

# WOODSPRING SUITES

**210 CHIEFS WAY** ▲  
**ESCAMBIA COUNTY, PENSACOLA, FLORIDA**  
**PROPERTY ID #37-2S-30-5002-000-057 & 37-2S-30-5002-000-067** ▲

**OWNER:**

**VANSHI LLC**

**3 N NEW WARRINGTON ROAD**  
**PENSACOLA, FL 32506**

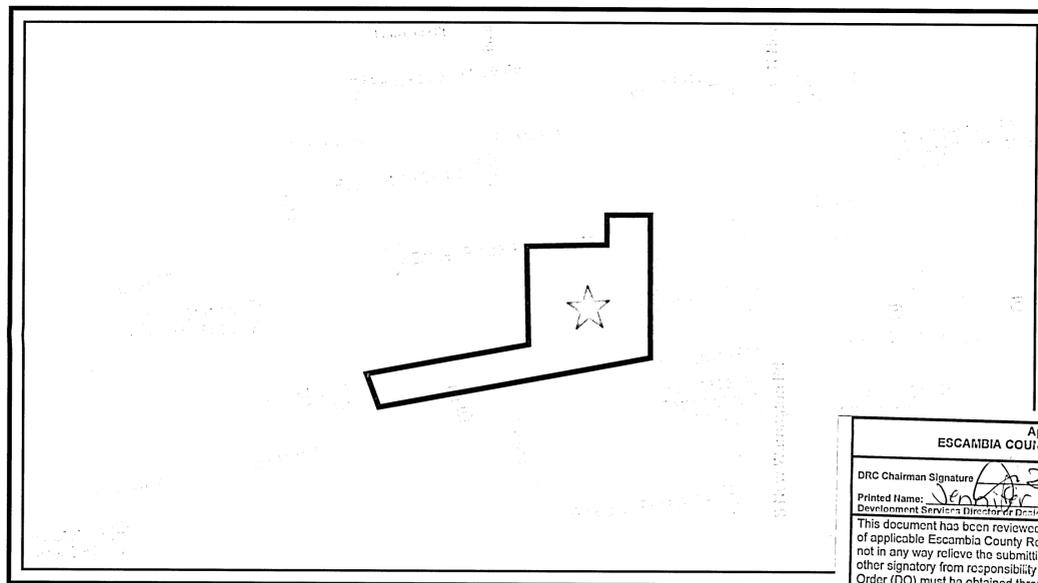
**EMAIL: gsbishop.engineering@gmail.com**

**ZONED: COMM**  
**FLU: COMMERCIAL**

**SUBMITTED: SEPTEMBER 2021**  
**RESUBMITTED: DECEMBER 16, 2021**

**CONSTRUCTION NOTES**

1. ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD. PONDS AND SWALES TOPS AND SIDES SHALL BE SODDED.
2. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
3. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
4. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW AS-BUILT CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND, OUTLET STRUCTURES, DIMENSIONS, ETC. THESE RECORD DRAWINGS ARE TO BE PROVIDED TO THE PROJECT ENGINEER PRIOR TO REQUESTING FINAL INSPECTION.
5. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY ENGINEER AN INSPECTION OF THE EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO CONSTRUCTION, UNDERGROUND DRAINAGE STRUCTURES PRIOR TO BURIAL, AND THE FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION.
6. EROSION SHALL BE CONTROLLED BY THE USE OF A HAY BALE BARRIER/SILT FENCE AS SHOWN ON PLANS AND SHALL BE SETUP PRIOR TO COMMENCING CONSTRUCTION. THE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. AFTER PLACEMENT OF THE EROSION CONTROL BARRIER, THE RETENTION AREA IS TO BE CONSTRUCTED. UPON COMPLETION OF THE PROJECT, THE RETENTION AREA SHALL BE CLEANED OF SILT, STABILIZATION OF ALL DISTURBED AREAS SHALL BE ACCOMPLISHED, AND THE RETENTION AREA IS TO BE RECONFIGURED TO DESIGN CROSS-SECTION, AND GRASSED.
7. ALL NEW ROOF DRAINS, DOWNSPOUTS, OR GUTTERS FOR FUTURE RESIDENTIAL STRUCTURES ARE TO BE ROUTED TO CARRY ALL STORM WATER TO RETENTION/DETENTION AREAS.
8. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION, OR PROVIDE "AS-BUILT" CERTIFICATION OR THE CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATION. THE "AS-BUILT" CERTIFICATION OR "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED, AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
9. CONTRACTOR SHALL NOTIFY SUNSHINE ONE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RW; 1-800-432-4770.
10. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION.
11. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT THE DESIGN ENGINEER BOTH PRIOR APPROVAL FROM AND THE COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
12. RIGHT-OF-WAY SHOULDER STABILIZATION SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST ADDITION).
13. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORM WATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORM WATER DURING CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
14. THE DEVELOPER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS. AS-BUILT CERTIFICATION IS REQUIRED PRIOR REQUEST FOR FINAL INSPECTION/APPROVAL.
15. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A UTILITY PERMIT FROM THE COUNTY ROAD AND BRIDGE DEPARTMENT PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES WITHIN THE COUNTY'S RIGHT OF WAY.
16. THE CONTRACTOR IS TO PROVIDE IRRIGATION FOR ALL LANDSCAPE AREAS, INCLUDING PARKING ISLANDS AND LANDSCAPE BUFFERS.
17. NO POLE LIGHTING IS TO BE INSTALLED WITHOUT REVIEW BY THE PLANNING AND ZONING DEPARTMENT.
18. THIS PLAN DOES NOT INCLUDE ANY EXTERIOR LIGHTING. IF POLE LIGHTS ARE PLANNED, THEY MUST BE APPROVED BY THE PLANNING AND ZONING DEPARTMENT UNDER A SEPARATE PERMIT. A LIGHTING PLAN WITH FIXTURE CUT SHEETS AND PHOTOMETRIC PLAN WILL BE REQUIRED. LIGHTING SHALL BE INSTALLED AS NOT TO SHINE DIRECTLY ON ADJACENT PROPERTY, OR ON TO RIGHT-OF-WAY. LIGHTING SHALL AVOID ANNOYANCE FROM BRIGHTNESS AND GLARE. ELECTRICAL AND INSTALLATION PERMITS MUST BE ACQUIRED FROM THE COUNTY BEFORE CONSTRUCTION OF ANY EXTERIOR LIGHTS.
19. CONTRACTOR MUST INSTALL AN IRRIGATION SYSTEM TO PROVIDE WATER TO ALL LANDSCAPE MATERIALS THAT ARE INSTALLED.
20. A SEPARATE PERMIT IS REQUIRED FOR ALL SIGNAGE.
21. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED, BY THE DEVELOPER, PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.



**VICINITY MAP**  
 APPROXIMATE SCALE: 1" ~ 250'

**LEGAL DESCRIPTION:**

(AS FURNISHED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY)

**PARCEL 1:**  
 BEGIN AT THE SOUTHEAST CORNER OF PARCEL "B", TWIN OAKS VILLAS, A SUBDIVISION OF A PORTION OF SECTION 37, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, AS RECORDED IN PLAT BOOK 8, PAGE 89, OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE NORTH 03 DEGREES 56 MINUTES 45 SECONDS EAST ALONG THE WESTERLY RIGHT-OF-WAY LINE OF NEW WARRINGTON ROAD (200' RIGHT OF WAY) FOR A DISTANCE OF 155.20 FEET; THENCE NORTH 86 DEGREES 03 MINUTES 15 SECONDS WEST FOR A DISTANCE OF 300.00 FEET; THENCE SOUTH 03 DEGREES 56 MINUTES 45 SECONDS WEST FOR A DISTANCE OF 208.96 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF THE LOUISVILLE RAILROAD (200' RIGHT OF WAY); THENCE NORTH 83 DEGREES 47 MINUTES 15 SECONDS EAST ALONG SAID RIGHT OF WAY LINE FOR A DISTANCE OF 304.80 FEET TO THE POINT OF BEGINNING.

**PARCEL 2:**  
 BEGIN AT A 6 INCH CONCRETE MONUMENT MARKED "INTERSECTION OF THE EAST BOUNDARY OF CORY FIELD AND THE NORTH BOUNDARY OF THE FRISCO SYSTEM RIGHT-OF-WAY"; THENCE NORTH 83 DEGREES 47 MINUTES 15 SECONDS EAST ALONG THE NORTH RIGHT-OF-WAY LINE OF THE FRISCO SYSTEM- ALSO BEING THE SOUTH BOUNDARY OF TWIN OAKS VILLAS SUBDIVISION ACCORDING TO PLAT RECORDED IN PLAT BOOK 8, AT PAGE 89, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA- FOR A DISTANCE OF 1,204.75 FEET TO THE WEST RIGHT-OF-WAY LINE OF NEW WARRINGTON ROAD (200 FOOT RIGHT-OF-WAY); THENCE SOUTH 03 DEGREES 56 MINUTES 45 SECONDS WEST ALONG SAID WEST RIGHT-OF-WAY LINE FOR 101.59 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF SAID FRISCO SYSTEM; THENCE SOUTH 83 DEGREES 47 MINUTES 15 SECONDS WEST ALONG THE SOUTH RIGHT-OF-WAY LINE OF THE FRISCO SYSTEM- ALSO BEING THE NORTH RIGHT-OF-WAY LINE OF CORY FIELD ENTRANCE ROAD (60 FOOT RIGHT-OF-WAY)- FOR A DISTANCE OF 1,169.19 FEET TO THE EAST BOUNDARY OF CORY FIELD; THENCE NORTH 16 DEGREES 17 MINUTES 00 SECONDS WEST ALONG THE EAST BOUNDARY OF SAID CORY FIELD FOR 101.55 FEET TO THE POINT OF BEGINNING. ALL LYING AND BEING IN SECTION 37, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA.

**PARCEL 3:**  
 COMMENCE AT THE SOUTHEAST CORNER OF PARCEL "B", TWIN OAKS VILLAS, A SUBDIVISION OF A PORTION OF SECTION 37, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, AS RECORDED IN PLAT BOOK 8 AT PAGE 89, OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE SOUTH 83 DEGREES 47 MINUTES 15 SECONDS WEST ALONG THE NORTHERLY RIGHT OF WAY LINE OF THE ST. LOUIS AND SAN FRANCISCO RAILROAD (100' R/W) FOR A DISTANCE OF 431.79 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 83 DEGREES 47 MINUTES 15 SECONDS WEST FOR A DISTANCE OF 229.13 FEET TO A POINT 470.00 FEET AND NORTH 89 DEGREES 47 MINUTES 15 SECONDS EAST FROM THE SOUTHEAST CORNER OF SAID PARCEL "B"; THENCE NORTH 02 DEGREES 57 MINUTES EAST FOR A DISTANCE OF 262.31 FEET; THENCE SOUTH 87 DEGREES 03 MINUTES 00 SECONDS EAST FOR A DISTANCE OF 191.51 FEET; THENCE SOUTH 86 DEGREES 08 MINUTES 15 SECONDS EAST FOR A DISTANCE OF 38.99 FEET; THENCE SOUTH 03 DEGREES 56 MINUTES 45 SECONDS WEST FOR A DISTANCE OF 245.32 FEET TO THE POINT OF BEGINNING. CONTAINING 1.38 ACRES, MORE OR LESS AND ALL LYING AND BEING IN SECTION 37, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA.

(OFFICIAL RECORDS BOOK 7314 AT PAGE 1374)

**PARCEL 1:**  
 COMMENCE AT THE SOUTHEAST CORNER OF PARCEL B, TWIN OAKS VILLAS, A SUBDIVISION OF A PORTION OF SECTION 37, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, AS RECORDED IN PLAT BOOK 8, PAGE 89, OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE SOUTH 83°47'15" WEST ALONG THE NORTHERLY RIGHT OF WAY LINE OF THE ST. LOUIS AND SAN FRANCISCO RAILROAD (100 FEET RIGHT OF WAY) FOR A DISTANCE OF 304.80 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 83°47'15" WEST FOR A DISTANCE OF 126.99 FEET; THENCE NORTH 03°56'45" EAST FOR A DISTANCE OF 331.49 FEET; THENCE SOUTH 86°03'15" EAST FOR A DISTANCE OF 125.00 FEET; THENCE SOUTH 03°56'45" WEST FOR A DISTANCE OF 309.08 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH AN INGRESS/EGRESS EASEMENT OVER THE FOLLOWING DESCRIBED PROPERTY:

**PARCEL 1:**  
 COMMENCING AT THE SOUTHEAST CORNER OF PARCEL B TWIN OAKS VILLAS, A SUBDIVISION OF A PORTION OF SECTION 37, TOWNSHIP 2 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, AS RECORDED IN PLAT BOOK 8, PAGE 89, OF THE PUBLIC RECORDS OF SAID COUNTY, FLORIDA; THENCE NORTH 03°56'45" EAST ALONG THE WESTERLY RIGHT OF WAY LINE OF NEW WARRINGTON ROAD (200 FOOT RIGHT OF WAY) FOR A DISTANCE OF 280.20 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 03°56'45" EAST ALONG SAID RIGHT OF WAY LINE FOR A DISTANCE OF 30.00 FEET; THENCE NORTH 86°03'15" WEST FOR A DISTANCE OF 320.00 FEET; THENCE SOUTH 03°56'45" WEST FOR A DISTANCE OF 55.00 FEET; THENCE SOUTH 86°03'15" EAST FOR A DISTANCE OF 20.00 FEET; THENCE NORTH 03°56'45" EAST FOR A DISTANCE OF 25.00 FEET; THENCE SOUTH 86°03'15" EAST FOR A DISTANCE OF 300.00 FEET TO THE POINT OF BEGINNING.

**POST OFFICE CONTACT NOTES:**

IN ORDER FOR THE USPS TO MAKE CONTACT WITH THE BUILDER EARLY IN THE PROCESS, THEIR CONTACT INFORMATION WOULD BE VERY HELPFUL IF PROVIDED. DELIVERY WILL BEGIN IN THE NEWLY DEVELOPED AREA ONLY UPON APPROVAL FROM THE USPS REPRESENTATIVE AND ONLY TO LOCATIONS AND EQUIPMENT PROVIDED BY THE USPS. STREET DELIVERY WILL BE HELD UNTIL SUCH TIME AS AN APPROVED SITE LOCATION IS AGREED UPON.

