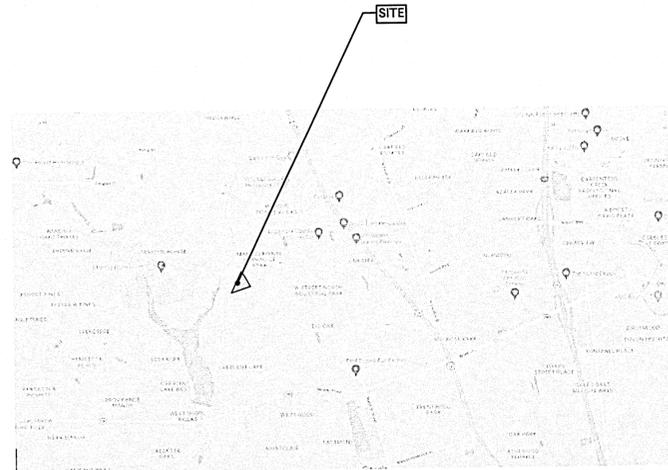


A NEW FACILITY FOR J.P.A. INC

ESCAMBIA COUNTY, FLORIDA
CMOB 210064



VICINITY MAP
NOT TO SCALE

DECEMBER 2, 2021

REVISED
COUNTY COMMENTS

SEQ. #	SHEET TITLE	rev./date
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T-101	TREE REPLACEMENT PLAN	12-27-21

Approved
ESCAMBIA COUNTY DRC PLAN REVIEW

DRC Chairman Signature: *[Signature]* Date: 1-5-22
Printed Name: *[Signature]*
Development Supervisor or Designer

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.



2039 Main Street
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ISSUE DATE
SUBMITTAL 11/05/2021
REVISION 11/19/2021
COUNTY COMMENTS 12/02/2021
sheet index 12/27/2021
ENGINEER: JS
DRAWN BY: AL

5045 COMMERCE PARK CIRCLE
JPA INC.
PENSACOLA, FL 32505

GMC CMOB-21-0064



COVER SHEET

G-001
6

UTILITY PLAN NOTES

1. THE CONTRACTOR SHALL CONTACT THE GOODWYN MILLS CAWOOD CONSTRUCTION SURVEILLANCE REPRESENTATIVE AND LOCAL JURISDICTIONAL INSPECTOR 48 HOURS BEFORE THE BEGINNING OF EACH PHASE OF CONSTRUCTION.
2. ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL, AND LOCAL CODES, AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.
3. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS HE DISCOVERS IN THE PLAN.
4. DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE FOR THE WORK TO BE UNACCEPTABLE.
5. THE CONTRACTOR IS REQUIRED TO USE THE ONE-CALL CENTER TELEPHONE NUMBER FOR THE PURPOSE OF COORDINATING THE MARKING OF UNDERGROUND UTILITIES.
6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER STEPS ARE NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING FACILITIES ON THESE PLANS, HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. CONTRACTOR TO CONTACT THE UTILITY COMPANIES FOR EXACT LOCATION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE.
7. THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBING CURBING, PAVING AND COMPACTED SUBGRADE.
8. UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATION. THE CONTRACTOR SHOULD SEEK ASSISTANCE FROM ALL UTILITY COMPANIES TO LOCATE AND PROTECT THEIR FACILITIES.
9. FIRE HYDRANT AND WATER MAINS TO BE INSTALLED AND UNDER PRESSURE BEFORE ANY COMBUSTIBLE CONSTRUCTION IS STARTED.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE BY HIS EQUIPMENT TO EXISTING UTILITIES, CROSS-DRAIN PIPES AND HEADWALLS.
11. ALL WATER & SANITARY SEWER CONSTRUCTION METHODS & MATERIALS SHALL CONFORM TO THE ECUA STANDARD SPECIFICATIONS.
12. UNLESS DUCTILE IRON PIPE IS USED, MINIMUM COVER FOR SANITARY SEWER SHALL BE THREE(3) FEET.
13. NEOPRENE COUPLINGS WITH STAINLESS STEEL BAND AND SHEAR RINGS ARE REQUIRED FOR JOINING DIFFERENT TYPES OF SANITARY SEWER PIPES.
14. THE CONTRACTOR SHALL EXCAVATE FOR NEW SEWER TO ELEVATIONS SHOWN ON PLANS. THE CONTRACTOR SHALL TAKE EVERY NECESSARY PRECAUTION TO PROTECT EXISTING SEWER DURING CONSTRUCTION OPERATIONS. ALL EXCAVATION, SHORING AND BRACING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
15. THE CONTRACTOR SHALL EXPLORE AHEAD 200 FEET SO ADJUSTMENTS CAN BE MADE IN THE ALIGNMENT OF THE PIPE IN CASE OF CONFLICTS WITH EXISTING OR PROPOSED STRUCTURES, UTILITIES AND PIPING. ANY CONFLICTS EXPERIENCED DUE TO NEGLIGENCE OF THIS PROVISION SHALL BE CORRECTED AT THE CONTRACTORS EXPENSE.
16. ALL EXCESS MATERIAL FROM EXCAVATION SHALL BE DISPOSED OF BY THE CONTRACTOR. COST FOR THIS WORK SHALL BE INCLUDED IN OTHER ITEMS OF WORK.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING PIPE FROM FLOATING. IF PIPE FLOATS DURING CONSTRUCTION, THE CONTRACTOR SHALL RELAY PIPE TO GRADE AT HIS EXPENSE.
18. THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND INVERT OF SANITARY SEWER FOR CONNECTION TO EXISTING OR PROPOSED SEWER SYSTEM.
19. THE WATER SYSTEM IN THE PUBLIC RIGHT-OF-WAY WILL BECOME THE PROPERTY OF THE LOCAL UTILITIES BOARD UPON COMPLETION ONLY AFTER ACCEPTANCE BY ECUA.
20. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHED AND WET AREAS. THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
21. ANY DAMAGE TO EXISTING SIDEWALK, CURBING, OR DRAINAGE FACILITIES DURING CONSTRUCTION SHALL BE REPLACED/REPAIRED AT THE EXPENSE OF THE CONTRACTOR.

SITE NOTES

1. ALL CONCRETE SHALL BE CLASS A, 3000 PSI AT 28 DAYS COMPRESSIVE STRENGTH WITH A MAXIMUM SLUMP OF 2" WHEN PLACED BY SLIP FORMING AND 4" WHEN PLACED BY NON SLIP FORMING UNLESS NOTED OTHERWISE. ALL EXPOSED CONCRETE TO HAVE A FINE BROOM FINISH.
2. ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER OR TENANT.
3. ALL DIMENSIONS ARE FACE OF CURB AND FACE OF BUILDING OR AS NOTED.
4. NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY PER MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, PART VI, SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION.
5. NO SEPARATE PAY ITEM FOR REMOVAL OF ASPHALT, CONCRETE, PIPE, INLETS, ETC. WORK TO BE CONSIDERED A SUBSIDIARY ITEM OF CLEARING AND GRUBBING.

GRADING AND DRAINAGE NOTES

1. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
2. ALL SILT BARRIERS MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL SILT BARRIER AND DETENTION FACILITIES ARE CONSTRUCTED.
3. ALL SEDIMENT CONTROL DEVICES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.
4. ALL SLOPES SHALL BE STABILIZED AS SOON AS POSSIBLE.
5. COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED AT OR NEAR OPTIMUM MOISTURE. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
6. REFER TO SITE GEOTECHNICAL REPORT FOR FILL REQUIREMENTS.
7. MAXIMUM SLOPE OF EMBANKMENT SHALL BE 3.0 FEET HORIZONTAL TO 1.0 FOOT VERTICAL.
8. PROPOSED CONTOUR INTERVALS ARE AS LABELED. ALL PROPOSED CONTOURS ARE FINISHED GRADES.
9. THE CONTRACTOR WILL INSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED OR REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS IN AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
10. EXCESS EARTH CUT MATERIAL, IF ANY, SHALL BECOME THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE APPROVED TO BE PLACED ON SITE BY THE OWNER.
11. ALL STORM DRAINAGE PIPE SHALL BE LAID ON SMOOTH CONTINUOUS GRADES WITH NO VISIBLE BENDS AT JOINTS.
12. ALL STORM DRAINAGE INLET STRUCTURES SHALL HAVE METAL FRAME AND COVER FOR ACCESS.
13. THE CONTRACTOR SHALL PROVIDE ANY EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
14. SOILS TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. THE SOILS ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. ALL DRAINAGE SWALES MUST BE GRASSED AND RIP-RAP MUST BE PLACED AS SHOWN TO CONTROL EROSION.
2. SILT FENCE MUST MEET THE REQUIREMENTS OF LOCAL JURISDICTIONAL AGENCY, SAID REQUIREMENTS AS SHOWN BY THESE PLANS.
3. DISTURBED AREAS SHALL BE VEGETATED AFTER CONSTRUCTION.
4. ADDITIONAL EROSION CONTROL MEASURES OR SILT BARRIERS TO BE PLACED AS SHOWN AND/OR DIRECTED BY THE PROJECT ENGINEER AND/OR LOCAL JURISDICTIONAL INSPECTOR.
5. WHEN ANY CONSTRUCTION BORDERS A DRAINAGE COURSE:
 - A. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY BUILDING OR OTHER EXCAVATION SPOIL DIRT, CONSTRUCTION TRASH OR DEBRIS, ETC., FROM THE DRAINAGE AREA SHOWN HEREON IN AN EXPEDITIOUS MANNER AS CONSTRUCTION PROGRESSES.
 - B. THE CONTRACTOR HEREBY AGREES TO STOP ALL WORK AND RESTORE THESE AREAS IMMEDIATELY UPON NOTIFICATION BY THE LOCAL JURISDICTIONAL INSPECTOR AND/OR PROFESSIONAL ENGINEER.
6. FOR ALL CONSTRUCTION ALONG AND/OR ACROSS WATERWAYS, BANK PROTECTION AND STABILIZATION SHALL BE REQUIRED AS PER LOCAL JURISDICTIONAL EROSION LAWS.
7. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE MAINTAINED IN PROPER WORKING ORDER UNTIL ALL DISTURBED AREAS ARE STABILIZED. CONSTRUCTION ENTRANCE PADS SHALL BE INSTALLED BY THE CONTRACTOR AT CONSTRUCTION ACCESS POINTS PRIOR TO LAND DISTURBANCE AND SHALL BE MAINTAINED FOR DURATION OF THE PROJECT.
8. A COPY OF THE APPROVED LAND DISTURBANCE PLAN SHALL BE PRESENT ON THE SITE WHENEVER LAND DISTURBING ACTIVITY IS IN PROGRESS.
9. CONSTRUCT SILT FENCE ALONG THE DOWNSTREAM SIDE OF ALL PROPOSED FILL CONSTRUCTION.
10. EROSION CONTROL DEVICES SHALL BE INSTALLED IMMEDIATELY AFTER GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
11. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED. CONTRACTOR SHALL CLEAN OUT ALL SEDIMENT PONDS WHEN REQUIRED BY THE ENGINEER OR LOCAL JURISDICTIONAL INSPECTOR. CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES AT THE END OF EACH WORKING DAY TO ENSURE MEASURES ARE FUNCTIONING PROPERLY.
12. THE CONTRACTOR SHALL REMOVE ACCUMULATED SILT WHEN THE SILT IS WITHIN 12" OF THE TOP OF THE SILT FENCE UTILIZED FOR EROSION CONTROL. IN THE DETENTION POND, SILT SHALL BE REMOVED WHEN A DEPTH OF 18" HAS ACCUMULATED AT THE WEIR.
13. ALL EASEMENTS DISTURBED MUST BE DRESSED AND GRASSED TO CONTROL EROSION IN ACCORDANCE WITH EASEMENT PLATS PRIOR ACCEPTANCE.
14. SILT BARRIERS TO BE PLACED AT DOWNSTREAM TOE OF ALL CUT AND FILL SLOPES.
15. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
16. TREE PROTECTION AND EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
17. ALL SILT BARRIERS MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL SILT BARRIER AND DETENTION FACILITIES ARE CONSTRUCTED.
18. ALL SEDIMENT CONTROL DEVICES ARE TO BE CONSTRUCTED AND FULLY OPERATIONAL PRIOR TO ANY OTHER CONSTRUCTION OR GRADING.
19. ALL DISTURBED AREAS TO BE GRASSED AS SOON AS POSSIBLE.
20. ALL SLOPES SHALL BE STABILIZED AS SOON AS POSSIBLE.
21. GRASS AREAS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED WITH GRASS IN KIND. IN AREAS OF INDECIPHERABLE GRASSES-USE CENTIPEDE.
22. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERFORM REQUIRED MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL DEVICES TO ENSURE THEIR FUNCTION AT ALL TIMES.
23. THE CONTRACTOR SHALL REMOVE ALL ACCUMULATED SEDIMENT FROM THE DETENTION POND UPON PROJECT COMPLETION.
24. DETENTION PONDS SHALL BE STABILIZED BY MEANS OF GRASSING, SODDING, EROSION CONTROL NETTING, OR A COMBINATION THEREOF.

