

UTILITY PROVIDERS

Johnathan Blankinship
AT&T
605 W Garden St.
Pensacola, FL 32502
(850)436-1489

WALLY SCRUGGS
Level 3 Comm.
221 NORTH BAYLEN ST
PENSACOLA, FL 32502
251-652-4007
850-374-2237 (CELL)

Clint Shevat
Pensacola Energy
1625 Atwood Dr.
Pensacola, FL 32514
850-474-5319

Dan Middlebrook
Peoples Water Service Co.
905 Lowndes Avenue
Pensacola, FL 32507
850-455-8552

Brandon Knight, P.E.
Emerald Coast Utility Authority
9255 Sturdevant St
Pensacola, FL 32514
850-969-6650

DJ McAuley
SOUTHERN LIGHT LLC
156 ST ANTHONY ST
MOBILE, AL 36603
251-259-0807

Chad Swails
Gulf Power Co.
5120 Dogwood Dr.
Milton, FL 32570-4502
0-(850)429-2446

Fred Shehadi
Escambia Co. School District
Communication
3326 North W Street
Pensacola, FL 32505
850-432-2082

Troy Young
Cox Communications
3405 Mclemore DR
Pensacola, FL 32514
850-232-5044

Sunshine State One-Call
7200 Lake Ellenor Dr, Suite 200
Orlando, FL 32809
800-432-4770

Johnny Cox
Escambia County T1&O
850-595-3404

SITE PLANS FOR

BOBCAT DEALERSHIP

1390 W NINE MILE ROAD
PENSACOLA, FLORIDA

PARCEL ID: 09-1S-30-2101-070-005
FOR

LYLE MACHINERY
650 HIGHWAY 49 S
RICHLAND, MS 39218

SEPTEMBER 2021

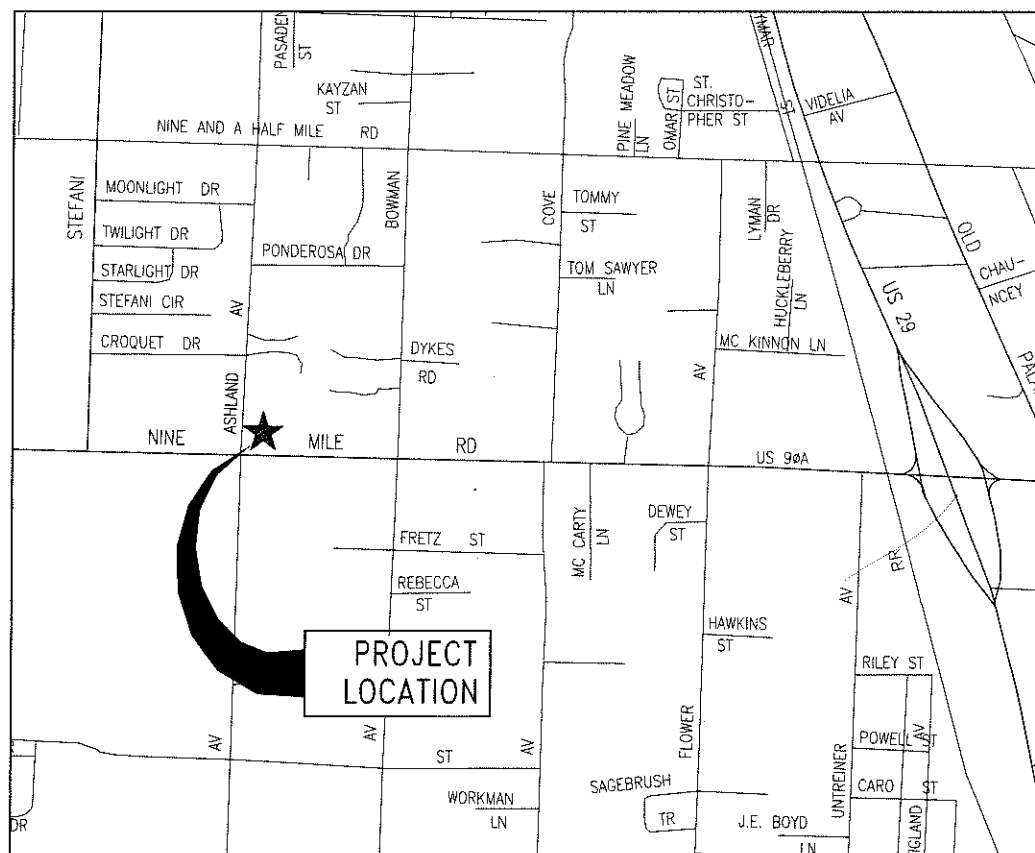
PREPARED BY



SITE-CIVIL ENGINEERS
KG DEVELOPMENT SERVICES, LLC
1550 CREIGHTON RD, SUITE 1
PENSACOLA, FL 32504
850-332-6288

FL Certificate of Auth. # 32274

KGD PROJECT No. 2101



VICINITY MAP
NOT TO SCALE



Approved ESCAMBIA COUNTY DRC PLAN REVIEW

DRC Chairman Signature

Printed Name: Jennifer Hampton
Development Services Director or Designee

Date

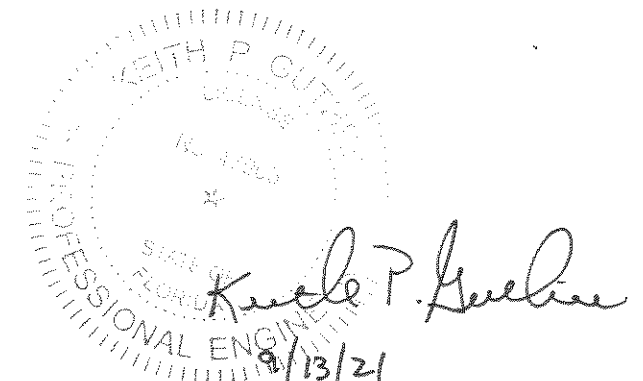
This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

PROPERTY DESCRIPTION AS FURNISHED: (OFFICIAL RECORDS
BOOK: 6908, PAGE: 1216)





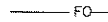
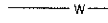









THE WEST 1/2 OF LOTS 7 AND 8, BLOCK 5, SECTION 9,
TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY,
FLORIDA, LESS THE RIGHT OF WAY
SUBJECT TO: DEED TO ESCAMBIA COUNTY AS RECORDED IN O.R.
BOOK 496, PAGE 44; CONCLUSION RECITED ON PAGE 229 OF
THE WARRANTY DEED AS RECORDED IN O.R. BOOK 5820, PAGE
226;
ALL OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA

SHEET INDEX

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LEGEND:

	- BENCHMARK
	- FIBER OPTIC CABLE JUNCTION BOX
	- FIBER OPTIC CABLE MARKER
	- BURIED SEWER LINE
	- BURIED FIBER-OPTIC LINE
	- BURIED WATER LINE
	- BURIED GAS LINE
	- POWER POLE
	- OVERHEAD ELECTRIC
	- FIRE HYDRANT
	- WATER VALVE
	- SANITARY SEWER MANOLE
	- GAS VALVE
	- MITERED END SECTION
	- EXISTING CONTOUR

CONSTRUCTION NOTES :

ALL WORK SHALL COMPLY WITH ESCAMBIA COUNTY TECHNICAL SPECIFICATIONS (LATEST EDITION).

EARTHWORK: REFER TO TIERRA GEOTECHNICAL REPORT FOR SITE PREPARATION GUIDELINES. PRIOR TO PLACING ANY FILL MATERIALS, THE SITE SHALL BE PROOF ROLLED IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER AND ANY YIELDING SOILS SHALL BE UNDERCUT AND BACKFILLED AS DISCUSSED IN THE GEOTECHNICAL REPORT. ALL AREAS SHALL BE GRADED UNIFORMLY TO WITH 0.10 FEET OF PROPOSED GRADE.

SOD/GRASSING: CONTRACTOR SHALL SOD ALL SLOPES STEEPER THAN 10:1. POND SIDE SLOPES SHALL BE SODDED.

RIPRAP: MATERIAL SPECIFICATIONS SHALL CONFORM WITH FDOT RIPRAP (BANK & SHORE). D50 = 8 INCH; MINIMUM SIZE 4 INCH; MAXIMUM SIZE 12 INCH

QUALITY CONTROL: THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE QUALITY CONTROL TESTING CONDUCTED BY AN INDEPENDENT GEOTECHNICAL ENGINEERING TESTING AGENCY UNDER THE DIRECTION OF A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF FLORIDA. CERTIFIED COPIES OF ALL TEST RESULTS SHALL BE PROVIDED TO THE ENGINEER OF RECORD TO CONFIRM COMPLIANCE WITH SPECIFICATIONS.

ITEM	REQUIREMENT	FREQUENCY
EMBANKMENT	98% MODIFIED PROCTOR (UNDER PAVEMENT)	1 TEST/1000 SY PER LIFT
	95% MODIFIED PROCTOR (UNPAVED AREAS)	
STABILIZED SUBGRADE	MIN LBR 40	1 TEST/ 500 SY
	98 % MODIFIED PROCTOR	
BASE	MIN LBR 100	1 TEST/ 500 SY
	98% MODIFIED PROCTOR	
CONCRETE/STRUCTURE	PER SPECIFICATION	

GENERAL NOTES:

- THESE PLANS ARE BASED UPON A TOPOGRAPHIC SURVEY CONDUCTED BY NORTHWEST FLORIDA LAND SURVEYING, INC, COMPLETED IN DECEMBER 2020.
- THE BEARINGS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN DATUM 1983, STATE PLANE MAPPING ZONE FLORIDA NORTH 0903, LAMBERT PROJECTION AS ESTABLISHED ALONG THE WEST LINE OF THE SUBJECT PROPERTY HAVING A BEARING OF NORTH 03 DEGREES 17 MINUTES 25 SECONDS EAST.
- THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988, FROM ESCAMBIA COUNTY GEODETIC CONTROL POINT STAMPED "ESC 4075" HAVING A PUBLISHED ELEVATION OF 109.05 FEET. BASED ON ESCAMBIA COUNTY, FLORIDA GPS NETWORK SURVEY PERFORMED BY BASKERVILLE DONOVAN, INC. DATED 10/15/97.
- THE UTILITIES AS SHOWN HEREON IS BASED UPON FIELD LOCATION WHERE VISIBLE. THERE MAY BE OTHER UNDER GROUND UTILITIES THAT HAVE NOT BEEN LOCATED OR VERIFIED. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE RESPECTABLE UTILITY SPOTTERS PRIOR TO THE COMMENCEMENT OF WORK OR EXCAVATION.
- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE PROJECT PRIOR TO BIDDING.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY CONFLICTS BETWEEN CONTRACT DOCUMENTS AND EXISTING CONDITIONS. THESE DRAWINGS REPRESENT KNOWN STRUCTURES AND UTILITIES LOCATED IN THE PROJECT AREA. THE CONTRACTOR IS CAUTIONED THAT OTHER STRUCTURES AND UTILITIES, ABOVE OR BELOW GROUND, MAY BE ENCOUNTERED DURING THE COURSE OF THE PROJECT. THE CONTRACTOR SHOULD NOTIFY THE UTILITY, THEN THE ENGINEER, IMMEDIATELY UPON ENCOUNTERING ANY UNEXPECTED STRUCTURE, UTILITY LINE, OR OTHER UNUSUAL CONDITION. EXISTING CONDITIONS ARE BASED ON SURVEYS BY BASKERVILLE-DONOVAN, INC. PERFORMED IN 2016.
- CONTRACTOR SHALL SAFETY-BARRICADE ALL EXCAVATIONS AND OTHER HAZARDS.
- CONTRACTOR SHALL PROVIDE ACCESS TO PROPERTIES ADJACENT TO THE CONSTRUCTION AREAS. ADEQUATE BARRICADES, CONSTRUCTION SIGNAGE AND OTHER TRAFFIC CONTROL DEVICES SHALL BE PROVIDED IN ACCORDANCE WITH FDOT CONSTRUCTION STANDARDS. ROADWAYS CAN BE CLOSED ONLY AS DIRECTED.
- THE CONTRACTOR SHALL EMPLOY THE USE OF SILT FENCES, HAY BALES, DITCHES OR WHATEVER MEANS NECESSARY TO CONTROL EROSION AND SEDIMENTATION AT ALL TIMES. WATERS OF THE STATE, ADJACENT PROPERTIES, AND ANY NEW DRAINAGE CONSTRUCTION SHALL BE PROTECTED DURING THE CONSTRUCTION PERIOD. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION AND SHALL REMAIN UNTIL THE COMPLETION OF CONSTRUCTION AND ACCEPTANCE BY THE ENGINEER.
- ADEQUATE PROVISIONS SHALL BE MADE FOR THE FLOW OF SEWERS, DRAINS, WATER COURSES AND OTHER UTILITIES ENCOUNTERED DURING CONSTRUCTION.
- THE CONTRACTOR IS TO REPLACE TO EXISTING CONDITIONS OR BETTER ANY FENCES, SPRINKLER SYSTEMS, TREES AND SHRUBS, MAINTAINED FLOWER BEDS, OR OTHER EXISTING PUBLIC AND PRIVATE PROPERTY IMPROVEMENTS IMPACTED DURING CONSTRUCTION, WHETHER DEPICTED IN THE PLANS OR NOT. REPLACE SOD WITH MATCHING TYPE.
- DEWATERING MAY BE NECESSARY FOR NEW PIPE INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING AND PROVIDING ALL PERMITS AND FEES ASSOCIATED WITH DEWATERING.
- ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD.
- CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
- NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770.
- ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE CONTRACTOR PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.

ESCAMBIA COUNTY NOTES:

- THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
- ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
- NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
- THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
- RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETED PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
- ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD.
- ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.
- DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
- CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
- THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTRY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3472. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
- PRIOR TO CONSTRUCTION A SEPARATE BUILDING INSPECTION DEPARTMENT PERMIT(S) SHALL BE OBTAINED FOR ALL RETAINING WALL(S) HIGHER THAN 2 FEET.
- NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770.
- ANY DAMAGE TO EXISTING ROADS DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN OFF FROM THE COUNTY.
- THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHT-OF-WAY.

ECUA UTILITY NOTES

- ALL WATER DISTRIBUTION AND WASTEWATER COLLECTION/ TRANSMISSION CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ECUA ENGINEERING MANUAL.
- CONTRACTOR SHALL NOTIFY THE ECUA INSPECTOR 48 HRS. IN ADVANCE WHEN HIS PRESENCE IS REQUIRED ON SITE.
- CONTRACTOR SHALL NOTIFY THE ECUA INSPECTOR 72 HRS. IN ADVANCE OF A SCHEDULED SHUTDOWN/TIE-IN AFFECTING CUSTOMER WATER SERVICE. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL CUSTOMERS AFFECTED BY ANY SCHEDULED UTILITY OUTAGE.



K&G DEVELOPMENT SERVICES, LLC
1550 CREIGHTON RD, SUITE 1
PENSACOLA, FL 32504
850-332-6288

KEITH P. GUTHRIE, P.E.
No. 47905
FL Reg. Engineer #47905

BOBCAT
DEALERSHIP

NO. DATE APPR. REVISION / ACTION TAKEN

PROJECT NO: 2101

DATE: SEPTEMBER 2021

PROJECT MGR: K GUTHRIE

SCALE: AS SHOWN

GENERAL NOTES

NOT RELEASED
FOR CONSTRUCTION

G-001

PARCEL No. 09-1S-30-2101-060-005
4136 ASHLAND AVE.
ZONING: HC/LI
FLU: MU-U
EXISTING: VACANT COMMERCIAL

PARCEL No. 09-1S-30-2101-062-005
4146 ASHLAND AVE.
ZONING: HC/LI
FLU: MU-U
EXISTING: RESIDENTIAL

PARCEL No. 09-1S-30-2101-080-005
1370 W. NINE MILE RD
ZONING: HC/LI
FLU: MU-U
EXISTING: VACANT COMMERCIAL
S 03°17'25" W 560.39' (F)

(REVISED PER COUNTY)
1390 W. NINE MILE RD
PENSACOLA, FL
(4.0 ACRES)
PARCEL No. 09-1S-30-2101-070-005
ZONING: HC/LI
FLU: MU-U

BENCHMARK DATA:

BM~1 NAIL AND DISK IN ASPHALT ROAD
ELEVATION= 123.19' (NAVD88)
BM~2 NAIL AND DISK IN ASPHALT ROAD
ELEVATION= 122.53' (NAVD88)

NOTES:


- DESCRIPTION AS FURNISHED: (OFFICIAL RECORDS BOOK: 6908, PAGE: 1216)
THE WEST 1/2 OF LOTS 7 AND 8, BLOCK 5, SECTION 9, TOWNSHIP 1 SOUTH,
RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, LESS THE RIGHT OF WAY SUBJECT
TO: DEED TO ESCAMBIA COUNTY AS RECORDED IN O.R. BOOK 496, PAGE 44;
CONCLUSION RECITED ON PAGE 229 OF THE WARRANTY DEED AS RECORDED IN
O.R. BOOK 5820, PAGE 226; ALL OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY,
FLORIDA
- EXISTING CONDITIONS ARE BASED UPON THE BOUNDARY AND TOPOGRAPHIC
SURVEY CONDUCTED BY NORTHWEST FLORIDA LAND SURVEYING, INC. PROJECT NO.
24224.

