

GENERAL NOTES:

1. CONTRACTOR IS REQUIRED TO VISIT SITE AND FAMILIARIZE HIM/HERSELF WITH THE PROJECT PRIOR TO BIDDING.
2. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL AND STATE REGULATIONS CONCERNING NOTIFICATION TO THE REGULATORY AUTHORITIES OF ANY AND ALL BUILDING RENOVATIONS AND/OR DEMOLITION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION MONITORING AND NOTIFYING THE ENGINEER OF RECORD AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND CONCLUSION OF CONSTRUCTION, AS WELL AS SUPPLYING CLEAR AND LEGIBLE REVISIONS TO THE CONSTRUCTION PLANS FOR USE DURING AS-BUILT CERTIFICATION.
4. ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER & MULCH, HYDROSEED AND/OR SOD (RECOMMEND CENTPEDE, PENSACOLA BAHIA OR BERMUDA SOD). POND AND SWALE TOPS AND SIDES SHALL BE SODDED AND PINNED. ALL SOD PLACED ON SIDE SLOPES 4 TO 1 OR GREATER SHALL BE PINNED.
5. WHERE SOD IS BEING INSTALLED, TOPSOIL SHALL BE USED AS A BASE AT LEAST 3" DEEP.
6. AFTER THE SITE HAS BEEN BROUGHT TO PROPER GRADE FOR PLACEMENT OF TOPSOIL, THE SUBGRADE SHALL BE LOOSENEED BY DISKING OR SCARIFYING TO A DEPTH OF 2" TO INSURE BONDING OF THE TOPSOIL AND SODDING.
7. TOPSOIL SHALL NOT BE PLACED IN A MUDDY CONDITION, WHEN THE SUBGRADE IS EXCESSIVELY WET, OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND PROPOSED SODDING.
8. THE TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED TO A MINIMUM COMPACTED DEPTH OF 3".
9. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
10. COMPACT THE TOPSOIL ENOUGH TO ENSURE GOOD CONTACT WITH THE UNDERLYING SOIL AND TO OBTAIN A LEVEL SEED BED FOR THE ESTABLISHMENT OF HIGH MAINTENANCE TURF. AVOID UNDEE COMPACTION.
11. CONTRACTOR IS TO MAINTAIN SODDING AND GRASSING BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, RE-GRAIDING AND REPLANTING AS REQUIRED TO ESTABLISH GRASSED/SODDED AREAS FREE OF ERODED OR BARE AREAS AND REPLACE ANY REJECTED MATERIALS PROMPTLY FROM THE SITE. CONTRACTOR IS TO INCLUDE COST OF MAINTAINING SODDING AND GRASSING IN THE BID.
12. CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN A CODE ENFORCEMENT VIOLATION.
13. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE ANY DISTURBED AREAS FOUND IN RETENTION POND AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
14. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION AND PROVIDE A TOPOGRAPHICAL SURVEY (CERTIFIED BY A STATE OF FLORIDA LICENSED SURVEYOR) OF THE PROJECT AREA WHICH ILLUSTRATES AS-BUILT CONDITIONS OF ALL WORK AND SITE IMPROVEMENTS, INCLUDING OF PIPING, DRAINAGE STRUCTURES, STORMWATER POND TOPOGRAPHY, SITE ELEVATIONS AND GRADING. ALL RECORD DRAWINGS, ETC. THESE RECORD DRAWINGS ARE TO BE PROVIDED TO THE PROJECT ENGINEER PRIOR TO REQUESTING FINAL INSPECTION.
15. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY INSPECTIONS OFFICE (850-585-3569) AN INSPECTION OF THE EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO CONSTRUCTION, UNDERGROUND DRAINAGE STRUCTURES PRIOR TO BURIAL, ALL INTERMEDIATE INSPECTIONS AND THE FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
16. EROSION SHALL BE CONTROLLED BY THE USE OF A HAY BALE BARRIER/SILT FENCE AS SHOWN ON PLANS AND SHALL BE SETUP PRIOR TO COMMENCING CONSTRUCTION. THE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT, THE DETENTION AREA SHALL BE CLEANED OF SILT & STABILIZATION OF ALL DISTURBED AREAS SHALL BE ACCOMPLISHED.
17. CONTRACTOR SHALL NOTIFY SUNSHINE ONE UTILITIES (1-800-432-4770) TWO FULL BUSINESS DAYS IN ADVANCE PRIOR TO DIGGING WITHIN R/W.
18. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION AND ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
19. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
20. RIGHT-OF-WAY SHOULDER STABILIZATION SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).
21. ALL EXCESS MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR. IF THERE WILL BE TEMPORARY STOCKPILING OF MATERIALS ON THE SITE, THESE AREAS SHOULD CONTAIN EROSION CONTROL BMP'S (E.G. SILT FENCE, HAY BALES, ETC) AS NECESSARY.
22. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.
23. ALL BUILDING ROOF DRAINS, DOWN SPOUTS OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER RUNOFF TO ON-SITE RETENTION BASIN.
24. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES FOR REMOVAL AND RELOCATION OF EXISTING UTILITY POLES, AERIAL LINES, WATER LINES, GAS LINES AND OTHER UTILITIES AS NECESSARY.
25. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION.
26. UTILITY LOCATIONS ARE APPROXIMATE BASED ON LOCATION OF ABOVE GROUND APPURTENANCES, AND AS TAKEN FROM THE SURVEY. UNDERGROUND UTILITIES NOT SHOWN HEREIN MAY EXIST.
27. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
28. CONTRACTOR SHALL COMPLY WITH ANY TESTING REQUIRED BY STATE AND LOCAL GOVERNING AGENCIES SUCH AS ASPHALT CORES AND SUB-BASE/BASE COMPACTION TESTING.
29. THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY CONFLICTS BETWEEN VENDOR DRAWINGS, EXISTING CONDITIONS AND THE CONSTRUCTION DOCUMENTS.
30. CONTRACTOR TO PROVIDE PROTECTION TO TREES THAT ARE TO REMAIN VIA TREE PROTECTION BARRIERS. REFER TO EROSION CONTROL PLAN FOR MORE INFORMATION.
31. TREENCHING OR GRADING AROUND TREES TO REMAIN SHALL BE AWAY FROM THE TREE IN A MANNER TO CAUSE NO DAMAGE TO THE TREE'S CRITICAL ROOT ZONE. THE CRITICAL ROOT ZONE IS REPRESENTED BY A CIRCLE, CENTERED ON THE TREE TRUNK AND HAVING A RADIUS OF ONE FOOT FOR EACH ONE INCH OF TRUNK DIAMETER (DBH). REFER TO LANDSCAPING PLAN FOR ADDITIONAL INFORMATION.

SIGNAGE:

FREESTANDING SIGNAGE:

ONE (1) FREESTANDING SIGN STRUCTURE ALLOWED PER PARCEL STREET FRONTAGE (DEVELOPMENT PARCEL IS LESS THAN 2 AC). STRUCTURES SHALL BE PLACED NO LESS THAN 200 LF FROM ANY OTHER NON-EXEMPT SIGN STRUCTURES ON THE SAME PARCEL, EXCLUDING BILLBOARDS. SIGNS SHALL NOT BE PLACED ON PUBLIC PROPERTY, INCLUDING PUBLIC RIGHTS-OF-WAYS, OR PLACED ON PRIVATE PROPERTY IN ANY MANNER THAT PROJECTS OR EXTENDS A SIGN OVER PUBLIC PROPERTY, WITHOUT APPLICABLE PUBLIC AGENCY AUTHORIZATIONS AND PERMITS. SIGN SHALL NOT OBSTRUCT VISION ON PRIVATE PROPERTY ALONG A STREET RIGHT-OF-WAY BETWEEN THREE FEET AND NINE FEET ABOVE GRADE WITHIN TEN FEET OF THE RIGHT OF WAY.

GULF BEACH HIGHWAY (COLLECTOR STREET):
FREESTANDING SIGNAGE SHALL BE LIMITED TO ONE SIGN A MAXIMUM OF 150 SF (150' FRONTAGE * 1 SF/LF OF FRONTAGE) IN AREA AND A MAXIMUM OF 25 LF IN HEIGHT.

WALL SIGNAGE:

GULF BEACH HIGHWAY FRONTAGE (COLLECTOR ST.): THE MAXIMUM WALL SIGN AREA SHALL BE LIMITED TO 599.06 SF (2.25 SF * 266.25 LF BLDG. FRONTAGE)

EACH BUILDING, OR EACH TENANT SPACE OF A MULTI-TENANT BUILDING, MAY HAVE MULTIPLE WALL SIGNS, BUT THE TOTAL WALL SIGN AREA ON A BUILDING OR TENANT WALL SHALL NOT EXCEED THE ALLOWANCE FOR THAT WALL. UNUSED SIGN AREA ON ONE BUILDING OR TENANT WALL IS NOT AVAILABLE TO ANY OTHER BUILDING OR TENANT WALL. THE CALCULATED MAXIMUM WALL SIGN AREA OF 100 SF IS FOR THE FRONT WALL.

A VALID ESCAMBIA COUNTY SIGN PERMIT MUST BE OBTAINED PRIOR TO ERECTING, CONSTRUCTING, ALTERING OR RELOCATING ANY SITE SIGNAGE. FOR SIGNS PLACED ON A CORNER, THE SIDE SETBACK WILL BE DETERMINED BY MEASURING 35' ALONG THE INTERSECTIONS OF THE TWO PUBLIC RIGHTS OF WAY.

JURISDICTIONAL CONTACTS:

ESCAMBIA COUNTY DEVELOPMENT SERVICES

3363 WEST PARK PLACE
PENSACOLA, FL 32505
PHONE NO.: (850)-595-3475
FAX NO.: (850)-595-3481

EMERALD COAST UTILITIES AUTHORITY

9255 STURDEVANT STREET
PENSACOLA, FL 32514
PHONE NO.: (850)-478-5110
FAX NO.: 850-494-7346

NORTHWEST FLORIDA WATER MANAGEMENT DISTRICT

700 US HIGHWAY 331 SOUTH
DEPUYAK SPRINGS, FL 32435
PHONE NO.: (850)-951-4660
FAX NO.: (850)-892-8007

FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION

2600 BLAIR STONE ROAD
TALLAHASSEE, FL 32399
PHONE NO.: (866)-336-6312
FAX NO.: (850)-297-1211

PROJECT DIRECTORY:

CIVIL ENGINEER

HAMMOND ENGINEERING, INC.
3802 NORTH 'S' ST
PENSACOLA, FL 32505
PHONE NO.: (850)-434-2603
FAX NO.: (850)-434-2650

SURVEYOR

KJM LAND SURVEYING, LLC.
1616 W. AVERY STREET
PENSACOLA, FL 32501
PHONE NO.: (850)-438-0202
FAX NO.: (850)-438-1307

GEOTECHNICAL ENGINEER

GEON CON ENGINEERING & MATERIALS TESTING, INC.
22885 MCAULIFFE DRIVE
ROBERTSDALE, AL 36567
PHONE NO.: (251)-947-1035

SITE DEVELOPMENT PLANS FOR DCB STORAGE

SECTION 12 TOWNSHIP 3 SOUTH, RANGE 32 WEST ESCAMBIA COUNTY, FLORIDA

13131 GULF BEACH HIGHWAY
PENSACOLA, FL 32507

OWNER/DEVELOPER:

DYLAN BAGWELL
(225)-776-2441
DCB LAND HOLDINGS LLC.
4716 AVERY GRACE DRIVE
ADDIS, LA 70710

PROPERTY ID NO: 12-3S-32-5001-000-003
ZONING DESIGNATION: HC/LI
ADJACENT ZONING: HC/LI
FLU DESIGNATION: C
ADJACENT FLU: C

INDEX OF DRAWINGS:

- C1 ~ COVER
- C2 ~ EXISTING CONDITIONS
- C3 ~ DEMOLITION & EROSION CONTROL PLAN
- C4 ~ STORMWATER POLLUTION PREVENTION PLAN
- C5 ~ SITE & UTILITY PLAN
- C6 ~ GRADING & DRAINAGE PLAN
- C7 ~ UNDERGROUND STORMWATER PLAN
- C8 ~ LANDSCAPING PLAN
- C9 ~ CONSTRUCTION DETAILS
- C10 ~ CONSTRUCTION DETAILS



HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH "S" STREET
PENSACOLA, FLORIDA 32505
850-434-2603
FAX 850-434-2650
TOM@SELANDDESIGN.COM

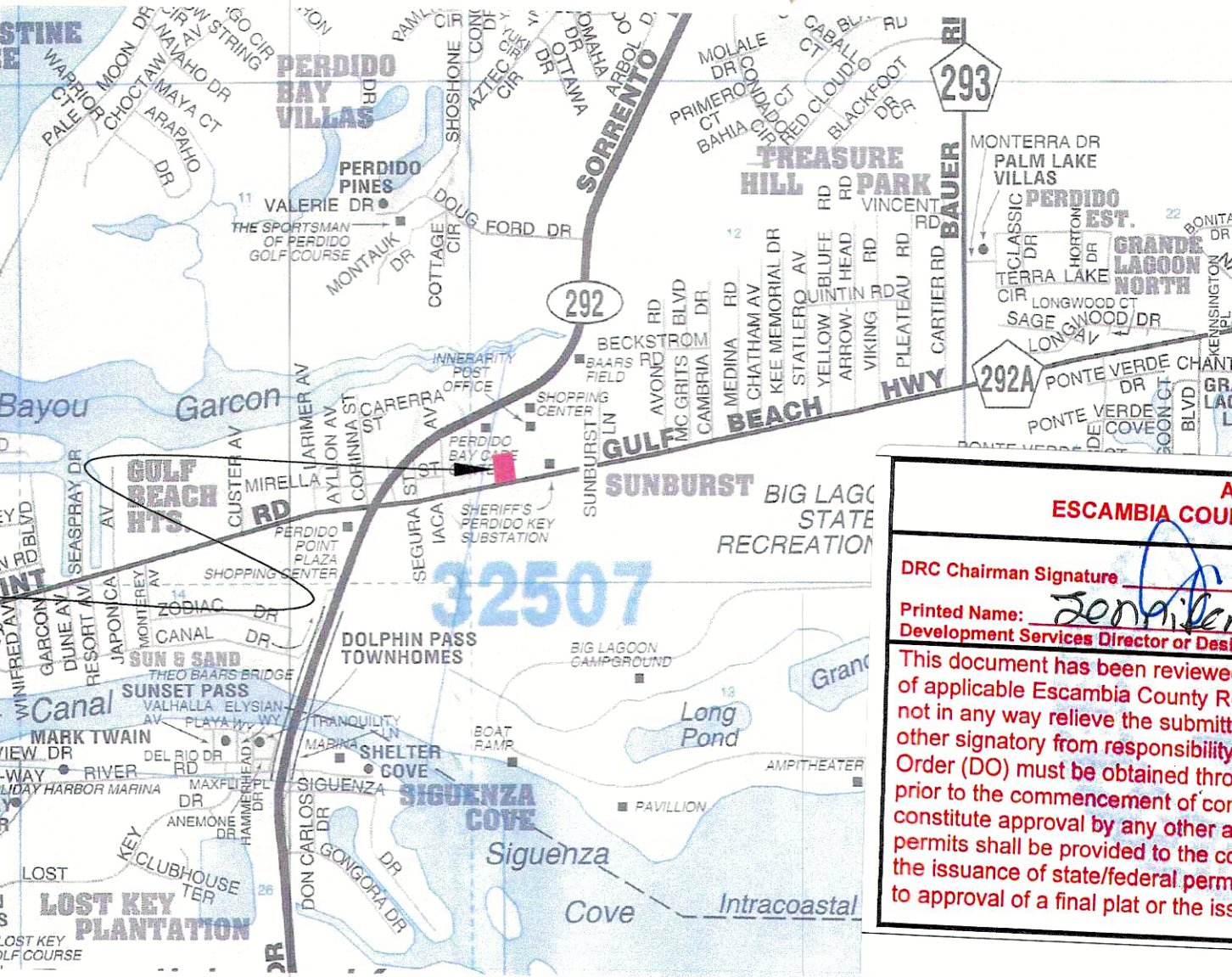
REVISED DECEMBER 16, 2021
HEI PROJECT #: 21-080

GENERAL NOTES:

32. CONTRACTOR SHALL CONSTRUCT TEMPORARY MEASURES AND SUPPORT TO ACCESS THE SITE AND SHALL INCLUDE THE COST FOR SAME IN THE BID. CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE SATISFACTION OF THE OWNER AND/OR GOVERNING AGENCY.
33. CONTRACTOR SHALL COORDINATE HIS WORK AND COOPERATE WITH OTHER CONTRACTORS WORKING AROUND THE PROJECT AREA.
34. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, ETC.) TO THE APPROPRIATE STATE (TDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ESCAMBIA COUNTY HEALTH DEPT. 850-585-6700) AGENCIES.
35. SOLID WASTE SHALL BE KEPT IN AN APPROVED DUMPSTER THROUGHOUT CONSTRUCTION ACTIVITIES.
36. ALL VALVE BOXES SHALL BE SET FLUSH WITH GRADE(IF APPLICABLE).
37. ADEQUATE PROVISIONS SHALL BE MADE FOR FLOW OF SEWERS, DRAINS, AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
38. THE CONTRACTOR SHALL FLUSH AND CLEAN ALL STORMWATER PIPES AND STRUCTURES AT END OF CONSTRUCTION AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED.
39. PLACEMENT OF UNDERGROUND SYSTEMS, IRRIGATION, SEWER, WATER, DRAINAGE, ELECTRICAL, GAS, ETC. SHALL BE COMPLETED PRIOR TO LANDSCAPE INSTALLATION.
40. PROPERTY OBSTRUCTIONS WHICH ARE TO REMAIN IN PLACE SUCH AS BUILDINGS, SEWERS, DRAINS, WATER OR GAS PIPES, ELECTRICAL, CONDUITS, POLES, WALLS, POSTS, ETC. ARE TO BE CAREFULLY PROTECTED AND ARE NOT TO BE DISPLACED UNLESS NOTED.
41. THE CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE AND FEDERAL AGENCIES RULES CONCERNING SAFETY.
42. CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS, AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK AND UNTIL IT IS SAFE FOR BOTH PEDESTRIAN AND VEHICULAR TRAFFIC.
43. CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH DE-WATERING AND DE-MUCKING FOR INSTALLATION OF REQUIRED INFRASTRUCTURE (IF APPLICABLE).
44. THE CONTRACTORS MEANS AND METHODS OF GROUNDWATER DE-WATERING SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS FOR THE TEMPORARY DIVERSION OF GROUNDWATER AND ITS DISCHARGE, INCLUDING FAC CHAPTER 62-621.300(2) "GENERIC PERMIT FOR THE DISCHARGE OF PRODUCED GROUNDWATER FROM ANY NON-CONTAMINATED SITE ACTIVITY" (IF APPLICABLE)
45. CONTRACTOR SHALL INCLUDE IN HIS BID ANY COST ASSOCIATED WITH SELECT BACKFILL FOR INSTALLATION OF ANY INFRASTRUCTURE.
46. CONTRACTOR SHALL CLEAN UP ENTIRE SITE INCLUDING STAGING AREAS AT LEAST TWO TIMES PER WEEK. THIS SHALL INCLUDE LOCATING TRASH/SOAP RECEPTACLES AT APPROPRIATE LOCATIONS AROUND THE SITE. CONTRACTOR SHALL PICK UP ALL ROCKS, METAL, PIPE, NAILS, NUTS, BOLTS, BOARDS, PAPER, TRASH, ETC. AT LEAST TWICE A WEEK. CONTRACTOR SHALL INCLUDE COST OF SAME IN BID.
47. CONTRACTOR SHALL RESTORE ALL STAGING AREAS TO AS GOOD AS OR BETTER CONDITION THAN EXISTED PRIOR TO CONSTRUCTION. THIS INCLUDES IRRIGATION AND SOD REPLACEMENT IF NECESSARY. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 20 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE.
48. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL.
49. ANY SLOPES RECEIVING INFRASTRUCTURE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1)
50. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET, TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STANDARDS FOR EROSION CONTROL.
51. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMITS OF DISTURBANCE OR ONTO PUBLIC RIGHT OF WAY WILL BE REMOVED IMMEDIATELY.
52. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
53. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE #48 ABOVE.
54. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
55. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
56. ANY DIRT THAT RUNS OFF OF THE PROJECT SITE ONTO PUBLIC STREETS SHALL BE REMOVED AND CLEANED IMMEDIATELY. FAILURE TO COMPLY CAN RESULT IN CODE ENFORCEMENT ACTION.
57. ANY AREAS USED FOR THE CONTRACTORS STAGING, INCLUDED BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (I.E. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.) SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.
58. ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT ESCAMBIA COUNTY, FDEP, AND EQVA STANDARDS AND REQUIREMENTS.
59. FOR SITES WITH DISTURBANCE EXCEEDING 1 ACRE...TO COMPLY WITH NPDES REQUIREMENTS, THE CONTRACTOR SHALL SUBMIT AN NPDES NOTICE OF INTENT TO FDEP A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION. ADDITIONALLY ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY, A CERTIFIED STORMWATER MANAGEMENT INSPECTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL EFFORTS. INSPECTION RECORDS SHOULD BE ON HAND AT ALL TIMES AND PROVIDED TO ANY FDEP REPRESENTATIVE THAT MAY VISIT THE SITE DURING CONSTRUCTION.
60. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
61. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
62. REFER TO BUILDING PLANS FOR ADDITIONAL INFORMATION.

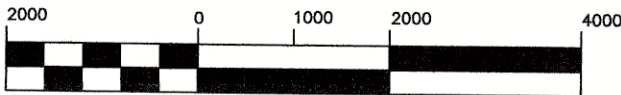
FLOOD ZONE DATA

THE SUBJECT PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE X. (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT ANNUAL-CHANCE FLOOD PLANS. NO BFE'S OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBER 12033C05080, MAP REVISIONS DATED SEPTEMBER 29, 2006.				
FLOOD ZONE(S)	NPFP COMMUNITY NUMBER	MAP NUMBER	PANEL NUMBER(S)	SUFFIX
X	120080	12033C	0508	G
			MAP REVISION DATE	
			SEPTEMBER 29, 2006	

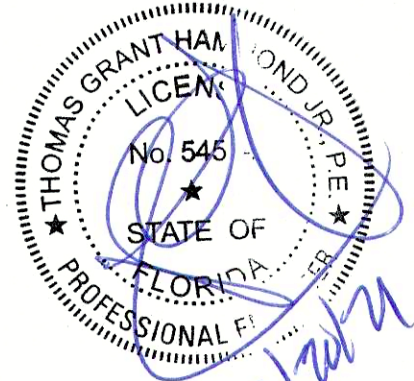


PROJECT
LOCATION

VICINITY MAP
GRAPHIC SCALE



(IN FEET)
22" x 34": 1 inch =2000 ft.
11" x 17": 1 inch =4000 ft.

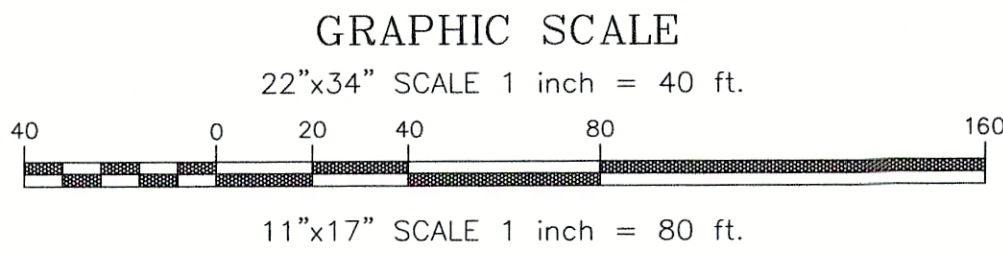


Approved
ESCAMBIA COUNTY DRC PLAN REVIEW

DRC Chairman Signature: *[Signature]*
Printed Name: *Jonathan Hampton*
Development Services Director or Designee
Date: *1-5-22*

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

SHEET
C1



SITE SURVEY COMPLETED BY:



CURVE TABLE							
CURVE	SOURCE	RADIUS	DELTA	LENGTH	CHORD	CHORD BEARING	
C-1	SPF	1196.28'	111°15'29"	235.08'	234.68'	N81°10'20"E	
C-2	DEED SPF	N/A 7630.43'	N/A 00°30'03"	85.73' 88.45'	85.72' 88.45'	S82°17'27"W S83°59'56"W	

EAST LINE OF BLOCKS 1, 2 AND 3, INNERARITY HEIGHTS

POINT OF COMMENCEMENT
INTERSECTION OF THE EAST LINE OF
BLOCKS 1, 2 AND 3, INNERARITY
HEIGHTS, AND THE NORTHERLY R/W
LINE OF GULF BEACH HIGHWAY

D-N82°36'16"E 520.60'
SPF-N84°02'00"E 520.68'
D-N82°36'16"E 490.60'
SPF-N84°02'00"E 490.68'

BENCHMARK
SET KJM PINK
CAPPED IRON ROD
ELEVATION=16.28'

BASIS OF BEARINGS
D-(N82°36'16"E)
SPF-(N84°02'00"E)
1163.75'

GULF BEACH HIGHWAY
STATE ROAD No. 292
(66' PUBLIC RIGHT-OF-WAY)

PARCEL B
(3.53 ACRES ±)
(VACANT)

UNPLATTED
(NOT INCLUDED)

UNPLATTED
(NOT INCLUDED)

- LEGEND:
- FOUND 4"x4" CONCRETE MONUMENT "BUTLER"
 - FOUND PLAIN 4"x4" CONCRETE MONUMENT
 - FOUND 1/2" CAPPED IRON ROD LB #7916
 - FOUND 1/2" CAPPED IRON ROD #7174
 - FOUND 1/2" CAPPED IRON ROD LB #7107
 - FOUND ILLEGIBLE 1/2" CAPPED IRON ROD
 - FOUND PLAIN 1/2" IRON ROD
 - FOUND NAIL & CAP LB #7107
 - POWER POLE WITH GUY ANCHOR
 - OVERHEAD UTILITY LINES
 - LAMP POST
 - BURIED NATURAL GAS LINE MARKER
 - BURIED FIBEROPTIC CABLE MARKER
 - BACKFLOW PREVENTER
 - WATER VALVE
 - FIRE HYDRANT

- ABBREVIATIONS:
- PSM -PROFESSIONAL SURVEYOR AND MAPPER
 - LS -LICENSED SURVEYOR
 - LB -LICENSED BUSINESS
 - BSL -BUILDING SETBACK LINE
 - R/W -RIGHT-OF-WAY
 - A/C -AIR CONDITIONER
 - PT -POINT OF TANGENCY
 - PC -POINT OF CURVATURE
 - D -DEED
 - P -PLAT
 - F -FIELD
 - SPF -STATE PLANE FIELD
 - NFIP -NATIONAL FLOOD INSURANCE PROGRAM
 - N/A -NOT APPLICABLE
 - RTN -REAL TIME NETWORK
 - GNS -GLOBAL NAVIGATION SATELLITE SYSTEM
 - GPS -GLOBAL POSITIONING SYSTEM
 - FPRN -FLORIDA PERMANENT REFERENCE NETWORK
 - CORS -CONTINUOUSLY OPERATING REFERENCE STATION
 - NAVD -NORTH AMERICAN VERTICAL DATUM
 - CM -CENTIMETER

DESCRIPTION: (AS FURNISHED BY CLIENT)

PARCEL B

COMMENCE AT THE INTERSECTION OF THE EAST LINE OF BLOCKS 1, 2 AND 3, INNERARITY HEIGHTS, ACCORDING TO PLAT RECORDED IN DEED BOOK 102 AT PAGE 196 OF THE PUBLIC RECORDS OF ESCAMBA COUNTY, FLORIDA WITH THE NORTHERLY RIGHT-OF-WAY LINE OF GULF BEACH HIGHWAY (STATE ROAD 292, 66' R/W).
THENCE RUN NORTH 82 DEGREES 36 MINUTES 16 SECONDS EAST ALONG SAID NORTHERLY RIGHT-OF-WAY LINE A DISTANCE OF 520.60 FEET TO THE POINT OF BEGINNING.
THENCE DEPARTING SAID NORTHERLY RIGHT-OF-WAY LINE RUN NORTH 07 DEGREES 23 MINUTES 44 SECONDS WEST, A DISTANCE OF 440.00 FEET.
THENCE RUN NORTH 82 DEGREES 36 MINUTES 16 SECONDS EAST, A DISTANCE OF 350.00 FEET.
THENCE RUN SOUTH 07 DEGREES 23 MINUTES 44 SECONDS EAST, A DISTANCE OF 370.00 FEET.
THENCE RUN SOUTH 03 DEGREES 18 MINUTES 36 SECONDS EAST, A DISTANCE OF 70.18 FEET TO A POINT ON THE NORTHERLY BOUNDARY OF SAID GULF BEACH HIGHWAY.
THENCE RUN SOUTH 82 DEGREES 36 MINUTES 16 SECONDS WEST ALONG SAID RIGHT-OF-WAY, A DISTANCE OF 544.92 FEET TO THE POINT OF BEGINNING.
THE ABOVE DESCRIBED PARCEL OF LAND LYING AND BEING IN SECTION 12, TOWNSHIP 3 SOUTH, RANGE 32 WEST, ESCAMBA COUNTY, FLORIDA.

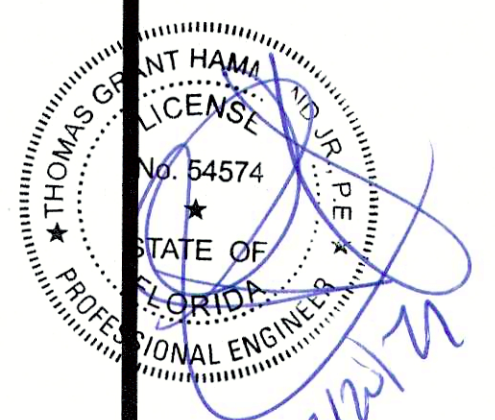
SURVEYORS NOTES:

- THE MAP OF SURVEY AS SHOWN HEREON IS A BOUNDARY AND TOPOGRAPHIC SURVEY FOR WHICH PURPOSE IS TO DEFINE THE DESCRIBED BOUNDARY AS FURNISHED, ON THE GROUND, BY RETRACEMENT OF SAID PROVIDED DESCRIPTION, RECOVERY, AND/OR PLACEMENT OF MONUMENTATION FOR SAID BOUNDARY, AND ALSO VERTICALLY DEPICT GROUND SURFACE ELEVATIONS BY SPOT ELEVATIONS AND/OR 1.0 FOOT CONTOUR INTERVALS RELATIVE TO MEAN SEA LEVEL, PREPARED FOR THE CLIENT AS SHOWN AND IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT PRIOR CONSENT FROM THIS SURVEYOR.
- BASIS OF BEARINGS FROM DESCRIPTION AS FURNISHED: NORTH AND THOSE BEARINGS FROM SAID DESCRIPTION AS FURNISHED AND AS SHOWN HEREON ARE REFERENCED TO THE DESCRIBED BEARING OF N82°36'16"E ALONG THE NORTHERLY R/W LINE OF GULF BEACH HIGHWAY AS MONUMENTED.
- BASIS OF STATE PLANE FIELD BEARINGS: GRID NORTH AND THOSE BEARINGS AS SHOWN HEREON ARE REFERENCED TO THE STATE PLANE GRID BEARING OF N84°02'00"E ALONG THE NORTHERLY R/W LINE OF GULF BEACH HIGHWAY AS MONUMENTED. THE SURVEY DATA AS SHOWN HEREON IS BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM (FLORIDA NORTH ZONE) - (NAD83) - (2011) - (EPOCH 2010.0000).
- THE BEARING EQUATION DIFFERENCE BETWEEN STATE PLANE GRID AND RECORD OF THE SURVEY AS SHOWN HEREON IS 01°25'44", AS BOTH CANNOT RETAIN THEIR INTEGRITY BY ROTATION OF ONE INTO THE OTHER, BOTH ARE DIFFERENTIATED FOR CLIENT'S NEEDS AND DUE DILIGENCE TO THE LATTER, FOR RECORD INTENTS AND PURPOSES.
- VERTICAL DATA IS BASED ON RTN GPS/GNSS OBSERVATIONS THROUGH THE FPRN, CORS REFERENCE STATION NETWORKS. ELEVATIONS ARE DETERMINED USING THE GEOID 18 MODEL AND ARE RELATIVE TO NAVD 88 WITH ACCURACIES TO 2-3 CM. ELEVATIONS DEPICTED WITHIN THIS SURVEY ARE SUB-CM INFORMATIONAL PURPOSES ONLY AND MAY NOT MEET THE ACCURACY REQUIREMENTS TO SURVEY STANDARDS.
- REFERENCE SOURCE: IN FIELD DATA GATHERING OF EXISTING PROJECT SITE FIELD MONUMENTATION; COPY OF SURVEY BY THIS FIRM, JOB #07-13814, AS DATED 07/20/07.
- ALL MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE UNITED STATES STANDARD SURVEY FOOT.
- NO TITLE SEARCH WAS PERFORMED BY THIS SURVEYOR, NOR WAS KJM LAND SURVEYING, LLC PROVIDED WITH SAME.
- NO INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAYS, AND/OR OWNERSHIPS WERE PROVIDED TO THIS SURVEYOR; EXCEPT AS SHOWN.
- NO UNDERGROUND INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED, EXCEPT AS SHOWN.
- UNLESS OTHERWISE NOTED RECORD AND MEASURED CALLS AGREE.
- THE SURVEY ERROR OF CLOSURE MEETS THE SURVEY STANDARDS OF PRACTICE.
- THERE MAY BE ADDITIONAL RESTRICTIONS AFFECTING THE SUBJECT PROPERTY THAT MAY BE FOUND RECORDED IN THE PUBLIC RECORDS OF ESCAMBA COUNTY, FLORIDA THAT DO NOT APPEAR ON THE FACE OF THIS MAP.
- ENCROACHMENTS ARE AS SHOWN.
- FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
- THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP NOR AN ENCROACHMENT OF FENCES, WALLS, ETC.
- THE CERTIFICATE OF AUTHORIZATION NUMBER FOR KJM LAND SURVEYING, LLC, IS L.B. 8298.
- THIS SURVEY MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS & MAPPERS IN CHAPTER 5J-17.050, 5J-17.051 AND 5J-17.052, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.
- THE SURVEY AS SHOWN HEREON IS CERTIFIED TO THE CLIENT AS PREPARED FOR, AND ANY ENTITIES AS DECLARED TO HEREON ONLY, AND IN NO WAY TRANSFERS CERTIFICATION TO THEIR SUCCESSORS OR ANY OTHER ENTITIES NOT REFERRED TO HEREIN.
- IT IS OF THE OPINION OF THE UNDERSIGNED SURVEYOR THAT THE PARCEL OF LAND SHOWN HEREON AS PER THE FLOOD INSURANCE RATE MAP INFORMATION IS AS FOLLOWS:

NFIP COMMUNITY NAME:
ESCAMBA COUNTY UNINCORPORATED AREAS
ZONE: "X"
ELEVATION: N/A

NFIP COMMUNITY NUMBER:
120080
PANEL NUMBER: 12033C 0508 G
AS DATED: 09/29/2006

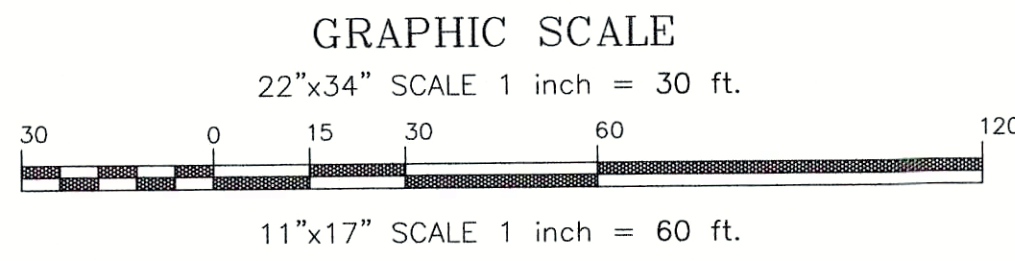
HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH "S" STREET
PENSACOLA, FLORIDA 32505
850 434-2603
FAX 850-434-2650
TOM@SELANDESIGN.COM



SITE DEVELOPMENT
PLANS FOR
DCB
STORAGE
EXISTING CONDITIONS

Y: CUG
D BY: RLS
I BY: TGH
1-29-21
SCA
NOT RELEASABLE FOR
CONSTRUCTION
BY: JHE/DATE:
DATE:

PROJECT NO: 21-080
SHEET: C2



LEGEND:

	DENOTES EXISTING ASPHALT		DENOTES EXISTING CHAIN LINK FENCE
	DENOTES EXISTING CONCRETE		DENOTES EXISTING OVERHEAD UTILITIES
	DENOTES EXISTING CONCRETE TO BE REMOVED		DENOTES EXISTING FIRE HYDRANT
	DENOTES EXISTING ASPHALT TO BE REMOVED		DENOTES EXISTING GAS LINE MARKER
	DENOTES EXISTING WATER VALVE		DENOTES EXISTING LIGHT POLE TO BE RELOCATED
	DENOTES PROPOSED SILT FENCE		
	DENOTES PROPOSED HAY BALE EROSION CONTROL PROTECTION		



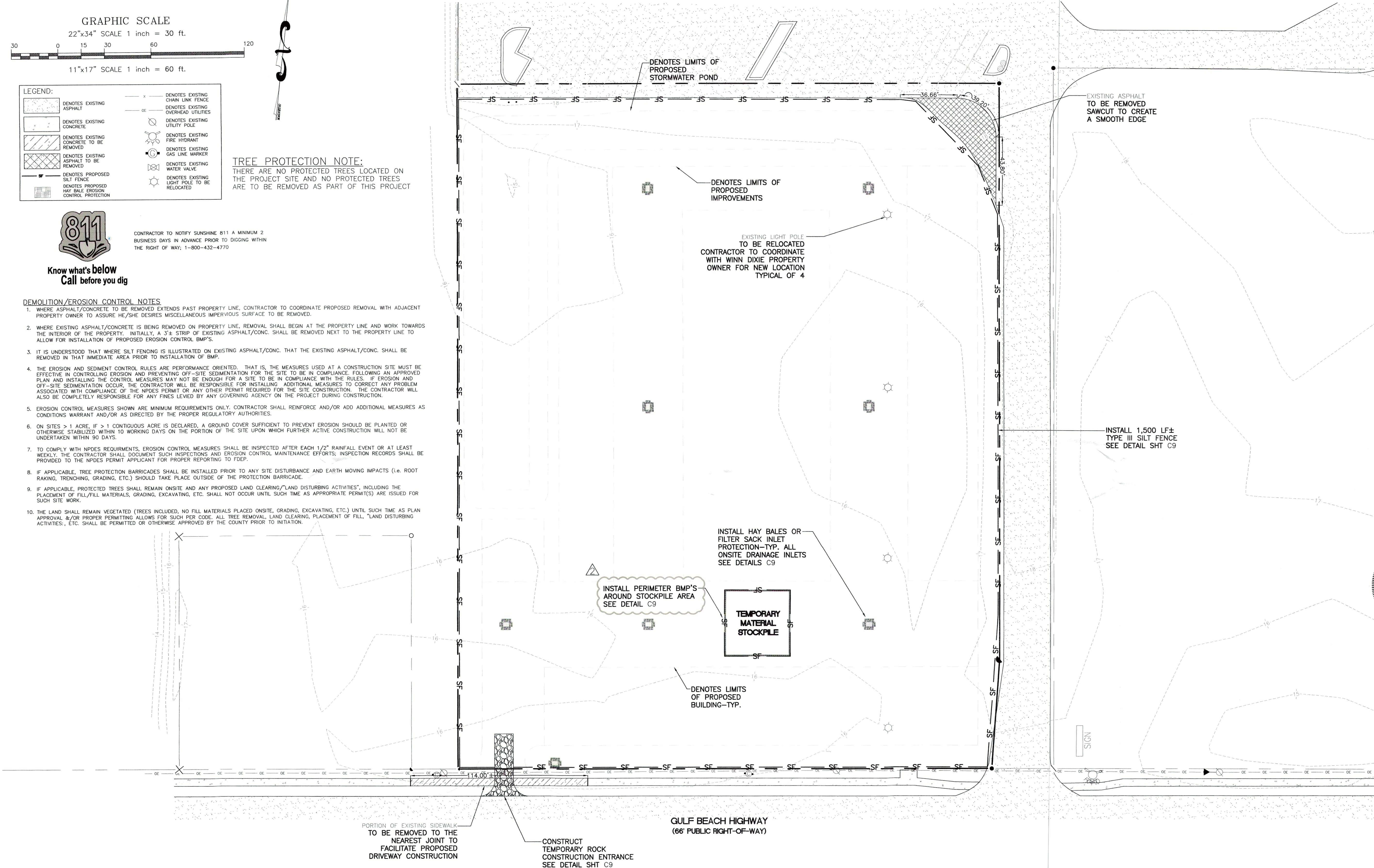
Know what's below
Call before you dig

CONTRACTOR TO NOTIFY SUNSHINE 811 A MINIMUM 2 BUSINESS DAYS IN ADVANCE PRIOR TO DIGGING WITHIN THE RIGHT OF WAY; 1-800-432-4770

TREE PROTECTION NOTE:
THERE ARE NO PROTECTED TREES LOCATED ON THE PROJECT SITE AND NO PROTECTED TREES ARE TO BE REMOVED AS PART OF THIS PROJECT

DEMOLITION/EROSION CONTROL NOTES

- WHERE ASPHALT/CONCRETE TO BE REMOVED EXTENDS PAST PROPERTY LINE, CONTRACTOR TO COORDINATE PROPOSED REMOVAL WITH ADJACENT PROPERTY OWNER TO ASSURE HE/SHE DESIRES MISCELLANEOUS IMPERVIOUS SURFACE TO BE REMOVED.
- WHERE EXISTING ASPHALT/CONCRETE IS BEING REMOVED ON PROPERTY LINE, REMOVAL SHALL BEGIN AT THE PROPERTY LINE AND WORK TOWARDS THE INTERIOR OF THE PROPERTY. INITIALLY, A 3'-6" STRIP OF EXISTING ASPHALT/CONC. SHALL BE REMOVED NEXT TO THE PROPERTY LINE TO ALLOW FOR INSTALLATION OF PROPOSED EROSION CONTROL BMP'S.
- IT IS UNDERSTOOD THAT WHERE SILT FENCING IS ILLUSTRATED ON EXISTING ASPHALT/CONC. THAT THE EXISTING ASPHALT/CONC. SHALL BE REMOVED IN THAT IMMEDIATE AREA PRIOR TO INSTALLATION OF BMP.
- THE EROSION AND SEDIMENT CONTROL RULES ARE PERFORMANCE ORIENTED. THAT IS, THE MEASURES USED AT A CONSTRUCTION SITE MUST BE EFFECTIVE IN CONTROLLING EROSION AND PREVENTING OFF-SITE SEDIMENTATION FOR THE SITE TO BE IN COMPLIANCE. FOLLOWING AN APPROVED PLAN AND INSTALLING THE CONTROL MEASURES MAY NOT BE ENOUGH FOR A SITE TO BE IN COMPLIANCE WITH THE RULES. IF EROSION AND OFF-SITE SEDIMENTATION OCCUR, THE CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLING ADDITIONAL MEASURES TO CORRECT ANY PROBLEM ASSOCIATED WITH COMPLIANCE OF THE NPDES PERMIT OR ANY OTHER PERMIT REQUIRED FOR THE SITE CONSTRUCTION. THE CONTRACTOR WILL ALSO BE COMPLETELY RESPONSIBLE FOR ANY FINES LEVIED BY ANY GOVERNING AGENCY ON THE PROJECT DURING CONSTRUCTION.
- EROSION CONTROL MEASURES SHOWN ARE MINIMUM REQUIREMENTS ONLY. CONTRACTOR SHALL REINFORCE AND/OR ADD ADDITIONAL MEASURES AS CONDITIONS WARRANT AND/OR AS DIRECTED BY THE PROPER REGULATORY AUTHORITIES.
- ON SITES > 1 ACRE, IF > 1 CONTIGUOUS ACRE IS DECLARED, A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED WITHIN 10 WORKING DAYS ON THE PORTION OF THE SITE UPON WHICH FURTHER ACTIVE CONSTRUCTION WILL NOT BE UNDERTAKEN WITHIN 90 DAYS.
- TO COMPLY WITH NPDES REQUIREMENTS, EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS; INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO FDEP.
- IF APPLICABLE, TREE PROTECTION BARRICADES SHALL BE INSTALLED PRIOR TO ANY SITE DISTURBANCE AND EARTH MOVING IMPACTS (i.e. ROOT RAKING, TRENCHING, GRADING, ETC.) SHOULD TAKE PLACE OUTSIDE OF THE PROTECTION BARRICADE.
- IF APPLICABLE, PROTECTED TREES SHALL REMAIN ONSITE AND ANY PROPOSED LAND CLEARING/"LAND DISTURBING ACTIVITIES", INCLUDING THE PLACEMENT OF FILL/FILL MATERIALS, GRADING, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PERMIT(S) ARE ISSUED FOR SUCH SITE WORK.
- THE LAND SHALL REMAIN VEGETATED (TREES INCLUDED, NO FILL MATERIALS PLACED ONSITE, GRADING, EXCAVATING, ETC.) UNTIL SUCH TIME AS PLAN APPROVAL &/OR PROPER PERMITTING ALLOWS FOR SUCH PER CODE. ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, "LAND DISTURBING ACTIVITIES", ETC. SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION.



REVISIONS			
NO.	DATE	REVISED BUILDING SIZES PER OWNER	
1	12/15/21	ADDED TEMP STOCKPILE AREA AS PER NFWMD	
2	12/15/21	REVISED PLANS TO INCLUDE SPRINKLER SYSTEM TO BLDG'S	

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SITE DEVELOPMENT
PLANS FOR
DCB
STORAGE
DEMOLITION & EROSION
CONTROL PLAN
ESCAMBIA COUNTY FLORIDA

DRAWN BY: CJB	DESIGNED BY: RLS
CHECKED BY: TGH	DATE: 09-29-21
SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION
BY:	DATE:

PROJECT NO: 21-080

SHEET: C3

Site Description

The proposed DCB Storage project is located at 13131 Gulf Beach Highway and within the limits of Escambia County, Florida. The proposed improvements include the construction of five (5) single-story, boat-rv storage buildings totaling 49,630 sf. Required infrastructure to be constructed as part of the project includes 49,000 sft gravel lot, applicable ADA access ways, a stormwater retention pond totaling 45,319 cft, potable water connections, etc.

The project parcel is 3.53 acres. The development site is clear and vacant with 4 existing light poles onsite. All existing onsite light poles are to be relocated. The current site topography slopes from north to south across the property and directs stormwater runoff towards the Gulf Beach Highway right of way. Following construction, all stormwater runoff generated from the proposed improvements will be collected via drainage inlets and conveyed in an underground stormwater pipe system to the proposed onsite stormwater management system (SMS). The SMS includes a conventional pond and does not include a positive discharge. The proposed SMS will prevent all stormwater runoff generated during rainfall events up to and including a 100-year storm. It is expected that the majority of stormwater runoff will discharge to the south perimeter of the property during early construction activities such as clearing, demolition, and site grading. Once initial grading of the site is complete, runoff will be directed towards the installed onsite inlets and routed to the SMS. The approximate latitude and longitude of the site discharges along the south boundary of the parcel is 30°19'10.20" N & 87°25'09.77" W.

According to a the USDA SCS maps, the predominant soil types found on-site consist of #15 Resota sand, 0 to 5 percent slopes. A stabilized groundwater table was encountered at depths of 4 feet and 5½ feet BEG. Perched groundwater may possibly impact construction and should be anticipated at the time of construction. Good site preparation practices should be employed by the site contractor to minimize the impact of perched groundwater on the project.

Erosion and Sedimentation Controls

Erosion and sedimentation from the construction site shall be controlled at all times using Best Management Practices (BMPs). Perimeter controls shall be installed prior to clearing activities or any construction activity that disturbs soils. Installation of those controls may be staged to correspond with the clearing and construction schedule. Immediate after clearing activities appropriate controls shall be installed to limit and minimize the velocity of stormwater runoff over unprotected soils. Temporary BMPs shall be used as necessary inside the the perimeter controls as the construction progresses. Perimeter controls shall be actively maintained until final stabilization of those portions of the site uphill of the perimeter controls. Temporary controls shall be removed when stabilization is achieved or when necessary for the next stage of construction. Controls shall be consistent with the performance standards for erosion and sedimentation control as set forth in Section 62-40.432 F.A.C.

Stabilization and Structural Practices

Stabilization practices may include, but not limited to, temporary seeding, mulching, geotextiles, permanent sod and preservation of existing vegetation. Preservation of the existing vegetation should always be the first choice BMP. Where disturbed soils are to remain for extended periods, temporary seeding should be considered prior to final sod stabilization. A record shall be maintained of the dates when major grading activities occur, when construction activities temporarily or permanently cease on a portion of the site and when stabilization measures are initiated. Stabilization measures shall be initiated as soon as practicable, but in no case more than 14 days, in those areas of the site where construction activities have temporarily or permanently ceased.

Structural practices shall divert flows from exposed soils, store flows, retain sediment on-site, or otherwise limit runoff and the discharge of pollutants from exposed areas of the site. Such practices may include, but not limited to, silt fences, earth dikes, diversion swales, sediment traps, check dams, subsurface drains, pipe slope drains, level spreaders, storm drain inlet protection, rock outlet protection, reinforced soil retaining systems and temporary or permanent sediment basins.

Stormwater Management

Prior to any land disturbance taking place onsite, a single row of type III silt fence shall be installed along the entire perimeter of the proposed construction area as illustrated on the development plans. The proposed perimeter controls will limit the extents of construction, assist in deterring encroachment onto the adjacent properties, and preventing downstream sedimentation. In addition to the aforementioned silt fence and hay bale perimeter, a gravel construction entrance shall be installed at all designated construction ingress/egress locations. After clearing and rough grading activities, check dams and additional silt fencing and hay bales shall be installed, as necessary, uphill of the perimeter controls to reduce runoff velocities and the potential for excessive erosion. Installation of stormwater inlets should take place next. As the grading activities progress, a depressed area shall be constructed around these inlets surrounded by hay bales and silt fencing for inlet protection. These depressed areas shall also act as sediment basins. Silt fences, and hay bales if necessary, shall be installed across the outfalls until final stabilization is achieved. Erosion control facilities shall be actively maintained throughout the course of construction and shall remain until final stabilization is achieved and acceptance by the owner.

Controls for Other Potential Pollutants

A materials management area shall be designated on-site for protected storage of chemicals, solvents, fertilizers and other potentially toxic materials. Storage areas can become a major source of risk due to possible mishandling of materials and accidental spills. An inventory should be compiled and maintained of the storage area and the site. Special care should be taken to identify any materials that have the potential to come into contact with stormwater.

Petroleum products such as oil gasoline, lubricants and asphaltic substances should be handled carefully to minimize their exposure to stormwater. These management practices should be used to reduce the risks of using petroleum products:

- Have equipment available to contain and clean up petroleum spills in fuel storage areas or on board maintenance and fueling vehicles.
- Where possible, store petroleum products and fuel vehicles in covered areas and construct dikes to contain any spills.
- Contain and clean up petroleum spills immediately.
- Perform preventative maintenance for on-site equipment to prevent leakage.
- Apply asphaltic substances properly according to the manufacturer's instructions.

Hazardous products including, but not limited to, paints, acids for cleaning masonry surfaces, cleaning solvents, chemical additives used for soil stabilization, and concrete curing compounds should be properly handled. These practices will help avoid pollution of stormwater by these materials:

- Keep equipment to contain and clean up spills of hazardous materials in the areas where the materials are stored.
- Contain and clean up spills immediately after they occur.
- Keep materials in a dry, covered area.
- Store materials in the original manufacturer's containers whenever possible, because special handling instructions usually are printed on the containers.

Pesticides include insecticides, rodenticides, and herbicides that are commonly used on construction sites. These management practices will reduce the amounts of pesticides that could contact stormwater:

- Handle pesticides as infrequently as possible.
- Store materials in the original manufacturer's containers whenever possible, because special handling instructions usually are printed on the containers.
- Observe all applicable federal, state and local regulations when using, handling, or disposing of pesticides.
- Store pesticides in a dry, covered area.
- Provide curbs or dikes to contain spills.
- Have measures on site to contain and clean up spills.
- Strictly follow recommended application rates and methods.

Fertilizers and detergents usually contain nutrients that can be a major source of pollution in stormwater. These practices should be used to reduce the risks of nutrient pollution:

- Limit the application of fertilizers to the minimum area and the minimum recommended amounts.
- Reduce exposure of nutrients to stormwater runoff by working the fertilizer into the soil to a depth of 4 to 6 inches.
- Apply fertilizer more frequently, but at lower application rates.
- Limit hydrosseeding in which lime and fertilizers are applied to the ground surface in one application.
- Implement good erosion and sediment control to help reduce the amount of fertilizer lost as a result of erosion.
- Limit the use of detergents on the site. Wash water containing detergents should not be discharged to the stormwater management system.
- Apply fertilizer and use detergents only in the recommended manner and amounts.

Proper management and disposal of building materials and other construction site wastes are an essential part of pollution prevention. Construction wastes include surplus or refuse building materials as well as hazardous wastes. Management practices for these wastes include trash disposal, recycling, material handling, and spill prevention and clean up. These practices should provide for proper disposal of construction wastes:

- Designate a waste disposal area on the site.
- Provide an adequate number of containers with lids or covers that can be placed over the container prior to rainfall.
- Locate containers in covered areas, where possible.
- Arrange for scheduled waste pick up. Adjust waste collection schedule as necessary to prevent overflow of the containers.
- Ensure that construction waste is collected, removed, and disposed of only at authorized disposal areas in compliance with applicable State and/or local waste disposal regulations.

Offsite vehicle tracking of sediments and the generation of dust shall be minimized. A stabilized construction access road shall be utilized to reduce off-site tracking. Off-site sediment removal should be conducted at a frequency necessary to minimize impacts. Vehicle wash area should be considered if off-site tracking becomes excessive.

The construction site must have temporary sanitary sewer facilities for on-site personnel. Portable facilities may be utilized throughout the site. Licensed domestic waste haulers must be contracted to regularly remove the sanitary wastes and to maintain the facilities in good working order. The temporary construction trailer may have sanitary sewer facilities with a holding tank. A licensed domestic waste hauler shall also service this facility. An on-site septic system for the construction trailer is not allowed. Temporary sanitary sewer facilities shall be permitted by the local building department in accordance with applicable State and local regulations.

