

**GENERAL NOTES:**

- CONTRACTOR IS REQUIRED TO VISIT SITE AND FAMILIARIZE HIM/HERSELF WITH THE PROJECT PRIOR TO BIDDING.
- THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL AND STATE REGULATIONS CONCERNING NOTIFICATION TO THE REGULATORY AUTHORITIES OF ANY AND ALL BUILDING RENOVATIONS AND/OR DEMOLITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MONITORING AND NOTIFYING THE ENGINEER OF RECORD AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND CONCLUSION OF CONSTRUCTION, AS WELL AS SUPPLYING CLEAR AND LEGIBLE REVISIONS TO THE CONSTRUCTION PLANS FOR USE DURING AS-BUILT CERTIFICATION.
- ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER & MULCH, HYDROSEED AND/OR SOD (RECOMMEND CENTPEDE, PENSACOLA BAHIA OR BERNUDA SOD). POND AND SHALE TOPS AND SIDES SHALL BE SODDED AND PINNED. ALL SOD PLACED ON SIDE SLOPES 4 TO 1 OR GREATER SHALL BE PINNED.
- WHERE SOD IS BEING INSTALLED, TOPSOIL SHALL BE USED AS A BASE AT LEAST 3" DEEP.
- AFTER THE SITE HAS BEEN BROUGHT TO PROPER GRADE FOR PLACEMENT OF TOPSOIL AND IMMEDIATELY PRIOR TO DUMPING AND SPREADING THE TOPSOIL, THE SUBGRADE SHALL BE LOOSENEED BY DISKING OR SCARIFYING TO A DEPTH OF 2" TO INSURE BONDING OF THE TOPSOIL AND SOODING.
- TOPSOIL SHALL NOT BE PLACED IN A MUDDY CONDITION, WHEN THE SUBGRADE IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND PROPOSED SOODING.
- THE TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED TO A MINIMUM COMPACTED DEPTH OF 3".
- ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
- COMPACT THE TOPSOIL ENOUGH TO ENSURE GOOD CONTACT WITH THE UNDERLYING SOIL AND TO OBTAIN A LEVEL SEED BED FOR THE ESTABLISHMENT OF HIGH MAINTENANCE TURF. AVOID UNDUE COMPACTION.
- CONTRACTOR IS TO MAINTAIN SOODING AND GRASSING BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, RE-GRADING AND REPLANTING AS REQUIRED TO ESTABLISH GRASSED/SODDED AREAS FREE OF ERODED OR BARE AREAS AND REPLACE ANY REJECTED MATERIALS PROMPTLY FROM THE SITE. CONTRACTOR IS TO INCLUDE COST OF MAINTAINING SOODING AND GRASSING IN THE BID.
- CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN A CODE ENFORCEMENT VIOLATION.
- DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE ANY DISTURBED AREAS FOUND IN RETENTION POND AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
- CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION AND PROVIDE A TOPOGRAPHICAL SURVEY (CERTIFIED BY A STATE OF FLORIDA LICENSED SURVEYOR) OF THE PROJECT AREA WHICH ILLUSTRATES AS-BUILT CONDITIONS OF ALL WORK AND SITE IMPROVEMENTS, INCLUDING OF PIPING, DRAINAGE STRUCTURES, STORMWATER POND TOPOGRAPHY, SITE ELEVATIONS AND GRADING, OUTLET STRUCTURES, DIMENSIONS, ETC. THESE RECORD DRAWINGS ARE TO BE PROVIDED TO THE PROJECT ENGINEER PRIOR TO REQUESTING FINAL INSPECTION.
- THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY INSPECTIONS OFFICE (850-595-3568) AN INSPECTION OF THE EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO CONSTRUCTION, UNDERGROUND DRAINAGE STRUCTURES PRIOR TO BURIAL, ALL INTERMEDIATE INSPECTIONS AND THE FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION, AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/ APPROVAL.
- EROSION SHALL BE CONTROLLED BY THE USE OF A HAY BALE BARRIER/SILT FENCE AS SHOWN ON PLANS AND SHALL BE SETUP PRIOR TO COMMENCING CONSTRUCTION. THE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT, THE DETENTION AREA SHALL BE CLEARED OF SILT & STABILIZATION OF ALL DISTURBED AREAS SHALL BE ACCOMPLISHED.
- CONTRACTOR SHALL NOTIFY SUNSHINE ONE UTILITIES (1-800-432-4770) TWO FULL BUSINESS DAYS IN ADVANCE PRIOR TO DIGGING WITHIN R/W.
- ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION AND ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
- NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
- RIGHT-OF-WAY SHOULDER STABILIZATION SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).
- ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR. IF THERE WILL BE TEMPORARY STOCKPIILING OF MATERIALS ON THE SITE, THESE AREAS SHOULD CONTAIN EROSION CONTROL BMP'S (E.G. SILT FENCE, HAY BALES, ETC) AS NECESSARY.
- ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.
- ALL BUILDING ROOF DRAINS, DOWN SPOUTS OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER RUNOFF TO ON-SITE RETENTION BASIN.
- CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES FOR REMOVAL AND RELOCATION OF EXISTING UTILITY POLES, AERIAL LINES, WATER LINES, GAS LINES AND OTHER UTILITIES AS NECESSARY.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- UTILITY LOCATIONS ARE APPROXIMATE BASED ON LOCATION OF ABOVE GROUND APPURTENANCES, AND AS TAKEN FROM THE SURVEY. UNDERGROUND UTILITIES NOT SHOWN HEREIN MAY EXIST.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- CONTRACTOR SHALL COMPLY WITH ANY TESTING REQUIRED BY STATE AND LOCAL GOVERNING AGENCIES SUCH AS ASPHALT CORES AND SLAB-BASE/BASE COMPACTION TESTING.
- THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY CONFLICTS BETWEEN VENDOR DRAWINGS, EXISTING CONDITIONS AND THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR TO PROVIDE PROTECTION TO TREES THAT ARE TO REMAIN VIA TREE PROTECTION BARRIERS. REFER TO EROSION CONTROL PLAN FOR MORE INFORMATION.
- TRENCHING OR GRADING AROUND TREES TO REMAIN SHALL BE AWAY FROM THE TREE IN A MANNER TO CAUSE NO DAMAGE TO THE TREE'S CRITICAL ROOT ZONE. THE CRITICAL ROOT ZONE IS REPRESENTED BY A CIRCLE, CENTERED ON THE TREE TRUNK AND HAVING A RADIUS OF ONE FOOT FOR EACH ONE INCH OF TRUNK DIAMETER (DBH). REFER TO LANDSCAPING PLAN FOR ADDITIONAL INFORMATION.

**SIGNAGE:**

PERMITTED SIGNAGE SHALL BE LIMITED TO TWO (2) IDENTIFICATION SIGNS WITH THE FOLLOWING LIMITATIONS:  
 A. AREA MAXIMUM...32 SF  
 B. HEIGHT MAXIMUM...6 FT FROM GRADE  
 C. SETBACK MINIMUM...10 FT FROM PROPERTY LINES

SETBACK SHALL BE MEASURED FROM THE FORWARD-MOST EDGE OF THE SIGN FROM RIGHTS OF WAY AND MUST MAINTAIN VISUAL CLEARANCE ALONG RIGHTS OF WAY AND AT INTERSECTIONS. A VALID ESCAMBIA COUNTY SIGN PERMIT MUST BE OBTAINED PRIOR TO ERECTING, CONSTRUCTING, ALTERING OR RELOCATING ANY SITE SIGNAGE.

**JURISDICTIONAL CONTACTS:**

- ESCAMBIA COUNTY DEVELOPMENT SERVICES**  
 3363 WEST PARK PLACE  
 PENSACOLA, FL 32505  
 PHONE NO.: (850)-595-3475  
 FAX NO.: (850)-595-3481
- EMERALD COAST UTILITIES AUTHORITY**  
 9255 STURDEVANT STREET  
 PENSACOLA, FL 32514  
 PHONE NO.: (850)-476-5110  
 FAX NO.: 850-494-7346
- NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT**  
 700 US HIGHWAY 331 SOUTH  
 DEPUKAK SPRINGS, FL 32435  
 PHONE NO.: (850)-951-4660  
 FAX NO.: (850)-892-8007
- FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION**  
 2600 BLAIR STONE ROAD  
 TALLAHASSEE, FL 32399  
 PHONE NO.: (866)-336-6312  
 FAX NO.: (850)-297-1211
- FLORIDA DEPARTMENT OF TRANSPORTATION**  
 6025 OLD BAGDAD HIGHWAY  
 PENSACOLA, FL 32583  
 PHONE NO.: (850)-981-3000  
 FAX NO.: (850)-981-2719
- PROJECT DIRECTORY:**
- CIVIL ENGINEER**  
 HAMMOND ENGINEERING, INC.  
 3802 NORTH "S" ST  
 PENSACOLA, FL 32505  
 PHONE NO.: (850)-434-2603  
 FAX NO.: (850)-434-2650
- SURVEYOR**  
 NORTHWEST FLORIDA LAND SURVEYING, INC.  
 7142 BELGIUM CIRCLE  
 PENSACOLA, FL 32526  
 PHONE NO.: (850)-432-1052
- GEOTECHNICAL ENGINEER**  
 NOVA ENGINEERING & ENVIRONMENTAL, LLC.  
 140-A LURTON STREET  
 PENSACOLA, FL 32501  
 PHONE NO.: (850)-807-7782  
 FAX NO.: (850)-249-6683
- ENVIRONMENTAL CONSULTANT**  
 WETLAND SCIENCES, INC.  
 3308 GULF BEACH HIGHWAY  
 PENSACOLA, FL 32507  
 PHONE NO.: (850)-453-4700  
 FAX NO.: (850)-453-1010

# SITE DEVELOPMENT PLANS FOR CAMINITTI LANE DUPLEXES

SECTION 17 TOWNSHIP 1 SOUTH, RANGE 30 WEST  
 ESCAMBIA COUNTY, FLORIDA  
 8431 CAMINITTI LANE  
 PENSACOLA, FL 32514

OWNER/DEVELOPER:  
 SHALINI VERMA  
 YELLOW HAT CONSTRUCTION LLC.  
 3063 PELICAN LANE  
 PENSACOLA, FL 32514  
 (850)-382-1477

PROPERTY ID NO: 17-1S-30-2101-001-001  
 ZONING DESIGNATION: HDR  
 ADJACENT ZONING: HDR  
 FLU DESIGNATION: MU-U  
 ADJACENT FLU: MU-U

**INDEX OF DRAWINGS:**

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- C7 ~ UTILITY PLAN
- C8 ~ LANDSCAPING PLAN
- C9 ~ ENVIRONMENTAL IMPACT PLAN
- C10 ~ EROSION CONTROL DETAILS
- C11 ~ CONSTRUCTION DETAILS
- C12 ~ CONSTRUCTION DETAILS
- C13 ~ DRAINAGE DETAILS
- C14 ~ UTILITY DETAILS

**HAMMOND ENGINEERING, INC.**  
 FLORIDA AUTHORIZATION NO. 9130  
 ALABAMA AUTHORIZATION NO. 3277  
 3802 NORTH "S" STREET  
 PENSACOLA, FLORIDA 32505  
 850-434-2603  
 FAX 850-434-2650  
 TOM@SELANDESIGN.COM

REVISED FEBRUARY 16, 2022  
 HEI PROJECT #: 21-034

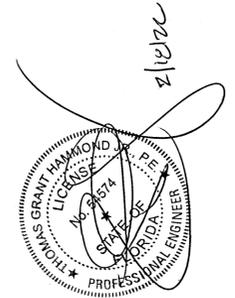
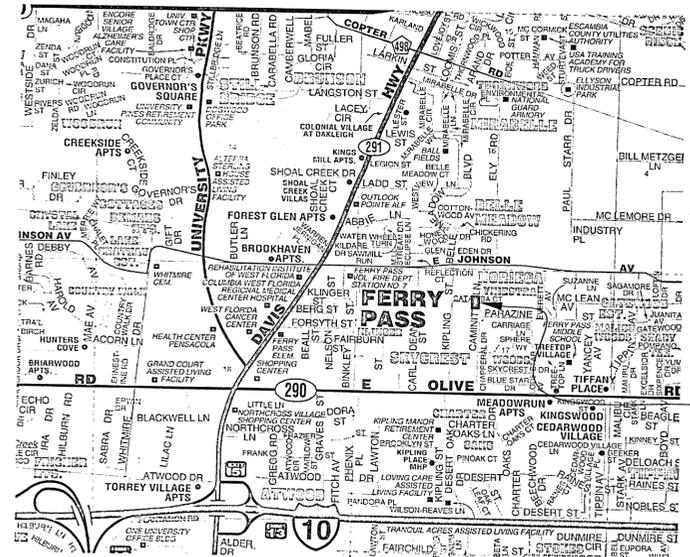
**GENERAL NOTES:**

- CONTRACTOR SHALL CONSTRUCT TEMPORARY MEASURES AND SUPPORT TO ACCESS THE SITE AND SHALL INCLUDE THE COST FOR SAME IN THE BID. CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE SATISFACTION OF THE OWNER AND/OR GOVERNING AGENCY.
- CONTRACTOR SHALL COORDINATE HIS WORK AND COOPERATE WITH OTHER CONTRACTORS WORKING AROUND THE PROJECT AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, ETC.) TO THE APPROPRIATE STATE (DEEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ESCAMBIA COUNTY HEALTH DEPT. 850-595-6700) AGENCIES.
- SOLID WASTE SHALL BE KEPT IN AN APPROVED DUMPSTER THROUGHOUT CONSTRUCTION ACTIVITIES.
- ALL VALVE BOXES SHALL BE SET FLUSH WITH GRADE(IF APPLICABLE).
- ADEQUATE PROVISIONS SHALL BE MADE FOR FLOW OF SEWERS, DRAINS, AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL FLUSH AND CLEAN ALL STORMWATER PIPES AND STRUCTURES AT END OF CONSTRUCTION AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- PLACEMENT OF UNDERGROUND SYSTEMS, IRRIGATION, SEWER, WATER, DRAINAGE, ELECTRICAL, GAS, ETC. SHALL BE COMPLETED PRIOR TO LANDSCAPE INSTALLATION.
- PROPERTY OBSTRUCTIONS WHICH ARE TO REMAIN IN PLACE SUCH AS BUILDINGS, SEWERS, DRAINS, WATER OR GAS PIPES, ELECTRICAL, CONDUITS, POLES, WALLS, POSTS, ETC. ARE TO BE CAREFULLY PROTECTED AND ARE NOT TO BE DISPLACED UNLESS NOTED.
- THE CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE AND FEDERAL AGENCIES RULES CONCERNING SAFETY.
- CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS, AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK AND UNTIL IT IS SAFE FOR BOTH PEDESTRIAN AND VEHICULAR TRAFFIC.
- CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH DE-WATERING AND DE-MUCKING FOR INSTALLATION OF REQUIRED INFRASTRUCTURE (IF APPLICABLE).
- THE CONTRACTORS MEANS AND METHODS OF GROUNDWATER DE-WATERING SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS FOR THE TEMPORARY DIVERSION OF GROUNDWATER AND ITS DISCHARGE, INCLUDING FAC CHAPTER 621-300(2) "GENERIC PERMIT FOR THE DISCHARGE OF PRODUCE GROUNDWATER FROM ANY NON-CONTAMINATED SITE ACTIVITY" (IF APPLICABLE).
- CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH SELECT BACKFILL FOR INSTALLATION OF ANY INFRASTRUCTURE.
- CONTRACTOR SHALL CLEAN UP ENTIRE SITE INCLUDING STAGING AREAS AT LEAST TWO TIMES PER WEEK. THIS SHALL INCLUDE LOCATING TRASH/SCRAP RECEPTACLES AT CONTRACTOR SHALL INCLUDE COST OF SAME IN BID.
- CONTRACTOR SHALL RESTORE ALL STAGING AREAS TO AS GOOD AS OR BETTER CONDITION THAN EXISTED PRIOR TO CONSTRUCTION. THIS INCLUDES IRRIGATION AND SOD REPLACEMENT IF NECESSARY. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 20 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC WILL IMMEDIATELY RECEIVE A RATE OF TWO (2) TONS PER ACRE.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A SOIL TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL.
- ANY SLOPES RECEIVING INFRASTRUCTURE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).
- SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATION SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STANDARDS FOR EROSION CONTROL.
- ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMITS OF DISTURBANCE OR ONTO PUBLIC RIGHT OF WAY WILL BE REMOVED IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #48 ABOVE.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
- ANY DIRT THAT RUNS OFF OF THE PROJECT SITE ONTO PUBLIC STREETS SHALL BE REMOVED AND CLEANED IMMEDIATELY. FAILURE TO COMPLY CAN RESULT IN CODE ENFORCEMENT ACTION.
- ANY AREAS USED FOR THE CONTRACTORS STAGING, INCLUDED BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (I.E. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.) SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.
- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT ESCAMBIA COUNTY, FDEP, AND ECDA STANDARDS AND REQUIREMENTS.
- FOR SITES WITH DISTURBANCE EXCEEDING 1 ACRE...TO COMPLY WITH NPDES REQUIREMENTS, THE CONTRACTOR SHALL SUBMIT AN NPDES NOTICE OF INTENT TO FDEP A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ADDITIONALLY, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. A CERTIFIED STORMWATER MANAGEMENT INSPECTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL EFFORTS. INSPECTION RECORDS SHOULD BE ON HAND AT ALL TIMES AND PROVIDED TO ANY FDEP REPRESENTATIVE THAT MAY VISIT THE SITE DURING CONSTRUCTION.
- THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADDRESSES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
- RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
- REFER TO BUILDING PLANS FOR ADDITIONAL INFORMATION.

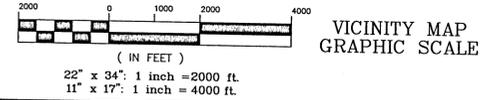
**FLOOD ZONE DATA**

THE SUBJECT PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE X (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT ANNUAL CHANCE FLOODPLAINS. NO BEE'S OR BASKET FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 1203300156G. MAP REVISIONS DATED SEPTEMBER 29, 2006.

FLOOD ZONE(S)	NFP COMMUNITY NUMBER	MAP NUMBER	PANEL NUMBER(S)	SUFFIX	MAP REVISION DATE
X	120080	12033C	0315	G	SEPTEMBER 29, 2006



PROJECT LOCATION



NO.	DATE	REVISIONS
1	02/16/22	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS
2	02/16/22	REVISED PLANS AS PER ECUA UTILITY PERMIT REVIEW COMMENTS

SHEET  
C1

**GRAPHIC SCALE**

22"x34" SCALE 1 inch = 20 ft.



11"x17" SCALE 1 inch = 40 ft.



**BENCHMARK DATA:**

BM~1 NAIL AND DISK IN ASPHALT ROAD  
ELEVATION= 97.41' (NAVD88)  
BM~2 NAIL AND DISK IN ASPHALT ROAD  
ELEVATION= 97.98' (NAVD88)

**PROTECTED TREE ASSESSMENT COMPLETED BY:**



**SURVEYING COMPLETED BY:**



NORTHWEST FLORIDA LAND SURVEYING, INC.  
7142 BELGIUM CIRCLE  
PENSACOLA, FL 32526  
(850) 432-1052

DESCRIPTION AS FURNISHED: (OFFICIAL RECORDS BOOK: 6486, PAGE: 282)

PARCEL 2  
BEGINNING AT THE INTERSECTION OF THE EAST LINE OF THE NORTHWEST QUARTER AND SOUTH LINE OF JOHNSON AVENUE WEST 15 FEET, SOUTH 409 FEET FOR POINT OF BEGINNING, CONTINUE SOUTH 226 FEET, WEST 193 FEET, NORTH 226 FEET, EAST 193 FEET TO THE POINT OF BEGINNING, BEING LOT 2 OF AN UNRECORDED PLAT IN SECTION 17, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, LESS AND EXCEPT THE EAST 10.00 FEET.

**GENERAL NOTES:**

- THE BEARINGS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN DATUM 1983, STATE PLANE MAPPING ZONE FLORIDA NORTH 0903, LAMBERT PROJECTION AS ESTABLISHED ALONG THE EAST LINE OF THE SUBJECT PROPERTY HAVING A BEARING OF SOUTH 03 DEGREES 44 MINUTES 55 SECONDS WEST.
- THE SURVEY DATUM AS SHOWN HEREON IS REFERENCED TO THE DESCRIPTION AS FURNISHED AND TO EXISTING FIELD MONUMENTATION.
- NO TITLE SEARCH WAS PROVIDED TO NOR PERFORMED BY NORTHWEST FLORIDA LAND SURVEYING, INC., FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, STATE AND/OR FEDERAL JURISDICTIONAL AREAS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE SUBJECT PROPERTY.
- THE PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE "X", OUTSIDE 0.2% ANNUAL CHANCE OF FLOOD, AS DETERMINED FROM FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA (UNINCORPORATED AREAS), MAP NUMBER 12033C 0315 G, REVISED SEPTEMBER 29, 2006.
- THIS SURVEY DOES NOT DETERMINE OWNERSHIP.
- THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.051 - 5J-17.053 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, TO THE BEST OF MY KNOWLEDGE AND BELIEF.
- THE MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS.
- THE MEASUREMENTS OF THE BUILDINGS AND/OR FOUNDATIONS SHOWN HEREON DO NOT INCLUDE CONCRETE FOOTERS OR EAVE OVERHANGS.
- FENCE LOCATIONS SHOWN HEREON MAY BE EXAGGERATED AND NOT TO SCALE FOR CLARITY PURPOSES.
- FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM, WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER, FRED R. THOMPSON, AND IS TO BE RETURNED TO OWNER UPON REQUEST.
- THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY ISSUED ON THE SURVEY DATE WITH A RAISED SEAL TO INSURE THE ACCURACY OF THE INFORMATION AND TO FURTHER INSURE THAT NO CHANGES, ALTERATIONS OR MODIFICATIONS HAVE BEEN MADE. NO RELIANCE SHOULD BE MADE ON A DOCUMENT TRANSMITTED BY COMPUTER OR OTHER ELECTRONIC MEANS UNLESS FIRST COMPARED TO THE ORIGINAL SIGNED AND SEALED DOCUMENT.
- THIS SURVEY MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS BY COUNTY, STATE OR OTHER AGENCIES.
- ENCROACHMENTS ARE AS SHOWN.
- THE PURPOSE OF THIS SURVEY IS TO RETRACE AND MONUMENT THE DEED OF RECORD ON THE GROUND AS WELL AS LOCATE ON SITE IMPROVEMENTS, EVIDENCE OF POSSESSION, AND ENCROACHMENTS TO BE SHOWN ON THE SURVEY TO SCALE AND THEIR RELATIONSHIP TO THE BOUNDARY.
- THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988, FROM ESCAMBIA COUNTY GEODETIC CONTROL POINT STAMPED "ESC 4075" HAVING A PUBLISHED ELEVATION OF 109.05 FEET, BASED ON ESCAMBIA COUNTY, FLORIDA GPS NETWORK SURVEY PERFORMED BY BASKERVILLE DONOVAN, INC. DATED 10/15/97.
- UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON INFORMATION PROVIDED BY OTHERS AND THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. CALL 811 SUNSHINE UTILITY LOCATORS 48 HOURS PRIOR TO DIGGING WITHIN THE RIGHT OF WAY.