LEGEND:

- BENCHMARK
- FIBER OPTIC CABLE JUNCTION BOX
- FIBER OPTIC CABLE MARKER
- BURIED SEWER LINE
- BURIED FIBER-OPTIC LINE
- BURIED WATER LINE
- BURIED GAS LINE
- POWER POLE
- OVERHEAD ELECTRIC
- FIRE HYDRANT
- WATER VALVE
- SANITARY SEWER MANHOLE
- GAS VALVE
- MITERED END SECTION
- EXISTING CONTOUR
- WATER FLOW DIRECTION
- MAGNOLIA TREE W/LABEL
- OAK TREE W/LABEL

TREE TABLE			
TREE NO.:	DIAMETER	TYPE	CANOPY
T-1	48"	OAK	45'
T-2	37"	OAK	35'
T-3	24"	OAK	30'
T-4	24"	OAK	30'
T-5	10"	MAGNOLIA	25'
T-6	24"	OAK	30'
T-7	22"	OAK	32'
T-8	22"	OAK	32'
T-9	26"	OAK	34'
T-10	18"	OAK	20'
T-11	18"	OAK	35'
T-12	18"	OAK	20'
T-13	18"	OAK	20'
T-14	32"	OAK	45'
T-15	18"	OAK	35'
T-16	32"	OAK	35'
T-17	18"	OAK	23'
T-18	10"	MAGNOLIA	25'
T-19	10"	MAGNOLIA	25'
T-20	23"	OAK	34'
T-21	10"	MAGNOLIA	24'
T-22	10"	MAGNOLIA	24'
T-23	22"	OAK	29'
T-24	26"	OAK	45'
T-25	32"	OAK	45'
T-26	24"	OAK	30'
T-27	26"	OAK	45'
T-28	10"	MAGNOLIA	25'
T-29	28"	OAK	45'
T-30	26"	OAK	36'
T-31	26"	OAK	36'
T-32	20"	OAK	34'
T-33	12"	MAGNOLIA	25'
T-34	10"	MAGNOLIA	25'
T-35	20"	OAK	34'
T-36	20"	OAK	34'
T-37	46"	OAK	45'
T-38	23"	OAK	45'
T-39	24"	TWIN OAK	45'
T-40	26"	OAK	34'
T-41	24"	TWIN OAK	45'
T-42	18"	OAK	32'
T-43	28"	OAK	45'
T-44	13"	MAGNOLIA	25'
T-45	13"	MAGNOLIA	25'
T-46	18"	OAK	25'
T-47	18"	OAK	23'
T-48	18"	OAK	23'

EXISTING CONDITIONS PLAN
SCALE: 1" = 30'
0 15' 30' 60'



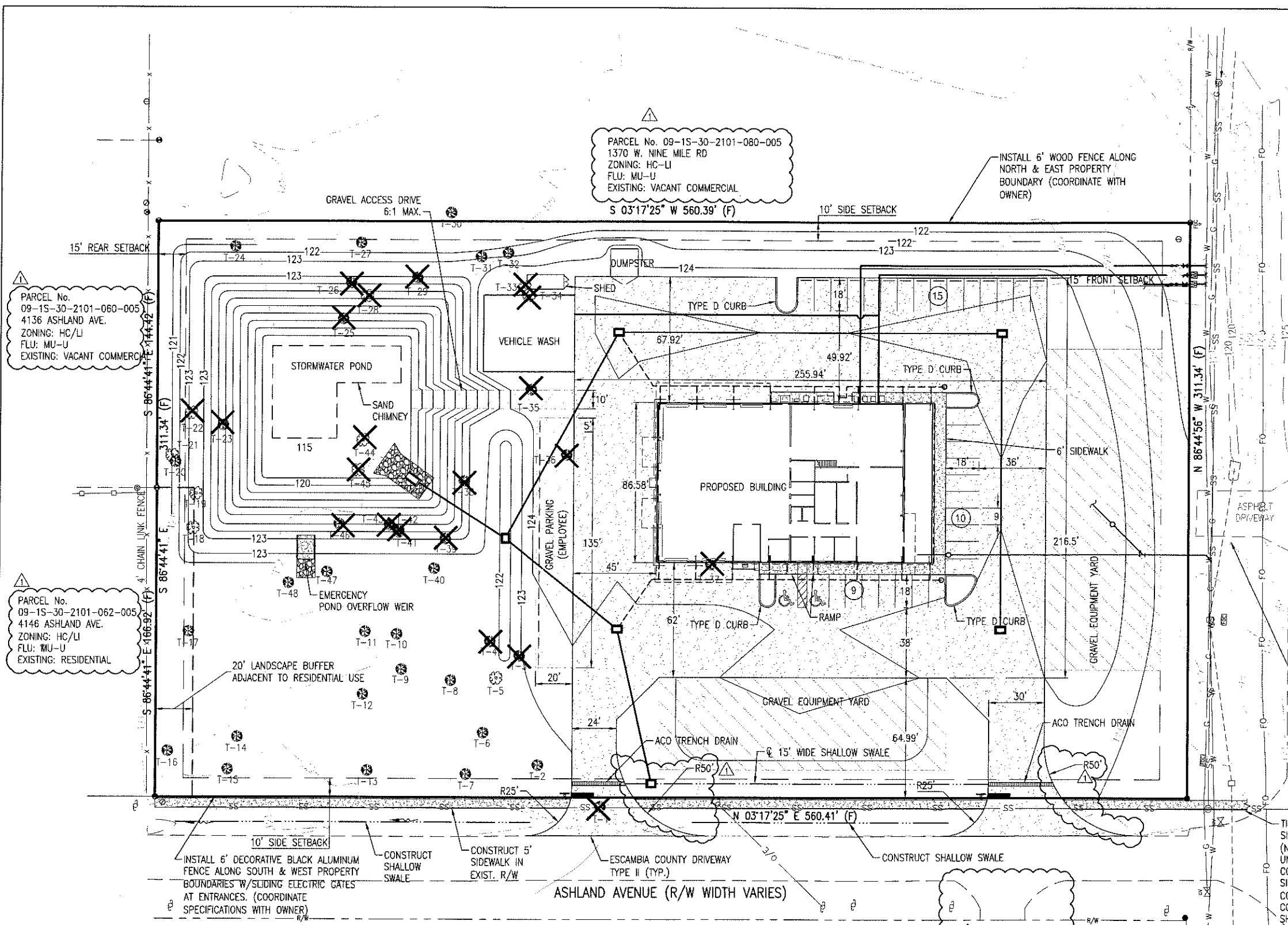
KG DEVELOPMENT SERVICES, LLC
1550 CREIGHTON RD, SUITE 1
PENSACOLA, FL 32504
850-337-6288

BOBCAT DEALERSHIP

PROJECT NO: 2101
DATE: SEPTEMBER 2021
PROJECT MGR: K GUTHRIE
SCALE: AS SHOWN

EXISTING CONDITIONS PLAN
NOT RELEASED FOR CONSTRUCTION

C-100



SITE DATA

PARCEL No.: 09-1S-30-2101-070-005
ADDRESS: 1390 W. NINE MILE RD
PENSACOLA, FL 32534
ZONING DISTRICT: HC/LI
FUTURE LAND USE: MU-U
SITE AREA: 4.00 AC (174,472 SF)

SETBACK SUMMARY:

FRONT YARD = 15 FT
REAR YARD = 15 FT
SIDE YARD = 10 FT

EXISTING LOT COVERAGE

IMPERVIOUS AREA = 2,700 SF
GRAVEL = 9,000 SF
OPEN SPACE (LAWN) = 86,970 SF
WOODS = 75,800 SF

PROPOSED LOT COVERAGE

IMPERVIOUS AREA:
BUILDING/CONCRETE: 58,900 SF
GRAVEL: 15,810 SF
TOTAL IMPERVIOUS: 74,710 SF (1.71 AC)

PERVIOUS AREA:
STORMWATER POND: 20,900 SF
LAWN/LANDSCAPE: 39,390 SF
UNDEVELOPED (WOODS): 39,522 SF
TOTAL PERVIOUS = 99,812 AC (2.29 AC)

PARKING REQUIREMENTS

1 SPACE PER 400 SQ FT BUILDING/SERVICE AREA
BUILDING = 11,435 SQ FT
PARKING REQUIRED = 11,435 / 400 = 29 SPACES
PARKING PROVIDED = 32
HANDICAP = 2
GRAVEL EMPLOYEE = 15
TOTAL = 49

NOTES:

1. THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND .2-PERCENT-ANNUAL-CHANCE FLOODPLAINS. NO BFEs OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0295G, MAP REVISION DATED SEPTEMBER 29, 2006.
2. NO WETLANDS WERE IDENTIFIED ON THIS SITE AND PER PRE-APPLICATION MEETING A WETLAND SURVEY IS NOT REQUIRED AT THIS TIME.
3. ZONING DISTRICT HC/LI - NO OUTSIDE EQUIPMENT REPAIRS OR VEHICLE OVERHAUL WORK IS ALLOWED.
4. OWNER TO MAINTAIN STORMWATER FACILITY IN ACCORDANCE WITH STORMWATER MANAGEMENT PLAN PROVIDED.

OVERALL PLAN

SCALE: 1" = 30' 0 15' 30' 60'



KEITH P. GUTHRIE
LICENSE
No. 47905
FL. Reg. Engineer 47905

BOBCAT DEALERSHIP

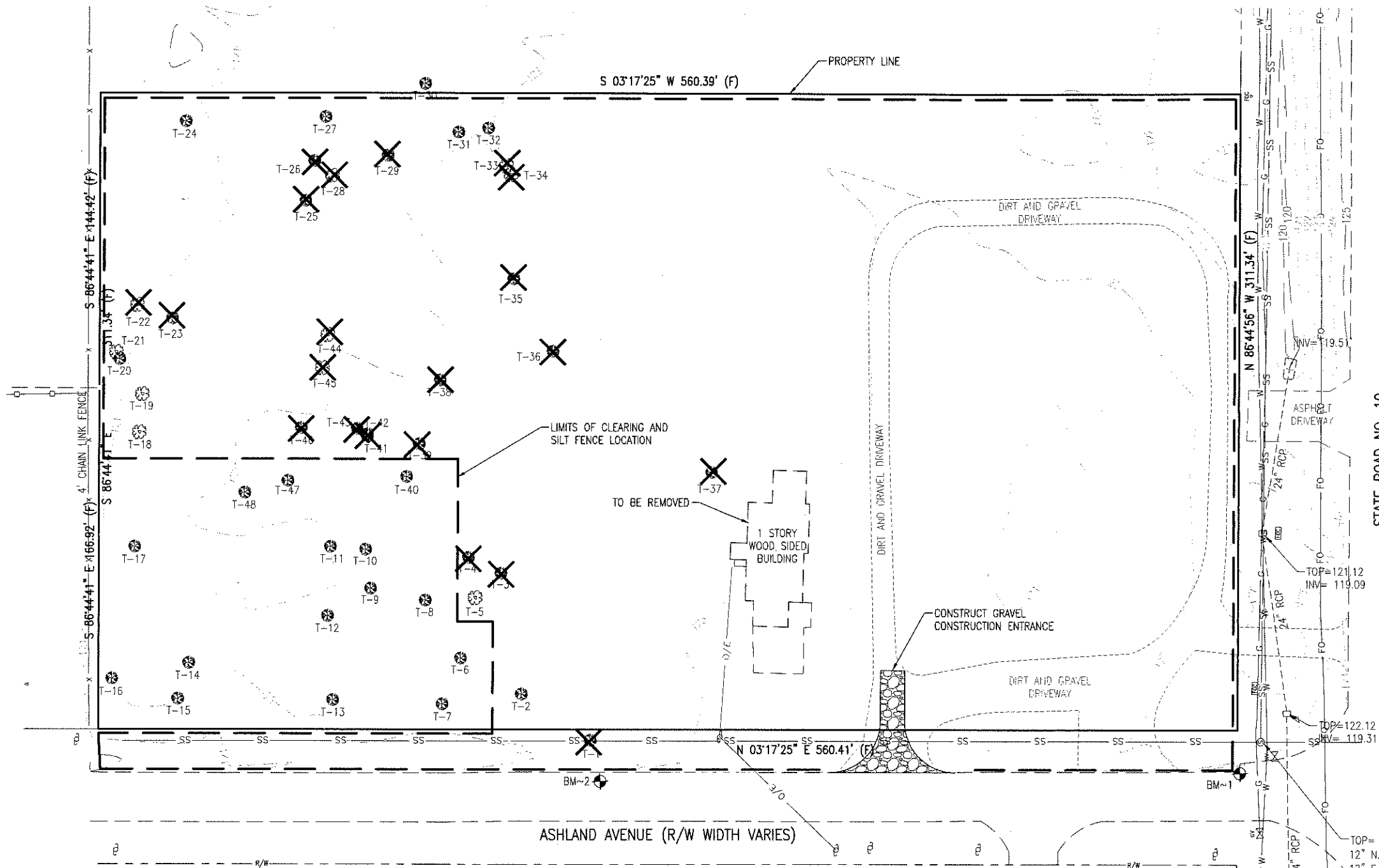
NO.	DATE	APPR.	REVISION / ACTION TAKEN
1	9/7/21	KPG	ADD PARCEL REFERENCE
2	9/7/21	KPG	ADDED EXISTING DRIVE

PROJECT NO: 2101
DATE: SEPTEMBER 2021
PROJECT MGR: K GUTHRIE
SCALE: AS SHOWN

OVERALL PLAN

NOT RELEASED FOR CONSTRUCTION

C-101



- LEGEND:**
- BENCHMARK
 - FIBER OPTIC CABLE JUNCTION BOX
 - FIBER OPTIC CABLE MARKER
 - BURIED SEWER LINE
 - BURIED FIBER-OPTIC LINE
 - BURIED WATER LINE
 - BURIED GAS LINE
 - POWER POLE
 - OVERHEAD ELECTRIC
 - FIRE HYDRANT
 - WATER VALVE
 - SANITARY SEWER MANHOLE
 - GAS VALVE
 - MITERED END SECTION
 - EXISTING CONTOUR
 - T-20 — MAGNOLIA TREE W/LABEL (SEE TREE TABLE SHEET C-100)
 - T-21 — OAK TREE W/LABEL (SEE TREE TABLE SHEET C-100)
 - TREE TO BE REMOVED

NOTES:

1. CONTRACTOR IS REQUIRED TO PREPARE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR THIS PROJECT. THE NOTICE OF INTENT (NOI) AND PROPER FEES SHALL BE SUBMITTED TO FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. COPIES OF THIS NOTICE SHALL BE PROVIDED TO THE OWNER PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
2. NO SITE WORK ACTIVITIES SHALL TAKE PLACE WITHOUT COUNTY SITE REVIEW/APPROVAL OF PROPOSED EROSION CONTROL MEASURES AND ADVANCED NOTIFICATION OF THE REQUESTED INSPECTION IS REQUIRED.
3. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE SEDIMENT RUNOFF FROM THE SITE. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION, MAINTAIN EROSION CONTROL MEASURES, AND TAKE ALL NECESSARY MEASURES TO PREVENT THE TRANSPORT OF SEDIMENTS FROM THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
4. EROSION CONTROL MEASURES SHOWN ARE CONSIDERED THE MINIMUM NECESSARY MEASURES.
5. DISTURBED AND NON-DISTURBED AREAS SHALL BE WATERED REGULARLY TO PREVENT DUST.
6. CONTRACTOR SHALL UTILIZE A TEMPORARY CONSTRUCTION ENTRANCE (SEE DETAIL) TO PREVENT THE TRANSPORT OF SEDIMENTS FROM THE SITE.
7. CONTRACTOR WILL OBTAIN ALL NECESSARY PERMITS FOR LAND CLEARING AND BUILDING DEMOLITION PRIOR TO BEGINNING WORK.
8. CONTRACTOR SHALL ARRANGE/COORDINATE WITH ALL UTILITY COMPANIES TO IDENTIFY UTILITIES AND ARRANGE FOR SHUT-OFF/ DISCONNECT PRIOR TO DECOMMISSIONING. ALL UTILITIES SERVING THE BUILDING WILL BE REMOVED AND CAPPED OR SEALED AT THE PROPERTY LINE PRIOR TO BUILDING DEMOLITION.
9. BUILDING DEMOLITION SHALL INCLUDE ALL ABOVE AND BELOW GRADE IMPROVEMENTS AND ANY SEPTIC SYSTEM LOCATED ON THE PROJECT SITE.
10. CONTRACTOR SHALL CONSULT WITH OWNER FOR ANY AVAILABLE ENVIRONMENTAL REPORTS REGARDING PROPERTY THAT COULD AFFECT DEMOLITION.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF TRAFFIC CONTROL ALONG R/W FOR ALL WORK CONDUCTED WITHIN COUNTY OR STATE R/W. TRAFFIC CONTROL SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. REFER TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE LATEST EDITION OF FDOT DESIGN STANDARDS FOR TRAFFIC CONTROL THROUGH WORK ZONES (SERIES 600) FOR FURTHER GUIDANCE.
12. SEE LANDSCAPE PLAN FOR TREE REMOVAL SUMMARY.