Maintenance and Inspection Controls

Controls of pollutants shall be maintained throughout construction period and until final stabilization is achieved. Qualified personnel shall inspect all points of discharge and all disturbed areas of the construction site that have not been finally stabilized, areas used for storage of materials that are exposed to precipitation, structural controls, and locations where vehicles enter or exit the site at least once every seven calendar days and within 24 hours of the end of every storm event that produces at least 0.25 inches of rainfall. Where sites have been finally stabilized, such inspection shall be conducted at least once every month until a Notice of Termination has been submitted.

- Stabilization Measures – Disturbed areas and areas used for storage of materials that are exposed to precipitation shall be inspected for evidence of or the potential for, pollutants leaving the site. The inspection should reveal whether the area was stabilized correctly, whether there has been damage to the area since it was stabilized, and what should be done to correct any problems.
- Structural Controls – Silt fences, hay bales and other erosion control measures shall be inspected regularly for proper positioning, anchoring, and effectiveness in trapping sediments. The inspection should reveal whether the control was installed correctly, whether there has been damage to the control since installation, and what should be done to correct any problems. Sediment should be removed from the uphill side of the silt fence and the fence should be reconstructed as necessary. Hay bales shall be added or replaced as necessary to provide effective control.
- Discharge Points – Discharge points shall be inspected to determine whether erosion control measures are effective in preventing significant amounts of pollutants from leaving the site. Silt fences and hay bales shall be maintained or replaced as necessary. The inspection should reveal whether the on-site BMPs are effective, and what should be done to increase the effectiveness.
- Construction Entrances – Locations where vehicles enter or exit the site shall be inspected for evidence of off-site sediment tracking. The inspection should reveal whether the stabilization of the construction entrance is effective, and what should be done to increase the effectiveness.
- Areas Used for Storage of exposed Materials – These are locations where construction materials (including excavated soils) are stored. The inspection should reveal the potential for excessive erosion and sedimentation, and what actions should be implemented to reduce the risks of pollution.

Based on the result of the inspection, all maintenance operations needed to assure proper function of all controls, BMPs, practices or measures identified in this Plan shall be done in a timely manner, but in no case later than 7 calendar days following the inspection.

A Report summarizing the scope of each inspection, name(s) and qualifications of personnel making the inspection, the date(s) of the inspection, major observations related to the implementation of the stormwater pollution prevention plan, and modifications to the stormwater pollution prevention plan shall be prepared and retained as part of the stormwater pollution prevention plan for at least three years from the date that the site is finally stabilized. Such report shall identify any incidence of non-compliance.

IMPLEMENTED BMP'S

Type:	Implemented by:	Company Name, Contact Person, Address & Phone Number
Perimeter Silt Fencing/ Hay Bales		
Inlet Protection		
Temporary Construction Entrance		
Tree Barricades		

Contractor Certification

This Stormwater Pollution Prevention Plan must clearly identify, for each measure identified within the the Stormwater Pollution Prevention Plan, the contractor(s) or subcontractor(s) that will implement each measure. All contractor(s) and subcontractor(s) identified in the Stormwater Pollution Prevention Plan must sign the following certification:

"I certify under penalty of law that I understand, and shall comply with, the terms and conditions of the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities and this Stormwater Pollution Prevention Plan prepared thereunder."

Name, Title	Signature	Company Name, Address & Phone Number	Date

Contractor Requirements

The contractor must have technical expertise in erosion prevention and sediment control. The contractor must at all time maintain erosion control methods that prevent any violation of the NPDES program.

Faulty Installation and/or Poor Maintenance

Most noncompliance occurs because measures were not installed correctly or maintained properly, or both. Determining the reason why the measures are failing requires technical knowledge about the devices and how to construct them properly. Contractors failure to control erosion, sedimentation or turbidity both onsite and offsite is not acceptable. Failure to do so may result in possible fines and/or termination from the site without payment for construction progress.

Compliance

The goal of the program is to prevent accelerated erosion and off-site sedimentation. The contractor is the first person to determine if the performance standards and intent of the rule are being met. He/She is the key person in ensuring that the construction site is evaluated fairly and consistently and that the site is kept in compliance.

The erosion and sediment control rules are performance oriented. That is, the measures used at a construction site must be effective in controlling erosion and preventing off-site sedimentation for the site to be in compliance. Following an approved plan and installing the control measures may not be enough for a site to be in compliance with the rules. If erosion and off-site sedimentation occur, the contractor will be responsible for installing additional measures to correct any problem associated with compliance of the NPDES permit or any other permit required for the site construction. The contractor will also be completely responsible for any fines levied by any governing agency on the project during construction.

The rules are also flexible, allowing the contractor to decide the most economical and effective means of erosion control. This encourages the use of innovative techniques and specifically designed erosion control systems. The contractor is the key individual in making this kind of performance based rule work because the contractor is the first person to recognize performance failures and remedy the problems.

- Determine that an erosion and sediment control plan for the site has been approved.
- Determine that all specified practices have been installed and are being maintained according to the plan.
- Determine that both on-site and off-site sedimentation, erosion or turbidity is being prevented. If the contractor finds deficiencies, appropriate action must be taken to attain compliance.

Control of Non-Stormwater Discharges

It is expected that the following non-stormwater discharges may occur from the site during construction period: water from water line flushing, pavement wash water (where no spills or leaks of toxic or hazardous materials have occurred), and uncontaminated groundwater (from dewatering excavation). If said discharges do occur, they will be directed to the temporary sediment basin prior to discharge. Turbid water from the stormwater pond shall not be pumped directly into either of the receiving waters. Any pumped water from the stormwater pond shall be treated so as to not allow a discharge of polluted stormwater. Treatment can include silt fences, settling ponds, the proper use of flocculating agents or other appropriate means.

Responsible Authority

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Name (Operator and/or Responsible Authority)

Date



NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER NOTICE OF TERMINATION (RULE 62-621.300(6), F.A.C.)

You must use this form to terminate coverage under the Generic Permit for Stormwater Discharge from Large and Small Construction Activities provided in subsection 62-621.300(4), F.A.C., the Multi-Sector Generic Permit for Stormwater Discharge Associated with Industrial Activity provided in subsection 62-621.300(5), F.A.C. as well as the conditional exclusion for "no exposure" of industrial activities and materials to stormwater provided in paragraph 62-620.100(2)(c), F.A.C.

All information provided on this form shall be typed or printed in ink.

I. TERMINATION INFORMATION:

A. Facility ID/Project Number:	
B. Reason for Termination: <input type="checkbox"/> Check all that apply:	
<input type="checkbox"/>	No longer operator of the facility/project.
<input type="checkbox"/>	Final stabilization criteria is met and all stormwater discharges associated with construction activity including dewatering operations have ceased (for construction activity only).
<input type="checkbox"/>	All stormwater discharges associated with industrial activity have ceased (for industrial activity only).
<input type="checkbox"/>	No longer meet the condition of "no exposure" (for industrial activity only).

II. OPERATOR INFORMATION:

A. Operator Name:		
B. Address:		
C. City:	D. State:	E. Zip Code:
F. Responsible Authority:		G. Responsible Authority's Phone No.:
H. Responsible Authority's E-mail Address:		I. Responsible Authority's Fax No.:

III. FACILITY/PROJECT INFORMATION:

A. Name:		
B. Address/Location:		
C. City:	D. State:	E. Zip Code:
F. County:		

IV. CERTIFICATION¹:

I certify under penalty of law that all stormwater discharges associated with industrial or construction activity from the identified facility or project that are authorized by the referenced State of Florida generic permit have been eliminated, the facility no longer meets the conditional exclusion for "no exposure" outlined in paragraph 62-620.100(2)(c), F.A.C., or that I am no longer the operator of the facility or project. I understand that by submitting this Notice of Termination, I am no longer authorized to discharge stormwater associated with industrial or construction activity under a generic permit, and that discharging pollutants in stormwater associated with industrial or construction activity to surface waters of the State is unlawful unless authorized by a permit issued pursuant to Section 403.0885, F.S. I also understand that the submission of this Notice of Termination does not release an operator from liability for any violations of the generic permit or conditional exclusion for "no exposure" from NPDES stormwater permitting for industrial activities.

Responsible Authority Name and Official Title (Type or Print):
--

Responsible Authority Signature: _____ Date Signed: _____

¹ Signatory requirements are contained in Rule 62-620.305, F.A.C.

DEP Form 62-621.300(6)

Effective Date: 02/2015

Stormwater Pollution Prevention Plan Inspection Report Form

Inspections must occur at least once a week and within 24 hours of the end of a storm event that is 0.50 inches or greater.

Project Name: _____ FDEP NPDES Stormwater Identification Number: _____

Location	Rain data	Type of control (see below)	Date installed/modified	Current Condition (see below)	Corrective Action / Other Remarks
	Weekly Report				

Condition Code:
G = Good M = Marginal, needs maintenance or replacement soon P = Poor, needs immediate maintenance or replacement
C = Needs to be cleaned O = Other

Control Type Codes			
1. Silt Fence	10. Storm drain inlet protection	19. Reinforced soil retaining system	28. Tree protection
2. Earth berm	11. Vegetative buffer strip	20. Stabilized aggregate roadway/parking	29. Detention pond
3. Structural diversion	12. Vegetative preservation area	21. Sediment Basin	30. Retention pond
4. Swale	13. Retention Pond	22. Temporary seed / sod	31. Waste disposal / housekeeping
5. Sediment Trap	14. Construction driveway stabilization	23. Permanent seed / sod	32. Dam
6. Check dam	15. Perimeter ditch	24. Mulch	33. Sand Bag
7. Subsurface drain	16. Curb and gutter	25. Hay Bales	34. Turbidity Barrier
8. Pipe slope drain	17. Paved road surface	26. Geotextile	35. Dewatering (pump/hose/filter/well point, etc.)
9. Level spreaders	18. Rock outlet protection	27. Rip-rap	36. Other

Inspector Information:

Name _____ Qualification _____ Date _____

The above signature also shall certify that this facility is in compliance with the Stormwater Pollution Prevention Plan and the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities if there are not any incidents of non-compliance identified above.

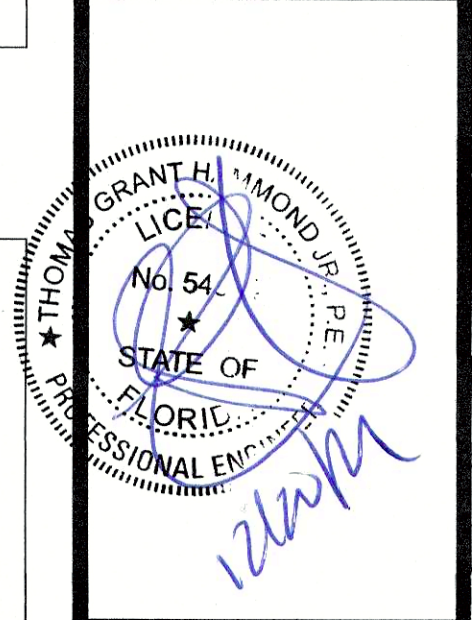
"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Name (Responsible Authority) _____ Date _____

NO.	DATE	REVISIONS
1	12/15/21	REVISED BUILDING SIZES PER OWNER
2	12/15/21	ADDED TEST STOCKPILE AREA AS PER NFWMD
3	12/16/21	REVISED PLANS TO INCLUDE SPRINKLER SYSTEM TO BLDG.S
4		
5		
6		
7		
8		
9		
10		

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HAMMOND ENGINEERING, INC.
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ALABAMA AUTHORIZATION NO. 3277
3802 NORTH "S" STREET
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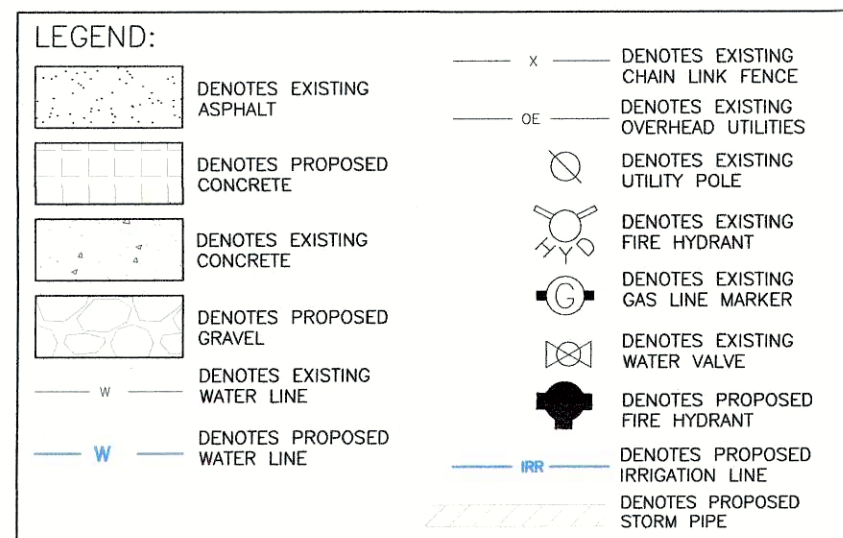
**SITE DEVELOPMENT
PLANS FOR
DCB
STORAGE
STORMWATER POLLUTION
PREVENTION PLAN**

ESCAMBIA COUNTY FLORIDA

DRAWN BY: CUG	DESIGNED BY: RLS
CHECKED BY: TSH	DATE: 09-29-21
SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION
BY:	DATE:

PROJECT NO: 21-080

SHEET: C4



SOLID WASTE NOTE: SOLID WASTE TO BE DISPOSED OF VIA 55 GAL. TRASH CAN AND PRIVATE HAULER. A DUMPSTER IS NOT PROPOSED AT THIS TIME. SHOULD A DUMPSTER BE PLACED ONSITE AT A LATER DATE, IT MUST BE SCREENED ON ALL SIDES WITH OPAQUE FENCING, OR SIMILAR.

PROPOSED 49,630 SF STORAGE FACILITY
AS PER 3-1.2 ESCAMBIA COUNTY DESIGN STANDARDS MANUAL:

1.5 STALLS REQUIRED PER 100 UNITS + 2
(1.5/100*89 UNITS)+2 ~ 4 STALLS REQUIRED

GIVEN THAT THE PROPOSED USE IS SELF-STORAGE IN CHARACTER BUT NOT THE TYPICAL MULTI-UNIT FACILITY (FOR STORAGE OF HOUSEHOLD ITEMS) ANTICIPATED BY THE CODE, NO PARKING STALLS PROPOSED

SITE DATA:
13131 GULF BEACH HIGHWAY
PARCEL ZONING: HC/LI
FLU: C

BUILDING SETBACKS REQUIRED:
FRONT SETBACK = 15'
REAR SETBACK = 15'
SIDE SETBACK = 10'

MAXIMUM IMPERVIOUS SURFACE: 85%
MAXIMUM BUILDING HEIGHT: 150'
MAXIMUM FLOOR AREA RATIO: 1.0

PROPOSED FLOOR AREA RATIO:
TOTAL GROSS FLOOR AREA = 49,630 SF
GROSS LOT AREA = 153,677 SF
FLOOR AREA RATIO = 49,630 SF/153,677 SF=0.32

12-3S-32-5001-005-002
PENSACOLA 13137 APL MP LLC
181 W MADISON ST STE 4700
CHICAGO, IL 60602
ZONING: HC/LI
FLU: C
USE: MEDICAL CENTER

12-3S-32-5001-000-000
JTS CAPITAL REALTY BB LLC.
PO BOX 21505
WACO, TX 76702
ZONING: HC/LI
FLU: C
USE: VACANT

D-N82°36'16"E 490.60'
SPF-N84°02'00"E 490.60'
D-N82°36'16"E 520.60'
SPF-N84°02'00"E 520.60'

CONSTRUCT SIDEWALK IN R/W
TYP. OF BOTH SIDES OF DRIVEWAY
SIDEWALK WIDTH TO MATCH EXISTING

D-N82°36'16"E 905.60'
SPF-N84°02'00"E 905.52'

—INSTALL
STOP SIGN (R1-1)
24" WHITE THERMOPLASTIC STOP BAR
CROSSWALK W/12" WHITE THERMOPLASTIC STRIPING

GULF BEACH HIGHWAY
(66' PUBLIC RIGHT-OF-WAY)

BASIS OF BEARINGS:
D-N82°36'16"E
SPF-N84°02'00"E 853.07'

D-N82°36'16"E 288.59'
SPF-N84°01'59"E 288.76

- FIRE DEPT. ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 20'
- FIRE DEPT. ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED VERTICAL CLEARANCE OF 13'-6"
- THE REQUIRED WIDTH OF A FIRE DEPT. ACCESS ROAD SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING BY THE PARKING OF VEHICLES.
- FIRE DEPARTMENT ACCESS ROAD SHALL EXTEND TO WITHIN 50 FT (150 FT IF THE BUILDING IS PROTECTED BY A FIRE SPRINKLER SYSTEM) OF AT LEAST ONE EXTERIOR DOOR THAT CAN BE OPENED FROM THE OUTSIDE AND THAT PROVIDES ACCESS TO THE REAR OF THE BUILDING.
- FIRE DEPARTMENT ACCESS ROADS SHALL BE PROVIDED SUCH THAT ANY PORTION OF THE FACILITY OR ANY PORTION OF AN EXTERIOR WALL OF THE FIRST STORY OF THE BUILDING IS LOCATED NOT MORE THAN 150 FT (450 FT IF THE BUILDING IS PROTECTED BY A FIRE SPRINKLER SYSTEM) FROM FIRE DEPARTMENT ACCESS ROADS AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- FIRE DEPARTMENT ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE PROVIDED WITH AN ALL-WEATHER DRIVING SURFACE, MINIMUM OF 40 TONS.

