 46 REGULAR STALLS PROPOSED
 1 HANDICAP STALL PROPOSED
 47 TOTAL STALLS PROPOSED

FIRE SAFETY NOTES

- FIRE DEPT. ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 20'
- FIRE DEPT. ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED VERTICAL CLEARANCE OF 13'-6"
- THE REQUIRED WIDTH OF A FIRE DEPT. ACCESS ROAD SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING BY THE PARKING OF VEHICLES.
- FIRE DEPARTMENT ACCESS ROAD SHALL EXTEND TO WITHIN 50 FT (150 FT IF THE BUILDING IS PROTECTED BY A FIRE SPRINKLER SYSTEM) OF AT LEAST ONE EXTERIOR DOOR THAT CAN BE OPENED FROM THE OUTSIDE AND THAT PROVIDES ACCESS TO THE INTERIOR OF THE BUILDING.
- FIRE DEPARTMENT ACCESS ROADS SHALL BE PROVIDED SUCH THAT ANY PORTION OF THE FACILITY OR ANY PORTION OF AN EXTERIOR WALL OF THE FIRST STORY OF THE BUILDING IS LOCATED NOT MORE THAN 150 FT (450 FT IF THE BUILDING IS PROTECTED BY A FIRE SPRINKLER SYSTEM) FROM FIRE DEPARTMENT ACCESS ROADS AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- FIRE DEPARTMENT ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE PROVIDED WITH AN ALL-WEATHER DRIVING SURFACE. MINIMUM OF 40 TONS

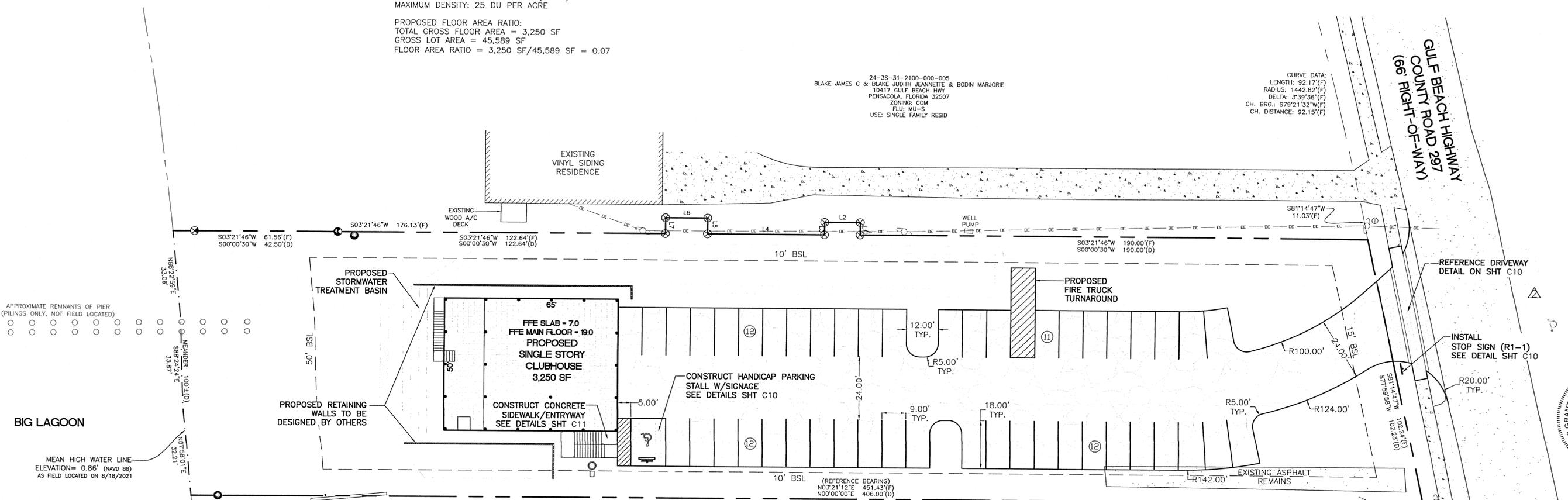
TOTAL SITE AREA: 45,589 SF - 1.05 ACRES

IMPERVIOUS and PERVIOUS AREA					
	EXISTING	REMOVE	NEW	POST-CONSTRUCTION	NET CHANGE
BUILDINGS	0 SF	0 SF	3,250 SF	3,250 SF	+3,250 SF
ASPHALT/CONCRETE	933 SF	0 SF	384 SF	1,317 SF	+1,317 SF
TOTAL IMPERVIOUS AREA	933 SF	0 SF	3,634 SF	4,567 SF	+4,567 SF
ROCK AREA	0 SF	0 SF	14,865 SF	14,865 SF	+14,865 SF
LANDSCAPE AREA	44,656 SF	18,499 SF	0 SF	26,157 SF	(-18,499 SF)
PERCENTAGE OF LANDSCAPE	98%			57%	(-41%)

PARKING DATA					
	EXISTING	REMOVE	NEW	POST-CONSTRUCTION	NET
NON-HANDICAPPED SPACES	0	0	46	46	+46
HANDICAPPED SPACES	0	0	1	1	+1

SITE DATA:
 10413 GULF BEACH HWY
 PARCEL ZONING: COM
 FLU: MU-S
 BUILDING SETBACKS REQUIRED (COM ZONED PARCEL):
 FRONT SETBACK = 15'
 REAR SETBACK = 15'
 SIDE SETBACK = 10'

MAXIMUM IMPERVIOUS SURFACE: 85%
 MAXIMUM BUILDING HEIGHT: 150'
 MAXIMUM FLOOR AREA RATIO: 2.0 (MU-S)
 MAXIMUM DENSITY: 25 DU PER ACRE
 PROPOSED FLOOR AREA RATIO:
 TOTAL GROSS FLOOR AREA = 3,250 SF
 GROSS LOT AREA = 45,589 SF
 FLOOR AREA RATIO = 3,250 SF/45,589 SF = 0.07



PARCEL ID	OWNER	OWNER ADDRESS	PARCEL ID	OWNER	OWNER ADDRESS	PARCEL ID	OWNER	OWNER ADDRESS	PARCEL ID	OWNER	OWNER ADDRESS
24-35-31-2200-101-001	BLANTON ELIZABETH GRACE ANN NICOLE	2565 NEVA RD PINE, CO 80470	24-35-31-2200-901-001	FREYMEYER MARK ALAN FREYMEYER HOA	10335 GULF BEACH HWY UNIT 901 PENSACOLA, FL 32507	24-35-31-2200-605-001	PROVENCER THOMAS J LIFE EST ESTIMATED DELEETE PROVENCER JOHN P	10335 GULF BEACH HWY UNIT 605 PENSACOLA, FL 32507	24-35-31-2200-909-001	HARME RICHARD F & JAMIE ANN C	10335 GULF BEACH HWY UNIT 909 PENSACOLA, FL 32507
24-35-31-2200-201-001	MONETA OTTO F & JACKSON DANIEL STEVEN & JACKSON TANGELA LEE	176 WILWOOD TR PETAL, MS 39465	24-35-31-2200-902-001	WALKER STEPHEN E WALKER ROSIN E	10335 GULF BEACH HWY UNIT 902 PENSACOLA, FL 32507	24-35-31-2200-702-001	LEFFERTS CHARLES R & CYNTHIA J	369 RIVERBLUFF PL APT 1 HOMERUS, TN 38063-0134	24-35-31-2200-104-002	FERRY RICHARD A FERRY CINA B	10335 GULF BEACH HWY UNIT 1001 PENSACOLA, FL 32507
24-35-31-2200-203-001	STOKES MICHAEL STOKES NELANIE L	10335 GULF BEACH HWY UNIT 204 PENSACOLA, FL 32507	24-35-31-2200-107-002	DIEM MICHAEL L & DIEM LEIGH W	10335 GULF BEACH HWY UNIT 1007 PENSACOLA, FL 32507	24-35-31-2200-704-001	SHEPHERD LORRI A	10335 GULF BEACH HWY UNIT 705 PENSACOLA, FL 32507	24-35-31-2200-102-001	STEBBINS RONALD W	2099 CARBET CT VIRGINIA BEACH, VA 23463
24-35-31-2200-204-001	NEAN MARTHA	10335 GULF BEACH HWY UNIT 205 PENSACOLA, FL 32507	24-35-31-2200-108-002	WILLIAMS DAVID T WILLIAMS KAREN A	10335 GULF BEACH HWY UNIT 1008 PENSACOLA, FL 32507	24-35-31-2200-803-001	GRABHAM JENNIE F	10335 GULF BEACH HWY UNIT 803 PENSACOLA, FL 32507	24-35-31-2200-105-001	CHESNUT RANDALL B	10335 GULF BEACH HWY UNIT 102 PENSACOLA, FL 32507
24-35-31-2200-205-001	PASSALUNGE DAVID PAUL	10335 GULF BEACH HWY UNIT 206 PENSACOLA, FL 32507	24-35-31-2200-109-001	BYRD WILLIAM R	35 S ROYAL FERN DR THE VIOLETLANIS, TX 77380	24-35-31-2200-803-001	PARKER JEFFREY W JR	10335 GULF BEACH HWY UNIT 803 PENSACOLA, FL 32507	24-35-31-2200-109-001	CHESNUT RUTH	10335 GULF BEACH HWY UNIT 109 PENSACOLA, FL 32507
24-35-31-2200-206-001	PASSALUNGE ANTHONY M	10335 GULF BEACH HWY UNIT 207 PENSACOLA, FL 32507	24-35-31-2200-110-001	BYRD VELLAM RANDALL	95 S ROYAL FERN DR THE VIOLETLANIS, TX 77380	24-35-31-2200-803-001	GRABHAM JENNIE F	10335 GULF BEACH HWY UNIT 803 PENSACOLA, FL 32507	24-35-31-2200-109-001	SAMPLE STEVEN RICK	10335 GULF BEACH HWY UNIT 109 PENSACOLA, FL 32507
24-35-31-2200-207-001	BARNES HARRIS V BARNES ROBERTA L	10335 GULF BEACH HWY UNIT 207 PENSACOLA, FL 32507	24-35-31-2200-110-001	BYRD KELLY HELMS	95 S ROYAL FERN DR THE VIOLETLANIS, TX 77380	24-35-31-2200-904-001	KEARNEY CATHY MACKSILL	934 MANITU AVE STE 306 MANITU SPRINGS, CO 80889	24-35-31-2200-102-001	MEMAKER LEVVIS	10335 GULF BEACH HWY UNIT 301 PENSACOLA, FL 32507
24-35-31-2200-208-001	PEETERS STEVE P SR PEETERS DIANA D	10335 GULF BEACH HWY UNIT 208 PENSACOLA, FL 32507	24-35-31-2200-110-001	GENTARSKI DUSTIN L	10335 GULF BEACH HWY UNIT 105 PENSACOLA, FL 32507	24-35-31-2200-906-001	WINKLER MARK ALAN	10335 GULF BEACH HWY UNIT 906 PENSACOLA, FL 32507	24-35-31-2200-102-001	MCLEOD RAYMOND JR	10335 GULF BEACH HWY UNIT 303 PENSACOLA, FL 32507
24-35-31-2200-209-001	CAMP KENNETH W & BEAUFAM DAVID R & BEAUFAM DAN E	10335 GULF BEACH HWY UNIT 405 PENSACOLA, FL 32507	24-35-31-2200-110-001	WILLIAMS DARLENE H	10335 GULF BEACH HWY UNIT 105 PENSACOLA, FL 32507	24-35-31-2200-906-001	WINKLER MARK ALAN	10335 GULF BEACH HWY UNIT 906 PENSACOLA, FL 32507	24-35-31-2200-102-001	MCLEOD RAYMOND JR	10335 GULF BEACH HWY UNIT 303 PENSACOLA, FL 32507
24-35-31-2200-406-001	CAMTRA MARGARET E CAMTRA VIRGINIA G	10335 GULF BEACH HWY UNIT 406 PENSACOLA, FL 32507	24-35-31-2200-110-001	AMBERG JENNIFER	10335 GULF BEACH HWY UNIT 107 PENSACOLA, FL 32507	24-35-31-2200-105-002	WINKLER CYNTHIA C	10335 GULF BEACH HWY UNIT 104 PENSACOLA, FL 32507	24-35-31-2200-404-001	MILLER MARSHA G	10335 GULF BEACH HWY UNIT 601 PENSACOLA, FL 32507
24-35-31-2200-407-001	MAYERS GREGORY B	10335 GULF BEACH HWY UNIT 407 PENSACOLA, FL 32507	24-35-31-2200-110-001	COMPTON RANDEL D	10335 GULF BEACH HWY UNIT 107 PENSACOLA, FL 32507	24-35-31-2200-105-002	WINKLER CYNTHIA C	10335 GULF BEACH HWY UNIT 104 PENSACOLA, FL 32507	24-35-31-2200-404-001	MILLER MARSHA G	10335 GULF BEACH HWY UNIT 601 PENSACOLA, FL 32507
24-35-31-2200-408-001	DEPASCA NELL J JR DEPASCA THOMAS B	10335 GULF BEACH HWY UNIT 408 PENSACOLA, FL 32507	24-35-31-2200-110-001	PENNINGTON JAMES H & KAREN A	10335 GULF BEACH HWY UNIT 107 PENSACOLA, FL 32507	24-35-31-2200-105-002	WINKLER CYNTHIA C	10335 GULF BEACH HWY UNIT 104 PENSACOLA, FL 32507	24-35-31-2200-404-001	MILLER MARSHA G	10335 GULF BEACH HWY UNIT 601 PENSACOLA, FL 32507
24-35-31-2200-409-001	KETTERING ALFRED W JR TRUSTEE FOR KETTERING ALFRED W JR TRUST 1/2 INT & KETTERING MARY DIANA TRUSTEE FOR KETTERING MARY DIANA TRUST 1/2 INT	19 N SUNSET BLVD GOLF BRIDGE, FL 32561	24-35-31-2200-110-001	ERLINGER TERRY L	10335 GULF BEACH HWY UNIT 107 PENSACOLA, FL 32507	24-35-31-2200-105-002	WINKLER CYNTHIA C	10335 GULF BEACH HWY UNIT 104 PENSACOLA, FL 32507	24-35-31-2200-404-001	MILLER MARSHA G	10335 GULF BEACH HWY UNIT 601 PENSACOLA, FL 32507
24-35-31-2200-607-001	SNELL LINDRA E	10335 GULF BEACH HWY UNIT 607 PENSACOLA, FL 32507	24-35-31-2200-110-001	ERLINGER TERRY L	10335 GULF BEACH HWY UNIT 107 PENSACOLA, FL 32507	24-35-31-2200-105-002	WINKLER CYNTHIA C	10335 GULF BEACH HWY UNIT 104 PENSACOLA, FL 32507	24-35-31-2200-404-001	MILLER MARSHA G	10335 GULF BEACH HWY UNIT 601 PENSACOLA, FL 32507
24-35-31-2200-701-001	ISBIRNE DAVID H SR ISBIRNE GAYE	10335 GULF BEACH HWY UNIT 701 PENSACOLA, FL 32507	24-35-31-2200-110-001	ERLINGER TERRY L	10335 GULF BEACH HWY UNIT 107 PENSACOLA, FL 32507	24-35-31-2200-105-002	WINKLER CYNTHIA C	10335 GULF BEACH HWY UNIT 104 PENSACOLA, FL 32507	24-35-31-2200-404-001	MILLER MARSHA G	10335 GULF BEACH HWY UNIT 601 PENSACOLA, FL 32507
24-35-31-2200-807-001	SLINGER GARY & CINDY	8799 VELLER AVE PENSACOLA, FL 32507	24-35-31-2200-110-001	ERLINGER TERRY L	10335 GULF BEACH HWY UNIT 107 PENSACOLA, FL 32507	24-35-31-2200-105-002	WINKLER CYNTHIA C	10335 GULF BEACH HWY UNIT 104 PENSACOLA, FL 32507	24-35-31-2200-404-001	MILLER MARSHA G	10335 GULF BEACH HWY UNIT 601 PENSACOLA, FL 32507
24-35-31-2200-808-001	CHEBURN JOHNNY RAY CHEBURN MARLENE E	RD BOX 877 RAYVILLE, LA 71269	24-35-31-2200-110-001	ERLINGER TERRY L	10335 GULF BEACH HWY UNIT 107 PENSACOLA, FL 32507	24-35-31-2200-105-002	WINKLER CYNTHIA C	10335 GULF BEACH HWY UNIT 104 PENSACOLA, FL 32507	24-35-31-2200-404-001	MILLER MARSHA G	10335 GULF BEACH HWY UNIT 601 PENSACOLA, FL 32507