DEMOLITION AND EROSION CONTROL PLAN

SCALE: 1" = 30'



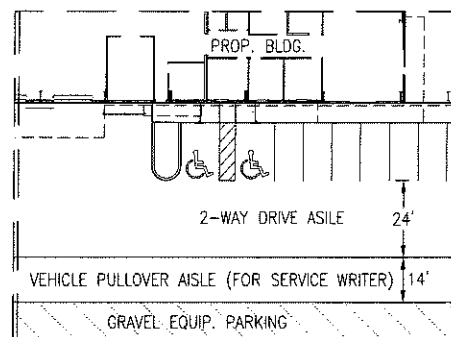
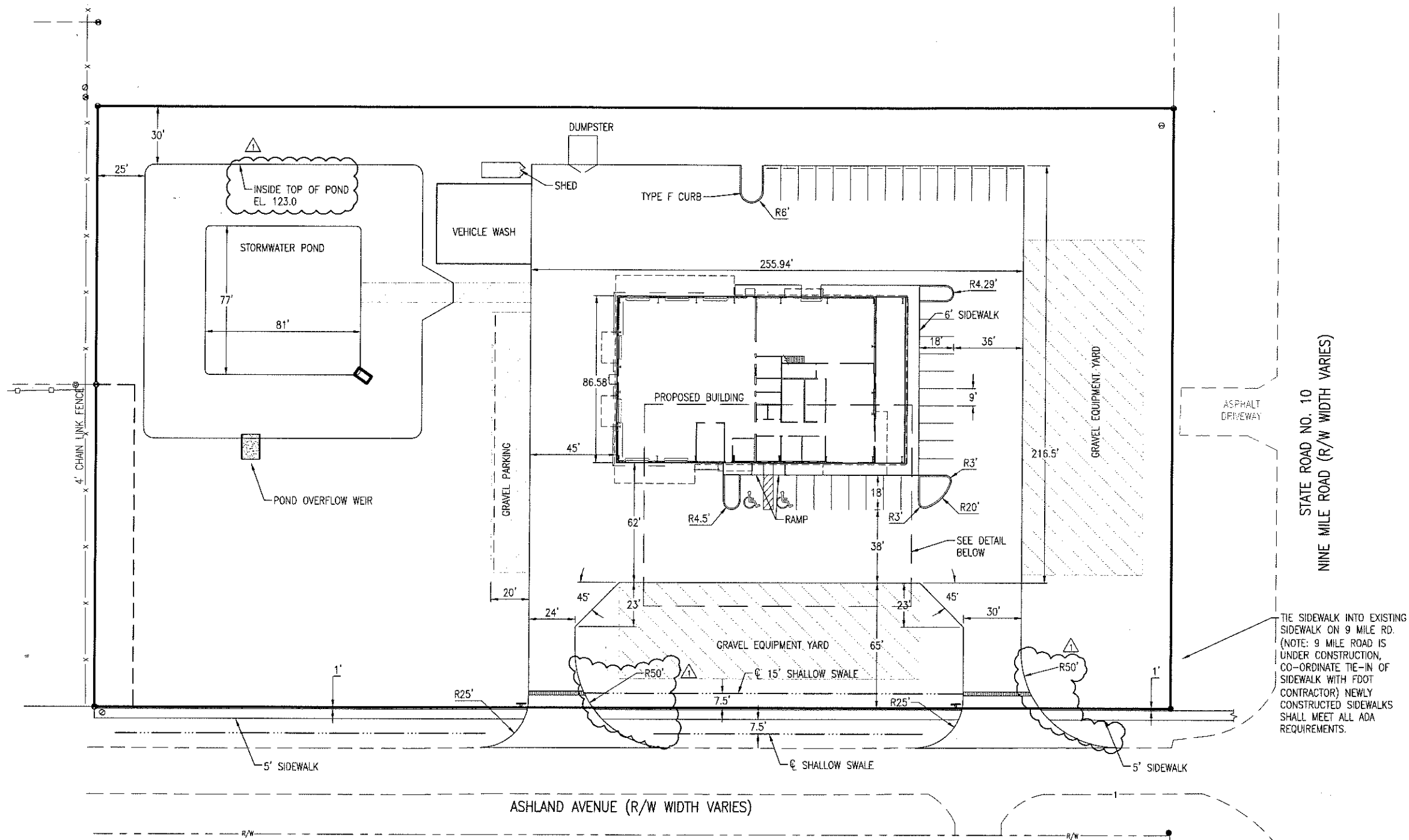
BOBCAT DEALERSHIP

NO.	DATE	APPR.	REVISION / ACTION TAKEN

PROJECT NO: 2101	DATE: SEPTEMBER 2021	PROJECT MGR: K GUTHRIE	SCALE: AS SHOWN
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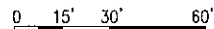
DEMOLITION AND EROSION CONTROL PLAN

NOT RELEASED FOR CONSTRUCTION



STAKING PLAN

SCALE: 1" = 30'



KG
 DEVELOPMENT
 SERVICES, LLC
 1550 CREIGHTON RD., SUITE 1
 PENSACOLA, FL 32504
 850-332-8285

STATE OF FLORIDA
 KEITH P. GUTHRIE
 LICENSE No. 47905
 9/18/21
 KEITH P. GUTHRIE, P.E.
 FL. Reg. Engineer #17905

BOBCAT
 DEALERSHIP

PROJECT NO:	DATE:	PROJECT MGR:	SCALE:	NO.	DATE	APPR.	REVISION / ACTION TAKEN
2101	SEPTEMBER 2021	K GUTHRIE	AS SHOWN	1	9/7/21	KPG	ADDED NOTE

STAKING PLAN

NOT RELEASED
 FOR CONSTRUCTION

STORM STRUCTURE DATA

S-1
FDOT U-TYPE ENERGY
DISSIPATOR W/Baffle
INV EL= 115.00

S-2
FDOT TYPE C INLET
W/J BOTTOM & CAST IRON
GRATE
TOP EL= 121.50
NE INV EL= 115.90
SW INV EL= 116.00
SE INV EL= 116.00

S-3
FDOT TYPE E INLET
W/CAST IRON GRATE
TOP EL= 123.30
S INV EL= 117.50
NW INV EL= 117.40
SW INV EL= 118.00
(12" PIPE)

S-4
FDOT TYPE E INLET
W/CAST IRON GRATE
TOP EL= 123.30
W INV EL= 119.30
N INV EL= 119.20

S-5
FDOT TYPE E INLET
W/CAST IRON GRATE
TOP EL= 123.30
INV EL= 120.50

S-6
FDOT TYPE E INLET
W/CAST IRON GRATE
TOP EL= 123.30
E INV EL= 117.55
W INV EL= 117.65
SE INV EL= 118.00
(12" PIPE)

S-7
FDOT TYPE C INLET
W/CAST IRON GRATE
TOP EL= 122.50
(E&W) SLOT EL= 122.00
INV EL= 119.00

LEGEND

- 125 PROPOSED MAJOR CONTOUR
- 124 PROPOSED MINOR CONTOUR
- EXISTING CONTOUR
- 124.00 PROPOSED SPOT ELEVATION
- DRAINAGE FLOW
- DETAIL CUT
- BREAK LINE



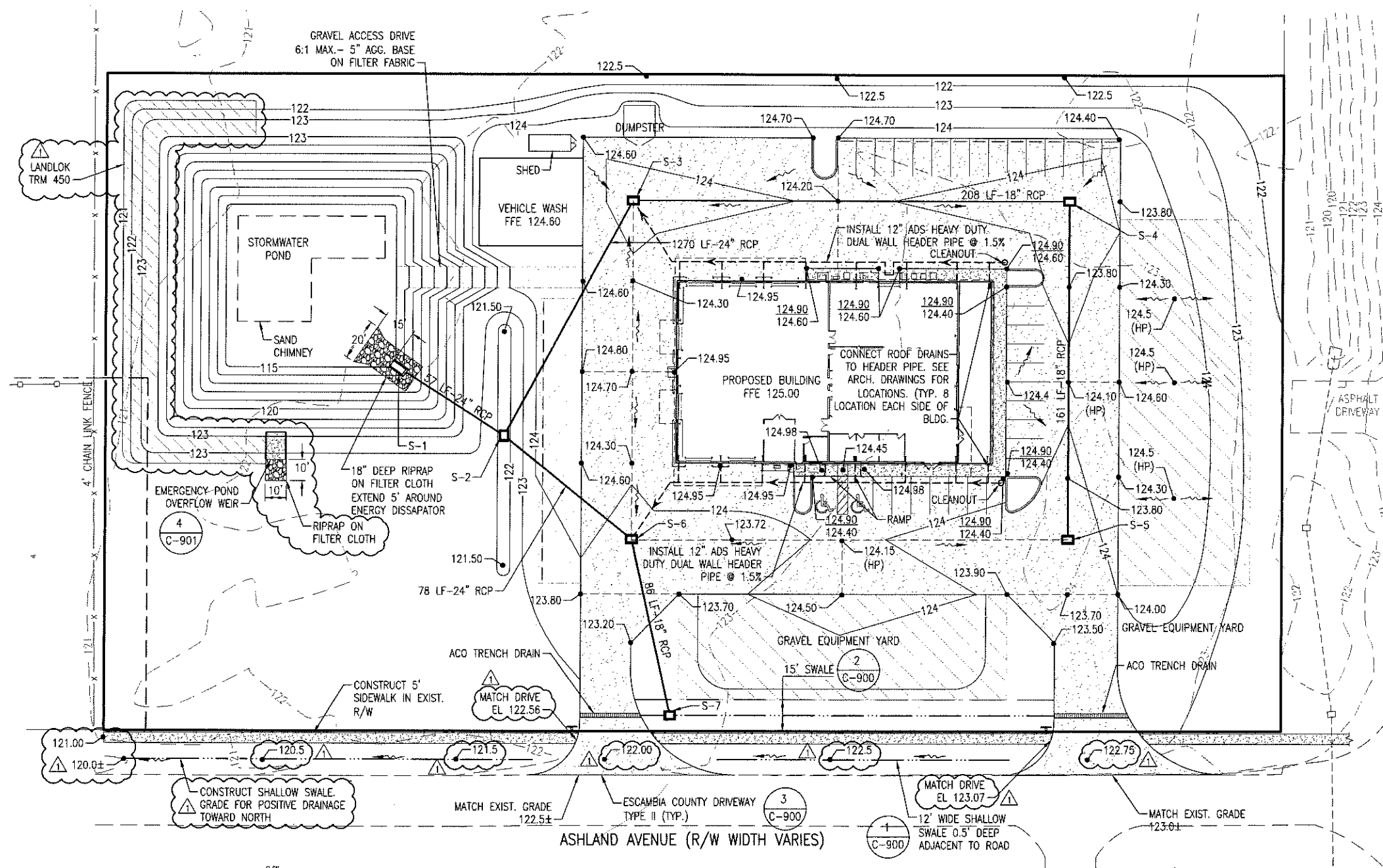
BOBCAT
DEALERSHIP

NO.	DATE	APPR.	REVISION / ACTION TAKEN
1	9/7/21	KPG	GRADING ADDITIONS
2			
3			
4			

PROJECT NO: 2101
DATE: SEPTEMBER 2021
PROJECT MGR: K GUTHRIE
SCALE: AS SHOWN

GRADING AND
DRAINAGE PLAN
NOT RELEASED
FOR CONSTRUCTION

C-104



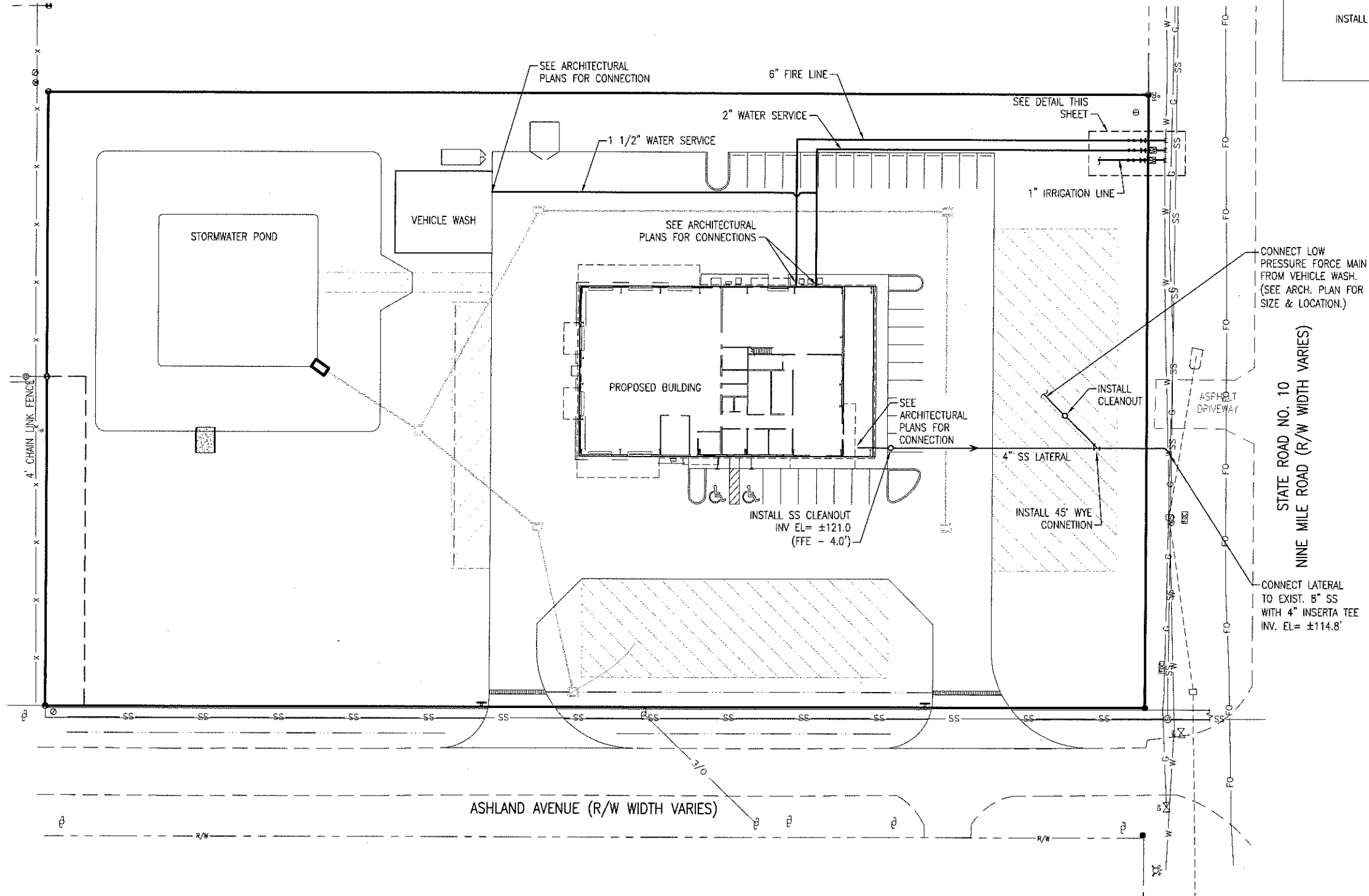
NOTE:
CONTRACTOR TO GRADE SWALE TO ENSURE NO PONDING
WATER ON R/W. SWALE/SHOULDER STABILIZATION ALONG
ASHLAND DRIVE SHALL BE IN ACCORDANCE WITH FDOT
STANDARD SPECIFICATION, LATEST EDITION.