CURVE TABLE						
CURVE	SOURCE	RADIUS	DELTA	LENGTH	CHORD	CHORD BEARING
C-1	SPF	1196.28'	11°15'29"	235.06'	234.68'	N61°10'20"E
C-2	DEED SPF	N/A 7830.43'	N/A 00°30'03"	85.73' 68.45'	85.72' 68.45'	S82°17'27"W S83°59'56"W

12-3S-32-5001-001-003
JTS CAPITAL REALTY BB LLC.
PO BOX 21505
WACO, TX 76702
ZONING: HC/LI
FLU: C
USE: VACANT

TOTAL SITE AREA: 153,677 SF ~ 3.53 ACRES					
IMPERVIOUS and PERVIOUS AREA					
	EXISTING	REMOVE	NEW	POST-CONSTRUCTION	NET CHANGE
BUILDINGS	0 SF	0 SF	51,450 SF	-51,450 SF	+51,450 SF
ASPHALT/CONCRETE	4,779 SF	1,278 SF	8,025 SF	11,526 SF	+6,747 SF
TOTAL IMPERVIOUS AREA	4,779 SF	1,278 SF	59,475 SF	62,976 SF	+38,197 SF
ROCK AREA	0 SF	0 SF	47,999 SF	47,999 SF	+47,999 SF
LANDSCAPE AREA	148,899 SF	107,474 SF	1,278 SF	42,702 SF	(-106,196) SF
PERCENTAGE OF LANDSCAPE	97%			28%	(-69%)

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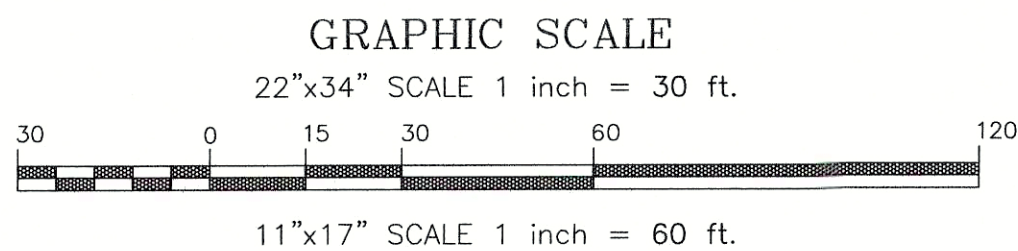


SITE DEVELOPMENT PLANS FOR	DCB	STORAGE	SITE & UTILITY PLAN	SCAMBIA COUNTY	FLORIDA
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DRAWN BY: CJG
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 09-29-21
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NOT RELEASED FOR CONSTRUCTION
BY: DATE:

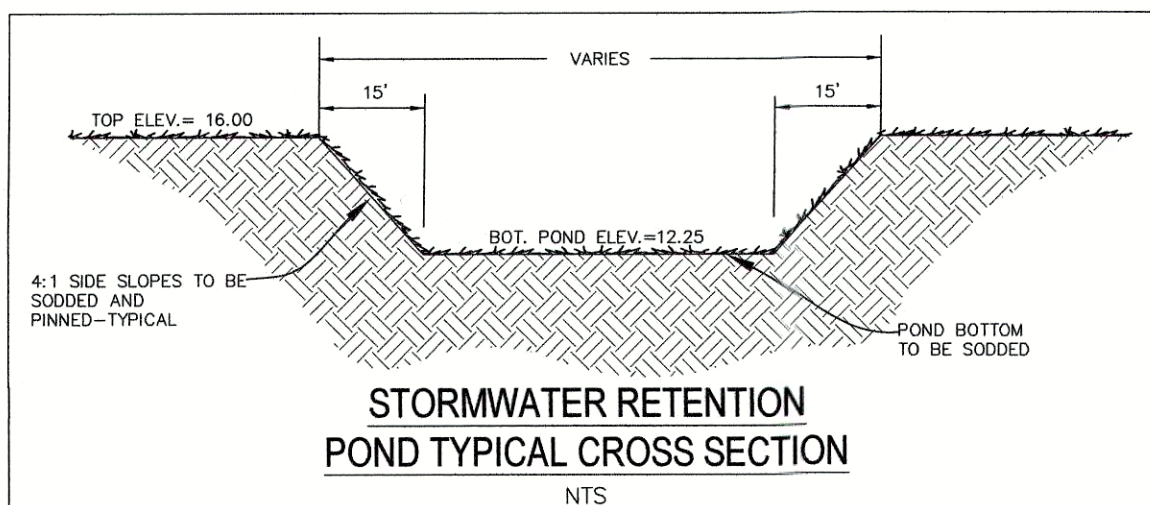
PROJECT NO: 21-080

SHEET: C5



LEGEND:

	DENOTES EXISTING ASPHALT		DENOTES EXISTING CHAIN LINK FENCE
	DENOTES EXISTING CONCRETE		DENOTES EXISTING OVERHEAD UTILITIES
	DENOTES PROPOSED CONCRETE		DENOTES EXISTING UTILITY POLE
	DENOTES EXISTING GRAVEL		DENOTES EXISTING FIRE HYDRANT
	DENOTES PROPOSED GRAVEL		DENOTES EXISTING GAS LINE MARKER
	MATCH EXISTING GRADE		DENOTES EXISTING WATER VALVE
	DENOTES EXISTING SPOT ELEVATION		DENOTES PROPOSED SPOT ELEVATION
	DENOTES EXISTING BENCHMARK LOCATION		DENOTES SOIL BORING LOCATION
	DENOTES PROPOSED BENCHMARK LOCATION		DENOTES PROPOSED STORM PIPE
	DENOTES EXISTING FIRE HYDRANT		



- RETENTION BASIN CONSTRUCTION
- INITIALLY INSTALL ALL EROSION AND SEDIMENT CONTROL BMP'S AS ILLUSTRATED ON THE EROSION CONTROL PLAN PROVIDED AS PART OF THESE PLANS (SHEET C3)
 - CONSTRUCT THE DETENTION BASIN TO ROUGH GRADE BY UNDER-EXCAVATING THE BASIN BOTTOM AND SIDES BY ABOUT 6 INCHES.
 - AFTER THE DRAINAGE AREA CONTRIBUTING TO THE BASIN HAS BEEN FULLY STABILIZED, THE INTERIOR SIDE SLOPES AND BASIN BOTTOM SHALL BE EXCAVATED TO FINAL DESIGN SPECIFICATIONS. THE EXCESS SOIL AND UNDESIRABLE MATERIAL MUST BE CAREFULLY EXCAVATED AND REMOVED FROM THE POND SO THAT ALL ACCUMULATED SILTS, CLAYS, ORGANICS, AND OTHER FINE SEDIMENT MATERIAL HAS BEEN REMOVED FROM THE POND AREA. THE EXCAVATED MATERIAL SHALL BE DISPOSED OF BEYOND THE LIMITS OF THE DRAINAGE AREA OF THE BASIN.
 - ONCE THE BASIN HAS BEEN EXCAVATED TO FINAL GRADE, THE ENTIRE BASIN BOTTOM MUST BE DEEP RAKED AND LOOSENEED FOR OPTIMAL FILTRATION.
 - FINALLY, THE ENTIRE BANK SLOPE AND POND BOTTOM SHALL BE PERMANENTLY STABILIZED IN A MANNER THAT GUARANTEES HEALTHY GROWTH OF GRASS (FREE FROM NOXIOUS WEEDS) SUCH AS PANGOLA, ARGENTINE BAHIA, BERMUDA, CENTPEDE OR OTHER SUITABLE GRASS.

CONSTRUCT STORMWATER RETENTION POND W/4:1 SIDE SLOPES
SEE DETAIL SHT C6

CONSTRUCT DRAINAGE SWALE
MIN. 0.30% GRADE
SEE DETAIL SHT C10

CONSTRUCT DRAINAGE SWALE
MIN. 0.30% GRADE
SEE DETAIL SHT C10

GULF BEACH HIGHWAY
(66' PUBLIC RIGHT-OF-WAY)

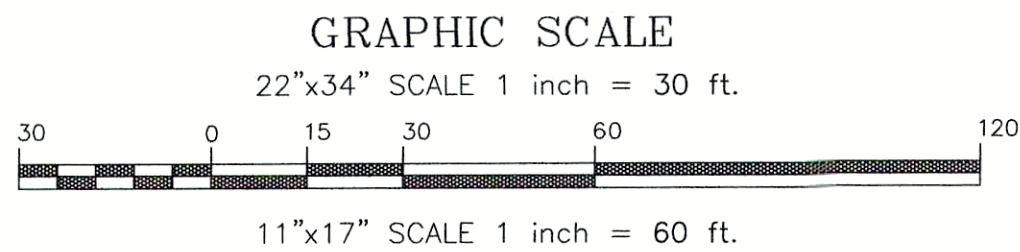
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SITE DEVELOPMENT
PLANS FOR
DCB
STORAGE
&
GRADING PLAN
DRAINAGE PLAN
FLORIDA
ESCAMBIA COUNTY

DRAWN BY: CJB
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 09-29-21
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BY: DATE:

PROJECT NO: 21-080

SHEET: C6



LEGEND:

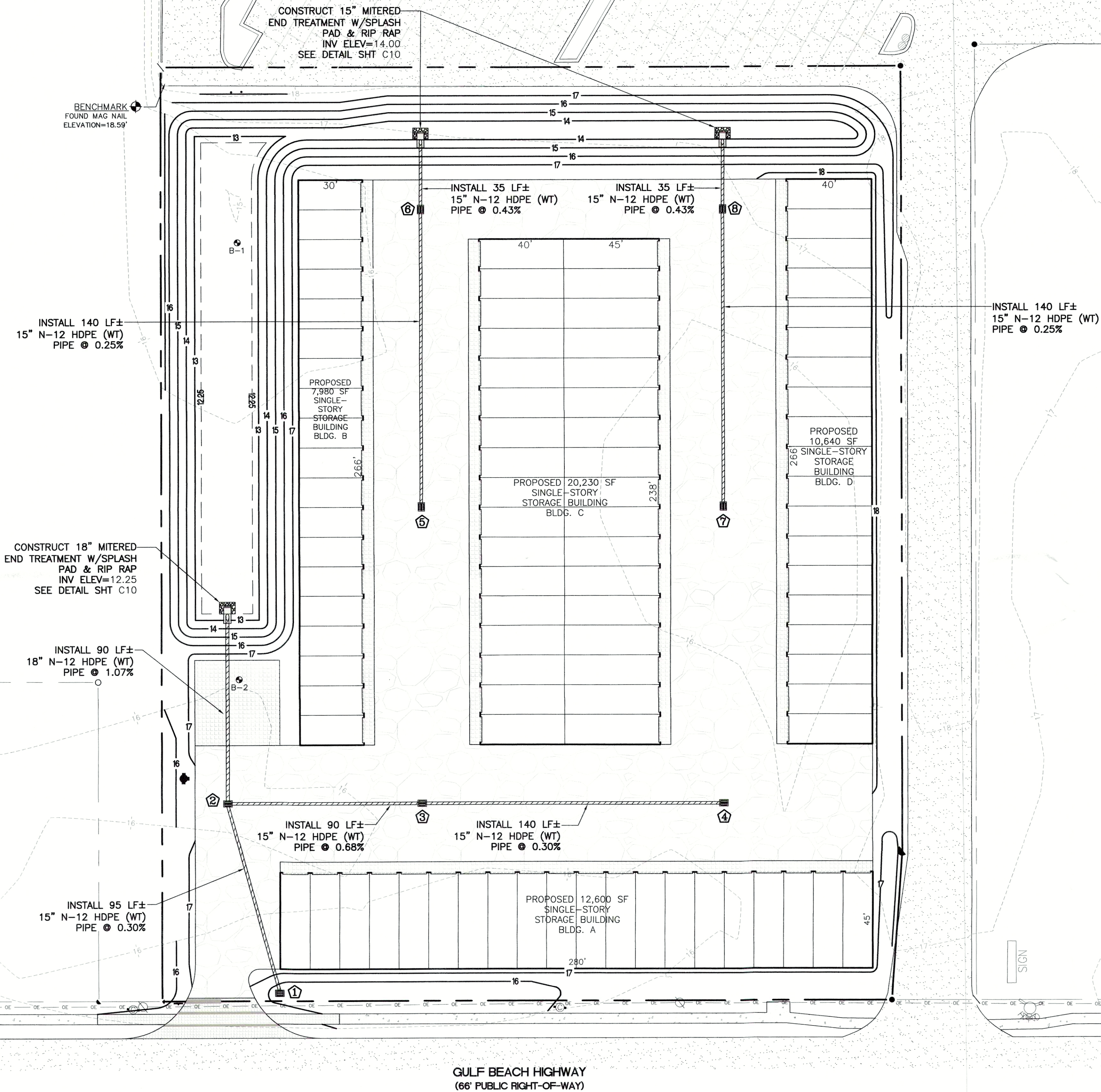
DENOTES EXISTING ASPHALT	DENOTES EXISTING CHAIN LINK FENCE
DENOTES PROPOSED CONCRETE	DENOTES EXISTING OVERHEAD UTILITIES
DENOTES EXISTING CONCRETE	DENOTES EXISTING UTILITY POLE
DENOTES PROPOSED GRAVEL	DENOTES EXISTING FIRE HYDRANT
M.E.G. 19.66	DENOTES EXISTING GAS LINE MARKER
DENOTES EXISTING GRADE	DENOTES EXISTING WATER VALVE
DENOTES EXISTING SPOT ELEVATION	DENOTES PROPOSED SPOT ELEVATION
DENOTES BENCHMARK LOCATION	DENOTES SOIL BORING LOCATION
DENOTES PROPOSED FIRE HYDRANT	DENOTES PROPOSED STORM PIPE

STORM STRUCTURE DATA TABLE

PROPOSED INLETS & STORM STRUCTURES TO CONSIST OF:

- TYPE 'C' DITCH BOTTOM INLET W/USF NO. 6212 TRAFFIC RATED GRAITE

1 TYPE "C" INLET TOP ELEV=15.75 INV ELEV OUT (N)=13.50	2 TYPE "C" INLET TOP ELEV=16.75 INV ELEV IN (E)=13.21 INV ELEV IN (S)=13.21 INV ELEV OUT (N)=13.21
3 TYPE "C" INLET TOP ELEV=17.00 INV ELEV IN (E)=13.83 INV ELEV OUT (W)=13.83	4 TYPE "C" INLET TOP ELEV=17.00 INV ELEV OUT (W)=14.25
5 TYPE "C" INLET TOP ELEV=17.25 INV ELEV OUT (N)=14.50	6 TYPE "C" INLET TOP ELEV=17.25 INV ELEV IN (S)=14.15 INV ELEV OUT (N)=14.15
7 TYPE "C" INLET TOP ELEV=17.25 INV ELEV OUT (N)=14.50	8 TYPE "C" INLET TOP ELEV=17.25 INV ELEV IN (S)=14.15 INV ELEV OUT (N)=14.15



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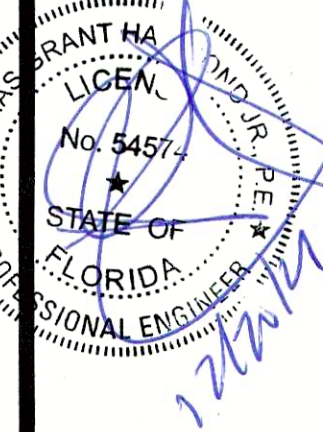
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SITE DEVELOPMENT
PLANS FOR

DCB

STORAGE

UNDERGROUND

STORMWATER PLAN

FLORIDA

ESCAMBIA COUNTY

DRAWN BY: CJB

DESIGNED BY: TGH

CHECKED BY: TGH

DATE: 09-29-21

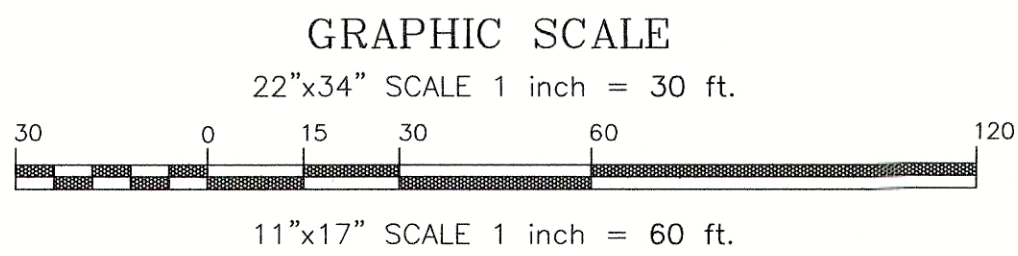
SCALE: AS SHOWN

NOT RELEASED FOR
CONSTRUCTION

BY: DATE:

PROJECT NO: 21-080

SHEET: C7



LEGEND:	
	DENOTES EXISTING ASPHALT
	DENOTES PROPOSED CONCRETE
	DENOTES EXISTING CONCRETE
	DENOTES PROPOSED GRAVEL
	DENOTES PROPOSED SOD (BAHAI RECOMMENDED)
	DENOTES PROPOSED FIRE HYDRANT
	DENOTES EXISTING CHAIN LINK FENCE
	DENOTES EXISTING OVERHEAD UTILITIES
	DENOTES EXISTING UTILITY POLE
	DENOTES EXISTING FIRE HYDRANT
	DENOTES EXISTING GAS LINE MARKER
	DENOTES EXISTING WATER VALVE
	DENOTES PROPOSED STORM PIPE

LANDSCAPING NOTES:

- THE CONTRACTOR IS TO BE AWARE OF UNDERGROUND UTILITIES THROUGHOUT LANDSCAPED AREAS THAT MAY NOT BE ILLUSTRATED ON THIS PLAN. CONTRACTOR SHALL VERIFY LOCATION AND PROTECT ALL UTILITIES DURING EXCAVATION AND/OR FINISH GRADING ACTIVITIES.
- THE CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGE TO EXISTING UTILITIES, WALKWAYS, PAVING OR OTHER ELEMENTS IN PLACE AT THE COMMENCEMENT OF HIS WORK, AT NO ADDITIONAL COST TO THE OWNER.
- ANY ADJUSTMENT TO THIS PLAN DUE TO EXISTING CONDITIONS NOT REFLECTED ON THIS PLAN WILL BE RESOLVED AT THE TIME OF INSTALLATION.
- FINISH GRADES FOR ALL PLANTING, SOD AND SEED AREAS SHALL BE ESTABLISHED AND APPROVED BY THE OWNER/DEVELOPER PRIOR TO PLANTING, SODDING OR SEEDING.
- ALL TRASH AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE PRIOR TO ESTABLISHMENT OF FINISH GRADES.
- ALL PLANT MATERIALS USED SHALL CONFORM TO THE STANDARDS FOR FLORIDA NO. 1 OR BETTER AS GIVEN IN "GRADES AND STANDARDS FOR NURSERY PLANTS", CURRENT EDITION, STATE OF FLORIDA, DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, DIVISION OF PLANT INDUSTRY, TALLAHASSEE, FLORIDA. IN ADDITION, ALL PLANT MATERIAL SHALL BE FREE FROM INSECT AND DISEASE.
- ROOT BALLS SHALL BE FLUSH WITH FINISHED GRADE.
- BACKFILL SHALL BE LOOSENEED EXISTING SOIL, REMOVE ROCKS, STICKS OR OTHER DELETERIOUS MATERIAL GREATER THAN 1" IN ANY DIRECTION PRIOR TO BACKFILLING. WATER AND TAMP TO REMOVE AIR POCKETS. IF EXISTING SOILS CONTAIN EXCESSIVE SAND, CLAY OR OTHER EXTRANEOUS MATERIAL NOT CONDUCE TO PROPER PLANT GROWTH CONTACT LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- ALL GREEN AREAS FOUND WITHIN THE PROJECT BOUNDARIES ARE TO BE FULLY STABILIZED PRIOR TO REQUESTING FINAL INSPECTION. AREAS NOT ILLUSTRATED AS SODDED OR CONTAINING CYPRESS MULCH MUST BE SEEDDED.

