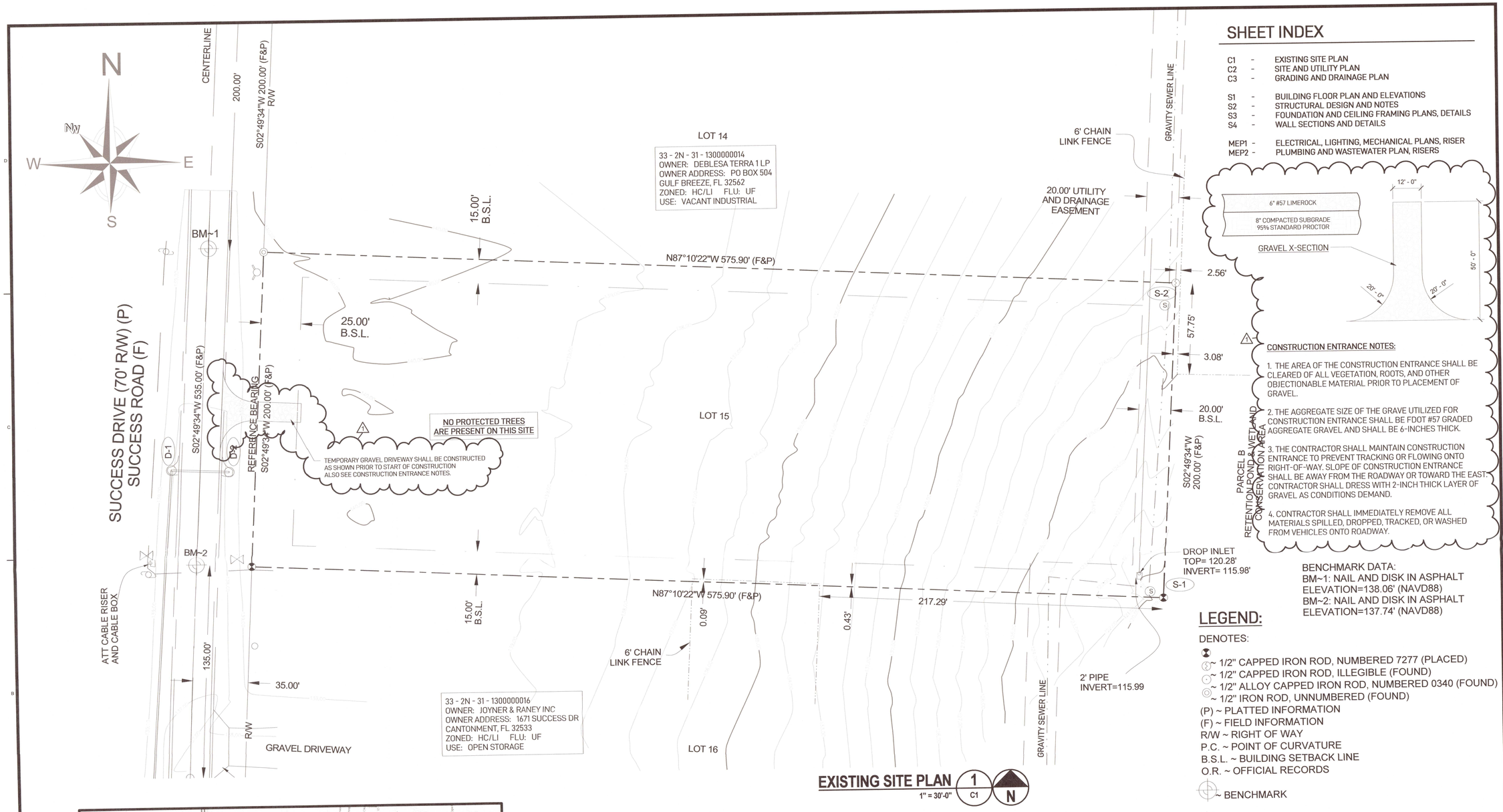



## EXISTING SITE PLAN

1 (C1) — 1" = 30'-0" — N

## SHEET INDEX


C1 - EXISTING SITE PLAN
C2 - SITE AND UTILITY PLAN
C3 - GRADING AND DRAINAGE PLAN

S1 - BUILDING FLOOR PLAN AND ELEVATIONS
S2 - STRUCTURAL DESIGN AND NOTES
S3 - FOUNDATION AND CEILING FRAMING PLANS, DETAILS
S4 - WALL SECTIONS AND DETAILS

