

GENERAL NOTES:

- CONTRACTOR IS REQUIRED TO VISIT SITE AND FAMILIARIZE HIM/HERSELF WITH THE PROJECT PRIOR TO BIDDING.
- THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL AND STATE REGULATIONS CONCERNING NOTIFICATION TO THE REGULATORY AUTHORITIES OF ANY AND ALL BUILDING RENOVATIONS AND/OR DEMOLITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MONITORING AND NOTIFYING THE ENGINEER OF RECORD AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND CONCLUSION OF CONSTRUCTION, AS WELL AS SUPPLYING CLEAR AND LEGIBLE REVISIONS TO THE CONSTRUCTION PLANS FOR USE DURING AS-BUILT CERTIFICATION.
- ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER & MULCH, HYDROSEED AND/OR SOD (RECOMMEND CENTIPEDE, PENSACOLA BAMA OR BERMUDA SOD). POND AND SWALE TOPS AND SIDES SHALL BE SODDED AND PINNED. ALL SOD PLACED ON SIDE SLOPES 4 TO 1 OR GREATER SHALL BE PINNED.
- WHERE SOD IS BEING INSTALLED, TOPSOIL SHALL BE USED AS A BASE AT LEAST 3" DEEP.
- AFTER THE SITE HAS BEEN BROUGHT TO PROPER GRADE FOR PLACEMENT OF TOPSOIL AND IMMEDIATELY PRIOR TO DUMPING AND SPREADING THE TOPSOIL, THE SUBGRADE SHALL BE LOOSENEED BY DIGGING OR SCARPING TO A DEPTH OF 2" TO INSURE BONDING OF THE TOPSOIL AND SODDING.
- TOPSOIL SHALL NOT BE PLACED IN A MUDDY CONDITION, WHEN THE SUBGRADE IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND PROPOSED SODDING.
- THE TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED TO A MINIMUM COMPACTED DEPTH OF 3".
- ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
- COMPACT THE TOPSOIL ENOUGH TO ENSURE GOOD CONTACT WITH THE UNDERLYING SOIL AND TO OBTAIN A LEVEL SEED BED FOR THE ESTABLISHMENT OF HIGH MAINTENANCE TURF. AVOID UNDUCE COMPACTION.
- CONTRACTOR IS TO MAINTAIN SODDING AND GRASSING BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, RE-GRADING AND REPLANTING AS REQUIRED TO ESTABLISH GRASSED/SODDED AREAS FREE OF ERODED OR BARE AREAS AND REPLACE ANY REJECTED MATERIALS PROMPTLY FROM THE SITE. CONTRACTOR IS TO INCLUDE COST OF MAINTAINING SODDING AND GRASSING IN THE BID.
- CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN A CODE ENFORCEMENT VIOLATION.
- DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE ANY DISTURBED AREAS FOUND IN RETENTION POND AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
- CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION AND PROVIDE A TOPOGRAPHICAL SURVEY (CERTIFIED BY A STATE OF FLORIDA LICENSED SURVEYOR) OF THE PROJECT AREA WHICH ILLUSTRATES AS-BUILT CONDITIONS OF ALL WORK AND SITE IMPROVEMENTS, INCLUSIVE OF PIPING, DRAINAGE STRUCTURES, STORMWATER POND TOPOGRAPHY, SITE ELEVATIONS AND GRADING, OUTLET STRUCTURES, DIMENSIONS, ETC. THESE RECORD DRAWINGS ARE TO BE PROVIDED TO THE PROJECT ENGINEER PRIOR TO REQUESTING FINAL INSPECTION.
- THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY INSPECTIONS OFFICE (850-595-3569) AN INSPECTION OF THE EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO CONSTRUCTION, UNDERGROUND DRAINAGE STRUCTURES PRIOR TO BUREAU, ALL INTERMEDIATE INSPECTIONS AND THE FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/ APPROVAL.
- EROSION SHALL BE CONTROLLED BY THE USE OF A HAY BALE BARRIER/SILT FENCE AS SHOWN ON PLANS AND SHALL BE SETUP PRIOR TO COMMENCING CONSTRUCTION. THE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT, THE DETENTION AREA SHALL BE CLEANED OF SILT & STABILIZATION OF ALL DISTURBED AREAS SHALL BE ACCOMPLISHED.
- CONTRACTOR SHALL NOTIFY SUNSHINE ONE UTILITIES (1-800-432-4770) TWO FULL BUSINESS DAYS IN ADVANCE PRIOR TO DIGGING WITHIN R/W.
- ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION AND ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
- NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
- RIGHT-OF-WAY SHOULDER STABILIZATION SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).
- ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR. IF THERE WILL BE TEMPORARY STOCKPILING OF MATERIALS ON THE SITE, THESE AREAS SHOULD CONTAIN EROSION CONTROL BMP'S (E.G. SILT FENCE, HAY BALES, ETC) AS NECESSARY.
- ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.
- ALL BUILDING ROOF DRAINS, DOWN SPOUTS OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER RUNOFF TO ON-SITE RETENTION BASIN.
- CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES FOR REMOVAL AND RELOCATION OF EXISTING UTILITY POLES, AERIAL LINES, WATER LINES, GAS LINES AND OTHER UTILITIES AS NECESSARY.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
- UTILITY LOCATIONS ARE APPROXIMATE BASED ON LOCATION OF ABOVE GROUND APPURTENANCES, AND AS TAKEN FROM THE SURVEY. UNDERGROUND UTILITIES NOT SHOWN HEREIN MAY EXIST.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- CONTRACTOR SHALL COMPLY WITH ANY TESTING REQUIRED BY STATE AND LOCAL GOVERNING AGENCIES SUCH AS ASPHALT CORES AND SUB-BASE/BASE COMPACTION TESTING.
- THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY CONFLICTS BETWEEN VENDOR DRAWINGS, EXISTING CONDITIONS AND THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR TO PROVIDE PROTECTION TO TREES THAT ARE TO REMAIN VIA TREE PROTECTION BARRIERS. REFER TO EROSION CONTROL PLAN FOR MORE INFORMATION.
- TRENCHING OR GRADING AROUND TREES TO REMAIN SHALL BE AWAY FROM THE TREE IN A MANNER TO CAUSE NO DAMAGE TO THE TREE'S CRITICAL ROOT ZONE. THE CRITICAL ROOT ZONE IS REPRESENTED BY A CIRCLE, CENTERED ON THE TREE TRUNK AND HAVING A RADIUS OF ONE FOOT FOR EACH ONE INCH OF TRUNK DIAMETER (DBH). REFER TO LANDSCAPING PLAN FOR ADDITIONAL INFORMATION.

SIGNAGE:

FREESTANDING SIGNAGE:
 ONE (1) FREESTANDING SIGN STRUCTURE ALLOWED PER PARCEL STREET FRONTAGE (DEVELOPMENT PARCEL IS LESS THAN 3 AC). STRUCTURES SHALL BE PLACED NO LESS THAN 200 LF FROM ANY OTHER NON-EXEMPT SIGN STRUCTURES ON THE SAME PARCEL, EXCLUDING BILLBOARDS. SIGNS SHALL NOT BE PLACED ON PUBLIC PROPERTY RIGHTS-OF-WAYS, OR PLACED ON PRIVATE PROPERTY IN ANY MANNER THAT OBSTRUCTS OR EXTENDS A SIGN OVER PUBLIC PROPERTY, WITHOUT APPLICABLE PUBLIC AGENCY AUTHORIZATIONS AND PERMITS. SIGN SHALL NOT OBSTRUCT VISION ON PRIVATE PROPERTY ALONG A STREET RIGHT-OF-WAY BETWEEN THREE FEET AND NINE FEET ABOVE GRADE WITHIN TEN FEET OF THE RIGHT OF WAY.

GULF BEACH HIGHWAY (COLLECTOR STREET):
 FREESTANDING SIGNAGE SHALL BE LIMITED TO ONE SIGN A MAXIMUM OF 150 SF (15' FRONTAGE * 1 SF/LF OF FRONTAGE) IN AREA AND A MAXIMUM OF 25 LF IN HEIGHT.

WALL SIGNAGE:
 GULF BEACH HIGHWAY FRONTAGE (COLLECTOR ST.): THE MAXIMUM WALL SIGN AREA SHALL BE LIMITED TO 67.50 SF (2.25 SF * 30 LF BLDG. FRONTAGE)

*EACH BUILDING OR EACH TENANT SPACE OF A MULTI-TENANT BUILDING, MAY HAVE MULTIPLE WALL SIGNS, BUT THE TOTAL WALL SIGN AREA ON A BUILDING OR TENANT WALL SHALL NOT EXCEED THE ALLOWANCE FOR THAT WALL. UNUSED SIGN AREA ON ONE BUILDING OR TENANT WALL IS NOT AVAILABLE TO ANY OTHER BUILDING OR TENANT WALL. THE CALCULATED MAXIMUM WALL SIGN AREA OF 100 SF IS FOR THE FRONT WALL.

A VALID ESCAMBIA COUNTY SIGN PERMIT MUST BE OBTAINED PRIOR TO ERRECTING, CONSTRUCTING, ALTERING OR RELOCATING ANY SITE SIGNAGE. FOR SIGNS PLACED ON A CORNER, THE SIDE SETBACK WILL BE DETERMINED BY MEASURING 35' ALONG THE INTERSECTIONS OF THE TWO PUBLIC RIGHTS OF WAY.

JURISDICTIONAL CONTACTS:

ESCAMBIA COUNTY DEVELOPMENT SERVICES
 3363 WEST PARK PLACE
 PENSACOLA, FL 32505
 PHONE NO.: (850)-595-3475
 FAX NO.: (850)-595-3481

EMERALD COAST UTILITIES AUTHORITY
 9255 STURDEVANT STREET
 PENSACOLA, FL 32514
 PHONE NO.: (850)-476-5110
 FAX NO.: 850-494-7346

NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT
 700 US HIGHWAY 331 SOUTH
 DEFUNIAK SPRINGS, FL 32435
 PHONE NO.: (850)-951-4660
 FAX NO.: (850)-982-8007

FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
 2600 BLAIR STONE ROAD
 TALLAHASSEE, FL 32399
 PHONE NO.: (866)-336-6312
 FAX NO.: (850)-297-1211

FLORIDA DEPARTMENT OF TRANSPORTATION
 6025 OLD BAGDAD HIGHWAY
 PENSACOLA, FL 32583
 PHONE NO.: (850)-981-3000
 FAX NO.: (850)-981-2719

PROJECT DIRECTORY:

CIVIL ENGINEER
 HAMMOND ENGINEERING, INC.
 3802 NORTH 'S' ST.
 PENSACOLA, FL 32505
 PHONE NO.: (850)-434-2603
 FAX NO.: (850)-434-2650

SURVEYOR
 NORTHWEST FLORIDA LAND SURVEYIN
 7142 BELGIUM CIRCLE
 PENSACOLA, FL 32526
 PHONE NO.: (850)-432-1052

GEOTECHNICAL ENGINEER
 NOVA ENGINEERING & ENVIRONMENT
 140-A LURTON STREET
 PENSACOLA, FL 32501
 PHONE NO.: (850)-607-7782
 FAX NO.: (850)-249-6683

ENVIRONMENTAL CONSULTANT
 WETLAND SCIENCES, INC.
 5308 GULF BEACH HIGHWAY
 PENSACOLA, FL 32507
 PHONE NO.: (850)-453-4700
 FAX NO.: (850)-453-1010

SITE DEVELOPMENT PLANS FOR ADVENTURE TROPIC JET SKI RENTALS

SECTION 24 TOWNSHIP 3 SOUTH, RANGE 31 WEST
 ESCAMBIA COUNTY, FLORIDA

10541 & 10605 GULF BEACH HIGHWAY
 PENSACOLA, FL 32507

OWNER/DEVELOPER:
 WARREN BROWN
 GULF BEACH HIGHWAY, LLC
 1400 E STRONG STREET
 PENSACOLA, FL 32501
 (850)-485-0899

PROPERTY I.D NO'S: 24-3S-31-2100-000-014
 24-3S-31-2100-000-015

ZONING DESIGNATION: COM
 ADJACENT ZONING: COM
 FLU DESIGNATION: MU-S
 ADJACENT FLU: MU/S

INDEX OF DRAWINGS:

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- C7 ~ CONSTRUCTION DETAILS
- C8 ~ CONSTRUCTION DETAILS

Approved
ESCAMBIA COUNTY DRC PLAN REVIEW

DRC Chairman Signature: *Jennifer Hampton* Date: *12-8-21*

Printed Name: Jennifer Hampton
 Development Services Director of Design

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.