**CONTACT:**  
 ANDRA BRIDGES  
 GROWTH MANAGEMENT COORDINATOR | GFA DISTRICT | JACKSONVILLE FL 32203-9998  
 OFFICE HOURS: MON-FRI 8:00 AM - 17:00 PM  
 PHONE: 904-366-4924 FAX: 904-359-2979 EMAIL: ANDRA.R.BRIDGES@USPS.GOV

**UTILITY CONTACTS**

GULF POWER 500 BAYFRONT PARKWAY PENSACOLA, FL 32520-0316	CONTACT: MR. DON SCHOFIELD PHONE: (850) 444-6555 FAX: (850) 444-6432
COX CABLE 2205 LAVISTA AVE. PENSACOLA, FL 32504	CONTACT: RICHARD EMMONS PHONE: (850) 477-2695 FAX: (850) 479-3912
FOR SEWER: EMERALD COAST UTILITIES AUTHORITY 9500 STURDEVANT STREET 2ND FLOOR PENSACOLA, FL 32514	PHONE: (850) 969-3310
FOR WATER: PEOPLES WATER SERVICE 905 LOWNDE AVE PENSACOLA, FL 32507	PHONE: (850) 455-8552
ENERGY SERVICES GAS 1625 ATWOOD DR. PENSACOLA, FL 32504	CONTACT: JOHN DeMARS PHONE: (850) 474-5322 FAX: (850) 474-5330
BELLSOUTH 605 W. GARDEN ST. PENSACOLA, FL 32501	CONTACT: SHARON BLACKMAN PHONE: (850) 436-1662
SPRINT	PHONE: (850) 599-1582
MCI	PHONE: 1-800-624-9675
AT&T	PHONE: 1-800-252-1133
SUNSHINE UTILITIES (ONE CALL)	PHONE: 1-800-432-4770

The parcel shown for development is located within the following flood zone(s) as detailed by FEMA FIRM (Flood Insurance Rate Map) information described below:

Flood zone(s)	Community number	Map number	Panel number(s)	Suffix	Map Revision Date
X	12033	12033C	0370	G	9/29/2006

If site lies within more than one flood zone, please delineate & label each zone & include information in legend. Include all FEMA Panel #'s parcel falls within.

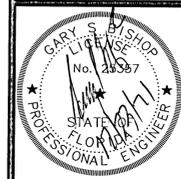
**WELLHEAD PROTECTION NOTE:**

THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOURS OF PROTECTED (POTABLE) WELLHEADS. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (PWS- PEOPLES WATER SERVICE (850) 455-8552 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 595-6712) AGENCIES.

**CONTRACTOR TO REVIEW DSM CHAPTER 2 IN ITS ENTIRETY PRIOR TO CONDUCTING ANY DEMOLITION OR GRADING WORK DIRECTLY ADJACENT TO OR WITHIN THE VICINITY OF PROTECTED TREES TO REMAIN ON SITE. SEE NOTES PROVIDED ON SHEET C1.**

- SCHEDULE OF DRAWINGS**
- C0 ~ TITLE PAGE
  - C1 ~ EXISTING CONDITION/DEMO PLAN
  - C1.1-LOCATIONAL CRITERIA MAP
  - C1.2-WELL HEAD PROTECTION MAP
  - C2 ~ DIMENSION PLAN
  - C3 ~ GRADING PLAN
  - C4 ~ UTILITY PLAN
  - C5 ~ LANDSCAPE PLAN

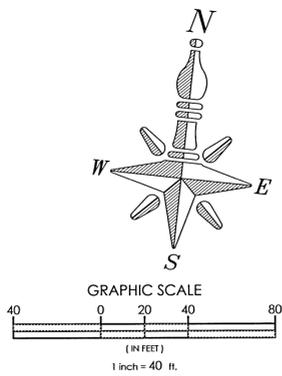
NO.	DATE	REVISIONS
1	12-15-2021	RESPOND TO COUNTY REVIEW COMMENTS



**GARY S. BISHOP, P.E.**  
 CONSULTING ENGINEERING  
 6010 JAMESON CIRCLE PACE, FL 32571  
 PHONE: (850) 712-7618  
 E-MAIL: gsbishop@yahoo.com & gsbishop.engineering@gmail.com

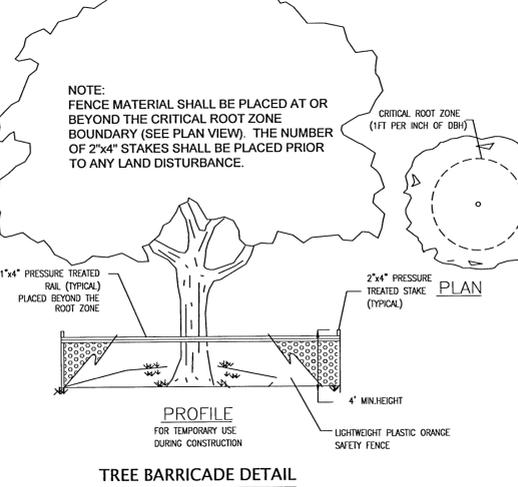
**WOODSPRING SUITES**  
 210 CHIEFS WAY  
 ESCAMBIA COUNTY, PENSACOLA, FLORIDA  
 PROPERTY ID #37-2S-30-5002-000-057

DRAWN BY: CSL	DESIGNED BY: GSB	CHECKED BY: GSB	DATE: SEPTEMBER 2021	SCALE: AS NOTED
PROJECT NO:	FILE NO: 2020 WOODSPRINGS_SITE	SHEET NO:	CO	



**GENERAL NOTES:**

- ALL WORK IN THE RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE FOLLOWING: STANDARD PLANS FOR ROAD & BRIDGE CONSTRUCTION, THE PLANS PREPARATION MANUAL (PPM), AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AGENCIES.
- THE LOCATION OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS IS BASED ON INFORMATION PROVIDED BY THE UTILITIES AND SHALL BE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENTS OF THE WATER, SANITARY SEWER, GAS, TELEPHONE, CABLE TELEVISION, AND POWER COMPANIES 10 DAYS IN ADVANCE THAT HE INTENDS TO START WORK IN A SPECIFIED AREA. THE OWNER DISCLAIMS ANY RESPONSIBILITY FOR THE SUPPORT AND PROTECTION OF SEWERS, DRAINS, WATER PIPES, GAS PIPES, CONDUITS OF ANY KIND, UTILITIES OR OTHER STRUCTURES OWNED BY THE CITY, COUNTY, STATE OR BY PRIVATE OR PUBLIC UTILITIES LEGALLY OCCUPYING ANY STREET, ALLEY, PUBLIC PLACE OR RIGHT-OF-WAY.
- ALL SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND STRUCTURES, WHICH ARE NOT IN SERVICE AS NECESSARY FOR THE INSTALLATION OF PROPOSED IMPROVEMENTS. THESE INCLUDE PIPES, VALVES, DRAINAGE STRUCTURES, ETC., AS INDICATED ON THE CONTRACT PLANS. CONTRACTOR SHALL NOTIFY THE PROJECT OWNER AND ENGINEER OF ALL DISCOVERED UNDERGROUND STRUCTURES WHICH ARE IN CONFLICT WITH THE INSTALLATION OF THE PROPOSED IMPROVEMENTS AND ARE NOT INDICATED ON THE CONTRACT PLANS OR LOCATED IN THE FIELD BY UTILITIES IN ACCORDANCE WITH GENERAL NOTES.
- THE RELOCATION OF OBSTRUCTIONS OWNED BY PRIVATE PROPERTY OWNERS, SUCH AS MAIL BOXES, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WHO MUST COORDINATE WITH THE PROPERTY OWNER.
- THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS AND GUARDS DURING ALL PHASES OF CONSTRUCTION, IN ACCORDANCE WITH APPLICABLE FDOT INDEX.
- ALL AREAS NOT PAVED OR DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED BY SEEDING AND MULCHING OR SODDING. SEED AND MULCH OR SOD SHALL BE PLACED, WATERED, FERTILIZED WITH APPROPRIATE SOIL AMENDMENTS IN ACCORDANCE WITH THE FDOT STANDARD SPECIFICATIONS AND THESE CONSTRUCTION DOCUMENTS.
- ALL EXCESS MATERIAL SHALL BE HAULED AWAY AND DISPOSED OF APPROPRIATELY AT THE CONTRACTOR'S EXPENSE.
- ALL CONSTRUCTION AROUND TREES SHALL BE DONE IN A MANNER TO MINIMIZE DAMAGE TO THE TREE AND ITS ROOT SYSTEM.
- THE CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND THE EXTENT OF CLEARING AND GRUBBING REQUIRED.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- THE CONTRACTOR IS TO COORDINATE WITH THE RESPONSIBLE UTILITY PROVIDER FOR PROTECTION/HOLDING OF UTILITY POLES, GUY WIRES, AND GUY ANCHORS IN AREAS OF CONSTRUCTION. THE CONTRACTOR SHALL INCLUDE THE COST OF PROTECTING UTILITY POLES IN THEIR OVERALL PRICE TO THE OWNER.
- DAMAGE TO EXISTING ROADS DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR PRIOR TO FINAL "AS-BUILT" SIGN-OFF FROM THE COUNTY.



**SURVEYOR NOTES:**

- NORTH AND THE SURVEY DATUM SHOWN HEREON IS REFERENCED TO THE DEED BEARING OF N 83°47'15" E ALONG THE SOUTHERLY LINE OF PARCEL "B" BETWEEN 6"x6" CONCRETE MONUMENT FOUND MARKED INTERSECTION OF THE EAST BOUNDARY OF CARRY FIELD AND THE NORTH BOUNDARY OF THE FRISCO SYSTEM RIGHT-OF-WAY" AND A 4"x4" CONCRETE MONUMENT FOUND MARKED WITH SURVEYOR NO. 1872 OFFSET S 83°47'15" W FOR A DISTANCE OF 0.37' FROM THE SE CORNER OF PARCEL "B" AS SHOWN ON A COPY OF THE PLAT OF TWIN OAKS VILLAS, AS RECORDED IN PLAT BOOK 8, AT PAGE 89, OF THE PUBLIC RECORDS OF ESCAMBA COUNTY, FLORIDA. A COPY OF TAX MAP SHEET NO. 183, COPYRIGHTED, OWNED AND REVISED BY R.D. HINSON; A PREVIOUS SURVEY OF THE SUBJECT PROPERTY BY LANDS END SURVEYING, INC. ORDER NO. 29-10, DATED 2-21-2010; A PREVIOUS SURVEY OF THE ADJUTING PROPERTY TO THE NORTH OF PARCEL 1 BY SCHUMER'S PROFESSIONAL SURVEYING, INC., JOB NO. 96F-176, DATED 5-6-96; DEEDS OF RECORD, AND EXISTING FIELD MONUMENTATION.
- ELEVATIONS AS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND ARE REFERENCED TO THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) VERTICAL CONTROL NETWORK BENCH MARK NUMBER 48-11-F01V HAVING A PUBLISHED ELEVATION OF 29.16 FEET.
- MEASUREMENTS AS SHOWN HEREON WERE MADE TO UNITED STATES STANDARDS AND ARE EXPRESSED IN DECIMAL OF FEET.
- VISIBLE UTILITIES WITHIN THE TOPOGRAPHIC LIMITS ARE AS SHOWN HEREON.
- STRUCTURE DIMENSIONS DO NOT INCLUDE THE EAVE OVERHANG OR FOUNDATION FOOTINGS.
- VISIBLE IMPROVEMENTS WITHIN THE SURVEY LIMITS ARE AS SHOWN HEREON.
- IT IS THE OPINION OF THE UNDERSIGNED SURVEYOR & MAPPER THAT THE PARCEL OF LAND SHOWN HEREON IS IN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR ESCAMBA COUNTY, FLORIDA, COMMUNITY PANEL NUMBER 12033C0370G, EFFECTIVE DATE OF SEPTEMBER 29, 2006.
- GRAPHIC SYMBOLISM FOR FEATURES SUCH AS MONUMENTATION, FENCES TREES, TREE LINES, UTILITIES ETCETERA MAY BE EXAGGERATED IN SIZE FOR CLARITY PURPOSES. DIMENSIONS TO EXAGGERATED FEATURES WILL SUPERSEDE SCALED MEASUREMENTS.
- A TITLE COMMITMENT WAS FURNISHED AND USED IN PREPARING THIS SURVEY, ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY FOR PARCELS 1, 2, AND 3, FUND FILE NUMBER 253113, AGENT'S FILE REFERENCE 15-00818.RC WITH AN EFFECTIVE DATE OF NOVEMBER 18, 2015, AT 11:00 P.M.
- IT IS THE OPINION OF THE UNDERSIGNED PROFESSIONAL SURVEYOR & MAPPER THAT THE DESCRIPTION OF PARCEL 3 AS PROVIDED IN THE TITLE COMMITMENT BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY (FUND FILE NUMBER 253113) AND AS RECORDED IN OFFICIAL RECORD BOOK 714B, AT PAGE 1304 OF THE PUBLIC RECORDS OF ESCAMBA COUNTY, FLORIDA HAS MULTIPLE APPARENT ERRORS RESULTING IN A DEED CLOSURE BELOW THE ACCEPTABLE TOLERANCES OF THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS. IT IS ALSO THE OPINION OF THE UNDERSIGNED THAT THE DESCRIPTION OF SAID PARCEL 3 AS SHOWN ON A PREVIOUS SURVEY BY LANDS END SURVEYING, INC. (AS REFERENCED IN THE TITLE COMMITMENT PROVIDED) AS RECORDED IN OFFICIAL RECORD BOOK 2239, AT PAGE 718 OF THE PUBLIC RECORDS OF THE AFORESAID COUNTY BE CONSIDERED AS A REPLACEMENT TO MORE ACCURATELY DESCRIBE SAID PARCEL 3.
- PARCELS 1, 2, AND 3 AS SHOWN HEREON WERE PREVIOUSLY SURVEYED BY THIS FIRM IN JANUARY OF 2016 (RBA PROJECT NUMBER 2015238) AND NOT RESURVEYED IN 2017. PARCELS 1 AND 2 WERE SURVEYED BY THIS FIRM IN JULY OF 2017 (RBA PROJECT NUMBER 2017126). THE SURVEY AS SHOWN HEREON IS A COMPILED OF BOTH SURVEYS BY RBA AS REQUESTED BY THE CLIENT FOR PLANNING AND DESIGN PURPOSES.
- THIS SURVEY DOES NOT REPRESENT NOR GUARANTEE OWNERSHIP.