MEP1 - ELECTRICAL, LIGHTING, MECHANICAL PLANS, RISER
MEP2 - PLUMBING AND WASTEWATER PLAN, RISERS


### CONSTRUCTION ENTRANCE NOTES:

1. THE AREA OF THE CONSTRUCTION ENTRANCE SHALL BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL PRIOR TO PLACEMENT OF GRAVEL.
2. THE AGGREGATE SIZE OF THE GRAVE UTILIZED FOR CONSTRUCTION ENTRANCE SHALL BE FDOT #57 GRADED AGGREGATE GRAVEL AND SHALL BE 6-INCHES THICK.
3. THE CONTRACTOR SHALL MAINTAIN CONSTRUCTION ENTRANCE TO PREVENT TRACKING OR FLOWING ONTO RIGHT-OF-WAY. SLOPE OF CONSTRUCTION ENTRANCE SHALL BE AWAY FROM THE ROADWAY OR TOWARD THE EAST. CONTRACTOR SHALL DRESS WITH 2-INCH THICK LAYER OF GRAVEL AS CONDITIONS DEMAND.
4. CONTRACTOR SHALL IMMEDIATELY REMOVE ALL MATERIALS SPILLED, DROPPED, TRACKED, OR WASHED FROM VEHICLES ONTO ROADWAY.

BENCHMARK DATA:
BM~1: NAIL AND DISK IN ASPHALT
ELEVATION=138.06' (NAVD88)
BM~2: NAIL AND DISK IN ASPHALT
ELEVATION=137.74' (NAVD88)

## LEGEND:

DENOTES:

- ~ 1/2" CAPPED IRON ROD, NUMBERED 7277 (PLACED)
- ~ 1/2" CAPPED IRON ROD, ILLEGIBLE (FOUND)
- ~ 1/2" ALLOY CAPPED IRON ROD, NUMBERED 0340 (FOUND)
- ~ 1/2" IRON ROD, UNNUMBERED (FOUND)
- (P) ~ PLATTED INFORMATION
- (F) ~ FIELD INFORMATION
- R/W ~ RIGHT OF WAY
- P.C. ~ POINT OF CURVATURE
- B.S.L. ~ BUILDING SETBACK LINE
- O.R. ~ OFFICIAL RECORDS
- ~ BENCHMARK
- ~ WATER VALVE
- ~ UTILITY POLE
- ~ OVERHEAD UTILITIES
- ~ STORM WATER MANHOLE
- ~ SEWER MANHOLE
- ~ FIRE HYDRANT
- ~ WATER SHUTOFF VALVE

STORMWATER AND SEWER SYSTEM DATA

| STRUCTURE No. | TOP ELEV. | N INVERT | E INVERT | S INVERT | W INVERT |
|---|---|---|---|---|---|
| D-1 | 137.69 | | 132.14 | 132.22 | |
| D-2 | 137.74 | | | | 133.04 |
| S-1 | 120.15 | 115.58 | | | 115.50 |
| S-2 | 126.49 | 116.28 | | 116.08 | 116.34 |

## LEGAL DESCRIPTION

Legal Description
LOT 15 CENTRAL COMMERCE PARK PHASE 1 PB 17 P 100/100A/100B OR 7422 P 496
SECTION 33, TOWNSHIP 2 NORTH, RANGE 31 WEST
ESCAMBIA COUNTY, FLORIDA

BOUNDARY AND TOPOGRAPHICAL SURVEY INFORMATION PROVIDED BY
**NORTHWEST FLORIDA LAND SURVEYING, INC.**
7142 BELGIUM CIRCLE, PENSACOLA, FLORIDA 32526
PROJECT No. **24878-21**
DATED **SEPTEMBER 23, 2021**

**UTILITY COMPANIES:**

**ELECTRIC**
**GULF POWER COMPANY**
9220 PINE FOREST ROAD
PENSACOLA, FLORIDA 32534

**WATER**
**COTTAGE HILL WATER WORKS**
16 WILLIAMS DITCH ROAD
CANTONMENT, FLORIDA 32533
(850) 968-5485

**NATURAL GAS**
**PENSACOLA ENERGY**
222 WEST MAIN
PENSACOLA, FLORIDA 32502
(850) 435-1800

**SANITATION & WASTEWATER**
**EMERALD COAST UTILITY AUTHORITY**
9255 STURDEVANT STREET
PENSACOLA, FLORIDA, 32514
(850) 476-0480