IAMMOND ENGINEERING, INC.
 FLORIDA AUTHORIZATION NO. 9130
 LABAMA AUTHORIZATION NO. 3277
 3802 NORTH "S" STREET
 PENSACOLA, FLORIDA 32505
 850-434-2603
 FAX 850-434-2650
 TOM@SELANDDESIGN.COM

REVISED NOVEMBER 29, 2021
 HEI PROJECT #: 21-077

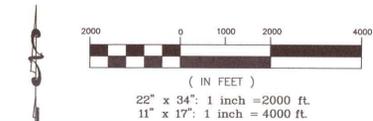
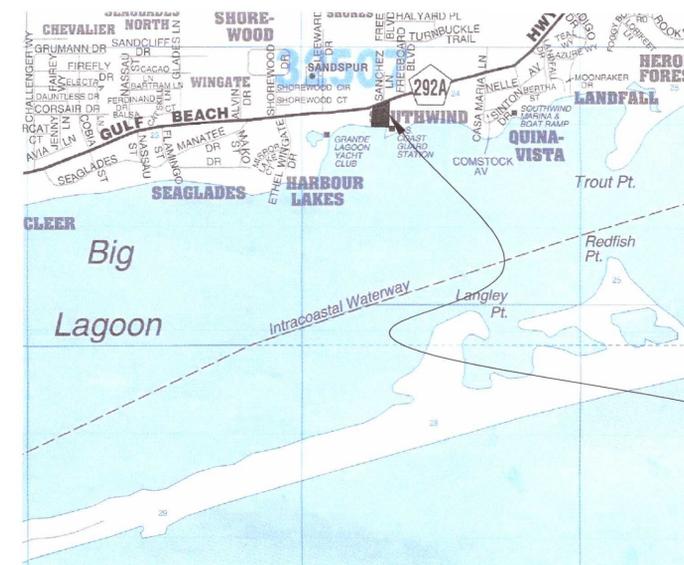
GENERAL NOTES:

- CONTRACTOR SHALL CONSTRUCT TEMPORARY MEASURES AND SUPPORT TO ACCESS THE SITE AND SHALL INCLUDE THE COST FOR SAME IN THE BID. CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE SATISFACTION OF THE OWNER AND/OR GOVERNING AGENCY.
- CONTRACTOR SHALL COORDINATE HIS WORK AND COOPERATE WITH OTHER CONTRACTORS WORKING AROUND THE PROJECT AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-6519) AND LOCAL (ESCAMBIA COUNTY HEALTH DEPT. 850-595-6700) AGENCIES.
- SOLID WASTE SHALL BE KEPT IN AN APPROVED DUMPSTER THROUGHOUT CONSTRUCTION ACTIVITIES.
- ALL VALVE BOXES SHALL BE SET FLUSH WITH GRADE (IF APPLICABLE).
- ADEQUATE PROVISIONS SHALL BE MADE FOR FLOW OF SEWERS, DRAINS, AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL FLUSH AND CLEAN ALL STORMWATER PIPES AND STRUCTURES AT END OF CONSTRUCTION AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- PLACEMENT OF UNDERGROUND SYSTEMS, IRRIGATION, SEWER, WATER, DRAINAGE, ELECTRICAL, GAS, ETC. SHALL BE COMPLETED PRIOR TO LANDSCAPE INSTALLATION.
- PROPERTY OBSTRUCTIONS WHICH ARE TO REMAIN IN PLACE SUCH AS BUILDINGS, SEWERS, DRAINS, WATER OR GAS PIPES, ELECTRICAL, CONDUITS, POLES, WALLS, POSTS, ETC. ARE TO BE CAREFULLY PROTECTED AND ARE NOT TO BE DISPLACED UNLESS NOTED.
- THE CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE AND FEDERAL AGENCIES RULES CONCERNING SAFETY.
- CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS, AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK AND UNTIL IT IS SAFE FOR BOTH PEDESTRIAN AND VEHICULAR TRAFFIC.
- CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH DE-WATERING AND DE-MUCKING FOR INSTALLATION OF REQUIRED INFRASTRUCTURE (IF APPLICABLE).
- THE CONTRACTORS MEANS AND METHODS OF GROUNDWATER DE-WATERING SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS FOR THE TEMPORARY DIVERSION OF GROUNDWATER AND ITS DISCHARGE, INCLUDING FAC CHAPTER 62-621.300(2) "GENERIC PERMIT FOR THE DISCHARGE OF PRODUCED GROUNDWATER FROM ANY NON-CONTAMINATED SITE ACTIVITY" (IF APPLICABLE)
- CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH SELECT BACKFILL FOR INSTALLATION OF ANY INFRASTRUCTURE.
- CONTRACTOR SHALL CLEAN UP ENTIRE SITE INCLUDING STAGING AREAS AT LEAST TWO TIMES PER WEEK. THIS SHALL INCLUDE LOCATING TRASH/SORAP RECEPTACLES AT APPROPRIATE LOCATIONS AROUND THE SITE. CONTRACTOR SHALL PICK UP ALL ROCKS, METAL, PIPE, NAILS, NUTS, BOLTS, BOARDS, PAPER, TRASH, ETC. AT LEAST TWICE A WEEK. CONTRACTOR SHALL INCLUDE COST OF SAME IN BID.
- CONTRACTOR SHALL RESTORE ALL STAGING AREAS TO AS GOOD AS OR BETTER CONDITION THAN EXISTED PRIOR TO CONSTRUCTION. THIS INCLUDES IRRIGATION AND SOD REPLACEMENT OF NECESSARY. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 20 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PERMITS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE.
- IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL.
- ANY SLOPES RECEIVING INFRASTRUCTURE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1)
- SHOULD THE CONTROL OF DIRT AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STANDARDS FOR EROSION CONTROL.
- ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMITS OF DISTURBANCE OR ONTO PUBLIC RIGHT OF WAY WILL BE REMOVED IMMEDIATELY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
- ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #48 ABOVE.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
- ANY DIRT THAT RUNS OFF OF THE PROJECT SITE ONTO PUBLIC STREETS SHALL BE REMOVED AND CLEANED IMMEDIATELY. FAILURE TO COMPLY CAN RESULT IN CODE ENFORCEMENT ACTION.
- ANY AREAS USED FOR THE CONTRACTORS STAGING, INCLUDED BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (I.E. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.) SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.
- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT ESCAMBIA COUNTY, FDEP, AND ECMA STANDARDS AND REQUIREMENTS.
- FOR SITES WITH DISTURBANCE EXCEEDING 1 ACRE, TO COMPLY WITH NPDES REQUIREMENTS, THE CONTRACTOR SHALL SUBMIT AN NPDES NOTICE OF INTENT TO FDEP A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ADDITIONALLY, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. A CERTIFIED STORMWATER MANAGEMENT INSPECTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL EFFORTS. INSPECTION RECORDS SHOULD BE ON HAND AT ALL TIMES AND PROVIDED TO ANY FDEP REPRESENTATIVE THAT MAY VISIT THE SITE DURING CONSTRUCTION.
- THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADDRESSES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
- RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
- REFER TO BUILDING PLANS FOR ADDITIONAL INFORMATION.

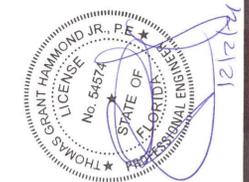
FLOOD ZONE DATA

THE SUBJECT PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONES VE, BASE FLOOD ELEVATION (BFE) FL FLOOD ZONE AEB AND AEA, AND FLOOD ZONE X, AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C05286, MAP REVISIONS DATED SEPTEMBER 29, 2006.

FLOOD ZONE(S)	NFP COMMUNITY NUMBER	MAP NUMBER	PANEL NUMBER(S)	SUFFIX	MAP REVISION DATE
X	120080	12033C	0528	G	SEPTEMBER 29, 2006
VE (BFE 10)	120080	12033C	0528	G	SEPTEMBER 29, 2006
AEB	120080	12033C	0528	G	SEPTEMBER 29, 2006
AEA	120080	12033C	0528	G	SEPTEMBER 29, 2006



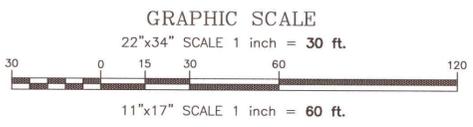
VICINITY MAP
 GRAPHIC SCALE



PROJECT LOCATION

SHEET
C1

NO.	DATE	REVISIONS
1	11/29/21	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS



GULF BEACH HIGHWAY (66' R/W)

- GENERAL NOTES:**
- THE BEARINGS AS SHOWN HEREON ARE REFERENCED TO THE ASSUMED BEARING OF SOUTH 88 DEGREES 46 MINUTES 48 SECONDS WEST ALONG THE SOUTH RIGHT OF WAY LINE OF GULF BEACH HIGHWAY (66' R/W).
 - THE SURVEY DATUM AS SHOWN HEREON IS REFERENCED TO THE DESCRIPTION AS FURNISHED AND TO EXISTING FIELD MONUMENTATION.
 - NO TITLE SEARCH WAS PROVIDED TO NOR PERFORMED BY NORTHWEST FLORIDA LAND SURVEYING, INC. FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, EASEMENTS, RIGHTS-OF-WAY, STATE AND/OR FEDERAL JURISDICTIONAL AREAS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE SUBJECT PROPERTY.
 - THE PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE "X", OUTSIDE 0.2% ANNUAL CHANCE OF FLOOD, FLOOD ZONE "AE" BASE FLOOD ELEVATION 8 FEET, AND IN FLOOD ZONE "VE" BASE FLOOD ELEVATION 10 FEET, AS DETERMINED FROM FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA (UNINCORPORATED AREAS), MAP NUMBER 12033C 0528 G, REVISED SEPTEMBER 29, 2006.
 - THIS SURVEY DOES NOT DETERMINE OWNERSHIP.
 - THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.051 - 5J-17.053 FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, TO THE BEST OF MY KNOWLEDGE AND BELIEF.
 - THE MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS.
 - THE MEASUREMENTS OF THE BUILDINGS AND/OR FOUNDATIONS SHOWN HEREON DO NOT INCLUDE CONCRETE FOOTERS OR EAVE OVERHANGS.
 - FENCE LOCATIONS SHOWN HEREON MAY BE EXAGGERATED AND NOT TO SCALE FOR CLARITY PURPOSES
 - FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM, WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER, FRED R. THOMPSON, AND IS TO BE RETURNED TO OWNER UPON REQUEST.
 - THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY ISSUED ON THE SURVEY DATE WITH A RAISED SEAL TO INSURE THE ACCURACY OF THE INFORMATION AND TO FURTHER INSURE THAT NO CHANGES, ALTERATIONS OR MODIFICATIONS HAVE BEEN MADE. NO RELIANCE SHOULD BE MADE ON A DOCUMENT TRANSMITTED BY COMPUTER OR OTHER ELECTRONIC MEANS UNLESS FIRST COMPARED TO THE ORIGINAL SIGNED AND SEALED DOCUMENT.
 - THIS SURVEY MAY BE SUBJECT TO ADDITIONAL REQUIREMENTS BY COUNTY, STATE OR OTHER AGENCIES.
 - ENCROACHMENTS ARE AS SHOWN.
 - THE PURPOSE OF THIS SURVEY IS TO RETRACE AND MONUMENT THE DEED OF RECORD ON THE GROUND AS WELL AS LOCATE ON SITE IMPROVEMENTS, EVIDENCE OF POSSESSION, AND ENCROACHMENTS TO BE SHOWN ON THE SURVEY TO SCALE AND THEIR RELATIONSHIP TO THE BOUNDARY.
 - THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988, FROM ESCAMBIA COUNTY GEODETIC CONTROL POINT STAMPED "ESC 4075" HAVING A PUBLISHED ELEVATION OF 109.05 FEET, BASED ON ESCAMBIA COUNTY, FLORIDA GPS NETWORK SURVEY PREFORMED BY BASKERVILLE DONOVAN, INC. DATED 10/15/97.
 - THIS TIDAL WATER SURVEY COMPLIES WITH CHAPTER 177, PART II, FLORIDA STATUTES.
 - THE MEAN HIGH WATER ELEVATION SHOWN HEREON WAS PROVIDED BY THE BUREAU OF SURVEYING AND MAPPING PER MEAN HIGH WATER ELEVATION REQUEST DATED X/XX/19.
 - UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON INFORMATION PROVIDED BY OTHERS AND THEIR LOCATION SHOULD BE CONSIDERED APPROXIMATE. CALL 811 SUNSHINE UTILITY LOCATORS 48 HOURS PRIOR TO DIGGING WITHIN THE RIGHT OF WAY.