**DENOTES:**

- ⊕ ~ 1/2" CAPPED IRON ROD, NUMBERED 7277 (PLACED)
- ⊙ ~ 1/2" CAPPED IRON ROD, NUMBERED 8584 (FOUND)
- ⊖ ~ 1/2" CAPPED IRON ROD, ILLEGIBLE (FOUND)
- ⊗ ~ DEED INFORMATION
- (F) ~ FIELD INFORMATION
- R/W ~ RIGHT OF WAY
- P.O.B. ~ POINT OF BEGINNING
- SEC. ~ SECTION
- TWP. ~ TOWNSHIP
- RGE. ~ RANGE
- O.R. ~ OFFICIAL RECORD
- PG. ~ PAGE
- ⊕ ~ BENCHMARK

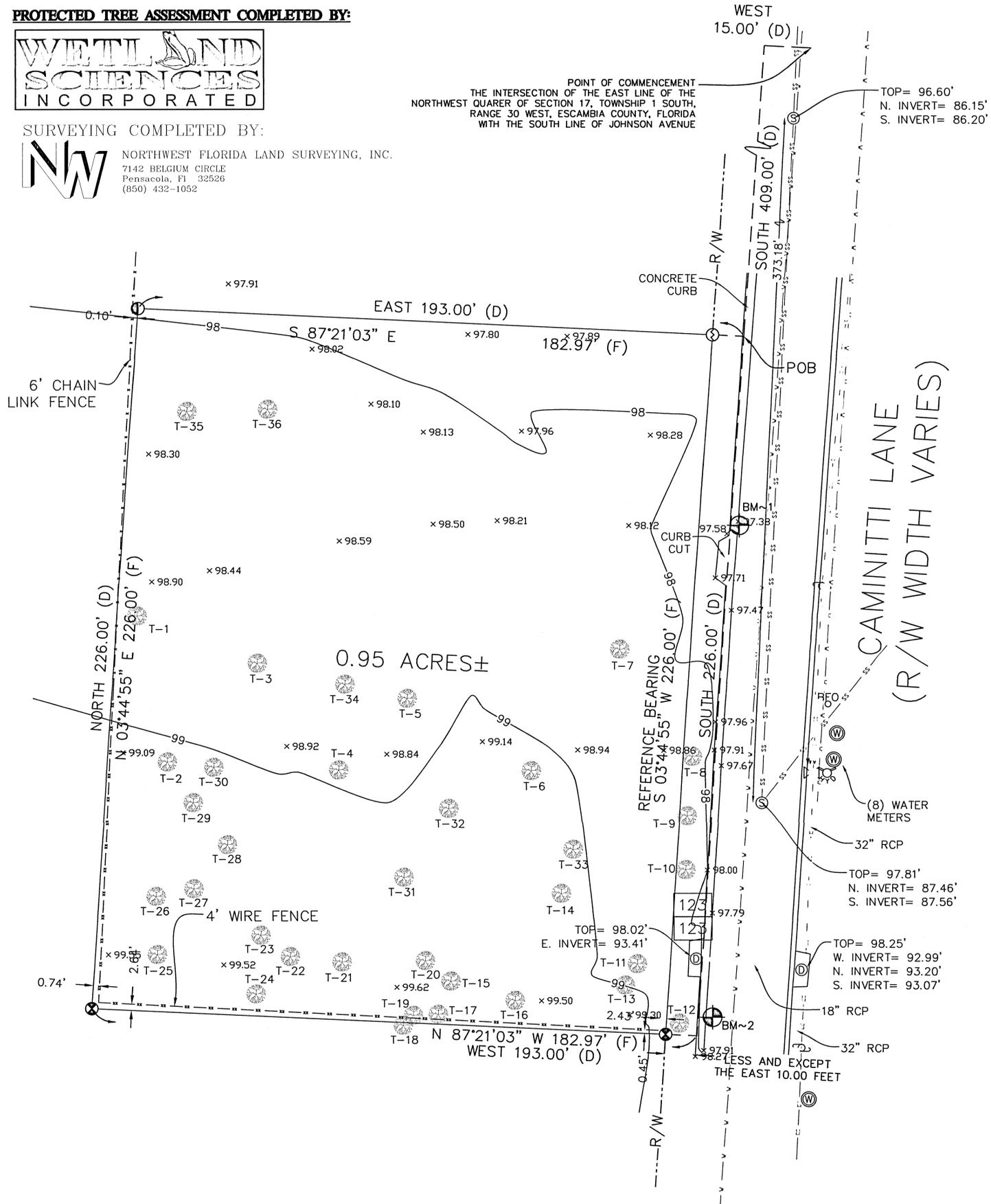
**SPECIAL LINES:**

- EE—EE—EE— ~ OVERHEAD ELECTRICAL
- V—V—V—V— ~ POTABLE WATER SERVICE LINE
- SS—SS—SS—SS— ~ SANITARY SEWER FORCE MAIN

**LEGEND:**

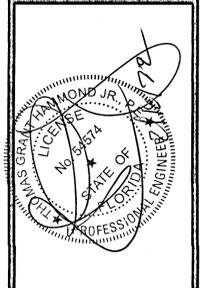
- 123 ~ MAIL BOX
- ⊕ ~ WATER METER
- ⊗ ~ FIRE HYDRANT
- ⊕ ~ WATER VALVE
- ⊕ ~ SANITARY SEWER MANHOLE
- ⊕ ~ UTILITY POLE
- BE0 ~ BURIED FIBER OPTIC CABLE MARKER
- ⊕ ~ STORM DRAIN MANHOLE

TREE #	TYPE	SIZE (DBH)
1	WATER OAK	40.5"
2	LIVE OAK	25"
3	WATER OAK	31"
4	LIVE OAK	29"
5	LIVE OAK	30"
6	WATER OAK	28.5"
7	LIVE OAK	36"
8	LIVE OAK	28"
9	LIVE OAK	19"
10	WATER OAK	23"
11	WATER OAK	18"
12	WATER OAK	15.5"
13	WATER OAK	21.5"
14	WATER OAK	15.5"
15	WATER OAK	17.5"
16	WATER OAK	24.5"
17	WATER OAK	18.5"
18	WATER OAK	15.5"
19	WATER OAK	15"
20	WATER OAK	18"
21	WATER OAK	16"
22	WATER OAK	14"
23	WATER OAK	14"
24	WATER OAK	15"
25	LIVE OAK	20.1"
26	WATER OAK	14"
27	WATER OAK	12.5"
28	WATER OAK	17.5"
29	WATER OAK	15.5"
30	WATER OAK	12.5"
31	WATER OAK	20"
32	LIVE OAK	14"
33	WATER OAK	17"
34	LAUREL OAK	17.5"
35	WATER OAK	38"
36	WATER OAK	13"



NO.	DATE	REVISIONS
1	02/16/2022	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS
2	02/16/2022	REVISED PLANS AS PER ECIA UTILITY PERMIT REVIEW COMMENTS

**HAMMOND ENGINEERING, INC.**  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH 'S' STREET  
PENSACOLA, FLORIDA 32505  
850 434-2603  
FAX 850-434-2650  
TOM@BELANDESIGN.COM



**SITE DEVELOPMENT PLANS FOR CAMINITTI LANE DUPLEXES**

**EXISTING CONDITIONS**

ESCAMBIA COUNTY FLORIDA

DRAWN BY: DUG  
DESIGNED BY: RLS  
CHECKED BY: TGH  
DATE: 01-12-22  
SCALE: AS SHOWN  
NOT RELEASED FOR CONSTRUCTION  
BY: \_\_\_\_\_ DATE: \_\_\_\_\_

PROJECT NO: 21-034  
SHEET: **02**

**GRAPHIC SCALE**

22"x34" SCALE 1 inch = 10 ft.



11"x17" SCALE 1 inch = 20 ft.

**LEGEND:**

	DENOTES EXISTING ASPHALT		DENOTES EXISTING WIRE FENCE
	DENOTES EXISTING CONCRETE TO BE REMOVED		DENOTES EXISTING 6' CHAIN LINK FENCE
	DENOTES EXISTING SANITARY SEWER MANHOLE		DENOTES EXISTING TREE TO REMAIN
	DENOTES EXISTING STORMWATER INLET		DENOTES EXISTING TREE TO BE REMOVED
	DENOTES EXISTING STORM PIPE		DENOTES PROPOSED HAY BALE EROSION CONTROL PROTECTION
	DENOTES PROPOSED SILT FENCE		
	DENOTES PROPOSED TREE PROTECTION BARRIER		

**DEMOLITION/EROSION CONTROL NOTES:**

- WHERE ASPHALT/CONCRETE TO BE REMOVED EXTENDS PAST PROPERTY LINE, CONTRACTOR TO COORDINATE PROPOSED REMOVAL WITH ADJACENT PROPERTY OWNER TO ASSURE HE/SHE DESIRES MISCELLANEOUS IMPERVIOUS SURFACE TO BE REMOVED.
- WHERE EXISTING ASPHALT/CONCRETE IS BEING REMOVED ON PROPERTY LINE, REMOVAL SHALL BEGIN AT THE PROPERTY LINE AND WORK TOWARDS THE INTERIOR OF THE PROPERTY. INITIALLY, A 3/4" STOP OF EXISTING ASPHALT/CONC. SHALL BE REMOVED NEXT TO THE PROPERTY LINE TO ALLOW FOR INSTALLATION OF PROPOSED EROSION CONTROL BMP'S.
- IT IS UNDERSTOOD THAT WHERE SILT FENCING IS ILLUSTRATED ON EXISTING ASPHALT/CONC. THAT THE EXISTING ASPHALT/CONC. SHALL BE REMOVED IN THAT IMMEDIATE AREA PRIOR TO INSTALLATION OF BMP.
- THE EROSION AND SEDIMENT CONTROL RULES ARE PERFORMANCE ORIENTED. THAT IS, THE MEASURES USED AT A CONSTRUCTION SITE MUST BE EFFECTIVE IN CONTROLLING EROSION AND PREVENTING OFF-SITE SEDIMENTATION FOR THE SITE TO BE IN COMPLIANCE. FOLLOWING AN APPROVED PLAN AND INSTALLING THE CONTROL MEASURES MAY NOT BE ENOUGH FOR A SITE TO BE IN COMPLIANCE WITH THE RULES. IF EROSION AND OFF-SITE SEDIMENTATION OCCUR, THE CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLING ADDITIONAL MEASURES TO CORRECT ANY PROBLEM ASSOCIATED WITH COMPLIANCE OF THE NPDES PERMIT OR ANY OTHER PERMIT REQUIRED FOR THE SITE. THE CONTRACTOR WILL ALSO BE COMPLETELY RESPONSIBLE FOR ANY FINES LAYED BY ANY GOVERNING AGENCY ON THE PROJECT DURING CONSTRUCTION.
- EROSION CONTROL MEASURES SHOWN ARE MINIMUM REQUIREMENTS ONLY. CONTRACTOR SHALL REINFORCE AND/OR ADD ADDITIONAL MEASURES AS CONDITIONS WARRANT AND/OR AS DIRECTED BY THE PROPER REGULATORY AUTHORITIES.
- ON SITES > 1 ACRE, IF > 1 CONTIGUOUS ACRE IS DECLARED, A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED WITHIN 10 WORKING DAYS ON THE PORTION OF THE SITE UPON WHICH FURTHER ACTIVE CONSTRUCTION WILL NOT BE UNDERTAKEN WITHIN 90 DAYS.
- TO COMPLY WITH NPDES REQUIREMENTS, EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS. INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO DEEP.
- TREE PROTECTION BARRICADES SHALL BE INSTALLED PRIOR TO ANY SITE DISTURBANCE AND EARTH MOVING IMPACTS (i.e. ROOT RAKING, TRENCHING, GRADING, ETC.) SHOULD TAKE PLACE OUTSIDE OF THE PROTECTION BARRICADE.
- PROTECTED TREES SHALL REMAIN ONSITE AND ANY PROPOSED LAND CLEARING/LAND DISTURBING ACTIVITIES, INCLUDING THE PLACEMENT OF FILL/FILL MAINTAINING, GRADING, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PERMIT(S) ARE ISSUED FOR SUCH SITE WORK.
- THE LAND SHALL REMAIN VEGETATED (TREES INCLUDED, NO FILL MATERIALS PLACED ONSITE, GRADING, EXCAVATING, ETC.) UNTIL SUCH TIME AS PLAN APPROVAL &/OR PROPER PERMITTING ALLOWS FOR SUCH PER CODE. ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, LAND DISTURBING ACTIVITIES, ETC. SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION.



CONTRACTOR TO NOTIFY SUNSHINE 811 A MINIMUM 2 BUSINESS DAYS IN ADVANCE PRIOR TO DIGGING WITHIN THE RIGHT OF WAY; 1-800-432-4770

Know what's below  
Call before you dig

**TREE ID/REMOVAL TABLE**

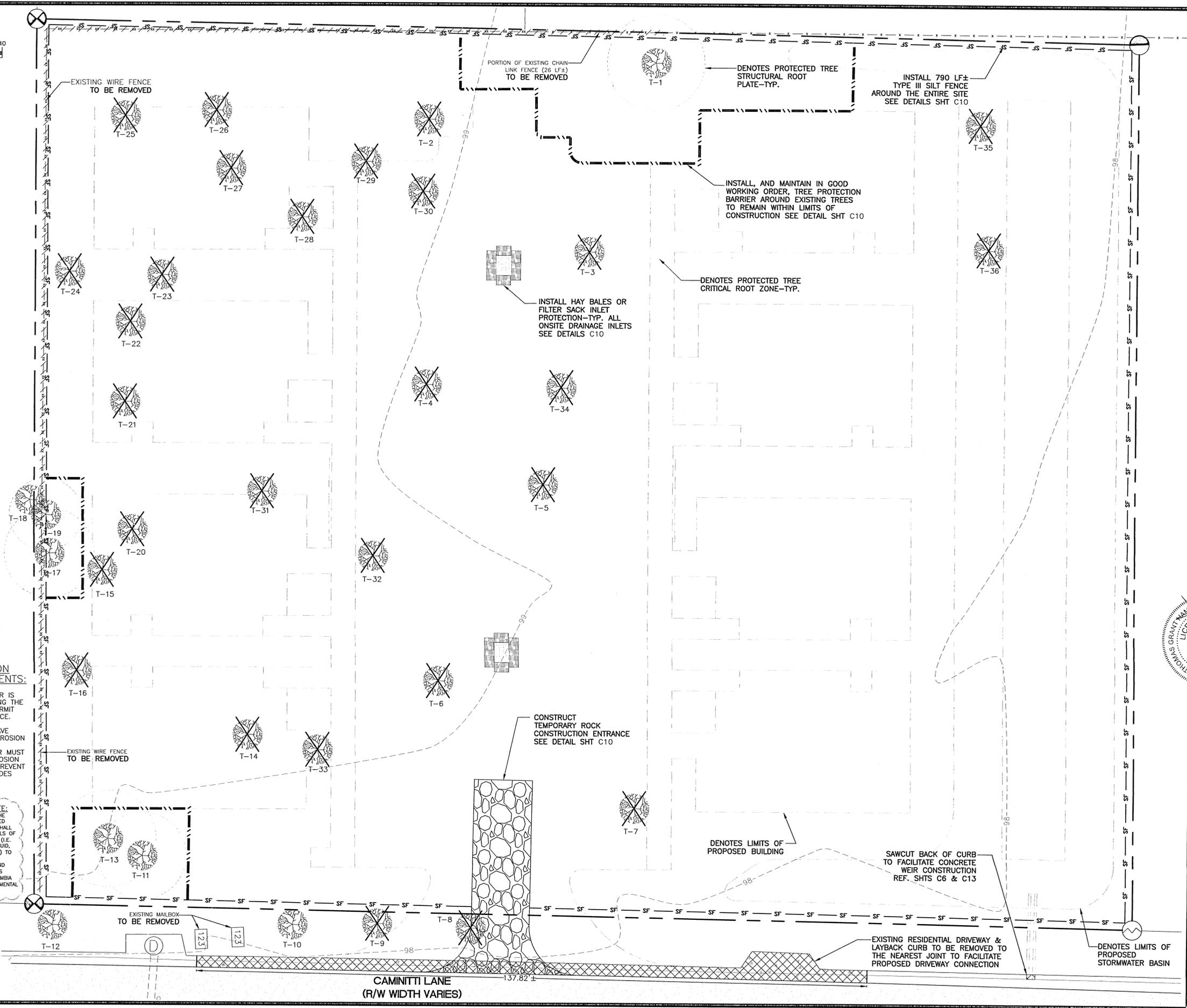
TREE #	TYPE	SIZE (DBH)	REASON FOR REMOVAL
1	WATER OAK	40.5"	TO REMAIN
2	LIVE OAK	25"	PARKING LOT
3	WATER OAK	31"	PARKING LOT
4	LIVE OAK	29"	PARKING LOT
5	LIVE OAK	30"	PARKING LOT
6	WATER OAK	28.5"	PARKING LOT
7	LIVE OAK	36"	PARKING LOT
8	LIVE OAK	28"	DRIVEWAY
9	LIVE OAK	19"	DRIVEWAY
10	WATER OAK	23"	TO REMAIN
11	WATER OAK	18"	TO REMAIN
12	WATER OAK	15.5"	TO REMAIN
13	WATER OAK	21.5"	TO REMAIN
14	WATER OAK	15.5"	BUILDING
15	WATER OAK	17.5"	BUILDING
16	WATER OAK	24.5"	BUILDING
17	WATER OAK	18.5"	TO REMAIN
18	WATER OAK	15.5"	TO REMAIN
19	WATER OAK	15"	TO REMAIN
20	WATER OAK	18"	BUILDING
21	WATER OAK	16"	BUILDING
22	WATER OAK	14"	BUILDING
23	WATER OAK	14"	BUILDING
24	WATER OAK	15"	STORMWATER INLET
25	LIVE OAK	20.1"	BUILDING
26	WATER OAK	14"	BUILDING
27	WATER OAK	12.5"	BUILDING
28	WATER OAK	17.5"	BUILDING
29	WATER OAK	15.5"	BUILDING
30	WATER OAK	12.5"	BUILDING
31	WATER OAK	20"	BUILDING
32	LIVE OAK	14"	BUILDING
33	WATER OAK	17"	BUILDING
34	LAUREL OAK	17.5"	PARKING LOT
35	WATER OAK	38"	STORMWATER POND
36	WATER OAK	13"	STORMWATER POND

**CONTRACTOR EROSION CONTROL REQUIREMENTS:**

- IF APPLICABLE, CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE REQUIRED FDEP NPDES PERMIT PRIOR TO LAND DISTURBANCE.
- THE CONTRACTOR MUST HAVE TECHNICAL EXPERTISE IN EROSION PREVENTION AND SEDIMENT CONTROL. THE CONTRACTOR MUST AT ALL TIMES MAINTAIN EROSION CONTROL METHODS THAT PREVENT ANY VIOLATION OF THE NPDES PROGRAM.

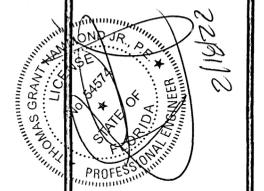
**WELLHEAD PROTECTION NOTE:**

THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOUR OF A PROTECTED (POTABLE) WELLHEAD. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ECUA-EMERALD COAST UTILITIES AUTHORITY (850-476-5110 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 995-6712) AGENCIES.



NO.	DATE	REVISIONS
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**HAMMOND ENGINEERING, INC.**  
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 3802 NORTH "S" STREET  
 PENSACOLA, FLORIDA 32505  
 850 434-2603  
 FAX 850-434-2650  
 TOM@SELANDDESIGN.COM



**SITE DEVELOPMENT PLANS FOR CAMINITTI LANE DUPLEXES**  
 DEMOLITION & EROSION CONTROL PLAN  
 ESCAMBIA COUNTY FLORIDA

DRAWN BY: CUB	DATE:
DESIGNED BY: RLS	
CHECKED BY: TGH	
DATE: 01-12-22	
SCALE: AS SHOWN	
NOT RELEASED FOR CONSTRUCTION	
PROJECT NO: 21-034	
SHEET: C3	

**GRAPHIC SCALE**

22"x34" SCALE 1 inch = 10 ft.