## PROJECT INFORMATION

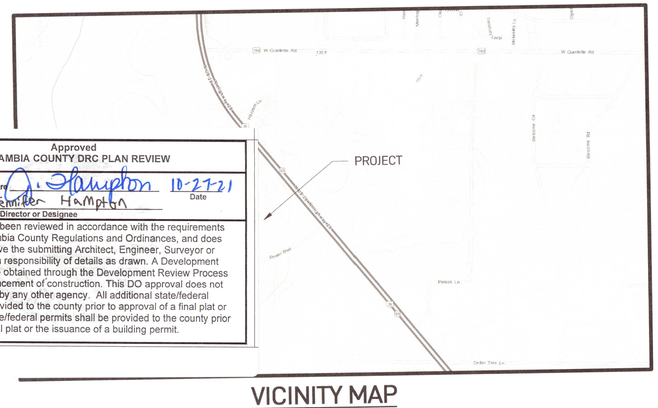
PROPERTY REFERENCE NUMBER: 33 - 2N - 31 - 1300000015
ZONE: HC/LI
SURROUNDING ZONE: HC/LI

OWNER / DEVELOPER: JEFF SMITH
PO BOX 93
CANTONMENT, FL 32533

PROPOSED USE: LANDSCAPING SERVICE

PROPOSED BUILDING HEIGHT: 23'

THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN **FLOOD ZONE X**, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND .2-PERCENT-ANNUAL-CHANCE FLOODPLAINS. NO BFEs OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS **120033C0240G**, MAP REVISION DATED SEPTEMBER 29. 2006.




## VICINITY MAP

Approved
ESCAMBIA COUNTY DRC PLAN REVIEW

DRC Chairman Signature: J. Hampton 10-27-21 Date
Printed Name: Jennifer Hampton
Development Services Director or Designee

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

Project: **NEW OPERATIONS BUILDING FOR**
**LAWN XSCAPES, LANDSCAPE MANAGEMENT**
**1661 SUCCESS DR, CANTONMENT, FL 32533**
Prepared For: **JEFF SMITH, OWNER**


JOHN R OGLESBY P.E.
CONSULTING ENGINEER
715 E Gadsden St
Pensacola, Florida
(850) 435-1165
PE #65396


Seal:

10/15/2021

Revisions:

| Mark: | Date: | By: | Description: |
|---|---|---|---|
| 1 | 10/15/21 | WHC | CONS. DRIVE & NOTES |

Project No: **2021-026**

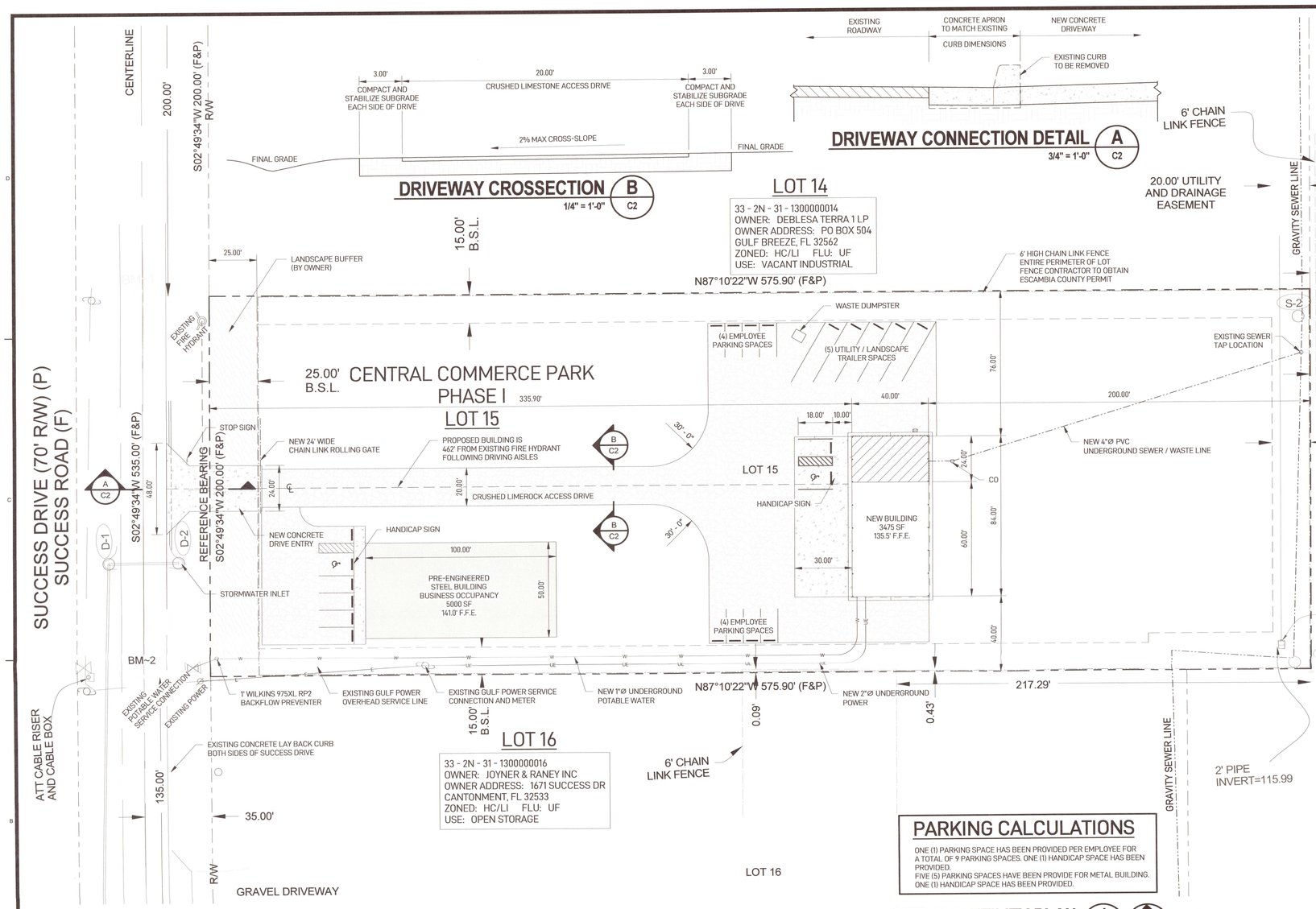
Drawing Title:

**EXISTING SITE PLAN**

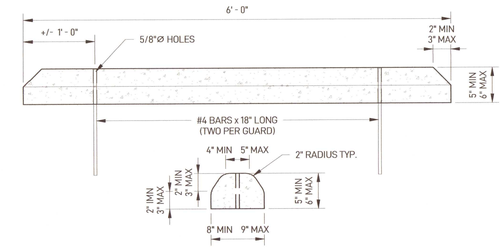
Date: **10/05/2021**

Designed by: **JRO**
Drawn by: **WHC**
Checked by: **JRO**

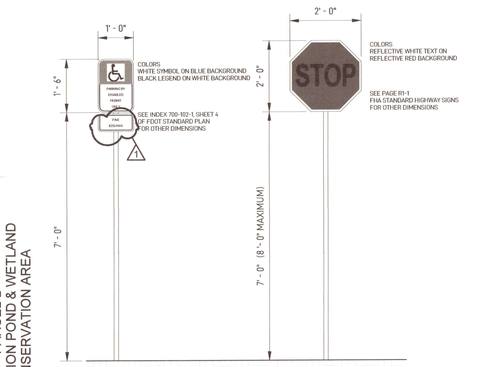
Drawing No: **C1**



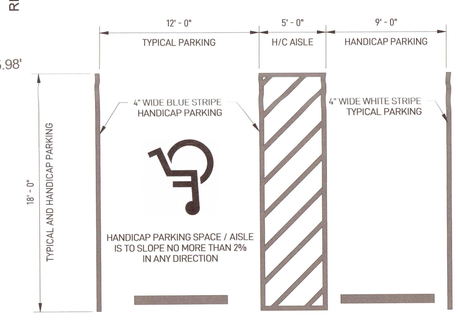

SITE AND UTILITY PLAN 1 C2
1" = 30'-0"




CONCRETE BUMPER GUARD



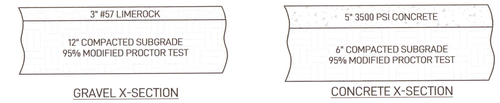

SIGNS DETAIL




PARKING SPACE DETAIL

## PARKING CALCULATIONS

ONE (1) PARKING SPACE HAS BEEN PROVIDED PER EMPLOYEE FOR A TOTAL OF 9 PARKING SPACES. ONE (1) HANDICAP SPACE HAS BEEN PROVIDED.
FIVE (5) PARKING SPACES HAVE BEEN PROVIDE FOR METAL BUILDING. ONE (1) HANDICAP SPACE HAS BEEN PROVIDED.




GRAVEL X-SECTION

CONCRETE X-SECTION

## GENERAL NOTES:

1. THE PROJECT ENGINEER (ENGINEER OF RECORD) MUST PROVIDE TO ESCAMBIA COUNTY AS-BUILT RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY 1 WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS, THE AS-BUILT CERTIFICATION OF THE AS-BUILT RECORD DRAWING MUST BE SIGNED, SEALED, AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.