HAMMOND ENGINEERING, INC.
 FLORIDA AUTHORIZATION NO. 9130
 ALABAMA AUTHORIZATION NO. 3277
 3802 NORTH "S" STREET
 PENSACOLA, FLORIDA 32505
 850 434-2603
 FAX 850-434-2650
 TOM@SELANDESIGN.COM

SITE DEVELOPMENT PLANS FOR PENSACOLA BIG GAME FISHING CLUB CLUBHOUSE

SITE PLAN

FLORIDA

ESCAMBIA COUNTY

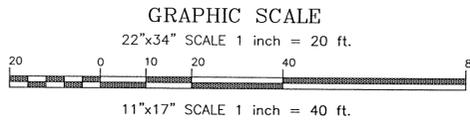
DATE: 12-09-2021

SCALE: AS SHOWN

NOT RELEASED FOR CONSTRUCTION

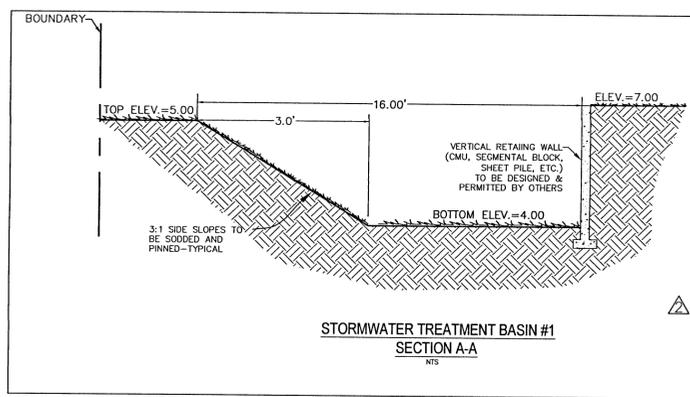
PROJECT NO: 21-063

SHEET: C5



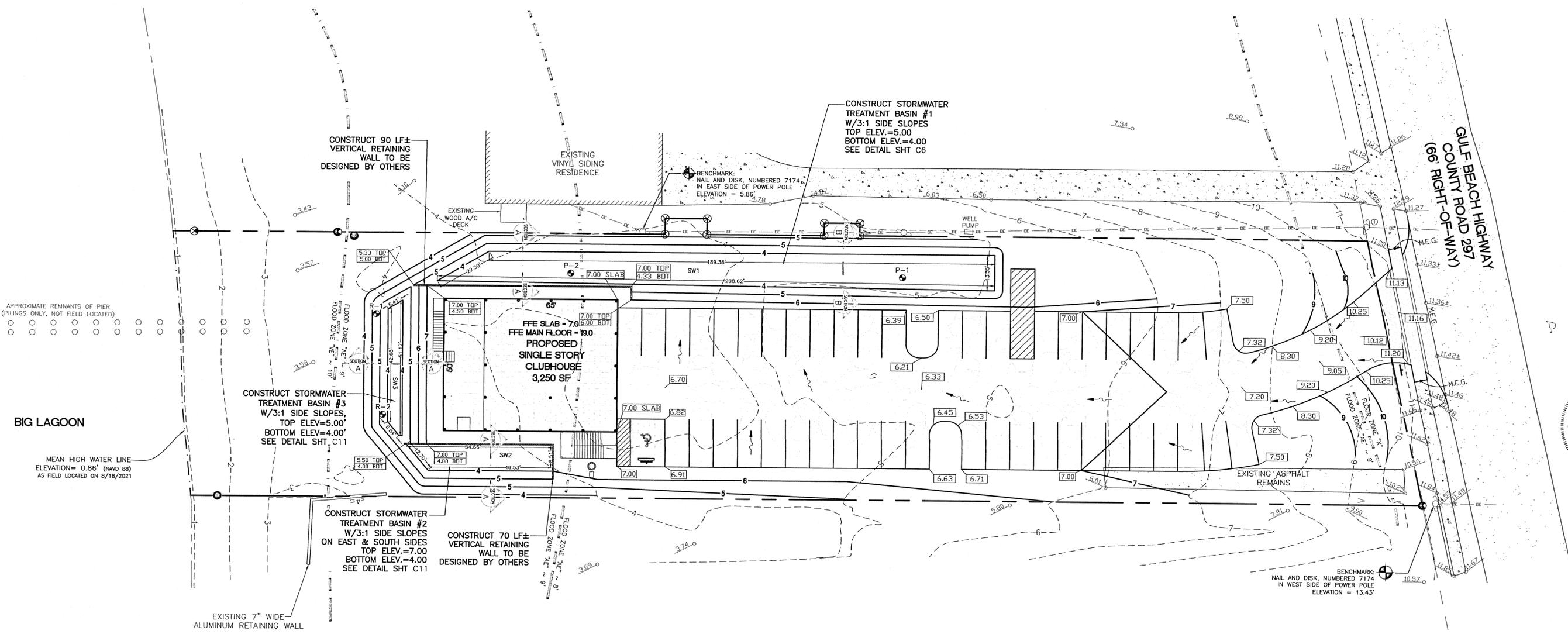
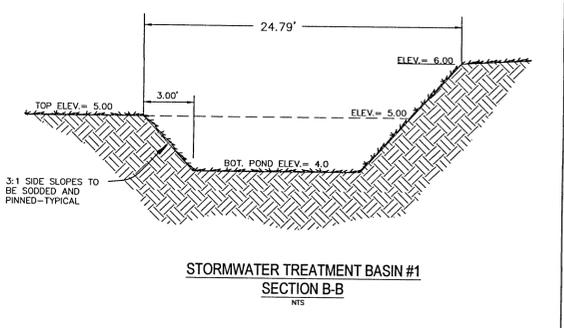
LEGEND:

	DENOTES EXISTING ASPHALT		DENOTES PROPOSED SPOT ELEVATION
	DENOTES EXISTING CONCRETE	M.E.G.	MATCH EXISTING GRADE
	DENOTES PROPOSED ROCK/ASPHALT MILLINGS		DENOTES EXISTING UTILITY POLE
	DENOTES PROPOSED CONCRETE		DENOTES EXISTING TELEPHONE PEDESTAL
	DENOTES EXISTING OVERHEAD ELECTRICAL		DENOTES PROPOSED FIRE HYDRANT
	DENOTES PROPOSED RETAINING WALL		DENOTES BENCHMARK LOCATION
	DENOTES EXISTING SPOT ELEVATION		DENOTES SOIL BORING LOCATION
	DENOTES PROPOSED DUAL SPOT ELEVATION		
	TOP #=TOP OF CURB/SIDEWALK		
	BOTTOM #=ASPHALT/CONC. ELEV.		