11"x17" SCALE 1 inch = 20 ft.

**LEGEND:**

	DENOTES EXISTING ASPHALT		DENOTES PROPOSED 6' PRIVACY FENCE
	DENOTES PROPOSED CONCRETE		DENOTES PROPOSED 4' CHAIN LINK FENCE
	DENOTES PROPOSED ASPHALT		DENOTES EXISTING 6' CHAIN LINK FENCE
	DENOTES EXISTING SANITARY SEWER MANHOLE		DENOTES EXISTING TREE
	DENOTES EXISTING STORMWATER INLET		DENOTES QUANTITY OF PARKING STALLS PER ROW
	DENOTES EXISTING STORM PIPE		DENOTES EXISTING NYLOPLAST INLET

**SITE DATA:**  
 8431 CAMINITTI LANE PENSACOLA, FL 32514  
 PARCEL ID # 17-15-30-2101-001-001  
 PARCEL ACREAGE: 0.95 AC  
 PARCEL ZONING: HDR  
 FLU: MU-U

**BUILDING SETBACKS REQUIRED (HDR ZONED PARCEL):**  
 FRONT SETBACK = 20'  
 REAR SETBACK = 15'  
 SIDE SETBACK = 10'

**MAXIMUM IMPERVIOUS SURFACE: 80%**  
**MAXIMUM BUILDING HEIGHT: 120'**

**MAXIMUM DENSITY: 18 DWELLING UNITS PER ACRE**  
 18 DU \* 0.95 AC = 18 MAX DU'S  
**PROPOSED DENSITY: 16 DU'S/0.95 AC = 16.84 DU'S/ACRE**

**MAXIMUM FLOOR AREA RATIO: 2.0**  
**PROPOSED FLOOR AREA RATIO:**  
 TOTAL GROSS FLOOR AREA = 16,704 SF  
 GROSS LOT AREA = 41,344 SF  
 FLOOR AREA RATIO = 16,704 SF/41,344 SF = 0.40

**PARKING CALCULATIONS:**  
 8 DUPLEX BUILDINGS  
 16 DWELLING UNITS TOTAL

AS PER 3-1.2 ESCAMBIA COUNTY DESIGN STANDARDS MANUAL:  
 2 PARKING STALLS PER DWELLING UNIT REQUIRED  
 16\*2 = 32 STALLS REQUIRED

AS PER ART. 3, SEC. 3-1.2(e) DESIGN STANDARDS MANUAL:  
 THE NUMBER OF OFF-STREET PARKING SPACES REQUIRED FOR DEVELOPMENT SHALL BE DETERMINED BY LAND USE ACCORDING TO THE PARKING DEMAND RATIOS LISTED. THE RATIOS MAY BE EXCEEDED OR REDUCED BY UP TO TEN PERCENT WITHOUT JUSTIFICATION.

**29 TOTAL PARKING STALLS ALLOWED**

28 REGULAR STALLS PROPOSED  
 2 HANDICAP STALLS PROPOSED  
 30 TOTAL STALLS PROPOSED

NOTE: HANDICAP PARKING SIGNS SHALL CONFORM TO FDOT ROADWAY AND TRAFFIC DESIGN STANDARD INDEX NUMBER 17355, SHEET 2 OF 11, FTP-20-06, FTP-21-06, FTP-22-06

**PARKING STALL NOTES:**

- ALL HANDICAP PARKING STALLS ARE TO MEASURE 12' x 18' WITH AN ADJACENT 5' WIDE AISLE
- ALL STANDARD PARKING STALLS ARE TO MEASURE 9' x 18'
- ALL PARKING STALLS ARE TO BE DEMARCATED WITH 4" SOLID WHITE LINES UNLESS OTHERWISE NOTED

**FIRE SAFETY NOTES:**

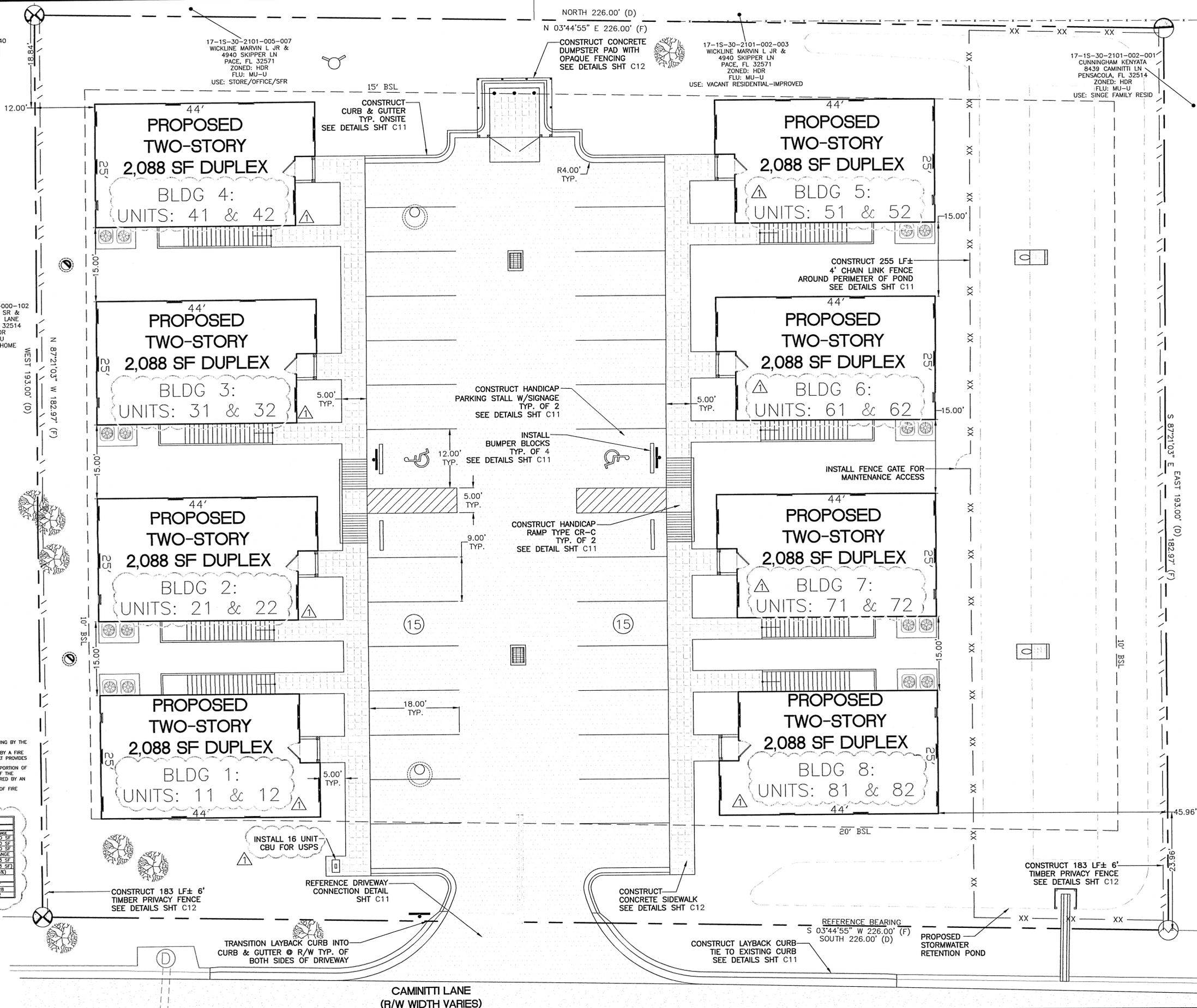
- FIRE DEPT. ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 20'
- FIRE DEPT. ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED VERTICAL CLEARANCE OF 13'-6"
- THE REQUIRED WIDTH OF A FIRE DEPT. ACCESS ROAD SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING BY A PARKING OF VEHICLES
- FIRE DEPARTMENT ACCESS ROAD SHALL EXTEND TO WITHIN 50 FT (150 FT IF THE BUILDING IS PROTECTED BY A FIRE SPRINKLER SYSTEM) OF AT LEAST ONE EXTERIOR DOOR THAT CAN BE OPENED FROM THE OUTSIDE AND THAT PROVIDES ACCESS TO THE INTERIOR OF THE BUILDING
- FIRE DEPARTMENT ACCESS ROADS SHALL BE PROVIDED SUCH THAT ANY PORTION OF THE FACILITY OR ANY PORTION OF AN EXTERIOR WALL OF THE FIRST STORY OF THE BUILDING IS LOCATED NOT MORE THAN 150 FT (450 FT IF THE BUILDING IS PROTECTED BY A FIRE SPRINKLER SYSTEM) FROM FIRE DEPARTMENT ACCESS ROADS AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY
- FIRE DEPARTMENT ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE PROVIDED WITH AN ALL-WEATHER DRIVING SURFACE, MINIMUM OF 40 TONS

EXISTING SITE AREA: 41,344 SF = 0.95 ACRES

IMPERVIOUS and PAVEMENT AREA		EXISTING	REMOVE	NEW	POST-CONSTRUCTION	NET CHANGE
BUILDINGS (footprint)	0 SF	0 SF	8,520 SF	8,520 SF	+8,520 SF	
ASPHALT/CONCRETE	0 SF	0 SF	11,270 SF	11,270 SF	+11,270 SF	
TOTAL IMPERVIOUS AREA	0 SF	0 SF	19,790 SF	19,790 SF	+19,790 SF	
ROCK AREA	0 SF	0 SF	0 SF	0 SF	NO CHANGE	
STORMWATER POND AREA	0 SF	0 SF	6,393 SF	6,393 SF	+6,393 SF	
LANDSCAPE AREA	41,344 SF	26,193 SF	0 SF	15,151 SF	(-26,193 SF)	
PERCENTAGE OF LANDSCAPE	100%	63%		37%	(-63%)	

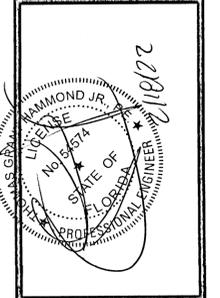
PARKING DATA		EXISTING	REMOVE	NEW	POST-CONSTRUCTION	NET
NON-HANDICAPPED SPACES	0	0	28	28	+28	
HANDICAPPED SPACES	0	0	2	2	+2	



**REVISIONS**

NO.	DATE	REVISIONS
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**HAMMOND ENGINEERING, INC.**  
 FLORIDA AUTHORIZATION NO. 9130  
 ALABAMA AUTHORIZATION NO. 3277  
 3802 NORTH 15<sup>TH</sup> STREET  
 PENSACOLA, FLORIDA 32505  
 850 434-2603  
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 TOM@SELANDDESIGN.COM



**SITE DEVELOPMENT PLANS FOR CAMINITTI LANE DUPLEXES**  
**SITE PLAN**  
 ESCAMBIA COUNTY FLORIDA

DRAWN BY: CUB  
 DESIGNED BY: RLS  
 CHECKED BY: TGH  
 DATE: 01-12-22  
 SCALE: AS SHOWN  
 NOT RELEASED FOR CONSTRUCTION  
 BY: DATE:

PROJECT NO: 21-034  
 SHEET: C4

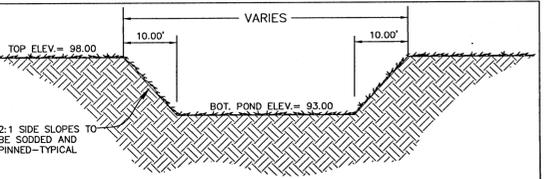
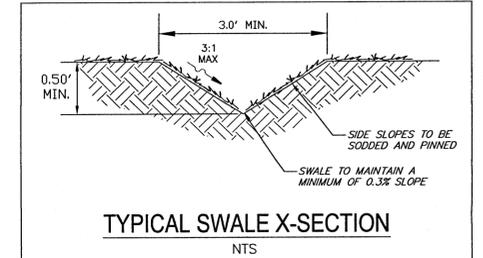
**GRAPHIC SCALE**

22"x34" SCALE 1 inch = 10 ft.

11"x17" SCALE 1 inch = 20 ft.

**LEGEND:**

	DENOTES EXISTING ASPHALT		DENOTES PROPOSED 6" PRIVACY FENCE
	DENOTES PROPOSED CONCRETE		DENOTES PROPOSED 4' CHAIN LINK FENCE
	DENOTES PROPOSED ASPHALT		DENOTES EXISTING 6' CHAINLINK FENCE
	DENOTES EXISTING SANITARY SEWER MANHOLE		DENOTES EXISTING TREE
	DENOTES EXISTING STORMWATER INLET		DENOTES BENCHMARK LOCATION
	DENOTES EXISTING STORM PIPE		DENOTES SOIL BORING LOCATION
	DENOTES PROPOSED STORM PIPE		MATCH EXISTING GRADE
	DENOTES PROPOSED DUAL SPOT ELEVATION TOP #=TOP OF CURB/SIDEWALK BOTTOM #=ASPHALT/CONC. ELEV		DENOTES PROPOSED SPOT ELEVATION
			DENOTES PROPOSED NYLOPLAST INLET

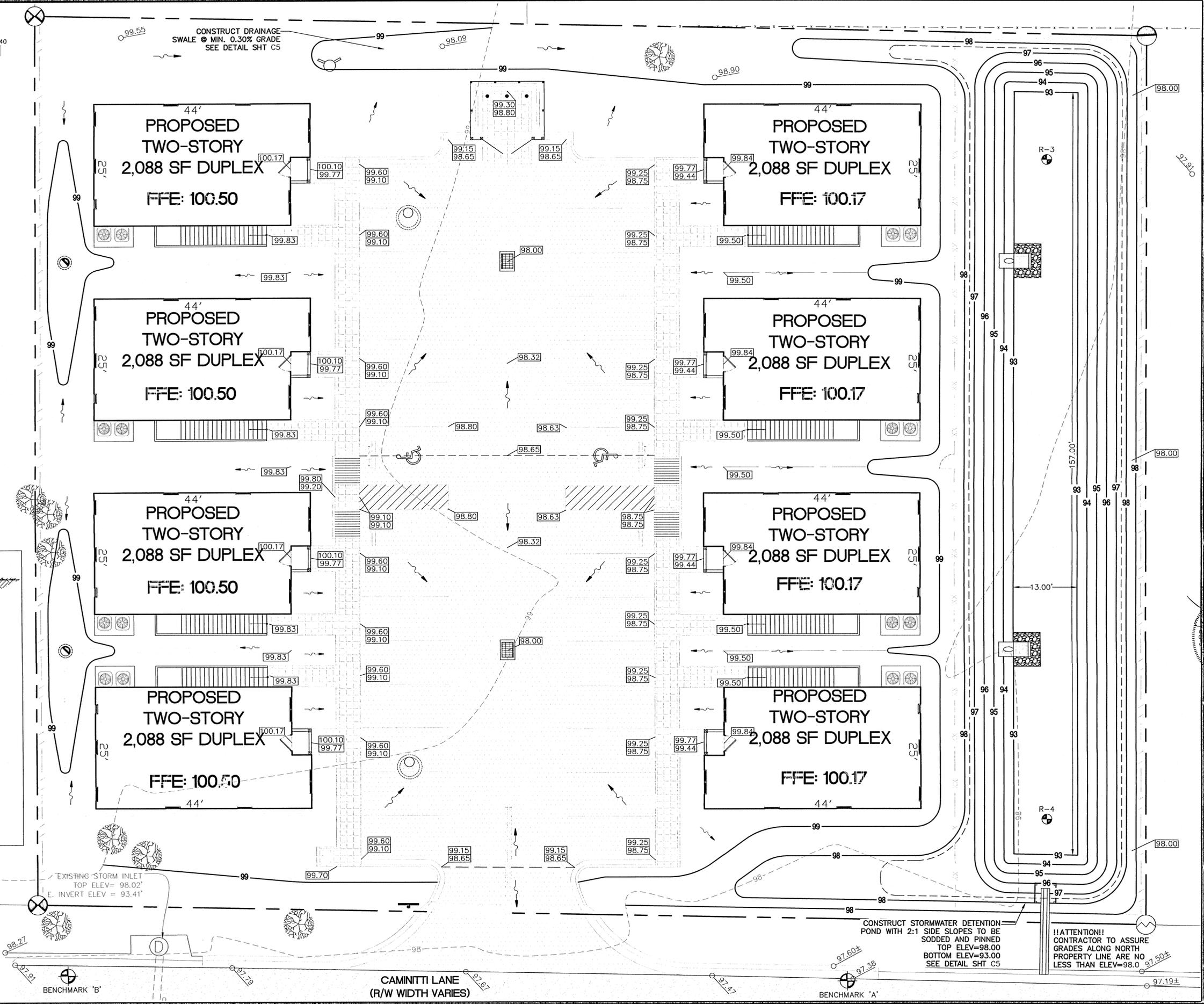


- DETENTION BASIN CONSTRUCTION**
- INITIALLY INSTALL ALL EROSION AND SEDIMENT CONTROL BMP'S AS ILLUSTRATED ON THE EROSION CONTROL PLAN PROVIDED AS PART OF THESE PLANS (SHEET C3)
  - CONSTRUCT THE DETENTION BASIN TO ROUGH GRADE BY UNDER-EXCAVATING THE BASIN BOTTOM AND SIDES BY ABOUT 6 INCHES.
  - AFTER THE DRAINAGE AREA CONTRIBUTING TO THE BASIN HAS BEEN FULLY STABILIZED, THE INTERIOR SIDE SLOPES AND BASIN BOTTOM SHALL BE EXCAVATED TO FINAL DESIGN SPECIFICATIONS. THE EXCESS SOIL AND UNDESIRABLE MATERIAL MUST BE CAREFULLY EXCAVATED AND REMOVED FROM THE POND SO THAT ALL ACCUMULATED SILTS, CLAYS, ORGANICS, AND OTHER FINE SEDIMENT MATERIAL HAS BEEN REMOVED FROM THE POND AREA. THE EXCAVATED MATERIAL SHALL BE DISPOSED OF BEYOND THE LIMITS OF THE DRAINAGE AREA OF THE BASIN.
  - ONCE THE BASIN HAS BEEN EXCAVATED TO FINAL GRADE, THE ENTIRE BASIN BOTTOM MUST BE DEEP RAKED AND LOOSENEED FOR OPTIMAL FILTRATION.
  - FINALLY, THE ENTIRE BANK SLOPE AND POND BOTTOM SHALL BE PERMANENTLY STABILIZED IN A MANNER THAT GUARANTEES HEALTHY GROWTH OF GRASS (FREE FROM NOXIOUS WEEDS) SUCH AS PANGALA, ARGENTINE BAHIA, BERMUDA, CENTIPEDE OR OTHER SUITABLE GRASS.

**BENCHMARKS**

BENCHMARK "A"  
NAIL & DISK IN EXISTING ASPHALT  
ELEV. = 97.41'

BENCHMARK "B"  
NAIL & DISK IN EXISTING ASPHALT  
ELEV. = 97.98'



**CAMINITTI LANE**  
(R/W WIDTH VARIES)

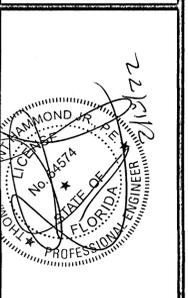
CONSTRUCT STORMWATER DETENTION POND WITH 2:1 SIDE SLOPES TO BE SODDED AND PINNED  
TOP ELEV=98.00  
BOTTOM ELEV=93.00  
SEE DETAIL SHT C5

!!ATTENTION!!  
CONTRACTOR TO ASSURE GRADES ALONG NORTH PROPERTY LINE ARE NO LESS THAN ELEV=98.0

**REVISIONS**

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**HAMMOND ENGINEERING, INC.**  
FLORIDA AUTHORIZATION NO. 9130  
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3802 NORTH 5<sup>TH</sup> STREET  
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850 434-2603  
850 434-2650  
TOM@SELANDESIGN.COM



**SITE DEVELOPMENT PLANS FOR CAMINITTI LANE DUPLEXES GRADING & DRAINAGE PLAN**  
FLORIDA  
ESCAMBIA COUNTY

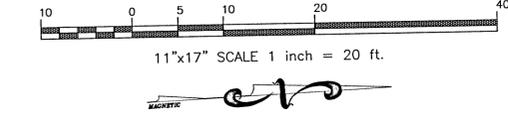
DRAWN BY: CUG  
DESIGNED BY: RLS  
CHECKED BY: TSH  
DATE: 01-12-22  
SCALE: AS SHOWN  
NOT RELEASED FOR CONSTRUCTION  
BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

PROJECT NO: 21-034  
SHEET: **C5**

**GRAPHIC SCALE**

22"x34" SCALE 1 inch = 10 ft.

11"x17" SCALE 1 inch = 20 ft.