STORM WATER NOTES

- a) THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
- b) ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
- c) NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
- d) THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
- e) RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
- f) ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED.
- g) ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.
- h) DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
- i) CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
- j) THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3472. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
- k) PRIOR TO CONSTRUCTION A SEPARATE BUILDING INSPECTION DEPARTMENT PERMIT(S) SHALL BE OBTAINED FOR ALL RETAINING WALL(S) HIGHER THAN 2 FEET.
- l) NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770.
- m) ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.
- n) THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHTS-OF-WAY.
- o) NO PROTECTED (12" DBH) TREES WILL BE REMOVED, DESTRUCTIVELY DAMAGED, MUTILATED, RELOCATED, DISFIGURED, DESTROYED, CUT DOWN, OR EXCESSIVELY PRUNED DURING CONSTRUCTION ACTIVITIES UNLESS OTHERWISE APPROVED.
- p) PROPOSED TREES SHALL BE NATIVE, FLORIDA GRADE 1 TREES OR BETTER, AT A MINIMUM OF 2.5 CALIPER INCHES.
- q) A SIGN PERMIT SHALL BE OBTAINED BY THE CONTRACTOR AT TIME OF BUILDING PERMIT ISSUANCE.
- r) THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL INFRASTRUCTURE LOCATED WITHIN THE DEVELOPMENT.
- s) ALL CONSTRUCTION ACTIVITIES SHALL ADHERE TO THE AMERICANS WITH DISABILITIES ACT (ADA).
- t) WHERE CONFLICTS BETWEEN THE WRITTEN SPECIFICATIONS AND THESE PLANS ARISE, THE ITEMS DEPICTED ON THESE PLANS SHALL GOVERN. THE CONTRACTOR SHALL DEFER TO THE SPECIFICATIONS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION FOR MATTERS PERTAINING TO SITE WORK AND ON ALL MATTERS WHEREIN THE WRITTEN SPECIFICATIONS ARE SILENT.
- u) ALL UTILITIES ARE TO BE CONSTRUCTED PERTAINING TO THE SPECIFICATIONS OF THE EMERALD COAST UTILITY AUTHORITY. WHERE CONFLICTS EXIST BETWEEN THE WRITTEN SPECIFICATIONS AND THESE PLANS, THE CONTRACTOR SHALL DEFER TO THE ECUA SPECIFICATIONS.
- v) A HEALTHY GROWTH OF VEGETATION IN ALL DISTURBED AREAS SHALL BE ACHIEVED PRIOR TO THE COUNTY FINAL SITE INSPECTION.



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ISSUE DATE	REVISION
11/19/2021	1
12/02/2021	2

5045 COMMERCE PARK CIRCLE
JPA INC.
PENSACOLA, FL 32505

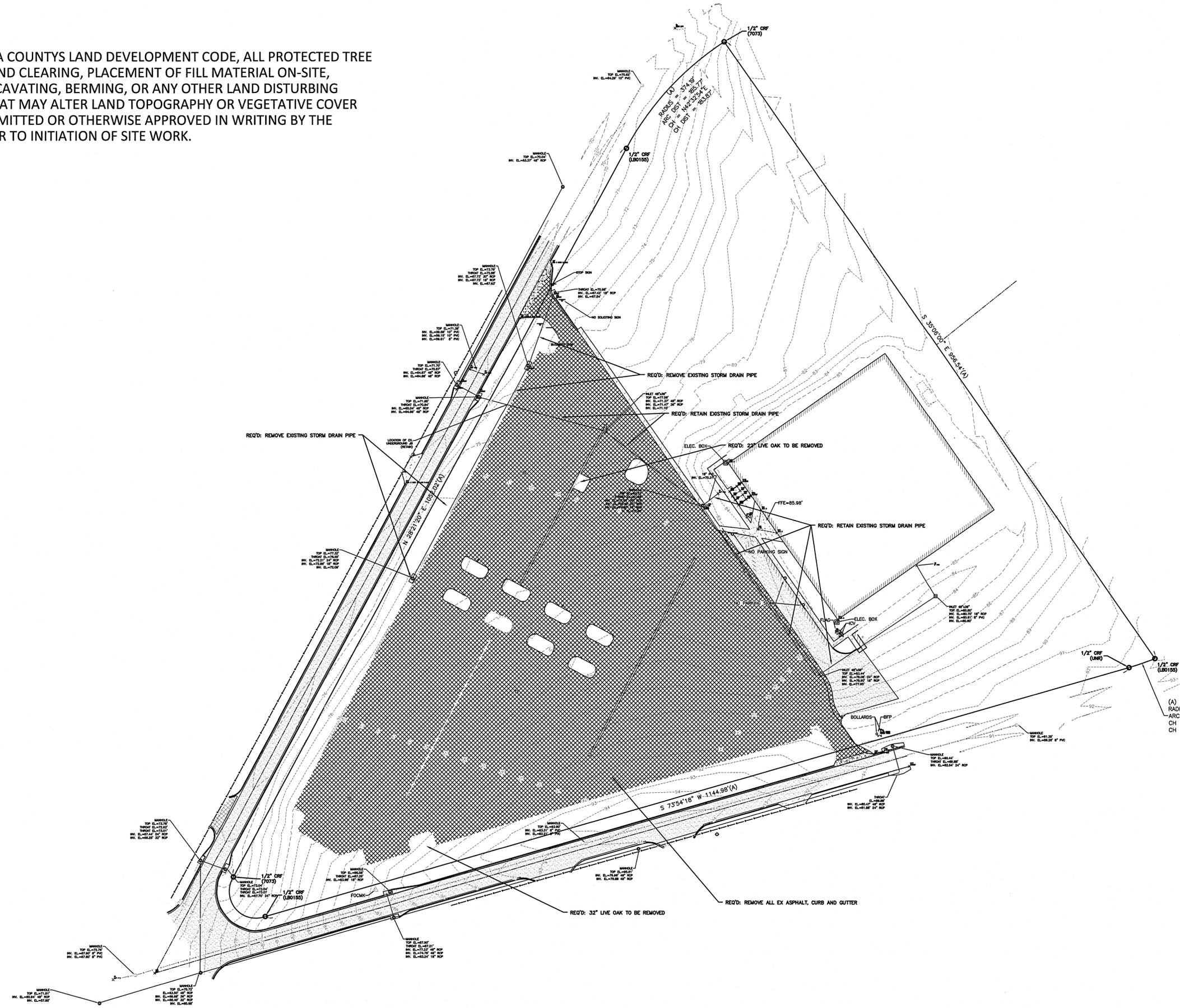
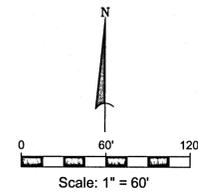
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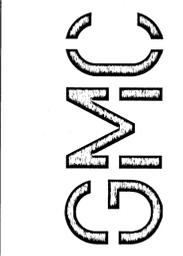
PROJECT NOTES

C-001

NOTE
 PER ESCAMBIA COUNTY'S LAND DEVELOPMENT CODE, ALL PROTECTED TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL MATERIAL ON-SITE, GRADING, EXCAVATING, BERMING, OR ANY OTHER LAND DISTURBING ACTIVITIES THAT MAY ALTER LAND TOPOGRAPHY OR VEGETATIVE COVER SHALL BE PERMITTED OR OTHERWISE APPROVED IN WRITING BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.



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ISSUE DATE	ISSUE DESCRIPTION
SUBMITTAL 11/5/2021	
REVISION 1 11/19/2021	
COUNTY COMMENTS 12/02/2021	

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 PENSACOLA, FL 32505

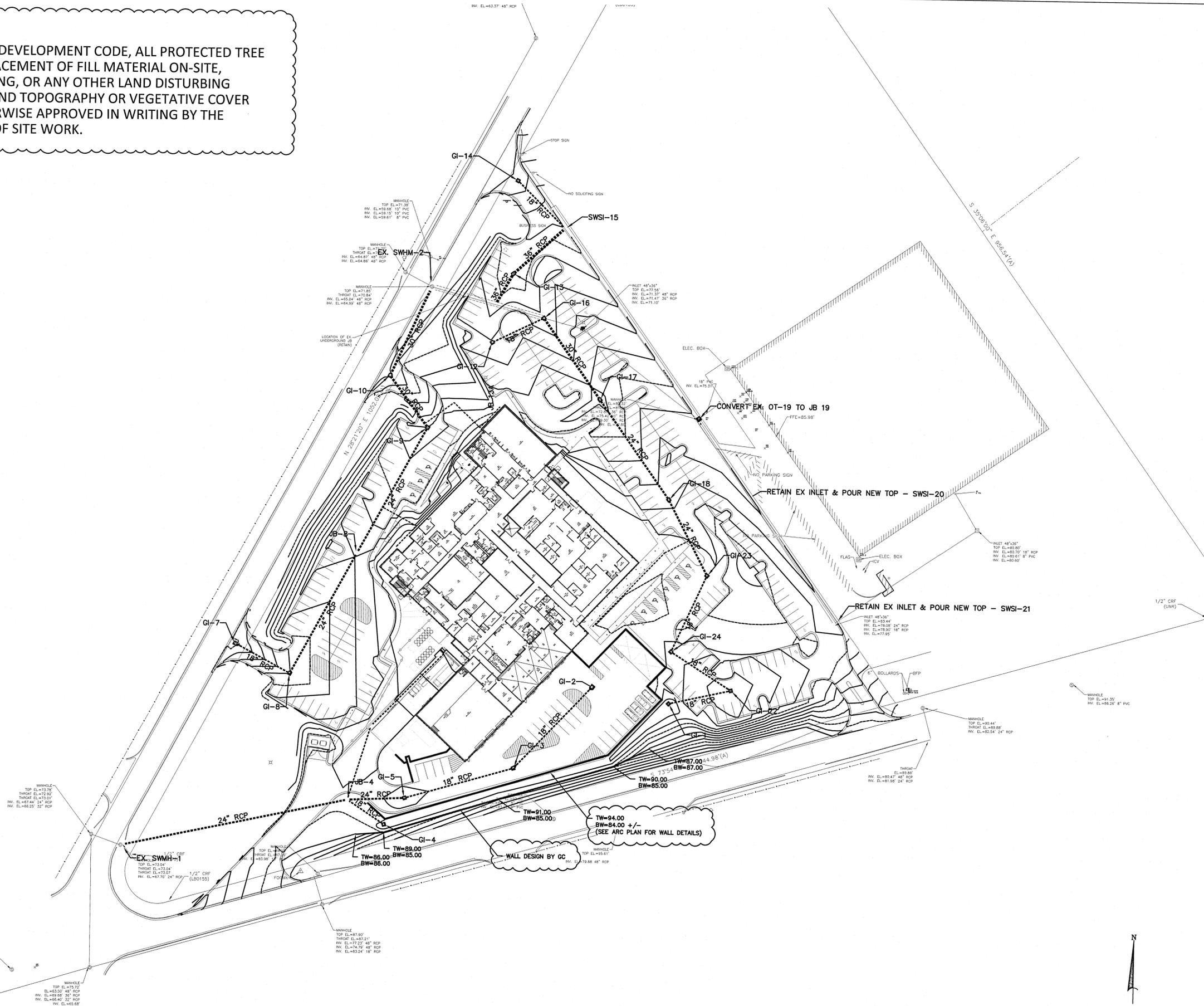
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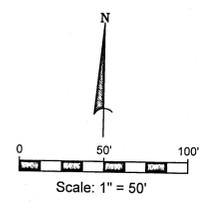
DEMOLITION PLAN

C-002

NOTE
 PER ESCAMBIA COUNTY'S LAND DEVELOPMENT CODE, ALL PROTECTED TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL MATERIAL ON-SITE, GRADING, EXCAVATING, BERMING, OR ANY OTHER LAND DISTURBING ACTIVITIES THAT MAY ALTER LAND TOPOGRAPHY OR VEGETATIVE COVER SHALL BE PERMITTED OR OTHERWISE APPROVED IN WRITING BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.



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2039 Main Street
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ISSUE DATE	DATE
SUBMITTAL	11/5/2021
REVISION	11/9/2021
COUNTY COMMENTS	12/02/2021
ADD. COUNTY COMMENTS	12/27/2021

ENGINEER: JS	JWS
DRAWN BY: AL	AL

5045 COMMERCE PARK CIRCLE
 JPA INC.
 PENSACOLA, FL 32505

GMC CMOB-21-0064



OVERALL GRADING PLAN

C-200

NOTE
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MANHOLE
 TOP EL.=77.32'
 THROAT EL.=76.55'
 INV. EL.=72.21' 24" RCP
 INV. EL.=72.86' 18" RCP
 INV. EL.=72.09'