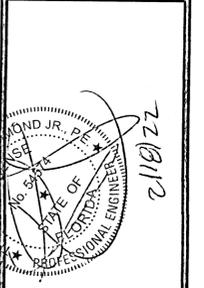
DETENTION BASIN CONSTRUCTION

- INITIALLY INSTALL ALL EROSION AND SEDIMENT CONTROL BMP'S AS ILLUSTRATED ON THE EROSION CONTROL PLAN PROVIDED AS PART OF THESE PLANS (SHEET C3)
- CONSTRUCT THE DETENTION BASIN TO ROUGH GRADE BY UNDER-EXCAVATING THE BASIN BOTTOM AND SIDES BY ABOUT 6 INCHES.
- AFTER THE DRAINAGE AREA CONTRIBUTING TO THE BASIN HAS BEEN FULLY STABILIZED, THE INTERIOR SIDE SLOPES AND BASIN BOTTOM SHALL BE EXCAVATED TO FINAL DESIGN SPECIFICATIONS. THE EXCESS SOIL AND UNDESIRABLE MATERIAL MUST BE CAREFULLY EXCAVATED AND REMOVED FROM THE POND SO THAT ALL ACCUMULATED SILTS, CLAYS, ORGANICS, AND OTHER FINE SEDIMENT MATERIAL HAS BEEN REMOVED FROM THE POND AREA. THE EXCAVATED MATERIAL SHALL BE DISPOSED OF BEYOND THE LIMITS OF THE DRAINAGE AREA OF THE BASIN.
- ONCE THE BASIN HAS BEEN EXCAVATED TO FINAL GRADE, THE ENTIRE BASIN BOTTOM MUST BE DEEP RAKED AND LOOSENESED FOR OPTIMAL FILTRATION.
- FINALLY, THE PROPOSED BANK SLOPE AND POND BOTTOM SHALL BE PERMANENTLY STABILIZED IN A MANNER THAT GUARANTEES HEALTHY GROWTH OF GRASS (FREE FROM NOXIOUS WEEDS) SUCH AS PANGOLA, ARGENTINE BAHIA, BERMUDA, CENTIPEDS OR OTHER SUITABLE GRASS.
- CONTRACTOR/OWNER SHALL OBTAIN BUILDING INSPECTION DEPARTMENT PERMITS FOR ANY RETAINING WALL EXCEEDING GREATER THAN 2 FEET IN HEIGHT. BUILDING INSPECTION DEPARTMENT PHONE: 850-500-3500.
- CONSTRUCTED RETAINING WALLS WILL REQUIRE AS-BUILT CERTIFICATION BY DESIGNING STRUCTURAL ENGINEER PRIOR TO ISSUANCE OF CD.



NO.	DATE	REVISIONS
1	07/29/22	REVISED PLANS AS PER ECIA PERMIT REVIEW COMMENTS
2	02/11/22	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

HAMMOND ENGINEERING, INC.
 FLORIDA AUTHORIZATION NO. 9130
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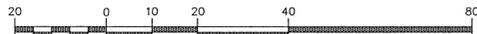
SITE DEVELOPMENT PLANS FOR PENSACOLA BIG GAME FISHING CLUB CLUBHOUSE GRADING & DRAINAGE PLAN

ESCAMBIA COUNTY FLORIDA

DRAWN BY: CUS
 DESIGNED BY: RLS
 CHECKED BY: TGH
 DATE: 12-09-2021
 SCALE: AS SHOWN
 NOT RELEASED FOR CONSTRUCTION
 BY: DATE:

GRAPHIC SCALE

22"x34" SCALE 1 inch = 20 ft.



11"x17" SCALE 1 inch = 40 ft.

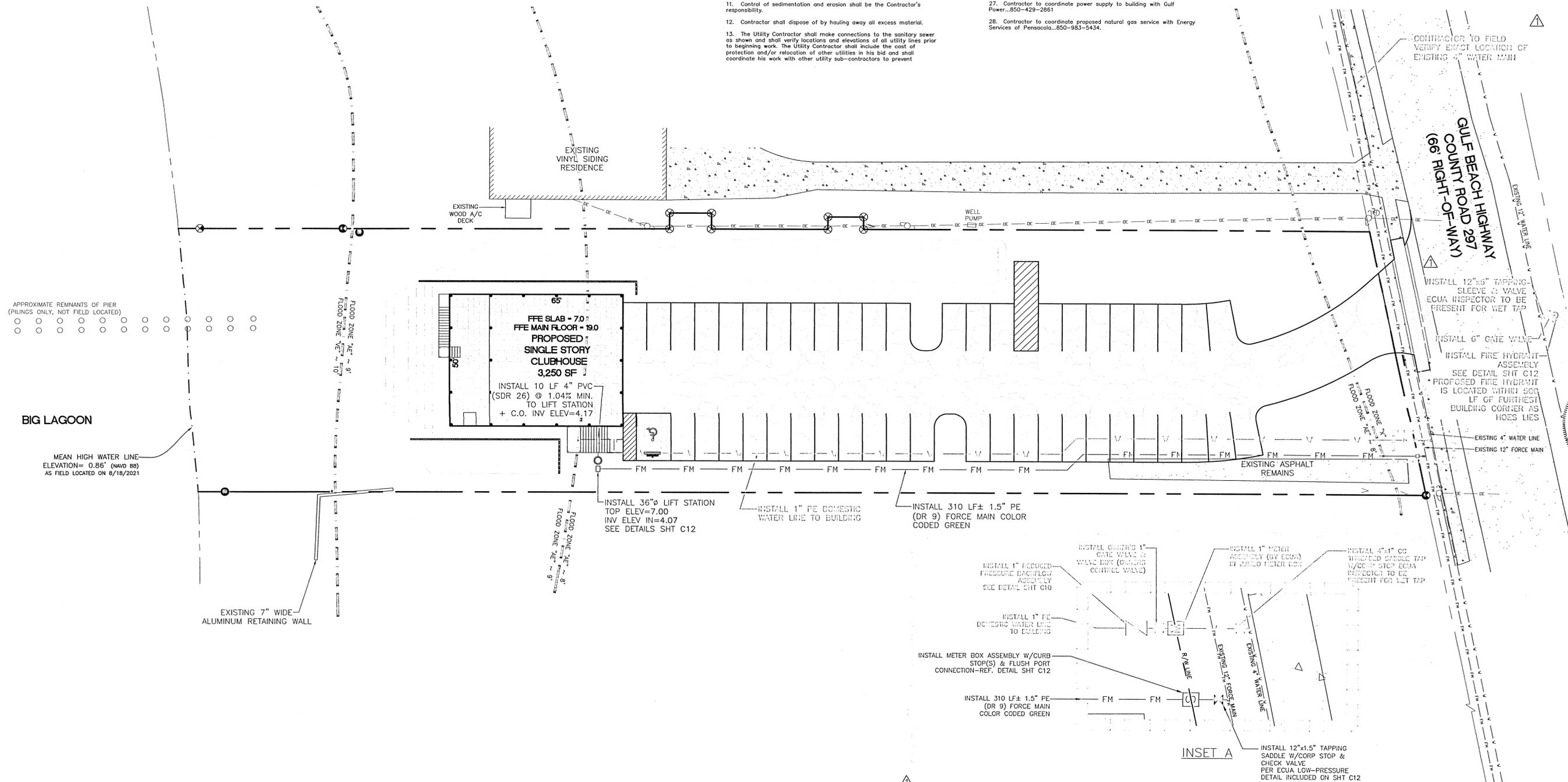


LEGEND:

	DENOTES EXISTING ASPHALT		DENOTES PROPOSED RETAINING WALL
	DENOTES EXISTING CONCRETE		DENOTES EXISTING OVERHEAD UTILITIES
	DENOTES PROPOSED ROCK/ASPHALT MILLINGS		DENOTES EXISTING TELEPHONE PEDESTAL
	DENOTES PROPOSED CONCRETE		DENOTES EXISTING UTILITY POLE
	DENOTES EXISTING FORCE MAIN		DENOTES EXISTING GUY ANCHOR
	DENOTES PROPOSED FORCE MAIN		DENOTES EXISTING WATER LINE
			DENOTES PROPOSED WATER LINE
			DENOTES EXISTING FIRE HYDRANT
			DENOTES PROPOSED FIRE HYDRANT

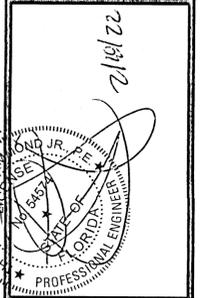
GENERAL UTILITY NOTES

- All potable water and sanitary sewer work shall be done in accordance with ECUA's engineering manual.
- Contractor shall notify ECUA and the County Engineer 48 hours prior to the commencement of this project.
- Contractor shall make sewer service connections and potable water connections with an ECUA Inspector present.
- All work shall comply with applicable standards and codes established by ECUA and the Florida Department of Environmental Protection and written specifications.
- Contractor shall notify Sunshine One Utilities two business days in advance prior to digging within R/W; 1-800-432-4770.
- The Contractor shall notify the superintendents of the water, gas, sewer, telephone and power companies 10 days in advance, that he intends to start work in a specific area. The Owner disclaims any responsibility for the support and protection of sewers, drains, water pipes, gas pipes, conduits of any kind, utilities or other structures owned by the City, County, State or by private or public utilities legally occupying any street, alley, public place or right-of-way.
- Florida State Statute 553.851 requires that all excavators notify gas companies of their intention to perform any excavation at least two business days (excluding Sat., Sun. & holidays) prior to beginning work.
- Locations of existing utilities shown on plans are approximate only and it shall be the responsibility of the Contractor to verify the location and sizes before construction. Failure of the plans to show the existence of any underground utilities, structures, etc., shall not relieve the Contractor from the responsibility of locating, preserving and protecting said utility or structures.
- Property obstructions which are to remain in place, such as buildings, sewer, storm drains, water or gas pipes, electrical conduits, poles, walls, posts, etc., are to be carefully protected and are not to be displaced, unless noted.
- Relocation of the obstructions owned by private property Owner, such as mailboxes, shall be the responsibility of the Contractor who must coordinate with the property Owner.
- Control of sedimentation and erosion shall be the Contractor's responsibility.
- Contractor shall dispose of by hauling away all excess material.
- The Utility Contractor shall make connections to the sanitary sewer as shown and shall verify locations and elevations of all utility lines prior to beginning work. The Utility Contractor shall include the cost of protection and/or relocation of other utilities in his bid and shall coordinate his work with other utility sub-contractors to prevent conflicts with other utility lines.
- Contractor shall be responsible for and comply with any testing required by the local governing agency in addition to the testing requirements outlined in the specifications.
- Proposed water line shall have a minimum cover of 30" and a maximum cover of 36" below finished grade unless otherwise noted.
- "As-built" drawings showing all service lines, laterals, mains and valve locations measured from permanent reference points shall be furnished to the Engineer prior to acceptance.
- Grading around trees which are to remain shall be away from the tree in a manner to cause no damage to the tree.
- Contractor shall be responsible for the seeding and mulching and/or sodding of street and road shoulder areas in accordance with FDOT and applicable county requirements and standards.
- Water supply facilities, including mains, shall be installed, cleaned, disinfected and bacteriologically cleared for service in accordance with the latest applicable AWWA Standards and coordinated with the designated ECUA Inspector and Quality Control Supervisor.
- All onsite water and sewer facilities shall be privately owned, operated and maintained.
- Contractor is responsible for adjustment of existing utilities if proposed improvements impact existing utilities.
- All work to take place within the right of way or to be owned and maintained by ECUA post-construction shall be performed by a certified underground utility contractor.
- Contractor must locate existing water main and sanitary sewer force main line to be tied into and verify configuration to establish the best location for connection.
- Contractor shall obtain an Escambia County right of way permit prior to working within the county R/W.
- Contractor to video/document all right of way areas to be impacted prior to construction.
- Reference utility details provided on sheet C12 & C13.
- Contractor to coordinate power supply to building with Gulf Power...850-429-2861
- Contractor to coordinate proposed natural gas service with Energy Services of Pensacola...850-983-5434.