REQUIRED LANDSCAPE PLANTING DATA

NORTH BOUNDARY LINE: NO BUFFER REQUIRED, ADJACENT PROPERTY HAS SIMILAR USE. PROVIDE 5' LANDSCAPE STRIP AS PER CH. 2, ART. 2, SEC. 2-2.2(B) DESIGN STANDARDS MANUAL.

WEST BOUNDARY LINE: NO BUFFER REQUIRED, ADJACENT PROPERTY HAS SIMILAR USE. PROVIDE 5' LANDSCAPE STRIP AS PER CH. 2, ART. 2, SEC. 2-2.2(B) DESIGN STANDARDS MANUAL.

INTERIOR PARKING LOT: DUE TO THE NATURE OF THIS DEVELOPMENT, THERE ARE NO PARKING STALLS PROPOSED WITH THIS DEVELOPMENT, THEREFORE NO PARKING ISLANDS PROPOSED.

EAST BOUNDARY LINE: NO BUFFER REQUIRED, ADJACENT PROPERTY HAS SIMILAR USE. PROVIDE 5' LANDSCAPE STRIP AS PER CH. 2, ART. 2, SEC. 2-2.2(B) DESIGN STANDARDS MANUAL.

REQUIRED MITIGATION: NO PROTECTED TREES EXISTING TO BE REMOVED AS PART OF THIS PROJECT.

SOUTH BOUNDARY LINE: NO BUFFER REQUIRED, GULF BEACH HIGHWAY R/W. PROVIDE 5' LANDSCAPE STRIP AS PER CH. 2, ART. 2, SEC. 2-2.2(B) DESIGN STANDARDS MANUAL.

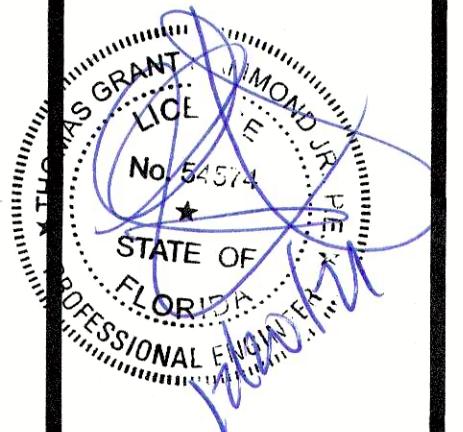
ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION TO BE SODDED

GULF BEACH HIGHWAY
(66' PUBLIC RIGHT-OF-WAY)

ESCAMBIA COUNTY LANDSCAPING REQUIREMENTS:

- 15 PERCENT OF THE TOTAL DEVELOPABLE SITE SHALL BE DEVOTED TO LANDSCAPING/GREEN SPACE.
- QUALITY. ALL PLANTS REQUIRED BY THIS SECTION SHALL CONFORM TO THE STANDARDS FOR FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- SPECIES. ALL LANDSCAPING SHALL UTILIZE NATIVE PLANT SPECIES OR THOSE SPECIES LISTED IN THE FLORIDA-FRIENDLY LANDSCAPING GUIDE TO PLANT SELECTION AND LANDSCAPE DESIGN.
- TREES. TREES PLANTED TO FULFILL THE MINIMUM LANDSCAPE REQUIREMENTS OF THIS ARTICLE SHALL NORMALLY ATTAIN A MATURE HEIGHT OF AT LEAST 20 FEET AND HAVE A MINIMUM CALIPER OF TWO AND ONE-HALF INCHES OR GREATER MEASURED AT FOUR INCHES ABOVE ROOT BALL AT PLANTING. THE FOLLOWING ADDITIONAL CRITERIA APPLY:
 - NON-NATIVE SPECIES. NON-NATIVE SPECIES ARE LIMITED TO 25 PERCENT OR LESS OF THE TOTAL REQUIRED TREES PLANTED.
 - DIVERSITY. THE DIVERSITY OF ANY TREES REQUIRED TO BE PLANTED ON A SITE SHALL COMPLY WITH THE FOLLOWING LIMITS TO AVOID UNIFORM SITE TREE DECLINE FROM PESTS OR DISEASE:
 - A MAXIMUM OF 67% OF THE TOTAL TREES TO BE PLANTED MAY BE OF THE SAME SPECIES.
- USE OF PALMS. PALMS DO NOT COMPLY WITH DEFINITION OF TREE FOR THE PURPOSES OF THESE LANDSCAPING PROVISIONS. HOWEVER, WIND-RESISTANT SPECIES MAY BE SUBSTITUTED AT THE RATIO OF TWO PALMS FOR ONE REQUIRED TREE FOR UP TO 50 PERCENT OF TREES REQUIRED FOR DEVELOPMENT ON SANTA ROSA ISLAND OR PERODD KEY, EXCLUDING ANY TREES REQUIRED SPECIFICALLY FOR BUFFERING OR REPLACEMENTS FOR PROTECTED TREE REMOVAL. SUCH PALMS INCLUDE: DATE PALM (PHOENIX SPP. EXCEPT P. RECLINATA) AND CABBAGE OR SABAL, (SABAL PALMETTO).
- ALL SHRUBS SHALL BE A MINIMUM OF 12 INCHES IN HEIGHT AT TIME OF PLANTING.
- TURF GRASS. CONSISTENT WITH FLORIDA-FRIENDLY PRACTICES, DEVELOPMENT SHOULD CONSOLIDATE AND LIMIT THE USE OF MOST TURF GRASSES TO ESSENTIAL AREAS. WHEN USED, GRASS SHALL BE SPECIES NORMALLY GROWN AS PERMANENT LAWNS IN ESCAMBIA COUNTY. ALL SOD SHALL BE CLEAN AND REASONABLY FREE OF WEEDS, NOXIOUS PESTS, AND DISEASES. WHEN GRASS AREAS ARE TO BE SEEDDED, SPRIGGED, OR PLUGGED, SPECIFICATIONS MUST BE SUBMITTED. SUBSTANTIAL COVERAGE MUST BE ACHIEVED WITHIN 180 DAYS AND NURSE GRASS SHALL BE SOWN FOR IMMEDIATE EFFECTS AND PROTECTION UNTIL COVERAGE IS OTHERWISE ACHIEVED.
- ALL PLANTS SHALL CONFORM TO THE STANDARDS OF FLORIDA GRADE NO. 1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF "GRADES AND STANDARDS OF NURSERY PLANTS", DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
- ANY PROPOSED REMOVAL OF PROTECTED TREES IN THE FUTURE SHALL REQUIRE PRIOR PERMIT APPLICATION & REVIEW BY ESCAMBIA COUNTY ENVIRONMENTAL PERMITTING STAFF PRIOR TO REMOVAL.

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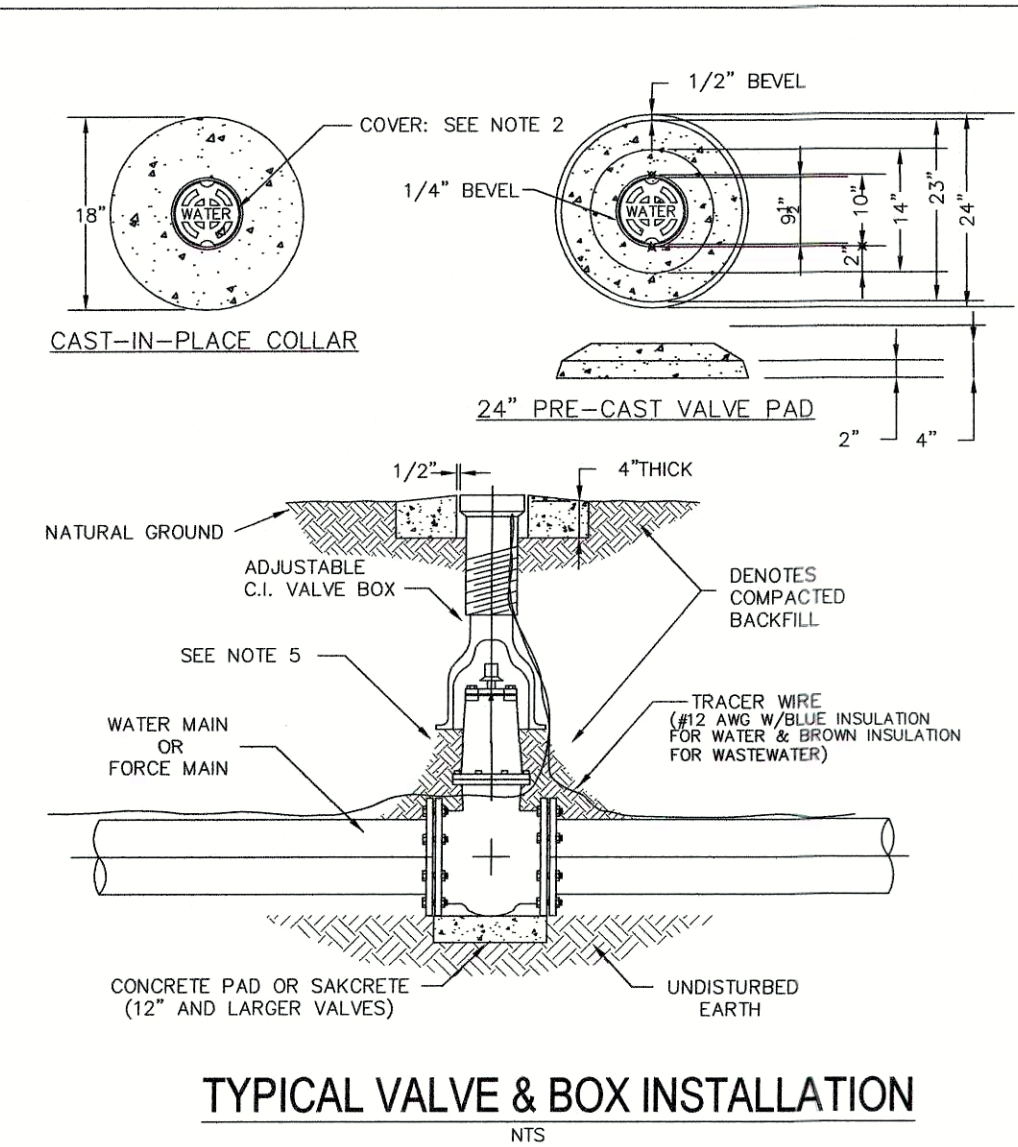
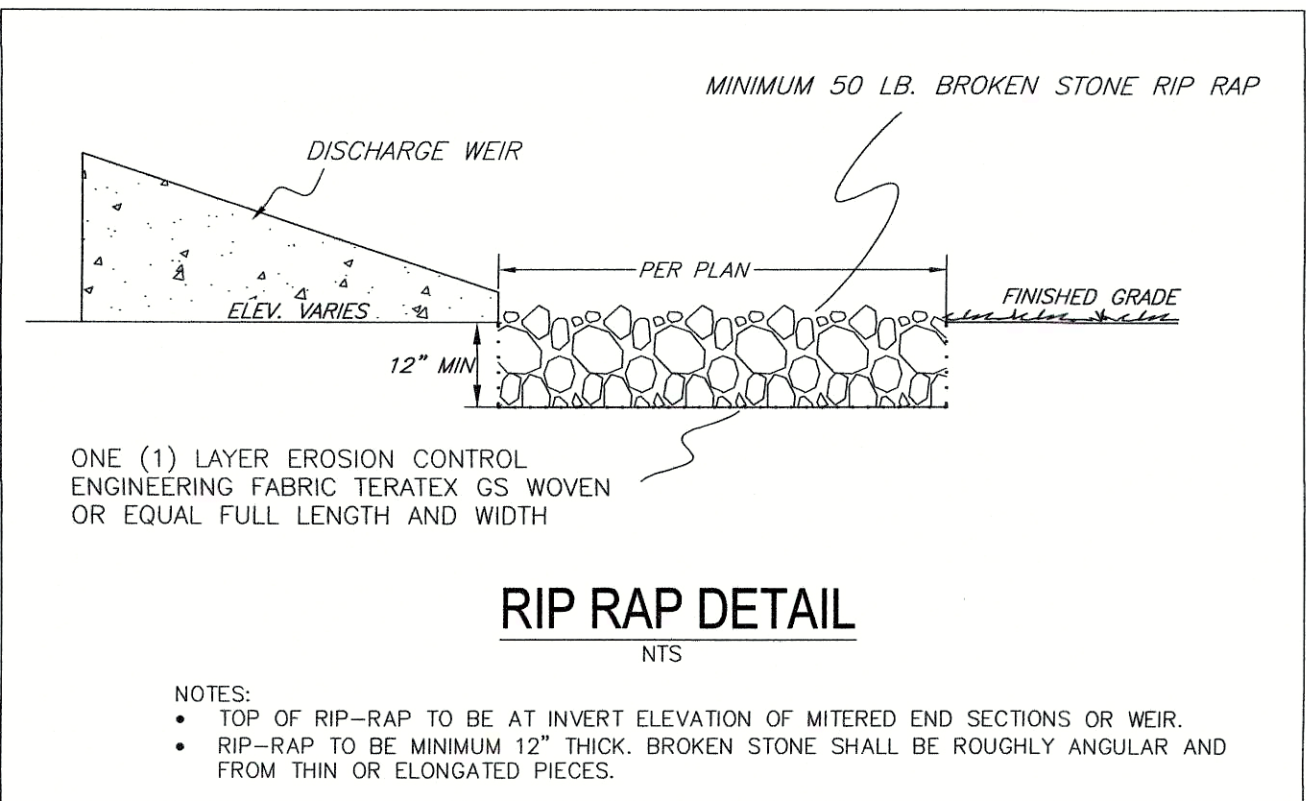
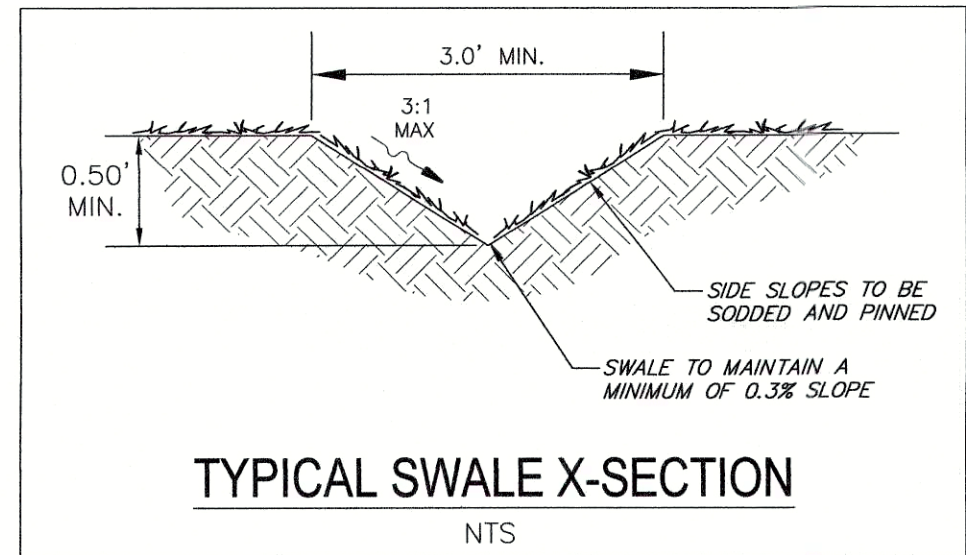
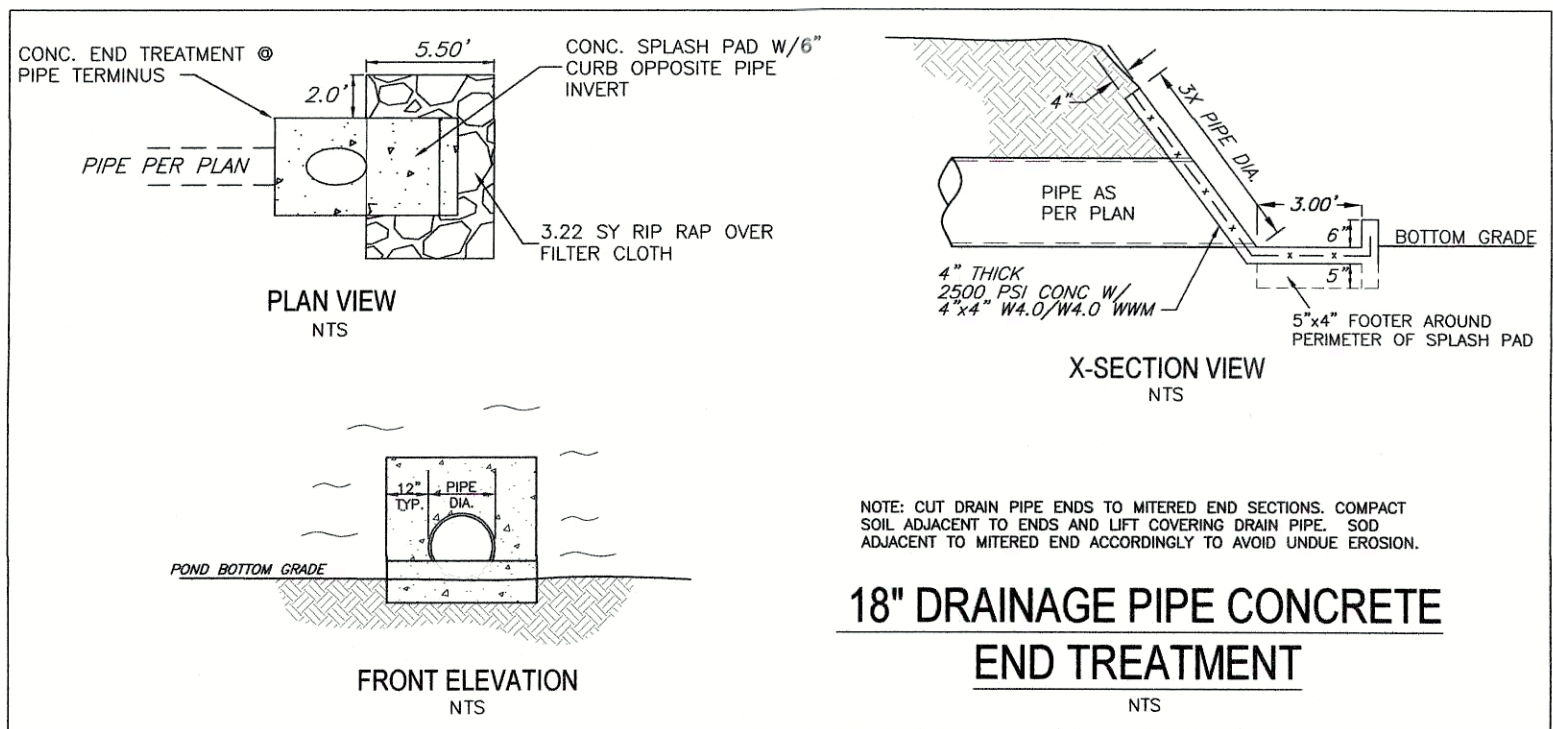
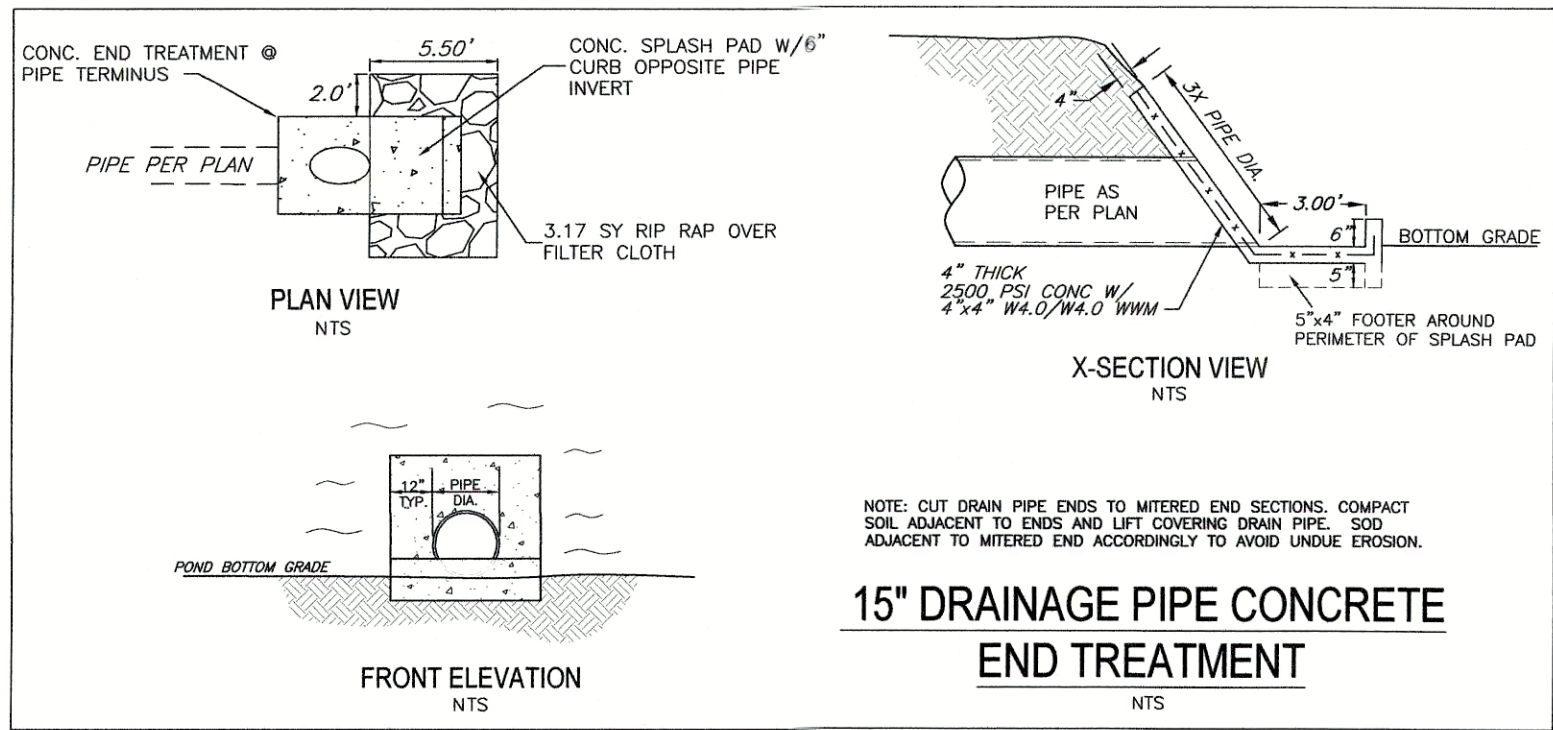