**LEGEND:**

- DENOTES EXISTING ASPHALT
- DENOTES PROPOSED CONCRETE
- DENOTES PROPOSED ASPHALT
- DENOTES EXISTING SANITARY SEWER MANHOLE
- DENOTES EXISTING STORMWATER INLET
- DENOTES EXISTING STORM PIPE
- DENOTES PROPOSED NYLOPLAST INLET
- DENOTES PROPOSED STORM PIPE
- DENOTES PROPOSED 6" PRIVACY FENCE
- DENOTES PROPOSED 4" CHAIN LINK FENCE
- DENOTES EXISTING 6" CHAINLINK FENCE
- DENOTES EXISTING TREE
- DENOTES BENCHMARK LOCATION
- DENOTES SOIL BORING LOCATION

**STORM STRUCTURE DATA TABLE**

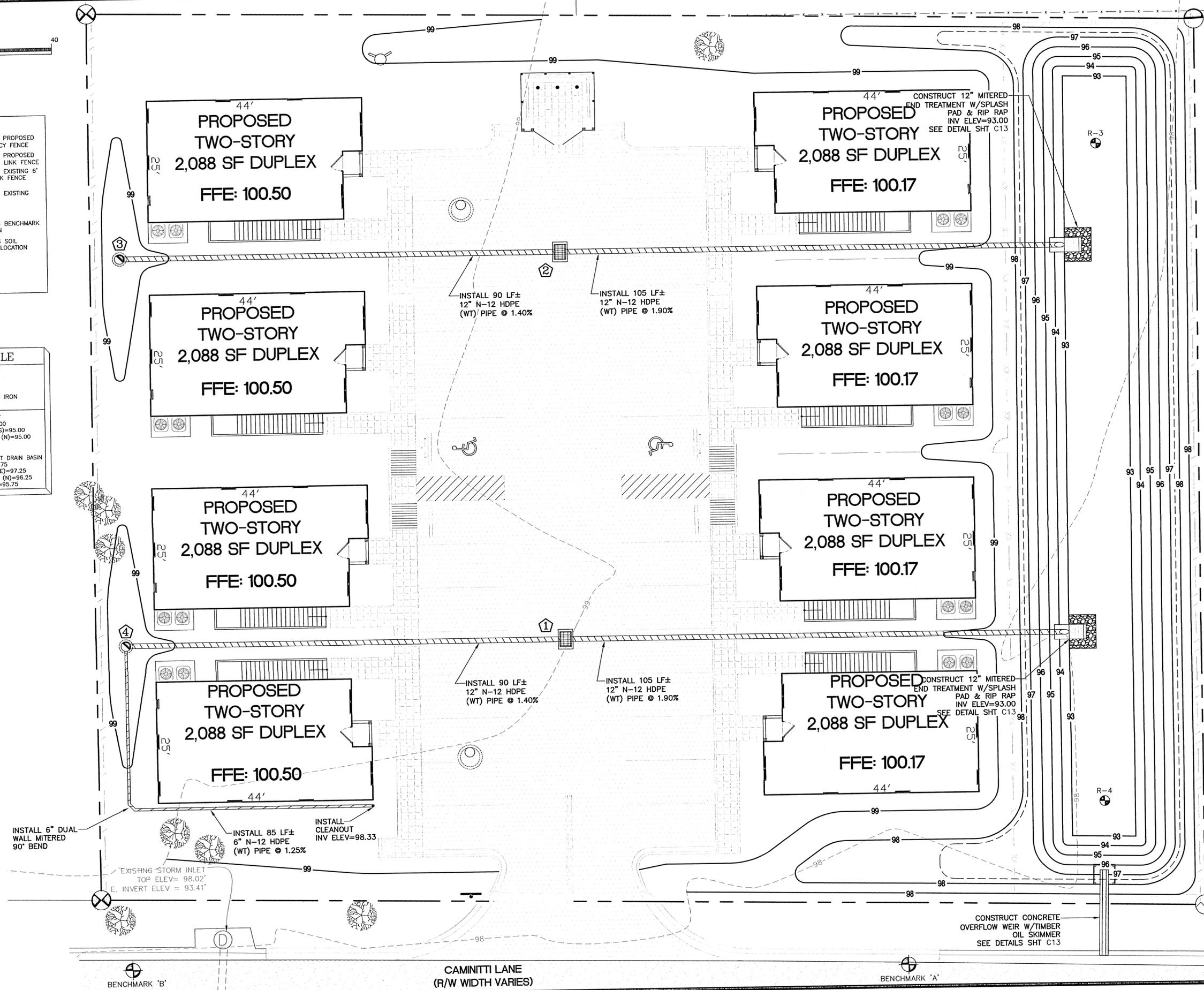
PROPOSED INLETS & STORM STRUCTURES TO CONSIST OF:

- 24" NYLOPLAST DRAIN BASIN W/24" STANDARD GRATE
- TYPE 'C' DITCH BOTTOM INLET W/USF NO. 6212 CAST IRON TRAFFIC RATED GRATE

	TYPE 'C' INLET TOP ELEV=98.00 INV ELEV IN (S)=95.00 INV ELEV OUT (N)=95.00		TYPE 'C' INLET TOP ELEV=98.00 INV ELEV IN (S)=95.00 INV ELEV OUT (N)=95.00
	24" NYLOPLAST DRAIN BASIN TOP ELEV=98.75 INV ELEV OUT (N)=96.25 BOTTOM ELEV=95.75		24" NYLOPLAST DRAIN BASIN TOP ELEV=98.75 INV ELEV IN (E)=97.25 INV ELEV OUT (N)=96.25 BOTTOM ELEV=95.75

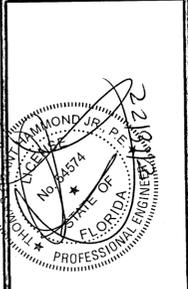
**BENCHMARKS**

- BENCHMARK "A"  
NAIL & DISK IN EXISTING ASPHALT  
ELEV. = 97.41'
- BENCHMARK "B"  
NAIL & DISK IN EXISTING ASPHALT  
ELEV. = 97.98'



NO.	DATE	REVISIONS
1	02/16/2022	REVISED PLANS AS PER ESCAMBA COUNTY DRC REVIEW COMMENTS
2	02/16/2022	REVISED PLANS AS PER ECUA UTILITY PERMIT REVIEW COMMENTS

**HAMMOND ENGINEERING, INC.**  
 FLORIDA AUTHORIZATION NO. 9130  
 ALABAMA AUTHORIZATION NO. 3277  
 3802 NORTH "S" STREET  
 PENSACOLA, FLORIDA 32505  
 850.434-2603  
 FAX 850-434-2650  
 TOM@SELANDESIGN.COM



**SITE DEVELOPMENT PLANS FOR CAMINITTI LANE DUPLEXES UNDERGROUND STORMWATER PLAN**  
 ESCAMBA COUNTY FLORIDA

DRAWN BY: CUB  
 DESIGNED BY: RLS  
 CHECKED BY: TSH  
 DATE: 01-12-22  
 SCALE: AS SHOWN  
 NOT RELEASED FOR CONSTRUCTION  
 BY: \_\_\_\_\_

PROJECT NO: 21-034  
 SHEET: C6

**GRAPHIC SCALE**

22"x34" SCALE 1 inch = 20 ft.

11"x17" SCALE 1 inch = 40 ft.

**LEGEND:**

	DENOTES EXISTING ASPHALT	- x - x -	DENOTES EXISTING 6' CHAINLINK FENCE
	DENOTES PROPOSED CONCRETE	- / - / -	DENOTES PROPOSED 6' PRIVACY FENCE
	DENOTES PROPOSED ASPHALT	- XX - XX -	DENOTES PROPOSED 4' CHAIN LINK FENCE
	DENOTES ASPHALT TO BE RESURFACED	- W - W -	DENOTES EXISTING WATER LINE
	DENOTES EXISTING SANITARY SEWER MANHOLE	- V - V -	DENOTES PROPOSED WATER LINE
	DENOTES PROPOSED NYLOPLAST INLET	- SS - SS -	DENOTES EXISTING SANITARY SEWER LINE
	DENOTES PROPOSED FLUSH HYDRANT	- SS - SS -	DENOTES PROPOSED SANITARY SEWER LINE
	DENOTES EXISTING TREE		DENOTES EXISTING TREE

**GENERAL UTILITY NOTES**

- All potable water and sanitary sewer work shall be done in accordance with ECUA's engineering manual.
- Contractor shall notify ECUA and the County Engineer 48 hours prior to the commencement of this project.
- Contractor shall make sewer service connections and potable water connections with an ECUA inspector present.
- All work shall comply with applicable standards and codes established by ECUA and the Florida Department of Environmental Protection and written specifications.
- Contractor shall notify Sunshine One Utilities two business days in advance prior to digging within R/W, 1-800-432-4770.
- The Contractor shall notify the superintendents of the water, gas, sewer, telephone and power companies 10 days in advance, that he intends to start work in a specific area. The Owner disclaims any responsibility for the support and protection of sewers, drains, water pipes, gas pipes, conduits of any kind, utilities or other structures owned by the City, County, State or by private or public utilities legally occupying any street, alley, public place or right-of-way.
- Florida State Statute 553.851 requires that all excavators notify gas companies of their intention to perform any excavation at least two business days (excluding Sat., Sun. & holidays) prior to beginning work.
- Locations of existing utilities shown on plans are approximate only and it shall be the responsibility of the Contractor to verify the location and sizes before construction. Failure of the plans to show the existence of any underground utilities, structures, etc., shall not relieve the Contractor from the responsibility of locating, preserving and protecting said utility or structures.
- Property obstructions which are to remain in place, such as buildings, sewer, storm drains, water or gas pipes, electrical conduits, poles, walls, posts, etc., are to be carefully protected and are not to be displaced, unless noted.
- Relocation of the obstructions owned by private property Owner, such as mailboxes, shall be the responsibility of the Contractor who must coordinate with the property Owner.
- Control of sedimentation and erosion shall be the Contractor's responsibility.
- Contractor shall dispose of by hauling away all excess material.
- The Utility Contractor shall make connections to the sanitary sewer as shown and shall verify locations and elevations of all utility lines prior to beginning work. The Utility Contractor shall include the cost of protection and/or relocation of other utilities in his bid and shall coordinate his work with other utility sub-contractors to prevent conflicts with other utility lines.
- Contractor shall be responsible for and comply with any testing required by the local governing agency in addition to the testing requirements outlined in the specifications.
- Proposed water line shall have a minimum cover of 30" and a maximum cover of 36" below finished grade unless otherwise noted.
- "As-built" drawings showing all service lines, laterals, mains and valve locations measured from permanent reference points shall be furnished to the Engineer prior to acceptance.
- Grading around trees which are to remain shall be away from the tree in a manner to cause no damage to the tree.
- Contractor shall be responsible for the seeding and mulching and/or sodding of street and road shoulder areas in accordance with FDOT and applicable county requirements and standards.
- Water supply facilities, including mains, shall be installed, cleaned, disinfected and bacteriologically cleared for service in accordance with the latest applicable AWWA Standards and coordinated with the designated ECUA Inspector and Quality Control Supervisor.
- All onsite water and sewer facilities shall be privately owned, operated and maintained.
- Contractor is responsible for adjustment of existing utilities if proposed improvements impact existing utilities.
- All work to take place within the right of way or to be owned and maintained by ECUA post-construction shall be performed by a certified underground utility contractor.
- Contractor must locate existing water main, sanitary sewer line and gas line to be tied into and verify configuration to establish the best location for connection.
- Contractor shall obtain an Escambia County right of way permit prior to working within the county R/W.
- Contractor to video/document all right of way areas to be impacted prior to construction.
- Reference utility details provided on sheet C14.
- Contractor to coordinate power supply to building with Gulf Power...850-429-2861
- Contractor to coordinate proposed natural gas service with Energy Services of Pensacola...850-983-5434
- ALL SEWER IS PRIVATE, INCLUDING CONNECTION TO THE MANHOLE.

**CAMINITTI LANE MAINTENANCE OF TRAFFIC NOTE:**

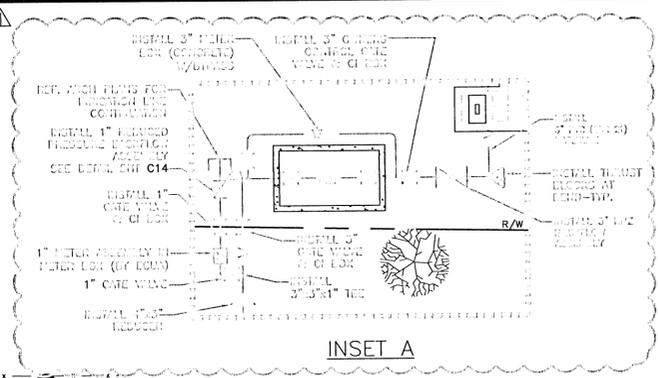
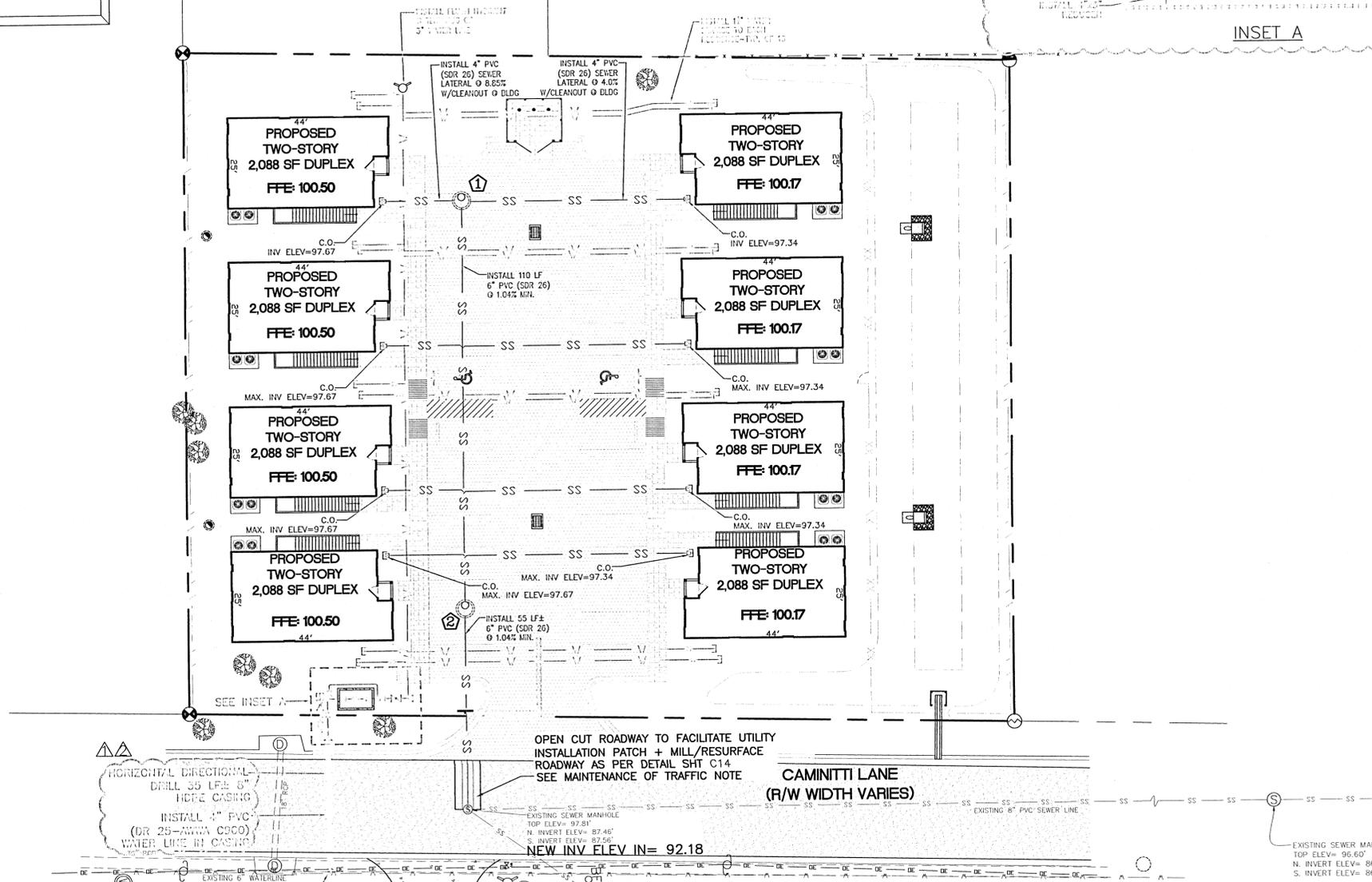
CONTRACTOR IS REQUIRED TO PROVIDE A MAINTENANCE OF TRAFFIC PLAN TO ESCAMBIA COUNTY TRAFFIC ENGINEERING DEPARTMENT FOR REVIEW PRIOR TO COMMENCING ANY WORK IN THE CAMINITTI LANE RIGHT OF WAY THAT INCLUDES LANE CLOSURES OR RE-ROUTING OF TRAFFIC.

**SEWER STRUCTURE DATA TABLE**

PROPOSED SEWER STRUCTURES TO CONSIST OF:

- 48" DIA. SEWER MANHOLE W/ECCENTRIC CONE

	48" DIA. SEWER MANHOLE TOP ELEV=98.70 INV ELEV IN (N)=94.94 INV ELEV IN (S)=95.90 INV ELEV OUT (E)=94.00		48" DIA. SEWER MANHOLE TOP ELEV=98.70 INV ELEV IN (W)=92.85 INV ELEV OUT (E)=92.75
--	--	--	---



**THRUST BLOCK DETAILS**

PIPE SIZE	DEAD END OR TEE	90° BEND	45° BEND	22.5° BEND	11.25° BEND
3"	1.0' x 1.5'	1.5' x 1.5'	1.0' x 1.0'	1.0' x 1.0'	1.0' x 1.0'
4"	1.0' x 1.5'	1.5' x 1.5'	1.0' x 1.0'	1.0' x 1.0'	1.0' x 1.0'
6"	1.5' x 2.0'	2.0' x 2.5'	1.5' x 2.0'	1.0' x 1.5'	1.0' x 1.0'
8"	2.0' x 2.5'	2.0' x 3.5'	1.5' x 2.5'	1.0' x 2.0'	1.0' x 1.0'
10"	2.5' x 3.5'	3.0' x 4.0'	2.0' x 3.0'	1.5' x 2.0'	1.0' x 1.5'
12"	3.0' x 4.0'	3.5' x 5.0'	2.5' x 3.5'	2.0' x 2.5'	1.0' x 2.0'
16"	4.0' x 5.5'	4.5' x 6.5'	3.0' x 5.0'	2.5' x 3.5'	1.5' x 2.5'

NOTES:  
 1. ONE LAYER OF #15 FELT TO BE USED TO PREVENT ADHESION OF CONCRETE TO FITTING.  
 2. ALL THRUST BLOCKS TO BE BACKED BY UNDISTURBED SOIL.  
 3. THRUST BLOCK DIMENSIONS BASED ON SM SOIL CLASSIFICATION WITH A SOIL BEARING PRESSURE OF 3000 LB/FT<sup>2</sup>.  
 4. CONCRETE MIN. 2,500 PSI.  
 5. BEARING AREAS SHALL BE MINIMUM 1.0 FT.  
 6. JOINT RESTRAINTS ARE TO BE USED ON ALL FITTINGS. THRUST BLOCKS REQUIRED ON 90° BENDS, 45° BENDS, 22.5° BENDS, 11.25° BENDS, TEES, TAPPING SLEEVES AND DEAD ENDS.

**REVISIONS**

NO.	DATE	DESCRIPTION
1	02/16/2022	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS
2	02/16/2022	REVISED PLANS AS PER ECUA UTILITY PERMIT REVIEW COMMENTS

**HAMMOND ENGINEERING, INC.**  
 FLORIDA AUTHORIZATION NO. 9130  
 ALABAMA AUTHORIZATION NO. 3277  
 3802 NORTH "S" STREET  
 PENSACOLA, FLORIDA 32505  
 850 434-2603  
 FAX 850-434-2650  
 TOM@SELANDDESIGN.COM



**SITE DEVELOPMENT PLANS FOR CAMINITTI LANE DUPLEXES UTILITY PLAN**

ESCAMBIA COUNTY FLORIDA

DRAWN BY: CJB	DESIGNED BY: RLS	CHECKED BY: TGH	DATE: 01-12-22	SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION	DATE:
PROJECT NO: 21-034						SHEET: C7

GRAPHIC SCALE

22"x34" SCALE 1 inch = 10 ft.



11"x17" SCALE 1 inch = 20 ft.

LEGEND:

- DENOTES EXISTING ASPHALT
- DENOTES PROPOSED CONCRETE
- DENOTES PROPOSED ASPHALT
- DENOTES PROPOSED SOD (BAHAI RECOMMENDED)
- DENOTES PROPOSED 6' PRIVACY FENCE
- DENOTES EXISTING 6' CHAINLINK FENCE
- DENOTES EXISTING SANITARY SEWER MANHOLE
- DENOTES PROPOSED NYLOPLAST INLET
- DENOTES PROPOSED MITIGATION TREES
- DENOTES EXISTING TREE
- DENOTES PROPOSED 4' CHAIN LINK FENCE
- DENOTES RED MAPLE CANOPY TREE TO BE PLANTED (OR APPROVED EQUAL) TYPICAL OF 8
- DENOTES SOUTHERN MAGNOLIA CANOPY TREE TO BE PLANTED (OR APPROVED EQUAL) TYPICAL OF 8
- DENOTES RED OAK CANOPY TREE TO BE PLANTED (OR APPROVED EQUAL) TYPICAL OF 4
- DENOTES WAX MYRTLE UNDERSTORY TREE TO BE PLANTED (OR APPROVED EQUAL) TYPICAL OF 6
- DENOTES INDIAN HAWTHORN SHRUB (OR APPROVED EQUAL) TO BE PLANTED TYPICAL OF 38

REQUIRED LANDSCAPE PLANTING DATA

**WEST BOUNDARY LINE:** NO BUFFER REQUIRED. ADJACENT PROPERTY IS OF SIMILAR USE. PROVIDE 5' LANDSCAPING STRIP AS PER CH. 2, ART. 2, SEC. 2-2.3(c) DESIGN STANDARDS MANUAL.