NO.	DATE	REVISIONS
1	01/28/22	REVISED PLANS AS PER ECUA PERMIT REVIEW COMMENTS
2	02/11/22	REVISED PLANS AS PER ESCAMBIA COUNTY PER REVIEW COMMENTS

HAMMOND ENGINEERING, INC.
 FLORIDA AUTHORIZATION NO. 9130
 ALABAMA AUTHORIZATION NO. 3277
 3802 NORTH "S" STREET
 PENSACOLA, FLORIDA 32505
 850 434-2603
 FAX 850-434-2650
 TOM@SELANDESIGN.COM



SITE DEVELOPMENT PLANS FOR PENSACOLA BIG GAME FISHING CLUB CLUBHOUSE

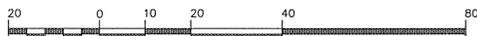
UTILITY PLAN

ESCAMBIA COUNTY FLORIDA

DRAWN BY: CUG	DESIGNED BY: RLS	CHECKED BY: TGH	DATE: 12-09-2021	SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION
BY:	DATE:	PROJECT NO: 21-063			
SHEET: C7					

GRAPHIC SCALE

22"x34" SCALE 1 inch = 20 ft.



11"x17" SCALE 1 inch = 40 ft.



LEGEND:

- DENOTES EXISTING ASPHALT
- DENOTES EXISTING CONCRETE
- DENOTES PROPOSED ROCK/ASPHALT MILLINGS
- DENOTES PROPOSED CONCRETE
- DENOTES PROPOSED SOD (BAHAI RECOMMENDED)
- DENOTES PROPOSED RETAINING WALL
- DENOTES EXISTING OVERHEAD UTILITIES
- DENOTES EXISTING UTILITY POLE
- DENOTES PROPOSED FIRE HYDRANT
- DENOTES EXISTING UTILITY ANCHOR
- DENOTES EXISTING TELEPHONE PEDESTAL
- DENOTES SABAL PALM TREE (OR APPROVED EQUAL CANOPY TREE) TO BE PLANTED-TYPICAL OF 12
- DENOTES SAND PINE TREE TO BE PLANTED (OR APPROVED EQUAL UNDERSTORY TREE) TYPICAL OF 7
- DENOTES SAW PALMETTO SHRUB (OR APPROVED EQUAL SHRUB) TO BE PLANTED-TYPICAL OF 55

REQUIRED LANDSCAPE PLANTING DATA	
NORTH BOUNDARY LINE: NO BUFFER REQUIRED, GULF BEACH HWY RIGHT OF WAY, PROVIDE 5' LANDSCAPE STRIP AS PER CH. 2, ART. 2, SEC. 2-2.2(b) DESIGN STANDARDS MANUAL.	SOUTH BOUNDARY LINE: NO BUFFER REQUIRED, WATER FRONTAGE
WEST BOUNDARY LINE: PROVIDE TYPE 'A' BUFFER AS PER 2-2.3(c) DESIGN STANDARDS MANUAL (NON-RESIDENTIAL ABUTTING SINGLE FAMILY RESIDENTIAL) 12' WIDE x 320' LONG BUFFER	EAST BOUNDARY LINE: NO BUFFER REQUIRED; HOWEVER, TYPE 'A' BUFFER PROPOSED. (NON-RESIDENTIAL ABUTTING MULTI-UNIT RESIDENTIAL CONDO) 12' WIDE x 230' LONG BUFFER
2.0 CANOPY TREES REQ'D/100 LF (230/100)*2.0 = 7 CANOPY TREES REQ'D PLANT 7 CANOPY TREES 1.0 UNDERSTORY TREES REQ'D/100 LF (320/100)*1.0 = 4 UNDERSTORY TREES REQ'D PLANT 4 UNDERSTORY TREES 10 SHRUBS REQ'D/100 LF (320/100)*1.0 = 32 SHRUBS REQ'D PLANT 32 SHRUBS	2.0 CANOPY TREES REQ'D/100 LF (230/100)*2.0 = 5 CANOPY TREES REQ'D PLANT 5 CANOPY TREES 1.0 UNDERSTORY TREES REQ'D/100 LF (230/100)*1.0 = 3 UNDERSTORY TREES REQ'D PLANT 3 UNDERSTORY TREES 10 SHRUBS REQ'D/100 LF (230/100)*1.0 = 23 SHRUBS REQ'D PLANT 23 SHRUBS
REQUIRED MITIGATION: NO PROTECTED TREES TO BE REMOVED AS PART OF THIS DEVELOPMENT, NO MITIGATION REQUIRED.	

LANDSCAPING NOTES:

- THE CONTRACTOR IS TO BE AWARE OF UNDERGROUND UTILITIES THROUGHOUT LANDSCAPED AREAS THAT MAY NOT BE ILLUSTRATED ON THIS PLAN. CONTRACTOR SHALL VERIFY LOCATION AND PROTECT ALL UTILITIES DURING EXCAVATION AND/OR FINISH GRADING ACTIVITIES.
- THE CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGE TO EXISTING UTILITIES, WALKWAYS, PAVING OR OTHER ELEMENTS IN PLACE AT THE COMMENCEMENT OF HIS WORK, AT NO ADDITIONAL COST TO THE OWNER.
- ANY ADJUSTMENT TO THIS PLAN DUE TO EXISTING CONDITIONS NOT REFLECTED ON THIS PLAN WILL BE RESOLVED AT THE TIME OF INSTALLATION.
- FINISH GRADES FOR ALL PLANTING, SOD AND SEED AREAS SHALL BE ESTABLISHED AND APPROVED BY THE OWNER/DEVELOPER PRIOR TO PLANTING, SODDING OR SEEDING.
- ALL TRASH AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE PRIOR TO ESTABLISHMENT OF FINISH GRADES.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTED HORTICULTURE PRACTICES. THIS SHALL INCLUDE PROPER PLANTING SOIL MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING, FERTILIZATION AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY OWNER/DEVELOPER.
- ALL PLANT MATERIALS USED SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1 OR BETTER AS GIVEN IN "GRADES AND STANDARDS FOR NURSERY PLANTS", CURRENT EDITION, STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRY, TALLAHASSEE, FLORIDA. IN ADDITION, ALL PLANT MATERIAL SHALL BE FREE FROM INSECT AND DISEASE.
- PLANT CONTAINERS SHALL BE REMOVED PRIOR TO PLANTING. IF PLANTS ARE NOT CONTAINER GROWN, REMOVE A MINIMUM OF THE TOP 1/3 OF BURLAP, FABRIC OR WIRE MESH.
- ROOT BALLS SHALL BE FLUSH WITH FINISHED GRADE.
- BACKFILL SHALL BE LOOSEENED EXISTING SOIL, REMOVE ROCKS, STICKS OR OTHER DELETERIOUS MATERIAL GREATER THAN 1" IN ANY DIRECTION PRIOR TO BACKFILLING. WATER AND TAMP TO REMOVE AIR POCKETS. IF EXISTING SOILS CONTAIN EXCESSIVE SAND, CLAY OR OTHER EXTRANEOUS MATERIAL NOT CONDUCTIVE TO PROPER PLANT GROWTH CONTACT LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- SOIL RINGS SHALL BE CONSTRUCTED OF EXISTING SOIL AT THE OUTER EDGE OF THE TREE PLANTING PIT WITH A HEIGHT AND WIDTH OF 4".
- STRAPPING SHALL BE MINIMUM 1" WIDE NYLON OR POLYPROPYLENE. GUYING MATERIAL IN CONTACT WITH TREE SHALL BE SOFT, PLIABLE, FLEXIBLE RUBBER.
- SABAL PALMS (IF PLANTED) MAY BE HURRICANE CUT. ALL OTHERS MUST HAVE FRONDS TIED WITH BIODEGRADABLE STRAP. TRUNKS SHALL HAVE NO SCARS OR SANDING.
- ALL GREEN AREAS FOUND WITHIN THE PROJECT BOUNDARIES ARE TO BE FULLY STABILIZED PRIOR TO REQUESTING FINAL INSPECTION. AREAS NOT ILLUSTRATED AS SODDED OR CONTAINING CYPRESS MULCH MUST BE SEEDED.