- DENOTES:**
- ~ 1/2" CAPPED IRON ROD, NUMBERED 7277 (PLACED)
 - ~ 6" SQUARE CONCRETE MONUMENT, STAMPED 9909K (FOUND)
 - ~ 4" SQUARE CONCRETE MONUMENT, UNNUMBERED (FOUND)
 - (D) ~ DEED INFORMATION
 - (F) ~ FIELD INFORMATION
 - R/W ~ RIGHT OF WAY
 - P.C. ~ POINT OF CURVATURE
 - O.R. ~ OFFICIAL RECORD
 - PG. ~ PAGE
 - ~ BENCHMARK
 - ~ FIRE HYDRANT
 - ~ WATER VALVE
 - ~ WATER METER
 - ~ STORM DRAIN MANHOLE
 - ~ STORM WATER INLET
 - ~ SANITARY SEWER MANHOLE
 - ~ PORTABLE GAS TANK
 - ~ UTILITY POLE
 - ~ TELEPHONE PEDISTAL
 - ~ GUY ANCHOR
 - ~ SIGN

DESCRIPTION AS FURNISHED: (OFFICIAL RECORD BOOK: 2129, PAGE: 845)
 THE WEST 100 FEET OF THE EAST 1400 FEET OF LOT 2, LYING SOUTH OF GULF BEACH HIGHWAY IN SECTION 24, TOWNSHIP 3 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA.
 AND ALSO:
 (OFFICIAL RECORD BOOK: 4191, PAGE: 1186)
 WEST 200 FEET OF THE EAST 1600 FEET OF LOT 2, LYING SOUTH OF THE GULF BEACH HIGHWAY IN SECTION 24, TOWNSHIP 3 SOUTH, RANGE 31 WEST, SITUATE, LYING AND BEING IN ESCAMBIA COUNTY, FLORIDA

SPECIAL LINES:

- ~ SANITARY SEWER LINE
- ~ WATER SERVICE LINE
- ~ STORM WATER PIPE
- ~ OVERHEAD ELECTRICAL
- ~ TRAFFIC STRIPING

ID	Common	Name	Scientific	DBH (in)	Notes
T-1	Live Oak	<i>Quercus virginiana</i>	26.5		
T-2	Live Oak	<i>Quercus virginiana</i>	16.8		Multistem
T-3	Live Oak	<i>Quercus virginiana</i>	15.5		
T-4	Live Oak	<i>Quercus virginiana</i>	24.0		
T-5	Live Oak	<i>Quercus virginiana</i>	22.0		
T-6	Live Oak	<i>Quercus virginiana</i>	14.5		Multistem
T-7	Live Oak	<i>Quercus virginiana</i>	18.5		Multistem
T-8	Live Oak	<i>Quercus virginiana</i>	23.2		Multistem
T-9	Live Oak	<i>Quercus virginiana</i>	11.3		
T-10	Live Oak	<i>Quercus virginiana</i>	11.7		
T-11	Live Oak	<i>Quercus virginiana</i>	15.6		Multistem

CURVE	LENGTH	RADIUS	DELTA-ANGLE	TANGENT	CHORD	CHORD-BEARING
C-1	207.83'	1485.32'	83°7'50"	104.14'	207.78'	N74°12'29"E
C-2	34.85'	1485.32'	121°48"	17.43'	34.80'	N89°27'41"E
C-3	216.72'	1485.32'	82°27'	108.56'	216.53'	N 85°59'19" E

REVISIONS

NO.	DATE	DESCRIPTION
1	11/29/2021	REVISED PLANS AS PER ESCAMBIA COUNTY DRC REVIEW COMMENTS

NO. DATE DESCRIPTION

HE

HAMMOND ENGINEERING, INC.
 FLORIDA AUTHORIZATION NO. 9130
 ALABAMA AUTHORIZATION NO. 3277
 3802 NORTH "S" STREET
 PENSACOLA, FLORIDA 32505
 850 434-2603
 FAX 850-434-2650
 TOM@SELANDDESIGN.COM



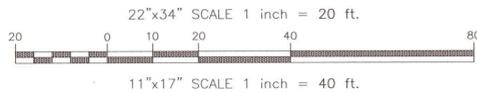
SITE SURVEY COMPLETED BY:

NORTHWEST FLORIDA LAND SURVEYING, INC.
 A PROFESSIONAL SERVICE ORGANIZATION
 7142 BELMONT CIRCLE
 PENSACOLA, FL 32508
 (850) 438-1068

DRAWN BY: CJB
 DESIGNED BY: RLS
 CHECKED BY: TGH
 DATE: 11-09-21
 SCALE: AS SHOWN
 NOT RELEASED FOR CONSTRUCTION
 BY: DATE:

PROJECT NO: 21-077
 SHEET: **C2**

GRAPHIC SCALE



LEGEND:

- DENOTES EXISTING ASPHALT
- DENOTES EXISTING CONCRETE
- DENOTES PROPOSED ASPHALT MILLINGS
- DENOTES PROPOSED CONCRETE
- DENOTES PROPOSED SOD (BAHAI RECOMMENDED)
- DENOTES 15' MERS SETBACK AREA
- DENOTES PROPOSED HERBACEOUS PLANTINGS
- DENOTES PROPOSED SHORELINE PLANTINGS
- DENOTES QUANTITY OF PARKING STALLS PER ROW
- DENOTES EXISTING STORMWATER MANHOLE
- XX DENOTES EXISTING FENCE
- DENOTES EXISTING FENCE
- DENOTES EXISTING STORM PIPE
- DENOTES EXISTING OVERHEAD ELECTRIC
- DENOTES EXISTING TREE
- DENOTES EXISTING INLET
- DENOTES EXISTING WATER METER
- DENOTES EXISTING SANITARY SEWER MANHOLE
- DENOTES EXISTING UTILITY POLE
- DENOTES EXISTING FIRE HYDRANT
- DENOTES SAND LIVE OAK CANOPY TREE TO BE PLANTED (OR APPROVED EQUAL)

PARKING CALCULATIONS:

PROPOSED 900 SF JET SKI RENTAL BUILDING (RENTAL OF AUTOMOBILES, TRUCKS, UTILITY TRAILERS AND/OR RECREATIONAL VEHICLES) AS PER 3-1.2 ESCAMBIA COUNTY DESIGN STANDARDS MANUAL:
 1 PARKING STALL PER 1,000 SF REQUIRED (900/1,000)*1 ≈ 1 STALL REQUIRED
 PROPOSED 176 SF FOOD TRUCK
 AS PER 3-1.2 ESCAMBIA COUNTY DESIGN STANDARDS MANUAL:
 15 PARKING STALLS PER 1,000 SF REQUIRED (176/1,000)*15 ≈ 3 STALLS REQUIRED
4 TOTAL PARKING STALL REQUIRED
 8 REGULAR STALLS PROPOSED
 1 HANDICAP STALL PROPOSED
9 TOTAL STALLS PROPOSED
 NOTE: HANDICAP PARKING SIGNS SHALL CONFORM TO FDOT ROADWAY AND TRAFFIC DESIGN STANDARD INDEX NUMBER 17355, SHEET 3 OF 8, FTP-25 SIGN

PARKING STALL NOTES:

- ALL HANDICAP PARKING STALLS ARE TO MEASURE 12' x 18' WITH AN ADJACENT 5' WIDE AISLE
- ALL STANDARD PARKING STALLS ARE TO MEASURE 9' x 18'
- ALL PARKING STALLS ARE TO BE DEMARCATED WITH 4" SOLID WHITE LINES UNLESS OTHERWISE NOTED

SITE DATA:

PARCEL ZONING: COM
 FLU: MU-S
 BUILDING SETBACKS REQUIRED (COM ZONED PARCEL):
 FRONT SETBACK = 15'
 REAR SETBACK = 15'
 SIDE SETBACK = 10'
 MAXIMUM IMPERVIOUS SURFACE: 85%
 MAXIMUM BUILDING HEIGHT: 150'
 MAXIMUM FLOOR AREA RATIO: 2.0 (MU-S)
 PROPOSED FLOOR AREA RATIO:
 TOTAL GROSS FLOOR AREA = 900 SF
 GROSS LOT AREA = 66,869 SF
 FLOOR AREA RATIO = 900 SF/66,869 SF = 0.01