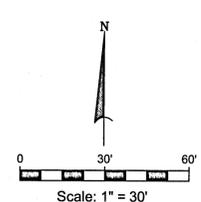
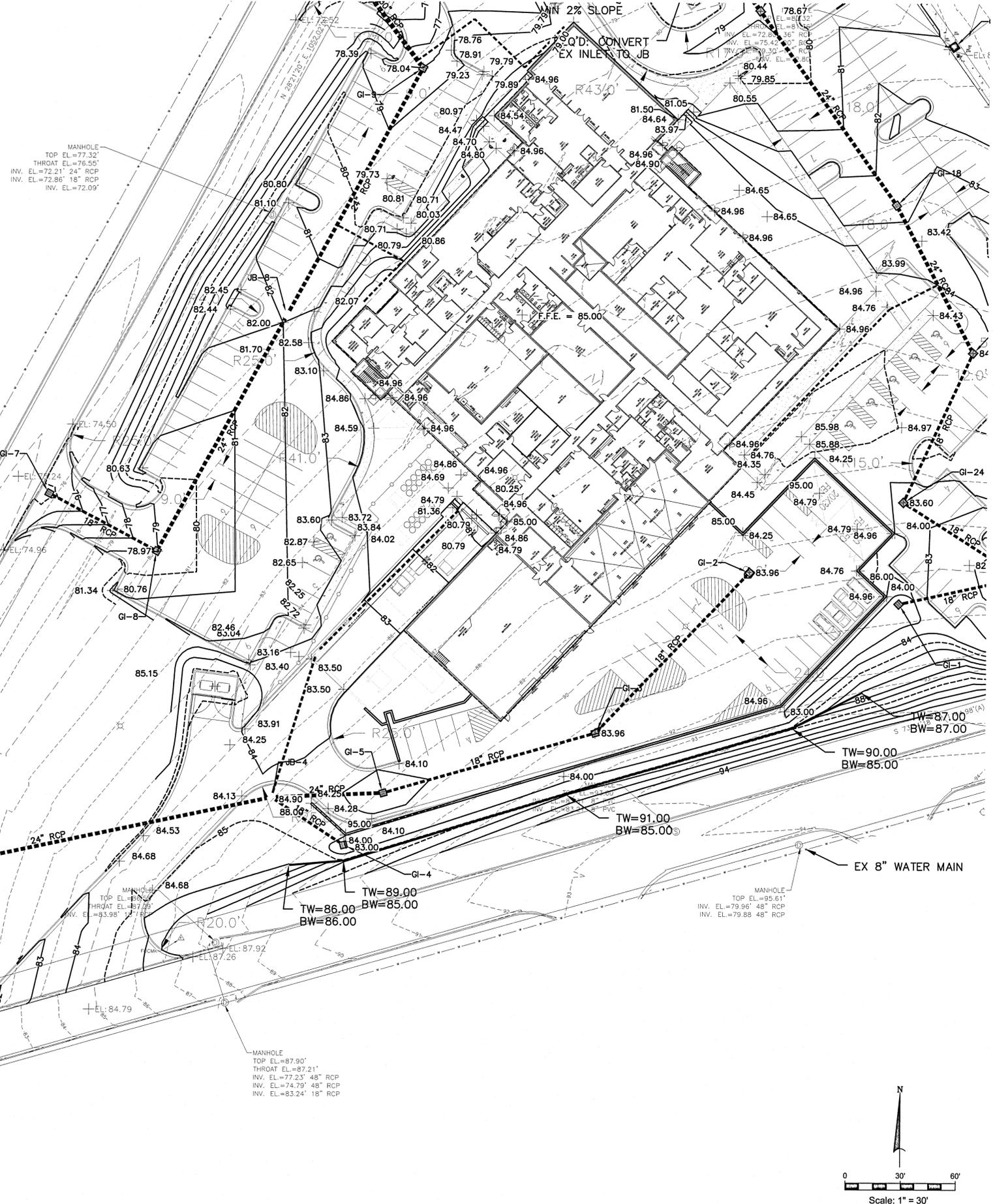
MANHOLE
 TOP EL.=73.78'
 THROAT EL.=72.92'
 THROAT EL.=73.01'
 INV. EL.=67.44' 24" RCP
 INV. EL.=66.25' 32" RCP

MANHOLE
 TOP EL.=72.76'
 INV. EL.=67.90' 8" PVC
 INV. EL.=67.60' 6" PVC

MANHOLE
 TOP EL.=71.81'
 INV. EL.=60.94' 48" RCP
 INV. EL.=57.95'

MANHOLE
 TOP EL.=75.72'
 EL.=63.50' 48" RCP
 EL.=69.68' 36" RCP
 INV. EL.=66.40' 32" RCP
 INV. EL.=65.68'

MANHOLE
 TOP EL.=87.90'
 THROAT EL.=87.21'
 INV. EL.=77.23' 48" RCP
 INV. EL.=74.79' 48" RCP
 INV. EL.=83.24' 18" RCP



2039 Main Street
 Daphne, AL 36526
 T 251.626.2626
 GMCNETWORK.COM

ISSUE DATE	REVISION
SUBMITTAL 11/15/2021	REVISION 11/19/2021
COUNTY COMMENTS 12/02/2021	

ENGINEER: JS
 DRAWN BY: AL

5045 COMMERCE PARK CIRCLE
 JPA INC.
 PENSACOLA, FL 32505

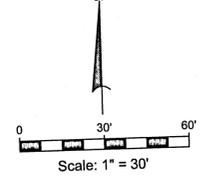
GMC CMOB-21-0064



GRADING PLAN

C-201

NOTE
 PER ESCAMBIA COUNTY'S LAND DEVELOPMENT CODE, ALL PROTECTED TREE
 REMOVAL, LAND CLEARING, PLACEMENT OF FILL MATERIAL ON-SITE,
 GRADING, EXCAVATING, BERMING, OR ANY OTHER LAND DISTURBING
 ACTIVITIES THAT MAY ALTER LAND TOPOGRAPHY OR VEGETATIVE COVER
 SHALL BE PERMITTED OR OTHERWISE APPROVED IN WRITING BY THE
 COUNTY PRIOR TO INITIATION OF SITE WORK.



GMC

2039 Main Street
 Daphne, AL 36526
 T 251.626.2626
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ISSUE DATE	ISSUE DESCRIPTION
SUBMITTAL 11/5/2021	
REVISION 11/19/2021	
COUNTY COMMENTS 12/02/2021	

ENGINEER: JS
 DRAWN BY: AL

5045 COMMERCE PARK CIRCLE
 JPA INC.
 PENSACOLA, FL 32505

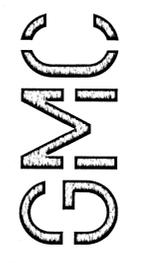
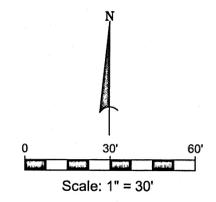
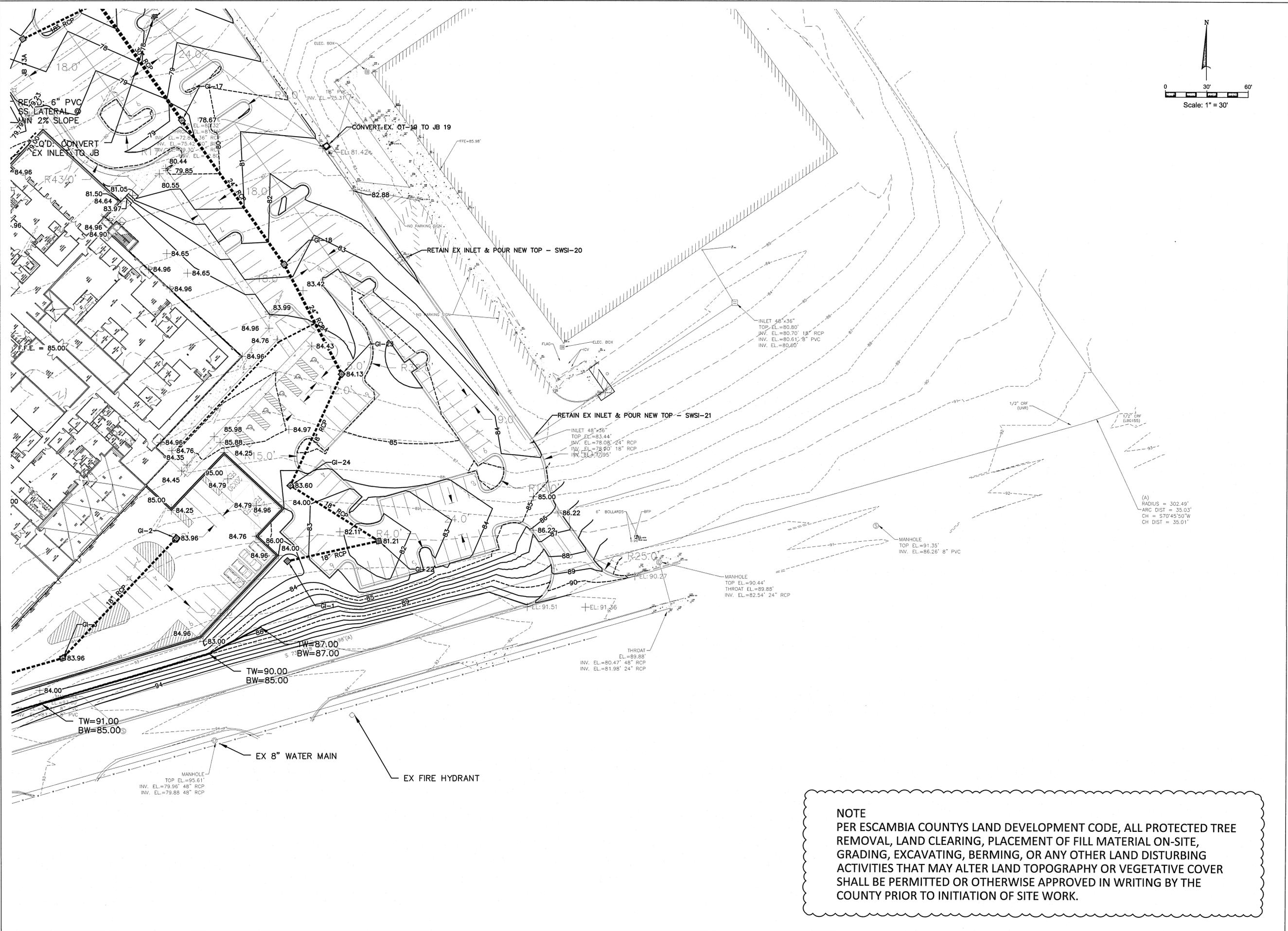
GMC CMOB-21-0064



GRADING PLAN

C-202

DRAWING FILE: M:\CADD\JPA Inc\GMC\2021\054-FDLE Facility Pensacola\DWG\C-202-GRADING PLAN.dwg
 PLOTTED: Dec 03, 2021 - 9:53am



2039 Main Street
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ISSUE DATE	
SUBMITTAL	11/5/2021
REVISION	11/19/2021
COUNTY COMMENTS	12/02/2021
ENGINEER: JS	
DRAWN BY: AL	

5045 COMMERCE PARK CIRCLE
 JPA INC.
 PENSACOLA, FL 32505

GMC CMOB-21-0064

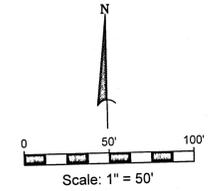


GRADING PLAN

C-203

NOTE
 PER ESCAMBIA COUNTY'S LAND DEVELOPMENT CODE, ALL PROTECTED TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL MATERIAL ON-SITE, GRADING, EXCAVATING, BERMING, OR ANY OTHER LAND DISTURBING ACTIVITIES THAT MAY ALTER LAND TOPOGRAPHY OR VEGETATIVE COVER SHALL BE PERMITTED OR OTHERWISE APPROVED IN WRITING BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.

C:\DRAWING FILES\2021\21-0064\JPA\DWG\21-0064-FDL-FL-ESC-Facility\Parasolid\DWG\C-203-GRADING PLAN.dwg
 PLOTTED: Dec 03, 2021 10:03am



2039 Main Street
Daphne, AL 36526
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GMCNETWORK.COM

ISSUE DATE	ISSUE DESCRIPTION
SUBMITTAL 11/05/2021	
REVISION 11/19/2021	
COUNTY COMMENTS 12/02/2021	
ADD. COUNTY COMMENTS 12/27/2021	