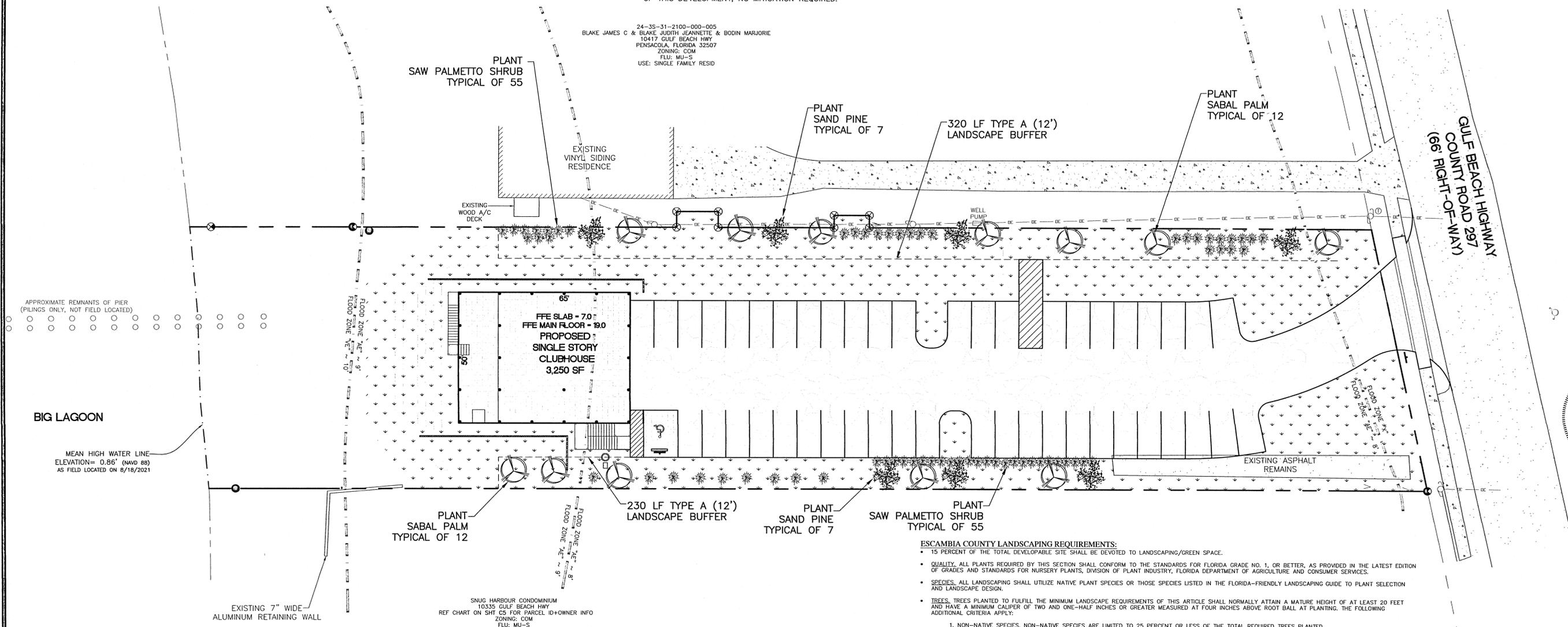
LINE	BEARING	LENGTH
L1(F)	N86°38'14"W	4.70'
L1(D)	N89°59'30"W	4.70'
L2(F)	S03°21'46"W	13.40'
L2(D)	S00°00'30"W	13.40'
L3(F)	S86°38'14"E	4.70'
L3(D)	S89°59'30"E	4.70'
L4(F)	S03°21'46"W	43.84'
L4(D)	S00°00'30"W	43.84'
L5(F)	N86°38'14"W	6.00'
L5(D)	N89°59'30"W	6.00'
L6(F)	S03°21'46"W	15.66'
L6(D)	S00°00'30"W	15.66'
L7(F)	S86°38'14"E	6.00'
L7(D)	S89°59'30"E	6.00'

LANDSCAPING LAND DISTURBANCE APPROVAL:

PROPOSED LANDSCAPING PLAN APPROVED UNDER LAND DISTURBANCE PERMIT #21104406PLM

REQUIRED MITIGATION:

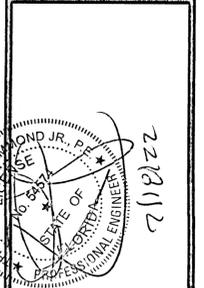
NO PROTECTED TREES TO BE REMOVED AS PART OF THIS DEVELOPMENT, NO MITIGATION REQUIRED.



- ESCAMBIA COUNTY LANDSCAPING REQUIREMENTS:**
- 15 PERCENT OF THE TOTAL DEVELOPABLE SITE SHALL BE DEVOTED TO LANDSCAPING/GREEN SPACE.
 - QUALITY. ALL PLANTS REQUIRED BY THIS SECTION SHALL CONFORM TO THE STANDARDS FOR FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF "GRADES AND STANDARDS FOR NURSERY PLANTS", DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
 - SPECIES. ALL LANDSCAPING SHALL UTILIZE NATIVE PLANT SPECIES OR THOSE SPECIES LISTED IN THE FLORIDA-FRIENDLY LANDSCAPING GUIDE TO PLANT SELECTION AND LANDSCAPE DESIGN.
 - TREES. TREES PLANTED TO FULFILL THE MINIMUM LANDSCAPE REQUIREMENTS OF THIS ARTICLE SHALL NORMALLY ATTAIN A MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES OR GREATER MEASURED AT FOUR INCHES ABOVE ROOT BALL AT PLANTING. THE FOLLOWING ADDITIONAL CRITERIA APPLY:
 - NON-NATIVE SPECIES. NON-NATIVE SPECIES ARE LIMITED TO 25 PERCENT OR LESS OF THE TOTAL REQUIRED TREES PLANTED.
 - DIVERSITY. THE DIVERSITY OF ANY TREES REQUIRED TO BE PLANTED ON A SITE SHALL COMPLY WITH THE FOLLOWING LIMITS TO AVOID UNIFORM SITE TREE DECLINE FROM PESTS OR DISEASE:
 - A MAXIMUM OF 67% OF THE TOTAL TREES TO BE PLANTED MAY BE OF THE SAME SPECIES.
 - USE OF PALMS. PALMS DO NOT COMPLY WITH DEFINITION OF TREE FOR THE PURPOSES OF THESE LANDSCAPING PROVISIONS. HOWEVER, WIND-RESISTANT SPECIES MAY BE SUBSTITUTED AT THE RATIO OF TWO PALMS FOR ONE REQUIRED TREE FOR UP TO 50 PERCENT OF TREES REQUIRED FOR DEVELOPMENT ON SANTA ROSA ISLAND OR PERDIDO KEY, EXCLUDING ANY TREES REQUIRED SPECIFICALLY FOR BUFFERING OR REPLACEMENTS FOR PROTECTED TREE REMOVAL. SUCH PALMS INCLUDE: DATE PALM (PHOENIX SPP. EXCEPT P. RECLINATA) AND CABBAGE OR SABAL, (SABAL PALMETTO).
 - ALL SHRUBS SHALL BE A MINIMUM OF 12 INCHES IN HEIGHT AT TIME OF PLANTING.
 - TURF GRASS. CONSISTENT WITH FLORIDA-FRIENDLY PRACTICES, DEVELOPMENT SHOULD CONSOLIDATE AND LIMIT THE USE OF MOST TURF GRASSES TO ESSENTIAL AREAS. WHEN USED, GRASS SHALL BE SPECIES NORMALLY GROWN AS PERMANENT LAWNS IN ESCAMBIA COUNTY. ALL SOD SHALL BE CLEAN AND REASONABLY FREE OF WEEDS, NOXIOUS PESTS, AND DISEASES. WHEN GRASS AREAS ARE TO BE SEED, SPRIGGED, OR PLUGGED, SPECIFICATIONS MUST BE SUBMITTED. SUBSTANTIAL COVERAGE MUST BE ACHIEVED WITHIN 180 DAYS AND NURSE GRASS SHALL BE SOWN FOR IMMEDIATE EFFECTS AND PROTECTION UNTIL COVERAGE IS OTHERWISE ACHIEVED.
 - ALL PLANTS SHALL CONFORM TO THE STANDARDS OF FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF "GRADES AND STANDARDS OF NURSERY PLANTS", DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
 - ALL PROTECTED TREES LOCATED ONSITE SHALL REMAIN UNTIL THE APPROPRIATE PERMITS (ESC. CO. DEVELOPMENT ORDER, ESC. CO. SITE WORK PERMIT, ESC CO. BUILDING PERMIT, ETC.) ARE ISSUED FOR THE DEVELOPMENT.

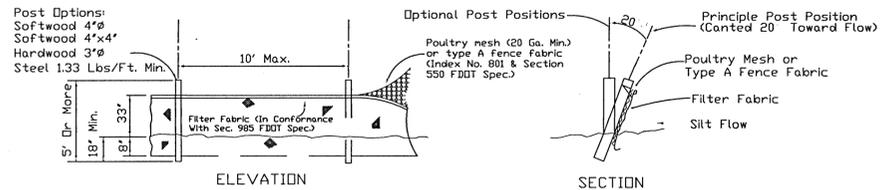
NO.	DATE	REVISIONS
1	07/26/22	REVISED PLANS AS PER ESCO PERMIT REVIEW COMMENTS
2	02/11/22	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

HAMMOND ENGINEERING, INC.
 FLORIDA AUTHORIZATION NO. 91130
 ALABAMA AUTHORIZATION NO. 3277
 3802 NORTH 5TH STREET
 PENSACOLA, FLORIDA 32505
 850 434-2603
 FAX 850-434-2650
 TOM@SELANDDESIGN.COM



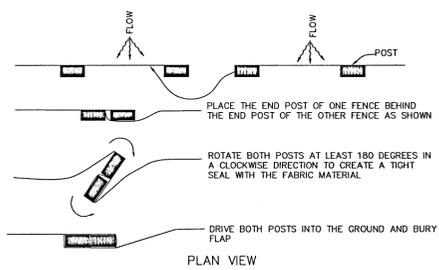
SITE DEVELOPMENT PLANS FOR PENSACOLA BIG GAME FISHING CLUB CLUBHOUSE LANDSCAPING PLAN
 ESCAMBIA COUNTY FLORIDA

PROJECT NO: 21-063
SHEET: C8



TYPE IV SILT FENCE

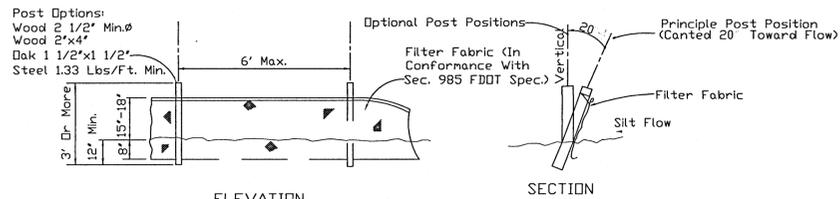
NTS



JOINING TWO SILT FENCES

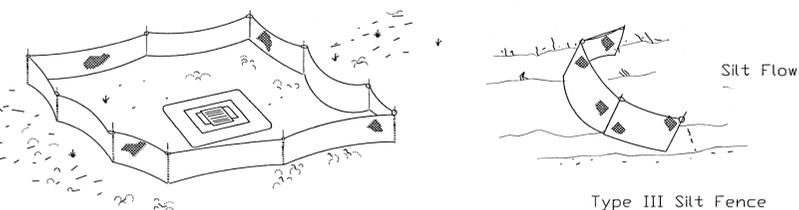
NTS

- NOTES FOR SILT FENCES:**
- TYPE III SILT FENCE TO BE USED AT MOST LOCATIONS. WHERE USED IN DITCHES, THE SPACING FOR TYPE III SILT FENCE SHALL BE IN ACCORDANCE WITH CHART 1 (FOUND BELOW)
 - TYPE IV SILT FENCE TO BE USED WHERE LARGE SEDIMENT LOADS ARE ANTICIPATED. SUGGESTED USE IS WHERE FILL SLOPE IS 1:2 OR STEEPER AND LENGTH OF SLOPE EXCEEDS 25'. AVOID USE WHERE THE DETAINED WATER MAY BACK INTO TRAVEL LANES OR ADJACENT PROPERTY.
 - DO NOT CONSTRUCT SILT FENCES ACROSS PERMANENT FLOWING WATER COURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.
 - WHERE USED AS SLOPE PROTECTION, SILT FENCE IS TO BE CONSTRUCTED ON 0% LONGITUDINAL GRADE TO AVOID CHANNELIZING RUNOFF ALONG THE LENGTH OF THE FENCE.



TYPE III SILT FENCE

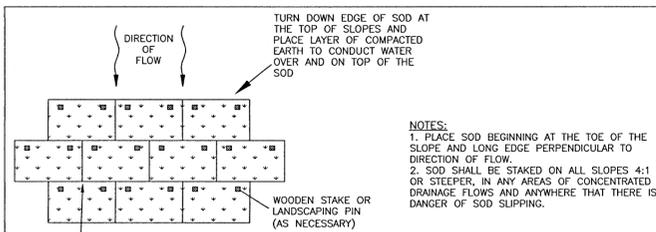
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Type III Silt Fence Protection Around Ditch Bottom Inlets.