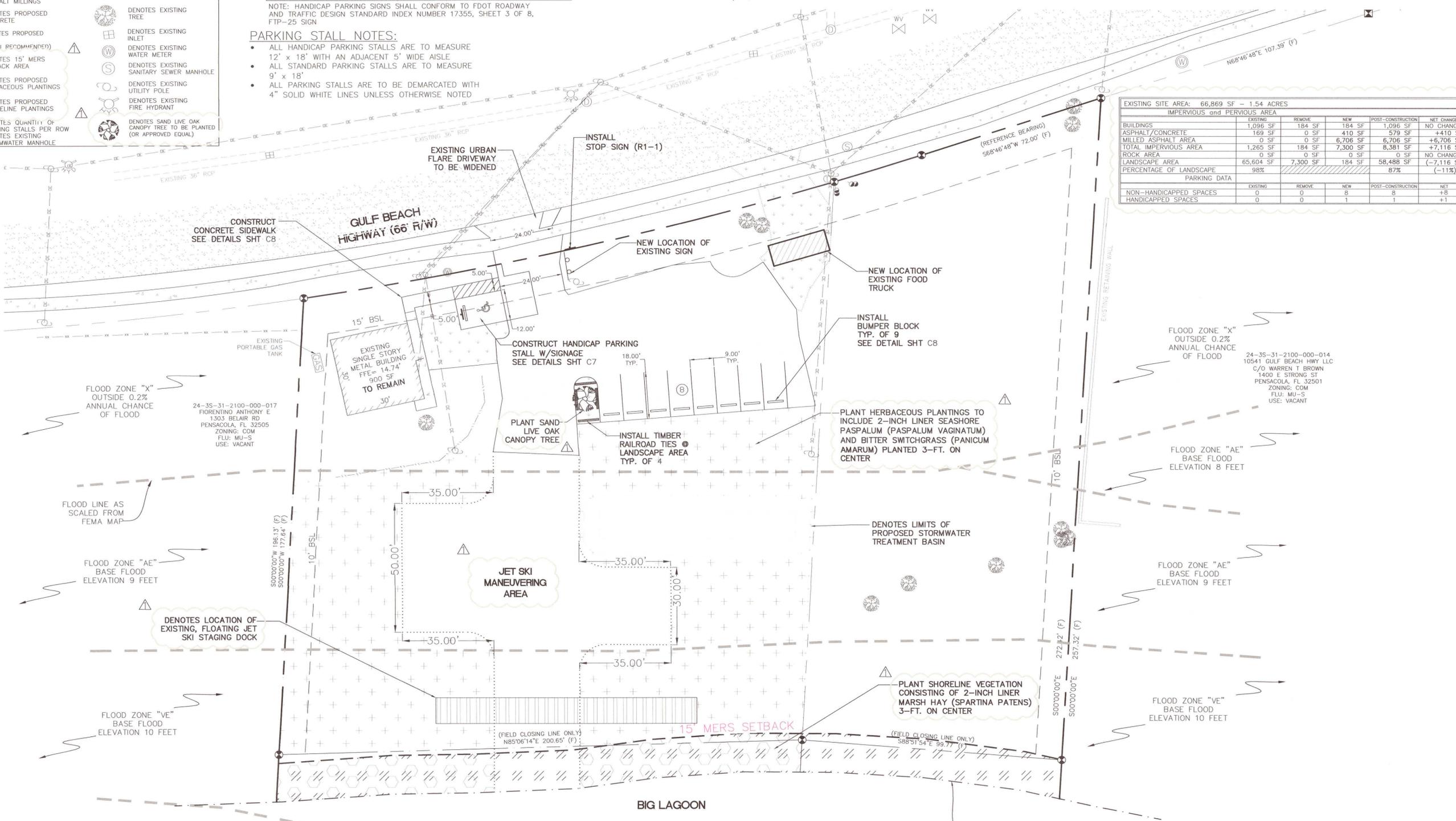
FIRE SAFETY NOTES

- FIRE DEPT. ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 20'
- FIRE DEPT. ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED VERTICAL CLEARANCE OF 13'-6"
- THE REQUIRED WIDTH OF A FIRE DEPT. ACCESS ROAD SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING BY THE PARKING OF VEHICLES.
- FIRE DEPARTMENT ACCESS ROAD SHALL EXTEND TO WITHIN 50 FT (150 FT IF THE BUILDING IS PROTECTED BY A FIRE SPRINKLER SYSTEM) OF AT LEAST ONE EXTERIOR DOOR THAT CAN BE OPENED FROM THE OUTSIDE AND THAT PROVIDES ACCESS TO THE INTERIOR OF THE BUILDING.
- FIRE DEPARTMENT ACCESS ROADS SHALL BE PROVIDED SUCH THAT ANY PORTION OF THE FACILITY OR ANY PORTION OF AN EXTERIOR WALL OF THE FIRST STORY OF THE BUILDING IS LOCATED NOT MORE THAN 150 FT (450 FT IF THE BUILDING IS PROTECTED BY A FIRE SPRINKLER SYSTEM) FROM FIRE DEPARTMENT ACCESS ROADS AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- FIRE DEPARTMENT ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE PROVIDED WITH AN ALL-WEATHER DRIVING SURFACE, MINIMUM OF 40 TONS

LAND DISTURBANCE ACTIVITIES NOTE:

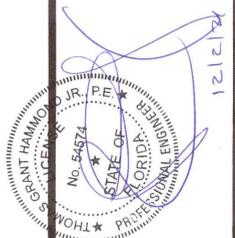
ANY ADDITIONAL SITE WORK, STRUCTURES (INCLUDING DOCKS, PIERS OR EXTENSIONS THEREOF, MOORING PILING, RAMPS, BOARDWALKS, WALKWAYS, WALLS OF ANY SORT, ETC.), OR FEATURES BEYOND WHAT IS APPROVED ON SITE PLANS WILL REQUIRE ADDITIONAL REVIEW & APPROVAL BY THE JURISDICTIONAL AGENCIES. ANY FUTURE LAND DISTURBING ACTIVITIES (INCLUDING BUT NOT LIMITED TO: REMOVAL OF PROTECTED TREES, THE PLACEMENT OF FILL/FILL MATERIALS, GRAVEL, MILLINGS, GRADING OR EXCAVATING OF LAND, INSTALLATION OF SWALES (DRAINAGE OR OTHERWISE), TRENCHING, BERMING, ETC.) SHALL NOT OCCUR UNTIL SUCH TIME AS ALL APPROPRIATE ESCAMBIA COUNTY & AGENCY PERMITS OR WRITTEN APPROVALS ARE OBTAINED PRIOR TO INITIATION OF SUCH SITE WORK.

EXISTING SITE AREA: 66,869 SF = 1.54 ACRES				
IMPERVIOUS and PERVIOUS AREA				
BUILDINGS	EXISTING	REMOVE	NEW	POST-CONSTRUCTION
ASPHALT/CONCRETE	1,096 SF	184 SF	184 SF	1,096 SF
MILLED ASPHALT AREA	169 SF	0 SF	410 SF	579 SF
TOTAL IMPERVIOUS AREA	1,265 SF	184 SF	7,300 SF	8,381 SF
LANDSCAPE AREA	65,604 SF	7,300 SF	184 SF	58,488 SF
PERCENTAGE OF LANDSCAPE	98%			87%
NET CHANGE				
				+410 SF
				+6,706 SF
				+7,116 SF
				NO CHANGE
				-7,116 SF
PARKING DATA				
NON-HANDICAPPED SPACES	EXISTING	REMOVE	NEW	POST-CONSTRUCTION
	0	0	8	8
HANDICAPPED SPACES	EXISTING	REMOVE	NEW	POST-CONSTRUCTION
	0	0	1	1
				+8
				+1



PROPERTY LINE CURVE TABLE (F)						
CURVE	LENGTH	RADIUS	DELTA-ANGLE	TANGENT	CHORD	CHORD-BEARING
C-1	207.93'	1465.32'	8°07'50"	104.14	207.76'	N74°12'29"E
C-2	34.85'	1465.32'	1°21'46"	17.43	34.85'	N69°27'41"E
C-3	216.72'	1465.32'	8°28'27"	108.56	216.53'	N 85°49'19" E

HAMMOND ENGINEERING, INC.
 FLORIDA AUTHORIZATION NO. 9130
 ALABAMA AUTHORIZATION NO. 3277
 3802 NORTH "S" STREET
 PENSACOLA, FLORIDA 32505
 850 434-2603
 850 434-2650
 TOM@SELANDESIGN.COM



SITE DEVELOPMENT PLANS FOR ADVENTURE TROPIC JET SKI RENTALS
SITE & LANDSCAPING PLAN
 ESCAMBIA COUNTY FLORIDA

DRAWN BY: CUG
 DESIGNED BY: RLS
 CHECKED BY: TGH
 DATE: 11-09-21
 SCALE: AS SHOWN
 NOT RELEASED FOR CONSTRUCTION
 BY: DATE:

PROJECT NO: 21-077
 SHEET: C4

GRAPHIC SCALE

22"x34" SCALE 1 inch = 20 ft.



11"x17" SCALE 1 inch = 40 ft.

LEGEND:

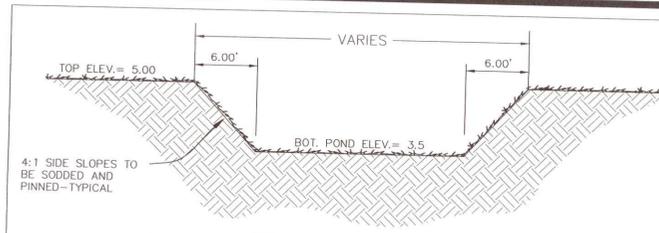
- DENOTES EXISTING ASPHALT
- DENOTES EXISTING CONCRETE
- DENOTES PROPOSED ASPHALT MILLINGS
- DENOTES PROPOSED CONCRETE
- DENOTES 15' MERS SETBACK AREA
- DENOTES EXISTING STORMWATER MANHOLE
- DENOTES EXISTING SPOT ELEVATION
- DENOTES PROPOSED SPOT ELEVATION
- DENOTES BENCHMARK LOCATION
- DENOTES EXISTING FENCE
- DENOTES EXISTING FENCE
- DENOTES EXISTING STORM PIPE
- DENOTES EXISTING OVERHEAD ELECTRIC
- DENOTES EXISTING TREE
- DENOTES EXISTING INLET
- DENOTES EXISTING WATER METER
- DENOTES EXISTING SANITARY SEWER MANHOLE
- DENOTES EXISTING UTILITY POLE
- DENOTES EXISTING FIRE HYDRANT
- MATCH EXISTING GRADE
- DENOTES SOIL BORING LOCATION

LAND DISTURBANCE ACTIVITIES NOTE:

ANY ADDITIONAL SITE WORK, STRUCTURES (INCLUDING DOCKS, PIERS OR EXTENSIONS THEREOF, MOORING PILING, RAMPS, BOARDWALKS, WALKWAYS, WALLS OF ANY SORT, ETC.) OR FEATURES BEYOND WHAT IS APPROVED ON SITE PLANS WILL REQUIRE ADDITIONAL REVIEW & APPROVAL BY THE JURISDICTIONAL AGENCIES. ANY FUTURE LAND DISTURBING ACTIVITIES (INCLUDING BUT NOT LIMITED TO: REMOVAL OF PROTECTED TREES, THE PLACEMENT OF FILL/FILL MATERIALS, GRAVEL, MILLINGS, GRADING OR EXCAVATING OF LAND, INSTALLATION OF SWALES (DRAINAGE OR OTHERWISE), TRENCHING, BERMING, ETC.) SHALL NOT OCCUR UNTIL SUCH TIME AS ALL APPROPRIATE ESCAMBIA COUNTY & AGENCY PERMITS OR WRITTEN APPROVALS ARE OBTAINED PRIOR TO INITIATION OF SUCH SITE WORK.

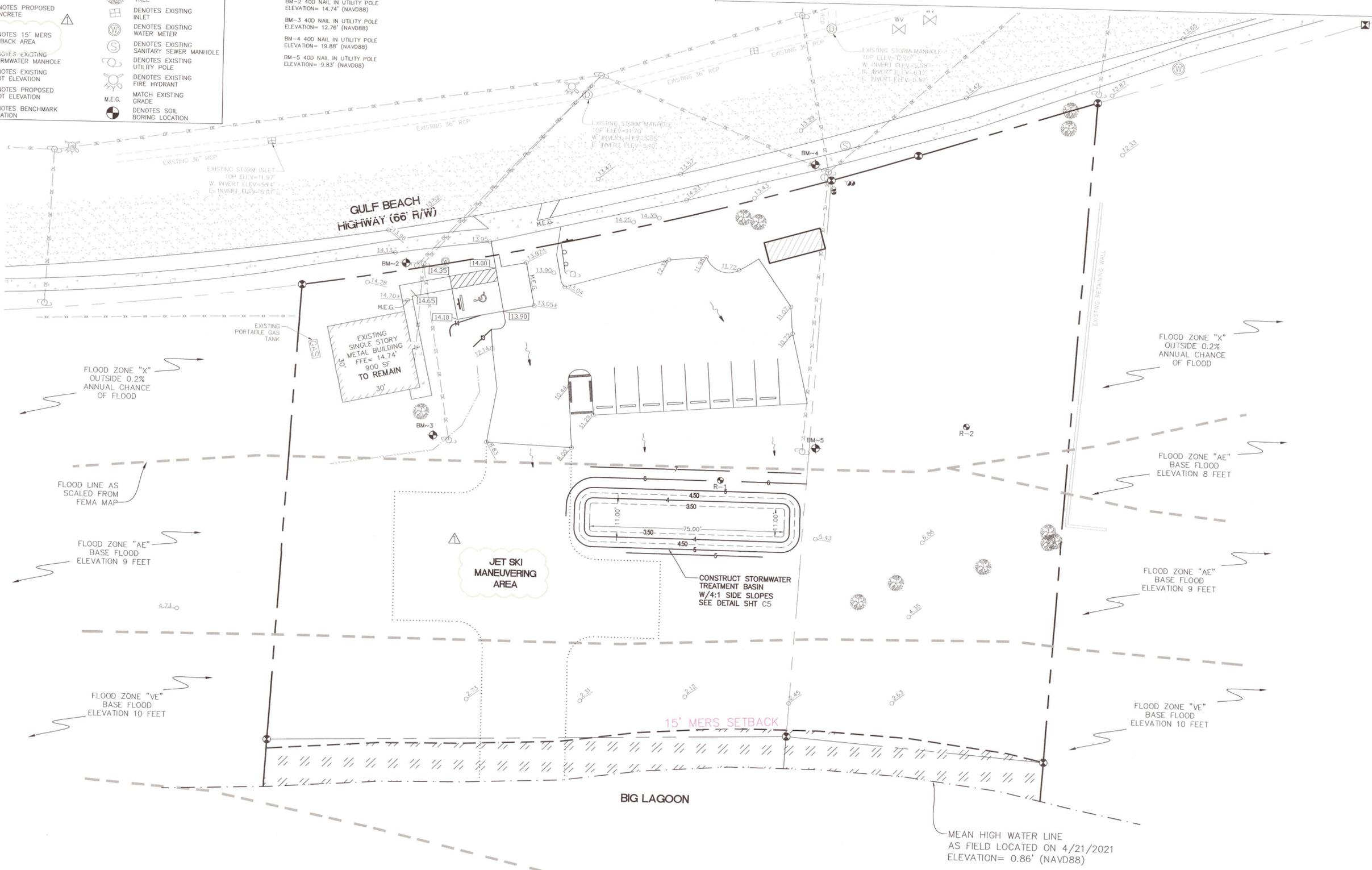
BENCHMARK DATA:

- BM-1 6" SQUARE CONCRETE MONUMENT STAMPED 9909K
ELEVATION= 12.94' (NAVD88)
- BM-2 40D NAIL IN UTILITY POLE
ELEVATION= 14.74' (NAVD88)
- BM-3 40D NAIL IN UTILITY POLE
ELEVATION= 12.76' (NAVD88)
- BM-4 40D NAIL IN UTILITY POLE
ELEVATION= 19.88' (NAVD88)
- BM-5 40D NAIL IN UTILITY POLE
ELEVATION= 9.83' (NAVD88)



**STORMWATER TREATMENT BASIN
TYPICAL CROSS SECTION**
NTS

- DETENTION BASIN CONSTRUCTION**
- INITIALLY INSTALL ALL EROSION AND SEDIMENT CONTROL BMP'S AS ILLUSTRATED ON THE EROSION CONTROL PLAN PROVIDED AS PART OF THESE PLANS (SHEET C3)
 - CONSTRUCT THE DETENTION BASIN TO ROUGH GRADE BY UNDER-EXCAVATING THE BASIN BOTTOM AND SIDES BY ABOUT 6 INCHES.
 - AFTER THE DRAINAGE AREA CONTRIBUTING TO THE BASIN HAS BEEN FULLY STABILIZED, THE INTERIOR SIDE SLOPES AND BASIN BOTTOM SHALL BE EXCAVATED TO FINAL DESIGN SPECIFICATIONS. THE EXCESS SOIL AND UNSUITABLE MATERIAL MUST BE CAREFULLY EXCAVATED AND REMOVED FROM THE POND SO THAT ALL ACCUMULATED SILTS, CLAYS, ORGANICS, AND OTHER FINE SEDIMENT MATERIAL HAS BEEN REMOVED FROM THE POND AREA. THE EXCAVATED MATERIAL SHALL BE DISPOSED OF BEYOND THE LIMITS OF THE DRAINAGE AREA OF THE BASIN.
 - ONCE THE BASIN HAS BEEN EXCAVATED TO FINAL GRADE, THE ENTIRE BASIN BOTTOM MUST BE DEEP RAKED AND LOOSENEED FOR OPTIMAL FILTRATION.
 - FINALLY, THE ENTIRE BANK SLOPE AND POND BOTTOM SHALL BE PERMANENTLY STABILIZED IN A MANNER THAT GUARANTEES HEALTHY GROWTH OF GRASS (FREE FROM NOXIOUS WEEDS) SUCH AS PANGOLA, ARGENTINE BAHIA, BERMUDA, CENTIPEDE OR OTHER SUITABLE GRASS.



FLOOD ZONE "X"
OUTSIDE 0.2%
ANNUAL CHANCE
OF FLOOD

FLOOD LINE AS
SCALED FROM
FEMA MAP

FLOOD ZONE "AE"
BASE FLOOD
ELEVATION 9 FEET

FLOOD ZONE "VE"
BASE FLOOD
ELEVATION 10 FEET

FLOOD ZONE "X"
OUTSIDE 0.2%
ANNUAL CHANCE
OF FLOOD

FLOOD ZONE "AE"
BASE FLOOD
ELEVATION 8 FEET

FLOOD ZONE "AE"
BASE FLOOD
ELEVATION 9 FEET

FLOOD ZONE "VE"
BASE FLOOD
ELEVATION 10 FEET

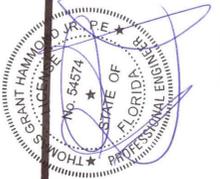
15' MERS SETBACK

BIG LAGOON

MEAN HIGH WATER LINE
AS FIELD LOCATED ON 4/21/2021
ELEVATION= 0.86' (NAVD88)

NO.	DATE	REVISIONS
1	11/29/2021	REVISED PLANS AS PER ESCAMBIA COUNTY DRG REVIEW COMMENTS

HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH "S" STREET
PENSACOLA, FLORIDA 32505
850 434-2603
850 850-434-2650
TOM@SELANDEDDESIGN.COM



**SITE DEVELOPMENT
PLANS FOR
ADVENTURE TROPIC
JET SKI RENTALS
GRADING & DRAINAGE
PLAN**

ESCAMBIA COUNTY FLORIDA

DRAWN BY: CUG
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 11-09-21
SCALE: AS SHOWN
NOT RELEASED FOR
CONSTRUCTION

GRAPHIC SCALE

22"x34" SCALE 1 inch = 30 ft.

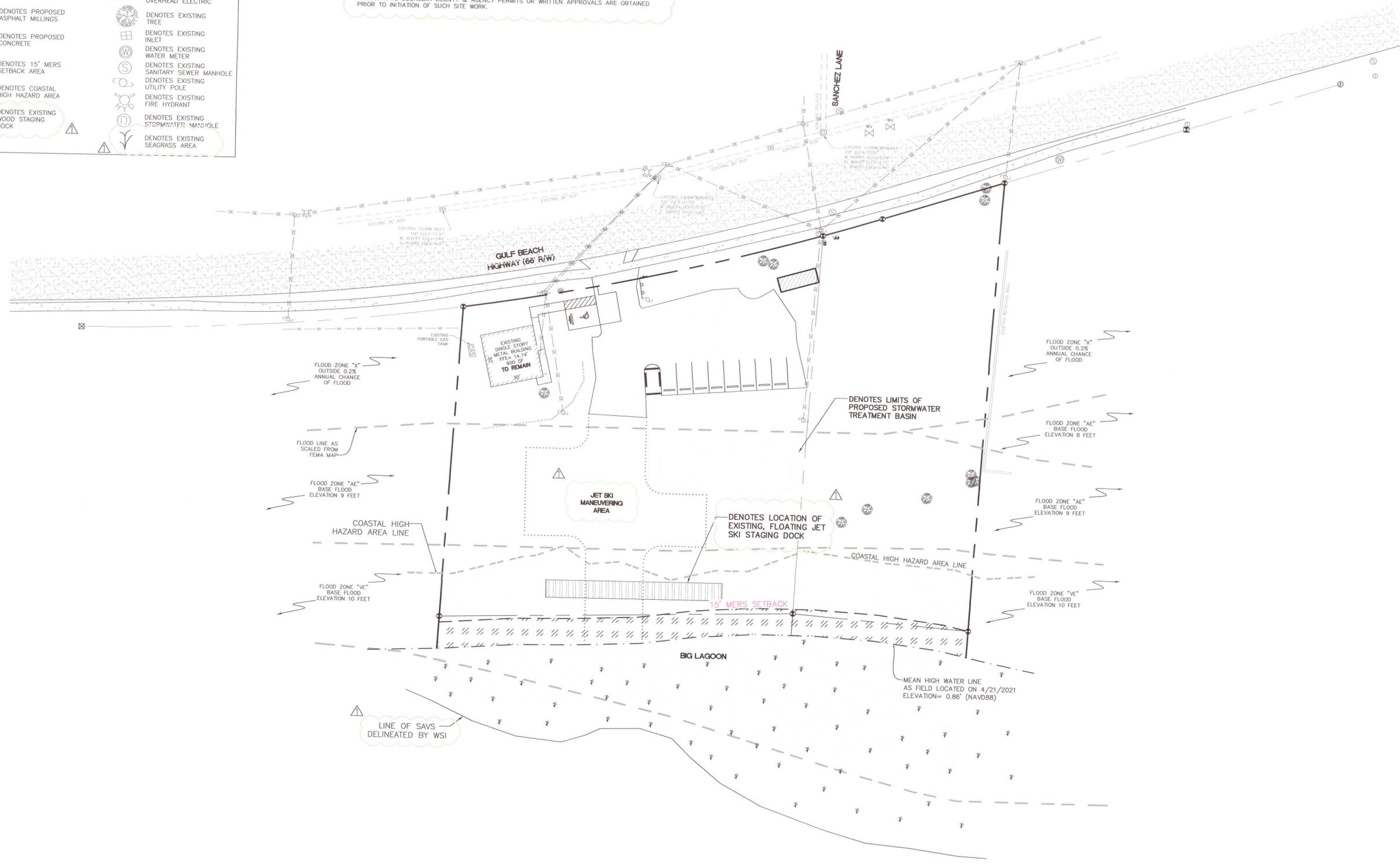


11"x17" SCALE 1 inch = 60 ft.

LEGEND:

- DENOTES EXISTING ASPHALT
- DENOTES EXISTING CONCRETE
- DENOTES PROPOSED ASPHALT MILLINGS
- DENOTES PROPOSED CONCRETE
- DENOTES 15' MERS SETBACK AREA
- DENOTES COASTAL HIGH HAZARD AREA
- DENOTES EXISTING WOOD STAGING DOCK
- DENOTES EXISTING FENCE
- DENOTES EXISTING FENCE
- DENOTES EXISTING STORM PIPE
- DENOTES EXISTING OVERHEAD ELECTRIC
- DENOTES EXISTING TREE
- DENOTES EXISTING INLET
- DENOTES EXISTING WATER METER
- DENOTES EXISTING SANITARY SEWER MANHOLE
- DENOTES EXISTING UTILITY POLE
- DENOTES EXISTING FIRE HYDRANT
- DENOTES EXISTING STORMWATER MANHOLE
- DENOTES EXISTING SEAGRASS AREA

LAND DISTURBANCE ACTIVITIES NOTE:
 ANY ADDITIONAL SITE WORK, STRUCTURES (INCLUDING DOCKS, PIERS OR EXTENSIONS THEREOF, MOORING PILINGS, RAMPS, BOARDWALKS, WALKWAYS, WALLS OF ANY SORT, ETC.), OR FEATURES BEYOND WHAT IS APPROVED ON SITE PLANS WILL REQUIRE ADDITIONAL REVIEW & APPROVAL BY THE JURISDICTIONAL AGENCIES. ANY FUTURE LAND DISTURBING ACTIVITIES (INCLUDING BUT NOT LIMITED TO: REMOVAL OF PROTECTED TREES; THE PLACEMENT OF FILL/FILL MATERIALS, GRAVEL, MILLINGS, GRADING OR EXCAVATING OF LAND, INSTALLATION OF SWALES (DRAINAGE OR OTHERWISE), TRENCHING, BERMING, ETC.) SHALL NOT OCCUR UNTIL SUCH TIME AS ALL APPROPRIATE ESCAMBIA COUNTY & AGENCY PERMITS OR WRITTEN APPROVALS ARE OBTAINED PRIOR TO INITIATION OF SUCH SITE WORK.