ENGINEER: JS	JWS
DRAWN BY: AL	AL

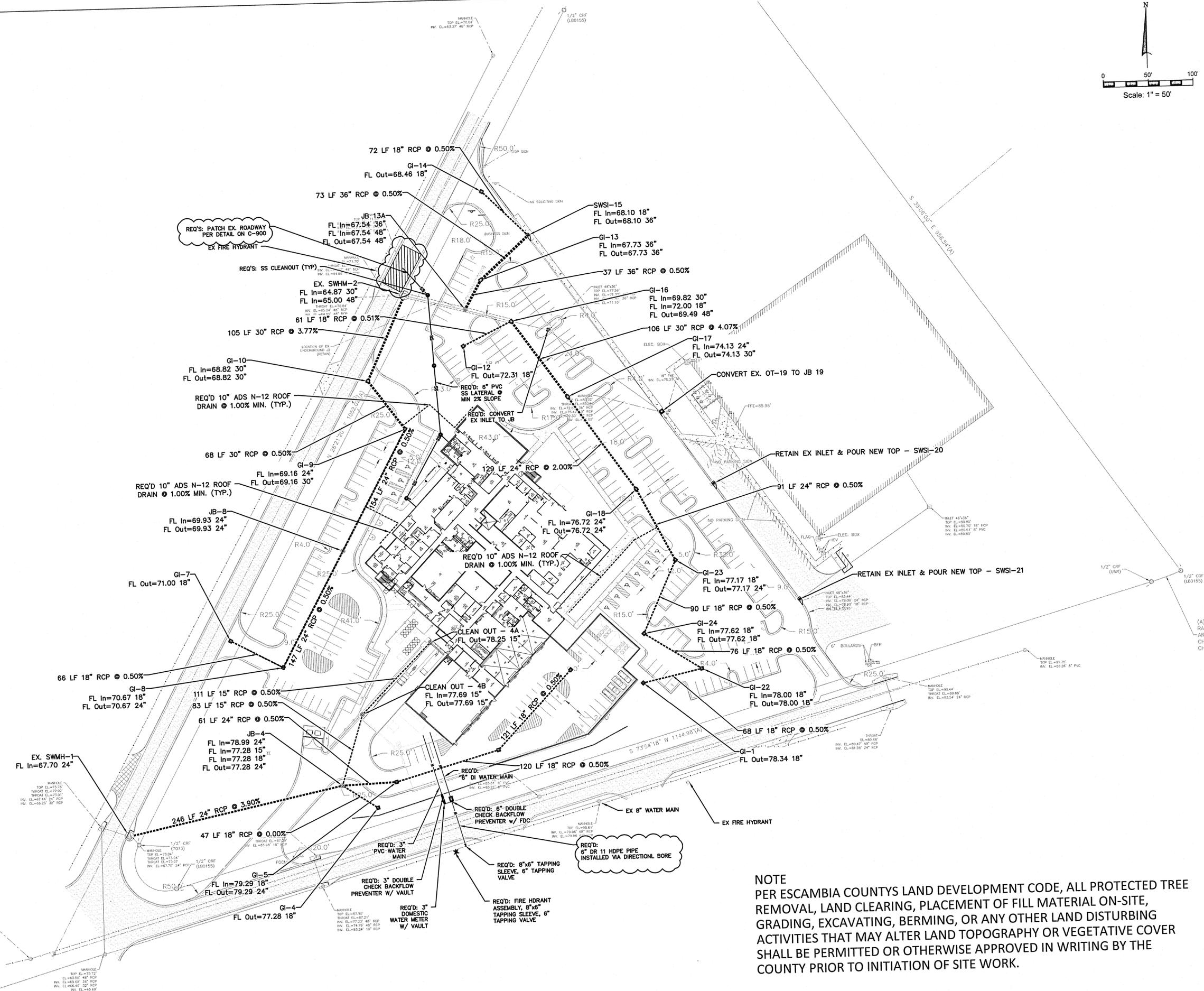
5045 COMMERCE PARK CIRCLE
JPA INC.
PENSACOLA, FL 32505

GMC CMOB-21-0064



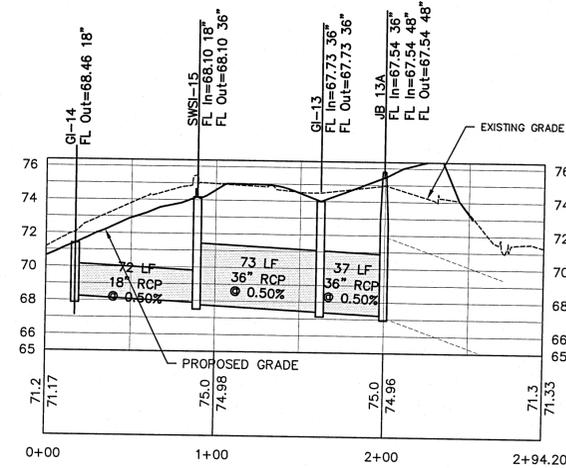
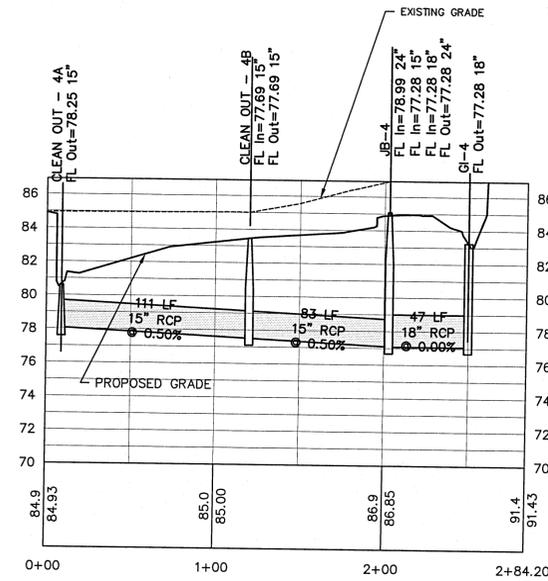
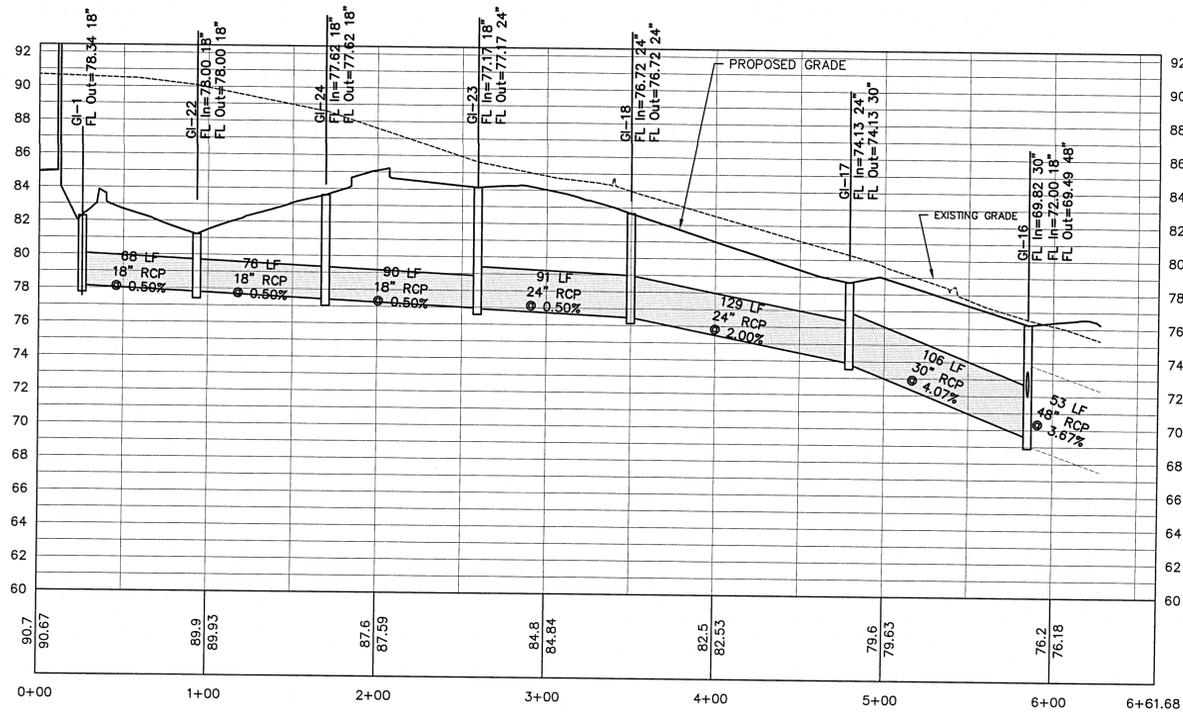
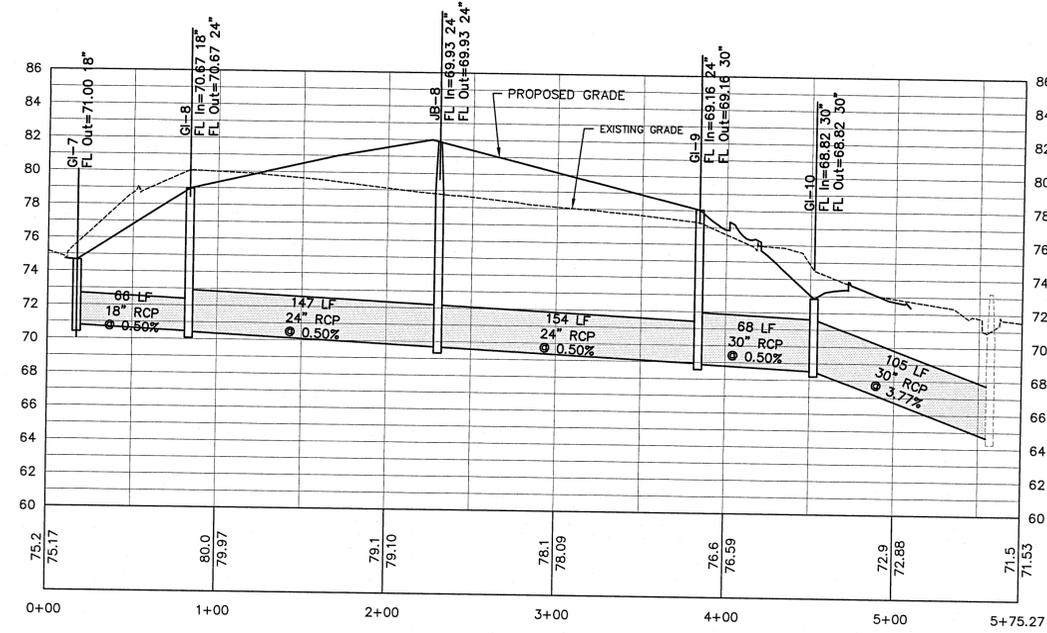
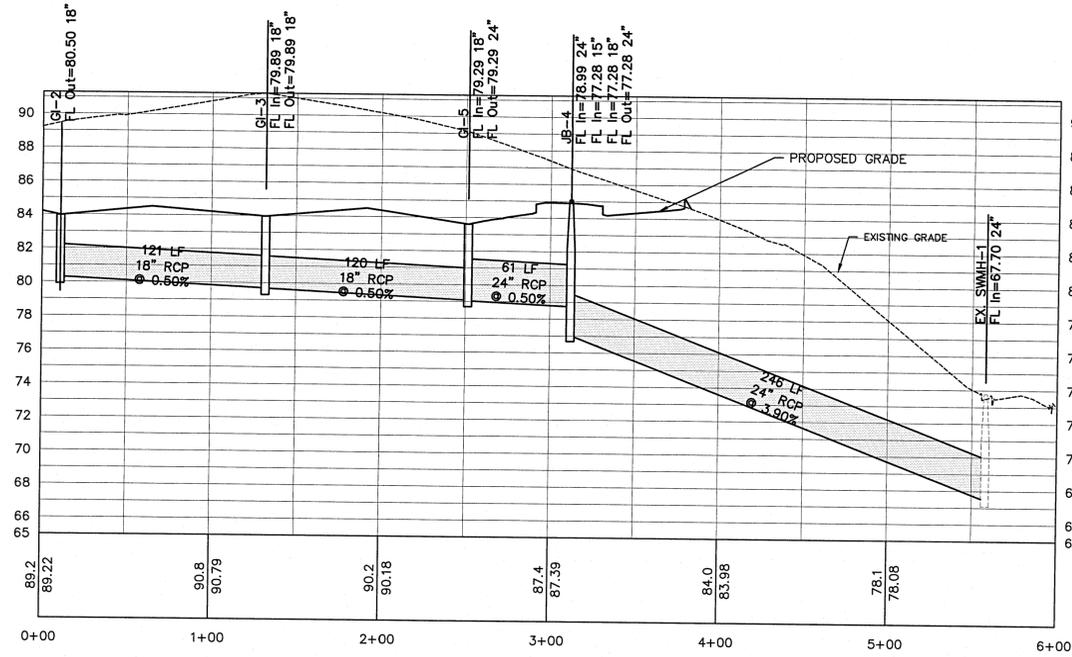
UTILITY PLAN

C-300



DRAWING FILE: W:\C\G\B\Proj\NFA Inc\C\MOB\0064\4DLE Facility Pensacola\10 DWG\C-300-UTILITY PLAN.dwg
PLOTTED: Dec 27, 2021, 3:05pm

SCALE
 1" = 50' HORIZONTAL
 1" = 5' VERTICAL



DRAWING FILE: W:\C\MOB Proj\PA, Inc\CMOB21-0064-FDLE Facility\Parasola\DWG\C300\UTILITY PLAN.dwg
 PLOTTED: Dec 03, 2021 - 10:01am

This drawing is and shall remain the property of Goodwin, Mills and Cooney, Inc. (GMC) and Goodwin Mill Co., LLC (GMC)



2039 Main Street
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ISSUE DATE	
SUBMITTAL	11/5/2021
REVISION	11/9/2021
COUNTY COMMENTS	12/02/2021
ENGINEER: JS	
DRAWN BY: AL	

5045 COMMERCE PARK CIRCLE
 JPA INC.
 PENSACOLA, FL 32505

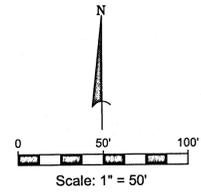
GMC CMOB-21-0064



DRAINAGE PROFILES

C-301

NOTE
 PER ESCAMBIA COUNTY'S LAND DEVELOPMENT CODE, ALL PROTECTED TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL MATERIAL ON-SITE, GRADING, EXCAVATING, BERMING, OR ANY OTHER LAND DISTURBING ACTIVITIES THAT MAY ALTER LAND TOPOGRAPHY OR VEGETATIVE COVER SHALL BE PERMITTED OR OTHERWISE APPROVED IN WRITING BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.