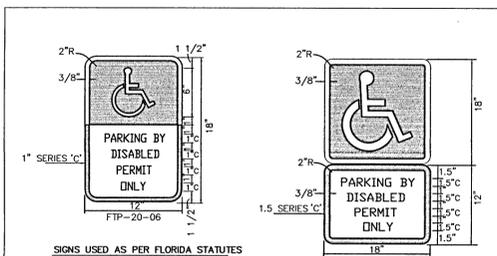
SILT FENCE APPLICATIONS

NTS



SODDING DETAIL

NTS

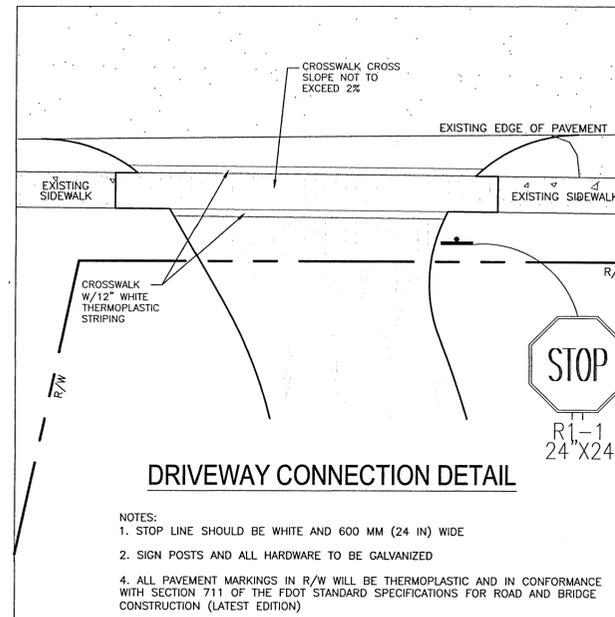


VIOLATORS \$250 FINE - INSTALL BELOW HANDICAP SIGN (FTP-22-06)

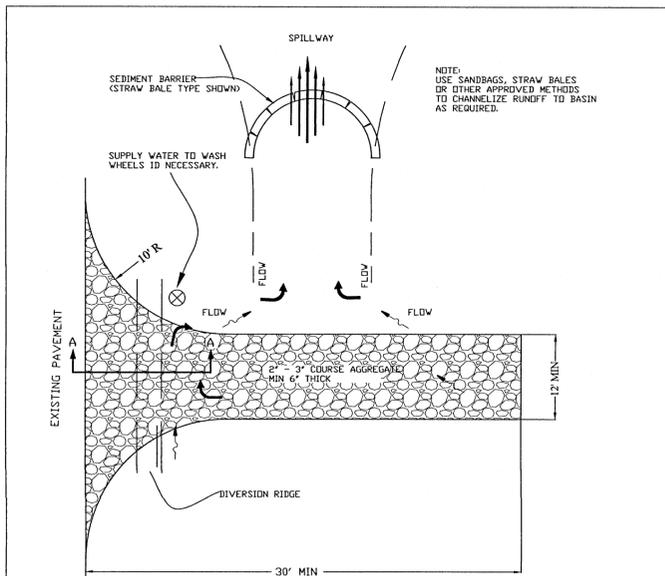
- NOTES:**
- Top portion of FTP 20-06 & 21-06 shall have a reflective blue background with white reflective symbol and border.
 - Bottom portion shall have a reflective white background with black opaque legend and border.
 - FTP 20-06 & 21-06 may be fabricated on one panel or two.
 - FTP 20-06 may be substituted for the FTP 21-06 in areas where space is limited.
 - Signs are to be mounted at standard height. (7' from pavement to bottom of sign).

HANDICAPPED PARKING SIGN DETAIL

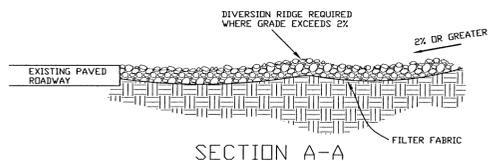
NTS



- NOTES:**
- STOP LINE SHOULD BE WHITE AND 600 MM (24 IN) WIDE
 - SIGN POSTS AND ALL HARDWARE TO BE GALVANIZED
 - ALL PAVEMENT MARKINGS IN R/W WILL BE THERMOPLASTIC AND IN CONFORMANCE WITH SECTION 711 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION)



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE TO BE CONSTRUCTED AT ALL DESIGNATED CONSTRUCTION ENTRANCES AND EXITS.

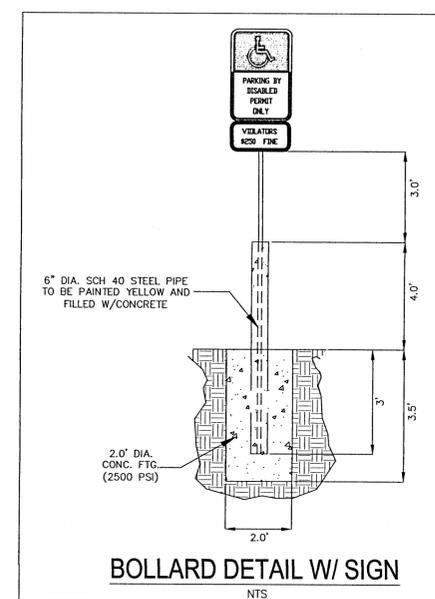


TEMPORARY CONSTRUCTION ENTRANCE

NTS

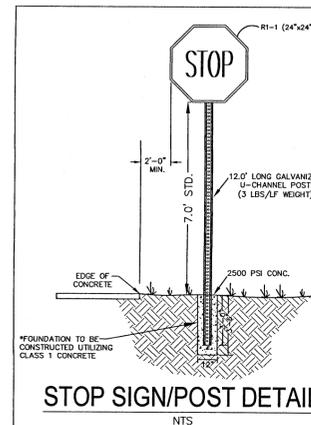
- NOTES:**
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

Offsite vehicle tracking of sediments and geration of dust shall be minimized. A stabilized construction access road shall be utilized to reduce off-site tracking. Offsite sediment removal should be conducted at a frequency necessary to minimize impacts. Vehicle wash area should be considered if offsite tracking becomes excessive.



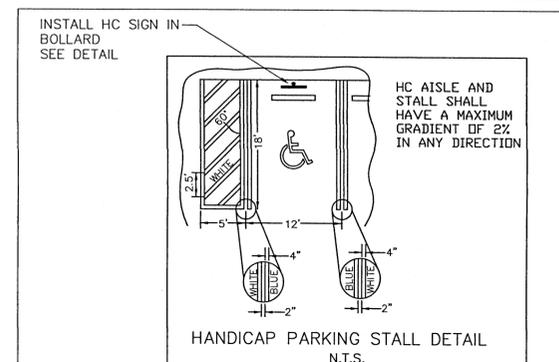
BOLLARD DETAIL W/ SIGN

NTS



STOP SIGN/POST DETAIL

NTS

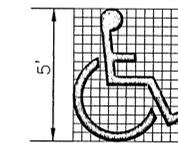


HANDICAP PARKING STALL DETAIL

N.T.S.

HANDICAP PARKING SPACE TO BE CONSTRUCTED IN ACCORDANCE TO FDOT ROADWAY AND TRAFFIC DESIGN STANDARD INDEX 17346

SYMBOL SHALL BE WHITE IN COLOR. REFERENCE FDOT DESIGN STANDARDS INDEX 17346 FOR ADDITIONAL DETAILS

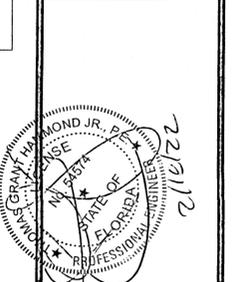


HANDICAP PAVEMENT SYMBOL/LINING

NTS

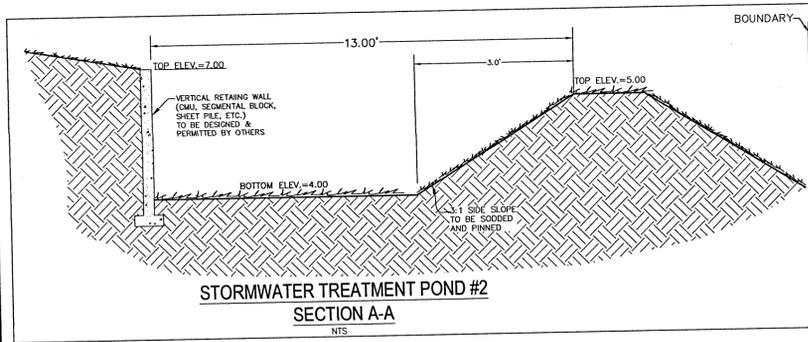
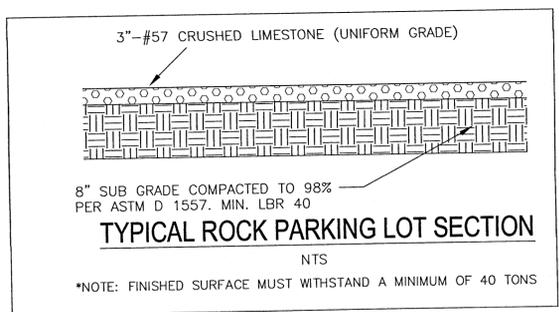
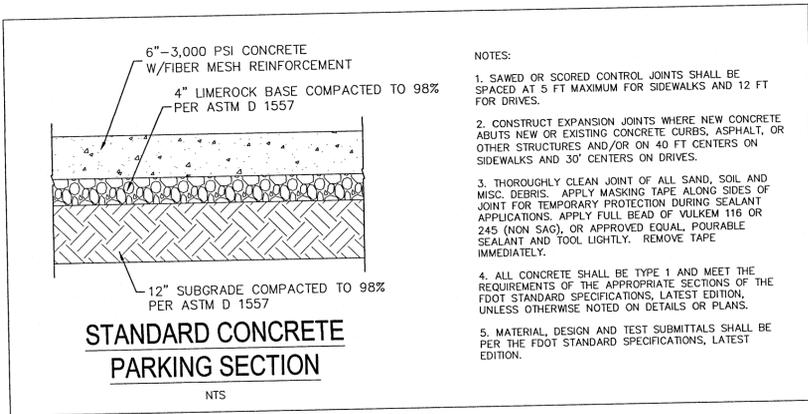
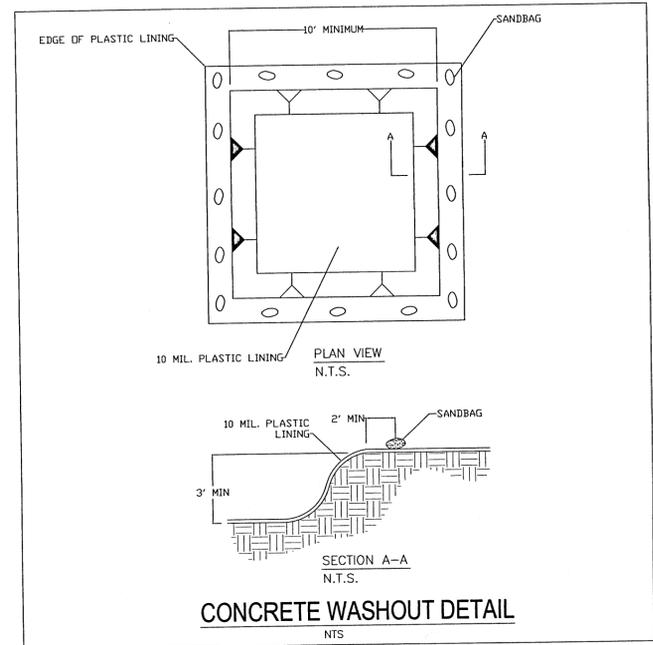
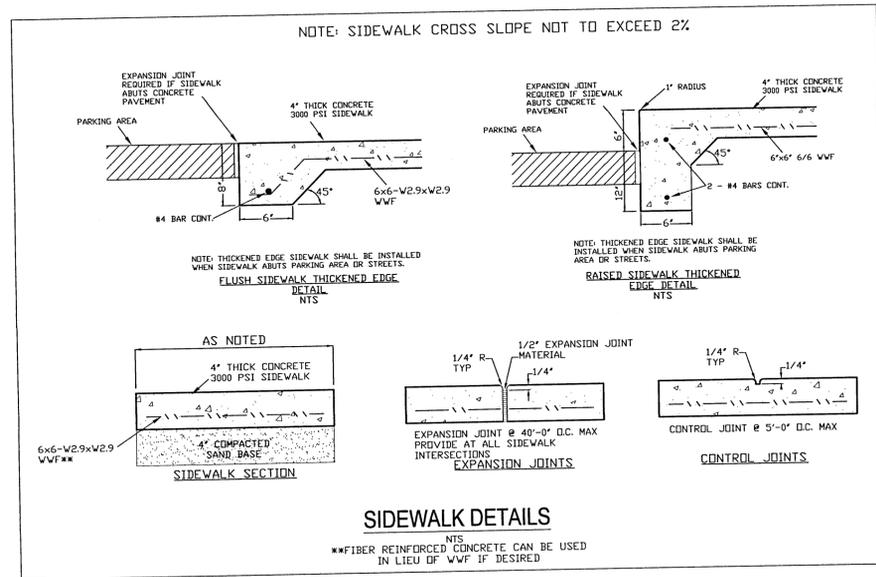
NO.	DATE	REVISIONS
1	01/26/22	REVISED PLANS AS PER ECIA PERMIT REVIEW COMMENTS
2	02/11/22	REVISED PLANS AS PER ESCAMBIA COUNTY DRG REVIEW COMMENTS