2. ALL PAVEMENT MARKINGS TO BE THERMOPLASTIC AND IN CONFORMANCE WITH SECTION 711 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (1991).

3. ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD.

4. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOWS AS-BUILT CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.

5. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3434. AS BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.

6. NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W 1-800-432-4770.

7. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY.

8. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND ESCAMIBA COUNTY. AND DEVIATIONS MAY RESULT IN DELAY IN OBTAINING A CERTIFICATE OF OCCUPANCY.

9. BOUNDARY SURVEY AND DESCRIPTION IS SUPPLIED BY OWNER.

10. NO PROTECTED TREES ARE PRESENT ON THIS SITE

11. ALL NON-HANDICAP PARKING SPACE LINES ARE TO BE WHITE.

12. ALL BUILDINGS AND MAILBOXES SHOULD DISPLAY THE CORRECT STREET NUMBER. THIS NUMBER MUST BE AT LEAST 3 INCHES IN HEIGHT. PROPERLY DISPLAYING THE ADDRESS WILL ALSO ENABLE FIRE, POLICE, AND AMBULANCE PERSONNEL TO LOCATE THE BUILDING IN AN EMERGENCY.

13. DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.

14. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION. THESE PLANS ONLY DEPICT THE MINIMUM REQUIREMENTS NECESSARY FOR PERMITTING AND DO NOT RELIVE THE CONTRACTOR OF PROVIDING ADDITIONAL MEASURES AS REQUIRED.

15. THE CONTRACTOR/OWNER IS TO ENSURE THAT ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/4" RAINFALL EVENT OR AT LEAST WEEKLY. IF AN NPDES PERMIT IS REQUIRED FOR THIS PROJECT, THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS; INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO FDEP.

16. SITE CONTRACTOR OR OWNER IS TO NOTIFY ENGINEER OF RECORD IN WRITING 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

17. PER ESCAMBIA COUNTY'S LAND DEVELOPMENT CODE, ALL TREE REMOVAL, LAND CLEARING, FILLING OR PLACEMENT OF FILL MATERIALS ONSITE, GRADING, EXCAVATING, BERMING, CUTTING, OR ANY OTHER LAND DISTURBING ACTIVITIES THAT MAY ALTER LAND TOPOGRAPHY OR VEGETATIVE COVER SHALL BE PERMITTED OR OTHERWISE APPROVED IN WRITING BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.

18. ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION / DETENTION AREAS.

1

## UTILITY NOTES:

1. ALL LARGE TAPPING SADDLES WILL BE PRESSURE TESTED TO HOLD 150PSI FOR 2 HOURS BEFORE MAKING ANY TAPS WITH NO DROP IN PRESSURE. A COTTAGE HILLS WATER WORKS REPRESENTATIVE MUST BE PRESENT TO WITNESS PRESSURE TEST BEFORE TAPPING THE MAIN. A 48 HOUR NOTICE TO COTTAGE HILLS WATER WORKS IS REQUIRED PRIOR TO DOING THE PRESSURE TEST.

2. ALL WORK MUST BE DONE BY A FLORIDA LICENSED UNDERGROUND UTILITY CONTRACTOR.

3. ALL WATER MAIN PIPE AND PIPE FITTINGS INSTALLED SHALL BE COLOR CODED IN ACCORDANCE WITH THE REQUIREMENTS IN FDEP RULE 62-55.320(21)(b)3, FAC.

4. CONTRACTOR SHALL PROVIDE TO ENGINEER OF RECORD, UPON POTABLE WATER INSTALLATION IS COMPLETED, A SET OF AS-BUILT PLANS SHOWING LOCATION OF ALL SERVICES, HYDRANTS, FITTINGS, VALVES, AND MEASUREMENTS FRO BACK OF CURB OR EDGE OF ROADWAY PAVEMENT. AFTER INSPECTIONS ARE COMPLETED FDEP REQUIRES A DISC WITH THE AS-BUILT PLAN.

5. CONTRACTOR IS RESPONSIBLE AND LIABLE FOR LOCATING ALL UTILITIES IN RIGHT-OF-WAY AND SHALL CONTACT SUNSHINE UTILITIES WITHIN 96 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RIGHT-OF-WAY AT 1-800-432-4770. LOCATION OF EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE ONLY AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION BEFORE CONSTRUCTION. FAILURE OF THE PLANS TO SHOW THE EXISTENCE OF ANY UNDERGROUND UTILITIES, STRUCTURES, ECT., SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF LOCATING, PRESERVING, AND PROTECTING SAID UTILITY OR STRUCTURES.