**NORTH BOUNDARY LINE:** PROVIDE TYPE 'A' BUFFER AS PER 2-2.3(c) DESIGN STANDARDS MANUAL (MULTI-FAMILY ADJUTING SINGLE FAMILY RESIDENTIAL).  
 12' WIDE x 183' LONG BUFFER  
 2.0 CANOPY TREES REQ'D/100 LF (183/100)\*2.0 = 4 CANOPY TREES REQ'D  
 1.0 UNDERSTORY TREES REQ'D/100 LF (183/100)\*1.0 = 2 UNDERSTORY TREES REQ'D  
 10 SHRUBS REQ'D/100 LF (183/100)\*10 = 19 SHRUBS REQ'D  
 PLANT 4 CANOPY TREES  
 PLANT 2 UNDERSTORY TREES  
 \*SUPPLEMENTAL FENCING REQUIREMENT MET W/EXISTING PRIVACY FENCE

**EAST BOUNDARY LINE:** NO BUFFER REQUIRED. CAMINITTI LANE RIGHT OF WAY. PROVIDE 5' LANDSCAPING STRIP AS PER CH. 2, ART. 2, SEC. 2-2.3(c) DESIGN STANDARDS MANUAL.

**REQUIRED MITIGATION:** 24 CALIPER INCHES REQUIRED AS PER ART. 2, SEC. 2-5.2(c) DESIGN STANDARDS MANUAL. PLANT TEN (10) NATIVE CANOPY TREES HAVING 2.5" CALIPER @ 4" ABOVE ROOT BALL AT PLANTING

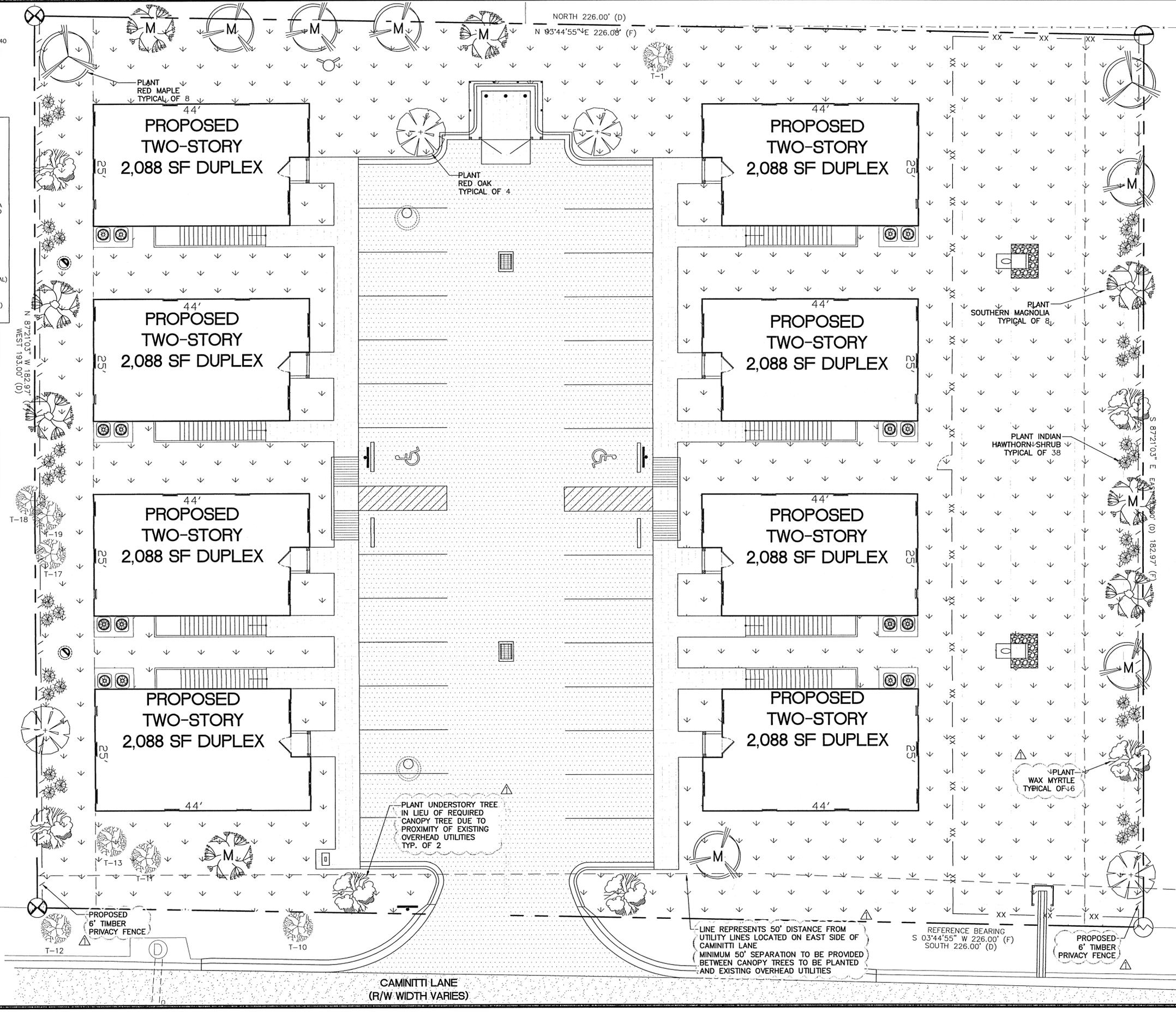
**REQUIRED MITIGATION:**  
 1. TOTAL PROTECTED CALIPER INCHES REMOVED = 572.6"  
 2. 50 PERCENT OF THE TOTAL PROTECTED TREE TRUNK DIAMETER (DBH) INCHES REMOVED SHALL BE REPLACED IN TOTAL CALIPER INCHES OF NEW, NATIVE CANOPY TREES PLANTED:  
 TOTAL REQUIRED REPLACEMENT CALIPER INCHES 572.6" X 0.50 = 286.30" OF NEW, NATIVE CANOPY TREES  
 3. TOTAL TREE REPLACEMENT FOR NON-HERITAGE TREES NEED NOT EXCEED 25 CALIPER INCHES PER DEVELOPMENT SITE ACRE.

PROJECT PARCEL: 0.95 AC X 25' = 23.75' → MAX 24" OF NEW, NATIVE CANOPY TREES TO BE PLANTED TO MEET MITIGATION REQUIREMENTS

TREE ID/MITIGATION TABLE

TREE #	TYPE	SIZE (DBH)	REASON FOR REMOVAL	CALIPER INCHES MITIGATION REQUIRED
1	WATER OAK	40.5"	TO REMAIN	N/A
2	LIVE OAK	25"	UTILITIES	12.5"
3	WATER OAK	31"	PARKING LOT	15.5"
4	LIVE OAK	29"	PARKING LOT	14.5"
5	LIVE OAK	30"	PARKING LOT	15"
6	WATER OAK	28.5"	PARKING LOT	14.25"
7	LIVE OAK	36"	PARKING LOT	18"
8	LIVE OAK	28"	PARKING LOT	14"
9	LIVE OAK	19"	PARKING LOT	9.5"
10	WATER OAK	23"	TO REMAIN	N/A
11	WATER OAK	18"	TO REMAIN	N/A
12	WATER OAK	15.5"	TO REMAIN	N/A
13	WATER OAK	21.5"	TO REMAIN	N/A
14	WATER OAK	15.5"	BUILDING	7.75"
15	WATER OAK	17.5"	BUILDING	8.75"
16	WATER OAK	24.5"	BUILDING	12.25"
17	WATER OAK	18.5"	TO REMAIN	N/A
18	WATER OAK	15.5"	TO REMAIN	N/A
19	WATER OAK	15"	TO REMAIN	N/A
20	WATER OAK	18"	BUILDING	9"
21	WATER OAK	16"	BUILDING	8"
22	WATER OAK	14"	BUILDING	7"
23	WATER OAK	14"	BUILDING	7"
24	WATER OAK	15"	STORMWATER INLET	7.50"
25	LIVE OAK	20.1"	BUILDING	10.05"
26	WATER OAK	14"	BUILDING	7"
27	WATER OAK	12.5"	BUILDING	6.25"
28	WATER OAK	17.5"	BUILDING	8.75"
29	WATER OAK	15.5"	BUILDING	7.75"
30	WATER OAK	12.5"	BUILDING	6.25"
31	WATER OAK	20"	BUILDING	10"
32	LIVE OAK	14"	BUILDING	7"
33	WATER OAK	17"	BUILDING	8.5"
34	LAUREL OAK	17.5"	PARKING LOT	8.75"
35	WATER OAK	38"	STORMWATER POND	19"
36	WATER OAK	13"	STORMWATER POND	6.5"

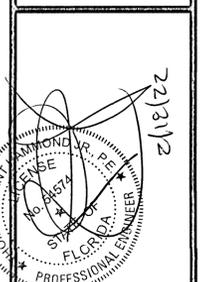
TOTAL PROTECTED CALIPER INCHES REMOVED = 572.60"  
 TOTAL MITIGATION REQUIRED EXCLUSIVE OF ACREAGE CAP = 286.30"



REVISIONS

NO.	DATE	DESCRIPTION
01	02/16/2022	REVISED PLANS AS PER ESCAMBIA COUNTY DRG REVIEW COMMENTS
02	02/16/2022	REVISED PLANS AS PER ESCAMBIA COUNTY DRG REVIEW COMMENTS

HAMMOND ENGINEERING, INC.  
 FLORIDA AUTHORIZATION NO. 9130  
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SITE DEVELOPMENT PLANS FOR  
 CAMINITTI LANE DUPLEXES  
 LANDSCAPING PLAN  
 ESCAMBIA COUNTY FLORIDA

DRAWN BY: CUG  
 DESIGNED BY: RLS  
 CHECKED BY: TOH  
 DATE: 01-12-22  
 SCALE: AS SHOWN  
 NOT RELEASED FOR CONSTRUCTION  
 BY: DATE:

PROJECT NO: 21-034  
 SHEET: C8

NORTH 226.00° (D)  
 N 93°44'55" E 226.08° (F)

LINE REPRESENTS 50' DISTANCE FROM UTILITY LINES LOCATED ON EAST SIDE OF CAMINITTI LANE. MINIMUM 50' SEPARATION TO BE PROVIDED BETWEEN CANOPY TREES TO BE PLANTED AND EXISTING OVERHEAD UTILITIES

REFERENCE BEARING S 03°44'55" W 226.00° (F) SOUTH 226.00° (D)

PROPOSED 6" TIMBER PRIVACY FENCE

CAMINITTI LANE (R/W WIDTH VARIES)

GRAPHIC SCALE

22"x34" SCALE 1 inch = 10 ft.



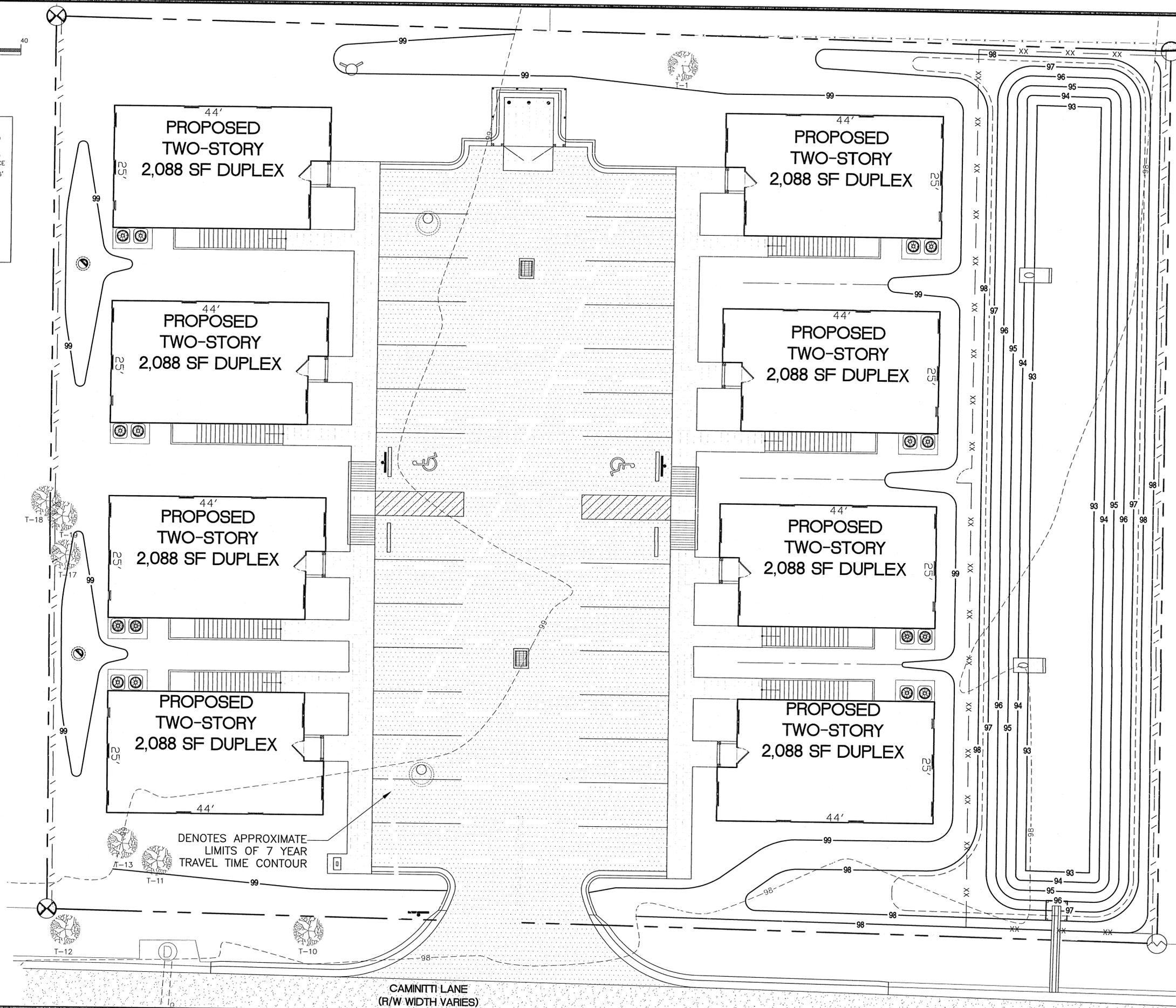
11"x17" SCALE 1 inch = 20 ft.



LEGEND:

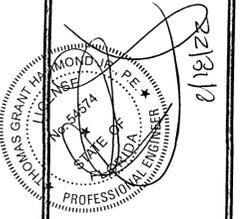
- DENOTES EXISTING ASPHALT
- DENOTES PROPOSED ASPHALT
- DENOTES WELLHEAD PROTECTION AREA, 20 YEAR TRAVEL TIME CONTOUR
- DENOTES WELLHEAD PROTECTION AREA, 7 YEAR TRAVEL TIME CONTOUR
- DENOTES PROPOSED 6" PRIVACY FENCE
- DENOTES PROPOSED 4" CHAIN LINK FENCE
- DENOTES EXISTING 6" CHAINLINK FENCE
- DENOTES EXISTING TREE
- DENOTES EXISTING SANITARY SEWER MANHOLE
- DENOTES PROPOSED NYLOPLAST INLET

**WELLHEAD PROTECTION NOTE:**  
 THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOUR OF A PROTECTED (POTABLE) WELLHEAD. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0319) AND LOCAL (ECUA-EMERALD COAST UTILITIES AUTHORITY (850-476-5110 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 995-6712) AGENCIES.



NO.	DATE	REVISIONS
1	02/16/2022	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS
2	02/16/2022	REVISED PLANS AS PER ECUA UTILITY PERMIT REVIEW COMMENTS

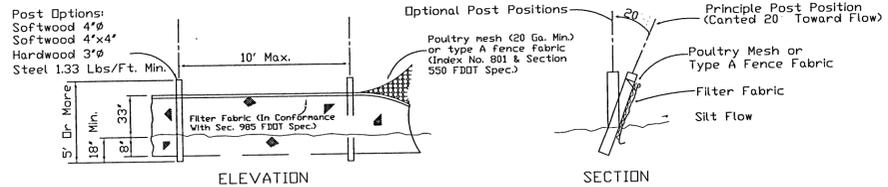
**HAMMOND ENGINEERING, INC.**  
 FLORIDA AUTHORIZATION NO. 9130  
 ALABAMA AUTHORIZATION NO. 3277  
 3802 NORTH "S" STREET  
 PENSACOLA, FLORIDA 32505  
 850 434-2603  
 FAX 850-434-2650  
 TOM@SELANDDESIGN.COM



**SITE DEVELOPMENT PLANS FOR CAMINITTI LANE DUPLEXES ENVIRONMENTAL IMPACT PLAN**  
 ESCAMBIA COUNTY FLORIDA

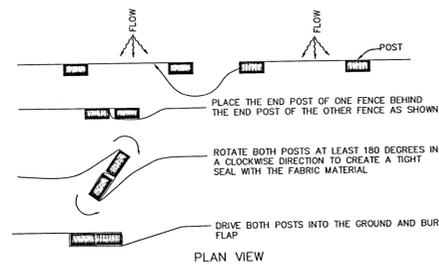
DRAWN BY: GJB  
 DESIGNED BY: RLS  
 CHECKED BY: TGH  
 DATE: 01-12-22  
 SCALE: AS SHOWN  
 NOT RELEASED FOR CONSTRUCTION  
 BY: DATE:

PROJECT NO: 21-034  
 SHEET: C9



**TYPE IV SILT FENCE**

NTS

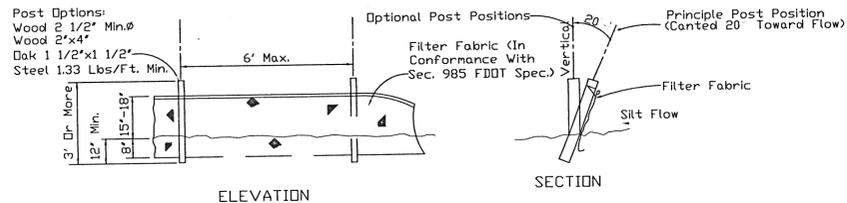


**JOINING TWO SILT FENCES**

NTS

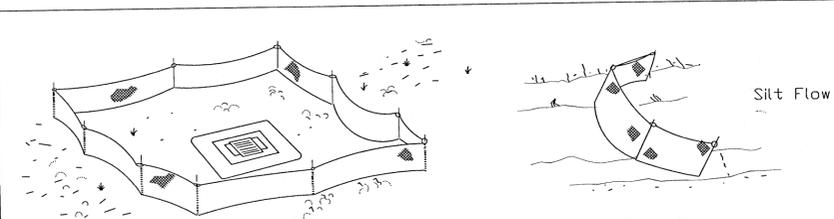
**NOTES FOR SILT FENCES:**

- TYPE III SILT FENCE TO BE USED AT MOST LOCATIONS. WHERE USED IN DITCHES, THE SPACING FOR TYPE III SILT FENCE SHALL BE IN ACCORDANCE WITH CHART 1 (FOUND BELOW)
- TYPE IV SILT FENCE TO BE USED WHERE LARGE SEDIMENT LOADS ARE ANTICIPATED. SUGGESTED USE IS WHERE FILL SLOPE IS 1:2 OR STEEPER AND LENGTH OF SLOPE EXCEEDS 25'. AVOID USE WHERE THE DETAINED WATER MAY BACK INTO TRAVEL LANES OR ADJACENT PROPERTY.
- DO NOT CONSTRUCT SILT FENCES ACROSS PERMANENT FLOWING WATER COURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMENT BODIES OF WATER.
- WHERE USED AS SLOPE PROTECTION, SILT FENCE IS TO BE CONSTRUCTED ON 0% LONGITUDINAL GRADE TO AVOID CHANNELIZING RUNOFF ALONG THE LENGTH OF THE FENCE.



**TYPE III SILT FENCE**

NTS

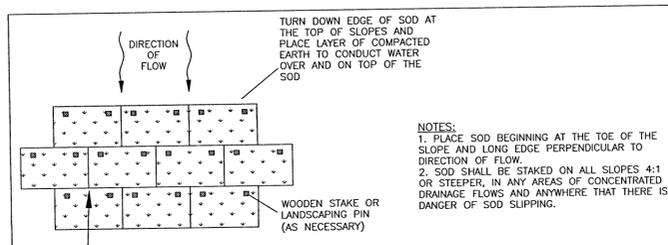


**Type III Silt Fence Protection Around Ditch Bottom Inlets.**

Do not deploy in a manner that silt fences will act as a dam across permanent flowing watercourses. Silt fences are to be used at upland locations and turbidity barriers used at permanent bodies of water.