HAMMOND ENGINEERING, INC.
 FLORIDA AUTHORIZATION NO. 9130
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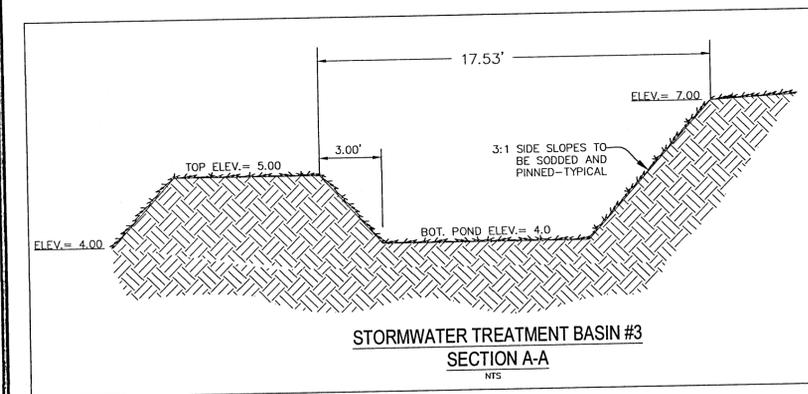
SITE DEVELOPMENT PLANS FOR PENSACOLA BIG GAME FISHING CLUB CLUBHOUSE CONSTRUCTION DETAILS

DRAWN BY: CJB	DATE:
DESIGNED BY: RLS	
CHECKED BY: TGH	
DATE: 12-09-2021	
SCALE: AS SHOWN	
NOT RELEASSED FOR CONSTRUCTION	
PROJECT NO: 21-063	



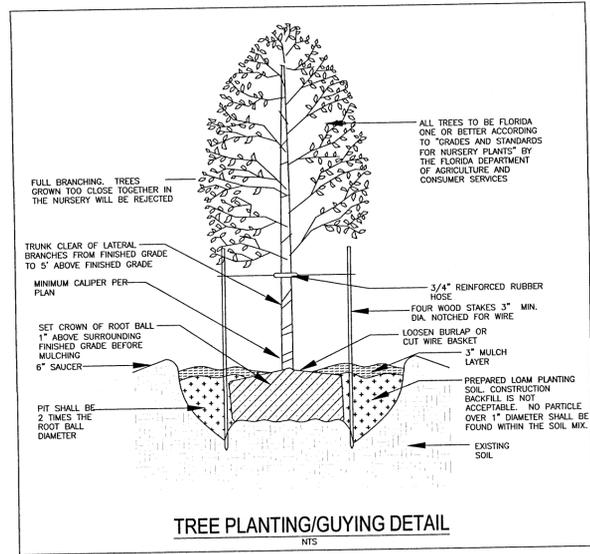
DETENTION BASIN CONSTRUCTION

1. INITIALLY INSTALL ALL EROSION AND SEDIMENT CONTROL BMP'S AS ILLUSTRATED ON THE EROSION CONTROL PLAN PROVIDED AS PART OF THESE PLANS (SHEET C3)
2. CONSTRUCT THE DETENTION BASIN TO ROUGH GRADE BY UNDER-EXCAVATING THE BASIN BOTTOM AND SIDES BY ABOUT 6 INCHES.
3. AFTER THE DRAINAGE AREA CONTRIBUTING TO THE BASIN HAS BEEN FULLY STABILIZED, THE INTERIOR SIDE SLOPES AND BASIN BOTTOM SHALL BE EXCAVATED TO FINAL DESIGN SPECIFICATIONS. THE EXCESS SOIL AND UNDESIRABLE MATERIAL MUST BE CAREFULLY EXCAVATED AND REMOVED FROM THE POND SO THAT ALL ACCUMULATED SILTS, CLAYS, ORGANICS, AND OTHER FINE SEDIMENT MATERIAL HAS BEEN REMOVED FROM THE POND AREA. THE EXCAVATED MATERIAL SHALL BE DISPOSED OF BEYOND THE LIMITS OF THE DRAINAGE AREA OF THE BASIN.
4. ONCE THE BASIN HAS BEEN EXCAVATED TO FINAL GRADE, THE ENTIRE BASIN BOTTOM MUST BE DEEP RAKED AND LOOSENED FOR OPTIMAL FILTRATION.
5. FINALLY, THE PROPOSED BANK SLOPE AND POND BOTTOM SHALL BE PERMANENTLY STABILIZED IN A MANNER THAT GUARANTEES HEALTHY GROWTH OF GRASS (FREE FROM NOXIOUS WEEDS) SUCH AS PANGALA, ARGENTINE BAHIA, BERMUDA, CENTPEDEE OR OTHER SUITABLE GRASS.
6. CONTRACTOR SHALL CONTACT BUILDING INSPECTION DEPARTMENT (850-595-3550) REGARDING REQUIRED PERMIT(S) FOR PROPOSED RETAINING WALL(S) EXTENDING GREATER THAN 2 FEET IN HEIGHT.
7. CONSTRUCTED RETAINING WALLS WILL REQUIRE AS-BUILT CERTIFICATION BY DESIGNING STRUCTURAL ENGINEER PRIOR TO ISSUANCE OF CO.



DETENTION BASIN CONSTRUCTION

1. INITIALLY INSTALL ALL EROSION AND SEDIMENT CONTROL BMP'S AS ILLUSTRATED ON THE EROSION CONTROL PLAN PROVIDED AS PART OF THESE PLANS (SHEET C3)
2. CONSTRUCT THE DETENTION BASIN TO ROUGH GRADE BY UNDER-EXCAVATING THE BASIN BOTTOM AND SIDES BY ABOUT 6 INCHES.
3. AFTER THE DRAINAGE AREA CONTRIBUTING TO THE BASIN HAS BEEN FULLY STABILIZED, THE INTERIOR SIDE SLOPES AND BASIN BOTTOM SHALL BE EXCAVATED TO FINAL DESIGN SPECIFICATIONS. THE EXCESS SOIL AND UNDESIRABLE MATERIAL MUST BE CAREFULLY EXCAVATED AND REMOVED FROM THE POND SO THAT ALL ACCUMULATED SILTS, CLAYS, ORGANICS, AND OTHER FINE SEDIMENT MATERIAL HAS BEEN REMOVED FROM THE POND AREA. THE EXCAVATED MATERIAL SHALL BE DISPOSED OF BEYOND THE LIMITS OF THE DRAINAGE AREA OF THE BASIN.
4. ONCE THE BASIN HAS BEEN EXCAVATED TO FINAL GRADE, THE ENTIRE BASIN BOTTOM MUST BE DEEP RAKED AND LOOSENED FOR OPTIMAL FILTRATION.
5. FINALLY, THE ENTIRE BANK SLOPE AND POND BOTTOM SHALL BE PERMANENTLY STABILIZED IN A MANNER THAT GUARANTEES HEALTHY GROWTH OF GRASS (FREE FROM NOXIOUS WEEDS) SUCH AS PANGALA, ARGENTINE BAHIA, BERMUDA, CENTPEDEE OR OTHER SUITABLE GRASS.