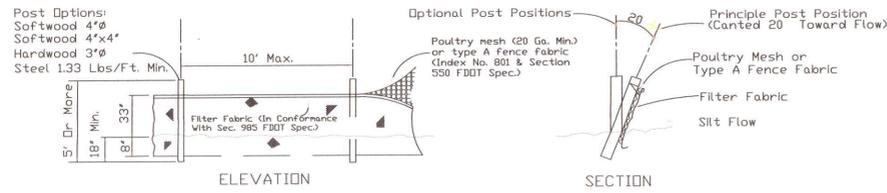
NO.	DATE	REVISIONS
1	11/29/2021	REVISED PLANS AS PER ESCAMBIA COUNTY DRP REVIEW COMMENTS

HAMMOND ENGINEERING, INC.
 FLORIDA AUTHORIZATION NO. 9130
 ALABAMA AUTHORIZATION NO. 3277
 3802 NORTH 'S' STREET
 PENSACOLA, FLORIDA 32505
 850 434-2603
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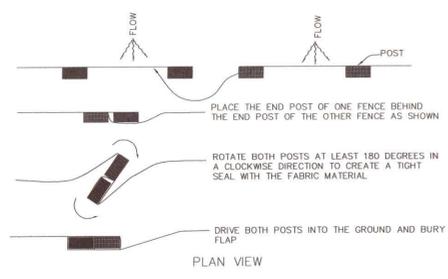


SITE DEVELOPMENT PLANS FOR ADVENTURE TROPIC JET SKI RENTALS ENVIRONMENTALLY SENSITIVE RESOURCES
 ESCAMBIA COUNTY FLORIDA

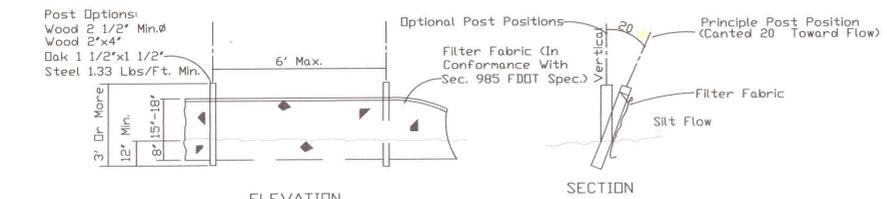
DRAWN BY: CJB
 DESIGNED BY: RLS
 CHECKED BY: TCH
 DATE: 11-09-21
 SCALE: AS SHOWN
 NOT RELEASED FOR CONSTRUCTION
 BY: _____ DATE: _____



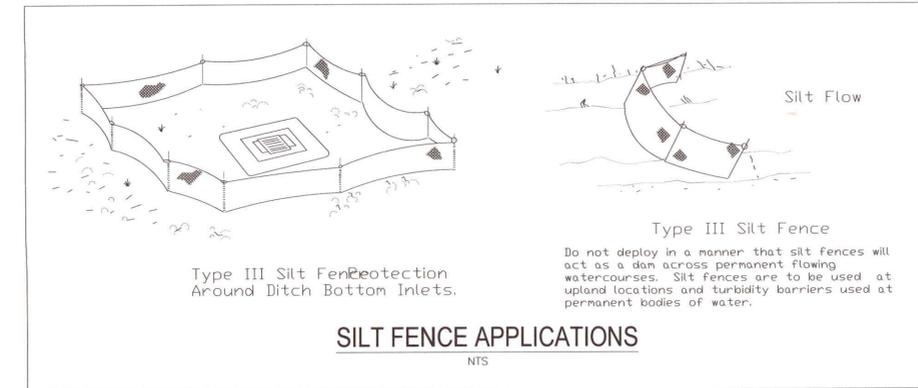
TYPE IV SILT FENCE
NTS



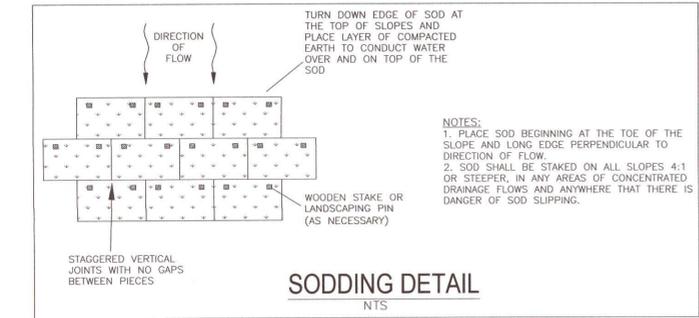
JOINING TWO SILT FENCES
NTS



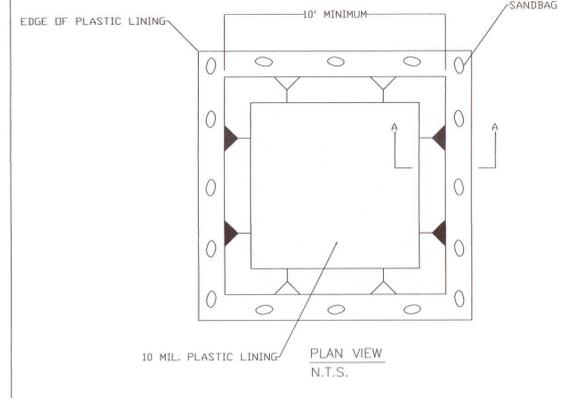
TYPE III SILT FENCE
NTS



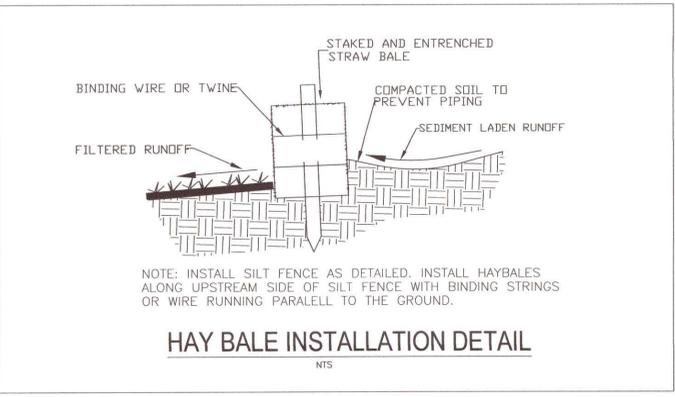
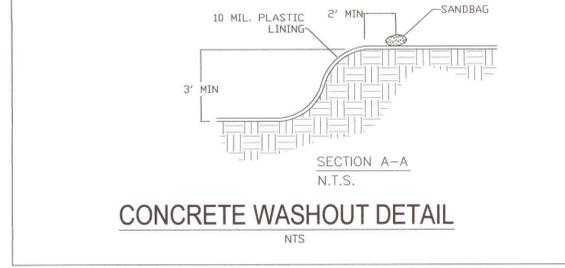
SILT FENCE APPLICATIONS
NTS



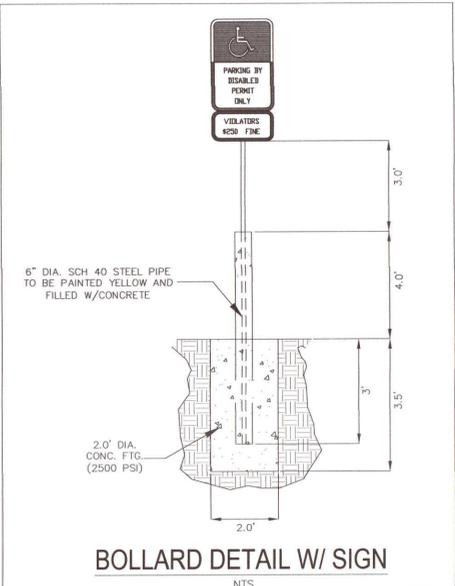
SODDING DETAIL
NTS



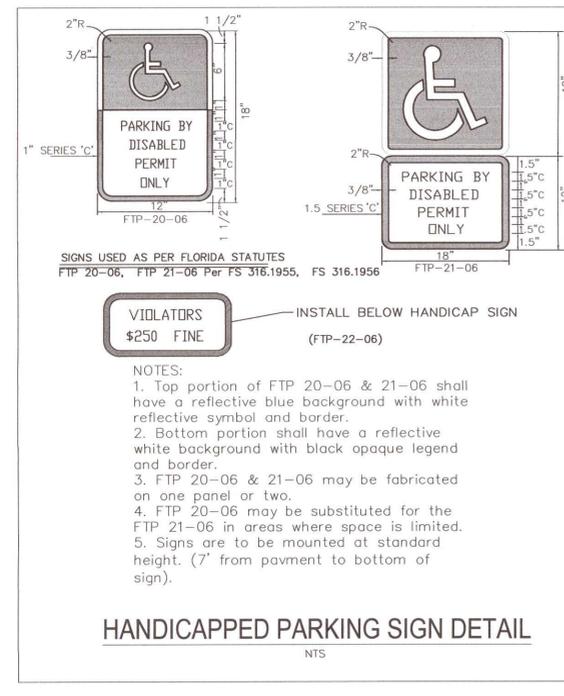
CONCRETE WASHOUT DETAIL
NTS



HAY BALE INSTALLATION DETAIL
NTS



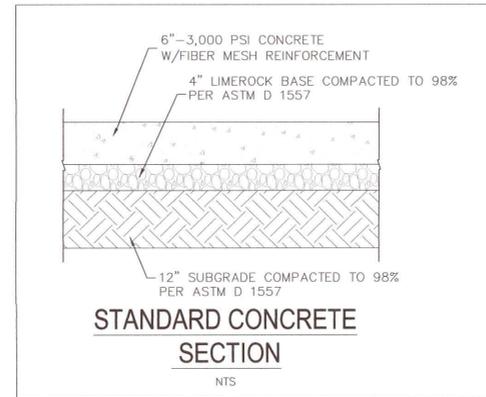
BOLLARD DETAIL W/ SIGN
NTS



HANDICAPPED PARKING SIGN DETAIL
NTS

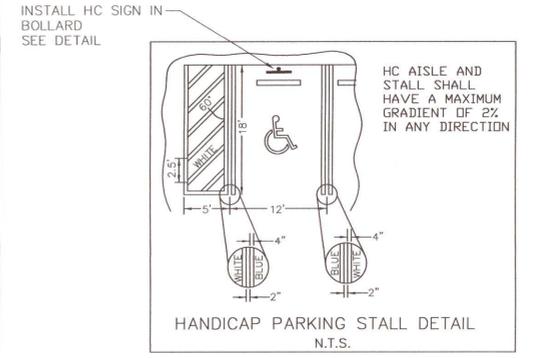
VIOLATORS
\$250 FINE
(FTP-22-06)

- NOTES:
1. Top portion of FTP 20-06 & 21-06 shall have a reflective blue background with white reflective symbol and border.
 2. Bottom portion shall have a reflective white background with black opaque legend and border.
 3. FTP 20-06 & 21-06 may be fabricated on one panel or two.
 4. FTP 20-06 may be substituted for the FTP 21-06 in areas where space is limited.
 5. Signs are to be mounted at standard height. (7' from pavement to bottom of sign).



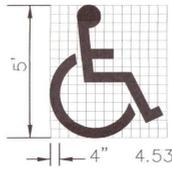
STANDARD CONCRETE SECTION
NTS

- NOTES:
1. SAWED OR SCORED CONTROL JOINTS SHALL BE SPACED AT 5 FT MAXIMUM FOR SIDEWALKS AND 12 FT FOR DRIVES.
 2. CONSTRUCT EXPANSION JOINTS WHERE NEW CONCRETE ABUTS NEW OR EXISTING CONCRETE CURBS, ASPHALT, OR OTHER STRUCTURES AND/OR ON 40 FT CENTERS ON SIDEWALKS AND 30' CENTERS ON DRIVES.
 3. THOROUGHLY CLEAN JOINT OF ALL SAND, SOIL AND MISC. DEBRIS. APPLY MASKING TAPE ALONG SIDES OF JOINT FOR TEMPORARY PROTECTION DURING SEALANT APPLICATIONS. APPLY FULL BEAD OF VULKEM 116 OR 245 (NON SAG), OR APPROVED EQUAL, POURABLE SEALANT AND TOOL LIGHTLY. REMOVE TAPE IMMEDIATELY.
 4. ALL CONCRETE SHALL BE TYPE 1 AND MEET THE REQUIREMENTS OF THE APPROPRIATE SECTIONS OF THE FOOT STANDARD SPECIFICATIONS, LATEST EDITION, UNLESS OTHERWISE NOTED ON DETAILS OR PLANS.
 5. MATERIAL, DESIGN AND TEST SUBMITTALS SHALL BE PER THE FOOT STANDARD SPECIFICATIONS, LATEST EDITION.

