

SITE CONSTRUCTION PLANS

FOR

BRENTWOOD ASSEMBLY OF GOD

2504 COPTER ROAD

ESCAMBIA COUNTY, FLORIDA

RBA PROJECT NO.: 2021.147

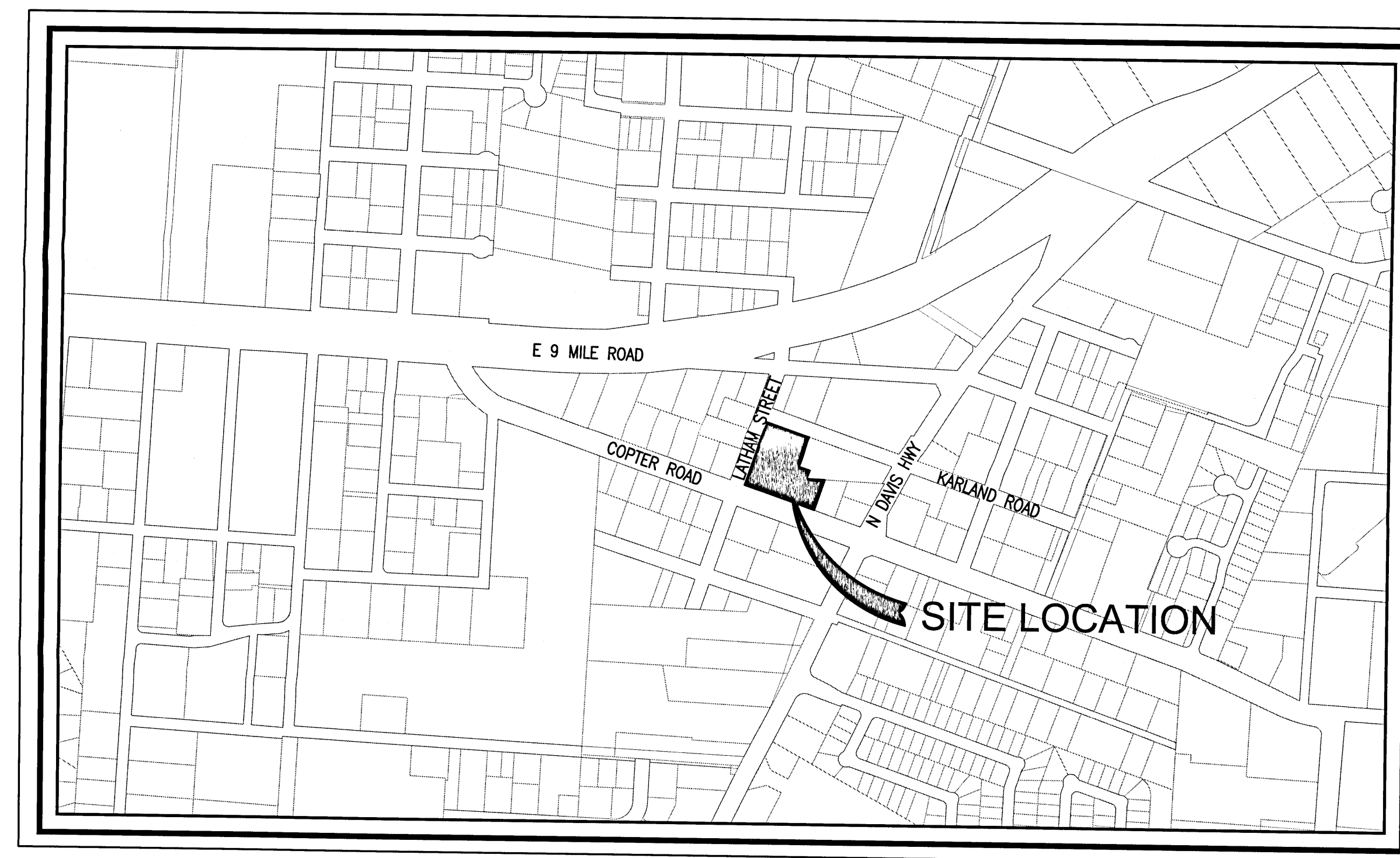
JANUARY 25, 2022

SITE INFORMATION	
OWNER:	BRENTWOOD ASSEMBLY OF GOD, INC. 4901 N PALAFOX HIGHWAY PENSACOLA, FLORIDA 32514
DEVELOPER:	D & B BUILDERS, INC. 670 MOLINO ROAD MOLINO, FLORIDA 32577 850.587.3597
PROPERTY REFERENCE NO:	15-1S-30-5101-000-000 & 15-1S-30-5102-000-000
PROPERTY ADDRESS:	2504 COPTER ROAD
PROPERTY AREA:	1.79 ACRES
PROJECT AREA:	1.82 ACRES
PROPERTY ZONING:	COM
FUTURE LAND USE:	COMMERCIAL
PROPOSED ACTIVITY:	CHURCH
REQUIRED BUILDING SETBACKS COM:	FRONT YARD - 15 FT. SIDE YARD - 10 FT. REAR YARD - 15 FT.

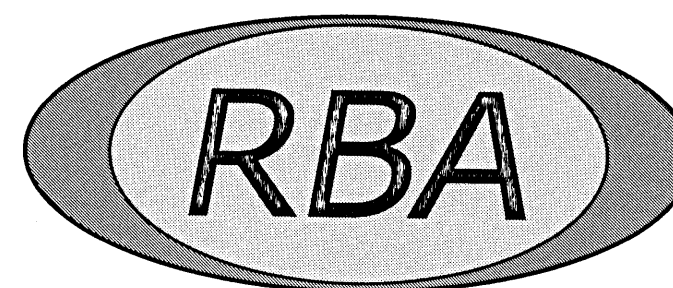
FEMA FLOOD INSURANCE RATE MAP INFORMATION					
THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:					
FLOOD ZONE(S)	COMMUNITY No.	MAP No.	PANEL No.	SUFFIX	MAP REVISION DATE
X	120080	12033C	315	G	SEPT 29, 2006

CONTACTS	
GULF POWER 5120 DOGWOOD DRIVE MILTON, FLORIDA 32570	CONTACT: CHAD SWAILS PHONE: 850.429.2446 FAX: 850.429.2432
COX CABLE 3405 McLEMORE DR. PENSACOLA, FLORIDA 32514	CONTACT: TROY YOUNG PHONE: 850.857.4510 FAX: 850.475.0821
ECUA 9255 STURDEVANT ST. PENSACOLA, FLORIDA 32514	CONTACT: TOMMY TAYLOR PHONE: 850.969.6516
ENERGY SERVICES GAS 1625 ATWOOD DRIVE PENSACOLA, FLORIDA 32504	CONTACT: DIANE MOORE PHONE: 850.474.5319 FAX: 850.474.5331
AT&T, INC. 605 W. GARDEN STREET PENSACOLA, FLORIDA 32501	CONTACT: JONATHAN BLANKINSHIP PHONE: 850.436.1489
ESCAMBIA COUNTY PUBLIC WORKS 3363 WEST PARK PLACE PENSACOLA, FLORIDA 32501	CONTACT: MRS. JOHNNY PETTIGREW PHONE: 850.595.3404
MCI	PHONE: 800.624.9675
SUNSHINE UTILITIES	PHONE: 800.432.4770

Approved ESCAMBIA COUNTY DRC PLAN REVIEW	
DRC Chairman Signature: <i>[Signature]</i>	Date: 2-2-22
Printed Name: <i>[Signature]</i>	
Development Services Director or Designee	
This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.	



VICINITY MAP
SCALE: 1" = 500'



REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors

2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400
Fax 850.438.0448
EB 00009657 LB 7916

INDEX OF DRAWINGS

- C1.0 EXISTING SITE, DEMOLITION AND EROSION CONTROL PLAN
- C1.1 EROSION CONTROL DETAILS
- C2.0 SITE LAYOUT AND DIMENSION PLAN
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- C3.0 GRADING AND DRAINAGE PLAN
- C3.1 GRADING AND DRAINAGE DETAILS
- C4.0 UTILITY PLAN
- C4.1 LIFT STATION DETAILS
- C5.0 LANDSCAPE PLAN

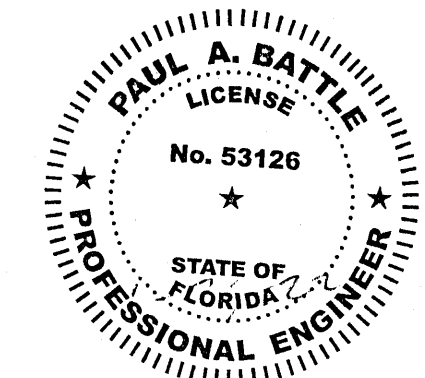
LEGAL DESCRIPTION

PARCEL ID: 151S305101000000

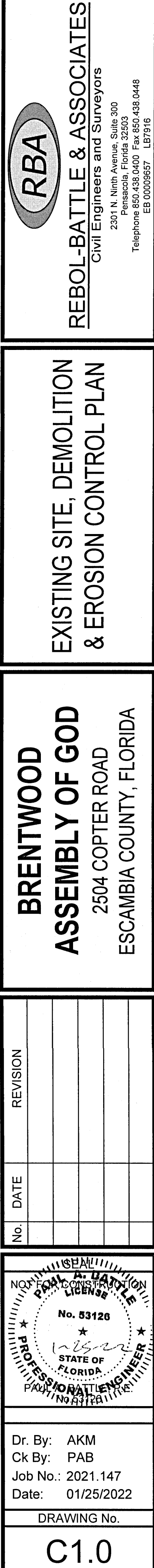
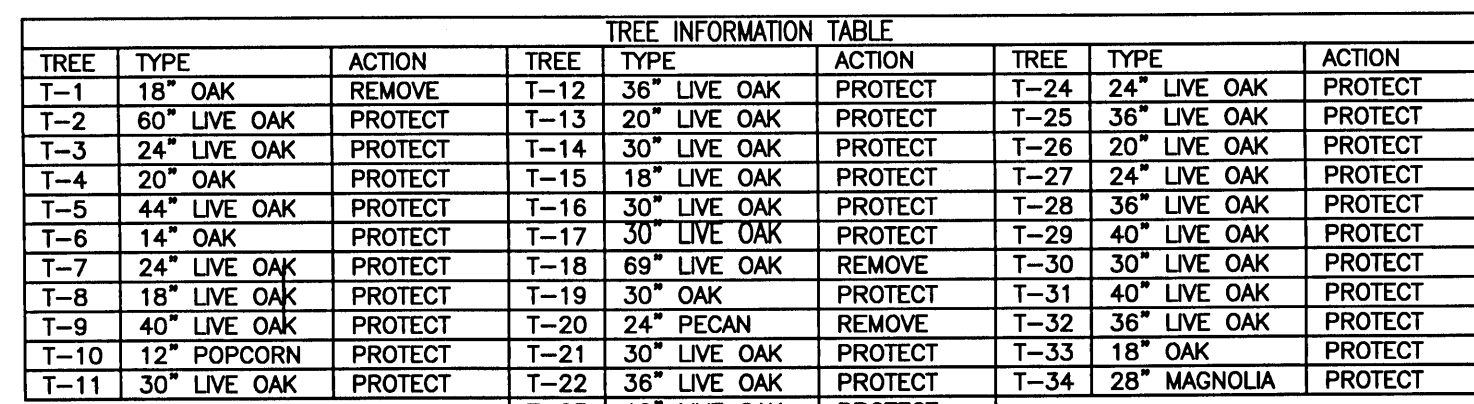
LT 6 S OF N 150 FT ALL LTS 7 TO 12 BLK 20 FERRY PASS HTS PB 1 P 64 ALSO BEG 50 FT N OF SW COR OF SEC 15 E PARL TO S U OF SEC 150 FT N TO S U OF LT 6 UNNUMBERED BLK PB 1 P 64 SWLY ALG S U OF LTS 6 7 8 TO W U OF SEC 15 S TO POB OR 8615 P 1147 SEC 4/15 T 1S R 3

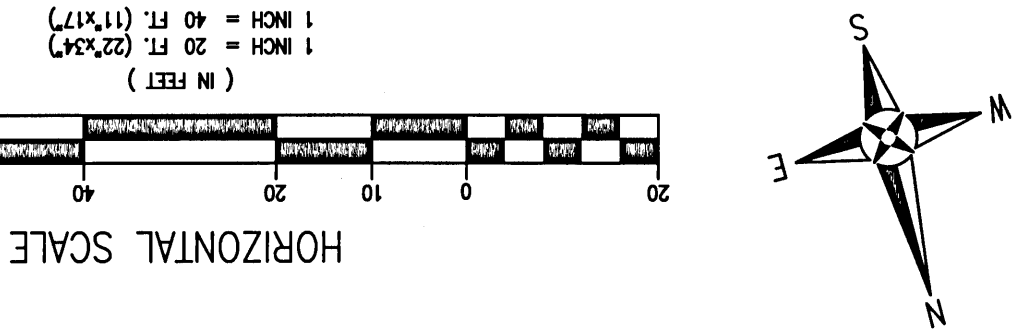
PARCEL ID: 151S305102000000

BEG 50 FT N OF SW COR OF SEC SELY AT RT ANG 150 FT FOR POB CONTINUE SELY 75 FT NLY AT RT ANG 143 83/100 FT TO S U OF UNNUMBERED BLK PB 1 P 64 SWLY ALG S U OF SAID BLK TO A POINT PERPENDICULAR N OF POB S TO POB OR 8615 P 1147



THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING "RELEASED FOR CONSTRUCTION" DRAWINGS FROM REBOL-BATTLE & ASSOCIATES BEFORE BEGINNING CONSTRUCTION. REBOL-BATTLE & ASSOCIATES WILL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION BASED ON PLANS THAT HAVE NOT BEEN RELEASED FOR CONSTRUCTION.