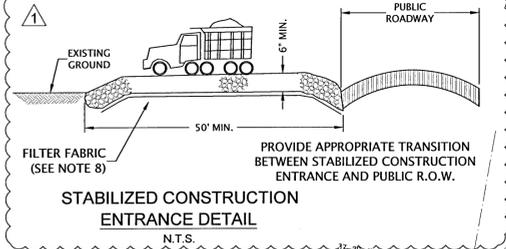
TREE INVENTORY			
Tree #	Size	Type	Remove/Protect
T-1	7"	BIRCH	REMOVE (NP)
T-2	11"	LAU OAK	PROTECT (NP)
T-3	10"	LIVE OAK	PROTECT (NP)
T-5	11"	LIVE OAK	PROTECT (NP)
T-6	25"	LIVE OAK	PROTECT
T-9	14"	LIVE OAK	PROTECT
T-10	42"	LIVE OAK	PROTECT
T-11	11"	LIVE OAK	REMOVE (NP)
T-12	12"	LAU OAK	PROTECT (NP)
T-13	11"	BIRCH	PROTECT
T-14	9"	CEDAR	REMOVE (NP)
T-15	10"	CEDAR	REMOVE (NP)
T-16	10"	CEDAR	PROTECT (NP)
T-17	12"	CEDAR	PROTECT (P)
T-18	7"	LAU OAK	REMOVE (NP)
T-19	11"	LAU OAK	PROTECT (NP)
T-20	12"	LAU OAK	REMOVE
T-21	12"	LAU OAK	REMOVE
T-22	12"	LAU OAK	PROTECT (NP)
T-25	12"	LAU OAK	PROTECT
T-26	13"	LAU OAK	PROTECT
T-27	14"	LAU OAK	REMOVE
T-28	14"	LAU OAK	PROTECT
T-32	15"	LAU OAK	REMOVE
T-40	18"	LAU OAK	PROTECT
T-45	31"	LAU OAK	REMOVE
T-51	13"	LIVE OAK	PROTECT
T-52	13"	LIVE OAK	PROTECT
T-54	14"	LIVE OAK	PROTECT
T-56	14"	LIVE OAK	REMOVE
T-59	18"	LIVE OAK	PROTECT
T-63	24"	LIVE OAK	PROTECT
T-66	15"	MAG	REMOVE
T-84	17"	PALM	REMOVE (NP)
T-85	17"	PALM	REMOVE (NP)
T-87	24"	PALM	PROTECT
T-101	N/A	C MYRTLE	PROTECT (NP)
T-102	N/A	C MYRTLE	PROTECT (NP)
T-103	N/A	C MYRTLE	PROTECT (NP)
T-104	N/A	C MYRTLE	PROTECT (NP)
T-105	N/A	C MYRTLE	REMOVE (NP)
T-106	N/A	C MYRTLE	REMOVE (NP)
T-107	N/A	C MYRTLE	REMOVE (NP)
T-108	N/A	C MYRTLE	REMOVE (NP)
T-109	N/A	C MYRTLE	PROTECT (NP)
T-111	N/A	C MYRTLE	PROTECT (NP)
T-112	N/A	C MYRTLE	PROTECT (NP)

**TREE TABLE NOTES:**  
 PROTECT (P): INDICATES TREE CONSIDERED NOT PROTECTED BY THE LDC AND IS PROPOSED TO REMAIN ON-SITE UPON DEVELOPMENT. CONTRACTOR SHALL INSTALL TREE BARRICADES PER TREE BARRICADE IF REQUIRED SEE DETAIL  
 PROTECT (NP): INDICATES TREE CONSIDERED NOT PROTECTED BY THE LDC AND IS PROPOSED TO REMAIN ON-SITE UPON DEVELOPMENT. CONTRACTOR SHALL INSTALL TREE BARRICADES PER TREE BARRICADE IF REQUIRED SEE DETAIL  
 REMOVE (R): INDICATES TREE CONSIDERED PROTECTED BY THE LDC AND IS PROPOSED TO BE REMOVED UPON DEVELOPMENT & REQUIRES MITIGATION.  
 REMOVE (NP): INDICATES TREE CONSIDERED NOT PROTECTED BY THE LDC AND IS PROPOSED TO BE REMOVED UPON DEVELOPMENT & DOES NOT REQUIRE MITIGATION.

**MITIGATION REQUIREMENTS:**  
 TOTAL CALIPER OF PROTECTED TREE REMOVAL IS 125"  
 REPLACEMENT RATIO 50% OF INCHES =  
 125" x 0.5 = 62.5" (63")  
 PER ESCAMBA COUNTY LDC SECTION 2.5.2(C) MITIGATION PLANTINGS:  
 LIMITED TO 25" PER DEVELOPED ACRE  
 TOTAL DEVELOPMENT AREA 2.92 AC:  
 2.92 x 25" = 73" MITIGATION REQ'D

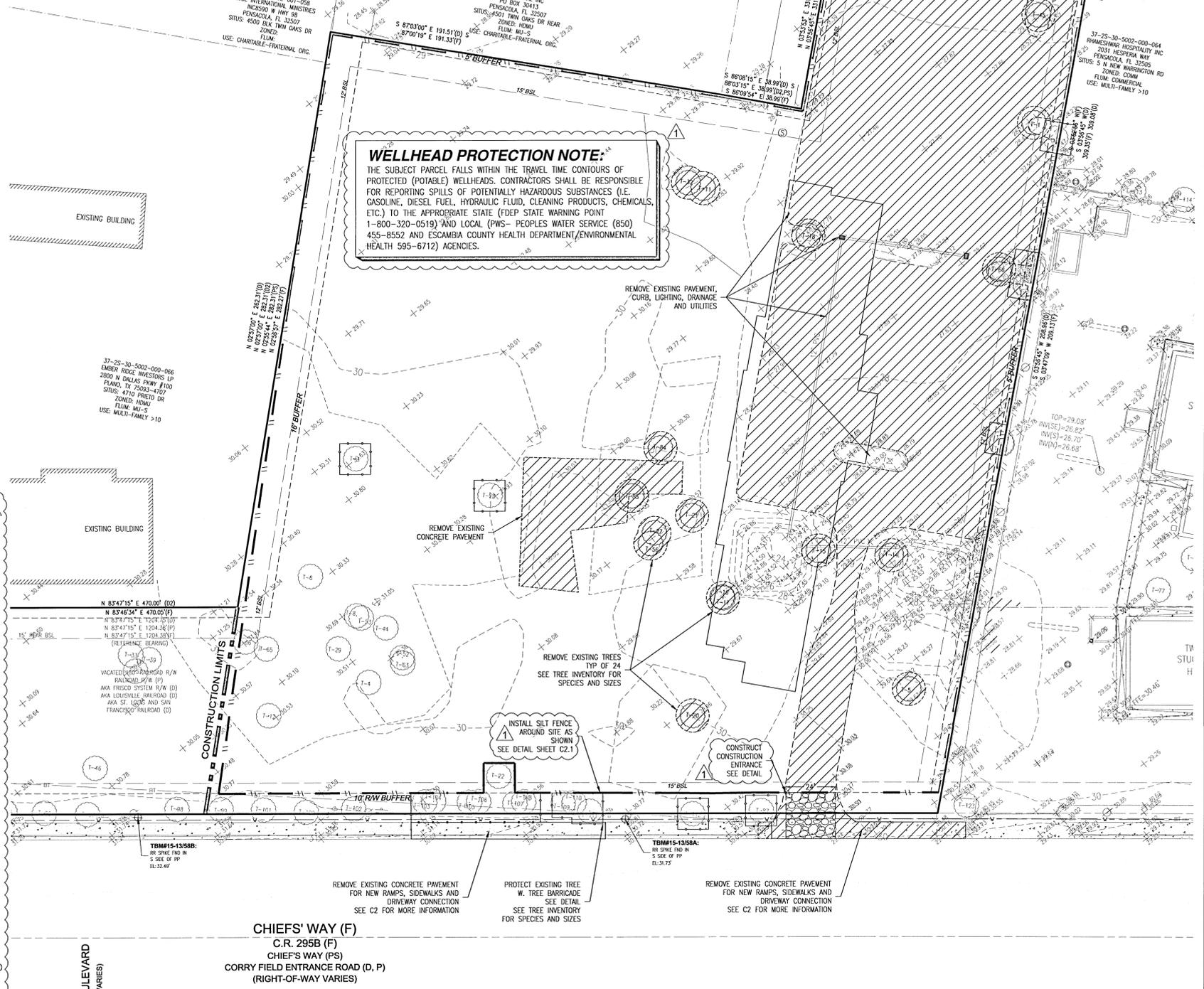
**PLANTING OPTIONS:**  
 2.5" TREES = 63" / 2.5" = 25.2  
 (26) MITIGATION TREES REQUIRED W/ MIN 2.5" CALIPER

**TREE PROTECTION NOTE:**  
 ALL ADEQUATE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.



**FLOOD ZONE NOTE:**  
 THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT ANNUAL-CHANCE FLOODPLAINS, NO BFES OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBA COUNTY, FLORIDA, COMMUNITY FLOOD INSURANCE RATE MAP NUMBERS 12033C0370G, MAP REVISION DATED SEPTEMBER 29, 2006.

**WELLHEAD PROTECTION NOTE:**  
 THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOURS OF PROTECTED (POTABLE) WELLHEADS. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (PWS - PEOPLES WATER SERVICE (850) 455-8552 AND ESCAMBA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 595-6712) AGENCIES.



**CHIEFS' WAY (F)**  
 C.R. 295B (F)  
 CHIEF'S WAY (PS)  
 CARRY FIELD ENTRANCE ROAD (D, P)  
 (RIGHT-OF-WAY VARIES)

**CONTRACTOR TO REVIEW DSM CHAPTER 2 IN ITS ENTIRETY PRIOR TO CONDUCTING ANY DEMOLITION OR GRADING WORK DIRECTLY ADJACENT TO OR WITHIN THE VICINITY OF PROTECTED TREES TO REMAIN ON SITE. SEE NOTES PROVIDED ON SHEET C1.**

**ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, & ANY OTHER "LAND DISTURBING ACTIVITIES" SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.**

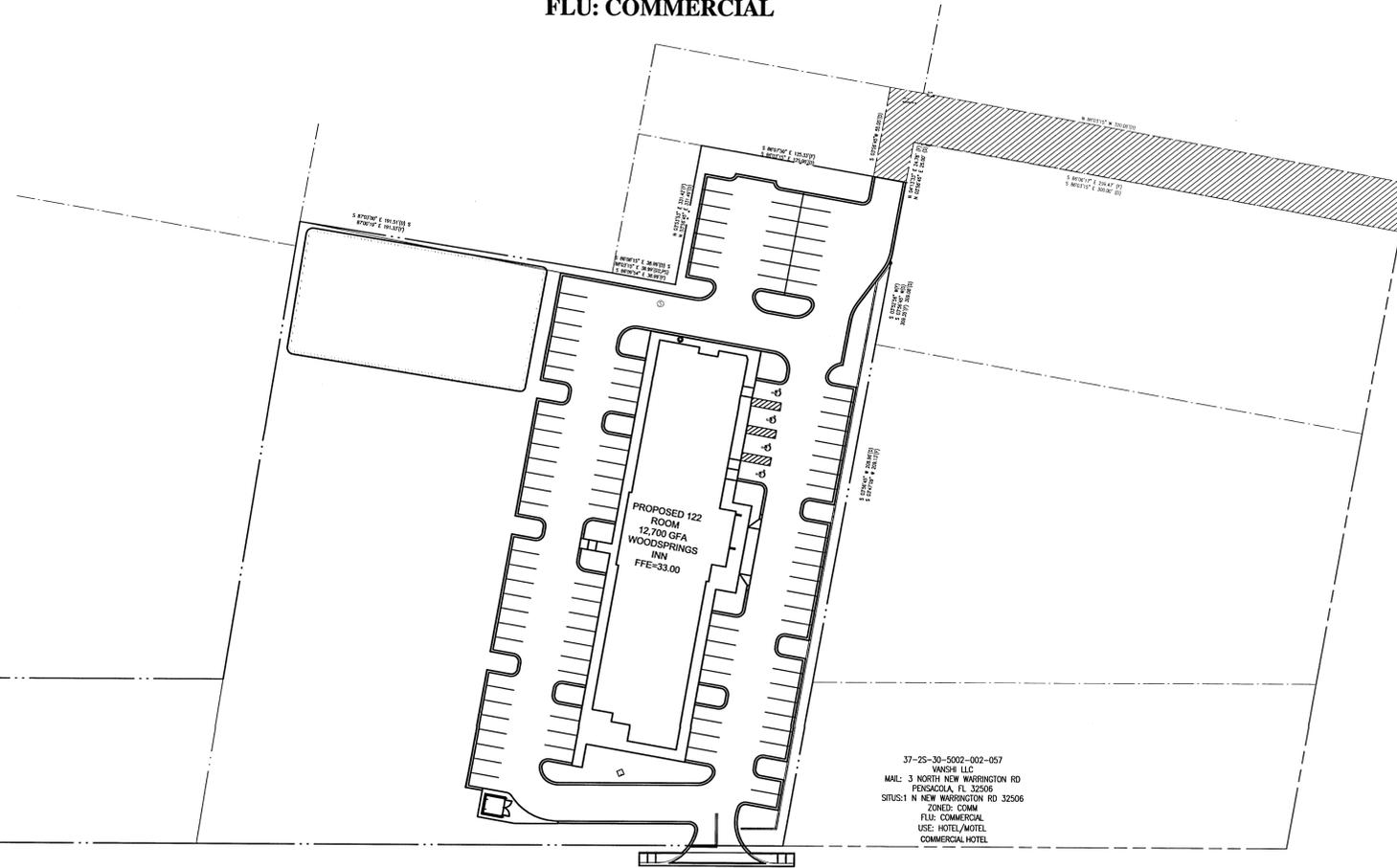
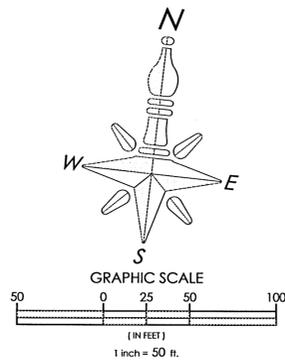
**EXISTING CONDITION/DEMO PLAN**