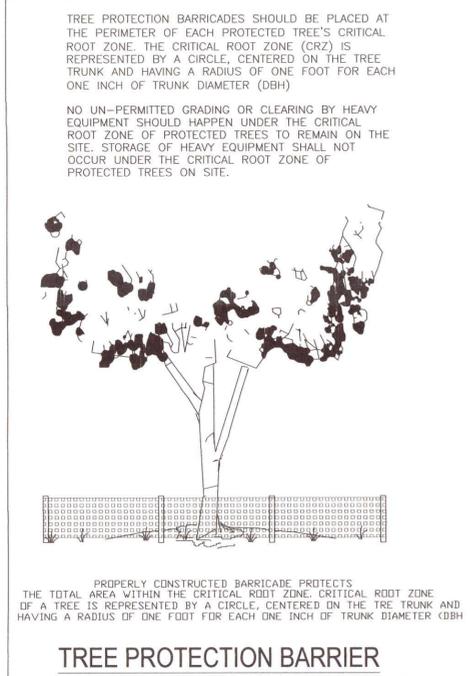


HANDICAP PARKING STALL DETAIL
N.T.S.

SYMBOL SHALL BE WHITE IN COLOR.
REFERENCE FDOT DESIGN STANDARDS
INDEX 17346 FOR ADDITIONAL DETAILS



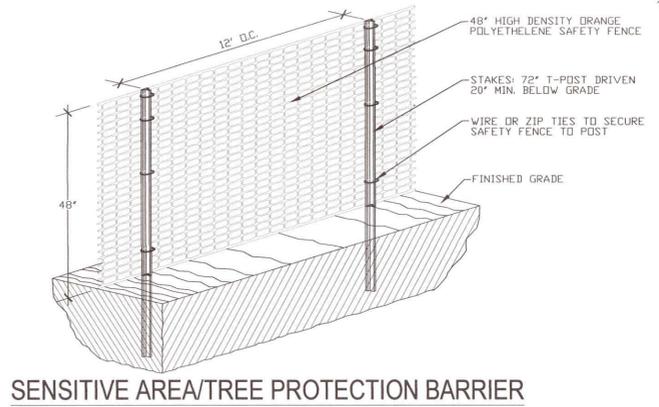
HANDICAP PAVEMENT SYMBOL/LINING
NTS



TREE PROTECTION BARRIER

TREE PROTECTION BARRICADES SHOULD BE PLACED AT THE PERIMETER OF EACH PROTECTED TREE'S CRITICAL ROOT ZONE. THE CRITICAL ROOT ZONE (CRZ) IS REPRESENTED BY A CIRCLE, CENTERED ON THE TREE TRUNK AND HAVING A RADIUS OF ONE FOOT FOR EACH ONE INCH OF TRUNK DIAMETER (DBH).

NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD HAPPEN UNDER THE CRITICAL ROOT ZONE OF PROTECTED TREES TO REMAIN ON THE SITE. STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE CRITICAL ROOT ZONE OF PROTECTED TREES ON SITE.



SENSITIVE AREA/TREE PROTECTION BARRIER

- NOTES:
1. ALL SENSITIVE AREAS SHALL BE PROTECTED INCLUDING DEEP EXCAVATIONS AND AS INDICATED ON PLANS.
 2. ALL TREES IN THE CONSTRUCTION AREA NOT SPECIFICALLY DESIGNATED FOR REMOVAL SHALL BE PRESERVED AND PROTECTED WITH HIGH VISIBILITY FENCE AS PER PLAN.
 3. TREE PROTECTION BARRIER SHOULD BE PLACED, AND MAINTAINED IN GOOD WORKING ORDER, AROUND THE PERIMETER OF EACH PROTECTED TREE'S CRITICAL ROOT ZONE (CRZ) OF ALL PROTECTED TREES MARKED FOR PRESERVATION PRIOR TO ANY LAND DISTURBANCE CONSISTENT WITH THE DEVELOPMENT PERMIT.
 4. SAFETY FENCE SHOULD BE FASTENED SECURELY TO THE T-POSTS.
 5. THE FENCING MUST REMAIN IN PLACE DURING ALL PHASES OF CONSTRUCTION; ANY CHANGE OF THE PROTECTIVE FENCING MUST BE APPROVED.
 6. NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD OCCUR UNDER THE CRITICAL ROOT ZONE OF PROTECTED TREES TO REMAIN ON THE SITE. STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE CRITICAL ROOT ZONE OF PROTECTED TREES ON SITE.
 7. ALL DAMAGED ROOTS ARE TO BE EXPOSED TO SOUND TISSUE AND SEVERED CLEANLY (NOT TORN). ROOTS SHALL BE PRUNED CLEANLY TO A DEPTH OF 18 INCHES BELOW THE EXISTING GRADE OR TO THE DEPTH OF DISTURBANCE IF LESS THAN 18 INCHES FROM EXISTING GRADE.

NO.	DATE	REVISIONS
1	11/29/2021	REVISED PLANS AS PER ESCAMBIA COUNTY DRG REVIEW COMMENTS

HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
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850 434-2650
TOM@SELANDESIGN.COM

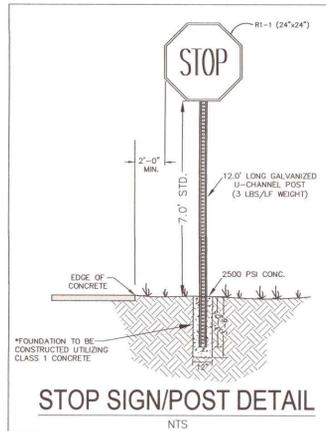
GRANT HAMMOND
No. 5674
STATE OF FLORIDA
PROFESSIONAL ENGINEER
12/12/21

SITE DEVELOPMENT PLANS FOR ADVENTURE TROPIC JET SKI RENTALS CONSTRUCTION DETAILS
FLORIDA
ESCAMBIA COUNTY

DRAWN BY: CJB
CHECKED BY: TGH
DATE: 11-09-21
SCALE: AS SHOWN
NOT RELEASED FOR CONSTRUCTION
BY: DATE:
PROJECT NO: 21-077
SHEET: C7

List of Recommended Native and Non-Invasive Plants

Shrubs (mature height 36" min.)	Understory Trees (mature height 15-29 feet)	Canopy Trees (mature height over 30 feet)
Abelia <i>Abelia grandiflora</i>	Flowering Dogwood <i>Cornus florida</i>	Red Maple <i>Acer rubrum</i>
Aucuba japonica	Loblolly Bay <i>Gordonia lasianthus</i>	Silver Maple <i>Acer saccharum</i>
Berberis <i>Berberis sp.</i>	American Holly <i>Ilex opaca</i>	American Hornbeam <i>Carpinus caroliniana</i>
Japanese Boxwood <i>Buxus microphylla</i>	Dahoon Holly <i>Ilex cassine</i>	Southern Red Cedar <i>Juniperus silicicola</i>
Beauty Berry <i>Callicarpa Americana</i>	Crape Myrtle <i>Lagerstroemia indica</i>	Leyland Cypress <i>Cupressocyparis leylandii</i>
Japanese Plum-Yew <i>Cephalotaxus harringtonia</i>	Glossy Privet <i>Ligustrum lucidum</i>	River Birch <i>Betula nigra</i>
Silverhorn Eleoagnus <i>Eleagnus pungens</i>	Saucer Magnolia <i>Magnolia x soulangeana</i>	Pignut Hickory <i>Carya glabra</i>
Fatsia <i>Fatsia japonica</i>	Sweetbay Magnolia <i>Magnolia virginiana</i>	Green Ash <i>Fraxinus pennsylvanica</i>
Gardenia <i>Gardenia jasminoides</i>	Southern Crab Apple <i>Malus angustifolia</i>	Maidenhair Tree <i>Ginkgo biloba (male)</i>
Burford Holly <i>Nex cornuta</i>	Wax Myrtle <i>Myrica cerifera</i>	Sweetgum <i>Liquidambar styraciflua</i>
Japanese Privet <i>Ligustrum japonicum</i>	Bradford Pear <i>Pyrus calleryana</i>	Tulip Poplar <i>Liriodendron tulipifera</i>
Southern Wax Myrtle <i>Myrica cerifera</i>	Yaupon Holly <i>Nex vomitoria</i>	Southern Magnolia <i>Magnolia grandiflora</i>
Firethorn <i>Pyracantha coccin</i>	Loquat <i>Eriobotrya japonica</i>	Tupelo/Sour Gum <i>Nyssa sylvatica</i>
Dwarf Japanese Holly <i>Nex crenata</i>	Eastern Redbud <i>Cercis canadensis</i>	Slash Pine <i>Pinus elliotii</i>
Chinese Holly <i>Nex cornuta</i>	Fringe Tree <i>Chionanthus virginicus</i>	Longleaf Pine <i>Pinus palustris</i>
Dwarf Yaupon Holly <i>Nex vomitoria 'Nana'</i>	Hawthorn <i>Ostrya spp.</i>	Sycamore <i>Platanus occidentalis</i>
Chinese Juniper <i>Juniperus chinensis</i>	Silverbell <i>Ilex caroliniana</i>	White Oak <i>Quercus alba</i>
Indian Hawthorn <i>Raphiolepis sp.</i>		Live Oak <i>Quercus virginiana</i>
Red-Tip Photinia <i>Photinia</i>		Shumard Oak <i>Quercus shumardii</i>
Rhododendron/Azalea <i>Rhododendron sp.</i>		Southern Red Oak <i>Quercus falcata</i>



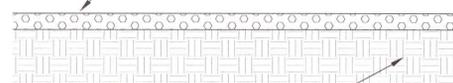
LANDSCAPING NOTES:

- THE CONTRACTOR IS TO BE AWARE OF UNDERGROUND UTILITIES THROUGHOUT LANDSCAPED AREAS THAT MAY NOT BE ILLUSTRATED ON THIS PLAN. CONTRACTOR SHALL VERIFY LOCATION AND PROTECT ALL UTILITIES DURING EXCAVATION AND/OR FINISH GRADING ACTIVITIES.
- THE CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGE TO EXISTING UTILITIES, WALKWAYS, PAVING OR OTHER ELEMENTS IN PLACE AT THE COMMENCEMENT OF HIS WORK, AT NO ADDITIONAL COST TO THE OWNER.
- ANY ADJUSTMENT TO THIS PLAN DUE TO EXISTING CONDITIONS NOT REFLECTED ON THIS PLAN WILL BE RESOLVED AT THE TIME OF INSTALLATION.
- FINISH GRADES FOR ALL PLANTING, SOIL AND SEED AREAS SHALL BE ESTABLISHED AND APPROVED BY THE OWNER/DEVELOPER PRIOR TO PLANTING, SODDING OR SEEDING.
- ALL TRASH AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE PRIOR TO ESTABLISHMENT OF FINISH GRADES.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTED HORTICULTURE PRACTICES. THIS SHALL INCLUDE PROPER PLANTING SOIL MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING, FERTILIZATION AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY OWNER/DEVELOPER.
- ALL PLANT MATERIALS USED SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1 OR BETTER AS GIVEN IN "GRADES AND STANDARDS FOR NURSERY PLANTS", CURRENT EDITION, STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRY, TALLAHASSEE, FLORIDA. IN ADDITION, ALL PLANT MATERIAL SHALL BE FREE FROM INSECT AND DISEASE.
- PLANT CONTAINERS SHALL BE REMOVED PRIOR TO PLANTING, IF PLANTS ARE NOT CONTAINER GROWN, REMOVE A MINIMUM OF THE TOP 1/3 OF BURLAP, FABRIC OR WIRE MESH.
- ROOT BALLS SHALL BE FLUSH WITH FINISHED GRADE.
- BACKFILL SHALL BE LOOSENEED EXISTING SOIL, REMOVE ROCKS, STICKS OR OTHER DELETERIOUS MATERIAL GREATER THAN 1" IN ANY DIRECTION PRIOR TO BACKFILLING. WATER AND TAMP TO REMOVE AIR POCKETS. IF EXISTING SOILS CONTAIN EXCESSIVE SAND, CLAY OR OTHER EXTRANEOUS MATERIAL NOT CONDUVIVE TO PROPER PLANT GROWTH CONTACT LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- SOIL RINGS SHALL BE CONSTRUCTED OF EXISTING SOIL AT THE OUTER EDGE OF THE TREE PLANTING PIT WITH A HEIGHT AND WIDTH OF 4".
- STRAPPING SHALL BE MINIMUM 1" WIDE NYLON OR POLYPROPYLENE. GUYING MATERIAL IN CONTACT WITH TREE SHALL BE SOFT, PLIABLE, FLEXIBLE RUBBER.
- SABAL PALMS (IF PLANTED) MAY BE HURRICANE CUT. ALL OTHERS MUST HAVE FRONDS TIED WITH BIODEGRADABLE STRAP. TRUNKS SHALL HAVE NO SCARS OR SANDING.
- NO PROPOSED IRRIGATION AT THIS TIME. OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE AND HEALTHY GROWTH OF ALL PLANTED MATERIAL.
- ALL GREEN AREAS FOUND WITHIN THE PROJECT BOUNDARIES ARE TO BE FULLY STABILIZED PRIOR TO REQUESTING FINAL INSPECTION. AREAS NOT ILLUSTRATED AS SODDED OR CONTAINING CYPRESS MULCH MUST BE SEEDED.