GRADING AND DRAINAGE PLAN

SCALE: 1" = 30' 0 15' 30' 60'

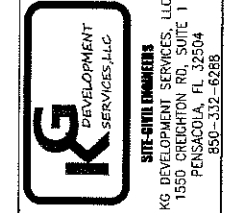


1. ALL WATER DISTRIBUTION AND WASTEWATER COLLECTION/ TRANSMISSION CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE ECUA ENGINEERING MANUAL.
2. CONTRACTOR SHALL NOTIFY THE ECUA INSPECTOR 48 HRS. IN ADVANCE WHEN HIS PRESENCE IS REQUIRED ON SITE.
3. CONTRACTOR SHALL NOTIFY THE ECUA INSPECTOR 72 HRS. IN ADVANCE OF A SCHEDULED SHUTDOWN/TIE-IN AFFECTING CUSTOMER WATER SERVICE. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL CUSTOMERS AFFECTED BY ANY SCHEDULED UTILITY OUTAGE.



UTILITY PLAN

SCALE: 1" = 30' 0 15' 30' 60'



BOBCAT
DEALERSHIP

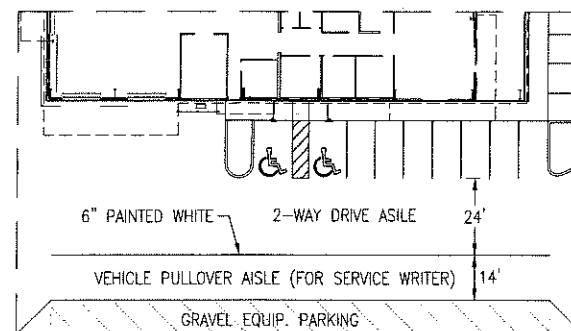
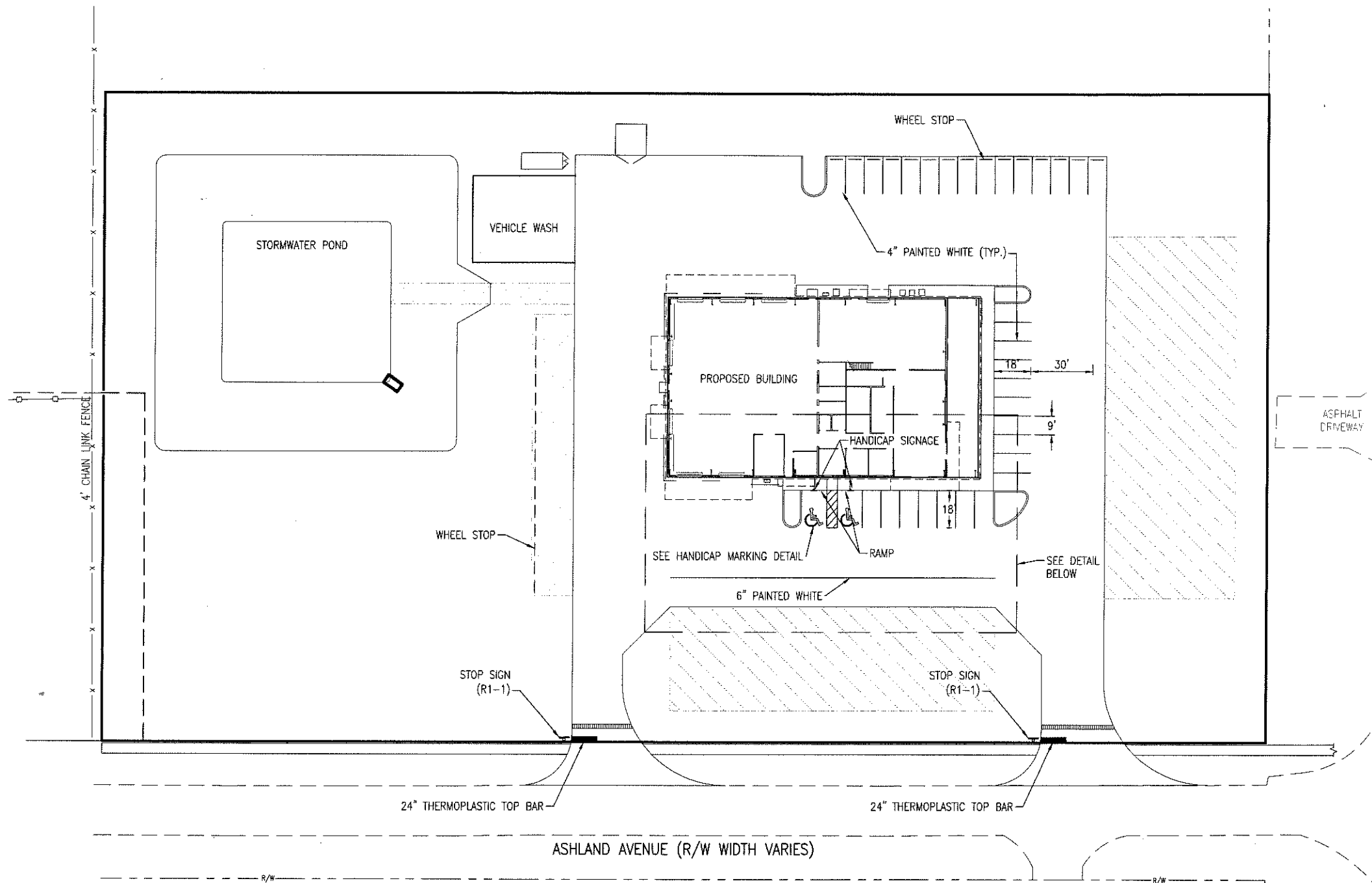
Karla P. Gupta

9/13/01

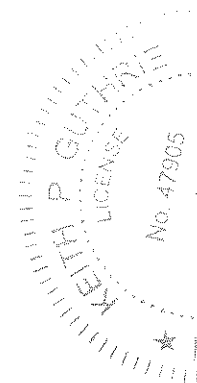
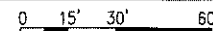
Karla P. Gupta, P.E.
P.E. Reg. Engineer 447905

PROJECT NO: 2101	NO.	DATE	APPR.	REVISION / ACTION TAKEN
DATE: SEPTEMBER 2021				
PROJECT MGR: K GUTHRIE				
SCALE: AS SHOWN				

UTILITY PLAN	NOT RELEASED FOR CONSTRUCTION
C-105	



SIGNING AND STRIPING PLAN
SCALE: 1" = 30'



BOBCAT
DEALERSHIP

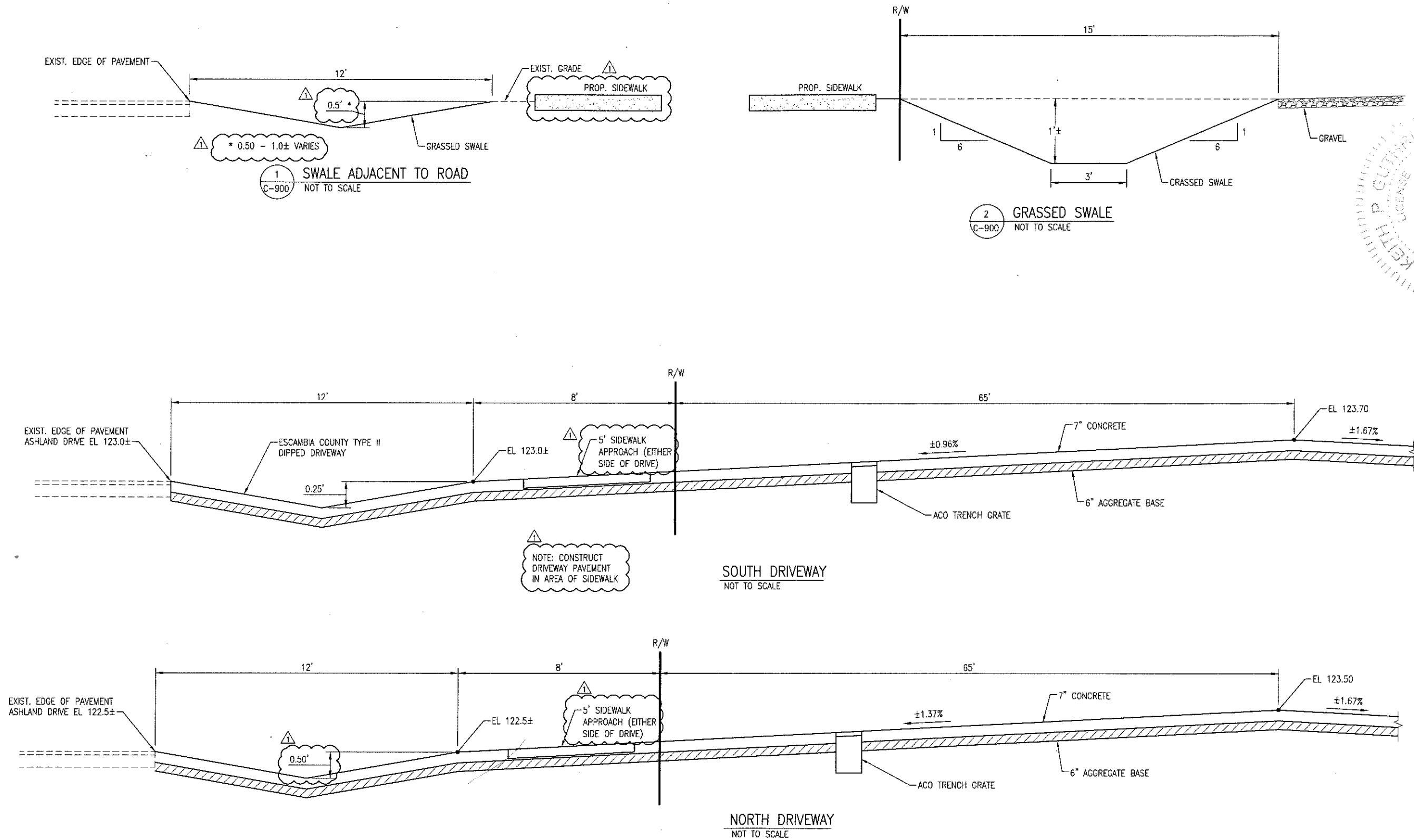
NO.	DATE	APPR.	REVISION	ACTION	TAKEN


PROJECT NO: 2101	DATE: SEPTEMBER 2021	PROJECT MGR: K GUTHRIE	SCALE: AS SHOWN
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SIGNING AND STRIPING PLAN

NOT RELEASED FOR CONSTRUCTION

E:\DWG\KPC\2101 Bobcat\VC-900-901.dwg, Sep 13, 2021





KG DEVELOPMENT SERVICES, LLC
1500 CREIGHTON RD., SUITE 1
PENSACOLA, FL 32504
850-337-0288

STATE OF FLORIDA
KEITH P. GUTHRIE, P.E.
No. 47905
9/13/21

BOBCAT
DEALERSHIP

NO.	DATE	APPR.	REVISION / ACTION TAKEN
1	9/7/21	KPG	GRADING REVISIONS

PROJECT NO: 2101	DATE: SEPTEMBER 2021	PROJECT MGR: K GUTHRIE	SCALE: AS SHOWN
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DETAILS

NOT RELEASED
FOR CONSTRUCTION

C-900



- ALL CONCRETE SHALL BE 3,000 psi MINIMUM
- USE 6"x6" W1.4xW1.4 WWF (CENTER)

4 EMERGENCY OVERFLOW WEIR
C-901 NOT TO SCALE

SAND CHIMNEY 

1. THE CONTRACTOR SHALL ENSURE THAT THE GEOTECHNICAL ENGINEER IS PRESENT DURING THE EXCAVATION AND BACKFILL OF THE SAND CHIMNEY TO ENSURE SUBSURFACE CONDITIONS ARE AS ANTICIPATED FROM THE GEOTECHNICAL REPORT.
2. CONTRACTOR SHALL PROVIDE CURRENT SIEVE ANALYSIS AND PERMEABILITY TEST REPORTS OF THE MATERIAL PROPOSED FOR THE SAND CHIMNEY.
3. SAND CHIMNEY SHALL CONSIST OF CLEAN DURABLE COURSE SAND MATERIAL HAVING MINIMUM VERTICAL PERMEABILITY OF 28 FT. / DAY. SAMPLE OF MATERIAL ALONG WITH VALIDATED TESTING RESULTS SHALL BE SUBMITTED TO ENGINEER PRIOR TO TRANSPORT TO SITE.
4. SAND CHIMNEY SHALL BE KEYED A MINIMUM OF 4 FT INTO PERMEABLE LAYER AS DETERMINED BY GEOTECHNICAL ENGINEER. RECORD FINAL DEPTH OF INSTALLATION.



SAND CHIMNEY DETAIL

NOT TO SCALE



JOHN-PAUL ENGINEERS
KG DEVELOPMENT SERVICES, LLC
1550 CREIGHTON RD, SUITE 1
PENSACOLA, FL 32504
850-332-6288

DEALERSHIP

PROJECT NO: 2101	NO.	DATE	APPR.	REVISION / ACTION TAKEN
DATE: SEPTEMBER 2021	△	9/7/21	KPG	GRADING REVISIONS
PROJECT MGR: K GUTHRIE				
SCALE: AS SHOWN				

DETAILS

**NOT RELEASED
FOR CONSTRUCTION**

C-901

STORMWATER POLLUTION PREVENTION PLAN GENERAL NOTES
& DETAILS FOR SOIL EROSION AND SEDIMENT CONTROL:

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 20 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, MUST BE IMMEDIATELY RECOVERED. TEMPORARY SEEDING, IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
3. PERMANENT VEGETATION TO BE SEEDING OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER GRADING. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
4. ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION, SECTIONS 104, 570, 575 AND 980 TO 986.
5. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL, ACCORDING TO STATE STANDARDS.
6. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).
7. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
8. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
9. UNFILTERED DEWATERING IS NOT PERMITTED. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER.
10. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.
11. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.
13. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE NUMBER 2 (ABOVE).
14. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
15. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.
16. ALL CATCH BASIN INLETS SHALL BE PROTECTED WITH HAY BALES AS SHOWN ON DETAIL.
17. THE CONTRACTOR SHALL PREPARE A PLAN FOR THE PROPER DEWATERING AND DOWNSTREAM SITUATION PROTECTION.
18. ANY AREAS USED FOR THE CONTRACTOR'S STAGING, INCLUDING BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (E.G. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.), SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.
19. THE CONTRACTOR'S MEANS AND METHODS OF GROUNDWATER DEWATERING SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS FOR THE TEMPORARY DIVERSION OF GROUNDWATER AND ITS DISCHARGE, INCLUDING FDOT CHAPTER 62-521 "GENERAL PERMIT FOR THE DISCHARGE OF PRODUCED GROUNDWATER FROM ANY NON-CONTAMINATED SITE ACTIVITY".

* WHERE APPLICABLE

TEMPORARY SEEDING DETAILS

SEED BED PREPARATION

SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS/ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS/ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5. LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE

CONSISTING OF ANNUAL RYE (LOLIUM MULTIFLORUM) AT A RATE OF 174 LBS/ACRE.