LEGEND

	TYPE A SILT FENCE		EX. MINOR CONTOUR
	SILT SAVER INLET PROTECTION		EX. MAJOR CONTOUR
	CL II RIP-RAP W/ FILTER FABRIC		REQ'D MINOR CONTOUR
	CONSTRUCTION ENTRANCE		REQ'D MAJOR CONTOUR
	EROSION EEL		REQ'D STORM SEWER LINE
	= REQ'D DOUBLE WING INLET		REQ'D WATTLE
	= REQ'D SINGLE WING INLET		
	= REQ'D FLAT GRATE STORM INLET		
	= REQ'D SLOPE PAVED HEADWALL		
	= REQ'D STORM JUNCTION BOX		



2039 Main Street
 Daphne, AL 36526
 T 251.676.2626
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ISSUE DATE	DATE
SUBMITTAL	11/5/2021
REVISION	11/19/2021
COUNTY COMMENTS	12.02.2021

ENGINEER: JS
 DRAWN BY: AL

5045 COMMERCE PARK CIRCLE
 JPA INC.
 PENSACOLA, FL 32505

GMC CMOB-21-0064

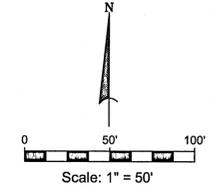


EROSION CONTROL PLAN

C-600

DRAWING FILE: W:\CMB Proj\NFA\16\CMOB210064-TDLE Facility\Perapad\10 DWG-C-600 EROSION CONTROL.dwg
 PLOTTED: Dec 03, 2021, 10:06am

Drainage Calculation - 25 Year Storm Event					
Area(acre)	Cw	Tc	I	Q	
1001	8.20	0.65	13.84	6.67	35.60



DRAWING FILE: \\G:\M\2021\1001\1001.dwg; PLOT DATE: 03/23/2021 10:02:00 AM



2039 Main Street
Daphne, AL 36526
T 251.626.2626
GMCNETWORK.COM

ISSUE DATE	DESCRIPTION
11/15/2021	SUBMITTAL
11/19/2021	REVISION
12/02/2021	COUNTY COMMENTS

ENGINEER: JS
DRAWN BY: AL

5045 COMMERCE PARK CIRCLE
JPA INC.
PENSACOLA, FL 32505

GMC CMOB-21-0064



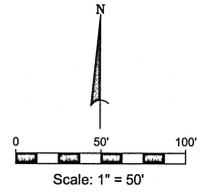
EXISTING CONDITIONS
DRAINAGE AREAS

C-700

Drainage Calculation - 25 Years Storm Event							
Area No.	Inlet	Area (sf)	Area (ac)	Cw	Tc	i	Q (cfs)
1	GI-1	5,409	0.12	0.60	5.00	12.72	0.95
2	GI-2	11,397	0.26	0.95	5.00	12.72	3.16
3	GI-3	7,105	0.16	0.95	5.00	12.72	1.97
4	GI-4	7,369	0.17	0.35	14.90	7.59	0.45
5	GI-5	7,165	0.16	0.95	5.00	12.72	1.99
6	GI-6	15,261	0.35	0.65	14.30	7.80	1.78
7	GI-7	3,462	0.08	0.80	5.00	12.72	0.81
8	GI-8	53,717	1.23	0.89	5.13	12.63	13.86
9	GI-9	25,946	0.60	0.89	5.00	12.72	6.74
10	GI-10	3,584	0.08	0.65	5.00	12.72	0.68
11	EX-SWMH-2	13,426	0.31	0.35	9.14	9.89	1.07
12	GI-12	4,353	0.10	0.95	5.00	12.72	1.21
13	GI-13	8,250	0.19	0.95	5.00	12.72	2.29
14	GI-14	6,463	0.15	0.65	5.00	12.72	1.23
15	SWSI-15	23,289	0.53	0.74	7.12	11.27	4.46
16	GI-16	4,822	0.11	0.74	5.00	12.72	1.04
17	GI-17	14,413	0.33	0.74	5.17	12.60	3.09
18	GI-18	10,204	0.23	0.65	6.86	11.45	1.74
19	EX OT-19	10,577	0.24	0.74	5.00	12.72	2.29
20	SWSI-20	14,954	0.34	0.86	5.00	12.72	3.77
21	SWSI-21	14,278	0.33	0.86	5.00	12.72	3.60
22	GI-22	18,430	0.42	0.85	5.00	12.72	4.57
23	GI-23	6,872	0.16	0.90	5.00	12.72	1.81
24	GI-24	17,239	0.40	0.93	5.10	12.65	4.63
8A	CO-4A	10,126	0.23	0.95	11.06	8.93	1.97

NOTE: DRAINAGE AREA 8A IS FOR THE LOADING DOCK ONLY

Pipe Sizes - 25 Years Storm Event							
STR	TO	STR	Added Q	Total Q	Pipe	Des. Slope, %	Min. Slope, %
GI-2		GI-3	3.16	3.16	18"	1.00	0.09
GI-3		GI-5	1.97	5.13	18"	1.00	0.24
GI-5		JB-4	1.99	7.12	18"	1.00	0.46
JB-4		GI-6	1.97	9.09	18"	1.00	0.75
GI-6		EX SWMH-1	2.23	11.32	24"	2.87	0.25
GI-4		GI-6	0.45	0.45	18"	1.00	0.00
CO-4A		CO-4B	1.97	1.97	12"	1.85	0.31
CO-4B		JB-4	0.00	1.97	12"	1.85	0.31
GI-7		GI-8	0.81	0.81	18"	0.82	0.01
GI-8		JB-8	13.86	14.67	24"	0.90	0.42
JB-8		GI-9	0.00	14.67	24"	0.90	0.42
GI-9		GI-10	6.74	21.41	30"	0.50	0.27
GI-10		EX SWMH-2	0.68	22.09	30"	0.50	0.29
GI-1		GI-22	0.95	0.95	18"	1.00	0.01
GI-22		GI-24	4.57	5.52	18"	1.00	0.28
GI-24		GI-23	4.63	10.15	24"	1.00	0.20
GI-23		GI-18	1.81	11.96	24"	1.00	0.28
GI-18		GI-17	1.74	13.70	24"	1.00	0.37
GI-17		GI-16	12.73	26.44	30"	1.00	0.42
GI-16		GI-13	1.04	27.48	30"	1.00	0.45
GI-13		EX SWMH-3	7.95	35.43	30"	1.00	0.75
SWSI-21		SWSI-20	3.60	3.60	18"	1.00	0.12
SWSI-20		EX OT-19	3.77	7.36	18"	1.50	0.49
EX OT-19		GI-17	2.29	9.65	18"	4.82	0.84
GI-12		GI-13	1.21	1.21	18"	2.81	0.01
SWSI-15		GI-13	4.46	4.46	18"	0.57	0.18



2039 Main Street
Daphne, AL 36526
T 251.626.2626
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ISSUE DATE	ISSUE DESCRIPTION
SUBMITTAL 11/5/2021	
REVISION 11/19/2021	
COUNTY COMMENTS 12/02/2021	

ENGINEER: JS
DRAWN BY: AL

5045 COMMERCE PARK CIRCLE
JPA INC.
PENSACOLA, FL 32505

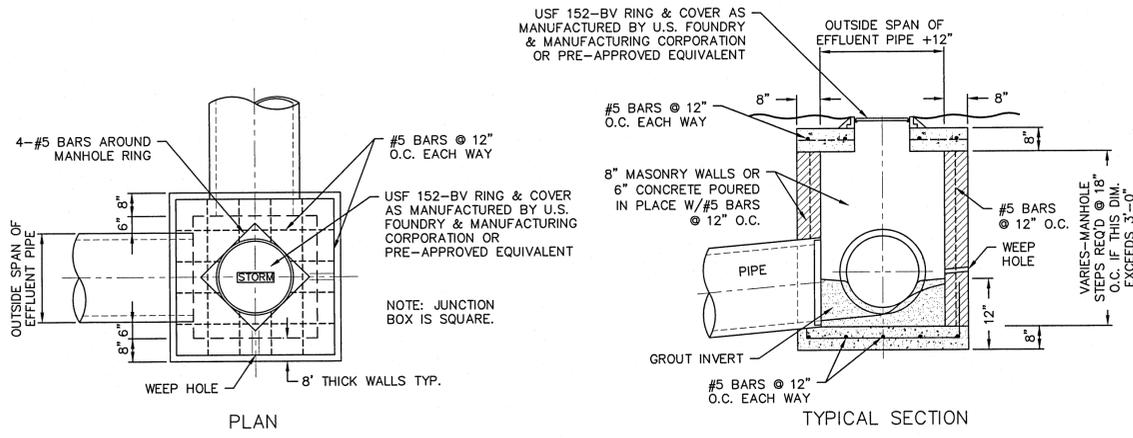
GMC CMOB-21-0064



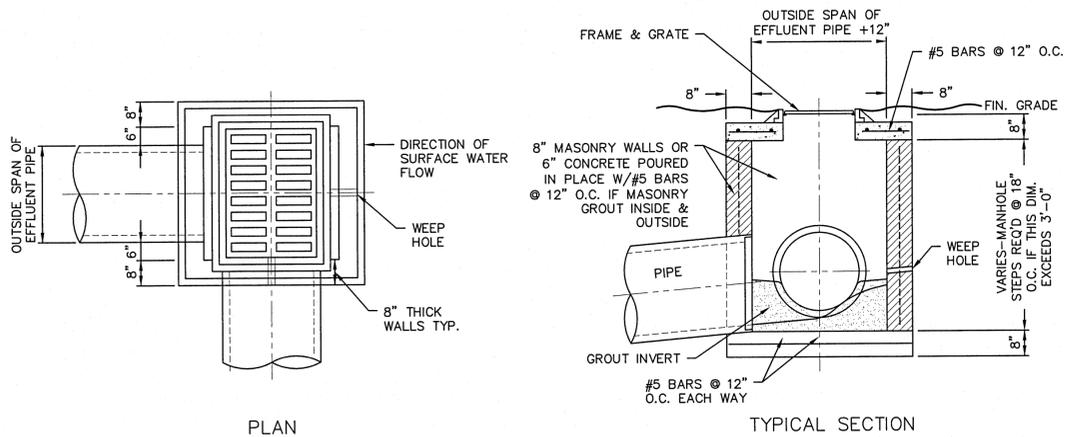
POST-DEVELOPMENT
DRAINAGE AREAS

C-701

DRAWING FILE: W:\C\MOB-21-0064-FDR\Facility\Penascol\DWG\C-701-DRAINAGE AREAS.dwg
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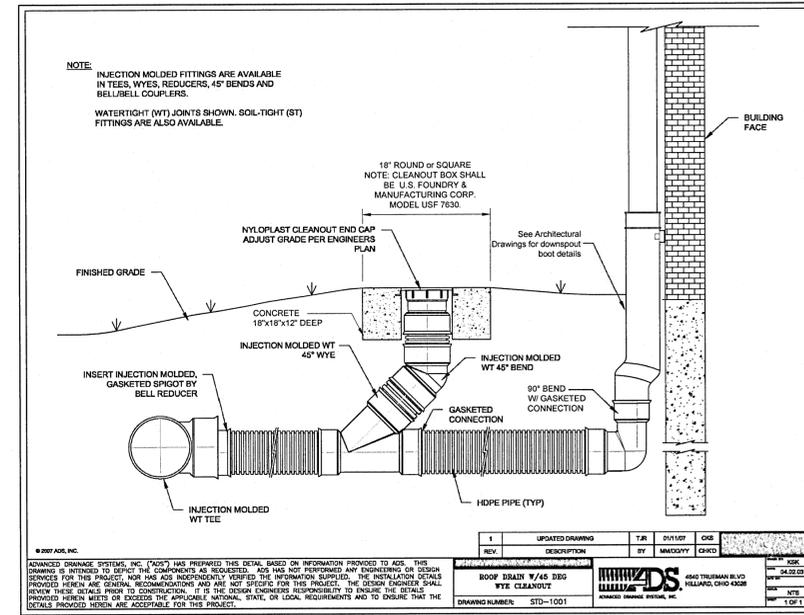
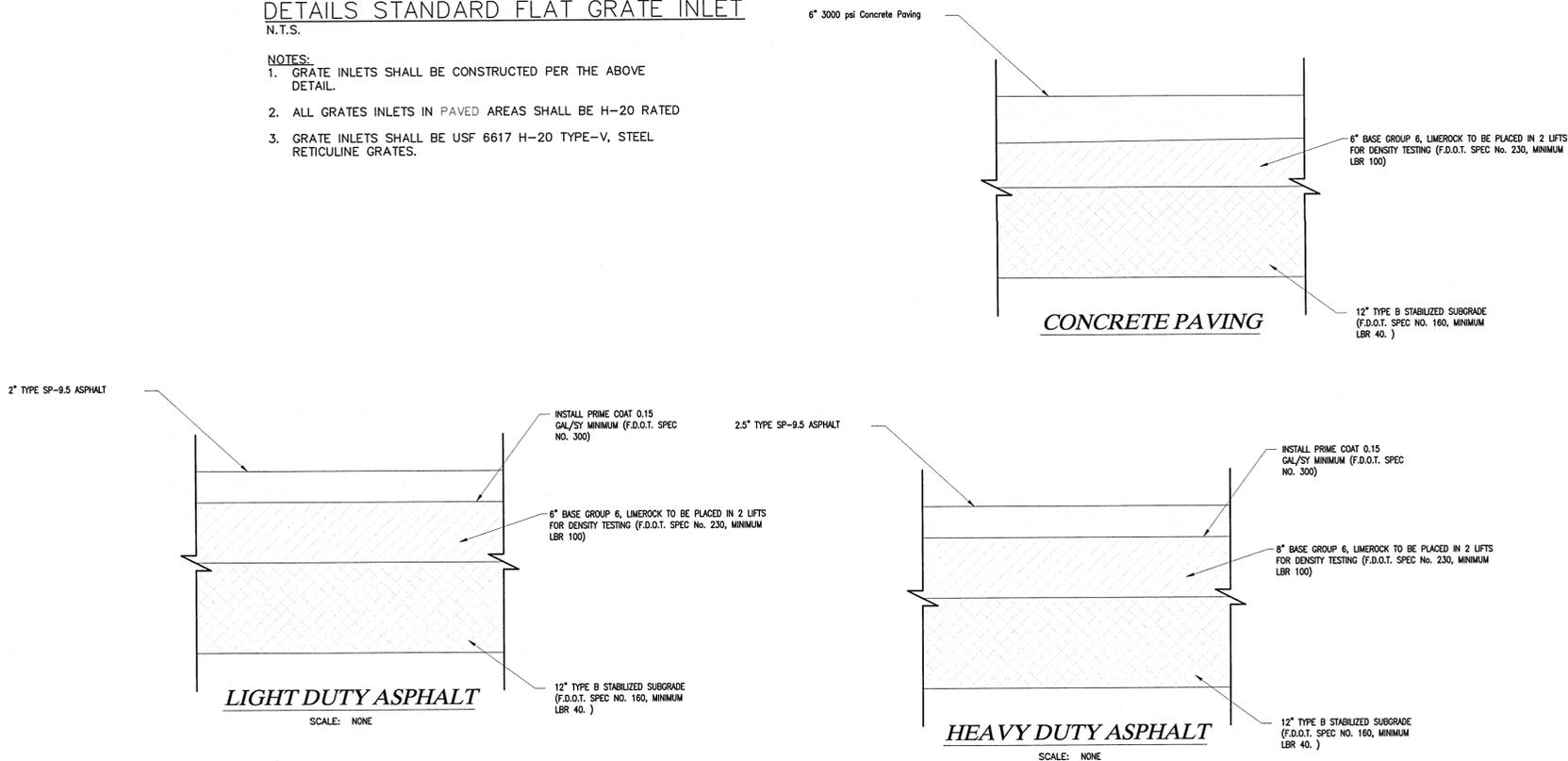


DETAIL OF STANDARD JUNCTION BOX 12"–36' PIPE
N.T.S.