<p>REVISIONS</p> <p>RESPOND TO COUNTY REVIEW COMMENTS</p> <p>NO. 1</p> <p>DATE 12-18-2021</p>	<p>THIS DRAWING IS THE PROPERTY OF GARY S. BISHOP, P.E. AND IS NOT TO BE REPRODUCED IN WHOLE OR IN PART. IT IS TO BE RETURNED UPON REQUEST.</p>
<p>GARY S. BISHOP, P.E.</p> <p>CONSULTING ENGINEERING</p> <p>6010 JAMESON CIRCLE PACE, FL 32571</p> <p>PHONE: (850) 712-7618</p> <p>E-MAIL: gsbishop@atfco.com &amp; gsbishop.engineering@gmail.com</p>	<p>WOODSPRING SUITES</p> <p>210 CHIEFS WAY</p> <p>ESCAMBA COUNTY, PENSACOLA, FLORIDA</p> <p>PROPERTY ID #37-25-30-5002-000-057</p>
<p>DRAWN BY: GSB</p> <p>DESIGNED BY: GSB</p> <p>CHECKED BY: GSB</p> <p>SEPTEMBER 2021</p> <p>SCALE: AS NOTED</p>	<p>PROJECT NO:</p> <p>FILE NO: 2020 WOODSPRINGS_SITE</p> <p>SHEET NO: C1</p>

# WOODSPRING SUITES

210 CHIEFS WAY  
 ESCAMBIA COUNTY, PENSACOLA, FLORIDA  
 PROPERTY ID #37-2S-30-5002-000-057 & 37-2S-30-5002-000-067

OWNER:  
 VANSI LLC  
 3 N NEW WARRINGTON ROAD  
 PENSACOLA, FL 32506  
 EMAIL: gsbishop.engineering@gmail.com  
 ZONED: COMM  
 FLU: COMMERCIAL



38-2S-30-1001-000-001  
 MAYOR K LLC  
 MAIL: 4 NEW WARRINGTON RD  
 PENSACOLA, FL 32506  
 SITUS: 4 NEW WARRINGTON RD 32507  
 ZONED: COMM  
 FLU: COMMERCIAL  
 USE: HOTEL/MOTEL  
 COMMERCIAL HOTEL

37-2S-30-5002-002-057  
 VANSI LLC  
 MAIL: 3 NORTH NEW WARRINGTON RD  
 PENSACOLA, FL 32506  
 SITUS: 1 N NEW WARRINGTON RD 32506  
 ZONED: COMM  
 FLU: COMMERCIAL  
 USE: HOTEL/MOTEL  
 COMMERCIAL HOTEL

COMMERCIAL RESTAURANT  
 37-2S-30-2100-001-002  
 RICHEY FAMILY LIMITED PARTNERSHIP  
 MAIL: C/O GPS HOSPITALITY  
 ATTN: GARY WILSON  
 2100 RIVERDALE PKWY STE 850  
 ATLANTA, GA 30328  
 SITUS: 2 S NEW WARRINGTON RD 32507  
 ZONED: COMM  
 FLU: COMMERCIAL  
 USE: RESTAURANT

CHIEFS WAY  
 (60' RIGHT-OF-WAY)

VACANT COMMERCIAL - WASTELAND	VACANT COMMERCIAL - WASTELAND	RESIDENCE
37-2S-30-3203-000-001 ESCAMBIA COUNTY 221 PALAFOX PL STE 420 PENSACOLA, FL 32502 SITUS: CHIEFS RD 32507 ZONED: HD/MI FLU: WASTELAND	37-2S-30-9001-210-005 ESCAMBIA COUNTY 223 PALAFOX PL STE 420 PENSACOLA, FL 32502 SITUS: CHIEFS RD 32507 ZONED: HD/MI FLU: WASTELAND	37-2S-30-9000-000-002 CHRISTODOULUS SARA J TRUSTEE FOR CHRISTODOULUS SARA J REVOCABLE LIVING TRUS 2388 ATHENS AVE PENSACOLA, FL 32507 SITUS: 221 CHIEFS WAY 32507 ZONED: COMM FLU: USE: SFR

INDICATED RIGHT-OF-WAY

RESIDENCE 37-2S-30-9000-010-001 SESSONS ANGELA 102 MANDALAY DR PENSACOLA, FL 32507 SITUS: 4 FL/MI DR 32507 ZONED: COMM FLU: COMMERCIAL USE: SFR	RESIDENCE 37-2S-30-9000-009-001 BUCHHO EDDIE BUCHHO JAMES 217 CHIEFS WAY PENSACOLA, FL 32507 SITUS: 213 CHIEFS WAY 32507 ZONED: COMM FLU: COMMERCIAL USE: SFR	RESIDENCE 37-2S-30-9000-007-001 TRICH PAMELA J & ESPPOSITO RICHARD R JR 505 S NAVY BLVD PENSACOLA, FL 32507 SITUS: 211 CHIEFS WAY 32507 ZONED: COMM FLU: COMMERCIAL USE: SFR	RESIDENCE 37-2S-30-9000-006-001 TATE THOMAS D 6079 SPANISH OAK DR PENSACOLA, FL 32507 SITUS: 211 CHIEFS WAY 32507 ZONED: COMM FLU: COMMERCIAL USE: SFR	RESIDENCE 37-2S-30-9000-005-001 PASOUR MARGUS F 209 CHIEFS WAY PENSACOLA, FL 32507 ZONED: COMM FLU: COMMERCIAL USE: SFR	RESIDENCE 37-2S-30-9000-004-001 OWENS NEILHALTEN DENRY & NEUBAUER MITZI 6880 KLONDIKE RD PENSACOLA, FL 32506 SITUS: CHIEFS WAY 32507 ZONED: COMM FLU: COMMERCIAL USE: SFR	VACANT COMMERCIAL 37-2S-30-9000-003-001 STULL DANA G 2110 DORSETT RD PENSACOLA, FL 32506 SITUS: CHIEFS WAY 32507 ZONED: COMM FLU: COMMERCIAL USE: VACANT COMMERCIAL	COMMERCIAL STORE 37-2S-30-8000-001-001 GONZALES MINERVA 2100 DORSETT RD PENSACOLA, FL 32506 SITUS: 1 S NEW WARRINGTON RD 32507 USE CODE: STORE, 1 STORY ZONED: COMM FLU: COMMERCIAL USE: STORE
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**GARY S. BISHOP, P.E.**  
 CONSULTING ENGINEERING  
 6010 JAMESON CIRCLE PACE, FL 32571  
 PHONE: (850) 712-7618  
 E-MAIL: gsbishop@yahoo.com &  
 gsbishop.engineering@gmail.com

**WOODSPRING SUITES**  
 210 CHIEFS WAY  
 ESCAMBIA COUNTY, PENSACOLA, FLORIDA  
 PROPERTY ID #37-2S-30-5002-000-057

DESIGNED BY: GSB	PROJECT NO:
CHECKED BY: GSB	FILE NO: 2020 WOODSPRINGS_SITE
DATE: SEPTEMBER 2021	SHEET NO: C1.1
SCALE: AS NOTED	

NO.	DATE	REVISIONS

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Restaurants Hotels Attractions Transit Parking Pharmacies ATMs

7 YEAR WELL HEAD PROTECTION ZONE

20 YEAR WELL HEAD PROTECTION ZONE

PROPOSED PROJECT LOCATION

20 YEAR WELL HEAD PROTECTION ZONE

20 YEAR WELL HEAD PROTECTION ZONE

7 YEAR WELL HEAD PROTECTION ZONE

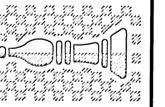
7 YEAR WELL HEAD PROTECTION ZONE

SCALE: 1" = 150'±  
WELL HEAD PROTECTION MAP (FOR INFORMATION ONLY)

NO.	DATE	REVISIONS
1	12-15-2021	RESPOND TO COUNTY REVIEW COMMENTS



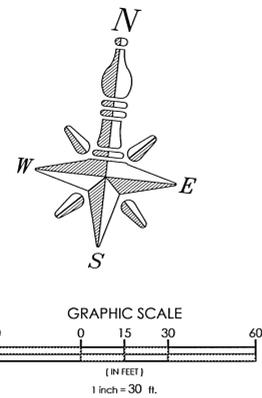
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**WOODSPRING SUITES**  
210 CHIEFS WAY  
ESCAMBIA COUNTY, PENSACOLA, FLORIDA  
PROPERTY ID #37-2S-30-5002-000-057

DRAWN BY: GSB	PROJECT NO:
DESIGNED BY: GSB	FILE NO: 2020 WOODSPRINGS_SITE
CHECKED BY: GSB	SHEET NO: C1.1
DATE: DECEMBER 22, 2021	
SCALE: AS NOTED	

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**CONSTRUCTION NOTES:**

1. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT THE PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE GOVERNING AUTHORITY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
2. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
3. ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD. PONDS AND SWALES TOPS AND SIDES SHALL BE SOODED.
4. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE GOVERNING AUTHORITY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS.
5. CONTRACTOR SHALL NOTIFY SUNSHINE ONE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W, 811.
6. THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHTS-OF-WAY.
7. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL SIGN OFF FROM THE GOVERNING AUTHORITY.

**EXTERIOR LIGHTING NOTES:**

1. EXTERIOR LIGHTING IN AND AROUND BUILDINGS AND IN PARKING LOTS IS PERMITTED IN ALL DISTRICTS. LIGHTING IS TO BE LOCATED FOR SAFETY AND VISUAL EFFECT. WITH THE EXCEPTION OF STREET LIGHTS, IT SHALL BE INSTALLED SO AS TO NOT SHINE DIRECTLY ON ADJACENT PROPERTY. LIGHTING SHALL AVOID ANNOYANCE FROM BRIGHTNESS AND GLARE.
2. ILLUMINATIONS: IN THE CASE OF EXTERNAL LIGHTING SUCH AS FLOODLIGHTS, THIN LINE AND GOOSE NECK REFLECTORS, THESE ARE PERMITTED, PROVIDED THAT THE LIGHT SOURCE IS DIRECTED ON THE FACE OF THE SIGN AND IS EFFECTIVELY SHIELDED SO AS TO PREVENT BEAMS OR RAYS OF LIGHT FROM BEING DIRECTED ONTO ANY PORTION OF ANY RIGHT-OF-WAY. INTERNALLY LIT SIGNS ARE PERMITTED. ALL SIGNS SHALL COMPLY WITH THE PROVISIONS OF THE APPLICABLE ELECTRICAL AND BUILDING CODES AND MUST BE LISTED AND INSTALLED IN CONFORMANCE WITH THAT LISTING.
3. PHOTOMETRIC PLAN REQUIRED PRIOR TO ISSUANCE OF ELECTRICAL PERMIT.
4. ALL LIGHTING SHALL BE PLACED IN A MANNER AS TO NOT INTERFERE WITH THE GROWTH OF LANDSCAPE TREES.

**PARKING CALCULATION:**

1 PER GUEST ROOM OR  
1 PER BEDROOM IF SUITES  
PLUS 50 PERCENT FOR RESTAURANTS, MEETING  
ROOMS AND OTHER ASSOCIATED USES

122 ROOMS PROPOSED

TOTAL PARKING REQUIRED: 124 SPACES

TOTAL PROVIDED: 111 SPACES  
107 STANDARD SPACES  
4 HANDICAPPED SPACES

NOTE: HANDICAP PARKING SIGNS SHALL CONFORM TO FDOT ROADWAY AND TRAFFIC DESIGN STANDARD INDEX NUMBER 17355, SHEET 3 OF 8, FTP-25 SIGN.

NOTE: REGULAR PARKING SPACES ARE 9' X 18'. HANDICAPPED PARKING SPACES ARE 12' X 18' WITH A 5' AISLE.

NOTE: NON-HANDICAP PARKING SPACES LINES ARE TO BE WHITE.

**LAND CLEARING NOTE:**

ALL TREE REMOVAL, LAND CLEARING, PLACEMENT OF FILL, & ANY OTHER "LAND DISTURBING ACTIVITIES" SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.