List of Recommended Native and Non-Invasive Plants

Shrubs (mature height 36" min.)	Understory Trees (mature height 15-29 feet)	Canopy Trees (mature height over 30 feet)
Abelia	Flowering Dogwood	Red Maple
<i>Abelia grandiflora</i>	<i>Cornus florida</i>	<i>Acer rubrum</i>
<i>Acacia japonica</i>	Loblolly Bay	Silver Maple
<i>Aucuba</i>	<i>Cordia allanstonii</i>	<i>Acer saccharum</i>
Barberry	American Holly	American Hornbeam
<i>Berberis</i> sp.	<i>Nex opaca</i>	<i>Corpinus caroliniana</i>
Japanese Boxwood	Dahoon Holly	Southern Red Cedar
<i>Buxus microphylla</i>	<i>Nex cassine</i>	<i>Juniperus silicicola</i>
Beauty Berry	Crape Myrtle	Leyland Cypress
<i>Callicarpa americana</i>	<i>Lagerströmia indica</i>	<i>Cupressocyparis leylandii</i>
Japanese Plum-Yew	Glossy Privet	River Birch
<i>Cephalotaxus harringtonia</i>	<i>Ligustrum lucidum</i>	<i>Betula nigra</i>
Silverhorn Eleagnus	Sour Magnolia	Pignut Hickory
<i>Elaeagnus pungens</i>	<i>Magnolia z soulangeana</i>	<i>Carpe glabra</i>
Fatsia	Sweetbay Magnolia	Green Ash
<i>Fatsia japonica</i>	<i>Magnolia virginiana</i>	<i>Fraxinus pennsylvanica</i>
Gardenia	Southern Crab Apple	Moldenhorst Tree
<i>Gardenia jasminoides</i>	<i>Malus angustifolia</i>	<i>Cingto biloba (male)</i>
Burford Holly	Wax Myrtle	Sweetgum
<i>Nex cornuta</i>	<i>Myrica cerifera</i>	<i>Liquidambar styraciflua</i>
Japanese Privet	Bradford Pear	Tulip Poplar
<i>Ligustrum japonicum</i>	<i>Pyrus calleryana</i>	<i>Liquidambar tulipifera</i>
Southern Wax Myrtle	<i>Nex vomitoria</i>	Southern Magnolia
<i>Myrica cerifera</i>	Loquat	<i>Magnolia grandiflora</i>
Firethorn	<i>Eryobotrya japonica</i>	Tupelo/Sour Gum
<i>Pyracantha coccinea</i>	Dwarf Japanese Holly	<i>Nyssa sylvatica</i>
<i>Nex cornuta</i>	Eastern Redbud	Slash Pine
Chinese Holly	<i>Nex canadensis</i>	<i>Pinus strobus</i>
<i>Nex cornuta</i>	Fringe Tree	Longleaf Pine
Dwarf Yaupon Holly	<i>Chionodoxa virginiana</i>	<i>Pinus palustris</i>
<i>Nex vomitoria 'Mama'</i>	Hawthorn	Sycamore
Chinese Juniper	<i>Crataegus</i> spp.	<i>Platanus occidentalis</i>
<i>Juniperus chinensis</i>	Silverbell	White Oak
<i>Juniperus horizontalis</i>	<i>Halimolobos caroliniana</i>	<i>Quercus alba</i>
Indian Hawthorn		Live Oak
<i>Rhododendron</i> sp.		<i>Quercus virginiana</i>
Red-Tip Photinia		Shumard Oak
<i>Rhododendron</i> sp.		<i>Quercus shumardii</i>
		Southern Red Oak
		<i>Quercus falcata</i>

REVISIONS

NO.	DATE	REVISIONS
1	01/28/22	REVISED PLANS AS PER ECUA PERMIT REVIEW COMMENTS
2	02/11/22	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

NO. DATE REVISIONS

1 01/28/22 REVISED PLANS AS PER ECUA PERMIT REVIEW COMMENTS

2 02/11/22 REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

HAMMOND ENGINEERING, INC.
 FLORIDA AUTHORIZATION NO. 9130
 ALABAMA AUTHORIZATION NO. 3277
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22/2/22

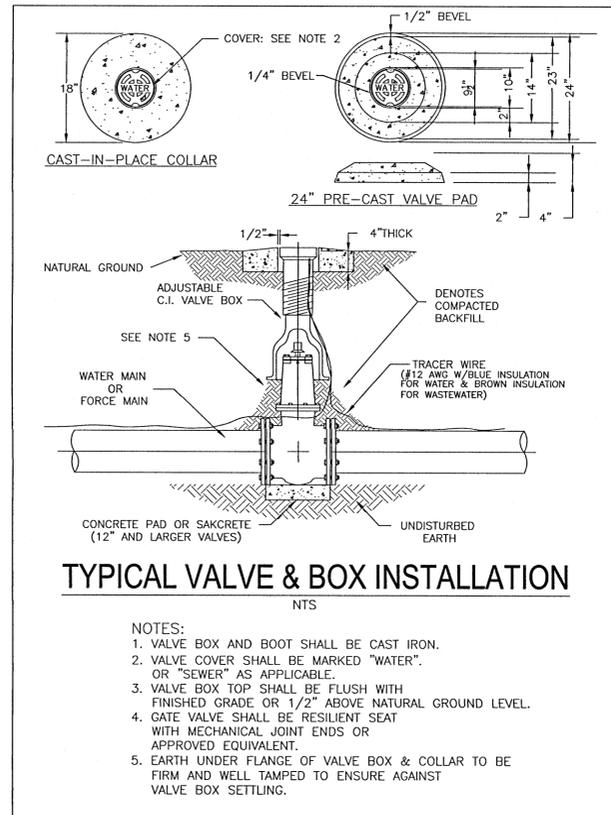
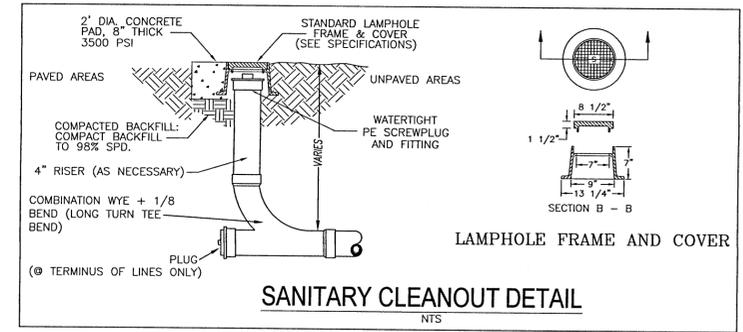
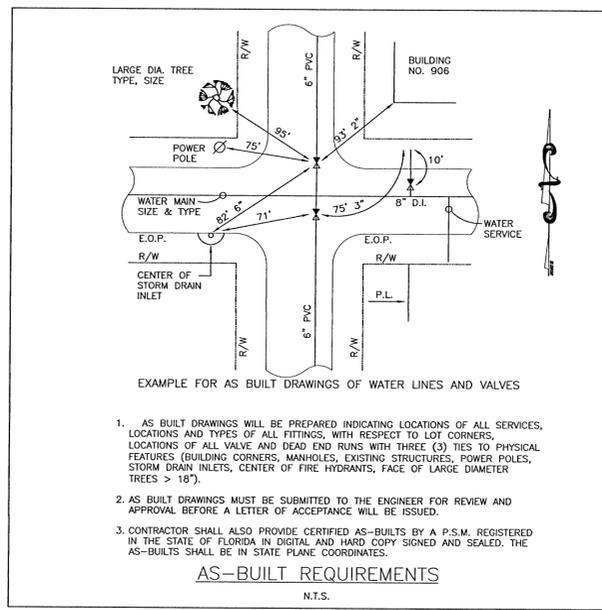
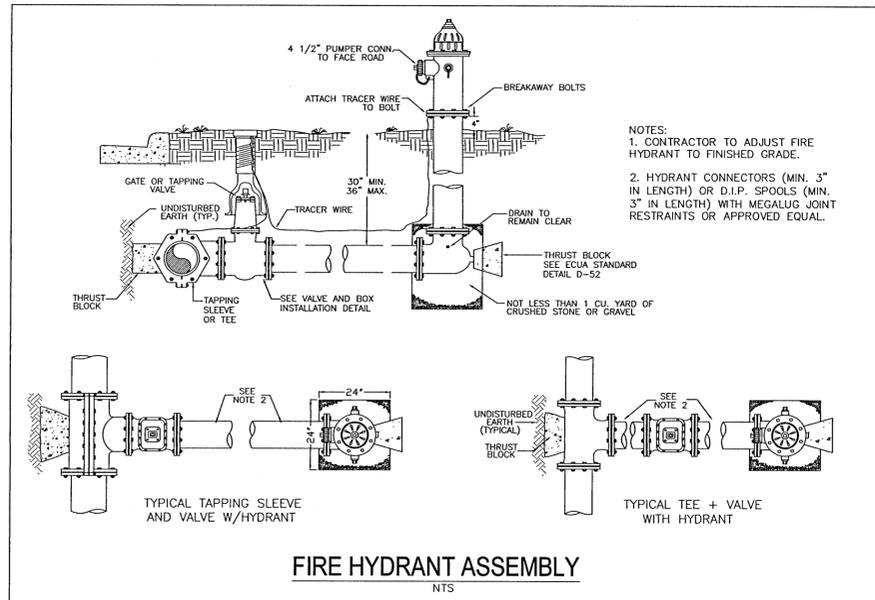
PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 LICENSE NO. 12512

SITE DEVELOPMENT PLANS FOR PENSACOLA BIG GAME FISHING CLUB CLUBHOUSE CONSTRUCTION DETAILS

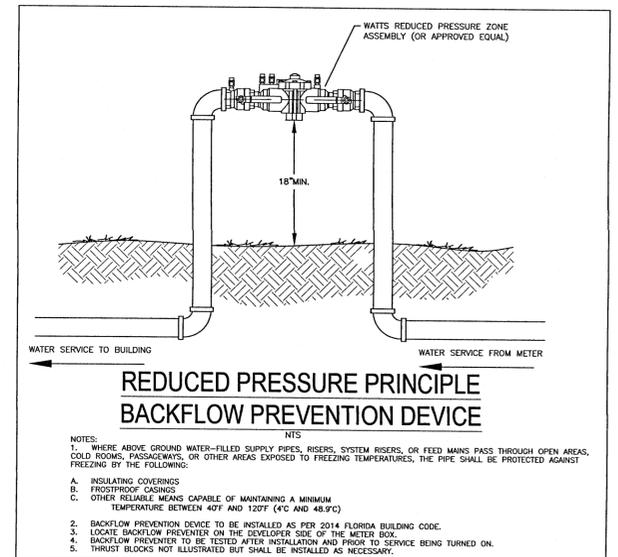
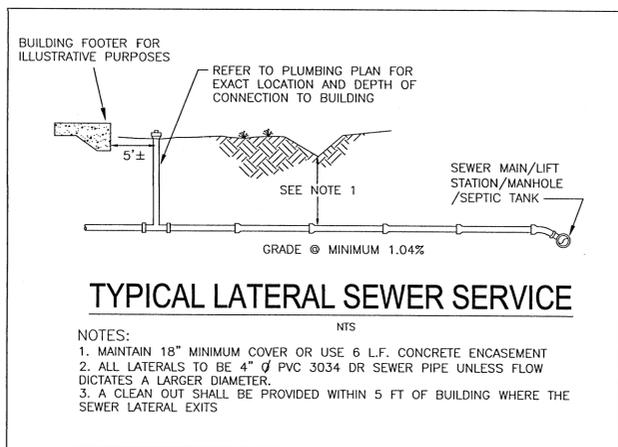
ESCAMBIA COUNTY FLORIDA

DRAWN BY: CJB
 DESIGNED BY: RLB
 CHECKED BY: TGH
 DATE: 12-09-2021
 SCALE: AS SHOWN
 NOT RELEASED FOR CONSTRUCTION

PROJECT NO: 21-063
 SHEET: C11



NOTE: ALL UTILITY DETAILS ILLUSTRATED PERTAIN TO ONSITE WORK ONLY. ALL WORK WITHIN PUBLIC R/W SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE ECUA ENGINEERING MANUAL CONTRACTOR TO REFERENCE ECUA ENGINEERING MANUAL FOR CONSTRUCTION DETAILS AND PROCEDURES.



NO.	DATE	REVISIONS
1	01/25/22	REVISED PLANS AS PER ECUA PERMIT REVIEW COMMENTS
2	02/11/22	REVISED PLANS AS PER ESCAMBA COUNTY DRC REVIEW COMMENTS

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SITE DEVELOPMENT PLANS FOR PENSACOLA BIG GAME FISHING CLUB CLUBHOUSE UTILITY DETAILS

ESCAMBA COUNTY FLORIDA

DRAWN BY: CJB
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 12-09-2021
SCALE: AS SHOWN
NOT RELEASED FOR CONSTRUCTION
BY: DATE:

PROJECT NO: 21-063
SHEET: C12