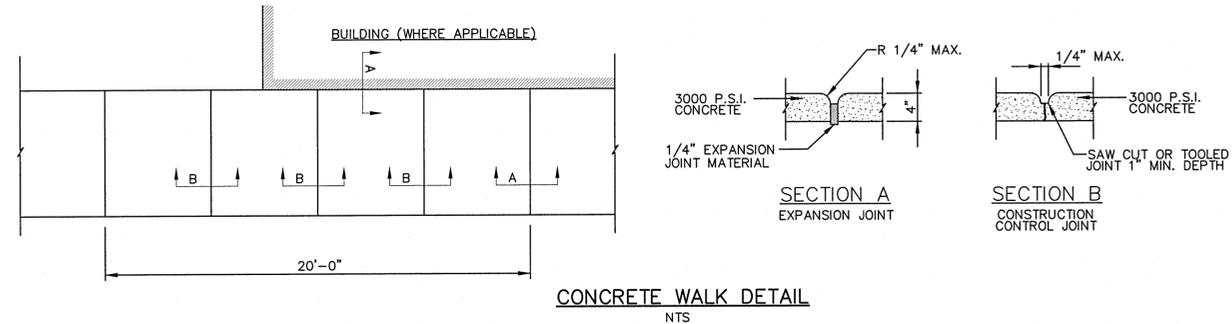


DETAILS STANDARD FLAT GRATE INLET
N.T.S.

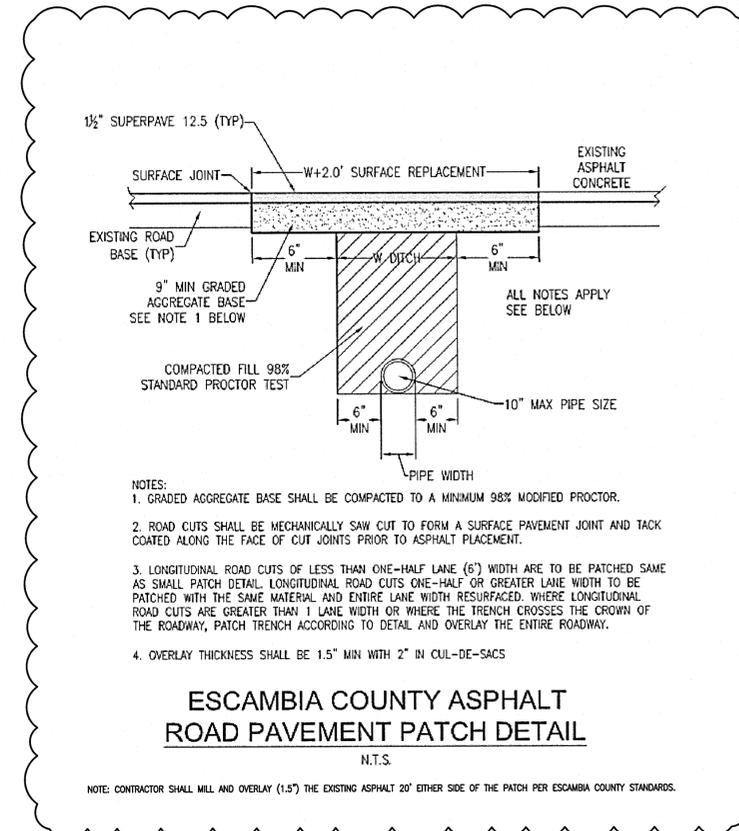
- NOTES:
1. GRATE INLETS SHALL BE CONSTRUCTED PER THE ABOVE DETAIL.
 2. ALL GRATES INLETS IN PAVED AREAS SHALL BE H-20 RATED
 3. GRATE INLETS SHALL BE USF 6617 H-20 TYPE-V, STEEL RETICULINE GRATES.



ROOF DRAIN W/45° WYE CLEANOUT
N.T.S.



CONCRETE WALK DETAIL
N.T.S.



ESCAMBIA COUNTY ASPHALT
ROAD PAVEMENT PATCH DETAIL
N.T.S.

NOTE: CONTRACTOR SHALL MILL AND OVERLAY (1.5") THE EXISTING ASPHALT 20' EITHER SIDE OF THE PATCH PER ESCAMBIA COUNTY STANDARDS.



2039 Main Street
Daphne, AL 36526
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ISSUE DATE	DESCRIPTION	BY	CHKD
11/15/2021	ISSUED FOR PERMITS	JWS	AL
11/19/2021	REVISION 1	JWS	AL
12/02/2021	COUNTY COMMENTS	JWS	AL
12/27/2021	ADD COUNTY COMMENTS	JWS	AL

5045 COMMERCE PARK CIRCLE
JPA, INC.
PENSACOLA, FL 32505



CONSTRUCTION DETAILS

GMC CMOB-21-0064

C-900

ISSUE DATE	
SUBMITTAL	11/05/2021
REVISION 1	11/19/2021
COUNTY COMMENTS	12.02.2021
ENGINEER: JS	
DRAWN BY: AL	

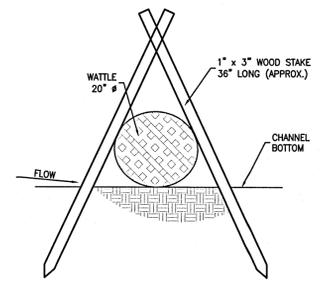
5045 COMMERCE PARK CIRCLE
JPA INC.
PENSACOLA, FL 32505

GMC-CMOB-21-0064

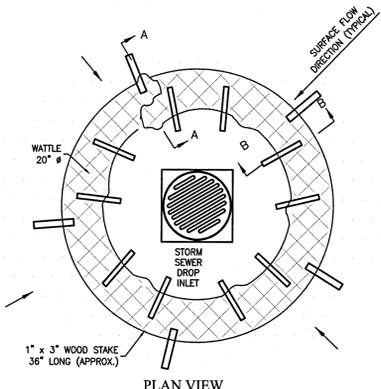


EROSION CONTROL PLAN

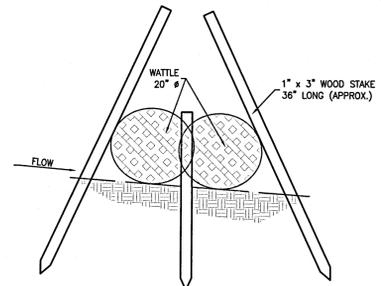
C-901



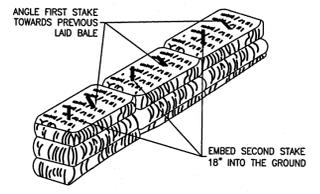
SECTION B-B



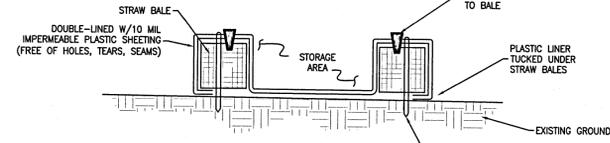
PLAN VIEW



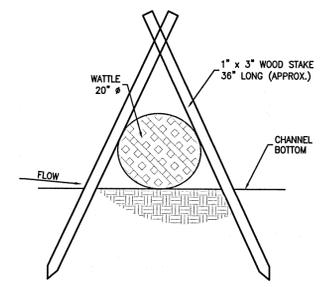
SECTION A-A



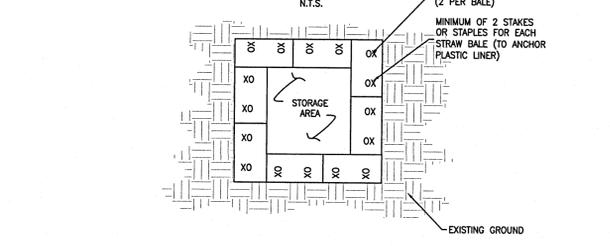
ANCHORING DETAIL



X-SECTION



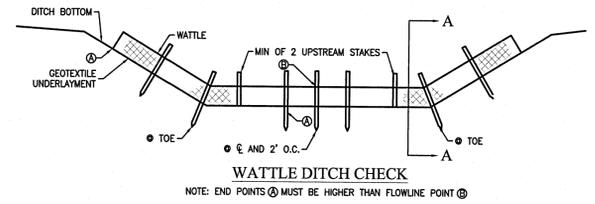
SECTION B-B



PLAN VIEW

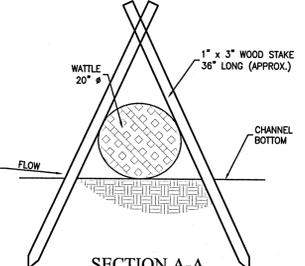
NOTES:
1) ANCHOR AND EMBED INTO SOIL TO PREVENT WASHOUT OR WATER WORKING UNDER BARRIER.
2) REPAIR OR REPLACEMENT MUST BE MADE PROMPTLY AS NEEDED.

ABOVE-GRADE CONCRETE WASHOUT PIT



WATTLE DITCH CHECK

NOTE: END POINTS MUST BE HIGHER THAN FLOWLINE POINT



SECTION A-A

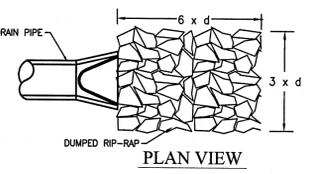
NOTES:
1. MINIMUM RECOMMENDED PLACEMENT INTERVAL BETWEEN WATTLE DITCH CHECK IS 100 FEET UNLESS SHOWN OTHERWISE ON THE PLANS OR APPROVED BY THE ENGINEER. SEE SPACING GUIDANCE ON PLAN.
2. ANCHORING STAKES SHALL BE SIZED, SPACED, DRIVEN, AND BE OF A MATERIAL THAT EFFECTIVELY SECURES THE CHECK. SPIKE SPACING SHALL BE A MAXIMUM OF TWO FEET.
3. WATTLES SHOULD NOT BE USED IN HARD BOTTOMS CHANNELS.
4. STAPLES SPACED 18 INCHES APART, ALONG THE CHANNEL EDGES AND DOWN THE CENTER OF THE CHANNEL STAPLES SPACED 10 INCHES APART, ACROSS THE UPSTREAM AND DOWNSTREAM EDGES.

WATTLE DITCH CHECK SELECTION GUIDELINES

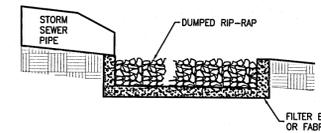
WATTLE DITCH CHECKS ARE APPROPRIATE FOR VELOCITY REDUCTION AND CONTROL OF SEDIMENT TRANSPORT UNDER LOW TO MEDIUM FLOW CONDITIONS NOT EXCEEDING 1.0 CU FT/SEC.

WATTLE DITCH CHECK

NOTE: COST OF WOOD STAKES OR EQUAL SHALL BE INCLUDED IN COST OF WATTLES



PLAN VIEW

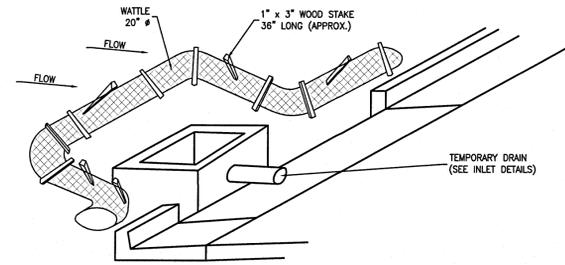


SITE VIEW

RIP RAP OUTLET PROTECTION

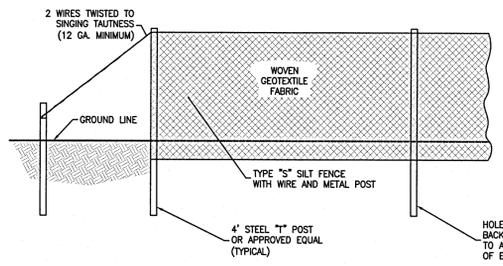
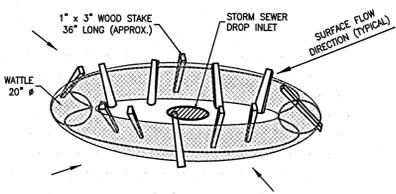
NOTE: COST OF WOOD STAKES OR EQUAL SHALL BE INCLUDED IN COST OF WATTLES