LEGEND

EXISTING ASPHALT	
PROPOSED ASPHALT	
PROPOSED CONCRETE	

GENERAL NOTES:

1. THE DEPARTMENT WILL REVIEW ALL LANE, DETOUR AND LANE SHIFT REQUESTS SEPARATELY FROM THE PERMIT PROCESS. FOOT APPROVAL IS REQUIRED BEFORE COMMENCEMENT OF WORK INVOLVING THE CLOSURE, DETOUR, OR LANE SHIFT FOR WORK ALONG THE STATE HIGHWAY SYSTEM. IF A LANE CLOSURE IS NEEDED, SUBMIT A WRITTEN REQUEST WITH PROPOSED DATES/TIME/S NOT INDICES OR PLAN. ALLOW AT LEAST 2 WEEKS IN YOUR SCHEDULING FOR THIS SPECIAL REVIEW.

2. ALL PAVEMENT MARKINGS AND STRIPING LOCATED WITHIN THE RIGHT-OF-WAY SHALL BE THERMOPLASTIC AND INSTALLED ACCORDING TO FDOT STANDARD INDEX 173.46 (LATEST EDITION).
3. ALL CONSTRUCTION IN RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FDOT SPECIFICATIONS.

4. ALL DISTURBED AREAS IN THE RIGHT-OF-WAY SHALL BE REGRADED AND SODDED AND/OR SEED AND MULCHED PER FOOT STANDARD INDEX (LATEST EDITION).

5. ALL NEEDED STRIPING DESTROYED DURING CONSTRUCTION SHALL BE RE-STRIPED ACCORDING TO FOOT STANDARD INDEX (LATEST EDITION).

6. ALL LANE MUST BE OPEN FOR TRAFFIC DURING AN EVACUATION NOTICE OF A

7. ALL SIGNS SHALL BE INSTALLED PER FDOT STANDARD INDEX 11865 (LATEST EDITION), WIND ZONE No. 1.

8. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR PRIOR TO FINAL "AS-BUILT" SIGN-OFF FROM THE COUNTY.

9. CONTRACTOR SHALL OBTAIN BUILDING INSPECTION DEPARTMENT PERMIT(S) FOR ANY REMAINING WALL HIGHER THAN 2 FEET.

LAND DISTURBING NOTE

ANY LAND DISTURBING ACTIVITIES, INCLUDING THE PLACEMENT OF FILL OR MATERIALS, GRADING, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PERMIT(S) ARE ISSUED FOR THE PROPOSED WORK.

EVACUATION NOTE:
ALL Lanes MUST BE OPEN FOR TRAFFIC DURING AN EVACUATION
NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL
REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT AS
DIRECTED BY THE LOCAL MAINTENANCE ENGINEER OR HIS DESIGNEE.

AREA CALCULATIONS:
TOTAL PROPERTY AREA = 77,972 SF
EXISTING BUILDING AREA = 0 SF
EXISTING IMPERVIOUS AREA = 0 SF (0%)
EXISTING SEMI-IMPERVIOUS AREA = 0 SF (0%)

EXISTING PERVIOUS AREA = 77,972 (100%)
PROPOSED BUILDING AREA (FOOTPRINT) = 4,675 SF
PROPOSED IMPERVIOUS AREA = 14,421 SF
PROPOSED POND AREA = 11,755 SF
PROPOSED PERVIOUS AREA = 47,121 SF
TOTAL IMPERVIOUS AREA = 14,996 SF (19.4%)

PARKING CALCULATIONS

TOTAL IMPERVIOUS AREA = 19,096 SF (74.3%)	
TOTAL PAVED AREA = 58,876 SF (75.5%)	
<u>TOTAL REQUIRED PARKING SPACES</u>	
PLACE OF WORSHIP (1 SPACES/4 SEATS)	
84 SEATS * 1 SPACE/4 SEATS = 21 SPACES	

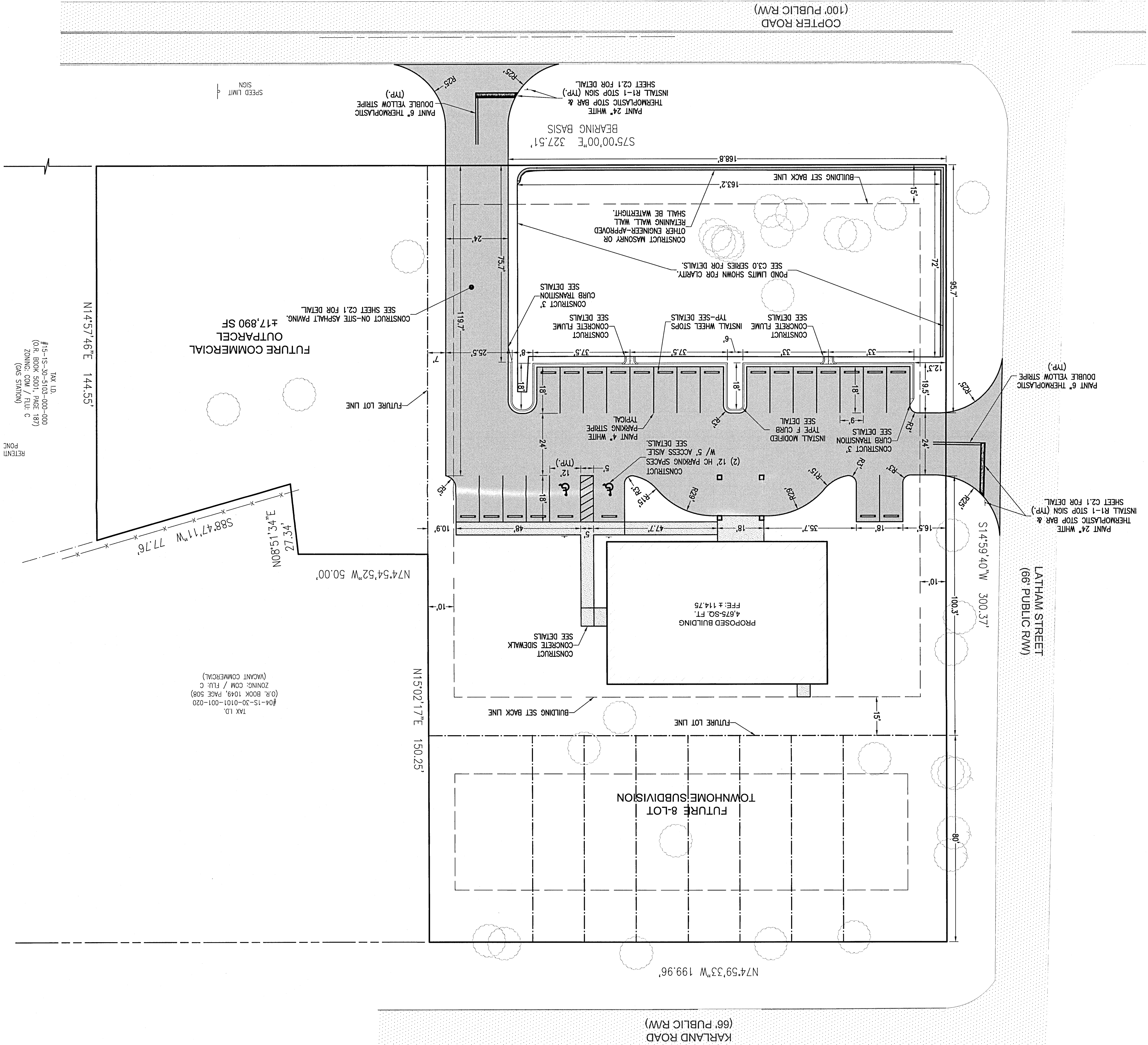
STANDARD PARKING SPACES PROVIDED = 23
TOTAL PARKING SPACES REQUIRED = 21
H.C. PARKING SPACES = 2

SOLID WASTE DISPOSAL:
SOLID WASTE WILL BE DISPOSED OF VIA CURB SIDE PICK-UP.

FLOOD ZONE NOTE:
THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE 'X'.

(MINIMAL) RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT ANNUAL-CHANGE FLOOD PLANS, NO BFEs OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY 120080, FIRM MAP PANEL NUMBER 12033C03156, MAP REVISION DATED SEPTEMBER 29, 2006.

ALL EXTERIOR SITE LIGHTING SHALL ADHERE TO THE ESCAMBIA COUNTY LAND DEVELOPMENT CODE (SECTION 5-9.3).



REBOL-BATTLE & ASSOCIATES

Civil Engineers and Surveyors

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ED 00060867 LB7916

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ASSEMBLY OF GOD**
2504 COPTER ROAD
ESCAMBIA COUNTY, FLORIDA

[illegible]

D. BY: AKM	CK BY: PAB
Job No: 2021.147	Date: 01/25/2022
DRAWING No.	
C2.0	

[illegible]