**BUILDING SETBACK REQUIREMENTS**

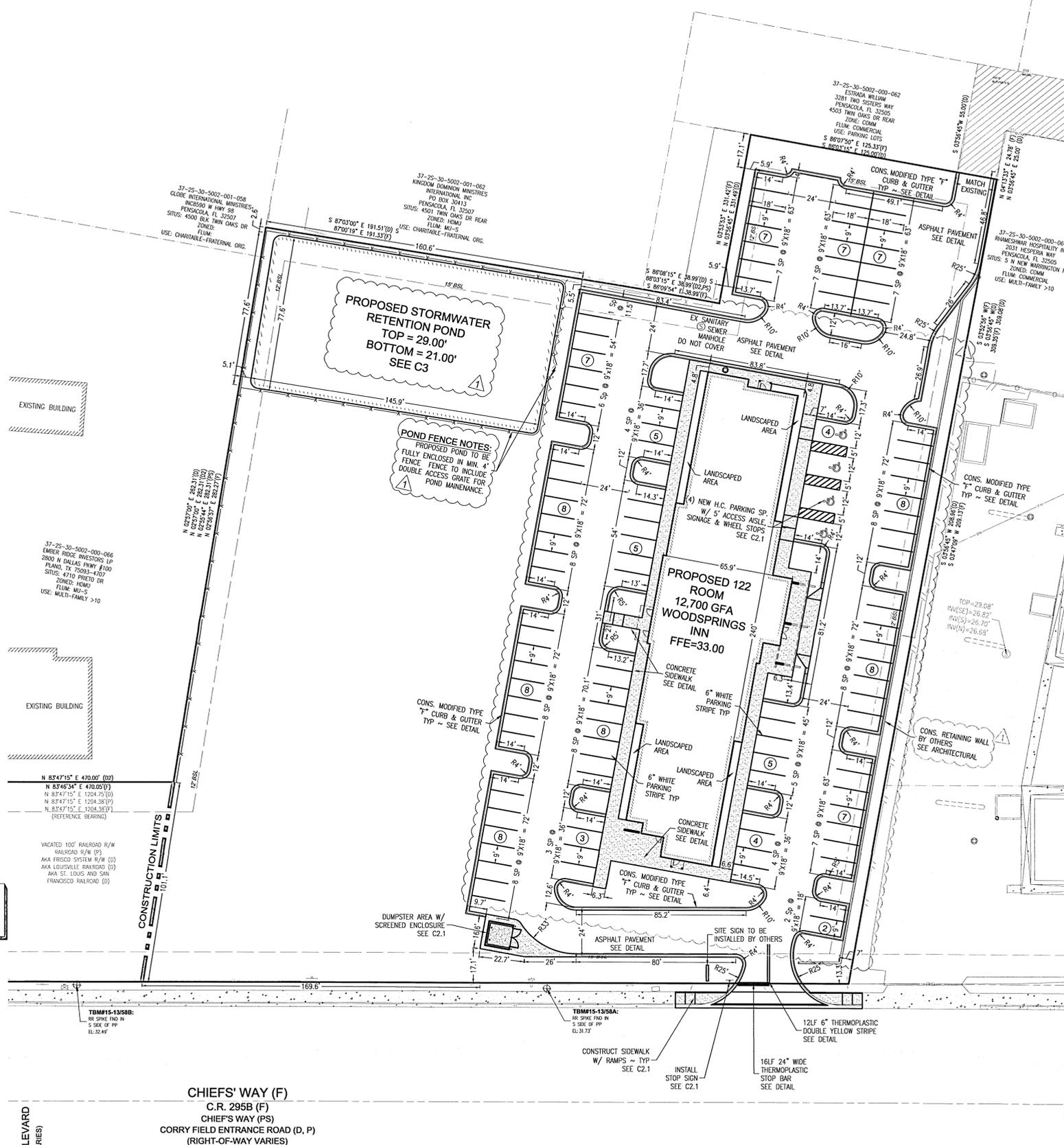
LOCATION	REQUIREMENT
FRONT	20
REAR	15
SIDES	15

**BENCHMARK DATA:**

TBM#15-13/58B: RR SPIKE FOUND IN S SIDE OF PP EL: 32.49'
TBM#15-13/58A: RR SPIKE FOUND IN S SIDE OF PP EL: 31.73'

TOTAL SITE AREAS ~PRE-DEVELOPMENT			
TOTAL CONSTRUCTION LIMITS (SF):	135,921		
TOTAL CONSTRUCTION LIMITS (AC):	3.12		
DESCRIPTION	SF	%	AC
TOTAL IMPERVIOUS AREA	37,070	27.3	0.851
EXISTING BUILDINGS	0		0.000
EXISTING GRAVEL AREA	0		0.000
EXISTING ASPHALT / CONCRETE AREA	37,070		0.851
TOTAL PERVIOUS LANDSCAPE AREA	98,851	72.7	2.269

TOTAL SITE AREAS ~ POST-DEVELOPMENT			
TOTAL SITE ACREAGE (SF):	135,921		
TOTAL SITE ACREAGE (AC):	3.12		
DESCRIPTION	SF	%	AC
TOTAL IMPERVIOUS AREA	84,108	61.9	1.931
BUILDING AREA	12,700		0.292
GRAVEL AREA	0		0.000
ASPHALT / CONCRETE AREA	71,408		1.639
LANDSCAPED AREA	40,464	29.8	0.929
POND AREA	11,349	8.3	0.261
TOTAL PERVIOUS AREA	51,813	38.1	1.169



**WELLHEAD PROTECTION NOTE:**  
THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOURS OF PROTECTED (POTABLE) WELLHEADS. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (TRESPASS WARNING POINT 1-800-320-0519) AND LOCAL (PWS - PEOPLES WATER SERVICE (850) 455-8552 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 595-6712) AGENCIES.

**RETAINING WALL NOTES:** ALL RETAINING WALLS TO BE OVER 2 FEET TALL SHALL REQUIRE BUILDING PERMIT APPROVAL PRIOR TO CONSTRUCTION.

**R/W NOTES:** CONTRACTOR SHALL NOTIFY FDOT & COUNTY PRIOR TO ANY WORK IN THE STATE R/W.

A UTILITY PERMIT FROM THE ESCAMBIA COUNTY ROAD AND BRIDGE DEPT WILL BE REQUIRED FOR OFFSITE WORK WITHIN THE PUBLIC RIGHT OF WAY.



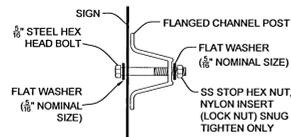
**GARY S. BISHOP, P.E.**  
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6010 JAMESON CIRCLE PAGE, FL 32571  
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**WOODSPRING SUITES**  
210 CHIEFS WAY  
ESCAMBIA COUNTY, PENSACOLA, FLORIDA  
PROPERTY ID #37-2S-30-5002-000-057

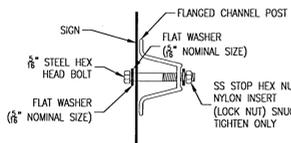
DRAWN BY: CSL  
DESIGNED BY: GSB  
CHECKED BY: GSB  
SEPTEMBER 2021  
SCALE: AS NOTED  
PROJECT NO:  
FILE NO: 2020 WOODSPRINGS\_SITE  
SHEET NO: C2

REVISIONS  
RESPOND TO COUNTY REVIEW COMMENTS  
DATE: 12-15-2021  
NO.:  
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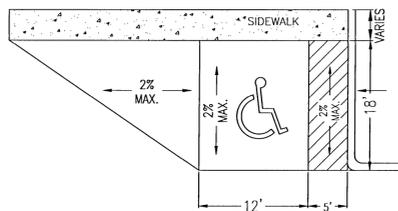
**DIMENSION PLAN**



**SIGN MOUNTING DETAIL**  
N.T.S.



**SIGN MOUNTING DETAIL**  
N.T.S.



**PLAN VIEW OF HANDICAP SPACE WITH SLOPES & STRIPING**  
N.T.S.



R1-1  
N.T.S.  
30" X 30"

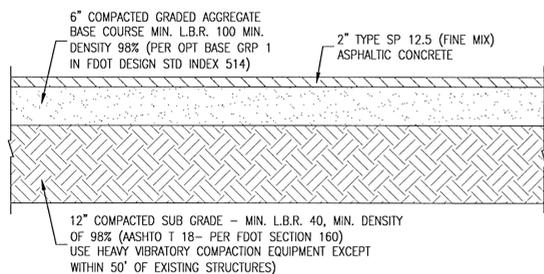


NOTE:  
ALUMINUM MATERIALS SHALL MEET THE REQUIREMENTS OF ALUMINUM ASSOCIATION ALLOY 6061-T6 (ASTM B209, B221, OR B308).  
U-BOLTS, NUTS & LOCKWASHERS SHALL MEET THE REQUIREMENTS OF ASTM A307, GRADE A AND SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A153 (LATEST EDITION).  
POST SHALL BE ROUND ALUMINUM IN ACCORDANCE WITH FDOT INDEX 700-101 & 700-010, FDOT STANDARD PLANS (LATEST EDITION).

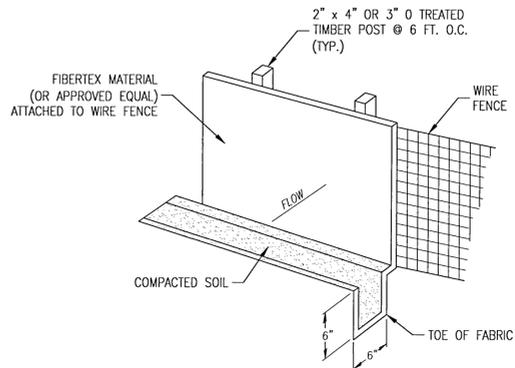
STOP SIGN SHOULD BE 12" FROM THRU LANE, ADJACENT TO THE STOP BAR



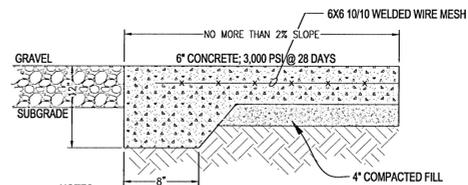
**STOP SIGN DETAIL**  
N.T.S.



**ASPHALT PAVEMENT DETAIL**  
N.T.S.

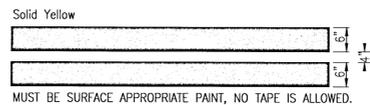


**SILT FENCE DETAIL**  
N.T.S.

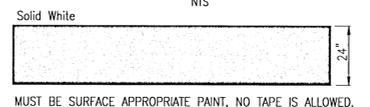


NOTES:  
1. CONTROL JOINTS - SAW JOINT @ 1 1/2" DEEP ON A 5X5' OR SMALLER GRID PATTERN  
2. CONTROL JOINTS TO BE CUT AS SOON AS POSSIBLE AFTER POURING CONCRETE BUT NOT TO EXCEED 24 HOURS  
3. CONTRACTOR SHALL COMPACT BASE AND SUBBASE TO MIN. 98% STANDARD PROCTOR

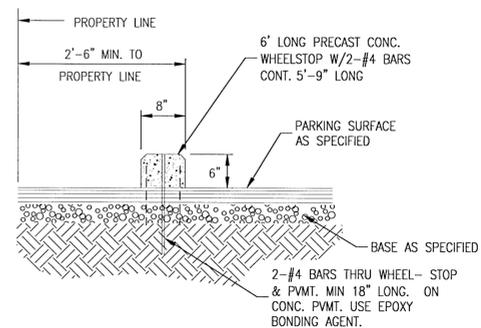
**CONCRETE SIDEWALK / PAD DETAIL**  
N.T.S.



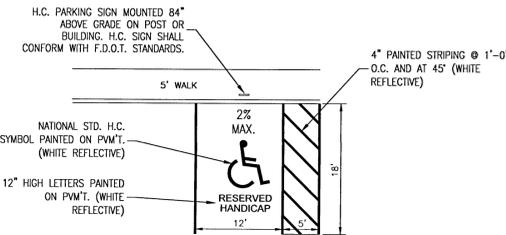
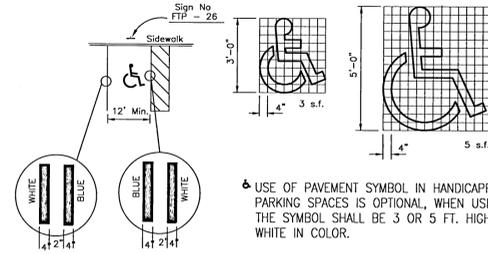
**LANE STRIPING DETAIL**  
N.T.S.



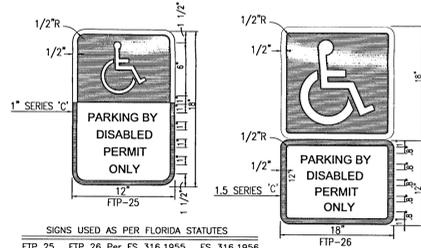
**LANE STOP BAR DETAIL**  
N.T.S.



**CONCRETE WHEELSTOP/BUMPER BLOCK DETAIL**  
N.T.S.



**HANDICAPPED PARKING & PAVEMENT DETAIL**  
N.T.S.

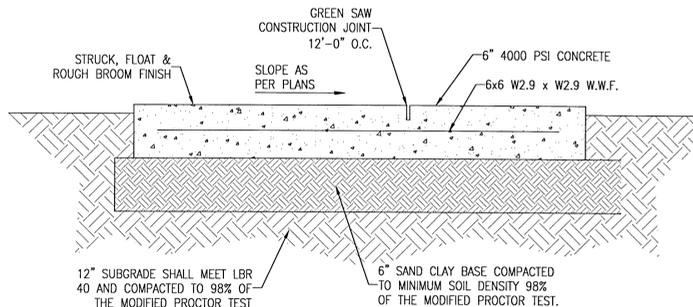


SIGNS USED AS PER FLORIDA STATUTES  
FTP 25, FTP 26 Per FS 316.1955, FS 316.1956

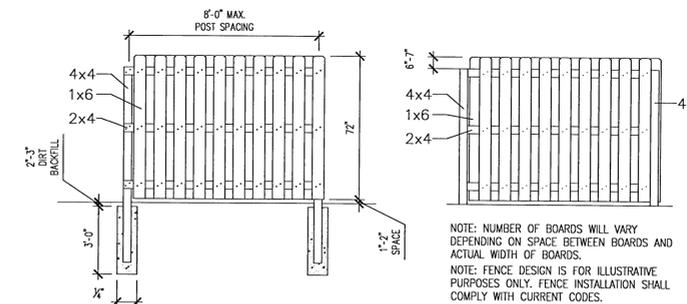
VIOLATORS  
\$250 FINE  
INSTALL BELOW HANDICAP SIGN

NOTES:  
1. TOP PORTION OF FTP 25 & 26 SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER  
2. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER  
3. FTP 25 & 26 MAY BE FABRICATED ON ONE PANEL OR TWO  
4. FTP 25 MAY BE SUBSTITUTED FOR THE FTP 26 IN AREAS WHERE SPACE IS LIMITED  
5. SIGNS ARE TO BE MOUNTED AT STANDARD HEIGHT, (7' FROM PAVEMENT TO BOTTOM OF SIGN).