6. CONTRACTOR SHALL NOTIFY COTTAGE HILLS WATER WORKS INC. 48 HOURS PRIOR TO COMMENCEMENT OF PROJECT.

7. ANY ONSITE PVC GRAVITY SEWER LINES SHALL MEET ASTM D3034.

8. ALL ONSITE WATER AND SEWER FACILITIES SHALL BE PRIVATELY OWNED, OPERATED, AND MAINTAINED.

9. WATER SUPPLY FACILITIES, INCLUDING MAINS, SHALL BE INSTALLED, CLEANED, DISINFECTED, AND BACTERIOLOGICALLY CLEARED FOR SERVICE IN ACCORDANCE WITH THE LATEST AWWA STANDARDS (C651-92) AND FDEP REQUIREMENTS (RULE 62-555.315(4), 62-555.340 AND 62-555.330). COORDINATE WITH COTTAGE HILL WATER WORK INSPECTOR AND QUALITY CONTROL SUPERVISOR.

10. CONTRACTOR IS RESPONSIBLE FOR ADJUSTMENTS OF EXISTING UTILITIES, UNLESS OTHERWISE NOTED HEREIN, IF PROPOSED IMPROVEMENTS IMPACT EXISTING UTILITIES.

11. MINIMUM COVER FOR ALL WATER AND SEWER PIPE SHALL BE 30-INCHES UNLESS OTHERWISE INDICATED ON PLANS.

12. ALL WATER MAIN PIPE, PIPE FITTINGS, VALVES AND METERS INSTALLED DURING WATER MAIN AND SERVICE LINE INSTALLATION SHALL MEET AWWA AND FDEP STANDARDS. PVC WATER MAIN PIPING SHALL MEET AWWA C900.

13. CONTRACTOR SHALL PRESSURE AND LEAK TEST ANY NEW WATER MAIN IN ACCORDANCE WITH AWWA STANDARD C603 OR C605, AS APPLICABLE SERVICE LINES DO NOT NEED TO BE TESTED.

## LOT COVERAGE

| | | |
|---|---|---|
| TOTAL LAND AREA | 115,180 SF | 2.64 ACRES |
| | | |
| EXISTING IMPERVIOUS | 0 SF | 0% |
| EXISTING SEMI-IMPERVIOUS | 0 SF | 0% |
| EXISTING PERVIOUS | 115,180 SF | 100% |
| | | |
| PROPOSED DRIVEWAY | 650 SF | |
| PROPOSED PAVING | 2892 SF | |
| PROPOSED BUILDING | 3475 SF | |
| PROPOSED BUILDING | 5000 SF | |
| | | |
| PROPOSED SEMI-IMPERVIOUS | 24473 sf x 0.60 = 14684 sf | |
| | | |
| TOTAL PROPOSED IMPERVIOUS | 12017 SF | 10% |
| TOTAL PROPOSED SEMI-IMPERVIOUS | 14684 SF | 13% |
| REMAINING PERVIOUS | 88479 SF | 77% |
| | | |
| TOTAL LOT COVERAGE (80% ALLOWABLE) | 23% | |

Project: NEW OPERATIONS BUILDING FOR
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1661 SUCCESS DR, CANTONMENT, FL 32533

Prepared For:
JEFF SMITH, OWNER


JOHN R OGLESBY P.E.
CONSULTING ENGINEER
715 E Gadsden St
Pensacola, Florida
(850) 435-1165
PE #65396


Seal:

10/15/2021

Revisions:

| Mark: | Date: | By: | Description: |
|---|---|---|---|
| 1 | 10/15/21 | WHC | NOTES ADDED |