PERMANENT SEEDING DETAILS

SEED BED PREPARATION

SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS/ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS/ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5. LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE CONSISTING OF

ARGENTINE BAHIA	RATE	PURITY	GERMINATION
PENSACOLA BAHIA	260 LBS/AC.	95%	80% 40%(MIN.)-80
	260 LBS/AC.	95%	% (TOTAL)

SODDING

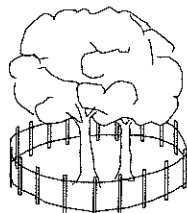
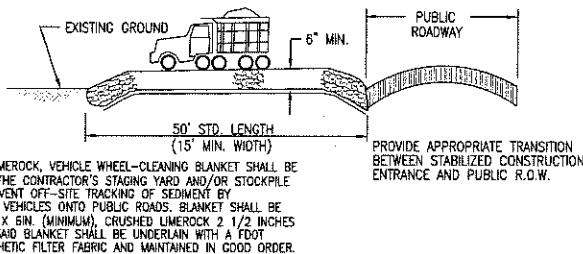
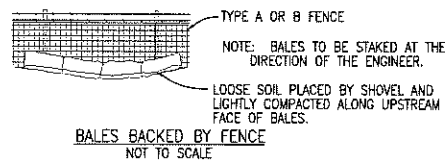
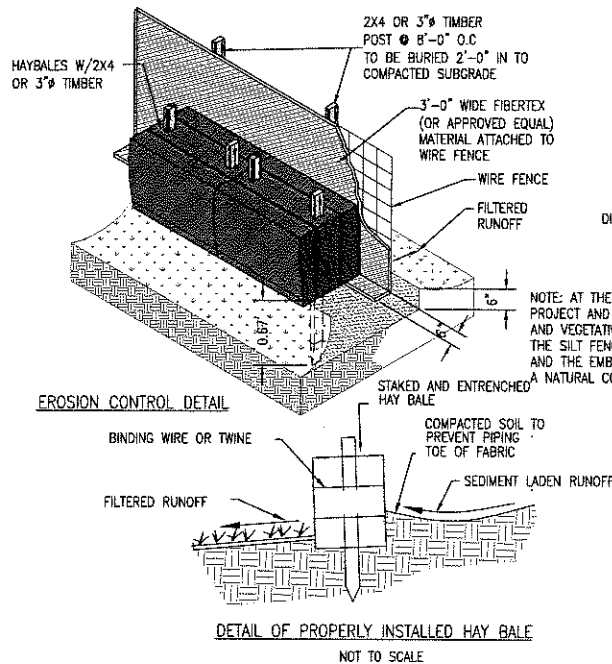
SOD SHALL BE WELL ROOT MATTED COMMERCIAL CUT TO A MINIMUM DIMENSION OF 12" x 24" OR IN A ROLL A MAXIMUM OF 72 HOURS PRIOR TO PLACEMENT. SOD SHALL BE LIVE, FRESH AND UNINJURED, REASONABLY FREE OF WEEDS AND OTHER GRASSES, WITH A HEAVY SOIL MAT ADHERING TO THE ROOT SYSTEM. SOD SHALL BE GROWN, CUT, AND SUPPLIED BY A STATE CERTIFIED GROWER.

TREE PROTECTION

1. DAMAGED TRUNKS OR EXPOSED ROOTS WILL BE PAINTED IMMEDIATELY WITH A QUALITY GRADE OF "TREE PAINT".
2. TREE LIMB REMOVAL, WHERE NECESSARY, WILL BE DONE FLUSH TO TRUNK OR MAIN BRANCH AND THAT AREA PAINTED IMMEDIATELY WITH A QUALITY GRADE OF TREE PAINT.

DUST CONTROL

1. ALL AREAS OF CLEARING AND EMBANKMENT AS WELL AS CONSTRUCTION HAUL ROADS SHALL BE TREATED AND MAINTAINED IN SUCH A MANNER AS TO MINIMIZE ANY DUST GENERATION.
2. DISTURBED AREAS SHALL BE MAINTAINED IN A ROUGH GRADED CONDITION AND TEMPORARILY SEEDING AND/OR MULCHED UNTIL PROPER WEATHER CONDITIONS EXIST FOR THE ESTABLISHMENT OF PERMANENT VEGETATION COVER.
3. IN EVENT OF EMERGENCY CONDITIONS, TILLAGE WILL BE SATISFACTORY FREE BEFORE SOIL BLOWING STARTS.
4. CALCIUM CHLORIDE MAY BE APPLIED TO UNPAVED ROADWAY AREAS, ONLY, SUBJECT TO THE ENGINEER'S APPROVAL AND CONFORMANCE WITH FDOT STANDARD SPECIFICATIONS, SECTION 102-5, LATEST EDITION.

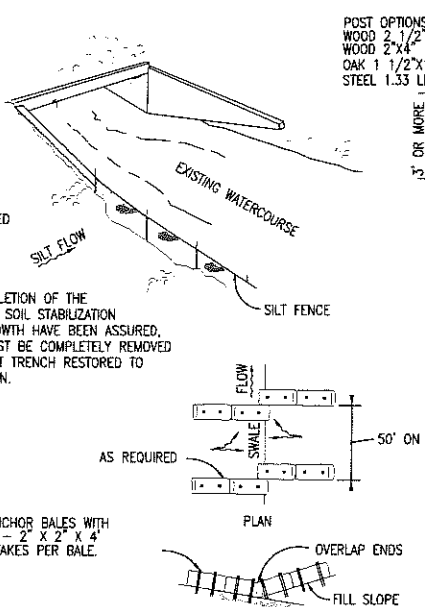


DESCRIPTION:
FILTER BAGS WILL BE USED AS AN EFFECTIVE FILTER MEDIUM TO CONTAIN SAND, SILT AND FINES WHEN TRENCH DEWATERING. THE WETLAND FILTER BAG CONTAINS THESE MATERIALS WHILE ALLOWING THE WATER TO FLOW THROUGH THE FABRIC.

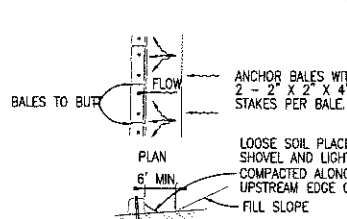
INSTALLATION:
WETLAND FILTER BAGS MAY REPLACE HAY BALE CORRELS DURING TRENCH DEWATERING. AT THE DISCRETION OF THE ENGINEER INSPECTOR, TO INSURE PROPER INSTALLATION, FILTER BAGS WILL BE PLACED ON RELATIVELY FLAT TERRAIN FREE OF BRUSH AND STUMPS TO AVOID RUPTURES AND PUNCTURES. PROPER INSTALLATION REQUIRES CUTTING A SMALL HOLE IN THE CORNER OF THE BAG, INSERTING THE PUMP DISCHARGE HOSE, AND THEN SECURING THE DISCHARGE HOSE TO THE BAG WITH A HOSE CLAMP. FILTER BAGS WILL BE PLACED AS FAR AWAY FROM FLOWING STREAMS AND WETLANDS AS POSSIBLE.

MAINTENANCE:
PRIOR TO REMOVING A BAG FROM THE HOSE, THE BAG WILL BE TIED OFF BELOW THE END OF THE HOSE ALLOWING THE BAG TO DRAIN. DISCHARGE WILL NOT BE ALLOWED THROUGH THE INLET HOLE. TO AVOID RUPTURE, THE BAGS WILL BE ATTENDED AND PUMPING RATES MONITORED. ONCE THE BAG IS INFLATED TO A HEIGHT OF 4 FEET, PUMPING WILL STOP TO AVOID RUPTURE. FILTER BAGS USED DURING CONSTRUCTION WILL BE BUNDLED AND REMOVED FOR PROPER DISPOSAL.

SPECIFICATION:
FILTER BAGS ARE CONSTRUCTED OF NON-WOVEN GEOTEXTILE FABRIC. A MAXIMUM OF ONE SIX INCH DISCHARGE HOSE WILL BE ALLOWED PER FILTER BAG. BAG CAPACITY WILL BE EXCEEDED BEYOND 2,000 GALLONS PER MINUTE. TYPICAL BAG DIMENSIONS ARE 15 FEET BY 13.25 FEET. TO HELP PREVENT PUNCTURES, GEOTEXTILE FABRIC WILL BE PLACED BENEATH THE FILTER BAG WHEN USED IN WOODED LOCATIONS. UNATTENDED FILTER BAGS WILL BE ENCLOSED WITH A HAY BALE OR SILT FENCE CORRAL. HOSE CLAMPS WILL BE USED TO SECURE THE DISCHARGE HOSE, WIRE OR STRING WILL NOT BE USED.



NOTES FOR SILT FENCES



ANCHOR LOWER BALES WITH 2 - 2" X 2" X 4' STAKES PER BALE.

ANCHOR TOP BALES TO LOWER BALES WITH 2 - 2" X 2" X 4' STAKES PER BALE.

ANCHOR LOWER BALES WITH 2 - 2" X 2" X 4' STAKES PER BALE.

ANCHOR TOP BALES TO LOWER BALES WITH 2 - 2" X 2" X 4' STAKES PER BALE.

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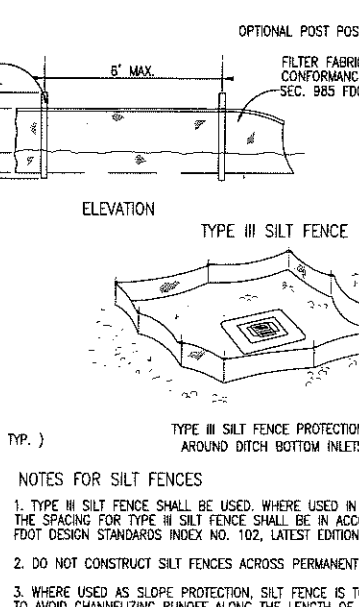
ANCHOR LOWER BALES WITH 2 - 2" X 2" X 4' STAKES PER BALE.

ANCHOR TOP BALES TO LOWER BALES WITH 2 - 2" X 2" X 4' STAKES PER BALE.

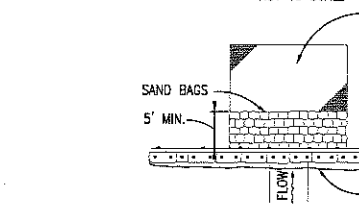
ANCHOR LOWER BALES WITH 2 - 2" X 2" X 4' STAKES PER BALE.

ANCHOR TOP BALES TO LOWER BALES WITH 2 - 2" X 2" X 4' STAKES PER BALE.

ANCHOR LOWER BALES WITH 2 - 2" X 2" X 4' STAKES PER BALE.



NOTES FOR SILT FENCES



ANCHOR LOWER BALES WITH 2 - 2" X 2" X 4' STAKES PER BALE.

ANCHOR TOP BALES TO LOWER BALES WITH 2 - 2" X 2" X 4' STAKES PER BALE.

ANCHOR LOWER BALES WITH 2 - 2" X 2" X 4' STAKES PER BALE.

ANCHOR TOP BALES TO LOWER BALES WITH 2 - 2" X 2" X 4' STAKES PER BALE.

ANCHOR LOWER BALES WITH 2 - 2" X 2" X 4' STAKES PER BALE.

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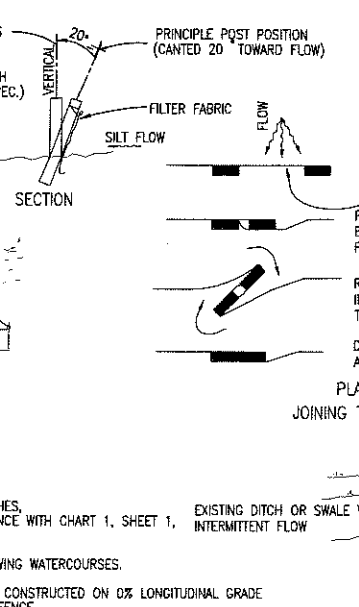
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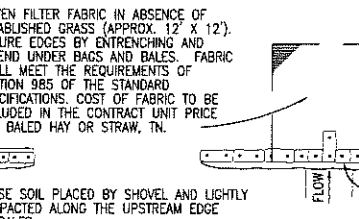
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NOTES FOR SILT FENCES



ANCHOR LOWER BALES WITH 2 - 2" X 2" X 4' STAKES PER BALE.

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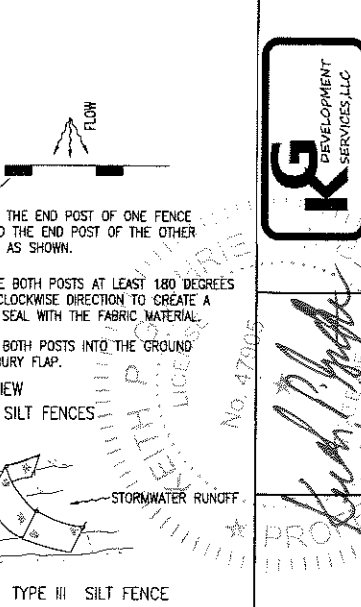
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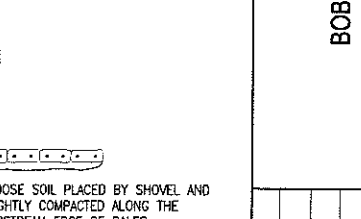
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NOTES FOR SILT FENCES



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REVISION / ACTION TAKEN

APPR.

DATE

NO.

PROJECT NO: 2101

DATE: SEPTEMBER 2021

PROJECT MGR: K GUTHRIE

SCALE: AS SHOWN

STORMWATER POLLUTION

PREVENTION PLAN

DETAILS

NOT RELEASED

FOR CONSTRUCTION

C-902

REVISION / ACTION TAKEN

APPR.

DATE

NO.

PROJECT NO: 2101

DATE: SEPTEMBER 2021

PROJECT MGR: K GUTHRIE

SCALE: AS SHOWN

STORMWATER POLLUTION

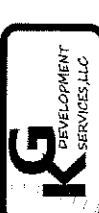
PREVENTION PLAN

DETAILS

NOT RELEASED

FOR CONSTRUCTION

C-902



K&G DEVELOPMENT SERVICES, LLC
1550 CREIGHTON RD, SUITE 1
PENSACOLA, FL 32504
850-332-6288

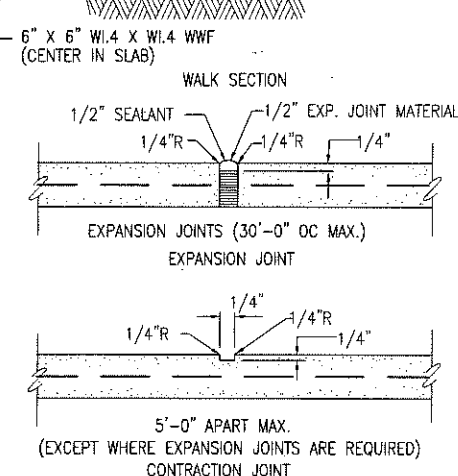
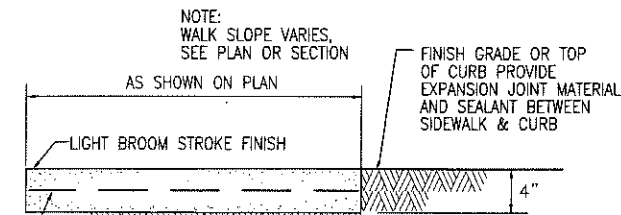
PROFESSIONAL ENGINEER
K. GUTHRIE
FL REG. ENGINEER #7905

BOBCAT
DEALERSHIP

STORMWATER POLLUTION
PREVENTION PLAN
DETAILS

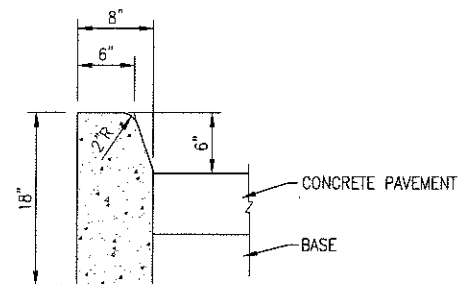
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FOR CONSTRUCTION

C-902



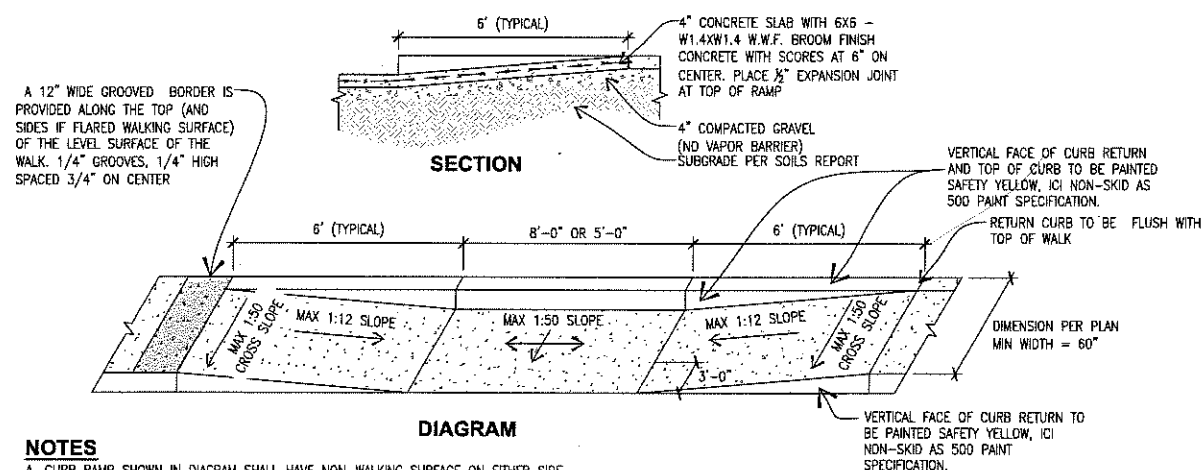
TYPICAL CONCRETE SIDEWALK DETAILS

NOT TO SCALE



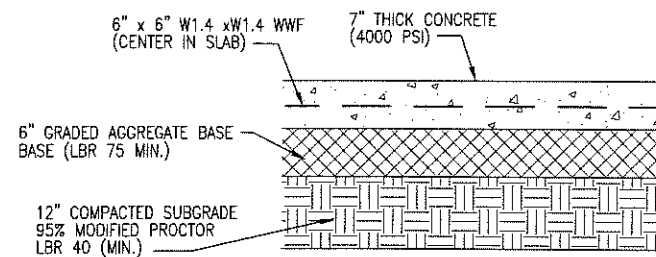
FDOT TYPE D CURB

NOT TO SCALE



ACCESSIBLE CURB RAMP

NOT TO SCALE

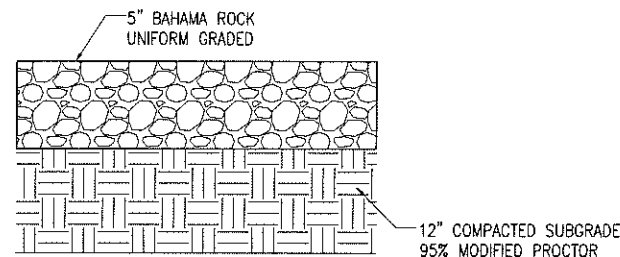


TYPICAL CONCRETE PAVEMENT SECTION

NOT TO SCALE

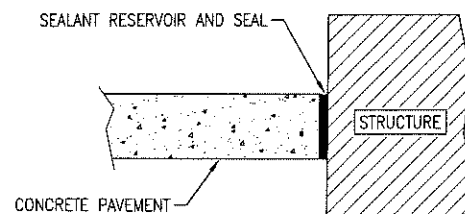
NOTES:

1. INSTALL ISOLATION JOINTS AT PAVEMENT/CURB/SIDEWALK/DRAINAGE STRUCTURE INTERFACES.
2. 1/2"D x 3/8"W SAW CUT JOINT SPACING 15' MAX.
3. JOINT SEALER SHALL BE EUCOLASTIC URETHANE SEALANT OR APPROVED EQUAL.