**SITE DEVELOPMENT
PLANS FOR
DCB
STORAGE
LANDSCAPING PLAN**

ESCAMBIA COUNTY FLORIDA

DRAWN BY: CUG
DESIGNED BY: RLS
CHECKED BY: TGH
DATE: 09-29-21
SCALE: AS SHOWN
NOT RELEASED FOR
CONSTRUCTION
BY: DATE:

PROJECT NO: 21-080
SHEET: C8



MATERIALS:
CONCRETE: 4000 PSI, TYPE II CEMENT
WALL REINFORCING: 3x4 W3.1/W4.1 WMF 65 K.S.I. (AS PER FDOT-INDEX 201)
BOTTOM SLAB REINFORCING: #4 @ 12" C.C.E.W. *

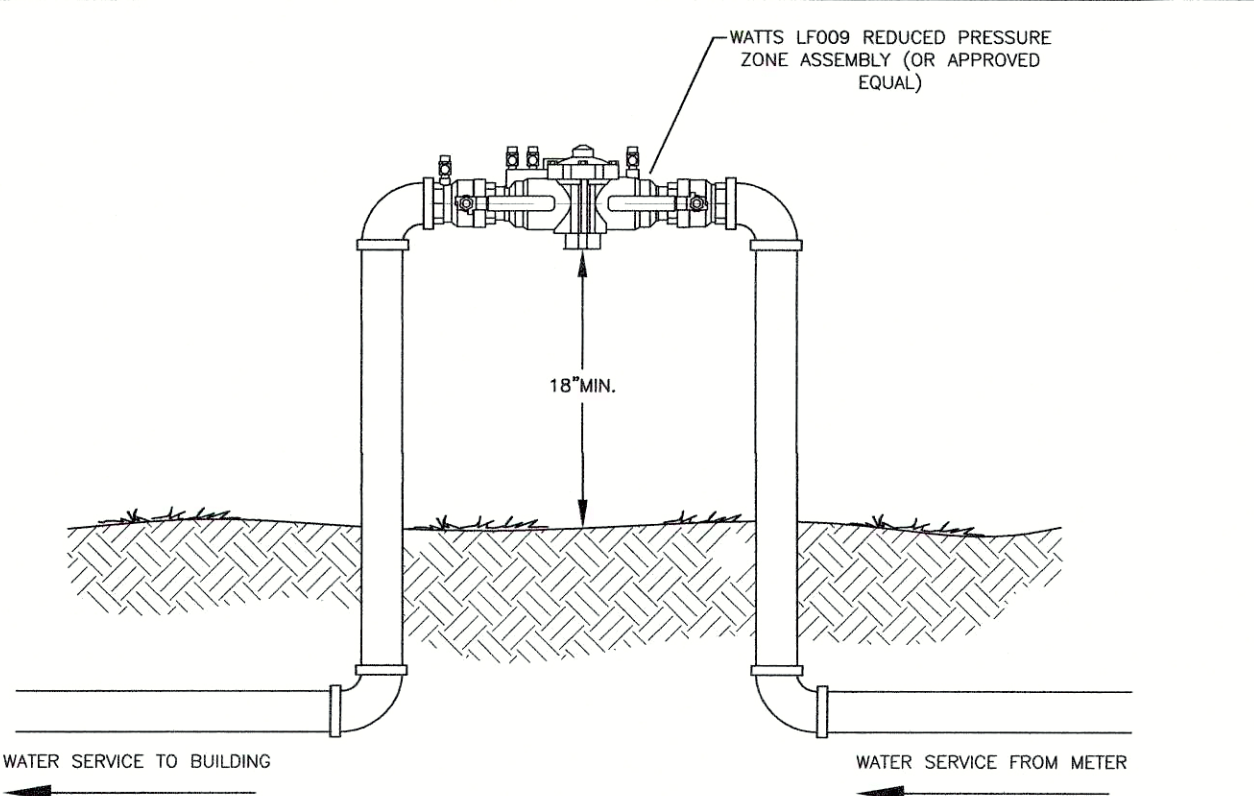
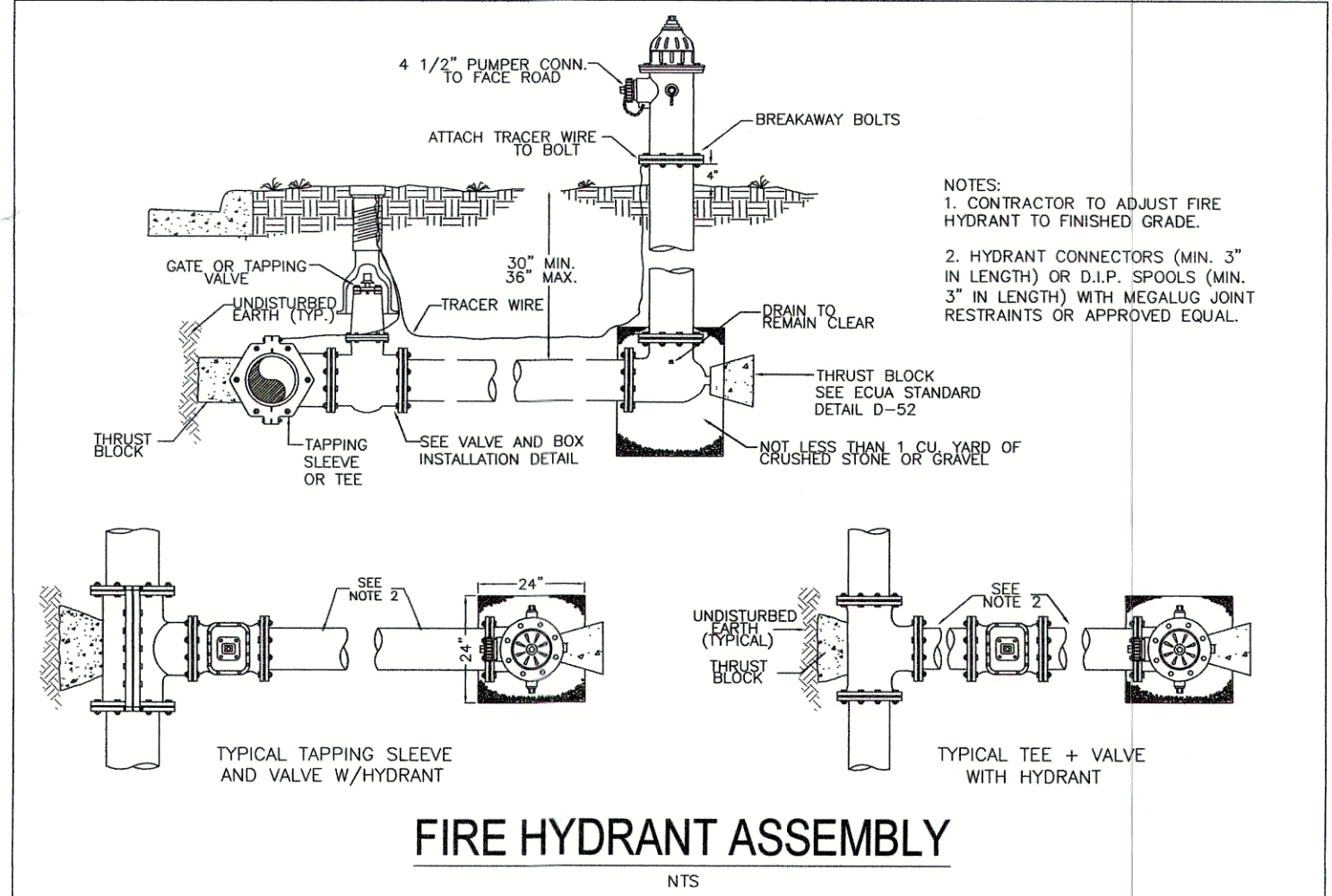
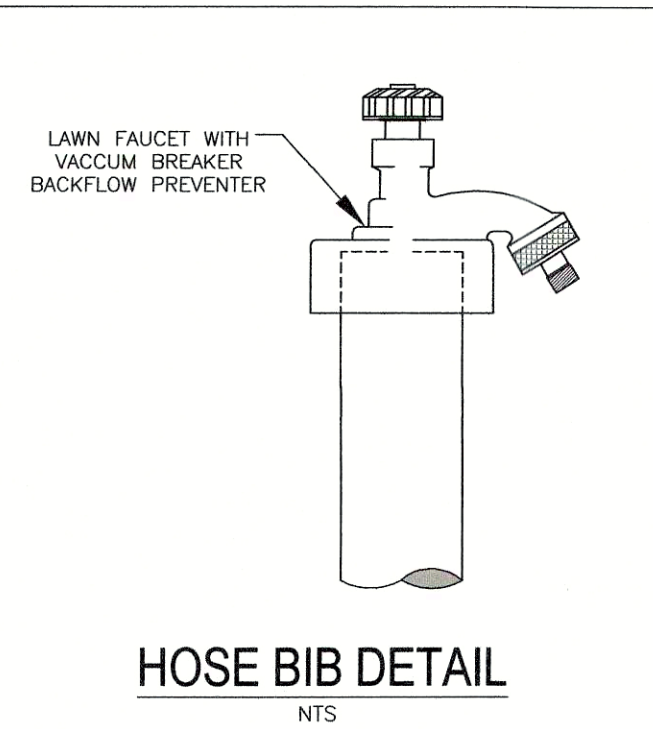
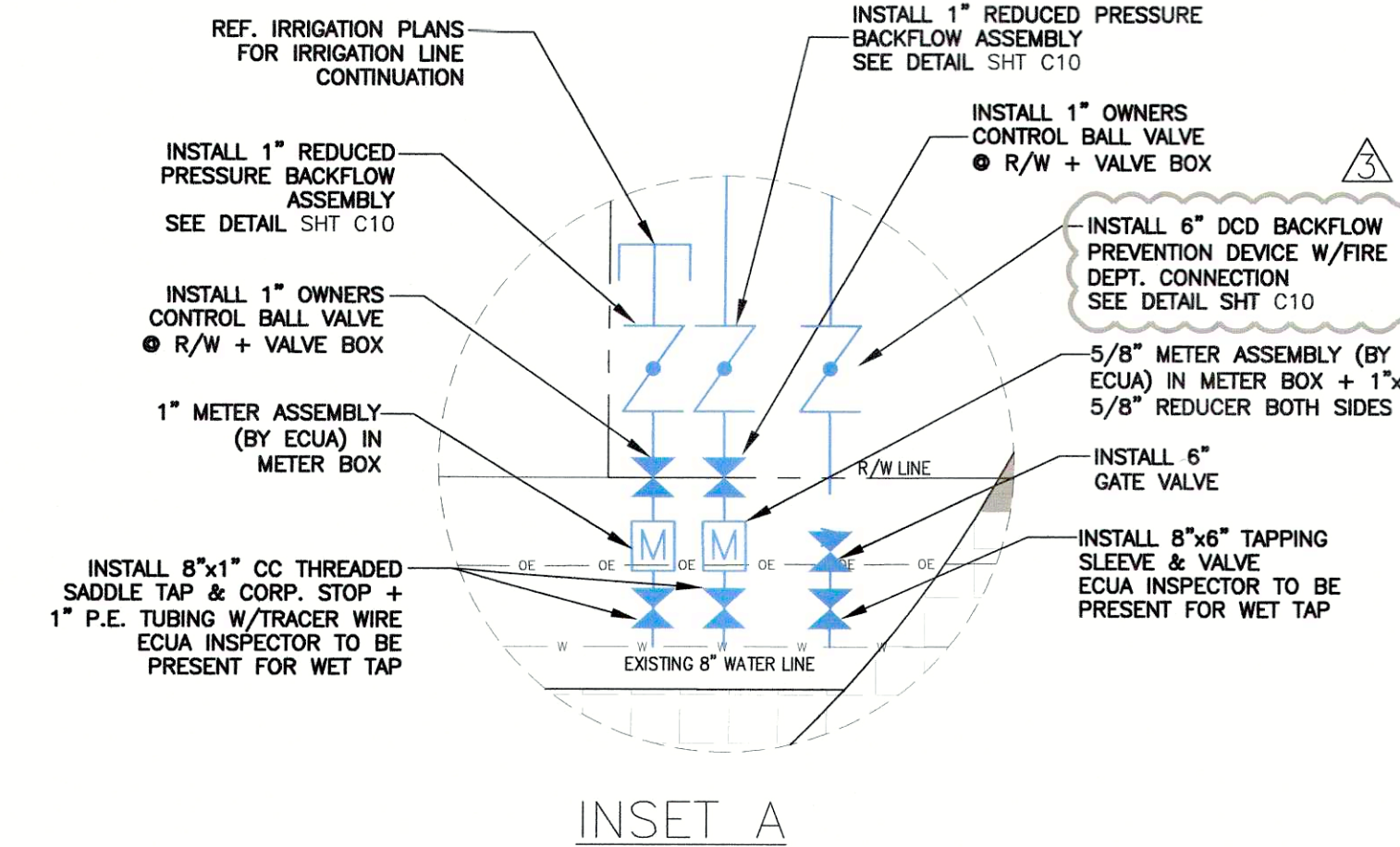
NOTE:
ALL EXPOSED EDGES TO HAVE 3/4" CHAMFER.
* GRADE 40, OR EQUIVALENT WELDED WIRE MESH.