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ESCAMBIA COUNTY, FLORIDA

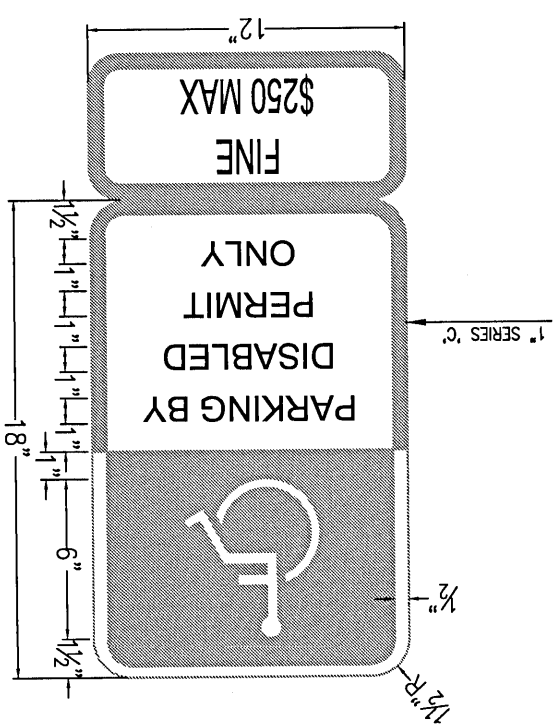
SITE LAYOUT DETAILS



REBOL-BATTLE & ASSOCIATES

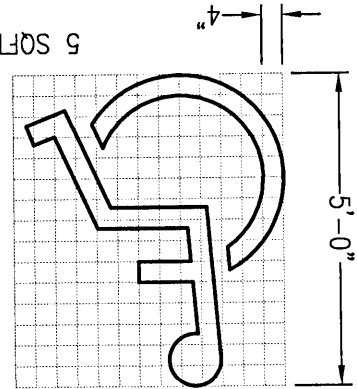
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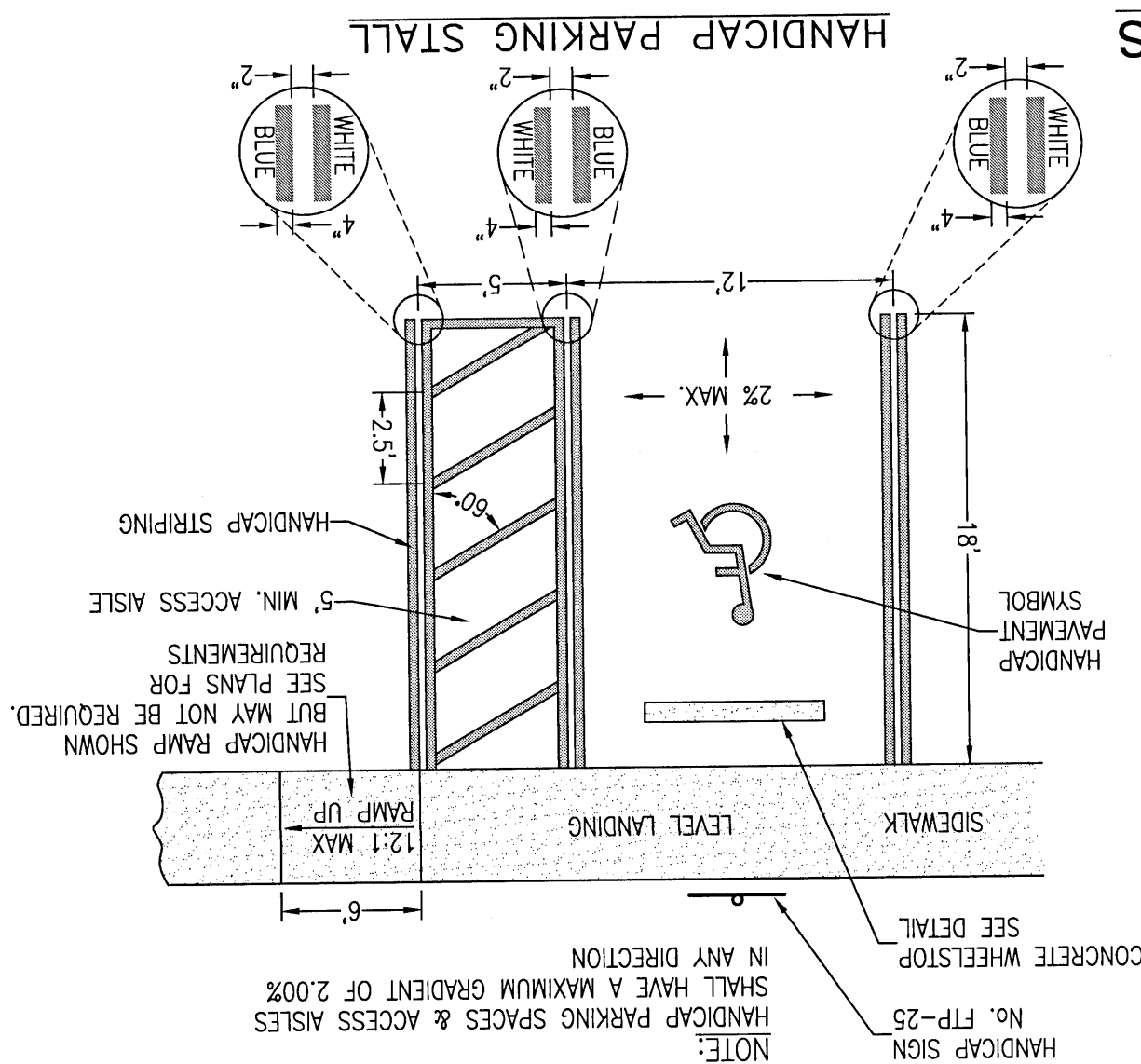
NOTES:

1. TOP PORTION OF FIP 25 SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER.
2. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
3. FIP 25 MAY BE FABRICATED ON ONE PANEL OR TWO.
4. SIGNS ARE TO BE MOUNTED AT STANDARD HEIGHT. (7' FROM PAVEMENT TO BOTTOM OF SIGN).
5. STANDARD PLAN, INDEX AS PER F.O.I.T. SIGN COLUMN TO BE AS PER F.O.I.T. SIGN USED AS PER FLORIDA STATUTES FS 316.1955, FS 316.1961

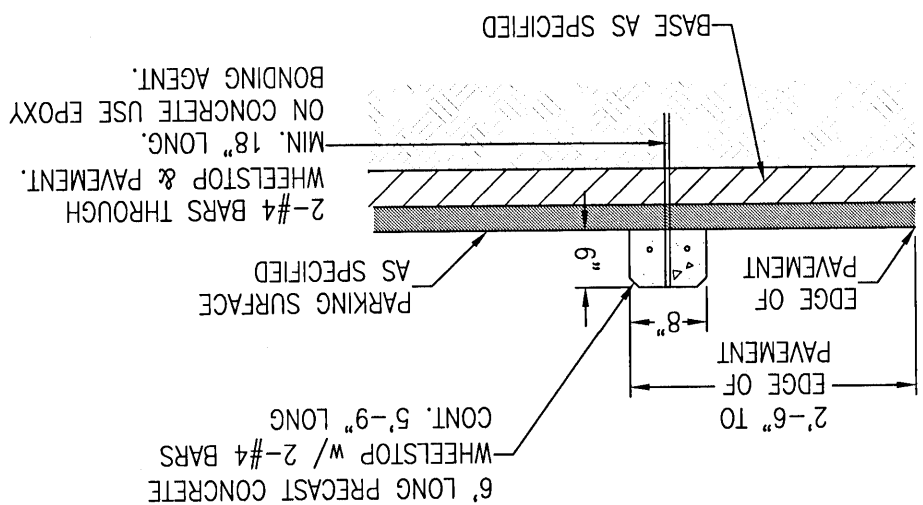


HANDICAP PARKING STALL DETAILS

N.T.S.



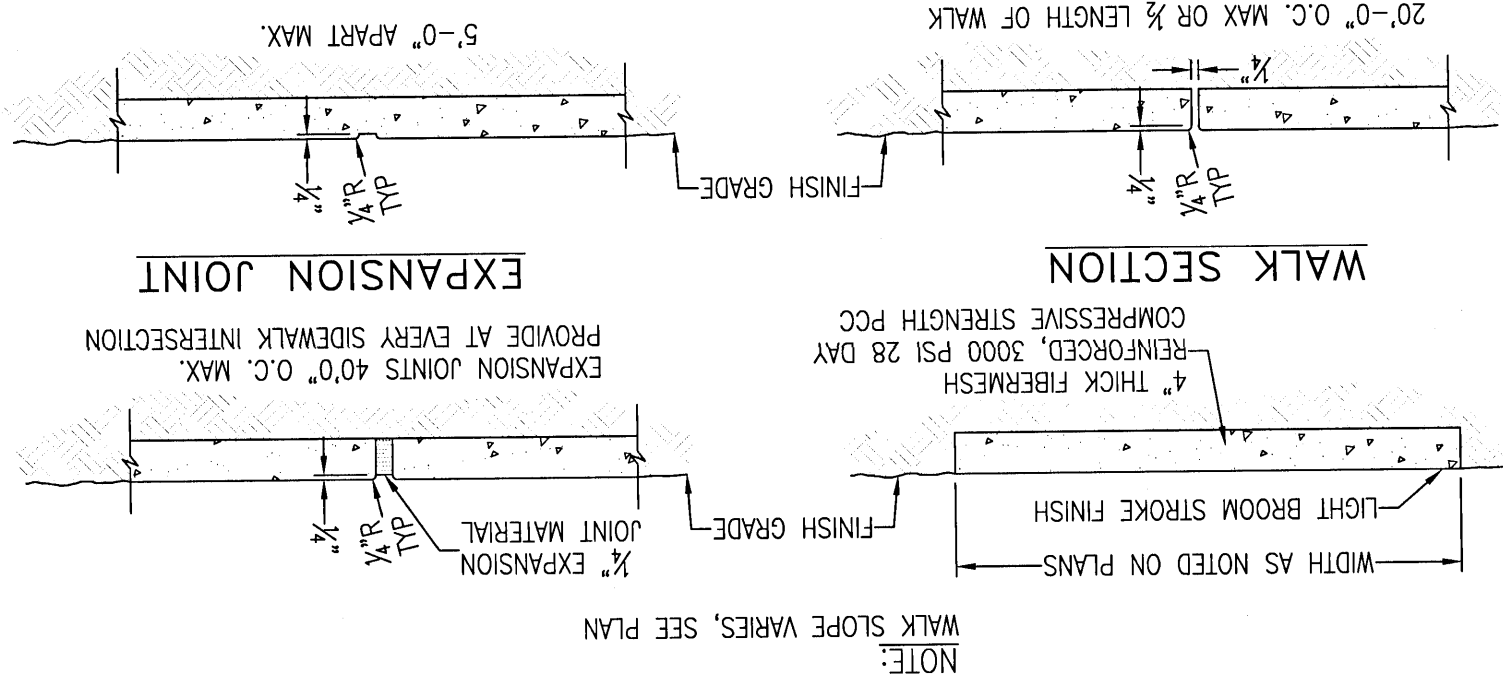
WHEEL STOP DETAIL



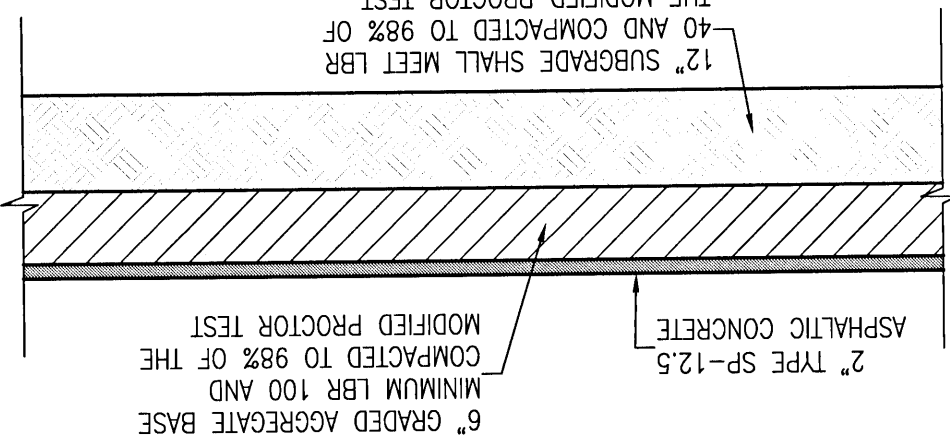
SIDEWALK DETAILS

N.T.S.