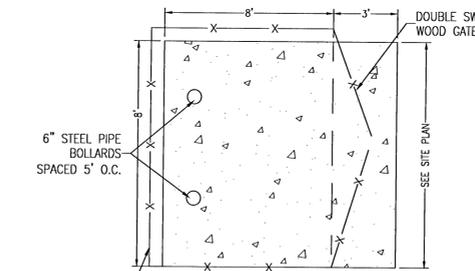
**HANDICAPPED PARKING SIGN DETAIL**  
N.T.S.



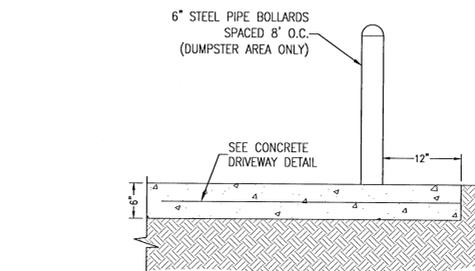
**CONCRETE PAVEMENT DETAIL**  
N.T.S.



**6' PRIVACY FENCE AND DUMPSTER ENCLOSURE**  
N.T.S.

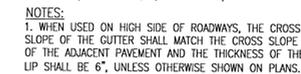


**DUMPSTER PAD PLAN VIEW**



**DUMPSTER PAD SECTION**

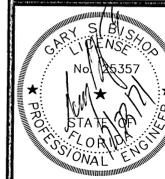
**DUMPSTER PAD DETAIL**  
N.T.S.



**MODIFIED TYPE 'F' CURB & GUTTER**  
N.T.S.

NOTES:  
1. WHEN USED ON HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF THE GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS.  
2. ALL CURB TO HAVE DUMMY JOINT AT 10' ON CENTER. MIN. DEPTH OF JOINT TO BE 2".  
3. EXPANSION JOINTS ARE TO BE 30' ON CENTER. TYPICAL FOR ALL CURB.

NO.	DATE	REVISIONS
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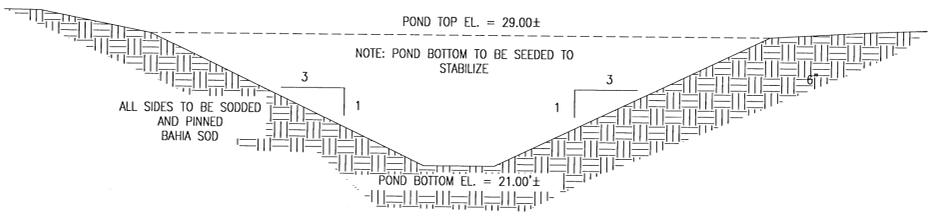
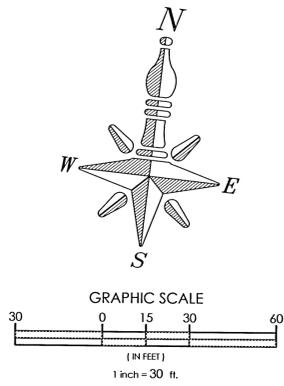


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**WOODSPRING SUITES**  
210 CHIEFS WAY  
ESCAMBIA COUNTY, PENSACOLA, FLORIDA  
PROPERTY ID #37-2S-3002-000-057

DRAWN BY: GSL
DESIGNED BY: GSB
CHECKED BY: GSB
SEPTEMBER 2021
SCALE: AS NOTED

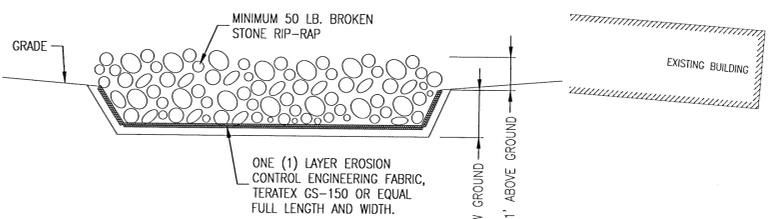
PROJECT NO:
FILE NO: 2020 WOODSPRINGS_SITE
SHEET NO: C2.1



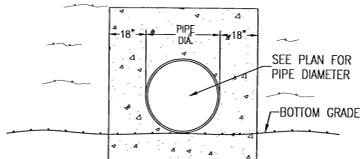
**TYPICAL POND CROSS-SECTION A-A**  
NTS

**GRADING NOTES:**

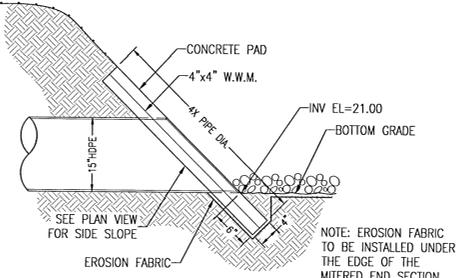
1. ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD. PONDS AND SWALES TOPS AND SIDES SHALL BE SODDED.
2. THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
3. DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
4. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW AS-BUILT CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND, OUTLET STRUCTURES, DIMENSIONS, ETC. THESE RECORD DRAWINGS ARE TO BE PROVIDED TO THE PROJECT ENGINEER PRIOR TO REQUESTING FINAL INSPECTION.
5. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY ENGINEER AN INSPECTION OF THE EROSION AND SEDIMENT CONTROL DEVICES PRIOR TO CONSTRUCTION, UNDERGROUND DRAINAGE STRUCTURES PRIOR TO BURIAL, AND THE FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION.
6. EROSION SHALL BE CONTROLLED BY THE USE OF A HAY BALE BARRIER/SILT FENCE AS SHOWN ON PLANS AND SHALL BE SETUP PRIOR TO COMMENCING CONSTRUCTION. THE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. AFTER PLACEMENT OF THE EROSION CONTROL BARRIER, THE RETENTION AREA IS TO BE CONSTRUCTED. UPON COMPLETION OF THE PROJECT, THE RETENTION AREA SHALL BE CLEANED OF SILT, STABILIZATION OF ALL DISTURBED AREAS SHALL BE ACCOMPLISHED, AND THE RETENTION AREA IS TO BE RECONFIGURED TO DESIGN CROSS-SECTION, AND GRASSED.
7. ALL NEW ROOF DRAINS, DOWNSPOUTS, OR GUTTERS FOR FUTURE STRUCTURES ARE TO BE ROUTED TO CARRY ALL STORM WATER TO RETENTION/DETENTION AREAS.
8. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION, OR PROVIDE "AS-BUILT" CERTIFICATION OR THE CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATION. THE "AS-BUILT" CERTIFICATION OR "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED, AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
9. CONTRACTOR SHALL NOTIFY SUNSHINE ONE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770.
10. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION.
11. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT THE DESIGN ENGINEER BOTH PRIOR APPROVAL FROM AND THE COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
12. RIGHT-OF-WAY SHOULDER STABILIZATION SHALL BE IN ACCORDANCE WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST ADDITION).
13. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORM WATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORM WATER DURING CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
14. THE DEVELOPER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3472. AS-BUILT CERTIFICATION IS REQUIRED PRIOR REQUEST FOR FINAL INSPECTION/APPROVAL.
15. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A UTILITY PERMIT FROM THE COUNTY ROAD AND BRIDGE DEPARTMENT PRIOR TO COMMENCING ANY CONSTRUCTION ACTIVITIES WITHIN THE COUNTY'S RIGHT OF WAY.
16. THE CONTRACTOR IS TO PROVIDE IRRIGATION FOR ALL LANDSCAPE AREAS, INCLUDING PARKING ISLANDS AND LANDSCAPE BUFFERS.
17. NO POLE LIGHTING IS TO BE INSTALLED WITHOUT REVIEW BY THE PLANNING AND ZONING DEPARTMENT.
18. THIS PLAN DOES NOT INCLUDE ANY EXTERIOR LIGHTING. IF POLE LIGHTS ARE PLANNED, THEY MUST BE APPROVED BY THE PLANNING AND ZONING DEPARTMENT UNDER A SEPARATE PERMIT. A LIGHTING PLAN WITH FIXTURE CUT SHEETS AND PHOTOMETRIC PLAN WILL BE REQUIRED. LIGHTING SHALL BE INSTALLED AS NOT TO SHINE DIRECTLY ON ADJACENT PROPERTY, OR ON TO RIGHT-OF-WAY. LIGHTING SHALL AVOID ANNOYANCE FROM BRIGHTNESS AND GLARE. ELECTRICAL AND INSTALLATION PERMITS MUST BE ACQUIRED FROM THE COUNTY BEFORE CONSTRUCTION OF ANY EXTERIOR LIGHTS.
19. CONTRACTOR MUST PROVIDE AN APPROVED IRRIGATION SYSTEM TO WATER TO ALL LANDSCAPE MATERIALS THAT ARE INSTALLED.
20. A SEPARATE PERMIT IS REQUIRED FOR ALL SIGNAGE.
21. ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "ASBUILT" SIGN OFF FROM THE COUNTY.



**RIP-RAP PAD DETAIL**  
NTS



**TYPICAL SECTION**



**MITERED END SECTION**  
N.T.S.



**CHIEFS' WAY (F)**  
C.R. 295B (F)  
CHIEF'S WAY (PS)  
CORRY FIELD ENTRANCE ROAD (D, P)  
(RIGHT-OF-WAY VARIES)

**INDUSTRIAL BOULEVARD**  
(RIGHT-OF-WAY VARIES)

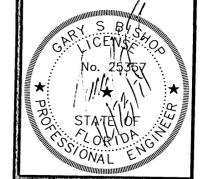
**WELLHEAD PROTECTION NOTE:**  
THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOURS OF PROTECTED (POTABLE) WELLHEADS. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (DEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (PWS- PEOPLES WATER SERVICE (850) 455-8552 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 595-6712) AGENCIES.

**R/W NOTES:** CONTRACTOR SHALL NOTIFY FDOT & COUNTY PRIOR TO ANY WORK IN THE STATE R/W.

**RETAINING WALL NOTES:** ALL RETAINING WALLS OVER 2 FEET TALL SHALL REQUIRE BUILDING PERMIT APPROVAL PRIOR TO CONSTRUCTION.

A UTILITY PERMIT FROM THE ESCAMBIA COUNTY ROAD AND BRIDGE DEPT WILL BE REQUIRED FOR OFFSITE WORK WITHIN THE PUBLIC RIGHT OF WAY.

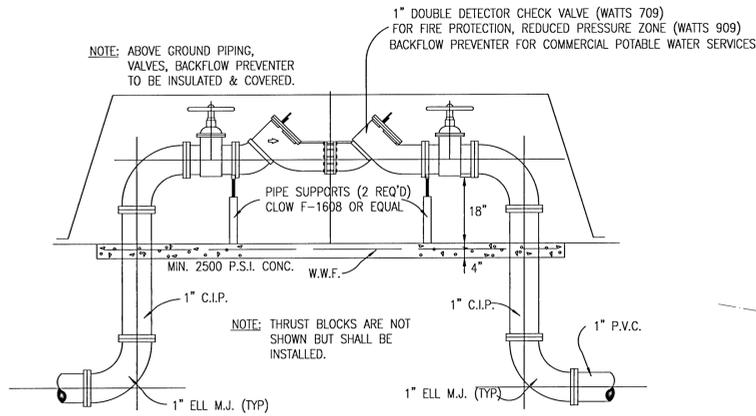
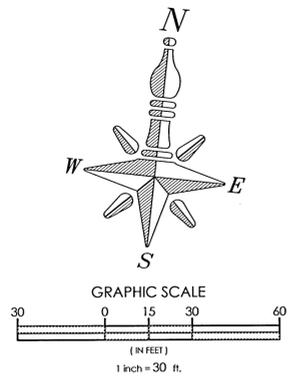
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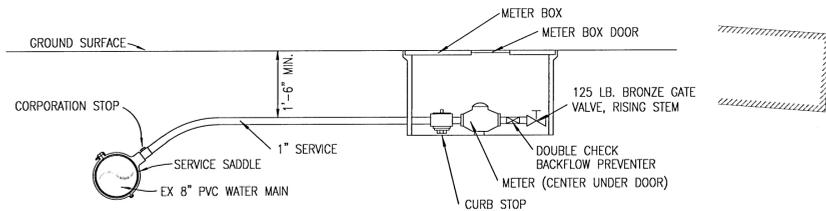
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**WOODSPRING SUITES**  
210 CHIEFS WAY  
ESCAMBIA COUNTY, PENSACOLA, FLORIDA  
PROPERTY ID #37-2S-30-5002-000-057

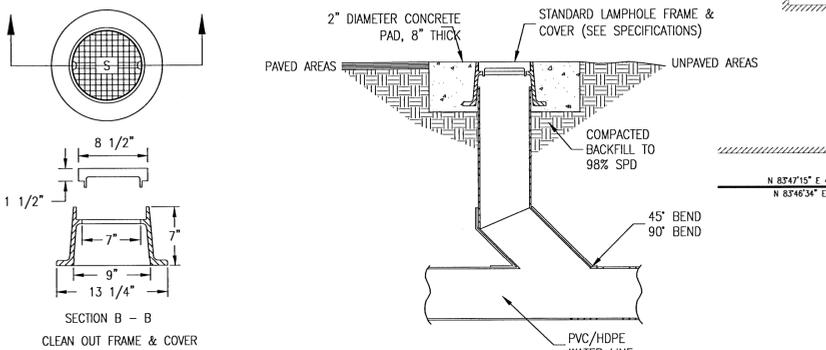
DESIGNED BY: GSB	CHECKED BY: GSB
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FILE NO: 2020 WOODSPRING_SITE	