CURB INLET PROTECTION

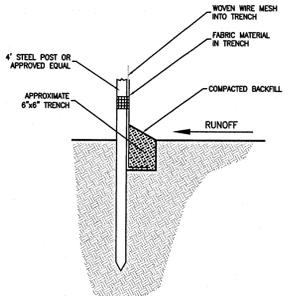


NOTE: COST OF WOOD STAKES OR EQUAL SHALL BE INCLUDED IN COST OF WATTLES

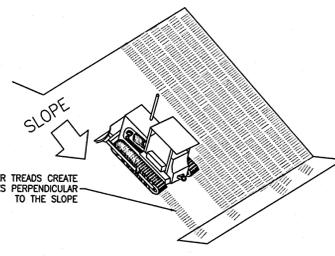
DROP INLET PROTECTION



TYPICAL SILT FENCE INSTALLATION



SECTION

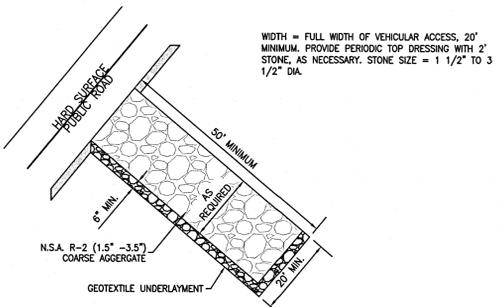


SURFACE ROUGHENING

1. TYPE "A" SILT FENCE SHALL BE USED IN AREAS OF CONCENTRATED FLOW.
2. SILT FENCES ARE TEMPORARY EROSION CONTROL ITEMS THAT SHALL BE ERECTED OPPOSITE ERODIBLE AREAS SUCH AS NEWLY GRADED FILL SLOPES AND ADJACENT TO STREAMS AND CHANNELS.
3. SILT FENCE SHOULD BE PLACED WELL INSIDE PROPERTY BOUNDARY AND ALONG EDGE OF CLEARING LIMITS. THIS WILL ALLOW ROOM FOR A BACK-UP FENCE IF FIRST BECOMES FULL. SILT FENCES SHALL BE IN PLACE PRIOR TO ANY CONSTRUCTION OPERATION.
4. WHEREVER POSSIBLE, SILT FENCES SHALL BE CONSTRUCTED ACROSS A FLAT AREA IN THE SHAPE OF A HORSESHOE. THIS AIDS IN PONDING OF RUNOFF AND FACILITATES SEDIMENTATION.
5. AFTER THE CONSTRUCTION AREA IS STABILIZED AND EROSION ACTIVITY CURTAILED, SILT FENCES SHALL BE REMOVED.
6. RING FASTENERS USED TO SECURE GEOTEXTILES TO WOVEN WIRE SHALL BE 13 GA. (AMERICAN).
7. IF WOOD POSTS ARE USED, STAPLES FOR SECURING WOVEN WIRE TO POSTS SHALL BE NINE (9) GAUGE, GALVANIZED, 1 1/2" LONG, FIVE (5) PER POST APPROXIMATELY 1'-0" ON CENTER.
8. WOVEN WIRE TO BE 12 1/2 GAUGE (MINIMUM).

SPECIFICATIONS
CURRENT ALABAMA DEPARTMENT OF TRANSPORTATION

SILT FENCE NOTES



STONE PAD CONSTRUCTION ENTRANCE & EXIT

NOTE: CONTRACTOR SHALL MINIMIZE DIRT TRACKING ON THE EXISTING SERVICE ROAD AT ALL TIMES. IF TRACKING DOES OCCUR, THE CONTRACTOR SHALL CLEAN ALL MATERIAL OFF OF ROAD BEFORE LEAVING THE SITE EACH DAY.

SPECIES	SEEDING RATE/AC PLS	NORTH	CENTRAL	SOUTH
MILLET/BROWNTOP OR GERWAIN	40 LBS	APR 1 - AUG 1	APR 1 - AUG 15	APR 1 - AUG 15
RYE	3 BU	SEP 1 - NOV 15	SEP 1 - NOV 15	SEP 1 - NOV 15
RYEGRASS	30 LBS	AUG 1 - SEP 15	SEP 1 - OCT 15	SEP 1 - OCT 15
SORGHUM-SUDAN HYBRIDS	40 LBS	MAY 1 - AUG 1	APR 15 - AUG 1	APR 1 - AUG 15
SLUDGRASS	40 LBS	MAY 1 - AUG 1	APR 15 - AUG 15	APR 1 - AUG 15
WHEAT	3 BU	SEP 1 - NOV 1	SEP 15 - NOV 15	SEP 15 - NOV 15
COMMON BERMUDAGRASS	10 LBS	APR 1 - JULY 1	MAR 15 - JULY 15	MAR 1 - JULY 15
CRIMSON CLOVER	10 LBS	SEPT 1 - NOV 1	SEPT 1 - NOV 1	SEPT 1 - NOV 1

PLS means pure live seed and is used to adjust seeding rates. For example, to plant 10 lbs of a species with germination of 80% and purity of 90%, PLS = 0.81 x 0.9 = 72%. 10 lbs PLS = 10/0.72 = 13.9 lbs of the species to be planted.

SITE PREPARATION AND SOIL AMENDMENTS

COMPLETE GRADING AND SHAPING BEFORE APPLYING SOIL AMENDMENTS IF NEEDED TO PROVIDE A SURFACE ON WHICH EQUIPMENT CAN SAFELY AND EFFICIENTLY BE USED TO APPLY SOIL AMENDMENTS AND ACCOMPLISH SEEDBED PREPARATION AND SEEDING.

LIME
APPLY LIME ACCORDING TO SOIL TEST RECOMMENDATIONS. IF A SOIL TEST IS NOT AVAILABLE, USE 1 TON OF AGRICULTURAL LIMESTONE OR EQUIVALENT PER ACRE ON COARSE TEXTURED SOILS AND 2 TONS PER ACRE ON FINE TEXTURED SOILS. DO NOT APPLY LIME TO ALKALINE SOILS OR TO AREAS WHICH HAVE BEEN LIMED DURING THE PRECEDING 2 YEARS. OTHER LIMING MATERIALS THAT MAY BE SELECTED SHOULD BE PROVIDED IN AMOUNTS THAT PROVIDE EQUAL VALUE TO THE CRITERIA LISTED FOR AGRICULTURAL LIME OR BE USED IN COMBINATION WITH AGRICULTURAL LIMESTONE OR SELMA CHALK TO PROVIDE EQUIVALENT VALUES TO AGRICULTURAL LIMESTONE.

FERTILIZER

APPLY FERTILIZER ACCORDING TO SOIL TEST RESULTS. IF A SOIL TEST IS NOT AVAILABLE, APPLY 8-24-24 FERTILIZER. WHEN VEGETATION HAS EMERGED TO A STAND AND IS GROWING, 30 TO 40 LBS/ACRE (APPROXIMATELY 0.8 LBS/1000 FT²) OF ADDITIONAL NITROGEN FERTILIZER SHOULD BE APPLIED.

SEEDING

EVENLY APPLY SEED USING A CYCLONE SEEDER (BROADCAST), DRILL SEEDER, CULTIPACKER SEEDER, OR HYDROSEEDER. BROADCAST SEEDING AND HYDROSEEDING ARE APPROPRIATE FOR STEEP SLOPES WHERE EQUIPMENT CANNOT OPERATE SAFELY. SMALL GRAINS SHOULD BE PLANTED NO MORE THAN 1" DEEP, AND GRASSES AND LEGUMES NO MORE THAN 3/4" DEEP. SEED THAT ARE BROADCAST MUST BE COVERED BY RAKING OR CHAIN DRAGGING, AND THEN LIGHTLY FIRMED WITH A ROLLER OR CULTIPACKER.

HYDROSEEDING

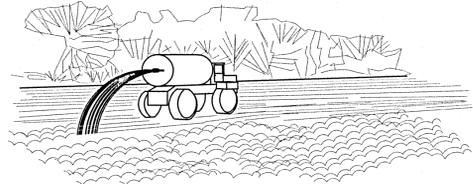
SURFACE ROUGHENING IS PARTICULARLY IMPORTANT WHEN HYDROSEEDING, AS A ROUGHENED SLOPE WILL PROVIDE SOME NATURAL COVERAGE FOR LIME, FERTILIZER, AND SEED. THE SURFACE SHOULD NOT BE COMPACTED OR SMOOTH. FINE SEEDBED PREPARATION IS NOT NECESSARY FOR HYDROSEEDING OPERATIONS; LARGE CLODS, STONES, AND IRREGULARITIES PROVIDE CAVITIES IN WHICH SEEDS CAN LODGE. MIX SEED, INOCULANT IF REQUIRED, AND A SEED CARRIER WITH WATER AND APPLY AS SLURRY UNIFORMLY OVER THE AREA TO BE TREATED. THE SEED CARRIER SHOULD BE A CELLULOSE FIBER, NATURAL WOOD FIBER OR OTHER APPROVED FIBER MULCH MATERIAL WHICH IS DYED AN APPROPRIATE COLOR TO FACILITATE UNIFORM APPLICATION OF SEED. USE THE CORRECT LEGUME INOCULANT AT 4 TIMES THE RECOMMENDED RATE WHEN ADDING INOCULANT TO HYDROSEEDER. THE MIXTURE SHOULD BE APPLIED WITHIN ONE HOUR AFTER MIXING TO REDUCE DAMAGE TO SEED. FERTILIZER SHOULD NOT BE MIXED WITH THE SEED-INOCULANT MIXTURE BECAUSE FERTILIZER SALTS MAY DAMAGE SEED AND REDUCE GERMINATION AND SEEDLING VIGOR. FERTILIZER MAY BE APPLIED WITH A HYDRO SEEDER AS A SEPARATE OPERATION AFTER SEEDLING ARE ESTABLISHED.

TEMPORARY METHODS:

- MULCHES - REFER TO (DISTURBED AREA STABILIZATION)
- VEGETATIVE COVER - REFER (DISTURBED AREA STABILIZATION WITH TEMPORARY SEEDING)
- TILLAGE - ROUGHEN AND BRING CLODS TO THE SURFACE BY USE OF CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART
- IRRIGATION - SITE SPRINKLED WITH WATER UNTIL WET. REPEAT AS NEEDED
- BARRIERS - FENCES, HAY BALES, AND CRATE WALLS PLACED AT INTERVALS 15 TIMES THEIR HEIGHT AND PERPENDICULAR TO AIR CURRENTS
- CALCIUM CHLORIDE - APPLY TO KEEP SURFACE WET. REPEAT AS NEEDED.

PERMANENT METHODS:

- PERMANENT VEGETATION - REFER TO SEEDING SCHEDULE (DISTURBED AREA STABILIZATION WITH PERMANENT VEGETATION)
- TOPSOILING - COVERING THE SURFACE WITH A LESS ERODIBLE SOIL MATERIAL
- STONE - SURFACE WITH CRUSHED STONE OR COARSE GRAVEL (SEE CR - CONSTRUCTION ROAD STABILIZATION)