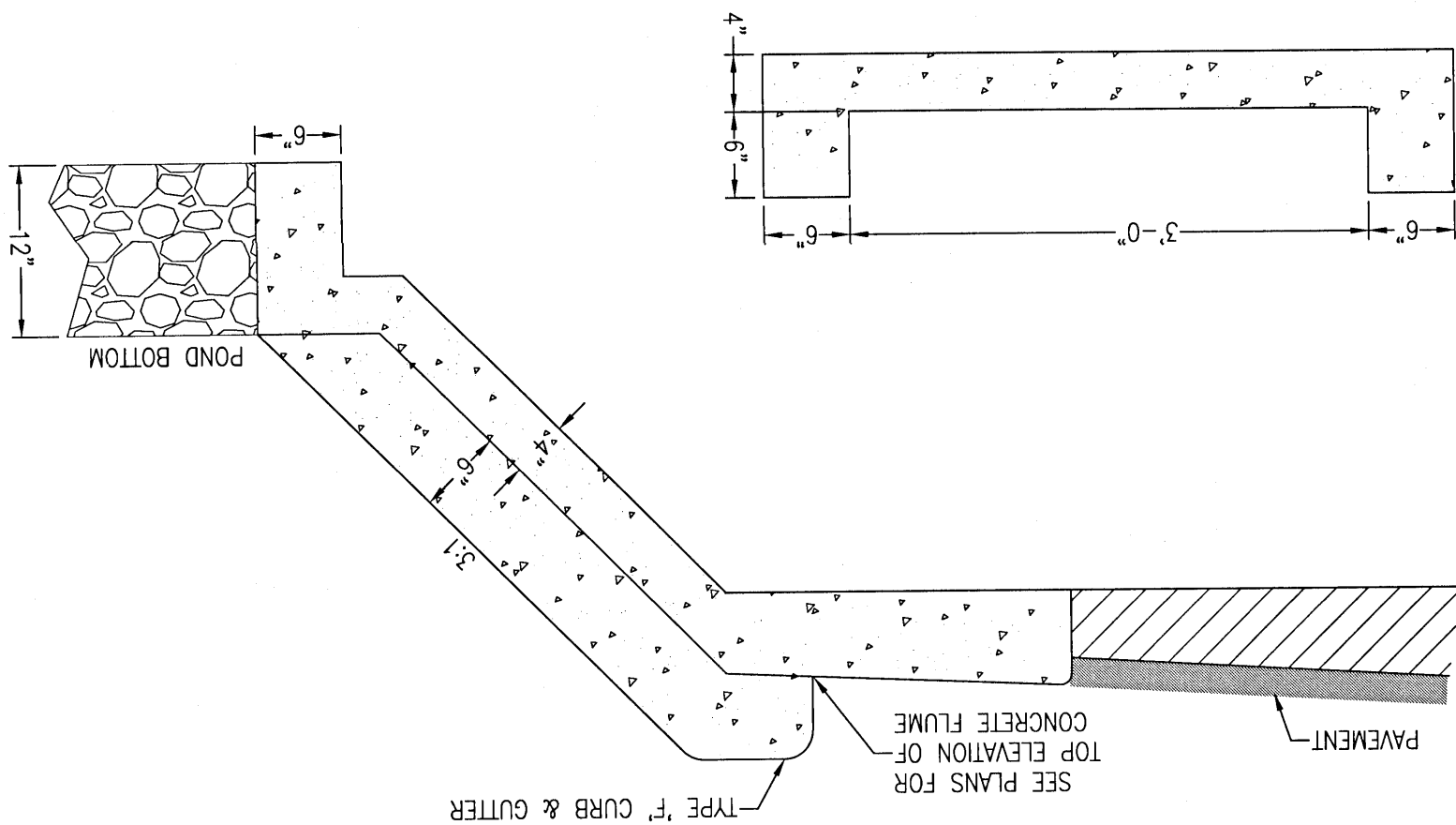
CONSTRUCTION JOINT



ON-SITE ASPHALT PAVEMENT DETAIL

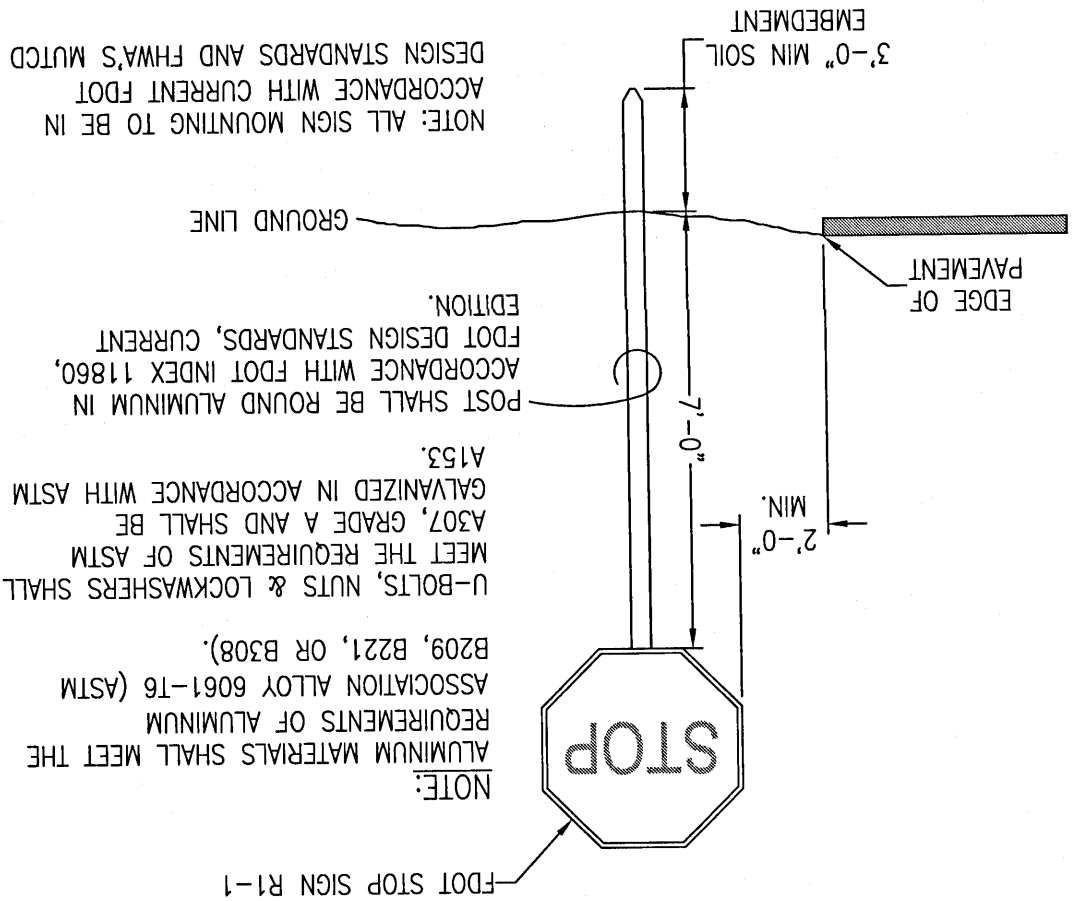


CONCRETE FLUME DETAIL



SIGN MOUNTING DETAIL

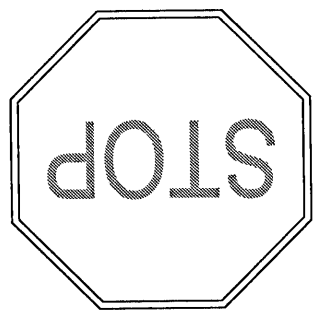
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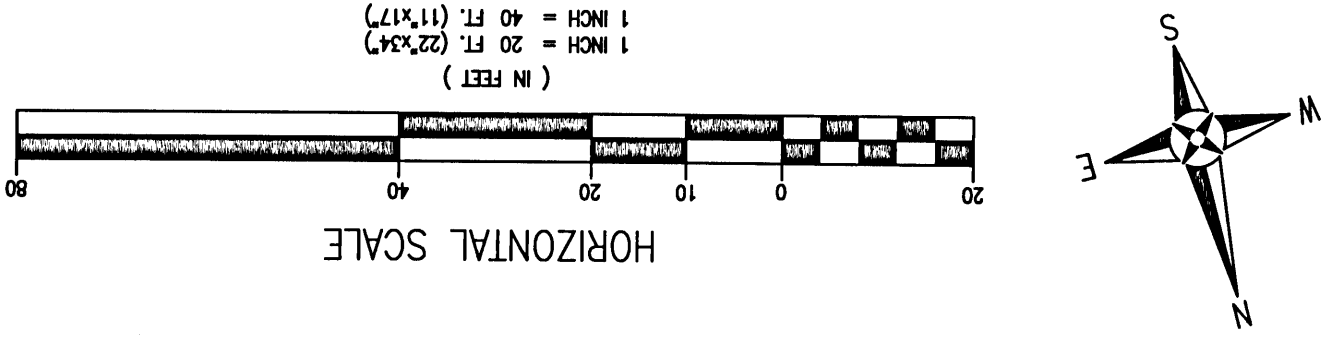


FDOT STANDARD

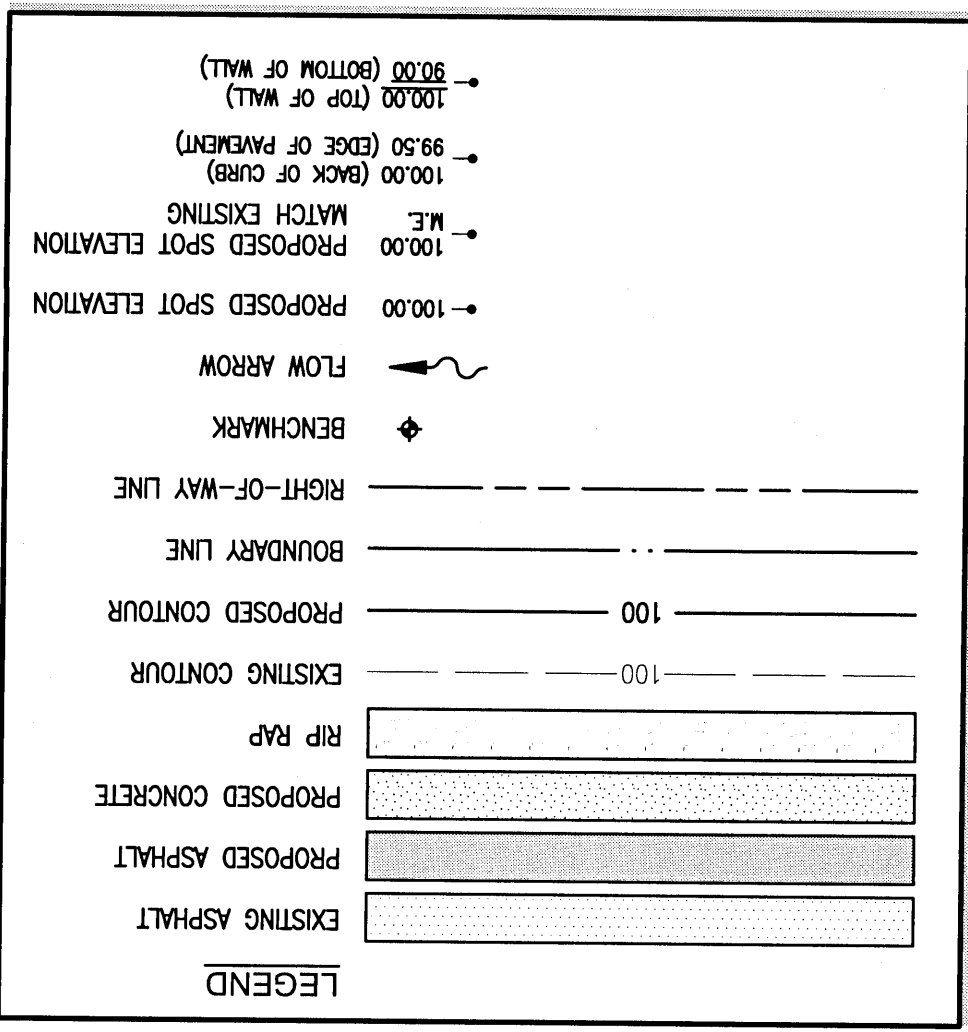
21-1

N.T.S.





- GENERAL NOTES:**
1. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION.
 2. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. THE RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING A FINAL INSPECTION.
 3. CONTRACTOR SHALL OBTAIN BUILDING INSPECTION DEPARTMENT PERMIT(S) FOR ANY REMAINING WALL HIGHER THAN 2 FEET.
 4. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
 5. ALL DISTURBED AREAS NOT SHOWN TO BE SODED OR PAVED SHALL BE SEEDED, MULCHED AND FERTILIZED.
 6. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.
 7. ALL RIP-RAP FLUMES SHALL BE INSTALLED WITH FILTER FABRIC INSTALLED UNDERNEATH FOR THE ENTIRE AREA OF THE RIP-RAP.
 8. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
 9. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHT-OF-WAY.
 10. THE CONTRACTOR SHALL INSTALL, PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION, ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL VOLCAN(S).
 11. ALL RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
 12. NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RIGHT-OF-WAY. (1-800-432-4770)
 13. THE OPERATION AND MAINTENANCE OF THE FACILITY WILL BE THE RESPONSIBILITY OF THE OWNER, AS IN ACCORDANCE WITH THE APPROVED PERMIT.
 14. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.