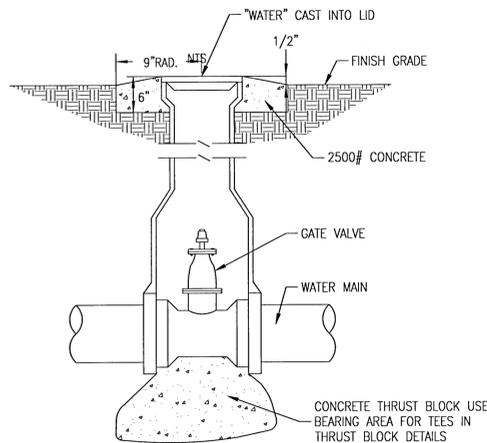
**BACKFLOW PREVENTER DETAIL**  
NTS



**WATER SERVICE CONNECTION**  
NTS



**CLEAN OUT DETAIL**  
NTS

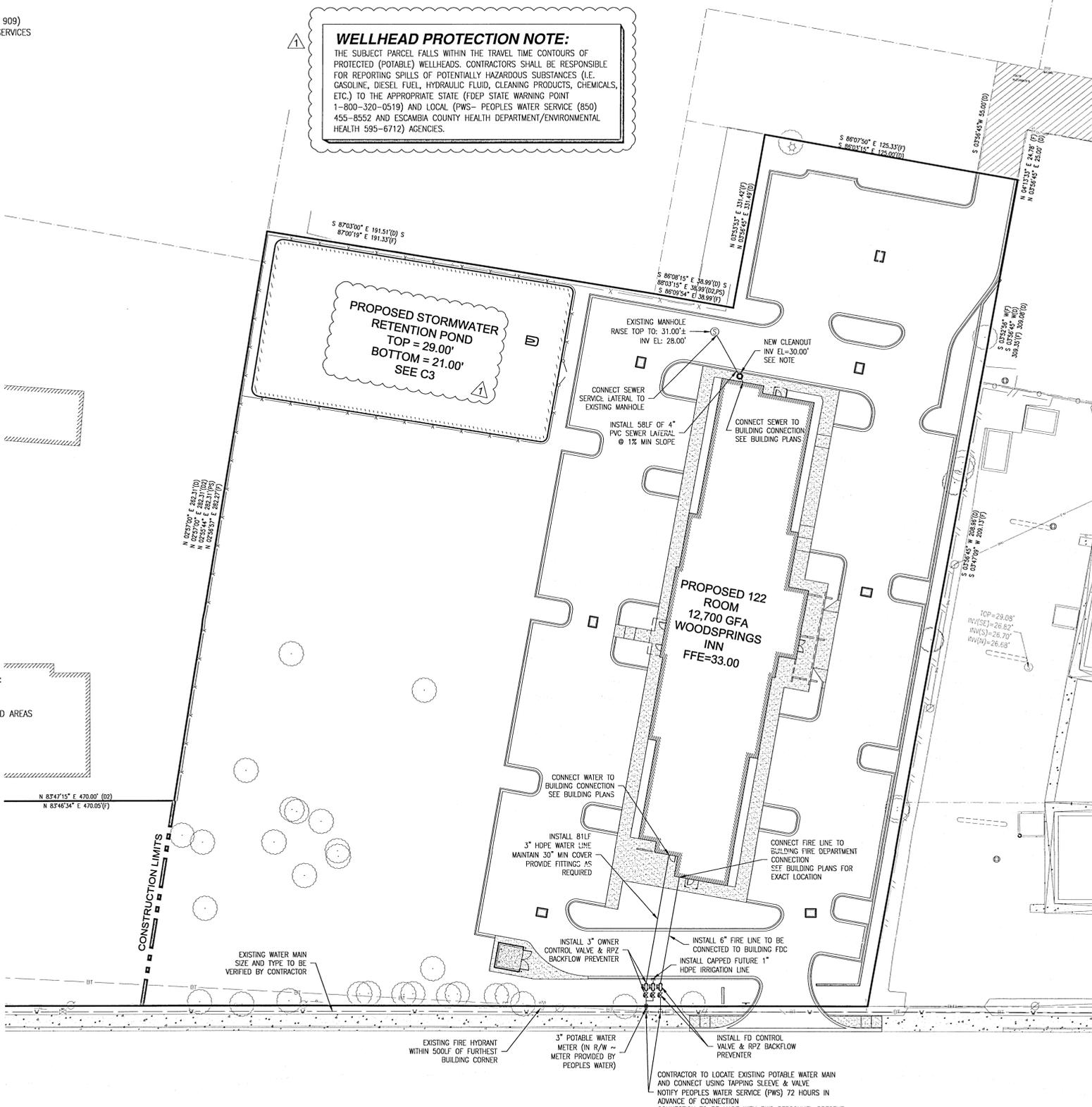


**VALVE BOX DETAIL**  
NTS

**UTILITY NOTES:**

- CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES AND TO DETERMINE IF OTHER UTILITIES WILL BE IMPACTED DURING THE COURSE OF THE WORK. IT IS CONTRACTORS RESPONSIBILITY TO PROTECT ANY EXISTING UTILITIES IMPACTED.
- THE CONTRACTOR SHALL COORDINATE WITH UTILITY SERVICE PROVIDER, GULF POWER, OR ANY OTHER UTILITY COMPANIES HAVING JURISDICTION FOR REMOVAL/RELOCATION AND/OR PROTECTION OF EXISTING UTILITY POLES, AERIAL LINES, FIRE HYDRANTS, AND OTHER UTILITIES AS NECESSARY TO COMPLETE CONSTRUCTION.
- ALL NEW WATER LINES SHALL BE CLEANED, DISINFECTED, PRESSURE TESTED, AND BACTERIOLOGICALLY CLEANED FOR SERVICE IN ACCORDANCE WITH THE LATEST AWWA STANDARDS AND THE FDEP RULES AND REGULATIONS.
- ALL WATER MAINS SHALL BE NSF APPROVED FOR POTABLE WATER USE.
- MAINTAIN 18 INCH MINIMUM VERTICAL SEPARATION BETWEEN ALL POTABLE WATER MAINS AND SANITARY SEWER GRAVITY LINES (WATER ABOVE SEWER).
- THE TOP OF ALL CLEANOUTS SHALL BE FLUSH WITH THE PAVEMENT OR, WHEN NOT IN THE PAVEMENT, FLUSH WITH THE FINISH GRADE. CONNECTION POINTS FOR UTILITIES SHALL BE CLEARLY MARKED FOR FUTURE BUILDING CONNECTION. COORDINATE WITH THE PLUMBING CONTRACTOR.
- ALL WATER AND SEWER WORK SHALL BE IN ACCORDANCE WITH UTILITY SERVICE PROVIDER REGULATIONS.
- ADEQUATE PROVISIONS SHALL BE MADE FOR THE FLOW OF SEWERS, DRAINS AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY UTILITY SERVICE PROVIDER AT LEAST 48 HOURS PRIOR TO CONNECTION OF PROPOSED FACILITIES TO EXISTING UTILITY SERVICE PROVIDER FACILITIES. UTILITY SERVICE PROVIDER PERSONNEL SHALL BE PRESENT FOR ALL TAPS.
- ALL NEW WATER AND SEWER SERVICE LINES SHALL HAVE A MINIMUM COVER OF 30 INCHES (MAXIMUM 36"), UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS TO RESTORE ALL DISTURBED RIGHTS-OF-WAY IN ACCORDANCE WITH SANTA ROSA COUNTY, FDOT AND UTILITY SERVICE PROVIDER CONSTRUCTION GUIDELINES.
- THE CONTRACTOR SHALL COORDINATE WITH THE PLUMBING CONTRACTOR FOR BUILDING UTILITY CONNECTIONS.
- ANY REMOVAL OR RELOCATION OF UTILITIES MUST BE APPROVED IN WRITING PRIOR TO THE WORK BEING DONE.
- NO SITE WORK ACTIVITIES SHALL TAKE PLACE WITHOUT THE SRC SITE REVIEW/APPROVAL OF PROPOSED EROSION CONTROL MEASURES. ADVANCED NOTIFICATION OF THE REQUESTED INSPECTION IS REQUIRED.
- ALL ONSITE WATER AND SEWER FACILITIES SHALL BE PRIVATELY OWNED, OPERATED, AND MAINTAINED.
- THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTMENT OF EXISTING UTILITIES IF PROPOSED IMPROVEMENTS IMPACT EXISTING UTILITIES.
- NO PRESSURE PIPING OR FITTINGS SHALL BE ALLOWED UNDER ANY PROPOSED PAVING INCLUDING SIDEWALKS, FLUMES, ROADWAYS, ETC.
- CONTRACTOR SHALL HAVE AT LEAST ONE SET OF PLANS APPROVED BY UTILITY SERVICE PROVIDER ON THE JOB SITE AT ALL TIMES.
- SUBMITTALS ON ALL MATERIALS LOCATED IN THE RIGHT-OF-WAY SHALL BE SUBMITTED TO UTILITY SERVICE PROVIDER FOR APPROVAL PRIOR TO CONSTRUCTION.
- A UTILITY PERMIT FROM THE COUNTY ROAD & BRIDGE DEPARTMENT IS REQUIRED BEFORE COMMENCING WORK IN A COUNTY R/W.

**WELLHEAD PROTECTION NOTE:**  
THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOURS OF PROTECTED (POTABLE) WELLHEADS. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (PWS- PEOPLES WATER SERVICE (850) 455-8552 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 595-6712) AGENCIES.



**CHIEFS' WAY (F)**  
C.R. 295B (F)  
CHIEF'S WAY (PS)  
CORRY FIELD ENTRANCE ROAD (D, P)  
(RIGHT-OF-WAY VARIES)

**INDUSTRIAL BOULEVARD**  
(RIGHT-OF-WAY VARIES)

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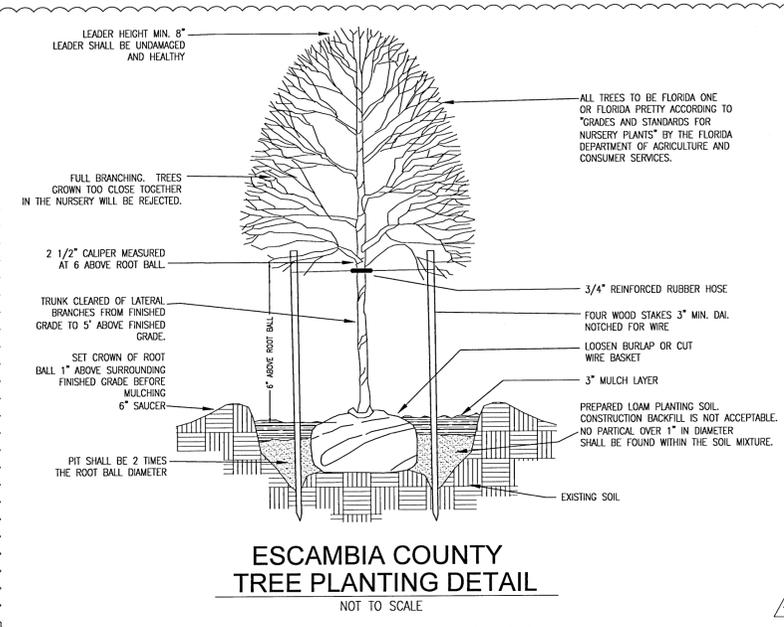
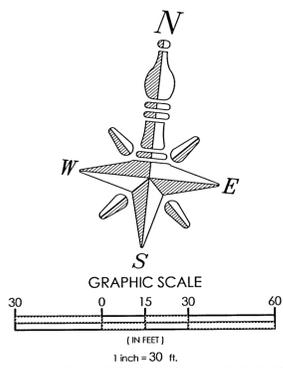


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**WOODSPRING SUITES**  
210 CHIEFS WAY  
ESCAMBIA COUNTY, PENSACOLA, FLORIDA  
PROPERTY ID #37-25-30-5002-000-057

DESIGNED BY: GSB	PROJECT NO:
CHECKED BY: GSB	FILE NO: 2020 WOODSPRINGS_SITE
SEPTEMBER 2021	SHEET NO: C4
SCALE: AS NOTED	

**UTILITY PLAN**



**ESCAMBIA COUNTY TREE PLANTING DETAIL**  
NOT TO SCALE

- TREE LEGEND**
- DENOTES MITIGATION CANOPY TREE (CYPRESS OR APPROVED EQUAL)
  - DENOTES MITIGATION CANOPY TREE (LIVE OAK OR APPROVED EQUAL)
  - DENOTES CANOPY TREE (RIVER BIRCH OR APPROVED EQUAL)
  - DENOTES CANOPY TREE (LIVE OAK OR APPROVED EQUAL)
  - DENOTES UNDERSTORY TREE (DOGWOOD TREE OR APPROVED EQUAL)
  - DENOTES UNDERSTORY TREE (FRINGE TREE OR APPROVED EQUAL)
  - DENOTES SHRUB (BOTTLE BRUSH OR APPROVED EQUAL)
  - DENOTES SHRUB (AZALEA OR APPROVED EQUAL)

- LANDSCAPE NOTES:**
- NO UN-PERMITTED GRADING OR CLEARING BY HEAVY EQUIPMENT SHOULD HAPPEN UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
  - STORAGE OF HEAVY EQUIPMENT SHALL NOT OCCUR UNDER THE DRIPLINE OF PROTECTED TREES ON SITE.
  - NO PROTECTED TREES INDICATED FOR PRESERVATION SHALL BE REMOVED, DESTRUCTIVELY DAMAGED, MUTILATED, RELOCATED, DISFIGURED, DESTROYED, CUT DOWN OR EXCESSIVELY PRUNED.
  - ROOT PRUNING SHALL OCCUR WHERE THE GRADE IS LOWERED OR INSTALLING BASE MATERIAL WITHIN DRIPLINE OF A PROTECTED TREE. THE CONTRACTOR SHALL SEVER THE ROOTS CLEANLY WITH A SHARP INSTRUMENT TO A DEPTH OF 18". ROOTS SHALL NOT BE TORN AS WITH THE USE OF A BACK HOE.
  - AT COMPLETION OF CONSTRUCTION, ALL EXPOSED DIRT SHALL BE STABILIZED WITH SOD, A HAY/SEED MIX OR HYDROSEED.
  - SOD SHALL BE WATERED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
  - PLANTING DIVERSITY (PER DSM, CHAPTER 2, ARTICLE 2, SECTION 2-6.1(C)).