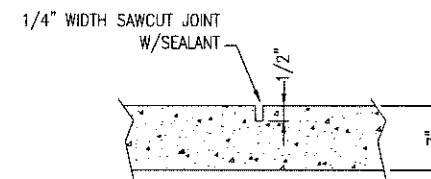
GRAVEL YARD

NOT TO SCALE



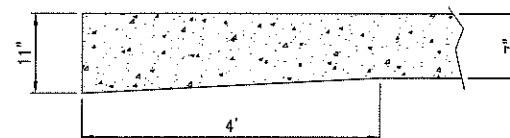
ISOLATION JOINT

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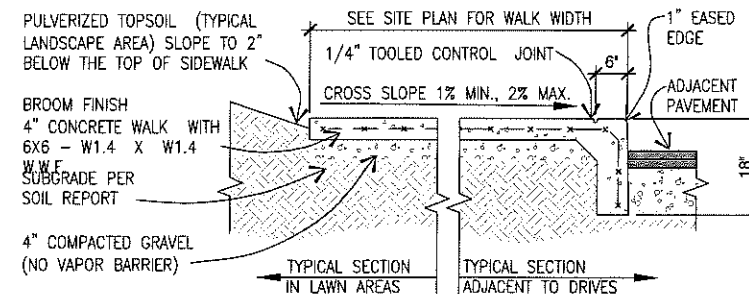
CONTRACTION JOINT

NOT TO SCALE



THICKENED EDGE

NOT TO SCALE

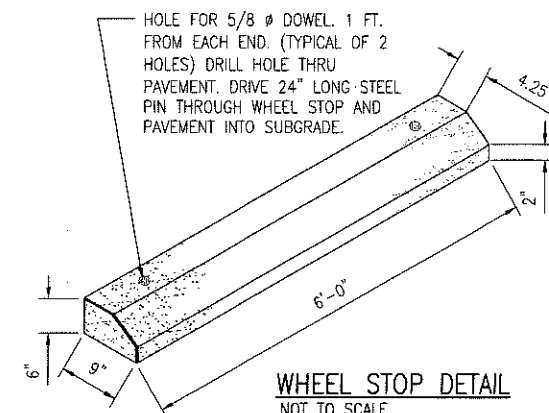


NOTES

1. 3/8" SAWCUT OR 1/4" TOOLED CONTROL JOINTS AT 6'-0" O.C.
2. PLACE PRE-FORMED 1/2" EXPANSION JOINT 30' O.C. ALONG ENTIRE LENGTH
3. 1/2" PRE-FORMED EXPANSION JOINT SHALL BE INSTALLED AT ALL INTERSECTIONS OF BUILDING, WALKS, AND ANY OTHER FIXED STRUCTURE.
4. CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI

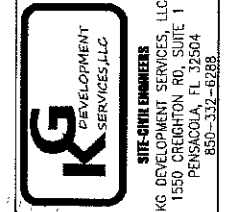
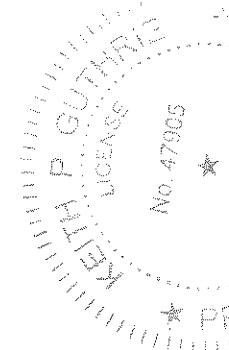
CONCRETE SIDEWALK

NOT TO SCALE



NOTES:

1. ALL CONTRACTION JOINTS MAX. SPACING SHALL BE 15'.
2. ALL TRANSVERSE JOINTS SHALL BE PERPENDICULAR TO LONGITUDINAL JOINTS. ALL LONGITUDINAL JOINTS SHALL BE PARALLEL.
3. NO CONTRACTION JOINTS ARE ALLOWED ALONG THE PAVEMENT FLOW LINE DEPICTED ON THE DRAWINGS.
4. THICKENED EDGES ARE REQUIRED AT ALL OUTSIDE EDGES OF PAVEMENT AND AT EACH CONSTRUCTION JOINT LOCATION.
5. CONTRACTION JOINTS SHALL BE INSTALLED IN ALL CURBING ALIGNING WITH PAVEMENT JOINTS.
6. INSTALL 3/8" TIE BARS - 24" LENGTH - 18" O.C. ALONG EXTERIOR PANELS CREATED BY JOINT PATTERN.
7. 3/4" DOWEL BARS - 14" LONG SHALL BE INSTALLED AT COLD JOINTS 18" O.C.



STATE OF FLORIDA
KEITH P. GUTHRIE
No. 47905
Professional Engineer
9/13/21
KERN P. BURRE, P.E.
FL Reg. Engineer #47905

BOBCAT
DEALERSHIP

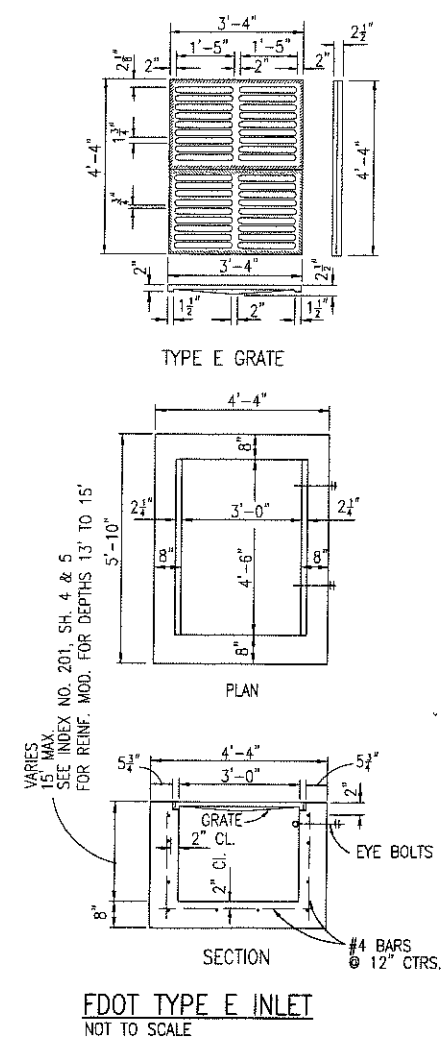
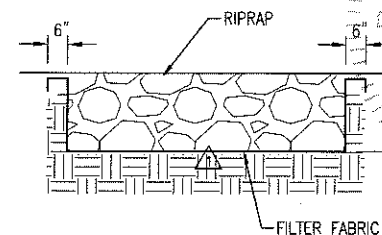
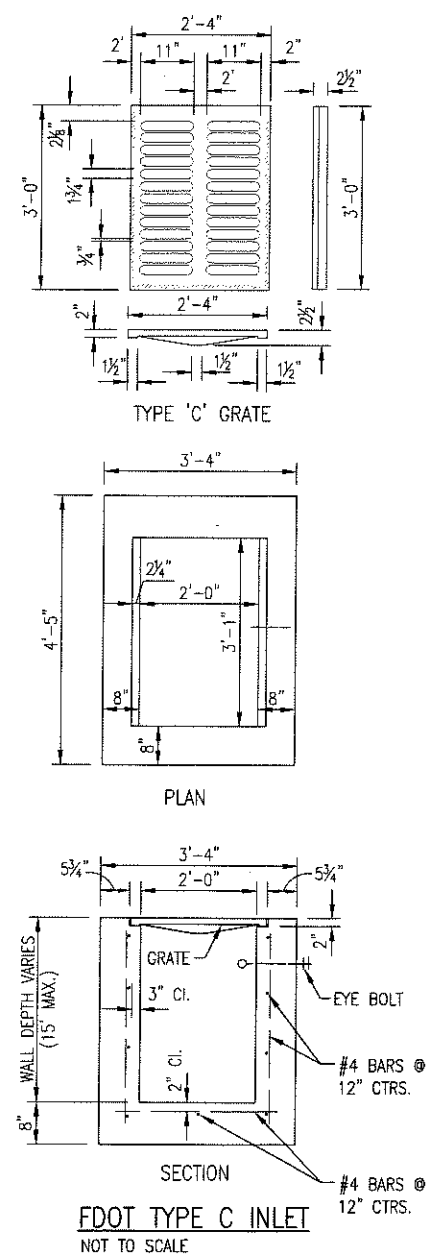
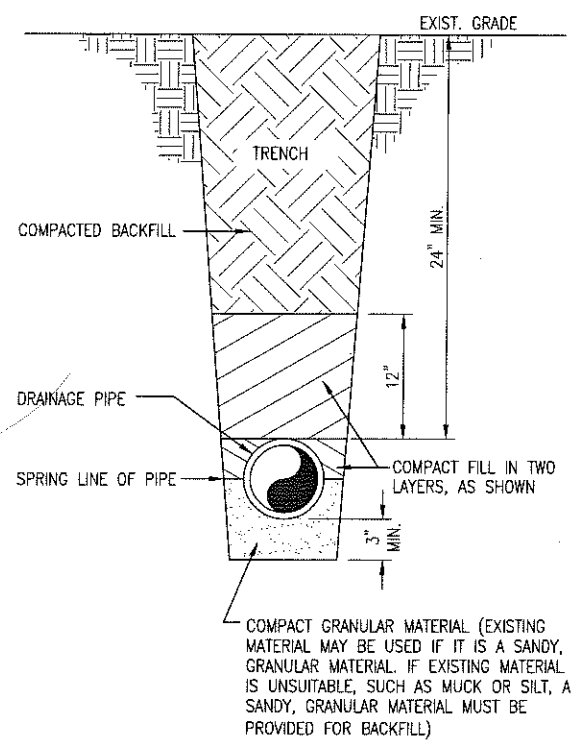
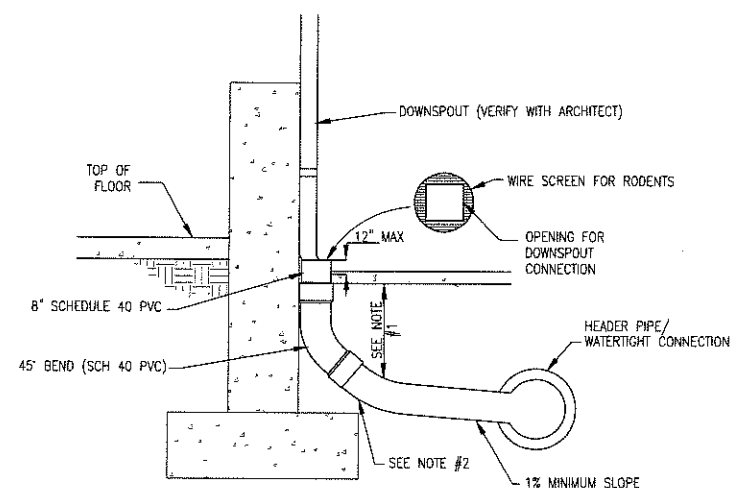
NO. DATE APPR. REVISION / ACTION TAKEN