T.B.M. 219/31B
SET RAILROAD SPIKE IN THE SOUTH
FACE OF POWER POLE LOCATE AT
THE SOUTHEAST CORNER OF LATHAM
STREET AND KATHAM STREET
NAVD 88 ELEVATION = 115.28'

LATHAM STREET
(66' PUBLIC R/W)

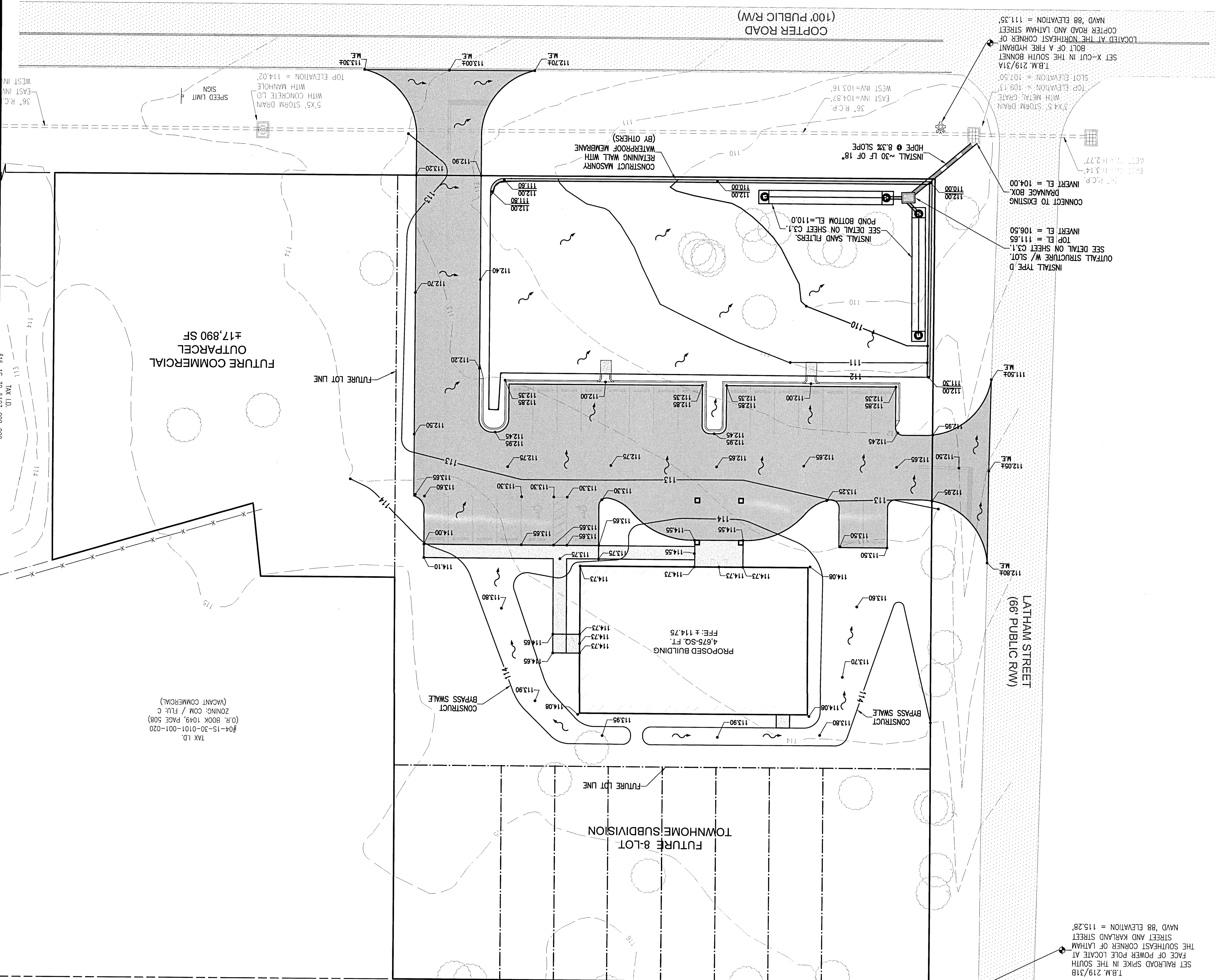
COPTER ROAD
(100' PUBLIC R/W)

(66' PUBLIC R/W)

FUTURE 8-LOT
TOWNHOME SUBDIVISION

FUTURE COMMERCIAL
OUTPARCEL
±17,890 SF

TAX I.D.
#04-15-30-0101-001-020
(O.R. BOOK 1049, PAGE 508)
(VACANT COMMERCIAL)



No.	DATE	REVISION

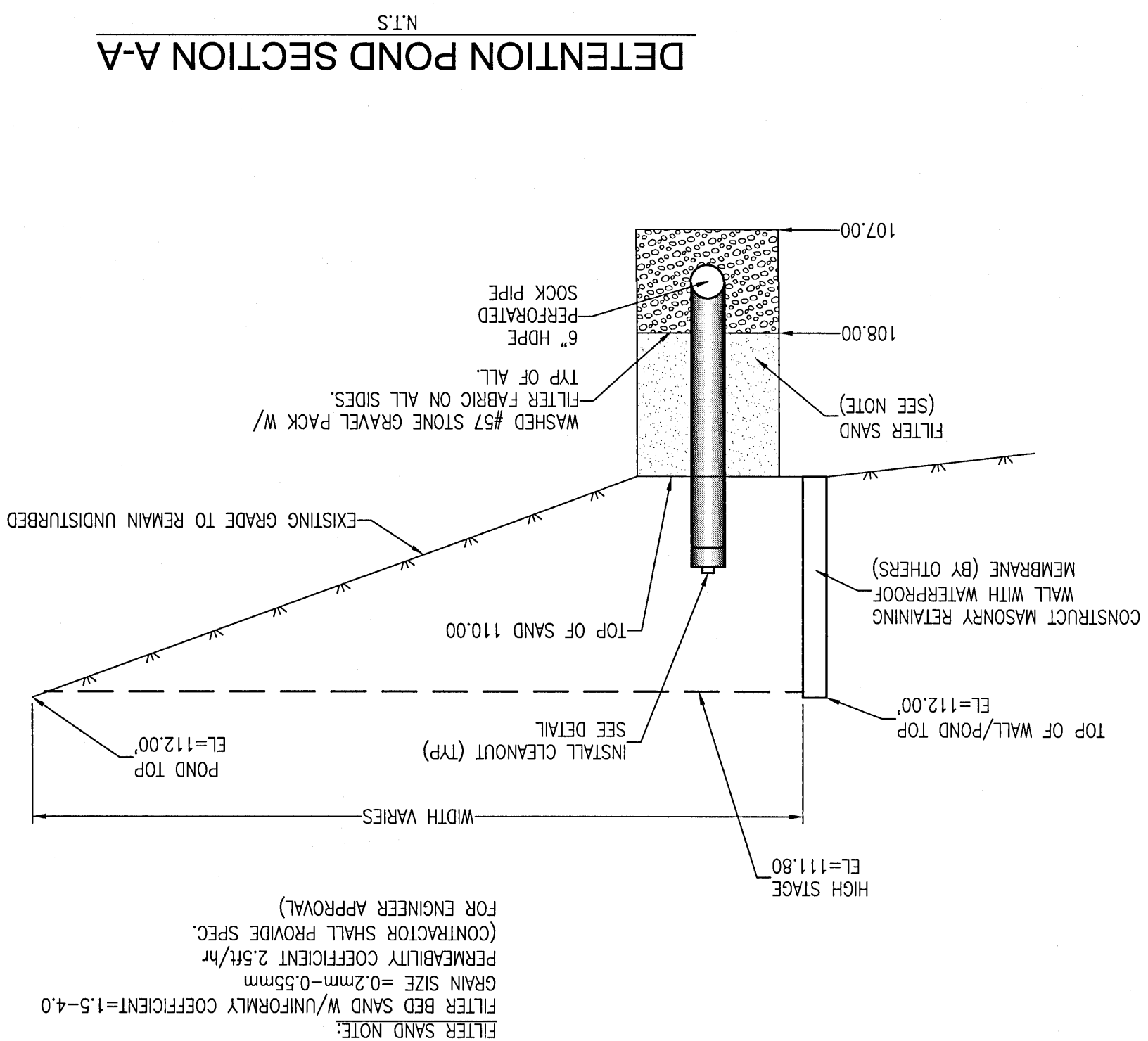
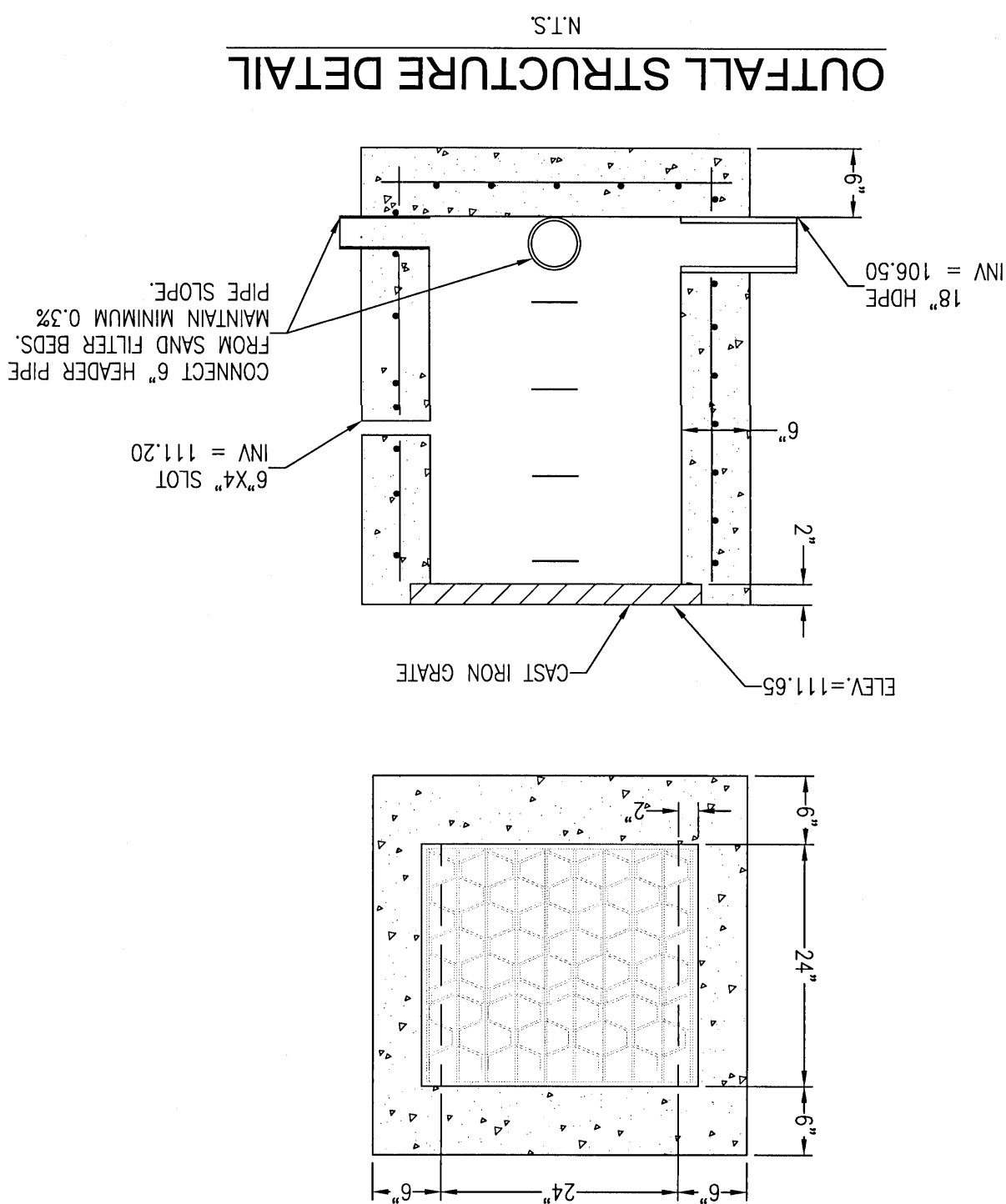
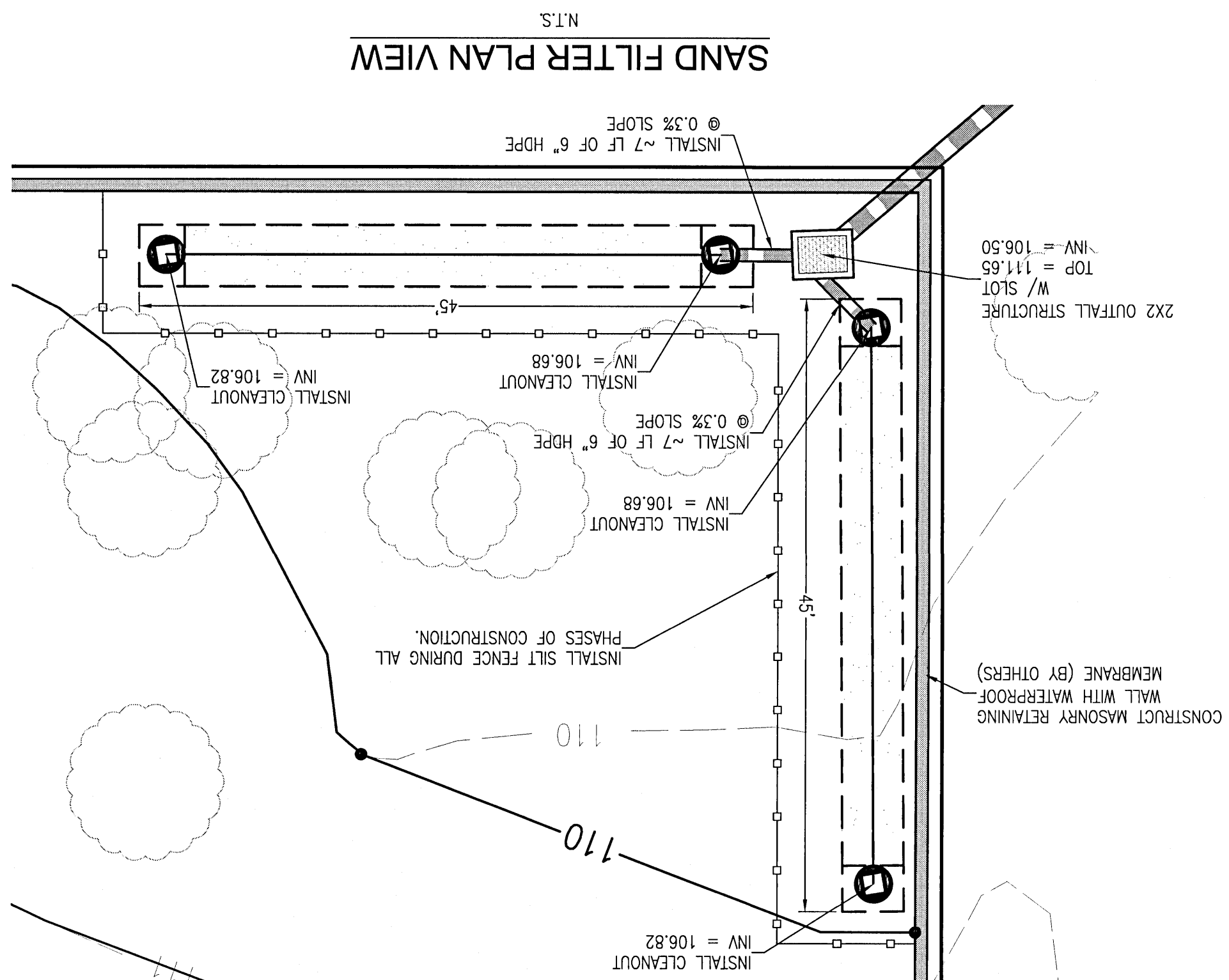
**BRENTWOOD
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2504 COPTER ROAD
ESCAMBIA COUNTY, FLORIDA