DUST CONTROL

ISSUE DATE	DATE
SUBMITTAL	11/5/2021
REVISION	11/19/2021
COUNTY COMMENTS	12/02/2021

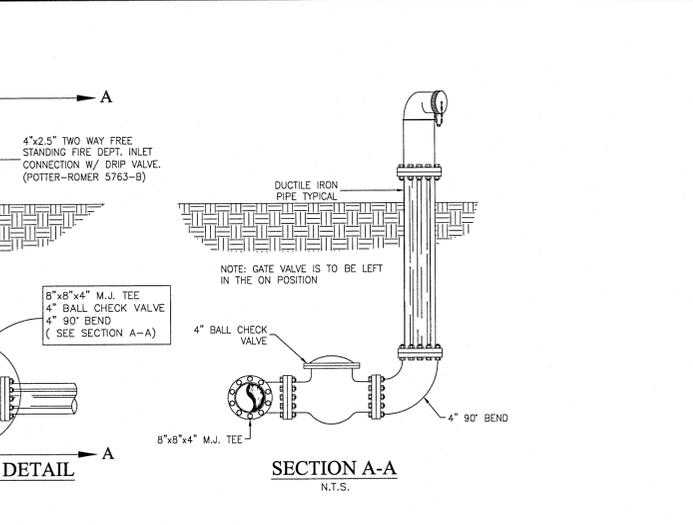
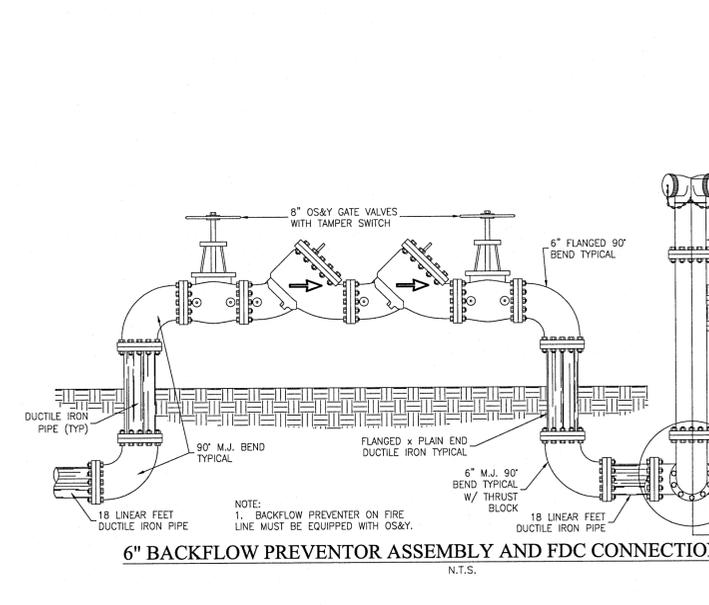
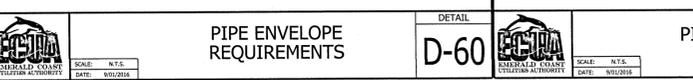
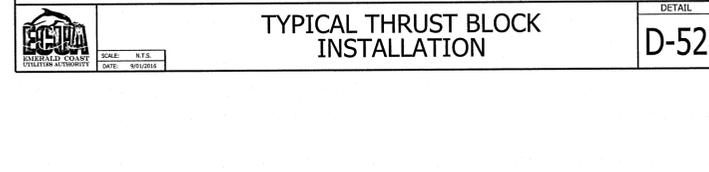
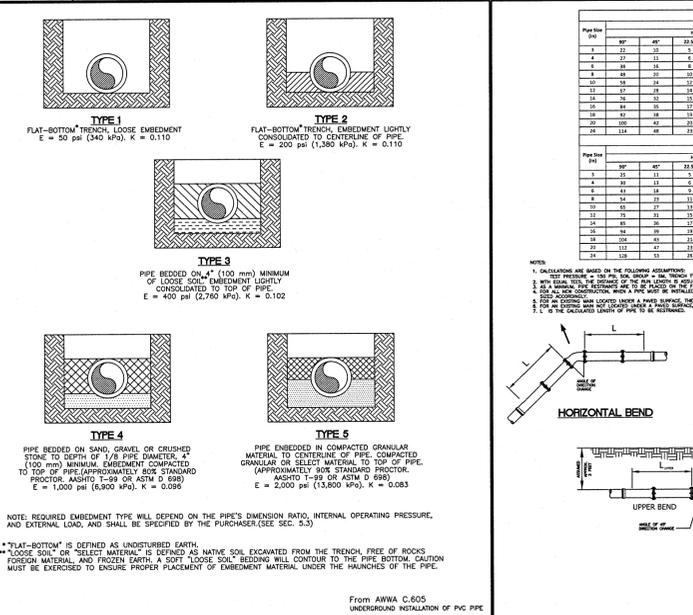
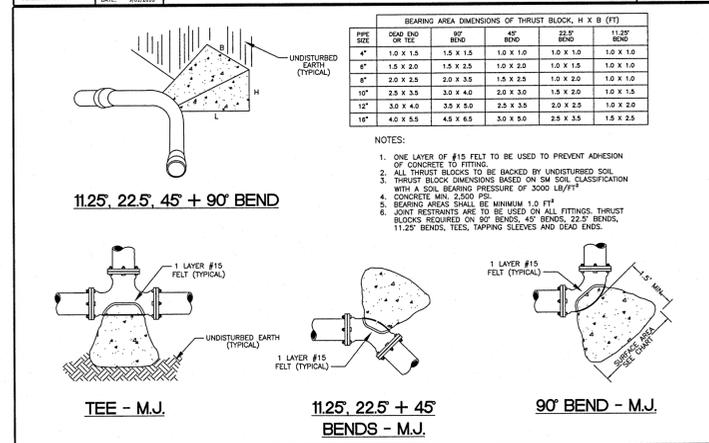
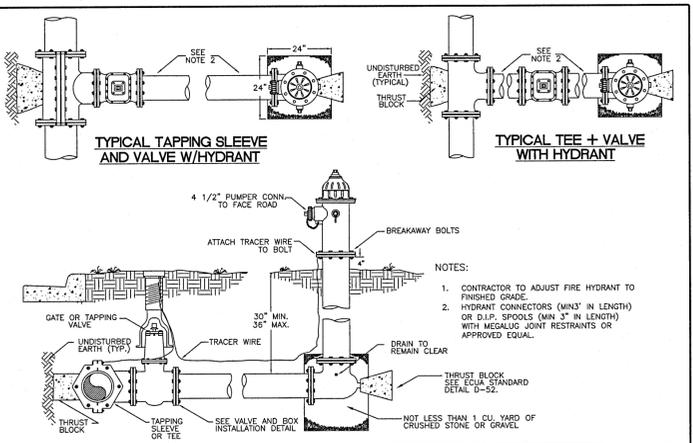
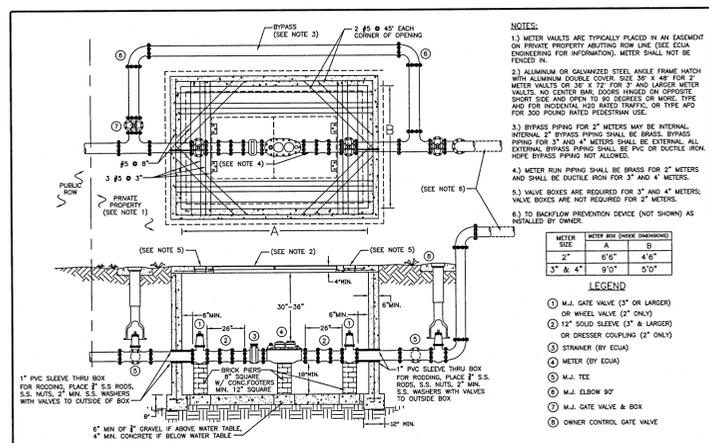
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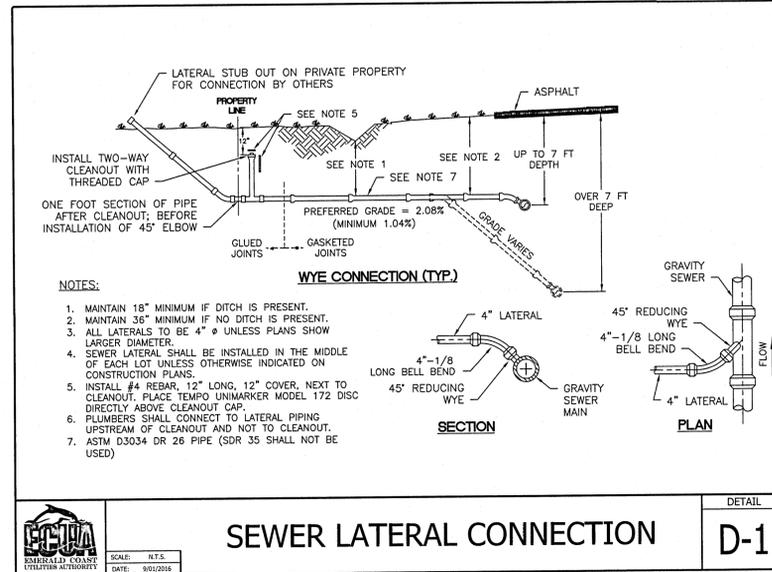


C-902

WATER DETAILS



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PLOTTED: Dec-03, 2021, 10:33am



OTHER PIPE	HORIZONTAL SEPARATION	CROSSINGS (1)	JOINT SPACING • CROSSINGS (FULL JOINT CENTERED)
STORM SEWER, STORMWATER FORCE MAIN	<p>3 FT. MINIMUM</p>	<p>12 INCHES IS THE MINIMUM, EXCEPT FOR STORM SEWER, THEN 6 INCHES IS THE MINIMUM AND 12 INCHES IS PREFERRED</p>	<p>ALTERNATE 3 FT. MINIMUM</p>
GRAVITY OR PRESSURE SANITARY SEWER, SANITARY SEWER FORCE MAIN	<p>10 FT. PREFERRED 6 FT. MINIMUM (2)</p>	<p>12 INCHES IS THE MINIMUM, EXCEPT FOR GRAVITY SEWER, THEN 6 INCHES IS THE MINIMUM AND 12 INCHES IS PREFERRED</p>	<p>ALTERNATE 6 FT. MINIMUM</p>

(1) WATER MAIN SHOULD CROSS ABOVE OTHER PIPE. WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12 INCHES.
(2) 3 FT. GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS Laid AT LEAST 6 INCHES ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.

NOTES:

A. INFORMATION PROVIDED FROM FDEP RULE 62-555. IF OTHER FDEP RULES CONFLICT, THEN USE THE MOST STRINGENT RULE.
B. IF THERE ARE CONFLICTS IN THE SEPARATION REQUIREMENTS BETWEEN COLLECTION SYSTEMS AND DRINKING WATER FACILITIES ESTABLISHED IN FOOTNOTES (1) AND (2) ABOVE AND THOSE ESTABLISHED IN CHAPTER 62-532 OR 62-555, F.A.C., THEN THE REQUIREMENTS IN CHAPTER 62-532 OR 62-555, F.A.C., SHALL APPLY.

WATER / SEWER SEPARATION

DETAIL
D-64

SCALE: N.T.S.
DATE: 9/12/2016



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Daphne, AL 36526
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ISSUE DATE	
SUBMITTAL	11/5/2021
REVISION	11/19/2021
COUNTY COMMENTS	12/02/2021
ENGINEER-JS	
DRAWN BY-AL	

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WATER DETAILS

C-903

EXISTING TREE INVENTORY

TREE NUMBER	TREE SPECIES (SPECIES & DBH)	TO BE REMOVED	TREE NUMBER	TREE SPECIES (SPECIES & DBH)	TO BE REMOVED
371	OAKL 32	X	2862	OAK 14	X
861	OAKL 22	X	2863	OAK 14	X
2798	OAKL 22		2864	PINE 15	X
2799	OAKL 22		2865	OAK 12	X
2800	OAKL 20		2866	PINE 16	X
2801	OAKL 18		2867	OAK 18	X
2802	OAKL 24		2868	OAK 12	X
2803	PINE 20		2869	OAK 14	X
2804	OAKL 16		2870	OAK 16	X
2805	OAKL 14		2871	OAK 16	X
2806	PINE 24		2872	OAK 12	X
2807	OAKL 25		2873	PINE 12	X
2808	PINE 18		2874	OAK 12	X
2809	OAKL 26		2875	OAK 14	X
2810	PINE 15		2876	OAK 14	X
2811	PINE 15		2877	OAK 14	X
2812	PINE 15		2878	OAK 14	X
2813	PINE 15		2879	OAK 14	X
2814	OAKL 20		2880	OAK 13	X
2815	PINE 16		2881	OAK 15	X
2816	PINE 16		2882	OAK 12	X
2817	OAK 14		2883	OAK 12	X
2818	PINE 14		2884	OAK 12	X
2819	OAK 12		2885	PINE 14	X
2820	PINE 17		2886	OAK 12	X
2821	OAK 12		2887	PINE 12	X
2822	OAK 16		2888	OAK 13	X
2823	OAK 18		2889	PINE 12	X
2824	PINE 18		2890	OAK 13	X
2825	OAK 24		2891	OAK 14	X
2826	OAK 12		2892	PINE 12	X
2827	OAK 12		2893	OAK 15	X
2828	OAK 18	X	2894	OAK 12	X
2829	OAK 18	X	2895	OAK 14	X
2830	OAK 12	X	2896	OAK 18	X
2831	PINE 12	X	2897	OAK 12	X
2832	PINE 16	X	2898	OAK 14	X
2833	OAK 14	X	2899	PINE 15	X
2834	OAK 32	X	2900	OAK 12	X
2835	OAK 14	X	2901	PINE 18	X
2836	OAK 12	X	2902	OAK 14	X
2837	OAK 12	X	2903	PINE 17	X
2838	OAK 15	X	2904	PINE 12	X
2839	OAK 18	X	2905	PINE 15	X
2840	OAK 16	X	2906	OAK 12	X
2841	OAK 16	X	2907	OAK 12	X
2842	PINE 14	X	2908	OAK 15	X
2843	OAK 20	X	2909	PINE 18	X
2844	PINE 12	X	2910	OAK 13	X
2845	OAK 18	X	2911	OAK 12	X
2846	PINE 15	X	2912	OAK 12	X
2847	OAK 15	X	2913	OAK 15	X
2848	OAK 15	X	2914	PINE 15	X
2849	OAK 12	X	2915	OAK 15	X
2850	OAK 18	X	2916	PINE 20	X
2851	OAK 13	X	2917	OAK 12	X
2852	OAK 12	X	2918	OAK 14	X
2853	OAK 15	X	2919	OAK 12	X
2854	OAK 26	X	2920	PINE 12	X
2855	OAK 24	X	2921	PINE 21	X
2856	OAK 26	X	2922	OAK 13	X
2857	OAK 12	X	2923	OAK 15	X
2858	OAK 12	X	2924	OAK 12	X
2859	OAK 16	X	2925	OAK 12	X
2860	OAK 12	X	2926	OAK 12	X
2861	OAK 15	X	2927	OAK 12	X

NOTE: NONE OF THE OAKS SHOWN FOR REMOVAL WERE SAND OAKS

TOTAL DBH OF PROTECTED TREES TO BE REMOVED (")	932
TOTAL DBH OF TREE REPLACEMENT BASED ON 50% RULE (")	466
TOTAL DBH REPLACEMENT WITH REPLACEMENT LIMIT BASED ON 6.74 ACRE SITE (")	169

BASED ON A 3" CALIPER TREE 57 (169/3=56.33) TREES WILL NEED TO BE PLANTED



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REVISION 1	11/19/2021		
COUNTY COMMENTS	12/02/2021		
ADD. COUNTY COMMENTS	12/27/2021		

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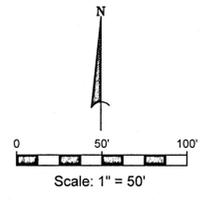
GMC CMOB-21-0064



TREE REMOVAL
PLAN
T-100

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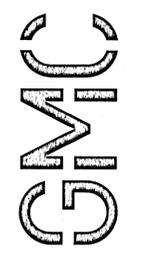
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-  LIVE OAK (3" CALIPER)
-  SWEETBABY MAGNOLIA (3" CALIPER)
-  LOBLOLLY PINE (3" CALIPER)
-  RED CEDAR (3" CALIPER)
-  BALD CYPRESS (3" CALIPER)



- NOTES:
1. ALL TREES SHALL BE 9' FROM FINISHED GRADE AT TIME OF PLANTING.
 2. NO UN-PERMITTED GRADING OR CLEARING SHALL OCCUR UNDER THE DRIP LINE OF PROTECTED TREES ON SITE.
 3. ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO ANY PROPOSED SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL THE JOB IS COMPLETE.
 4. FOR THE VIABILITY OF PROTECTED TREES REMAINING ANY ROOTS 1" AND BIGGER SHALL BE CUT CLEANLY. DO NOT USE EQUIPMENT THAT PULLS AND SHATTERS ROOTS. ROOTS SHALL BE PRUNED TO A DEPTH OF 18" BELOW THE EXISTING GRADE OR TO A DEPTH OF DISTURBANCE IF LESS THAN 18" INCHES.



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TREE PLANTING
 PLAN
T-101