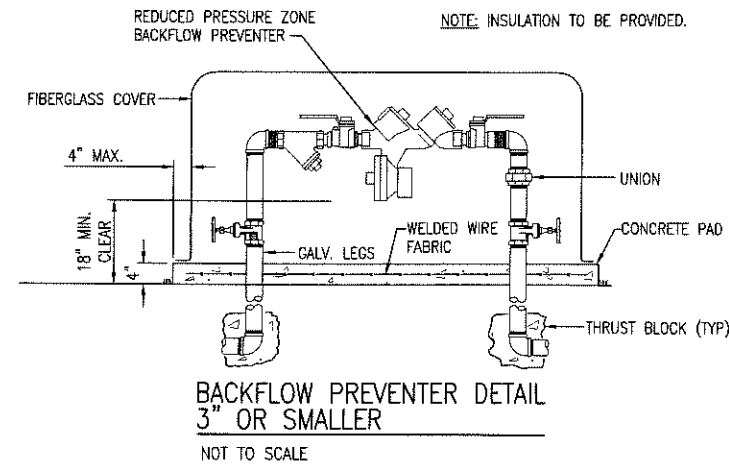
PROJECT NO: 2101
DATE: SEPTEMBER 2021
PROJECT MGR: K GUTHRIE
SCALE: AS SHOWN

DETAILS

NOT RELEASED
FOR CONSTRUCTION


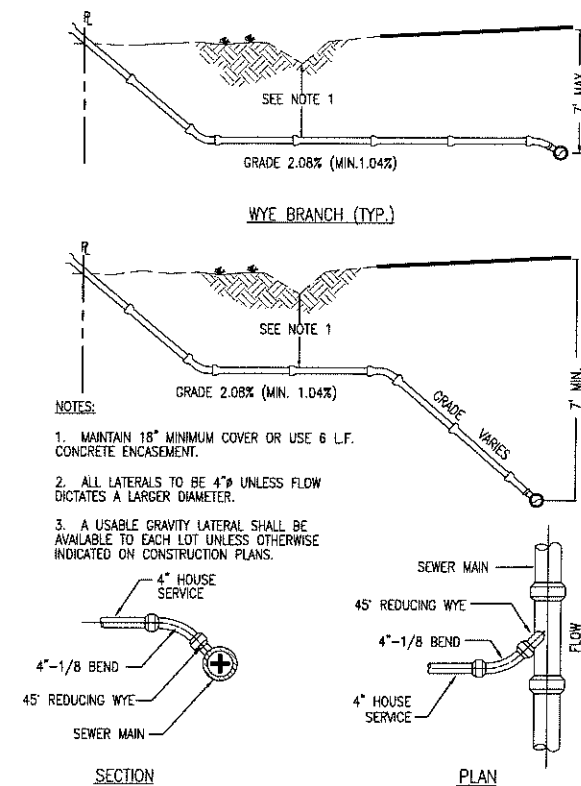
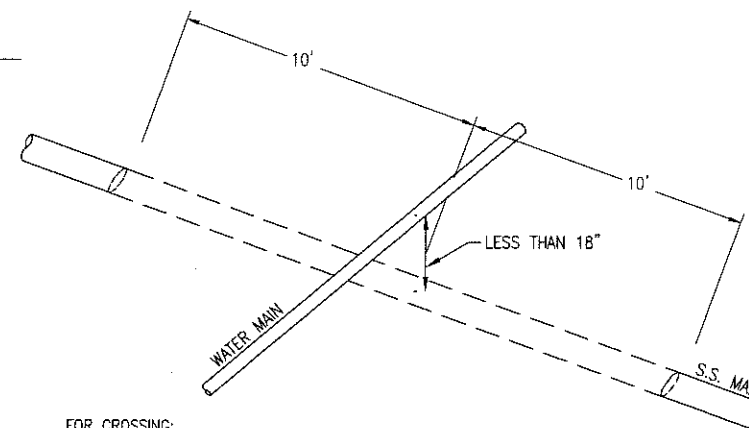
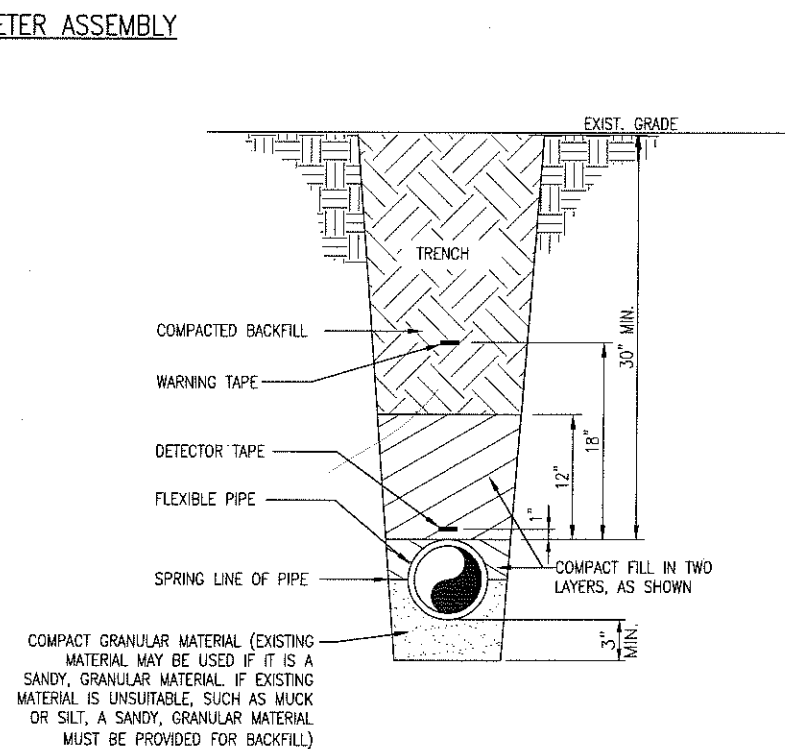
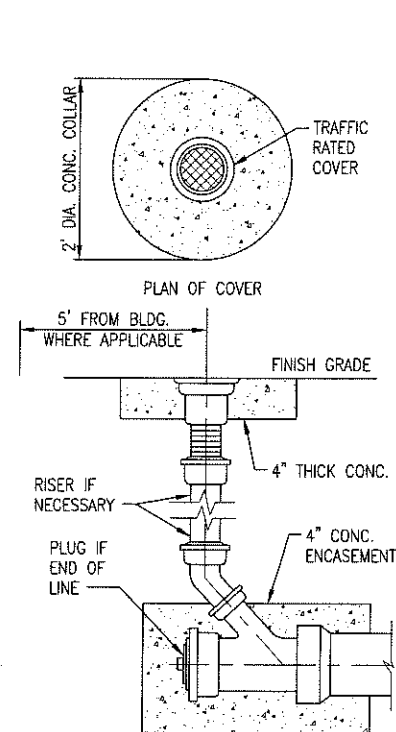
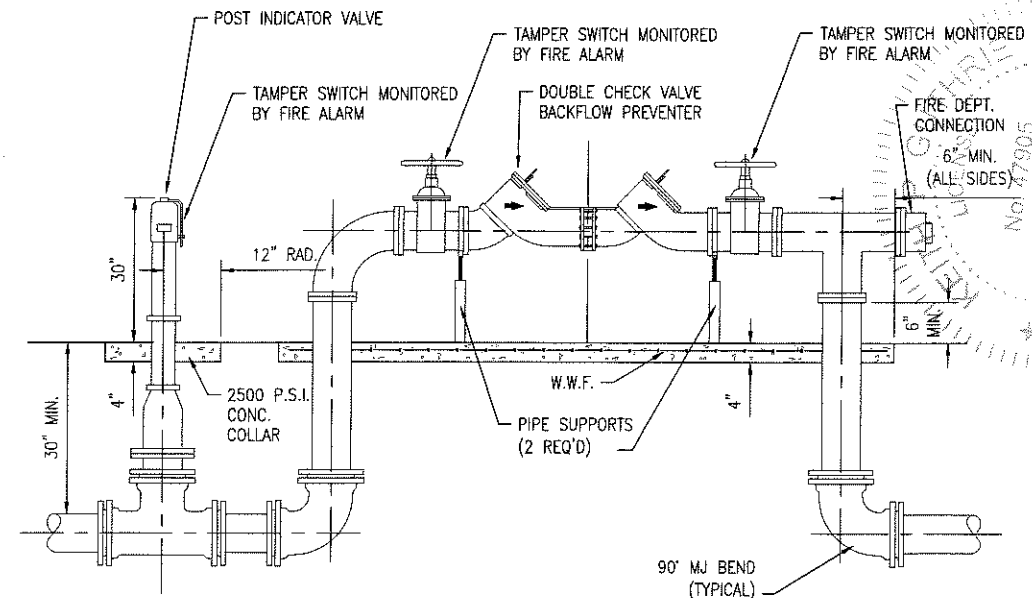
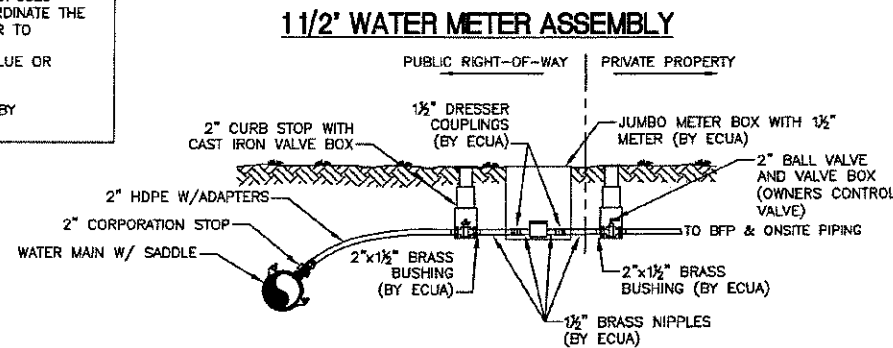
C-903





- GENERAL NOTES:
- SERVICE LINES TO BE TERMINATED WITHIN 2 FEET OF THE R/W LINE BUT NOT UNDER ANY TYPE OF PAVEMENT.
 - ALL WATER SERVICES SHALL BE INSTALLED 1 FOOT OFF THE COMMON PROPERTY LINE, ON THE OPPOSITE PROPERTY LINE FROM THE PROPOSED ELECTRICAL TRANSFORMERS. THE OWNER/DEVELOPER SHALL COORDINATE THE LOCATION OF THE WATER METER WITH THE POWER COMPANY PRIOR TO INSTALLATION.
 - CASING SHALL BE PVC OR HDPE AND SHALL BE COLOR CODED BLUE OR BLACK WITH BLUE STRIPING.
 - ALL METER BOXES AND PLUMBING SHALL BE INSTALLED BY THE OWNER/DEVELOPER. ALL METERS SHALL BE INSTALLED BY ECUA BY CONNECTING METER TO CURB-STOP.

RECOMMENDED TUBING SIZES FOR WATER SERVICES			
SIZE OF METER	DESIGN FLOW (GPM)	MAX. LENGTH OF TUBING FOR SIZE INDICATED	
		1"	2"
3/4"	20	92	2679
1"	50	17	492
1 1/2"	100		136
SIZE OF CASING (LONG SERVICE ONLY)		2"	4"



K&G
DEVELOPMENT
SERVICES, LLC

STEELE CIVIL ENGINEERS
K&G DEVELOPMENT SERVICES, LLC
1550 CRIGHTON RD, SUITE 1
PENSACOLA, FL 32504
850-332-6288

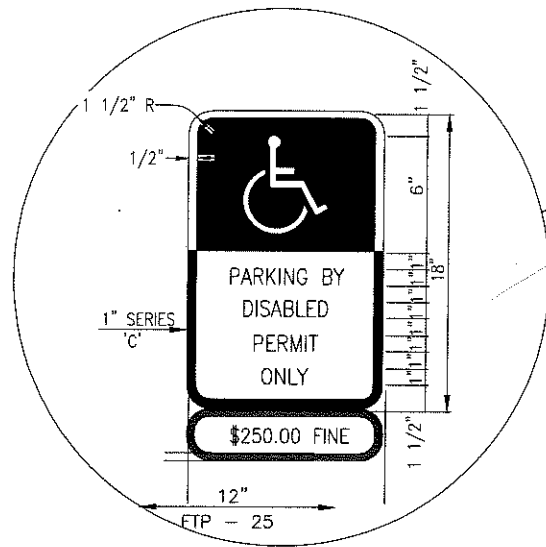
9/13/21
KEITH P. SUPRIE, P.E.
FL Reg. Engineer #47905

**BOBCAT
DEALERSHIP**

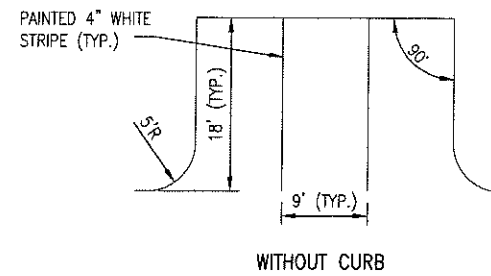
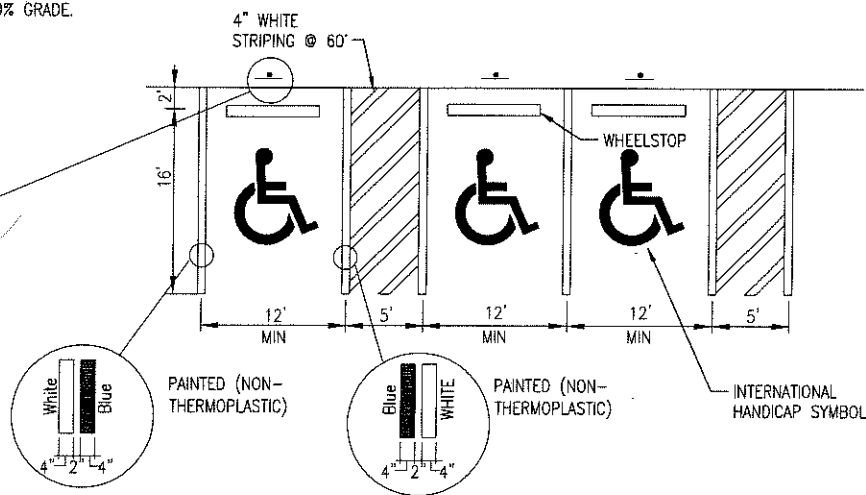
PROJECT NO: 2101	NO.	DATE	APPR.	REVISION / ACTION TAKEN
DATE: SEPTEMBER 2021				
PROJECT MGR: K GUTHRIE				
SCALE: AS SHOWN				

C-905	DETAILS	NOT RELEASED FOR CONSTRUCTION
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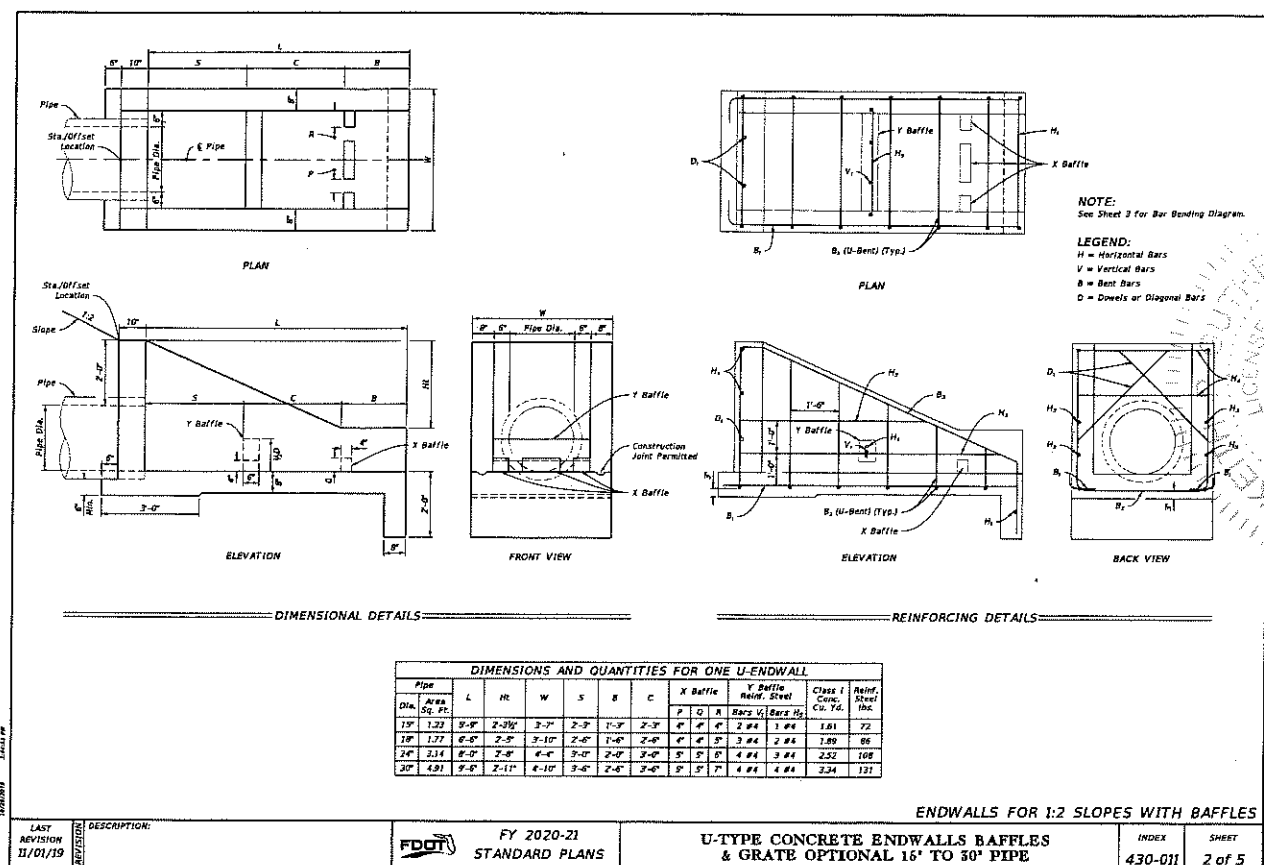
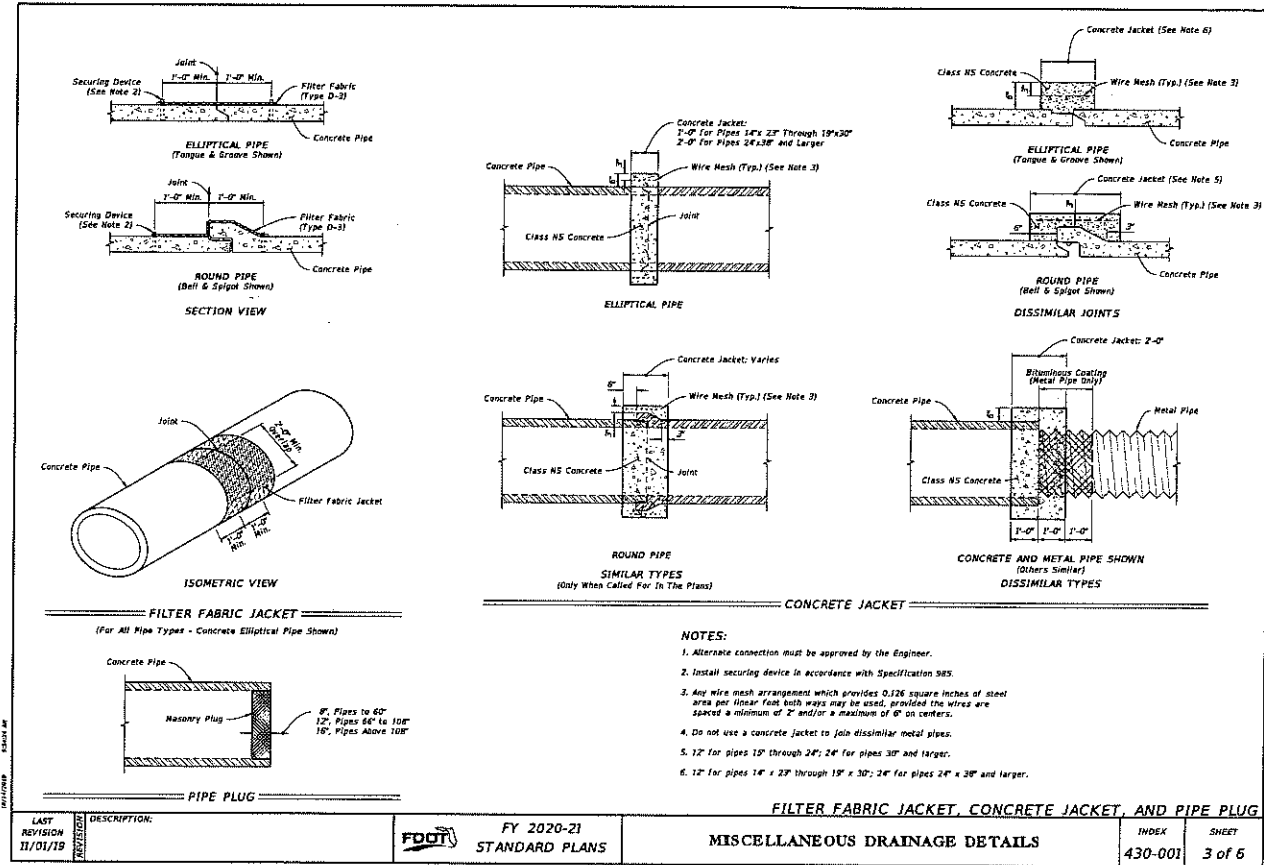
- NOTES:
1. TOP PORTION OF FTP 25 & 26 SHALL HAVE A REFLECTIVE BLUE BACKGROUND WITH WHITE REFLECTIVE SYMBOL AND BORDER.
 2. BOTTOM PORTION SHALL HAVE A REFLECTIVE WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.
 3. FTP 25 & 26 MAY BE FABRICATED ON ONE PANEL OR TWO.
 4. FTP 25 MAY BE SUBSTITUTED FOR THE FTP 26 IN AREAS WHERE SPACE IS LIMITED.
 5. SIGNS ARE TO BE MOUNTED AT STANDARD HEIGHT. (7' FROM PAVEMENT TO BOTTOM OF SIGN).