SITE GRADING PLAN

RBA
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C3.0
DRAWING No.
Date: 01/25/2022
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Ck By: PAB
Dr. By: AKM
Professional Engineer
No. 53126
State of Florida
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	DR. BY: AKM CK BY: PAB Job No.: 2021.147 Date: 01/25/2022		C3.1
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No.	DATE	REVISION	

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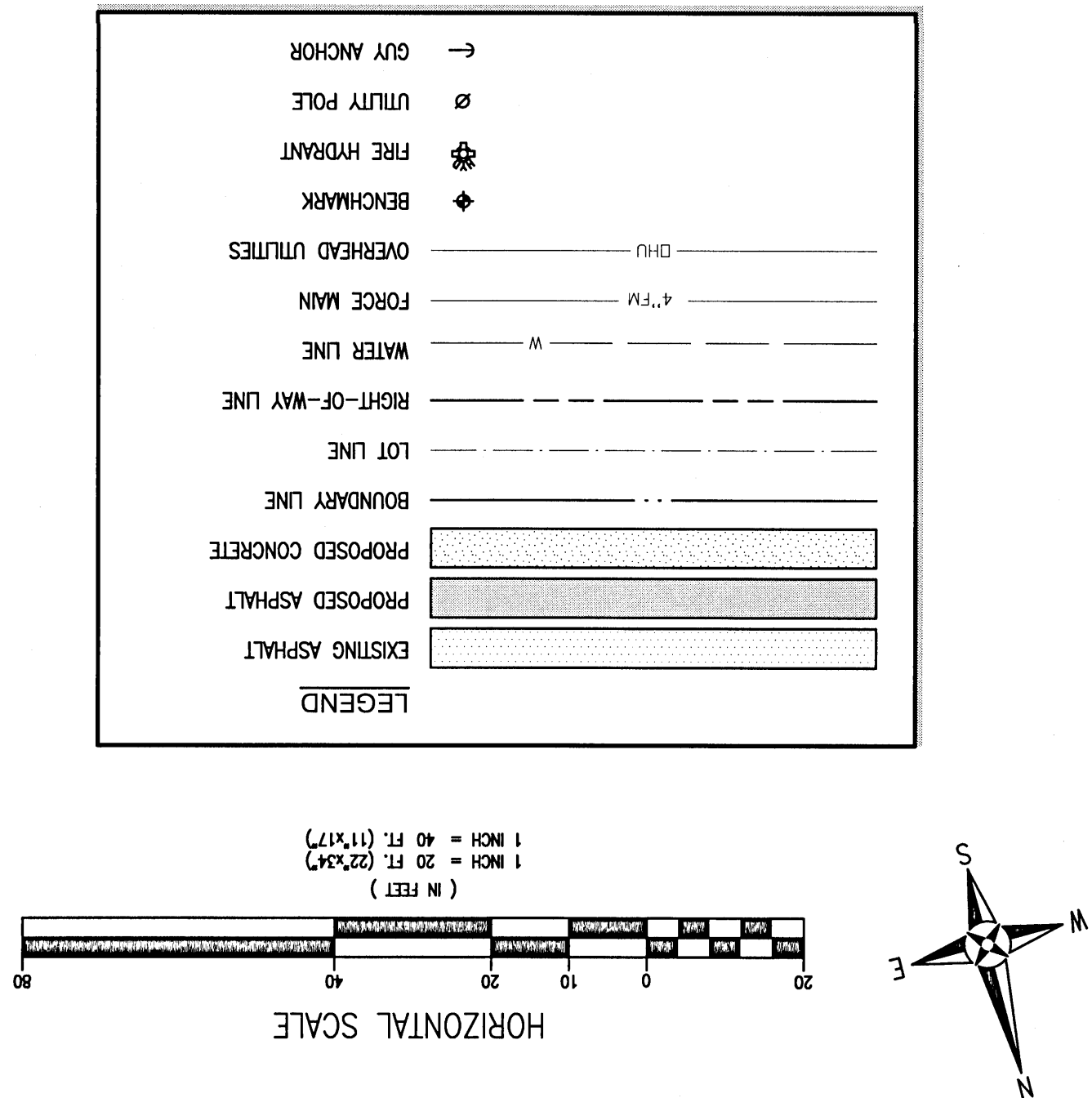
GRADING DETAILS

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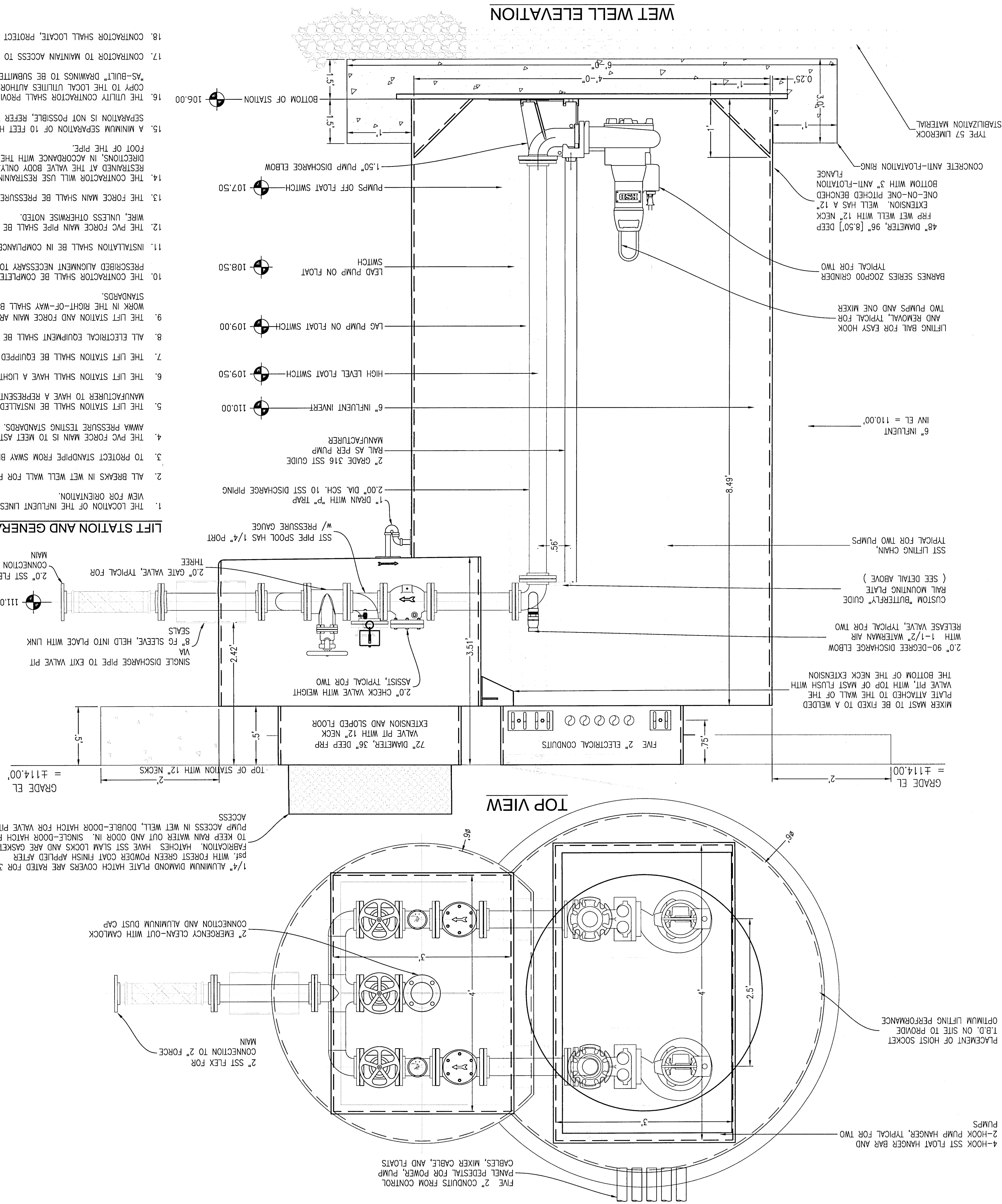


1. THE CONTRACTOR SHALL COORDINATE WITH ECWA, GULF POWER, OR ANY OTHER UTILITY COMPANIES HAVING JURISDICTION FOR REMOVAL/RELOCATION AND/OR PROTECTION OF EXISTING UTILITY POLES, AERIAL LINES, THE HYDRANTS, AND OTHER UTILITIES AS NECESSARY TO COMPLETE CONSTRUCTION.
2. ALL NEW WATER LINES SHALL BE CLEANED, DISINFECTED, PRESSURE TESTED, AND BACTERIOLOGICALLY CLEARED FOR SERVICE IN ACCORDANCE WITH THE LATEST ANNA STANDARDS AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION RULES AND REGULATIONS.
3. ALL WATER MAINS SHALL BE INSTALLED APPROVED FOR PORTABLE WATER USE.
4. THE TOP OF ALL CLEANNUTS SHALL BE FLUSH WITH THE PAVEMENT OR, WHEN NOT IN THE PAVEMENT, FLUSH WITH THE NUISM GRADE. CONNECTION POINTS FOR UTILITIES SHALL BE CLEARLY MARKED FOR FUTURE BUILDING CONNECTION. COORDINATE WITH THE PLUMBING CONTRACTOR.
5. THE WATER AND SEWER SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ECWA ENGINEERING MANUAL.
6. ADEQUATE PROVISIONS SHALL BE MADE FOR THE FLOW OF SEWERS, DRAINS AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
7. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANIES 72 HOURS (BUSINESS DAYS) PRIOR TO BEGINNING CONSTRUCTION.
8. ALL NEW WATER AND SEWER SERVICE LINES SHALL HAVE A MINIMUM COVER OF 30 INCHES (MAXIMUM 36"), UNLESS OTHERWISE NOTED.
9. THE CONTRACTOR IS TO RESTORE ALL DISTURBED RIGHTS-OF-WAY IN ACCORDANCE WITH CITY OF PENSACOLA AND THE ECWA GUIDELINES.
10. THE CONTRACTOR SHALL COORDINATE WITH THE PLUMBING CONTRACTOR FOR BUILDING UTILITY CONNECTIONS.
11. ALL CONNECTIONS TO THE ECWA WATER AND SEWER SYSTEM SHALL BE MADE WITH ECWA PERSONNEL PRESENT.
12. ANY REMOVAL OR RELOCATION OF ECWA WATER/SEWER UTILITIES MUST BE APPROVED IN WRITING PRIOR TO THE WORK BEING DONE.



REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors

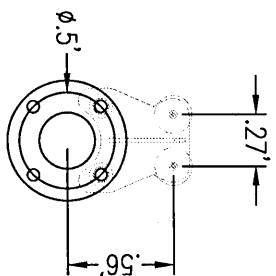
2301 N. Main, Portland, ME 04106
Telephone 603/438-0203
Fax 603/438-0448
EB 00006657 LER7916



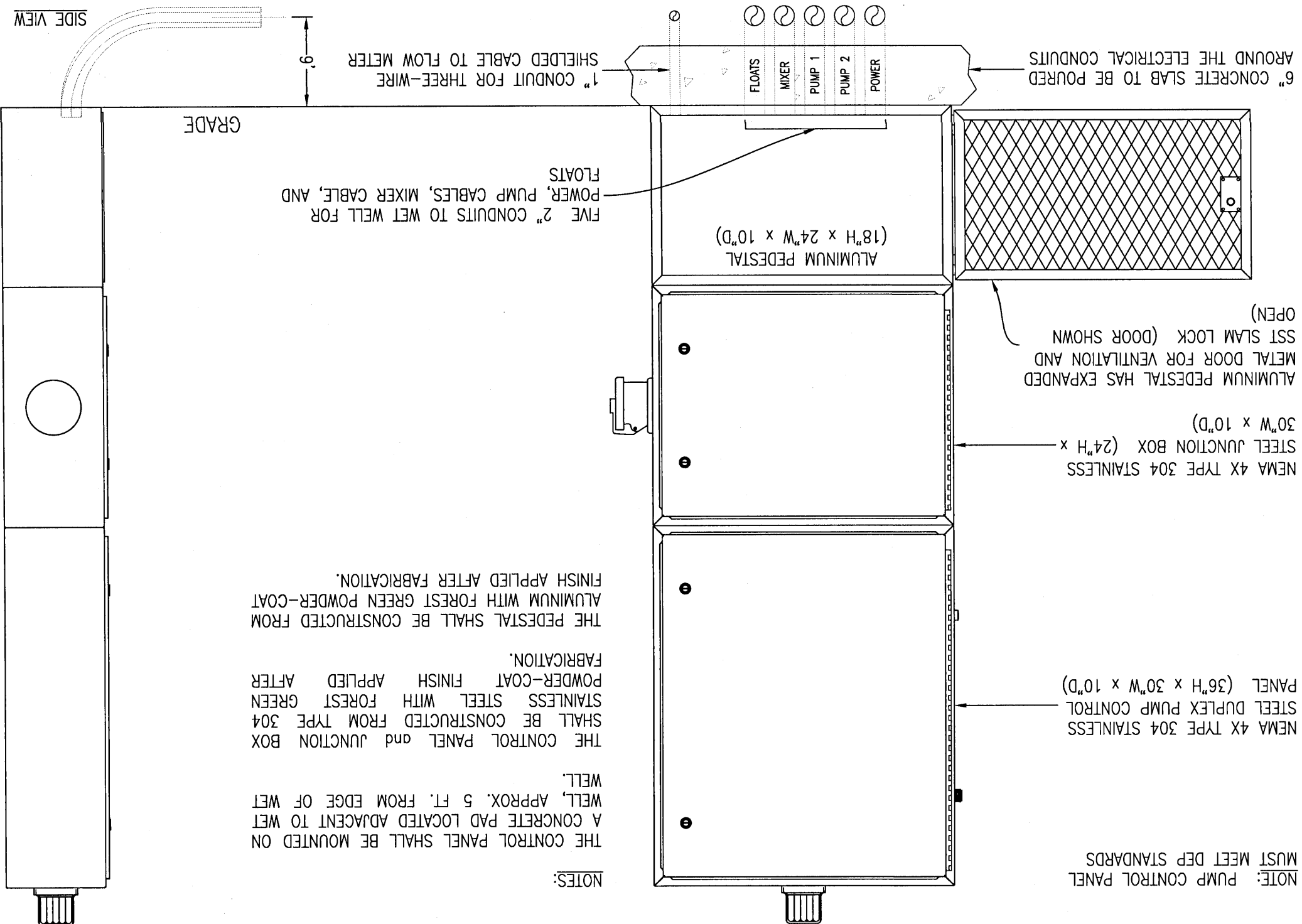
LIFT STATION AND GENERAL UTILITY NOTES:

1. VIEW FOR ORIENTATION.
2. ALL BREAKS IN WET WELL WALL FOR PIPING, ELECTRICAL, ETC. SHALL BE SEALED AND SLEEVED AS NOTED.
3. TO PROTECT STANDPIPE FROM SWAY BRACE, EITHER WRAP PIPE WITH RUBBER OR INSERT ALL U-BOLTS THROUGH RUBBER HOSE.
4. THE PVC FORCE MAIN IS TO MEET ASTM D-2241, SDR 26 BELL TYPE JOINTS WITH RING TYPE NEOPRENE GASKETS. THE FORCE MAIN IS TO BE TESTED TO AMMA PRESSURE TESTING STANDARDS.
5. THE LIFT STATION SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE MANUFACTURER TO HAVE A REPRESENTATIVE ONSITE DURING INSTALLATION.
6. THE LIFT STATION SHALL HAVE A LIGHTNING ARRESTER INSTALLED BETWEEN EACH INCOMING POWER PHASE AND GROUND.
7. THE LIFT STATION SHALL BE EQUIPPED WITH A RISER, GATE VALVE, QUICK-COUPING AND CAP FOR STANDBY PUMPING CAPABILITIES.
8. ALL ELECTRICAL EQUIPMENT SHALL BE MANUFACTURED AND INSTALLED IN ACCORDANCE WITH NECA REQUIREMENTS AND LOCAL LAWS.
9. THE LIFT STATION AND FORCE MAIN ARE TO BE INSTALLED IN ACCORDANCE WITH ALL LOCAL AND STATE PLUMBING CODES BY A LICENSED PLUMBER. ALL WORK IN THE RIGHT-OF-WAY SHALL BE PERFORMED BY A LICENSED UTILITY CONTRACTOR AND SHALL BE INSTALLED TO THE LOCAL UTILITY AUTHORITY'S STANDARDS.
10. THE CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR THE LAYOUT OF THE LIFT STATION, GRAVITY SEWER, AND FORCE MAIN. ANY DEVIATION FROM THE PRESCRIBED ALIGNMENT NECESSARY TO AVOID CONFLICTS SHALL NOT BE PERMITTED WITHOUT WRITTEN PERMISSION FROM THE ENGINEER OF RECORD.
11. INSTALLATION SHALL BE IN COMPLIANCE WITH THE LATEST EDITION OF THE STATE PLUMBING CODE.
12. THE PVC FORCE MAIN PIPE SHALL BE DR25 PER AMWA C900 OR SDR26 PER ASTM D2241 AND COLORED GREEN WITH 12 GAUGE GREEN INSULATED TRACER WIRE, UNLESS OTHERWISE NOTED.
13. THE FORCE MAIN SHALL BE PRESSURE TESTED TO 100 PSI PRIOR TO CONNECTING TO EXISTING SYSTEM.
14. THE CONTRACTOR WILL USE RESTRAINING DEVICES AT ALL MECHANICAL JOINTS INCLUDING FITTINGS, VALVES OR DEAD ENDS. IN-LINE VALVES SHALL BE RESTRAINED AT THE VALVE BODY ONLY. OTHER FITTINGS OR DEAD ENDS SHALL RECEIVE ADDITIONAL RESTRAINT AT ADJACENT PIPE JOINTS, IN BOTH DIRECTIONS, IN ACCORDANCE WITH THE PIPE JOINT RESTRAINT TABULATION IN THE PLANS. ALL RESTRAINT COST WILL BE INCLUDED IN THE UNIT PRICE PER FOOT OF THE PIPE.
15. A MINIMUM SEPARATION OF 10 FEET HORIZONTALLY OR 18 INCHES VERTICALLY MUST BE MAINTAINED BETWEEN WATER AND SEWER LINES. IF THIS SEPARATION IS NOT POSSIBLE, REFER TO THE SEPARATION/CONFLICT DETAIL.
16. THE UTILITY CONTRACTOR SHALL PROVIDE "AS-BUILT" DRAWINGS OF THE SAME SCALE AS THESE CONTRACT DRAWINGS, ONE COPY TO THE ENGINEER AND ONE COPY TO THE LOCAL UTILITIES AUTHORITIES. THESE DRAWINGS SHALL LOCATE ALL SEWER APPURTENANCES CONSTRUCTED AS PART OF THIS PROJECT. FINAL "AS-BUILT" DRAWINGS TO BE SUBMITTED TO THE ENGINEER WITHIN 30 DAYS AFTER SUBSTANTIAL COMPLETION OF WORK.
17. CONTRACTOR TO MAINTAIN ACCESS TO ALL PROPERTIES WITHIN THE PROJECT AREA AT ALL TIMES.
- CONTRACTOR SHALL LOCATE, IDENTIFY, PROTECT AND SUPPORT ALL UTILITIES AND SERVICES.

BUTTERFLY MOUNTING PLATE DETAIL



CONTROL PANEL / JUNCTION BOX / PEDESTAL DETAIL



AK INDUSTRIES	48	WELL DIAMETER	110.00
	8.50	INLET DEPTH	6
	27.11	INFLENT DIA - EL	9
	2.72	FORCE MAIN DIAMETER-EL	80
	106.00	BOTTOM OF STATION EL	106.00
	108.50	PUMP OFF EL	108.50
	109.00	LEAD PUMP ON EL	109.00
	109.50	HIGH PUMP ON EL	109.50
	114.00	ROCK WATER ALARM EL	114.00
		GROUND EL	114.00
		TOP EL (WEIWEEL)	114.00

MANUFACTURER	BARNEYS
TYPE PUMP	GRINDER
MODEL NUMBER	20GP
CAPACITY (GPM-THD)	30 GPM @ 25.9"
IMPELLER SIZE AND NUMBER	N/A
DISCHARGE PIPE SIZE	2"
HP-RATED RPM	2 HP / 3450 RPM
VOLT/PHASE	230 / 1 OR 3 (OWNER CHOICE)