ESCAMBIA COUNTY LANDSCAPING REQUIREMENTS:

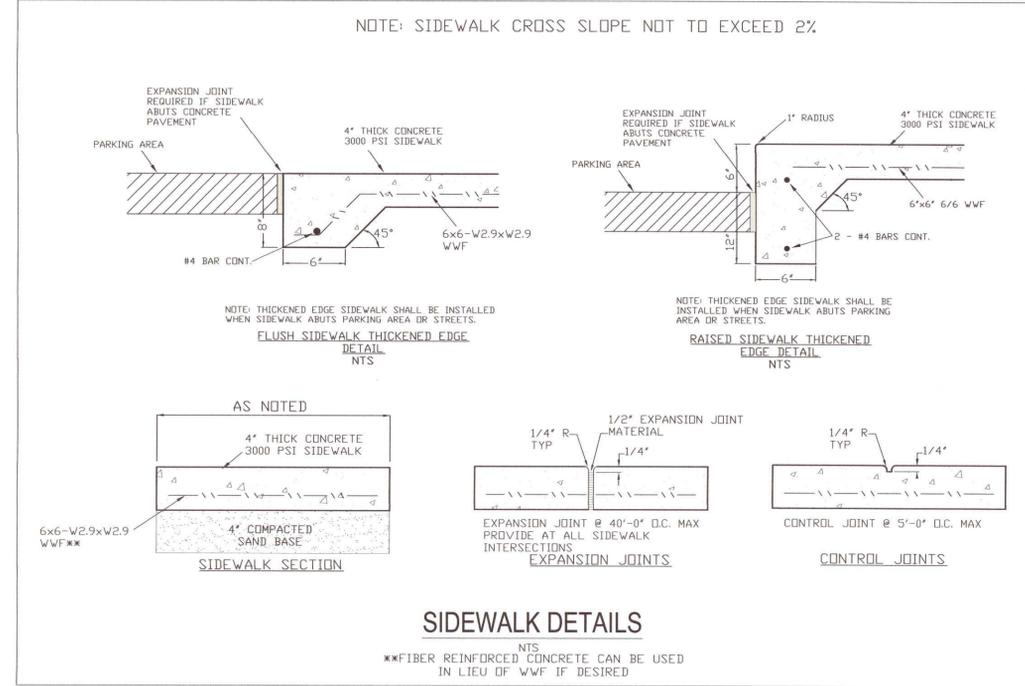
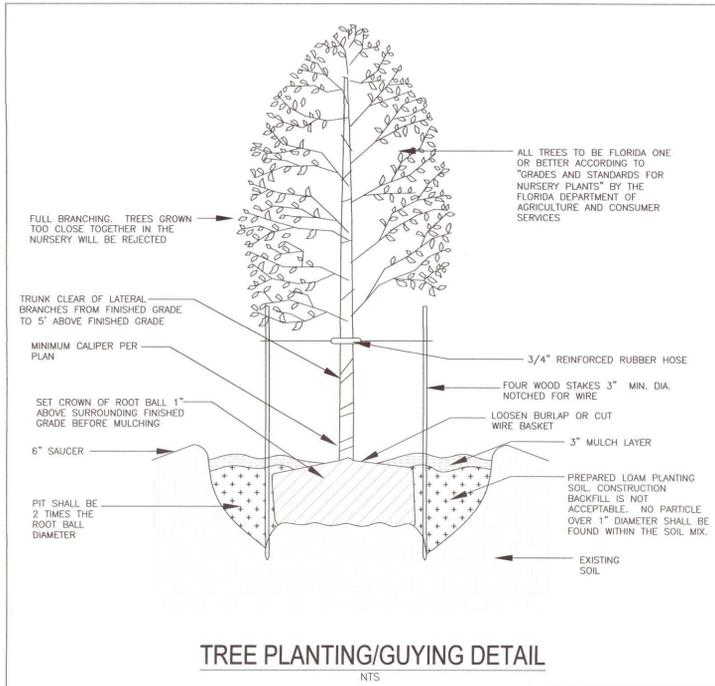
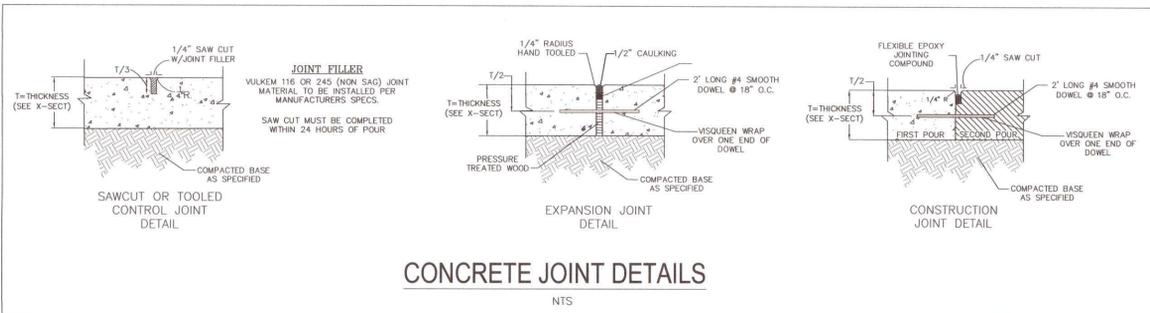
- 15 PERCENT OF THE TOTAL DEVELOPABLE SITE SHALL BE DEVOTED TO LANDSCAPING/GREEN SPACE.
- QUALITY: ALL PLANTS REQUIRED BY THIS SECTION SHALL CONFORM TO THE STANDARDS FOR FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF "GRADES AND STANDARDS FOR NURSERY PLANTS", DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- SPECIES: ALL LANDSCAPING SHALL UTILIZE NATIVE PLANT SPECIES OR THOSE SPECIES LISTED IN THE FLORIDA-FRIENDLY LANDSCAPING GUIDE TO PLANT SELECTION AND LANDSCAPE DESIGN.
- TREES: TREES PLANTED TO FULFILL THE MINIMUM LANDSCAPE REQUIREMENTS OF THIS ARTICLE SHALL NORMALLY ATTAIN A MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES OR GREATER MEASURED AT FOUR INCHES ABOVE ROOT BALL AT PLANTING. THE FOLLOWING ADDITIONAL CRITERIA APPLY:
 - NON-NATIVE SPECIES: NON-NATIVE SPECIES ARE LIMITED TO 25 PERCENT OR LESS OF THE TOTAL REQUIRED TREES PLANTED.
 - DIVERSITY: THE DIVERSITY OF ANY TREES REQUIRED TO BE PLANTED ON A SITE SHALL COMPLY WITH THE FOLLOWING LIMITS TO AVOID UNIFORM SITE TREE DECLINE FROM PESTS OR DISEASE:
 - A MAXIMUM OF 67% OF THE TOTAL TREES TO BE PLANTED MAY BE OF THE SAME SPECIES.
 - USE OF PALMS: PALMS DO NOT COMPLY WITH DEFINITION OF TREE FOR THE PURPOSES OF THESE LANDSCAPING PROVISIONS. HOWEVER, WIND-RESISTANT SPECIES MAY BE SUBSTITUTED AT THE RATIO OF TWO PALMS FOR ONE REQUIRED TREE FOR UP TO 50 PERCENT OF TREES REQUIRED FOR DEVELOPMENT ON SANTA ROSA ISLAND OR PERDIDO KEY, EXCLUDING ANY TREES REQUIRED SPECIFICALLY FOR BUFFERING OR REPLACEMENTS FOR PROTECTED TREE REMOVAL. SUCH PALMS INCLUDE: DATE PALM (PHOENIX SPP. EXCEPT P. RECLINATA) AND CABBAGE OR SABAL, (SABAL PALMETTO).
 - ALL SHRUBS SHALL BE A MINIMUM OF 12 INCHES IN HEIGHT AT TIME OF PLANTING.
 - TURF GRASS: CONSISTENT WITH FLORIDA-FRIENDLY PRACTICES, DEVELOPMENT SHOULD CONSOLIDATE AND LIMIT THE USE OF MOST TURF GRASSES TO ESSENTIAL AREAS. WHEN USED, GRASS SHALL BE SPECIES NORMALLY GROWN AS PERMANENT LAWNS IN ESCAMBIA COUNTY. ALL SOIL SHALL BE CLEAN AND REASONABLY FREE OF WEEDS, NOXIOUS PESTS, AND DISEASES. WHEN GRASS AREAS ARE TO BE SEEDED, SPRIGGED, OR PLUGGED, SPECIFICATIONS MUST BE SUBMITTED. SUBSTANTIAL COVERAGE MUST BE ACHIEVED WITHIN 180 DAYS AND NURSE GRASS SHALL BE SOWN FOR IMMEDIATE EFFECTS AND PROTECTION UNTIL COVERAGE IS OTHERWISE ACHIEVED.
- ALL PLANTS SHALL CONFORM TO THE STANDARDS OF FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF "GRADES AND STANDARDS OF NURSERY PLANTS", DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- ALL PROTECTED TREES LOCATED ON SITE SHALL REMAIN UNTIL THE APPROPRIATE PERMITS (ESC. CO. DEVELOPMENT ORDER, ESC. CO. SITE WORK PERMIT, ESC. CO. BUILDING PERMIT, ETC.) ARE ISSUED FOR THE DEVELOPMENT.
- IF APPLICABLE, AT LEAST 50 PERCENT OF BUFFER TREES SHALL BE EVERGREEN SPECIES FOR EFFECTIVE BUFFERING YEAR-ROUND.

3"-#57 CRUSHED LIMESTONE (UNIFORM GRADE)



TYPICAL ROCK PARKING LOT SECTION
NTS

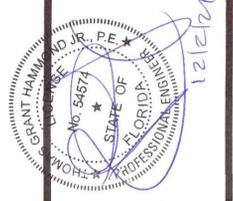
*NOTE: FINISHED SURFACE MUST WITHSTAND A MINIMUM OF 40 TONS



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HE

HAMMOND ENGINEERING, INC.
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ALABAMA AUTHORIZATION NO. 3277
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SITE DEVELOPMENT PLANS FOR ADVENTURE TROPIC JET SKI RENTALS CONSTRUCTION DETAILS	FLORIDA
DRAWN BY: CUG	DATE:
DESIGNED BY: RLS	BY:
CHECKED BY: TGH	
DATE: 11-09-21	
SCALE: AS SHOWN	
NOT RELEASED FOR CONSTRUCTION	