GRATE INFORMATION:

U.S.F. NO.	TYPE	RATING	FLOW AREA (SQ. IN.)
6212	CAST IRON	TRAFFIC	455

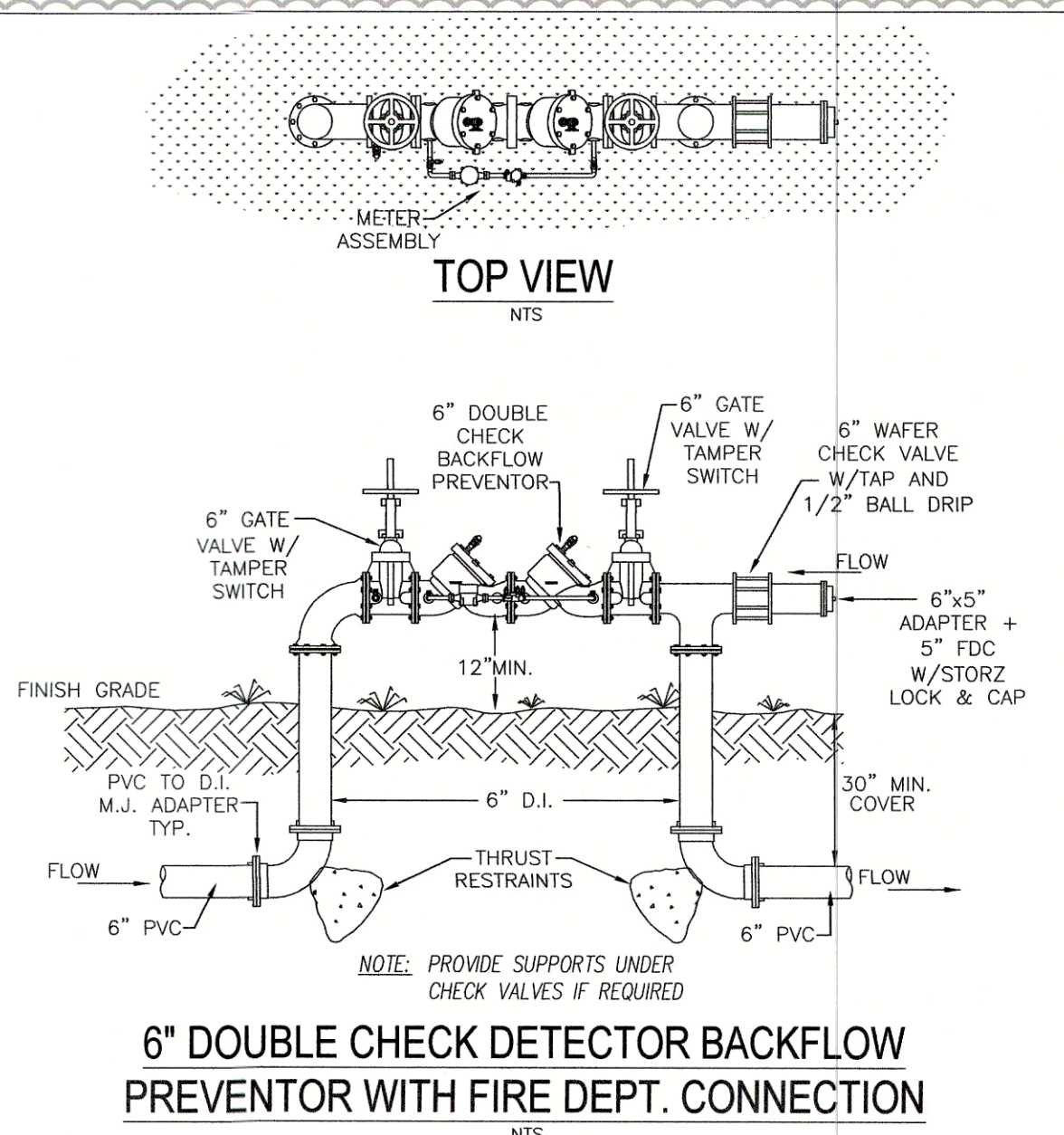
GRATE NOT SHOWN FOR CLARITY.

FDOT TYPE 'C' DITCH BOTTOM INLET



REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTION DEVICE

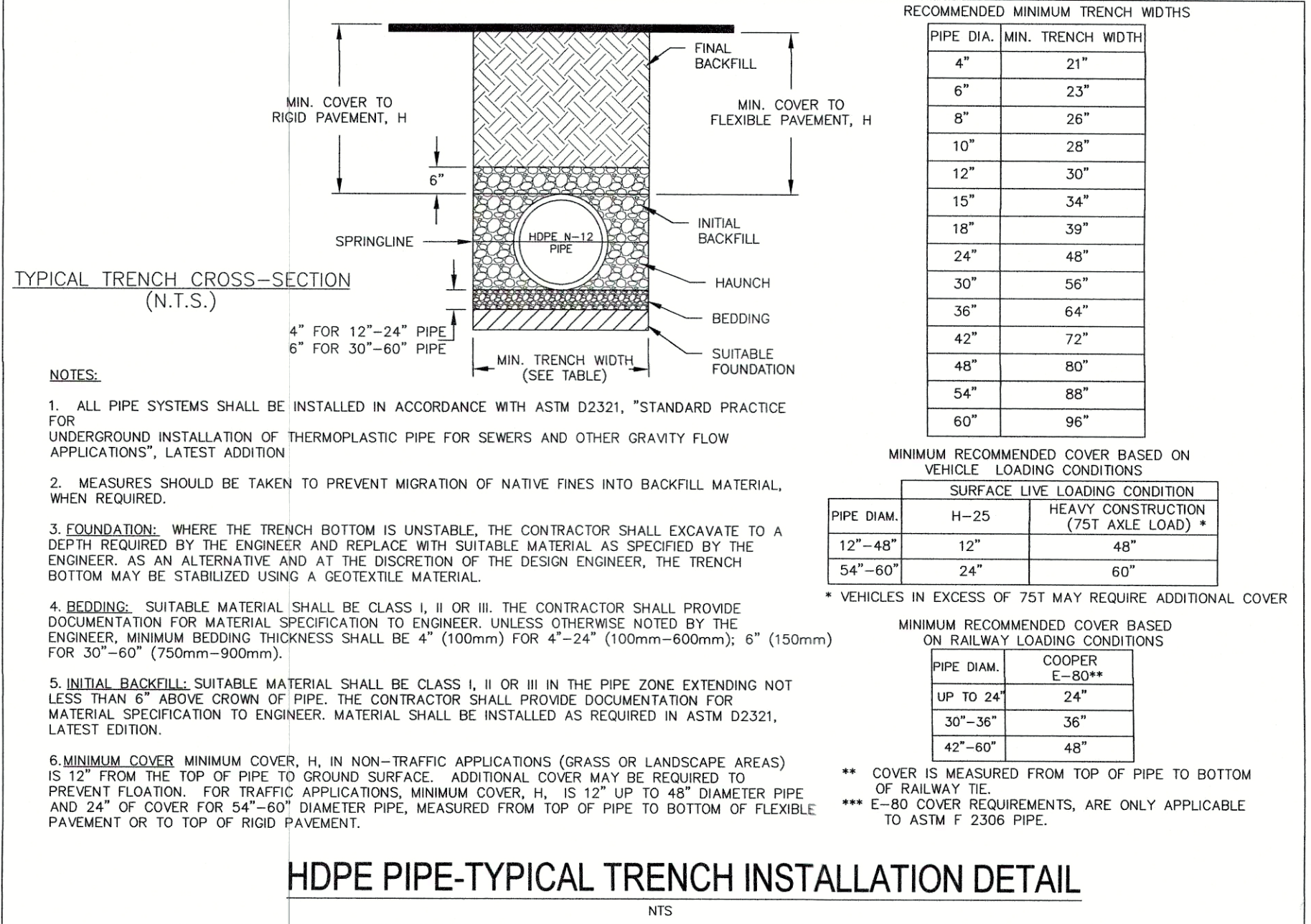
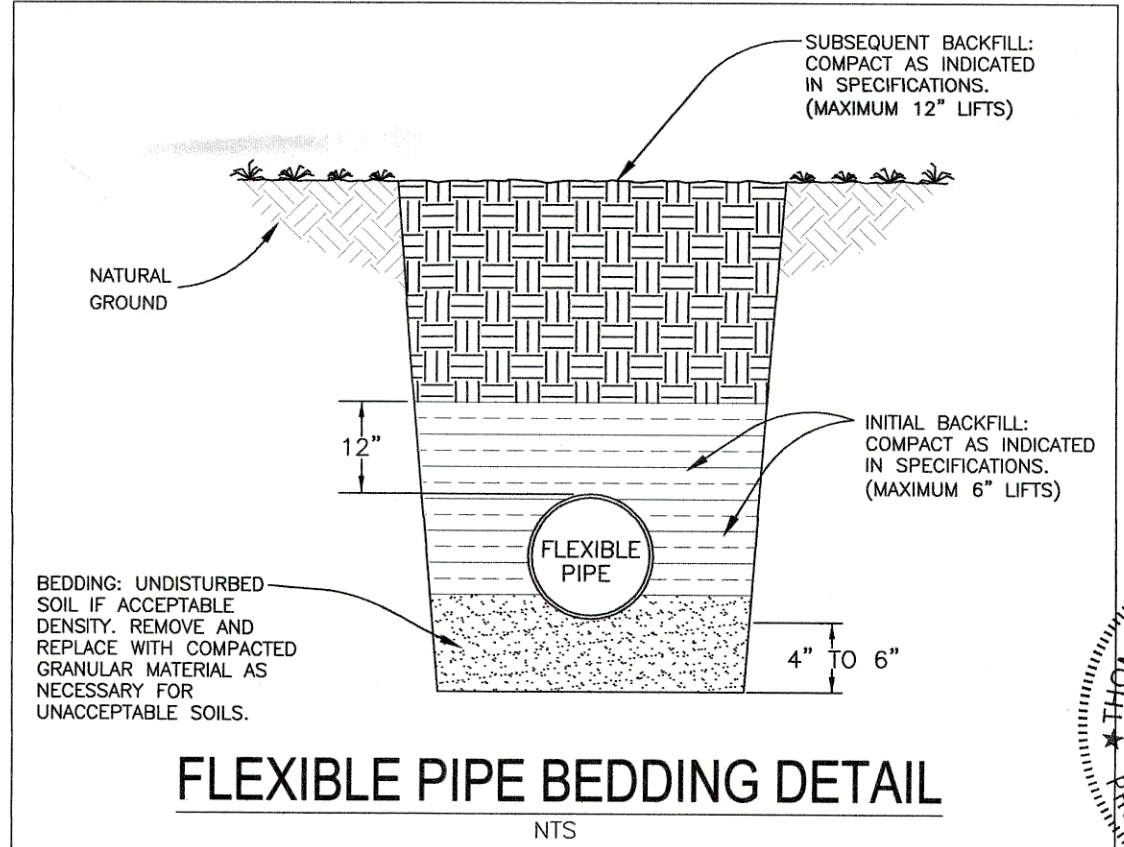
- NOTES:
1. WHERE ABOVE GROUND WATER-FILLED SUPPLY PIPES, RISERS, SYSTEM RISERS, OR FEED MAINS PASS THROUGH OPEN AREAS, COLD ROOMS, PASSAGEWAYS, OR OTHER AREAS EXPOSED TO FREEZING TEMPERATURES, THE PIPE SHALL BE PROTECTED AGAINST FREEZING BY THE FOLLOWING:
A. INSULATING COVERINGS
B. FROSTPROOF CASINGS
C. OTHER RELIABLE MEANS CAPABLE OF MAINTAINING A MINIMUM TEMPERATURE BETWEEN 40°F AND 120°F (4°C AND 48.9°C)
2. BACKFLOW PREVENTION DEVICE TO BE INSTALLED AS PER 2014 FLORIDA BUILDING CODE.
3. LOCATE BACKFLOW PREVENTER ON THE DEVELOPER SIDE OF THE METER BOX.
4. BACKFLOW PREVENTER TO BE TESTED AFTER INSTALLATION AND PRIOR TO SERVICE BEING TURNED ON.
5. THRUST BLOCKS NOT ILLUSTRATED BUT SHALL BE INSTALLED AS NECESSARY.



6" DOUBLE CHECK DETECTOR BACKFLOW PREVENTOR WITH FIRE DEPT. CONNECTION

- NOTE: AS PER NFPA 24-CH.12.2.3: WHERE ABOVE GROUND WATER-FILLED SUPPLY PIPES, RISERS, SYSTEM RISERS, OR FEED MAINS PASS THROUGH OPEN AREAS, COLD ROOMS, PASSAGEWAYS, OR OTHER AREAS EXPOSED TO FREEZING TEMPERATURES, THE PIPE SHALL BE PROTECTED AGAINST FREEZING BY THE FOLLOWING:
1. INSULATED COVERINGS
2. FROSTPROOF CASINGS
3. OTHER RELIABLE MEANS CAPABLE OF MAINTAINING A MINIMUM TEMPERATURE BETWEEN 40°F AND 120°F (4°C AND 48.9°C)

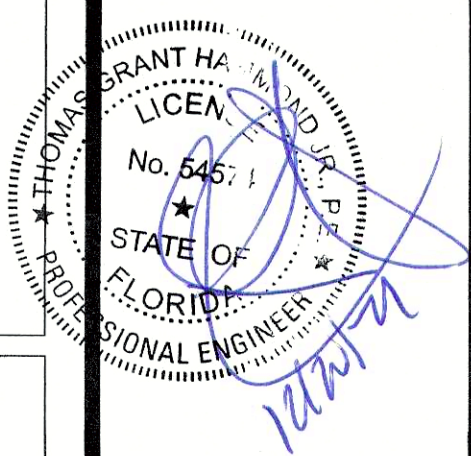
- GENERAL UTILITY NOTES**
1. All potable water and sanitary sewer work shall be done in accordance with ECUA'S engineering manual.
2. Contractor shall notify ECUA, F.D.O.T. and the County Engineer 48 hours prior to the commencement of this project.
3. Contractor shall make sewer service connections and potable water connections with an ECUA inspector present.
4. All work shall comply with applicable standards and codes established by ECUA and the Florida Department of Environmental Protection and written specifications.
5. Contractor shall notify Sunshine One Utilities two business days in advance prior to digging within R/W, 1-800-432-4770.
6. The Contractor shall notify the superintendents of the water, gas, sewer, telephone and power companies 10 days in advance, that he intends to start work in a specific area. The Owner disclaims any responsibility for the location and protection of sewers, drains, water pipes, gas pipes, conduits of any kind, utilities or other structures owned by the City, County, State or by private or public utilities legally occupying any street, alley, public place or right-of-way.
7. Florida State Statute 553.851 requires that all excavators notify gas companies of their intention to perform any excavation at least two business days (excluding Sat., Sun. & holidays) prior to beginning work.
8. Locations of existing utilities shown on plans are approximate only and it shall be the responsibility of the Contractor to verify the location and sizes before construction. Failure of the plans to show the existence of any underground utilities, structures, etc., shall not relieve the Contractor from the responsibility of locating, preserving and protecting said utility or structures.
9. Property obstructions which are to remain in place, such as buildings, sewer, storm drains, water or gas pipes, electrical conduits, poles, walls, posts, etc., are to be carefully protected and are not to be displaced, unless noted.
10. Relocation of the obstructions owned by private property Owner, such as mailboxes, shall be the responsibility of the Contractor who must coordinate with the property Owner.
11. Control of sedimentation and erosion shall be the Contractor's responsibility.
12. Contractor shall dispose of by hauling away all excess material.
13. The Utility Contractor shall make connections to the sanitary sewer as shown and shall verify locations and elevations of all utility lines prior to beginning work. The Utility Contractor shall include the cost of protection and/or relocation of other utilities in his bid and shall coordinate his work with other utility sub-contractors to prevent conflicts with other utility lines.
14. Contractor shall be responsible for and comply with any testing required by the local governing agency in addition to the testing requirements outlined in the specifications.
15. Proposed water line shall have a minimum cover of 30" and a maximum cover of 36" below finished grade unless otherwise noted.
16. "As-built" drawings showing all service lines, laterals, mains and valve locations measured from permanent reference points shall be furnished to the Engineer prior to acceptance.
17. Grading around trees which are to remain shall be away from the tree in a manner to cause no damage to the tree.
18. Contractor shall be responsible for the seeding and mulching and/or sodding of street and road shoulder areas in accordance with FDOT and applicable county requirements and standards.
19. Water supply facilities, including mains, shall be installed, cleaned, disinfected and bacteriologically cleared for service in accordance with the latest applicable AWWA Standards and coordinated with the designated ECUA Inspector and Quality Control Supervisor.
20. All onsite water and sewer facilities shall be privately owned, operated and maintained.
21. Contractor is responsible for adjustment of existing utilities if proposed improvements impact existing utilities.
22. All work to take place within the right of way or to be owned and maintained by ECUA post-construction shall be performed by a certified underground utility contractor.
23. Contractor must locate existing water main, sanitary sewer line and gas line to be tied into and verify configuration to establish the best location for connection.
24. Contractor shall obtain an Escambia County right of way permit prior to working within the county R/W.
25. Contractor to video/document all right of way areas to be impacted prior to construction.
26. Reference utility details provided on sheet C10.
27. Contractor to coordinate power supply to building with Gulf Power...850-429-2861
28. Contractor to coordinate proposed natural gas service with Energy Services of Pensacola...850-983-5434.



HDPE PIPE-TYPICAL TRENCH INSTALLATION DETAIL

NO.	DATE	REVISIONS
1	12/15/21	REVISED BUILDING SIZES PER OWNER
2	12/15/21	ADDED TEMP STOCKPILE AREA AS PER NRMWD
3	12/16/21	REVISED PLANS TO INCLUDE SPRINKLER SYSTEM TO BLDG'S

HAMMOND ENGINEERING, INC.
FLORIDA AUTHORIZATION NO. 9130
ALABAMA AUTHORIZATION NO. 3277
3802 NORTH "S" STREET
PENSACOLA, FLORIDA 32505
850 434-2603
850 434-2650
TOM@SELANDDESIGN.COM



SITE DEVELOPMENT PLANS FOR DCB STORAGE CONSTRUCTION DETAILS		ESCAMBIA COUNTY		FLORIDA
DRAWN BY: CUB	DESIGNED BY: RLS	CHECKED BY: TGH	DATE: 09-29-21	SCALE: AS SHOWN
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