Project No: 2021-026

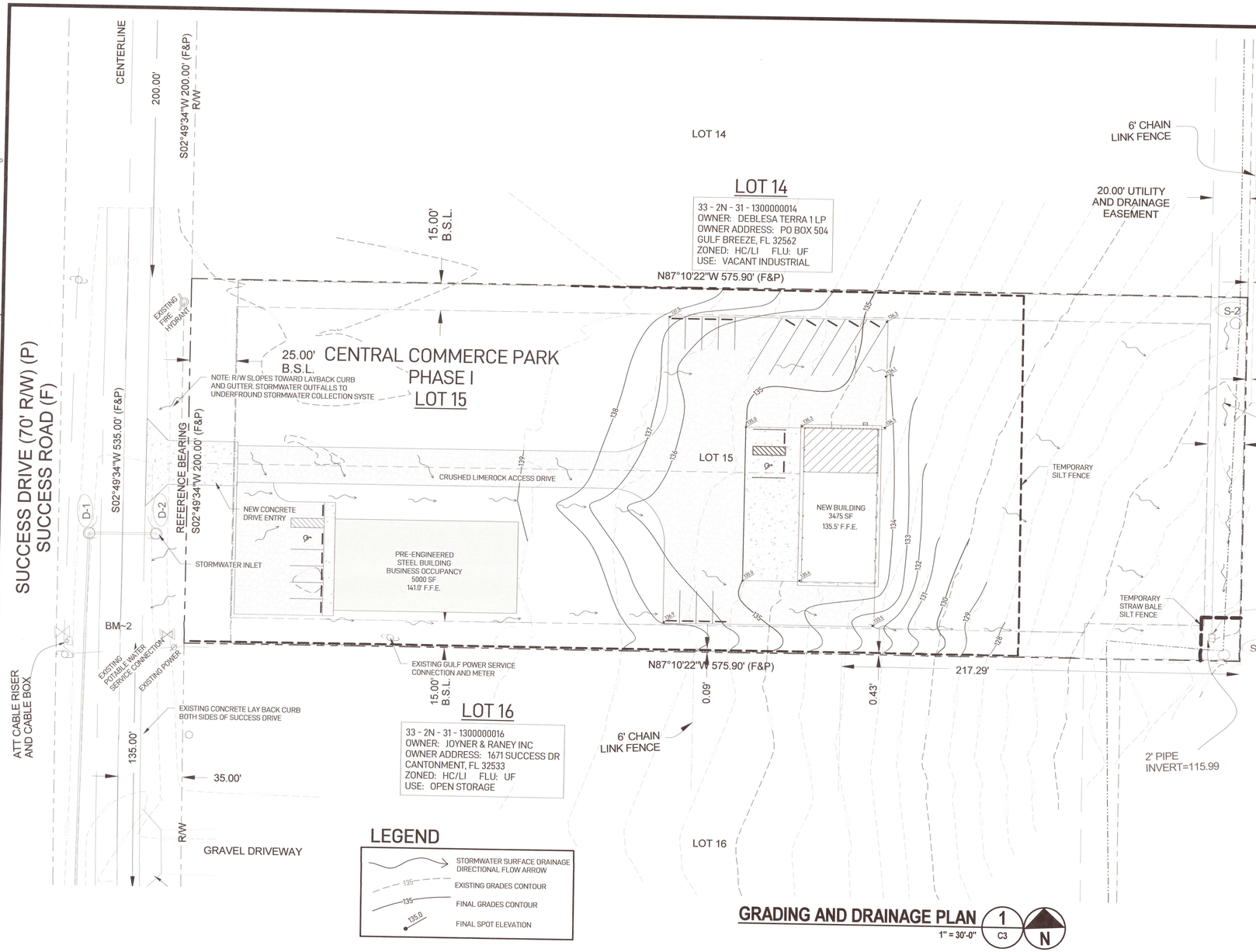
Drawing Title:

**SITE AND UTILITY PLAN**

Date: 10/05/2021

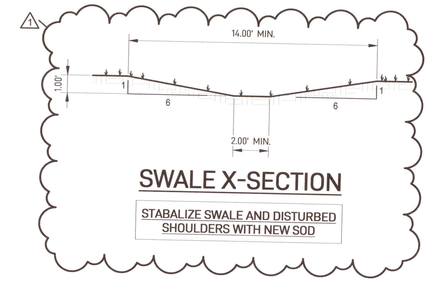
Designed by: JRO
Drawn by: WHC
Checked by: JRO

Drawing No: C2




## GRADING AND DRAINAGE PLAN

1 C3 — 1" = 30'-0" — N




## SWALE X-SECTION

STABALIZE SWALE AND DISTURBED SHOULDERS WITH NEW SOD

## LEGEND

- STORMWATER SURFACE DRAINAGE DIRECTIONAL FLOW ARROW
- 135 — EXISTING GRADES CONTOUR
- 135 — FINAL GRADES CONTOUR
- 135.0 — FINAL SPOT ELEVATION

**LAND DISTURBANCE ACTIVITIES:**

PER ESCAMBIA COUNTY'S LAND DEVELOPMENT CODE, ALL TREE REMOVAL, LAND CLEARING, FILLING OR PLACEMENT OF FILL MATERIALS ONSITE, GRADING, EXCAVATING, BERMING, CUTTING, OR ANY OTHER LAND DISTURBING ACTIVITIES THAT MAY ALTER LAND TOPOGRAPHY OR VEGETATIVE COVER SHALL BE PERMITTED OR OTHERWISE APPROVED IN WRITING BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.