THE DIVERSITY OF ANY TREES REQUIRED TO BE PLANTED ON A SITE SHALL COMPLY WITH THE FOLLOWING LIMITS TO AVOID UNIFORM SITE TREE DECLINE FROM PESTS OR DISEASE:

DIVERSITY TABLE	
# OF NEW TREES PLANTED ON SITE	MAX % OF ANY ONE SPECIES
5-19	67%
20-49	40%
50+	30%

- CONTRACTOR SHALL PROVIDE ADEQUATE IRRIGATION TO ALL LANDSCAPED AREAS.
- ALL DISTURBED AREAS IN THE R/W SHALL BE REGRADED AND SODDED AND/OR SEED AND MULCHED. OTHER DISTURBED AREAS MAY BE REPAIRED BY SEEDING OR HYDROSEEDING. ALL SOD IN THE COUNTY R/W SHALL BE BAHIA.
- ALL SITE FENCING SHALL BE INSTALLED FINISHED SIDE OUT TO CONFORM TO COUNTY FENCE INSTALLATION REQUIREMENTS.
- ANY SPECIES SELECTED FOR TREE PLANTINGS DIFFERENT THAN THOSE INDICATED ON THIS PLAN, SHALL BE FROM THE "NATIVE TREES APPROPRIATE FOR ESCAMBIA COUNTY SITE DEVELOPMENT" FROM THE ESCAMBIA COUNTY'S DEVELOPMENT SERVICES DEPARTMENT. CHANGES MUST BE SUBMITTED TO THE EOR PRIOR TO INSTALLATION FOR APPROVAL. IN WRITING, NO MORE THAN 40% OF REQUIRED LANDSCAPING MATERIAL MAY BE OF THE SAME SPECIES.
- REQUIRED (NATIVE) CANOPY TREES SHALL BE A MINIMUM 2.5" CALIPER AT TIME OF PLANTING.
- MINIMUM TREE PLANTING SPACING IS 12 FEET O.C. W/ A 6 FOOT RADIUS (MIN) AREA FREE OF OBSTRUCTIONS.

- LANDSCAPE PLANTING:**  
AVOID PLANTING REQUIRED LANDSCAPE TREES UNDER THE FOLLOWING CONDITIONS:
- UNDER THE SHADE OF EXISTING TREES TO REMAIN ON SITE (TO AVOID COMPETITION, SLOW OR REACHING GROWTH, ETC.).
  - UNDER PARKING LOT LIGHTING OR OTHER SITE OR SAFETY LIGHTING FEATURES.
  - CONCRETE, ASPHALT, PARKINGS OR SIDEWALKS.
  - OVER, AROUND OR NEAR SITE SIGNAGE (EXISTING OR PROPOSED).
  - ALONG STEEP SLOPES OF STORMWATER PONDS, ATOP NARROW BERMS FOR SUCH OR ON ANY OTHER UNLEVEL &/OR NARROW LAND AREAS, IN OR NEAR SWALES, DITCHES, OR OTHER AREAS OF POTENTIAL CONFLICT WITH/IN PLANTING TREES, THEIR ROOTS, OR OTHER VEGETATION.

(HOWEVER, IF COMPATIBLE MITIGATION TREES (CYPRESS, OTHERS) CAN BE PLANTED WITHIN SW POND(S) OR AT A SAFE, CODE-COMPLIANT DISTANCE FROM SW OUTFALLS, ETC. TO HELP ABSORB WATER, NUTRIENTS & PROVIDE A MUTUAL BENEFIT IN THE FUTURE, PLEASE CONSIDER DOING SO.)

**TREE INVENTORY**

Tree #	Size	Type	Remove/Protect
T-1	7"	BIRCH	REMOVE (NP)
T-2	11"	LAU OAK	PROTECT (NP)
T-3	10"	LIVE OAK	PROTECT (NP)
T-5	11"	LIVE OAK	PROTECT (NP)
T-6	25"	LIVE OAK	PROTECT
T-9	14"	LIVE OAK	PROTECT
T-10	42"	LIVE OAK	PROTECT
T-11	11"	LIVE OAK	REMOVE (NP)
T-12	12"	LAU OAK	PROTECT (NP)
T-13	11"	BIRCH	PROTECT
T-14	9"	CEDAR	REMOVE (NP)
T-15	10"	CEDAR	REMOVE (NP)
T-16	10"	CEDAR	PROTECT (NP)
T-17	12"	CEDAR	PROTECT (NP)
T-18	7"	LAU OAK	REMOVE (NP)
T-19	11"	LAU OAK	PROTECT (NP)
T-20	12"	LAU OAK	REMOVE
T-21	12"	LAU OAK	REMOVE
T-22	12"	LAU OAK	PROTECT (NP)
T-25	12"	LAU OAK	PROTECT
T-26	13"	LAU OAK	PROTECT
T-27	14"	LAU OAK	REMOVE
T-28	14"	LAU OAK	PROTECT
T-32	15"	LAU OAK	REMOVE
T-40	18"	LAU OAK	PROTECT
T-45	31"	LAU OAK	REMOVE
T-51	13"	LIVE OAK	PROTECT
T-52	13"	LIVE OAK	PROTECT
T-54	14"	LIVE OAK	PROTECT
T-56	14"	LIVE OAK	REMOVE
T-59	18"	LIVE OAK	PROTECT
T-63	24"	LIVE OAK	PROTECT
T-66	15"	MAG	REMOVE
T-84	17"	PALM	REMOVE (NP)
T-85	17"	PALM	REMOVE (NP)
T-87	24"	PALM	PROTECT
T-101	N/A	C MYRTLE	PROTECT (NP)
T-102	N/A	C MYRTLE	PROTECT (NP)
T-103	N/A	C MYRTLE	PROTECT (NP)
T-104	N/A	C MYRTLE	PROTECT (NP)
T-105	N/A	C MYRTLE	REMOVE (NP)
T-106	N/A	C MYRTLE	REMOVE (NP)
T-107	N/A	C MYRTLE	REMOVE (NP)
T-108	N/A	C MYRTLE	REMOVE (NP)
T-109	N/A	C MYRTLE	PROTECT (NP)
T-111	N/A	C MYRTLE	PROTECT (NP)
T-112	N/A	C MYRTLE	PROTECT (NP)

**TREE TABLE NOTES:**

**PROTECT:** INDICATES TREE CONSIDERED PROTECTED BY THE LDC AND IS PROPOSED TO REMAIN ON SITE UPON DEVELOPMENT. CONTRACTOR SHALL INSTALL TREE BARRICADES IF REQUIRED SEE DETAIL.

**PROTECT (NP):** INDICATES TREE CONSIDERED PROTECTED BY THE LDC AND IS PROPOSED TO REMAIN ON SITE UPON DEVELOPMENT. CONTRACTOR SHALL INSTALL TREE BARRICADES IF REQUIRED SEE DETAIL.

**REMOVE (P):** INDICATES TREE CONSIDERED PROTECTED BY THE LDC AND IS PROPOSED TO BE REMOVED UPON DEVELOPMENT & REQUIRES MITIGATION.

**REMOVE (NP):** INDICATES TREE NOT CONSIDERED PROTECTED BY THE LDC AND IS PROPOSED TO BE REMOVED UPON DEVELOPMENT & DOES NOT REQUIRE MITIGATION.

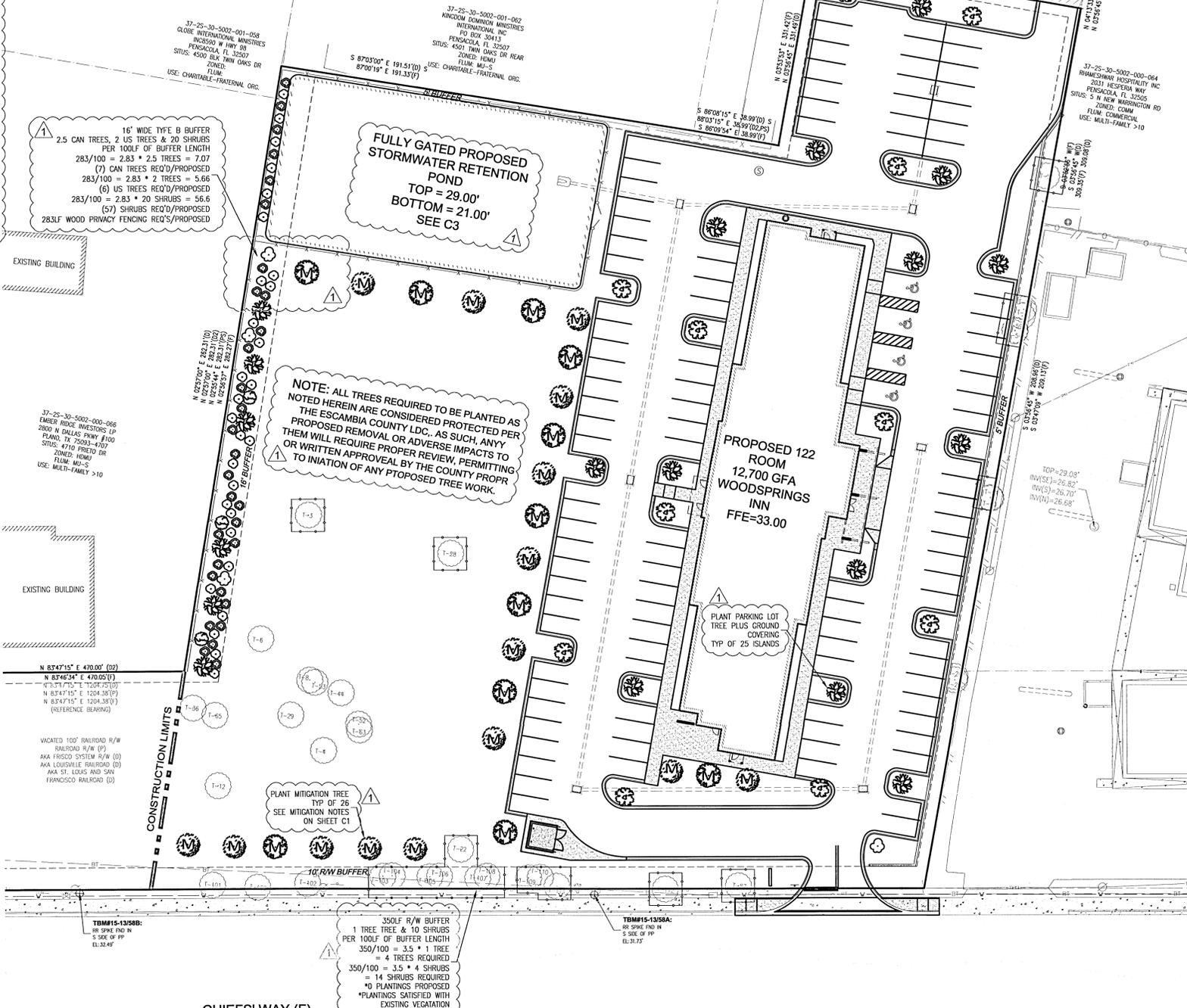
**MITIGATION REQUIREMENTS:**  
TOTAL CALIPER OF PROTECTED TREE REMOVAL IS 113"  
REPLACEMENT RATIO 50% OF INCHES = 125'x0.5=56.5" (57")

PER ESCAMBIA COUNTY LDC SECTION 2.5.2(C) MITIGATION PLANTINGS:  
LIMITED TO 25" PER DEVELOPED ACRE.

TOTAL DEVELOPMENT AREA 2.92 AC:  
2.92x25"=73" MITIGATION REQ'D

**PLANTING OPTIONS:**  
2.5" TREES = 63" / 2.5" = 25.2  
(26) MITIGATION TREES REQUIRED W/ MIN 2.5" CALIPER

**WELLHEAD PROTECTION NOTE:**  
THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOURS OF PROTECTED (POTABLE) WELLHEADS. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (PWS- PEOPLES WATER SERVICE (850) 455-8552 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 595-6712) AGENCIES.



**NOTE:** ALL TREES REQUIRED TO BE PLANTED AS NOTED HEREIN ARE CONSIDERED PROTECTED PER THE ESCAMBIA COUNTY LDC. AS SUCH, ANY THEM WILL REQUIRE PROPER REVIEW, PERMITTING OR WRITTEN APPROVAL BY THE COUNTY PROPR TO INIATION OF ANY PTOPOSED TREE WORK.

**FULLY GATED PROPOSED STORMWATER RETENTION POND**  
TOP = 29.00'  
BOTTOM = 21.00'  
SEE C3

**PROPOSED 122 ROOM 12,700 GFA WOODSPRINGS INN**  
FFE=33.00

PLANT PARKING LOT TREE PLUS GROUND COVERING TYP OF 25 ISLANDS

**CHIEFS' WAY (F)**  
C.R. 295B (F)  
CHIEF'S WAY (PS)  
CORYY FIELD ENTRANCE ROAD (D, P)  
(RIGHT-OF-WAY VARIES)

**TREE PROTECTION NOTE:**  
ALL ADEQUATE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.

AT COMPLETION OF CONSTRUCTION, ALL EXPOSED DIRT SHALL BE STABILIZED WITH SOD, HYDRO-SEED, OR HAY/SEED. ONLY BAHIA SOD ALLOWED IN COUNTY RIGHT-OF-WAY.

NO MORE THAN 40% OF REQUIRED LANDSCAPING MATERIAL MAY BE OF THE SAME SPECIES

REVISIONS

NO.	DATE	DESCRIPTION
1	12-15-2021	RESPOND TO COUNTY REVIEW COMMENTS

DESIGNED BY: GSB  
CHECKED BY: GSB  
SEPTEMBER 2021  
SCALE: AS NOTED

PROJECT NO:  
FILE NO: 2020 WOODSPRINGS\_SITE  
SHEET NO: C5

**GARY S. BISHOP, P.E.**  
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**WOODSPRING SUITES**  
210 CHIEFS WAY  
ESCAMBIA COUNTY, PENSACOLA, FLORIDA  
PROPERTY ID #37-2S-30-5002-000-057

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