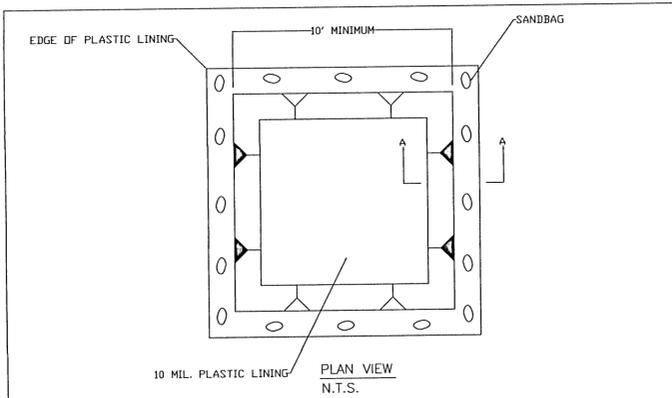
**SILT FENCE APPLICATIONS**

NTS



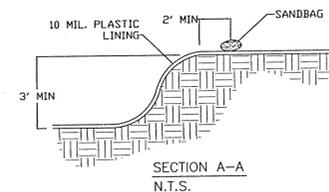
**SODDING DETAIL**

NTS



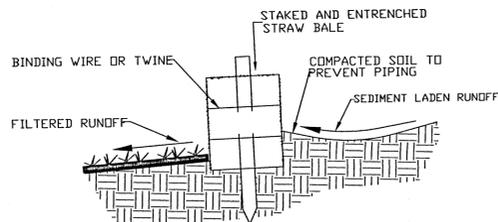
**CONCRETE WASHOUT DETAIL**

NTS



**CONCRETE WASHOUT DETAIL**

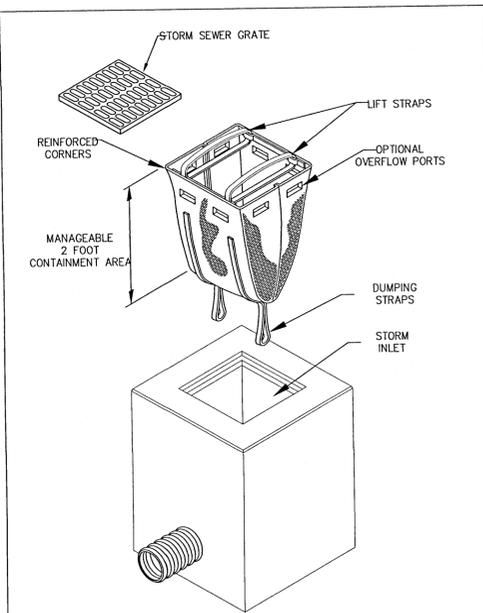
NTS



NOTE: INSTALL SILT FENCE AS DETAILED. INSTALL HAYBALES ALONG UPSTREAM SIDE OF SILT FENCE WITH BINDING STRINGS OR WIRE RUNNING PARALLEL TO THE GROUND.

**HAY BALE INSTALLATION DETAIL**

NTS

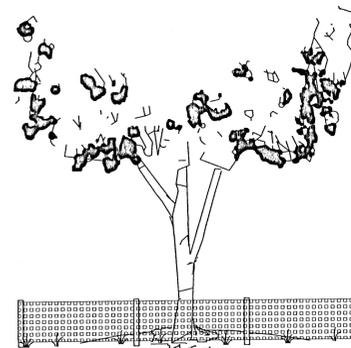


**DETAIL OF INLET FILTER SACK**

NTS

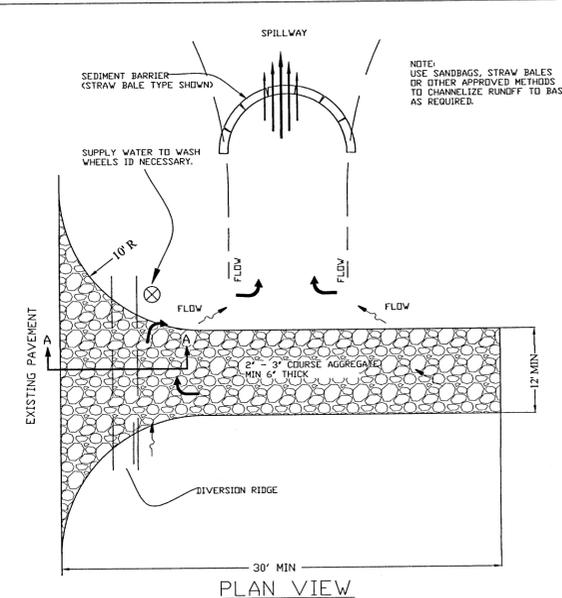
TREE PROTECTION BARRICADES SHOULD BE PLACED AT THE PERIMETER OF EACH PROTECTED TREE'S CRITICAL ROOT ZONE. THE CRITICAL ROOT ZONE (CRZ) IS REPRESENTED BY A CIRCLE, CENTERED ON THE TREE TRUNK AND HAVING A RADIUS OF ONE FOOT FOR EACH ONE INCH OF TRUNK DIAMETER (DBH).

NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD HAPPEN UNDER THE CRITICAL ROOT ZONE OF PROTECTED TREES TO REMAIN ON THE SITE. STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE CRITICAL ROOT ZONE OF PROTECTED TREES ON SITE.

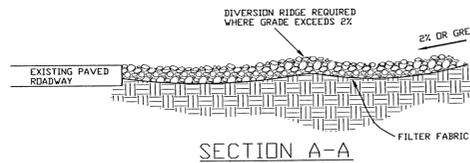


PROPERLY CONSTRUCTED BARRICADE PROTECTS THE TOTAL AREA WITHIN THE CRITICAL ROOT ZONE. CRITICAL ROOT ZONE OF A TREE IS REPRESENTED BY A CIRCLE, CENTERED ON THE TREE TRUNK AND HAVING A RADIUS OF ONE FOOT FOR EACH ONE INCH OF TRUNK DIAMETER (DBH).

**TREE PROTECTION BARRIER**



**TEMPORARY GRAVEL CONSTRUCTION ENTRANCE TO BE CONSTRUCTED AT ALL DESIGNATED CONSTRUCTION ENTRANCES AND EXITS.**



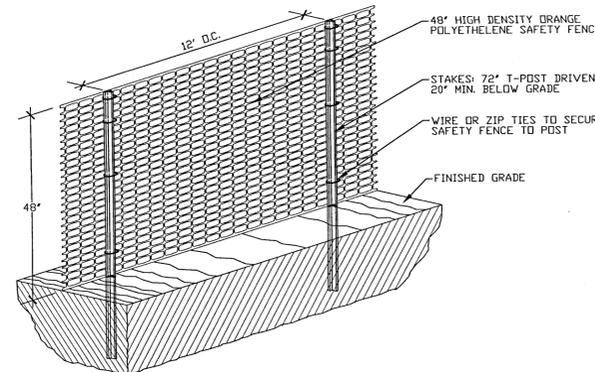
**TEMPORARY CONSTRUCTION ENTRANCE**

NTS

**NOTES:**

- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

Offsite vehicle tracking of sediments and geration of dust shall be minimized. A stabilized construction access road shall be utilized to reduce off-site tracking. Offsite sediment removal should be conducted at a frequency necessary to minimize impacts. Vehicle wash area should be considered if offsite tracking becomes excessive.



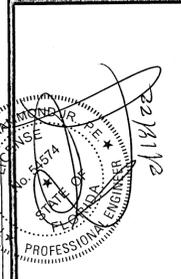
**SENSITIVE AREA/TREE PROTECTION BARRIER**

**NOTES:**

- ALL SENSITIVE AREAS SHALL BE PROTECTED INCLUDING DEEP EXCAVATIONS AND AS INDICATED ON PLANS.
- ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED AND PROTECTED WITH HIGH VISIBILITY FENCE AS PER PLAN.
- TREE PROTECTION BARRIER SHOULD BE PLACED, AND MAINTAINED IN GOOD WORKING ORDER, AROUND THE PERIMETER OF EACH PROTECTED TREE'S CRITICAL ROOT ZONE (CRZ) OF ALL PROTECTED TREES MARKED FOR PRESERVATION PRIOR TO ANY LAND DISTURBANCE CONSISTENT WITH THE DEVELOPMENT PERMIT.
- SAFETY FENCE SHOULD BE FASTENED SECURELY TO THE T-POSTS.
- THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION; ANY CHANGE OF THE PROTECTIVE FENCING MUST BE APPROVED.
- NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD OCCUR UNDER THE CRITICAL ROOT ZONE OF PROTECTED TREES TO REMAIN ON THE SITE. STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE CRITICAL ROOT ZONE OF PROTECTED TREES ON SITE.
- ALL DAMAGED ROOTS ARE TO BE EXPOSED TO SOUND TISSUE AND SEVERED CLEANLY (NOT TORN). ROOTS SHALL BE PRUNED CLEANLY TO A DEPTH OF 18 INCHES BELOW THE EXISTING GRADE OR TO THE DEPTH OF DISTURBANCE IF LESS THAN 18 INCHES FROM EXISTING GRADE.

NO.	DATE	REVISIONS	REVIEW COMMENTS
1	02/16/2022	REVISED PLANS AS PER ESCAMBIA COUNTY DRC	REVIEW COMMENTS
2	02/16/2022	REVISED PLANS AS PER ECIA UTILITY PERMIT REVIEW COMMENTS	REVIEW COMMENTS

**HAMMOND ENGINEERING, INC.**  
 FLORIDA AUTHORIZATION NO. 9130  
 ALABAMA AUTHORIZATION NO. 3277  
 3802 NORTH 15<sup>TH</sup> STREET  
 PENSACOLA, FLORIDA 32505  
 850 434-2603  
 FAX 850-434-2650  
 TOM@SELANDESIGN.COM



**SITE DEVELOPMENT PLANS FOR GANINETTI LANE DUPLEXES EROSION CONTROL DETAILS**  
 ESCAMBIA COUNTY FLORIDA

DRAWN BY: CJB	DATE:
DESIGNED BY: RLS	CHECKED BY: TGH
DATE: 01-12-22	SCALE: AS SHOWN
NOT RELEASED FOR CONSTRUCTION	BY:

PROJECT NO: 21-034

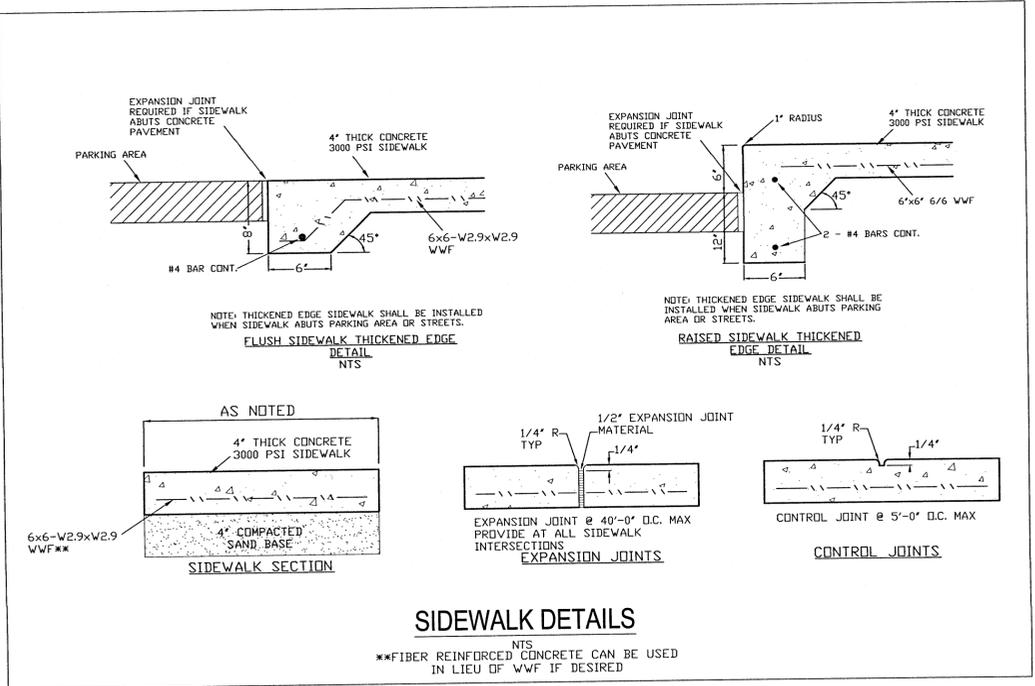
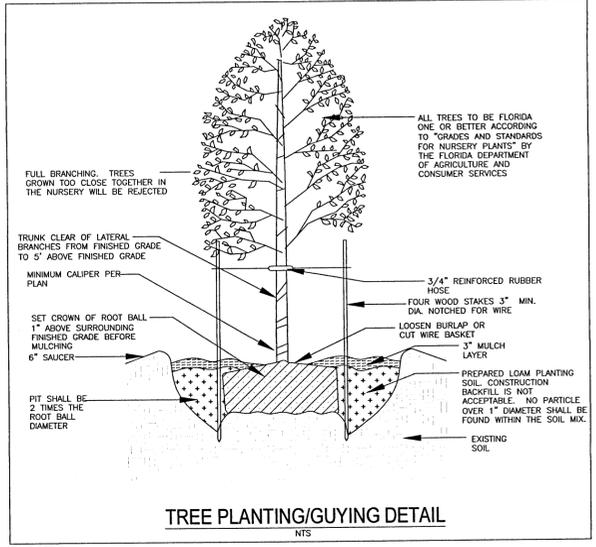
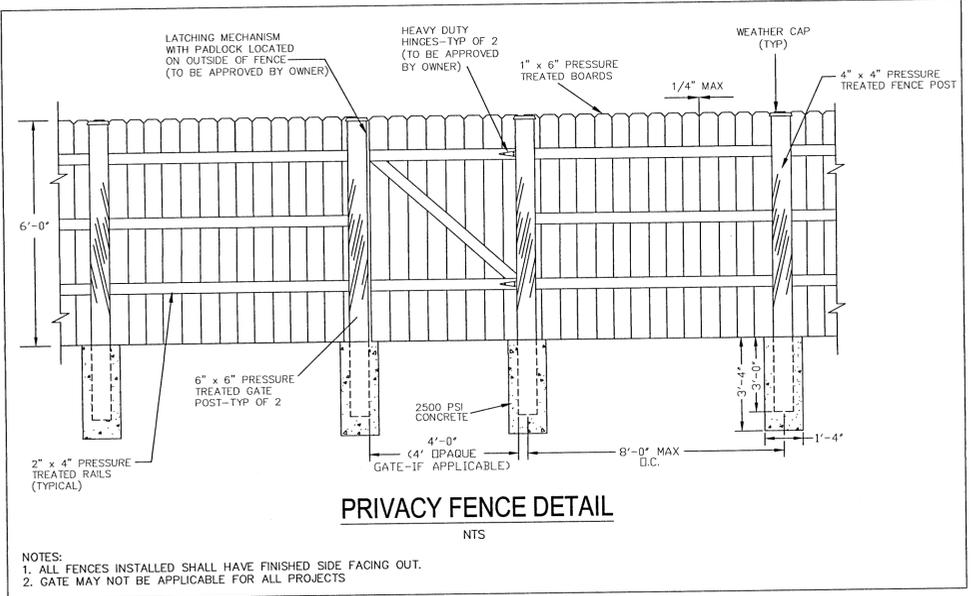
SHEET: C10



List of Recommended Native and Non-Invasive Plants		
Shrubs (mature height 36" min.)	Understory Trees (mature height 15-29 feet)	Canopy Trees (mature height over 30 feet)
Abelia <i>Abelia grandiflora</i>	Flowering Dogwood <i>Cornus florida</i>	Red Maple <i>Acer rubrum</i>
Aucuba japonica <i>Aucuba</i>	Loblolly Bay <i>Gordonia lasianthus</i>	Silver Maple <i>Acer saccharum</i>
Barberry <i>Berberis sp.</i>	American Holly <i>Nex opaca</i>	American Hombear <i>Carpinus caroliniana</i>
Japanese Boxwood <i>Buxus microphylla</i>	Dahoon Holly <i>Nex cassinie</i>	Southern Red Cedar <i>Juniperus sitchicola</i>
Beauty Berry <i>Callicarpa Americana</i>	Crape Myrtle <i>Lagerstroemia indica</i>	Leyland Cypress <i>Cupressocyparis leylandii</i>
Japanese Plum-Yew <i>Cephalotaxus harringtonia</i>	Glossy Privet <i>Ligustrum lucidum</i>	River Birch <i>Betula nigra</i>
Silverhorn Elaeagnus <i>Elaeagnus pungens</i>	Saucer Magnolia <i>Magnolia x soulangiana</i>	Pignut Hickory <i>Carya glabra</i>
Fatsia <i>Fatsia japonica</i>	Sweetbay Magnolia <i>Magnolia virginiana</i>	Green Ash <i>Fraxinus pennsylvanica</i>
Gardenia <i>Gardenia jasminoides</i>	Southern Crab Apple <i>Malus angustifolia</i>	Maidenhair Tree <i>Ginkgo biloba (male)</i>
Burford Holly <i>Nex cornuta</i>	Wax Myrtle <i>Myrica cerifera</i>	Sweetgum <i>Liquidambar styraciflua</i>
Japanese Privet <i>Ligustrum japonicum</i>	Bradford Pear <i>Pyrus calleryana</i>	Tulip Poplar <i>Liriodendron tulipifera</i>
Southern Wax Myrtle <i>Myrica cerifera</i>	Yaupon Holly <i>Nex vomitoria</i>	Southern Magnolia <i>Magnolia grandiflora</i>
Firethorn <i>Pyracantha coccin</i>	Loquat <i>Eriobotrya japonica</i>	Tupelo/Sour Gum <i>Nyssa sylvatica</i>
Dwarf Japanese Holly <i>Nex erenata</i>	Eastern Redbud <i>Cercis canadensis</i>	Slash Pine <i>Pinus elliottii</i>
Chinese Holly <i>Nex Cornula</i>	Fringe Tree <i>Chlonanthus virginicus</i>	Pinus palustris
Dwarf Yaupon Holly <i>Nex vomitoria 'Nana'</i>	Sycamore <i>Plantanus occidentalis</i>	
Chinese Juniper <i>Juniperus chinensis</i>	Silverbell <i>Halesia caroliniana</i>	White Oak <i>Quercus alba</i>
Indian Hawthorn <i>Raphiolepis sp.</i>		Live Oak <i>Quercus virginiana</i>
Red-Tip Photinia <i>Photinia</i>		Shumard Oak <i>Quercus shumardii</i>
Rhododendron/Azalea <i>Rhododendron sp.</i>		Southern Red Oak <i>Quercus falcata</i>

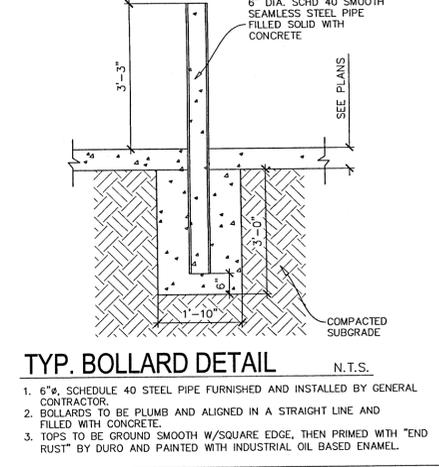
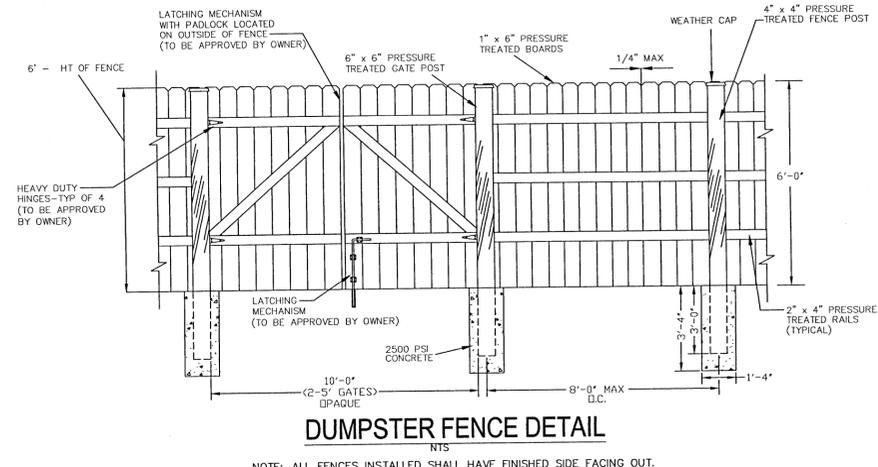
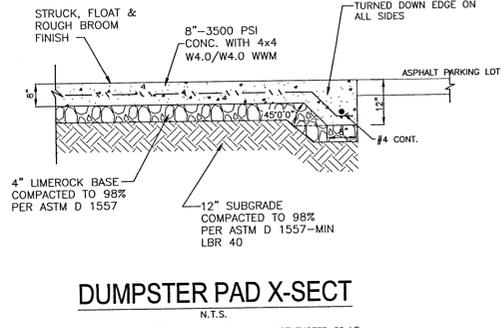
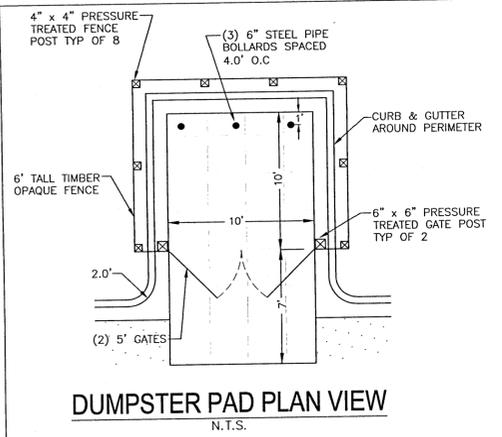
**LANDSCAPING NOTES:**

- THE CONTRACTOR IS TO BE AWARE OF UNDERGROUND UTILITIES THROUGHOUT LANDSCAPED AREAS THAT MAY NOT BE ILLUSTRATED ON THIS PLAN. CONTRACTOR SHALL VERIFY LOCATION AND PROTECT ALL UTILITIES DURING EXCAVATION AND/OR FINISH GRADING ACTIVITIES.
- THE CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGE TO EXISTING UTILITIES, WALKWAYS, PAVING OR OTHER ELEMENTS IN PLACE AT THE COMMENCEMENT OF HIS WORK, AT NO ADDITIONAL COST TO THE OWNER.
- ANY ADJUSTMENT TO THIS PLAN DUE TO EXISTING CONDITIONS NOT REFLECTED ON THIS PLAN WILL BE RESOLVED AT THE TIME OF INSTALLATION.
- FINISH GRADES FOR ALL PLANTING, SOO AND SEED AREAS SHALL BE ESTABLISHED AND APPROVED BY THE OWNER/DEVELOPER PRIOR TO PLANTING, SOODING OR SEEDING.
- ALL TRASH AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE PRIOR TO ESTABLISHMENT OF FINISH GRADES.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTED HORTICULTURE PRACTICES. THIS SHALL INCLUDE PROPER PLANTING SOIL MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING, FERTILIZATION AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY OWNER/DEVELOPER.
- ALL PLANT MATERIALS USED SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1 OR BETTER AS GIVEN IN "GRADES AND STANDARDS FOR NURSERY PLANTS", CURRENT EDITION, STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRY, TALLAHASSEE, FLORIDA. IN ADDITION, ALL PLANT MATERIAL SHALL BE FREE FROM INSECT AND DISEASE.
- PLANT CONTAINERS SHALL BE REMOVED PRIOR TO PLANTING. IF PLANTS ARE NOT CONTAINER GROWN, REMOVE A MINIMUM OF THE TOP 1/3 OF BURLAP, FABRIC OR WIRE MESH.
- ROOT BALLS SHALL BE FLUSH WITH FINISHED GRADE.
- BACKFILL SHALL BE LOOSENEED EXISTING SOIL. REMOVE ROCKS, STICKS OR OTHER DELETERIOUS MATERIAL GREATER THAN 1" IN ANY DIRECTION PRIOR TO BACKFILLING. WATER AND TAMP TO REMOVE AIR POCKETS. IF EXISTING SOILS CONTAIN EXCESSIVE SAND, CLAY OR OTHER EXTRANEOUS MATERIAL NOT CONDUCIVE TO PROPER PLANT GROWTH CONTACT LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- SOIL RINGS SHALL BE CONSTRUCTED OF EXISTING SOIL AT THE OUTER EDGE OF THE TREE PLANTING PIT WITH A HEIGHT AND WIDTH OF 4".
- STRAPPING SHALL BE MINIMUM 1" WIDE NYLON OR POLYPROPYLENE. GUYING MATERIAL IN CONTACT WITH TREE SHALL BE SOFT, PLIABLE, FLEXIBLE RUBBER.
- SABAL PALMS (IF PLANTED) MAY BE HURRICANE CUT. ALL OTHERS MUST HAVE FRONDS TIED WITH BIODEGRADABLE STRAP. TRUNKS SHALL HAVE NO SCARS OR SANDING.
- ALL GREEN AREAS FOUND WITHIN THE PROJECT BOUNDARIES ARE TO BE FULLY STABILIZED PRIOR TO REQUESTING FINAL INSPECTION. AREAS NOT ILLUSTRATED AS SOODED OR CONTAINING CYPRESS MULCH MUST BE SEEDDED.