## EROSION AND SEDMENTATION CONTROL NOTES:

1. BALES SHALL BE PLACED IN A SINGLE ROW, LENGTHWISE ON THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER PRIOR TO EARTHWORK OPERATIONS.

2. ALL BALES SHALL BE EITHER WIRE-BOUND OR STRING-TIED. STRAW BALES SHALL BE INSTALLED SO THAT BINDINGS ARE ORIENTED AROUND THE SIDES RATHER THAN ALONG THE TOPS AND BOTTOMS OF THE BALES (IN ORDER TO PREVENT DETERIORATION OF THE BINDINGS).

3. THE BARRIER SHALL BE ENTRENCHED AND BACK FILLED A TRENCH SHALL BE EXCAVATED THE WIDTH OF A BALE AND THE LENGTH OF THE PROPOSED BARRIER TO A MINIMUM DEPTH OF 4 INCHES. AFTER THE BALES ARE STACKED AND CHINKED, THE EXCAVATED SOIL SHALL BE BACK FILLED AGAINST THE BARRIER. BACK FILL SOIL SHALL CONFIRM TO THE GROUND LEVEL ON THE DOWNHILL SIDE AND SHALL BE BUILT UP TO 4 INCHES AGAINST THE UPHILL SIDE OF THE BARRIER.

4. EACH BALE SHALL BE SECURELY ANCHORED BY AT LEAST TWO STAKES OR REBARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE TO FORCE THE BALES TOGETHER. STAKES OR REBARS SHALL BE DRIVEN DEEP ENOUGH INTO THE GROUND TO SECURELY ANCHOR THE BALES.

5. THE GAPS BETWEEN BALES SHALL BE CHINKED (FILLED BY WEDGING) WITH STRAW TO PREVENT WATER FROM ESCAPING BETWEEN THE BALES. (LOOSE STRAW SCATTERED OVER THE AREA IMMEDIATELY UPHILL FROM A STRAW BALE BARRIER TENDS TO INCREASE BARRIER EFFICIENCY).

6. STRAW BALE BARRIERS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS, BUT NOT BEFORE THE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED.

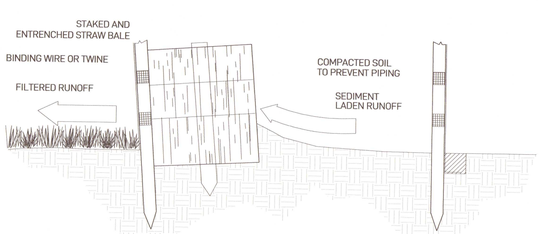
7. STRAW BALE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

8. CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RUNDS AND UNDERCUTTING BENEATH BALES.

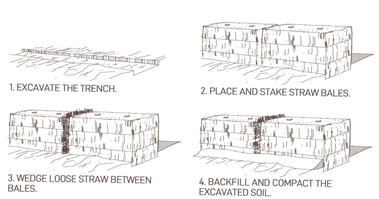
9. NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY.

10. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE BARRIER.

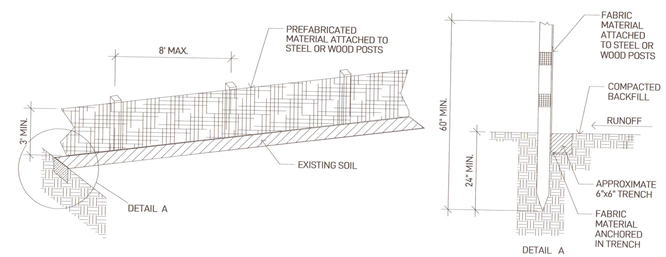
11. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE STRAW BALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.




CROSS-SECTION OF PROPERLY INSTALLED STRAW BALE




STRAW BALE BARRIER




SILT FENCE DETAIL

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Seal:

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Revisions:

| Mark: | Date: | By: | Description: |
|---|---|---|---|
| 1 | 10/15/21 | WHC | STORMWATER |

Project No: 2021-026

Drawing Title:

**GRADING AND DRAINAGE PLAN**

Date: 10/05/2021

Designed by: JRO
Drawn by: WHC
Checked by: JRO

Drawing No: C3