WETWELL DATA

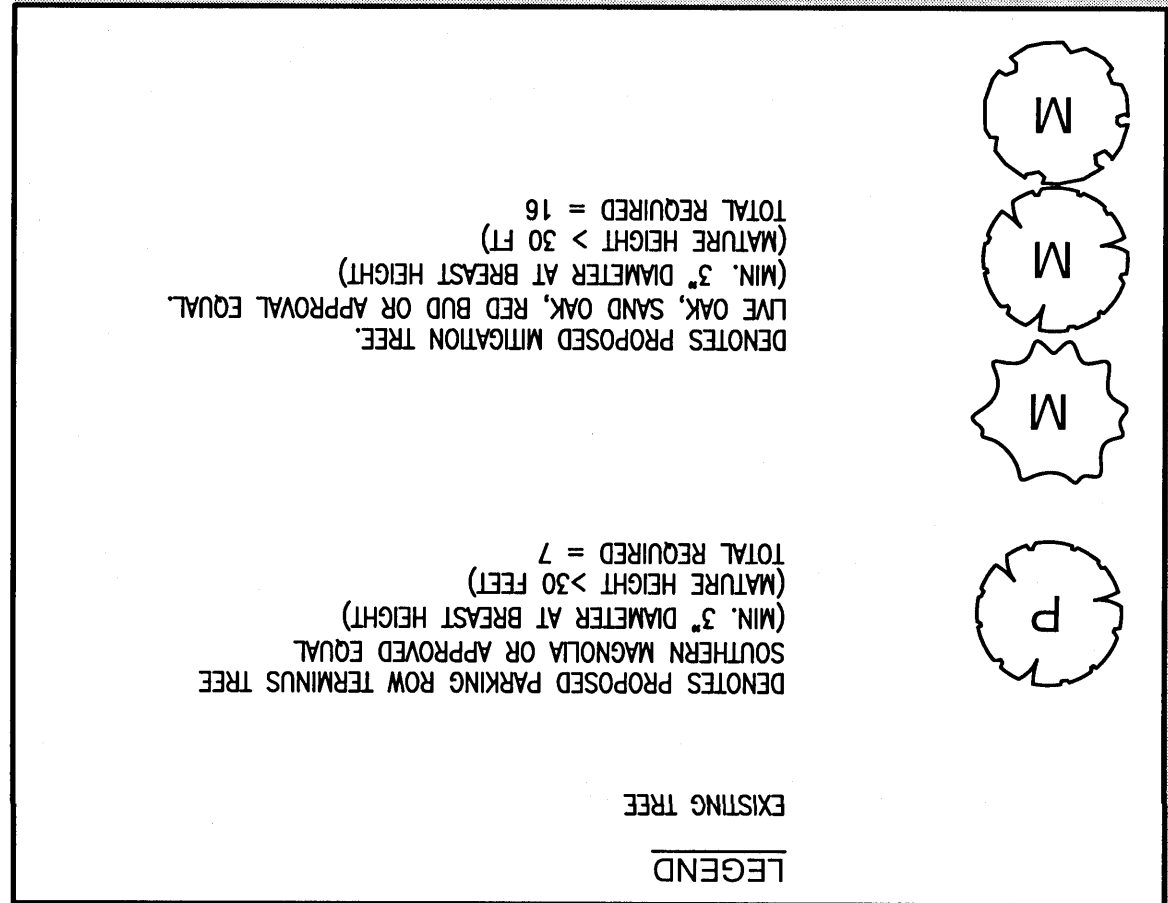
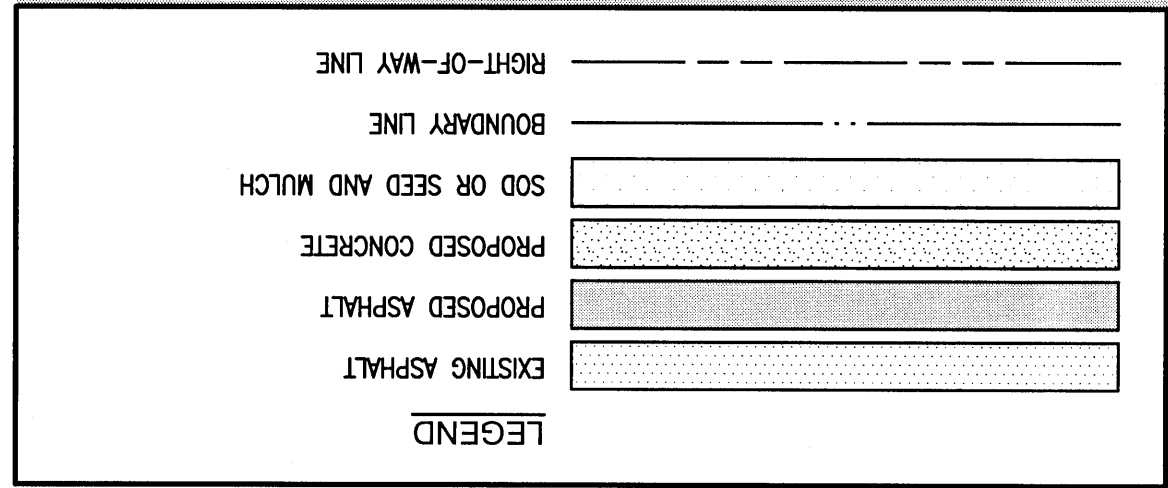
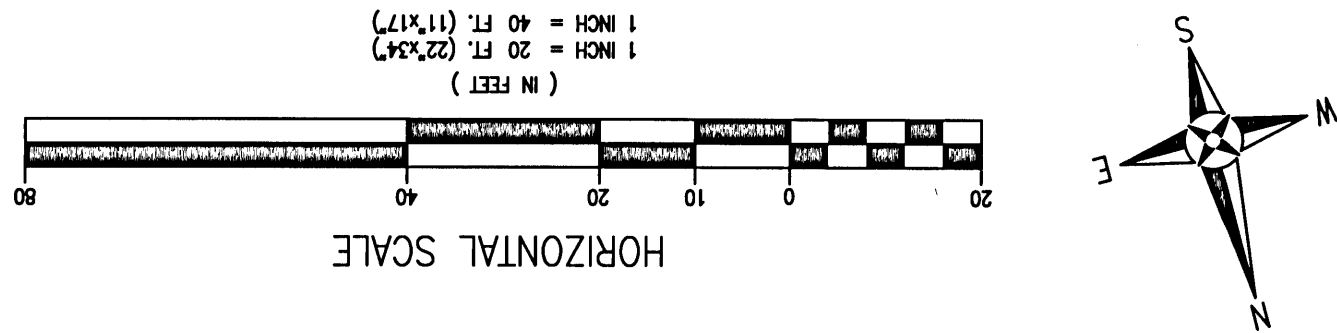
PUMP DESIGN DATA

[illegible]

**BRENTWOOD
ASSEMBLY OF GOD**
2504 COPTER ROAD
ESCAMBIA COUNTY, FLORIDA

LIFT STATION DETAILS

RBA



MITIGATION TREE PLANTING NOTE

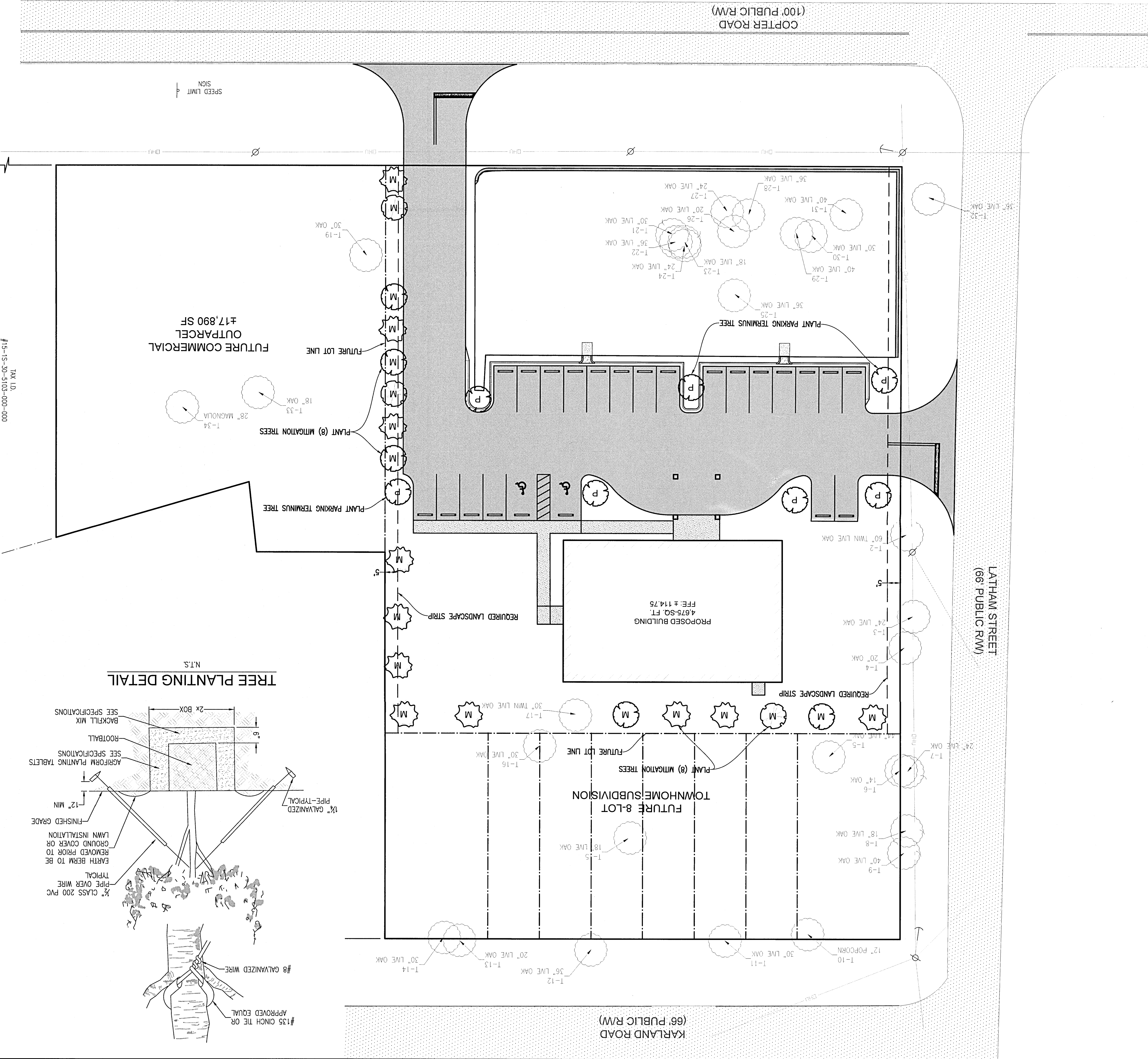
PER THE TREE MITIGATION TABLE FOUND ON SHEET C10, THE OWNER/DEVELOPER IS REQUIRED TO PLANT A TOTAL OF 46 INCHES OF TREES (19 ~2.5" TREES) ON SITE. THE NEWLY PLANTED TREES MUST BE OF THE APPROVED SPECIES FOUND ON THE LEGEND INCLUDED ON THIS SHEET AND HAVE A MINIMUM SIZE OF 2.5" DBH AT TIME OF PLANTING.

EXTERIOR SITE LIGHTING NOTE

ALL EXTERIOR SITE LIGHTING SHALL ADHERE TO THE ESCAMBA COUNTY LAND DEVELOPMENT CODE (SECTION 5-9.3).

FEESTANDING LIGHTING SHALL NOT BE PLACED WITHIN A 6-FOOT RADIUS, MINIMUM ROOTING AREA, OF ANY LANDSCAPED TREE.

- LANDSCAPE NOTES:
1. NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD HAPPEN UNDER THE DRIPLINE OF PROTECTED TREES TO REMAIN ON THE SITE.
 2. STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
 3. NO PROTECTED TREES INDICATED FOR PRESERVATION SHALL BE REMOVED, DESTROYED, DAMAGED, MUTILATED, RELOCATED, DISFIGURED, CUT DOWN OR EXCESSIVELY PRUNED.
 4. ALL TREES SHALL BE AT LEAST 2.5" DIAMETER MEASURED AT DBH AT TIME OF PLANTING.
 5. ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED & MULCH AND/OR SOD.
 6. FOR VAUITY OF PROTECTED TREES REMAINING ON SITE, THE ROOTS OF 1" DIAMETER OR GREATER SHALL BE CUT CLEANLY WITH APPROPRIATE EQUIPMENT. DO NOT USE EQUIPMENT THAT PULLS AND SHATTERS ROOTS (E.G. BACKHOE). ROOTS SHALL BE PRUNED TO A DEPTH OF 18" BELOW THE EXISTING GRADE OR TO A DEPTH OF DISTURBANCE IF LESS THAN 18" FROM EXISTING GRADE.
 7. PLANTING LOCATIONS OF MITIGATION TREES MAY BE MODIFIED WITHIN THE SITE TO ACCOMMODATE DEVELOPER PREFERENCE AND POST-CONSTRUCTION SITE CONDITIONS, PROVIDED THE TREES ARE GENERALLY DISTRIBUTED WITHIN THE SITE. AVOID CONFLICTS WITH OTHER SITE FEATURES. MEET SPECIES DIVERSITY REQUIREMENTS, AND ARE PLACED NO CLOSER THAN 12 FEET FROM ANY OTHER TREE AND NOT WITHIN THE CRITICAL ROOT ZONE OF EXISTING PRESERVED TREES.
 8. MAXIMUM OF ANY ONE SPECIES IS 40%.
 9. TREES ARE TO BE A MINIMUM OF 12" FROM ANY OTHER TREE, CURB, GUTTER OR SIDEWALK.
- STRIPING & SIGN NOTES:
1. ALL PAVEMENT MARKINGS AND STRIPING SHALL BE THERMOPLASTIC AND INSTALLED ACCORDING TO FDOT STANDARD.
 2. ALL NEEDED STRIPING DESTROYED DURING CONSTRUCTION SHALL BE RE-STRIPED ACCORDING TO FDOT STANDARD.
 3. ALL LANES MUST BE OPEN FOR TRAFFIC DURING AN EVACUATION NOTICE OF A HURRICANE OR OTHER CATASTROPHIC EVENT AND SHALL REMAIN OPEN FOR THE DURATION OF THE EVACUATION OR EVENT AS DIRECTED BY THE LOCAL MAINTENANCE ENGINEER OR HIS DESIGNEE.
 4. ALL SIGNS SHALL BE INSTALLED PER FDOT STANDARD, WIND ZONE No.1.



TX 10
#15-15-30-5103-000-000

NO.	DATE	REVISION

BRENTWOOD ASSEMBLY OF GOD
2504 COPTER ROAD
ESCAMBIA COUNTY, FLORIDA

LANDSCAPING PLAN

RBA
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C5.0

DRAWING No.

Date: 01/25/2022

Job No.: 2021.147

Dr. By: PAB

CK By: AKM

Professional Engineer
No. 53126
State of Florida
Notary Public
Seal

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