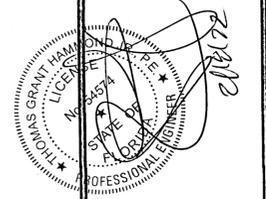
**ESCAMBIA COUNTY LANDSCAPING REQUIREMENTS:**

- 15 PERCENT OF THE TOTAL DEVELOPABLE SITE SHALL BE DEVOTED TO LANDSCAPING/GREEN SPACE.
- QUALITY. ALL PLANTS REQUIRED BY THIS SECTION SHALL CONFORM TO THE STANDARDS FOR FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- SPECIES. ALL LANDSCAPING SHALL UTILIZE NATIVE PLANT SPECIES OR THOSE SPECIES LISTED IN THE FLORIDA-FRIENDLY LANDSCAPING GUIDE TO PLANT SELECTION AND LANDSCAPE DESIGN.
- TREES. TREES PLANTED TO FULFILL THE MINIMUM LANDSCAPE REQUIREMENTS OF THIS ARTICLE SHALL NORMALLY ATTAIN A MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES OR GREATER MEASURED AT FOUR INCHES ABOVE ROOT BALL AT PLANTING. THE FOLLOWING ADDITIONAL CRITERIA APPLY:
  - NON-NATIVE SPECIES. NON-NATIVE SPECIES ARE LIMITED TO 25 PERCENT OR LESS OF THE TOTAL REQUIRED TREES PLANTED.
  - DIVERSITY. THE DIVERSITY OF ANY TREES REQUIRED TO BE PLANTED ON A SITE SHALL COMPLY WITH THE FOLLOWING LIMITS TO AVOID UNIFORM SITE TREE DECLINE FROM PESTS OR DISEASE:
    - A MAXIMUM OF 40% OF THE TOTAL TREES TO BE PLANTED MAY BE OF THE SAME SPECIES.
    - USE OF PALMS. PALMS DO NOT COMPLY WITH DEFINITION OF TREE FOR THE PURPOSES OF THESE LANDSCAPING PROVISIONS. HOWEVER, WIND-RESISTANT SPECIES MAY BE SUBSTITUTED AT THE RATIO OF TWO PALMS FOR ONE REQUIRED TREE FOR UP TO 50 PERCENT OF TREES REQUIRED FOR DEVELOPMENT ON SANTA ROSA ISLAND OR PERDIDO KEY, EXCLUDING ANY TREES REQUIRED SPECIFICALLY FOR BUFFERING OR REPLACEMENTS FOR PROTECTED TREE REMOVAL. SUCH PALMS INCLUDE: DATE PALM (PHOENIX SPP. EXCEPT P. REQUINATA) AND CABBAGE OR SABAL, (SABAL PALMETTO).
- ALL SHRUBS SHALL BE A MINIMUM OF 12 INCHES IN HEIGHT AT TIME OF PLANTING.
- TURF GRASS. CONSISTENT WITH FLORIDA-FRIENDLY PRACTICES, DEVELOPMENT SHOULD CONSOLIDATE AND LIMIT THE USE OF MOST TURF GRASSES TO ESSENTIAL AREAS. WHEN USED, GRASS SHALL BE SPECIES NORMALLY GROWN AS PERMANENT LAWNS IN ESCAMBIA COUNTY. ALL SOO SHALL BE CLEAN AND REASONABLY FREE OF WEEDS, NOXIOUS PESTS, AND DISEASES. WHEN GRASS AREAS ARE TO BE SEEDDED, SPRIGGED, OR PLUGGED, SPECIFICATIONS MUST BE SUBMITTED. SUBSTANTIAL COVERAGE MUST BE ACHIEVED WITHIN 180 DAYS AND NURSE GRASS SHALL BE SOWN FOR IMMEDIATE EFFECTS AND PROTECTION UNTIL COVERAGE IS OTHERWISE ACHIEVED.
- ALL PLANTS SHALL CONFORM TO THE STANDARDS OF FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF "GRADES AND STANDARDS OF NURSERY PLANTS", DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- ANY PROPOSED REMOVAL OF PROTECTED TREES IN THE FUTURE SHALL REQUIRE PRIOR PERMIT APPLICATION & REVIEW BY ESCAMBIA COUNTY ENVIRONMENTAL PERMITTING STAFF PRIOR TO REMOVAL.



NO.	DATE	REVISIONS
1	02/16/2022	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS
2	02/16/2022	REVISED PLANS AS PER ECIA UTILITY PERMIT REVIEW COMMENTS

**HAMMOND ENGINEERING, INC.**  
 FLORIDA AUTHORIZATION NO. 91307  
 ALABAMA AUTHORIZATION NO. 32770  
 3802 NORTH 15<sup>TH</sup> STREET  
 PENSACOLA, FLORIDA 32505  
 850 434-2603  
 FAX 850-434-2650  
 TOM@SELANDDESIGN.COM

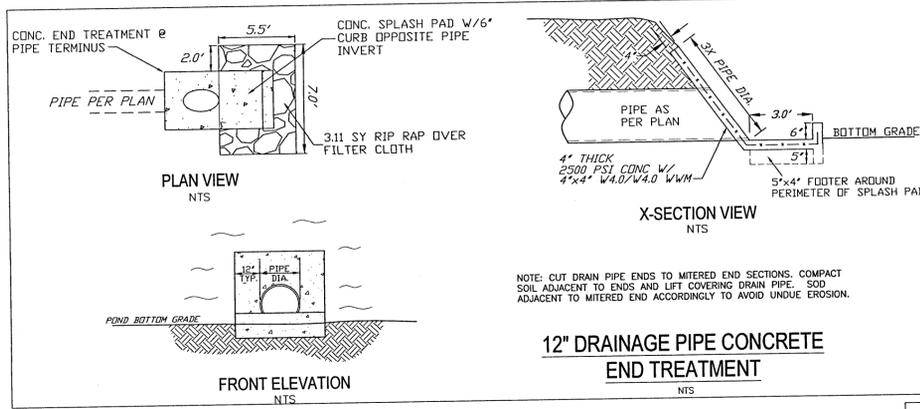


**SITE DEVELOPMENT PLANS FOR CAMINITI LANE DUPLEXES CONSTRUCTION DETAILS**  
 ESCAMBIA COUNTY FLORIDA

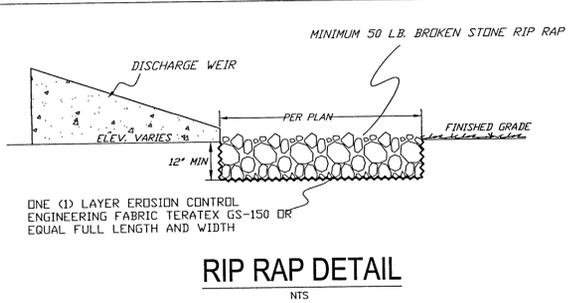
DATE: \_\_\_\_\_

DESIGNED BY: CJB  
 CHECKED BY: TGH  
 DATE: 01-11-22  
 SCALE: AS SHOWN  
 NOT RELEASED FOR CONSTRUCTION

PROJECT NO: 21-034  
 SHEET: C12

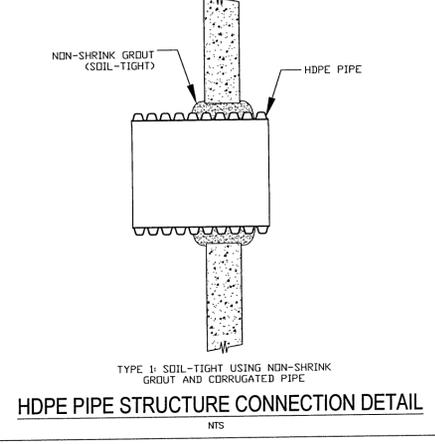


**12\"/>**



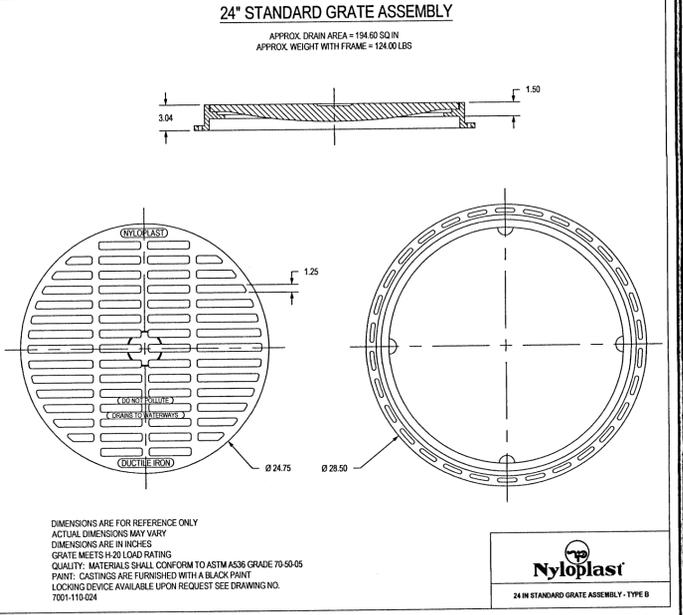
**RIP RAP DETAIL**  
NTS

NOTES:  
 • TOP OF RIP-RAP TO BE AT INVERT ELEVATION OF MITERED END SECTIONS OR WEIR.  
 • RIP-RAP TO BE MINIMUM 12" THICK. BROKEN STONE SHALL BE ROUGHLY ANGULAR AND FROM THIN OR ELONGATED PIECES.



**HDPE PIPE STRUCTURE CONNECTION DETAIL**  
NTS

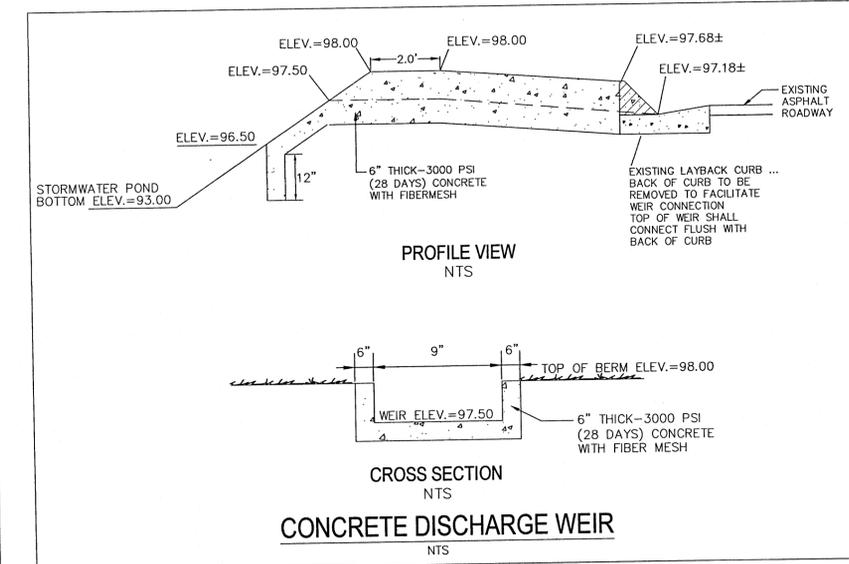
TYPE 1: SOIL-TIGHT USING NON-SHRINK GROUT AND CORRUGATED PIPE



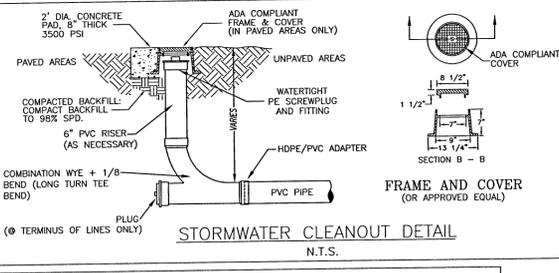
**24\"/>**



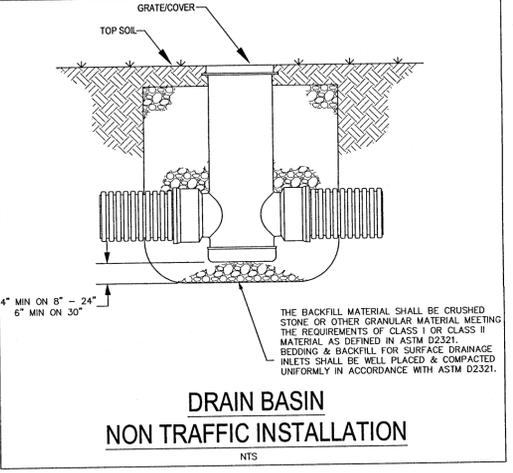
DIMENSIONS ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS MAY VARY. GRATE MEETS H-20 LOAD RATING. QUALITY MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05. PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT. LOOKING DEVICE AVAILABLE UPON REQUEST. SEE DRAWING NO. 7001-110-024.



**CONCRETE DISCHARGE WEIR**  
NTS



**STORMWATER CLEANOUT DETAIL**  
N.T.S.



**DRAIN BASIN NON TRAFFIC INSTALLATION**  
NTS

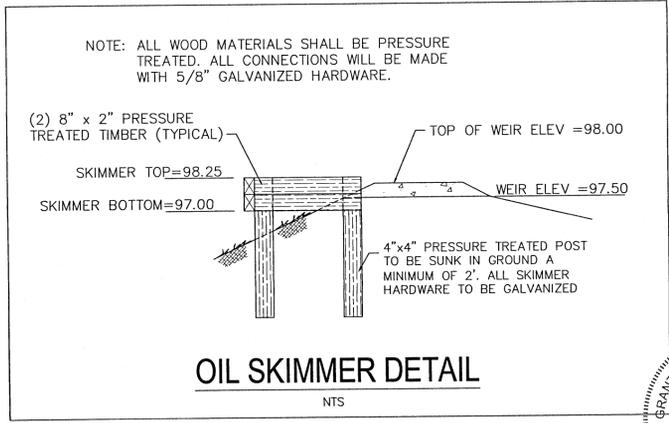
**NYLOPLAST SPECIFICATIONS**  
 Engineered Surface Drainage Products

**GENERAL**  
 PVC surface drainage inlets shall include the drain basin type as indicated on the contract drawing and referenced within the contract specifications. The ductile iron grates for each of these fittings are to be considered an integral part of the surface drainage inlet and shall be furnished by the same manufacturer. The surface drainage inlets shall be as manufactured by Nyloplast a division of Advanced Drainage Systems, Inc., or prior approved equal.

**MATERIALS**  
 The drain basins required for this contract shall be manufactured from PVC pipe stock, utilizing a thermoforming process to reform the pipe stock to the specified configuration. The drainage pipe connection stubs shall be manufactured from PVC pipe stock and formed to provide a watertight connection with the specified pipe system. This joint tightness shall conform to ASTM D3212 for joints for drain and sewer plastic pipe using flexible elastomeric seals. The flexible elastomeric seals shall conform to ASTM F422. The pipe ball spigot shall be joined to the main body of the drain basin or catch basin. The raw material used to manufacture the pipe stock that is used to manufacture the main body and pipe stubs of the surface drainage inlets shall conform to ASTM D1784 cell class 12453.

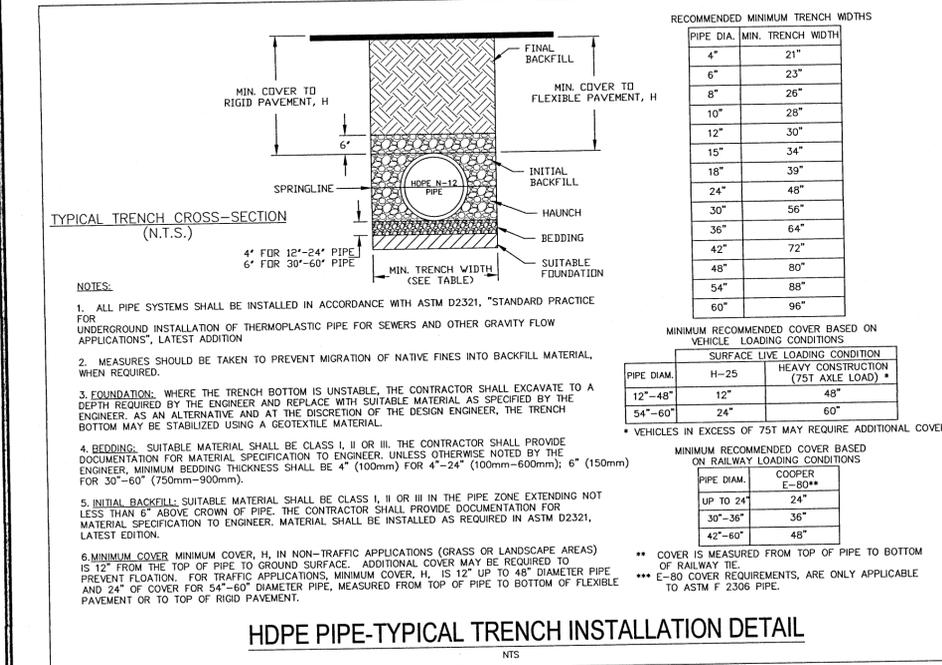
The grates and frames furnished for all surface drainage inlets shall be ductile iron for sizes 8", 10", 12", 15", 18", 24" and 30" and shall be made specifically for each basin size as to provide a round bottom flange that closely matches the diameter of the surface drainage inlet. Grates for drain basins shall be capable of supporting various wheel loads as specified by Nyloplast. 12" and 15" square grates will be hinged to the frame using pins. Ductile iron used in the manufacture of the castings shall conform to ASTM A536 grade 70-50-05. Grates and covers shall be provided painted black.

**INSTALLATION**  
 The specified PVC surface drainage inlet shall be installed using conventional flexible pipe backfill materials and procedures. The backfill material shall be crushed stone or other granular material meeting the requirements of class 1 or class 2 material as defined in ASTM D2321. Bedding and backfill for surface drainage inlets shall be well placed and compacted uniformly in accordance with ASTM D2321. The drain basin body will be cut at the time of the final grade. No brick, stone or concrete block will be required to set the grate to the final grade height. For load rated installations, a concrete slab shall be poured under and around the grate and frame. The concrete slab must be designed taking into consideration local soil conditions, traffic loading, and other applicable design factors. For other installation considerations such as migration of fines, ground water, and soft foundations refer to ASTM D2321 guidelines.



**OIL SKIMMER DETAIL**  
NTS

NOTE: ALL WOOD MATERIALS SHALL BE PRESSURE TREATED. ALL CONNECTIONS WILL BE MADE WITH 5/8" GALVANIZED HARDWARE.



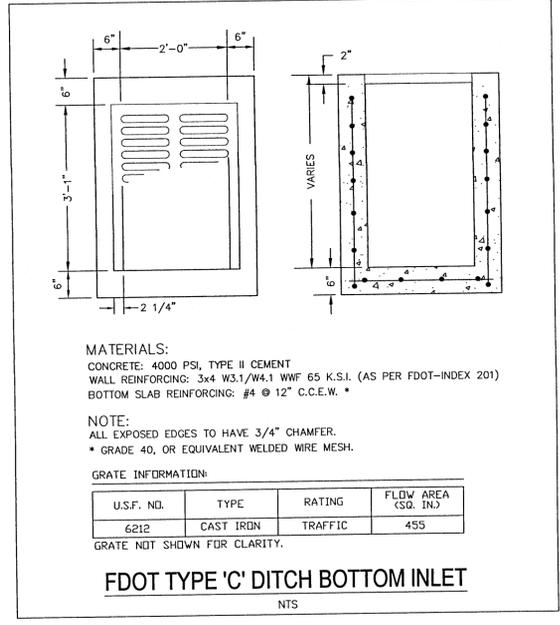
**HDPE PIPE-TYPICAL TRENCH INSTALLATION DETAIL**  
NTS

PIPE DIA.	MIN. TRENCH WIDTH
4"	21"
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
42"	72"
48"	80"
54"	88"
60"	96"

PIPE DIA.	H-25	HEAVY CONSTRUCTION (75T AXLE LOAD) *
12"-48"	12"	48"
54"-60"	24"	60"

PIPE DIA.	COOPER E-60**
UP TO 24"	24"
30"-36"	36"
42"-60"	48"

\*\* COVER IS MEASURED FROM TOP OF PIPE TO BOTTOM OF RAILWAY TIE.  
 \*\*\* E-80 COVER REQUIREMENTS, ARE ONLY APPLICABLE TO ASTM F 2306 PIPE.



**FDOT TYPE 'C' DITCH BOTTOM INLET**  
NTS

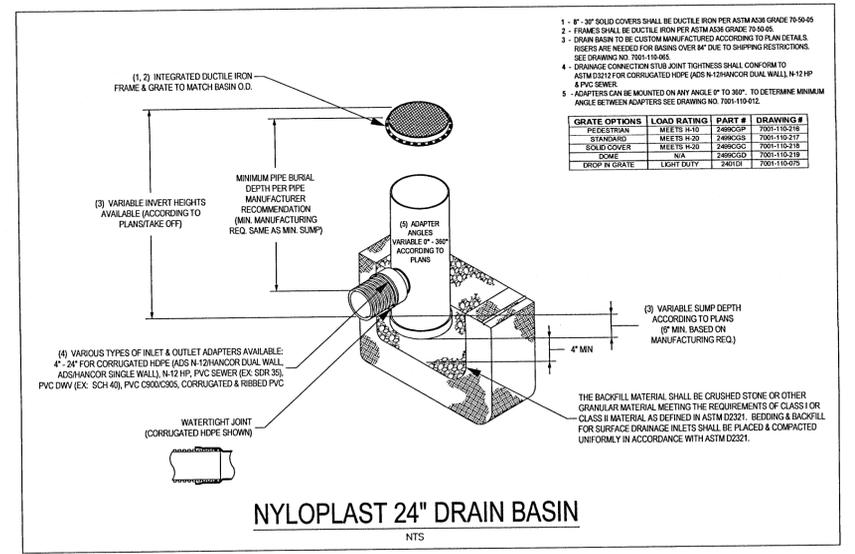
**MATERIALS:**  
 CONCRETE: 4000 PSI, TYPE II CEMENT  
 WALL REINFORCING: 3x4 W3.1/W4.1 WWF 65 K.S.I. (AS PER FDOT-INDEX 201)  
 BOTTOM SLAB REINFORCING: #4 @ 12" C.C.E.W. \*

**NOTE:**  
 ALL EXPOSED EDGES TO HAVE 3/4" CHAMFER.  
 \* GRADE 40, OR EQUIVALENT WELDED WIRE MESH.

**GRATE INFORMATION:**

U.S.F. NO.	TYPE	RATING	FLOW AREA (SQ. IN.)
6212	CAST IRON	TRAFFIC	455

GRATE NOT SHOWN FOR CLARITY.



**NYLOPLAST 24\"/>**

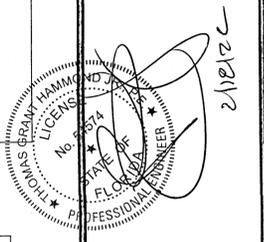
GRATE OPTIONS	LOAD RATINGS	PART #	DRAWING #
REESTRAN	MEETS H-20	246650P	7001-110-216
STANDARD	MEETS H-20	246650S	7001-110-216
SOLID COVER	MEETS H-20	246650C	7001-110-216
DOME	N/A	246650D	7001-110-216
GROUP IN GRATE	LIGHT DUTY	24610	7001-110-216

- 1" - 30" SOLID COVERS SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
- 2" FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05
- 3" DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 6" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-024
- 4" DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-10) AND/OR DUAL WALL N-12 HP 4" PVC SERIES.
- 5" ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 300°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-024

REVISIONS

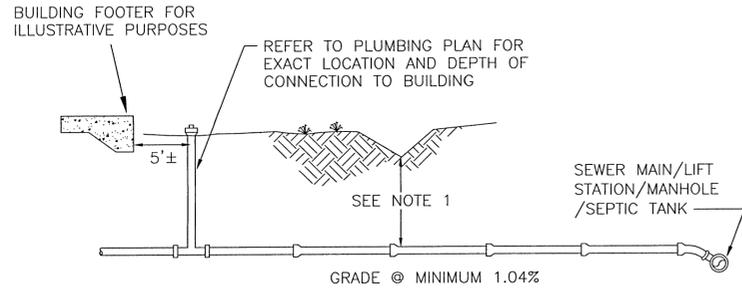
NO.	DATE	DESCRIPTION
1	02/16/2022	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS
2	02/16/2022	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

**HAMMOND ENGINEERING, INC.**  
 FLORIDA AUTHORIZATION NO. 9130  
 ALABAMA AUTHORIZATION NO. 3277  
 3802 NORTH "G" STREET  
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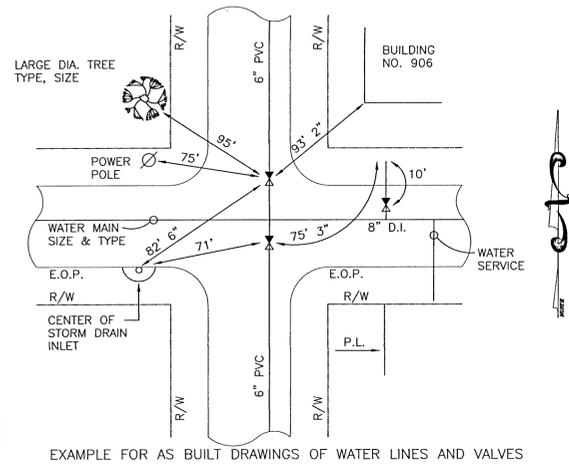
**SITE DEVELOPMENT PLANS FOR CAMINITI LANE DUPLEXES**  
**DRAINAGE DETAILS**  
 ESCAMBIA COUNTY FLORIDA

DRAWN BY: DUG  
 DESIGNED BY: RLS  
 CHECKED BY: TGH  
 DATE: 01-12-22  
 SCALE: AS SHOWN  
 NOT RELEASED FOR CONSTRUCTION  
 PROJECT NO: 21-034  
 SHEET: C13



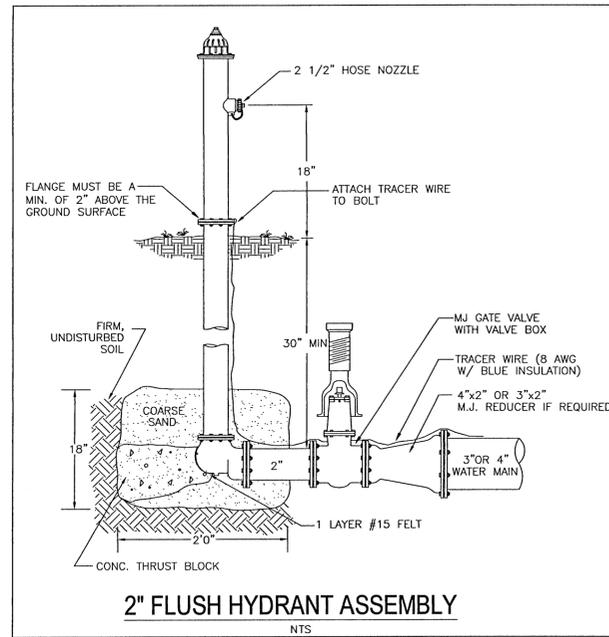
**TYPICAL LATERAL SEWER SERVICE**

- NOTES:
1. MAINTAIN 18" MINIMUM COVER OR USE 6 L.F. CONCRETE ENCASUREMENT
  2. ALL LATERALS TO BE 4" Ø PVC 3034 DR SEWER PIPE UNLESS FLOW DICTATES A LARGER DIAMETER.
  3. A CLEAN OUT SHALL BE PROVIDED WITHIN 5 FT OF BUILDING WHERE THE SEWER LATERAL EXITS

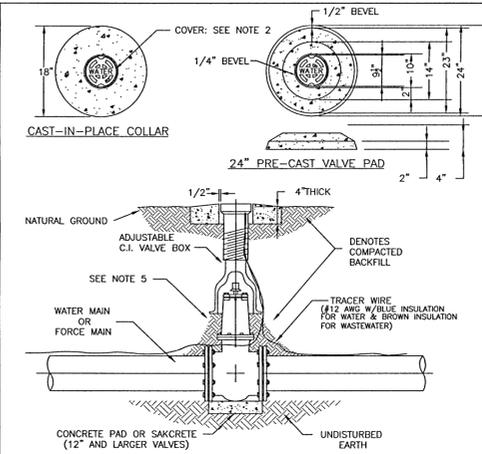


**AS-BUILT REQUIREMENTS**

1. AS BUILT DRAWINGS WILL BE PREPARED INDICATING LOCATIONS OF ALL SERVICES, LOCATIONS AND TYPES OF ALL FITTINGS, WITH RESPECT TO LOT CORNERS, LOCATIONS OF ALL VALVE AND DEAD END RUNS WITH THREE (3) TIES TO PHYSICAL FEATURES (BUILDING CORNERS, MANHOLES, EXISTING STRUCTURES, POWER POLES, STORM DRAIN INLETS, CENTER OF FIRE HYDRANTS, FACE OF LARGE DIAMETER TREES > 18").
2. AS BUILT DRAWINGS MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL BEFORE A LETTER OF ACCEPTANCE WILL BE ISSUED.
3. CONTRACTOR SHALL ALSO PROVIDE CERTIFIED AS-BUILTS BY A P.S.M. REGISTERED IN THE STATE OF FLORIDA IN DIGITAL AND HARD COPY SIGNED AND SEALED. THE AS-BUILTS SHALL BE IN STATE PLANE COORDINATES.

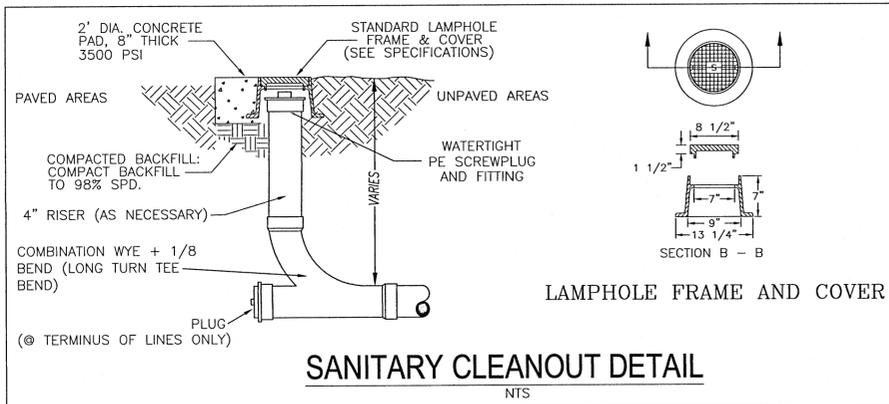


**2" FLUSH HYDRANT ASSEMBLY**



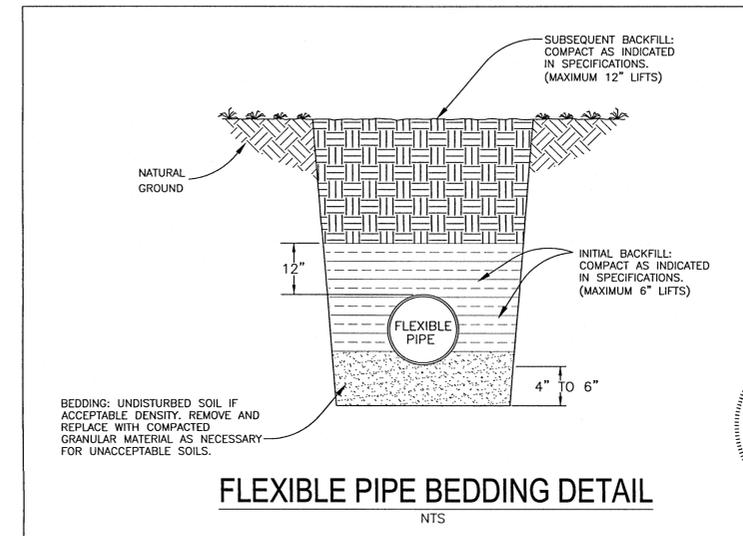
**TYPICAL VALVE & BOX INSTALLATION**

- NOTES:
1. VALVE BOX AND BOOT SHALL BE CAST IRON.
  2. VALVE COVER SHALL BE MARKED "WATER" OR "SEWER" AS APPLICABLE.
  3. VALVE BOX TOP SHALL BE FLUSH WITH FINISHED GRADE OR 1/2" ABOVE NATURAL GROUND LEVEL.
  4. GATE VALVE SHALL BE RESILIENT SEAT WITH MECHANICAL JOINT ENDS OR APPROVED EQUIVALENT.
  5. EARTH UNDER FLANGE OF VALVE BOX & COLLAR TO BE FIRM AND WELL TAMPED TO ENSURE AGAINST VALVE BOX SETTLING.

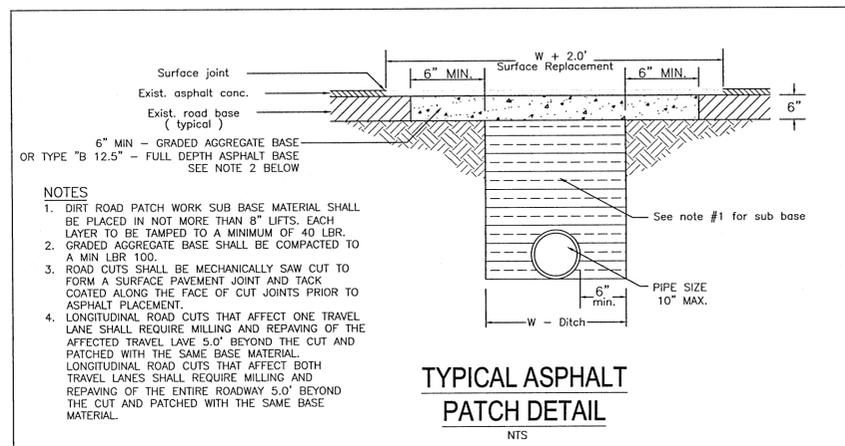


**SANITARY CLEANOUT DETAIL**

NOTE: ALL DETAILS ILLUSTRATED PERTAIN TO ONSITE WORK ONLY. ALL WORK WITHIN PUBLIC R/W SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE ECUA ENGINEERING MANUAL. CONTRACTOR TO REFERENCE ECUA ENGINEERING MANUAL FOR CONSTRUCTION DETAILS AND PROCEDURES.

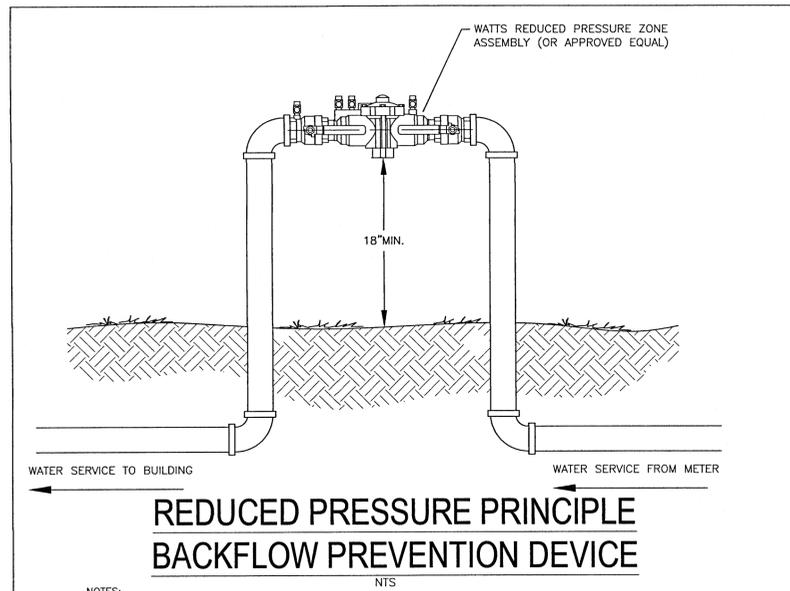


**FLEXIBLE PIPE BEDDING DETAIL**



**TYPICAL ASPHALT PATCH DETAIL**

- NOTES:
1. DIRT ROAD PATCH WORK SUB BASE MATERIAL SHALL BE PLACED IN NOT MORE THAN 8" LIFTS. EACH LAYER TO BE TAMPED TO A MINIMUM OF 40 LBR.
  2. GRADED AGGREGATE BASE SHALL BE COMPACTED TO A MIN LBR 100.
  3. ROAD CUTS SHALL BE MECHANICALLY SAW CUT TO FORM A SURFACE PAVEMENT JOINT AND TACK COATED ALONG THE FACE OF CUT JOINTS PRIOR TO ASPHALT PLACEMENT.
  4. LONGITUDINAL ROAD CUTS THAT AFFECT ONE TRAVEL LANE SHALL REQUIRE MILLING AND REPAIRING OF THE AFFECTED TRAVEL LANE 5.0' BEYOND THE CUT AND PATCHED WITH THE SAME BASE MATERIAL. LONGITUDINAL ROAD CUTS THAT AFFECT BOTH TRAVEL LANES SHALL REQUIRE MILLING AND REPAIRING OF THE ENTIRE ROADWAY 5.0' BEYOND THE CUT AND PATCHED WITH THE SAME BASE MATERIAL.



**REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION DEVICE**

- NOTES:
1. WHERE ABOVE GROUND WATER-FILLED SUPPLY PIPES, RISERS, SYSTEM RISERS, OR FEED MAINS PASS THROUGH OPEN AREAS, COLD ROOMS, PASSAGEWAYS, OR OTHER AREAS EXPOSED TO FREEZING TEMPERATURES, THE PIPE SHALL BE PROTECTED AGAINST FREEZING BY THE FOLLOWING:
    - A. INSULATING COVERINGS
    - B. FROSTPROOF CASINGS
    - C. OTHER RELIABLE MEANS CAPABLE OF MAINTAINING A MINIMUM TEMPERATURE BETWEEN 40°F AND 120°F (4°C AND 48.9°C)
  2. BACKFLOW PREVENTION DEVICE TO BE INSTALLED AS PER 2014 FLORIDA BUILDING CODE.
  3. LOCATE BACKFLOW PREVENTER ON THE DEVELOPER SIDE OF THE METER BOX.
  4. BACKFLOW PREVENTER TO BE TESTED AFTER INSTALLATION AND PRIOR TO SERVICE BEING TURNED ON.
  5. THRUST BLOCKS NOT ILLUSTRATED BUT SHALL BE INSTALLED AS NECESSARY.

OTHER PIPE	HORIZONTAL SEPARATION	CROSSINGS (1)	JOINT SPACING CROSSINGS (FULL JOINT CENTERED)
STORM SEWER, STORMWATER FORCE MAIN	3 FT. MINIMUM	12 INCHES IS THE MINIMUM, EXCEPT FOR STORM SEWER, THEN 6 INCHES IS THE MINIMUM AND 12 INCHES IS PREFERRED	ALTERNATE 3 FT. MINIMUM
GRAVITY OR PRESSURE SANITARY SEWER, SANITARY SEWER FORCE MAIN	10 FT. PREFERRED 6 FT. MINIMUM (2)	12 INCHES IS THE MINIMUM, EXCEPT FOR GRAVITY SEWER, THEN 6 INCHES IS THE MINIMUM AND 12 INCHES IS PREFERRED	ALTERNATE 6 FT. MINIMUM

(1) WATER MAIN SHOULD CROSS ABOVE OTHER PIPE. WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.  
 (2) 3 FT. GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAD AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.

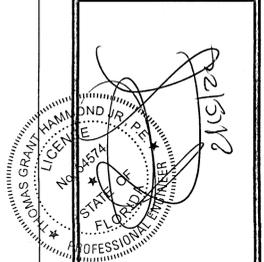
- NOTES:
- A. INFORMATION PROVIDED FROM FDEP RULE 62-555. IF OTHER FDEP RULES CONFLICT, THEN USE THE MOST STRINGENT RULE.
  - B. IF THERE ARE CONFLICTS IN THE SEPARATION REQUIREMENTS BETWEEN COLLECTION SYSTEMS AND DRINKING WATER FACILITIES ESTABLISHED IN FOOTNOTES (1) AND (2) ABOVE THOSE ESTABLISHED IN CHAPTER 62-532 OR 62-555, F.A.C., THEN THE REQUIREMENTS IN CHAPTER 62-532 OR 62-555, F.A.C., SHALL APPLY.

**WATER SEWER/SEPARATION**

REVISIONS

NO.	DATE	DESCRIPTION
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2	02/16/2022	REVISED PLANS AS PER ECUA UTILITY PERMIT REVIEW COMMENTS

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**SITE DEVELOPMENT PLANS FOR CAMINITI LANE DUPLEXES**  
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