- NOTES:
1. EACH SUCH PARKING SPACE SHALL BE CONSPICUOUSLY OUTLINED IN BLUE PAINT, AND SHALL BE POSTED AND MAINTAINED WITH A PERMANENT, ABOVE-GRADE SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY OR THE CAPTION "PARKING BY DISABLED PERMIT ONLY," OR BEARING BOTH SUCH SYMBOL AND CAPTION. SUCH SIGNS SHALL NOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE.
 2. ALL HANDICAPPED PARKING SPACES MUST BE SIGNED AND MARKED IN ACCORDANCE WITH THE STANDARDS ADOPTED BY THE DEPARTMENT OF TRANSPORTATION. CONTRACTOR SHALL INSURE THAT ALL HANDICAPPED PARKING AREAS SHALL HAVE A MAXIMUM FINISHED SLOPE OF 2.0% IN ANY DIRECTION. ACCESS ISLES SHALL HAVE A MAXIMUM CROSS-SLOPE OF 2.0% AND LESS THAN 5.0% GRADE.



DETAILS	PROJECT NO: 2101	REVISION / ACTION TAKEN	BOBCAT DEALERSHIP	 KEITH P. GUTHRIE LICENSE No. 47905 FL Reg. Engineer #47905	 KG DEVELOPMENT SERVICES, LLC 1550 CREIGHTON RD., SUITE 1 PENSACOLA, FL 32504 850-332-6288
	DATE: SEPTEMBER 2021				
NOT RELEASED FOR CONSTRUCTION	PROJECT MGR: K GUTHRIE				
	SCALE: AS SHOWN				
C-906					



REFER TO INDEX 430.011 FOR FULL DETAILS

PROJECT NO: 2101

DATE: SEPTEMBER 2021

PROJECT MGR: K GUTHRIE

SCALE: AS SHOWN

FDOT DETAILS

NOT RELEASED FOR CONSTRUCTION

NO. DATE APPR. REVISION / ACTION TAKEN

BOBCAT DEALERSHIP

REVISIONS

9/13/21

NO. 47905

PROPOSED

KG DEVELOPMENT SERVICES, LLC

SITE CIVIL ENGINEERS

KC DEVELOPMENT SERVICES, LLC

1550 CREIGHTON RD, SUITE 1

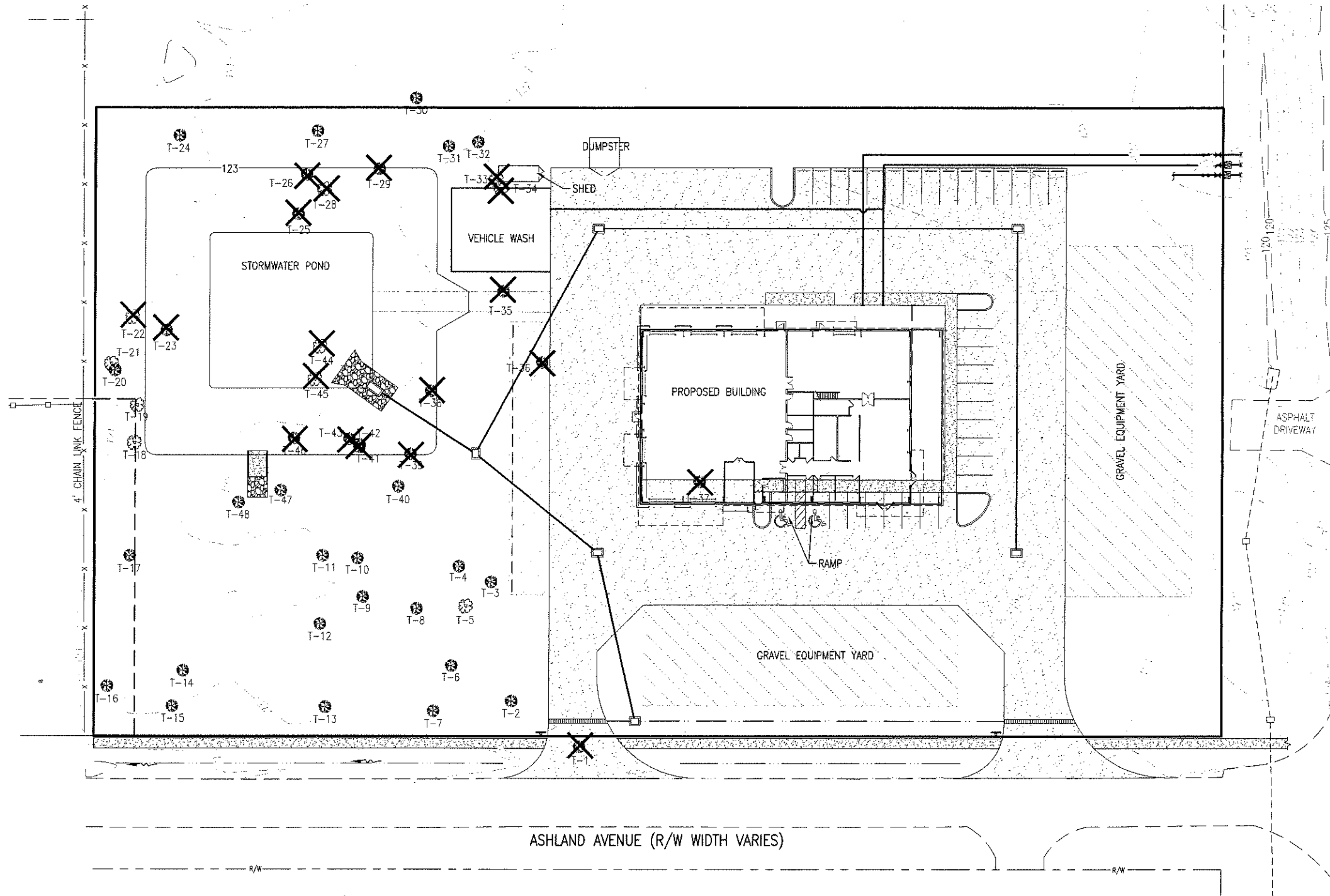
PENSACOLA, FL 32504

850-332-6288

FL Reg. Engineer #47905

KATH P. GUTHRIE P.E.

C-907

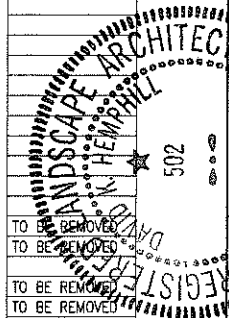


TREE REMOVAL PLAN

SCALE: 1" = 30' 0 15' 30' 60'



TREE TABLE				
TREE NO.:	DIAMETER	TYPE	CANOPY	
T-1	48"	OAK	45'	TO BE REMOVED
T-2	37"	OAK	35'	TO BE REMOVED
T-3	24"	OAK	30'	TO BE REMOVED
T-4	24"	OAK	30'	TO BE REMOVED
T-5	10"	MAGNOLIA	25'	
T-6	24"	OAK	30'	
T-7	22"	OAK	32'	
T-8	22"	OAK	32'	
T-9	26"	OAK	34'	
T-10	18"	OAK	20'	
T-11	18"	OAK	35'	
T-12	18"	OAK	20'	
T-13	18"	OAK	20'	
T-14	32"	OAK	45'	
T-15	18"	OAK	35'	
T-16	32"	OAK	45'	
T-17	18"	OAK	23'	
T-18	10"	MAGNOLIA	25'	
T-19	10"	MAGNOLIA	25'	
T-20	23"	OAK	34'	
T-21	10"	MAGNOLIA	24'	
T-22	10"	MAGNOLIA	24'	
T-23	22"	OAK	29'	
T-24	26"	OAK	45'	
T-25	32"	OAK	45'	
T-26	24"	OAK	30'	
T-27	26"	OAK	45'	
T-28	10"	MAGNOLIA	25'	
T-29	28"	OAK	45'	
T-30	26"	OAK	36'	
T-31	26"	OAK	36'	
T-32	20"	OAK	34'	
T-33	12"	MAGNOLIA	25'	
T-34	10"	MAGNOLIA	25'	
T-35	20"	OAK	34'	
T-36	20"	OAK	34'	
T-37	46"	OAK	45'	
T-38	23"	OAK	45'	
T-39	24"	TWIN OAK	45'	
T-40	26"	OAK	34'	
T-41	24"	TWIN OAK	45'	
T-42	18"	OAK	32'	
T-43	28"	OAK	45'	
T-44	13"	MAGNOLIA	25'	
T-45	13"	MAGNOLIA	25'	
T-46	18"	OAK	25'	
T-47	18"	OAK	23'	
T-48	18"	OAK	23'	



PROJECT NO: 2101

DATE: SEPTEMBER 2021

PROJECT MGR: K GUTHRIE

SCALE: AS SHOWN

TREE REMOVAL PLAN

NOT RELEASED FOR CONSTRUCTION

NO.

DATE

APPR.

REVISION / ACTION TAKEN

BOBCAT DEALERSHIP

LANDSCAPE ARCHITECT

STATE OF FLORIDA

REGISTERED PROFESSIONAL LANDSCAPER

DAVID K. HEPHILL

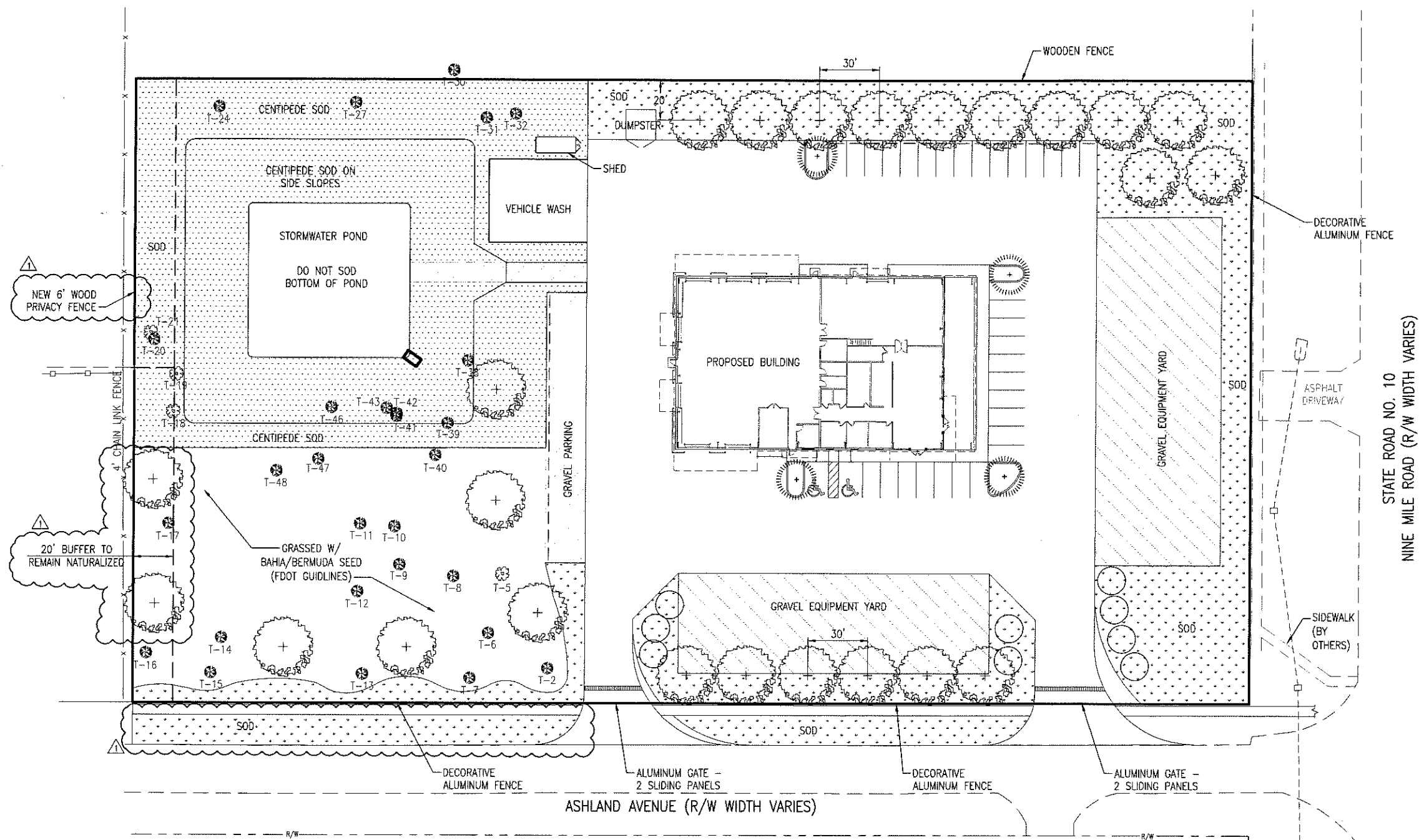
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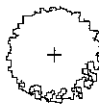






KG DEVELOPMENT SERVICES, LLC

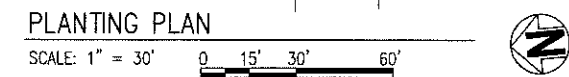
1350 CROFTON RD., SUITE 1

PENACOLA, FL 32504

959-332-9288



PLANT LIST					
SYM	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOTS
		LIVE OAK	Quercus virginiana	14'-16'	3" CAL.
	4	CRAPE MYRTLE	Lagerstroemia indica	9'	2 1/2" CAL.
	9	CHASTE TREE	Vitex agnus-castus	7'	
		ZOYSIA SOD	Zoysia		
	24	GULF MUHLYGRASS	Muhlenbergia capillaris	3 GAL.	UNDER CRAPE MYRTLE TREES
		CENTIPEDE SOD			




TREE REPLACEMENT RATION PER ARTICLE 2 - LANDSCAPING PARAGRAPH 2-5.2

TREE CALIPER REMOVAL = 471 INCHES

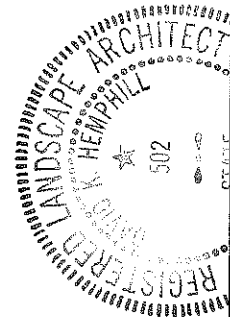
REQUIRED REPLACEMENT = 236 INCHES = $\frac{236}{3} = 79$ (3") CALIPER TREES SHALL BE PLANTED.

MAX. REPLACEMENT LIMIT = 25 CALIPER INCHES/ACRE = $4.01 \times 25 = 100.25 / 2.5 = 40$ TREES SHALL BE PLANTED.

(TREE FUND = \$360/2.5 INCH CALIPER TREE FOR EACH TREE NOT PLANTED)

 37 TREES TO BE PLANTED

3 TREES TO BE PAID INTO THE TREE FUND



KG DEVELOPMENT SERVICES, LLC
1550 CRENSHAW RD., SUITE 1
PENSACOLA, FL 32504
904-332-6286

DAVID K. HEMPHILL
FLORIDA
No. 502
Landscape Architect

BOBCAT
DEALERSHIP

NO. DATE APPR. REVISION / ACTION TAKEN
9/7/21 DKH

PROJECT NO: 2101

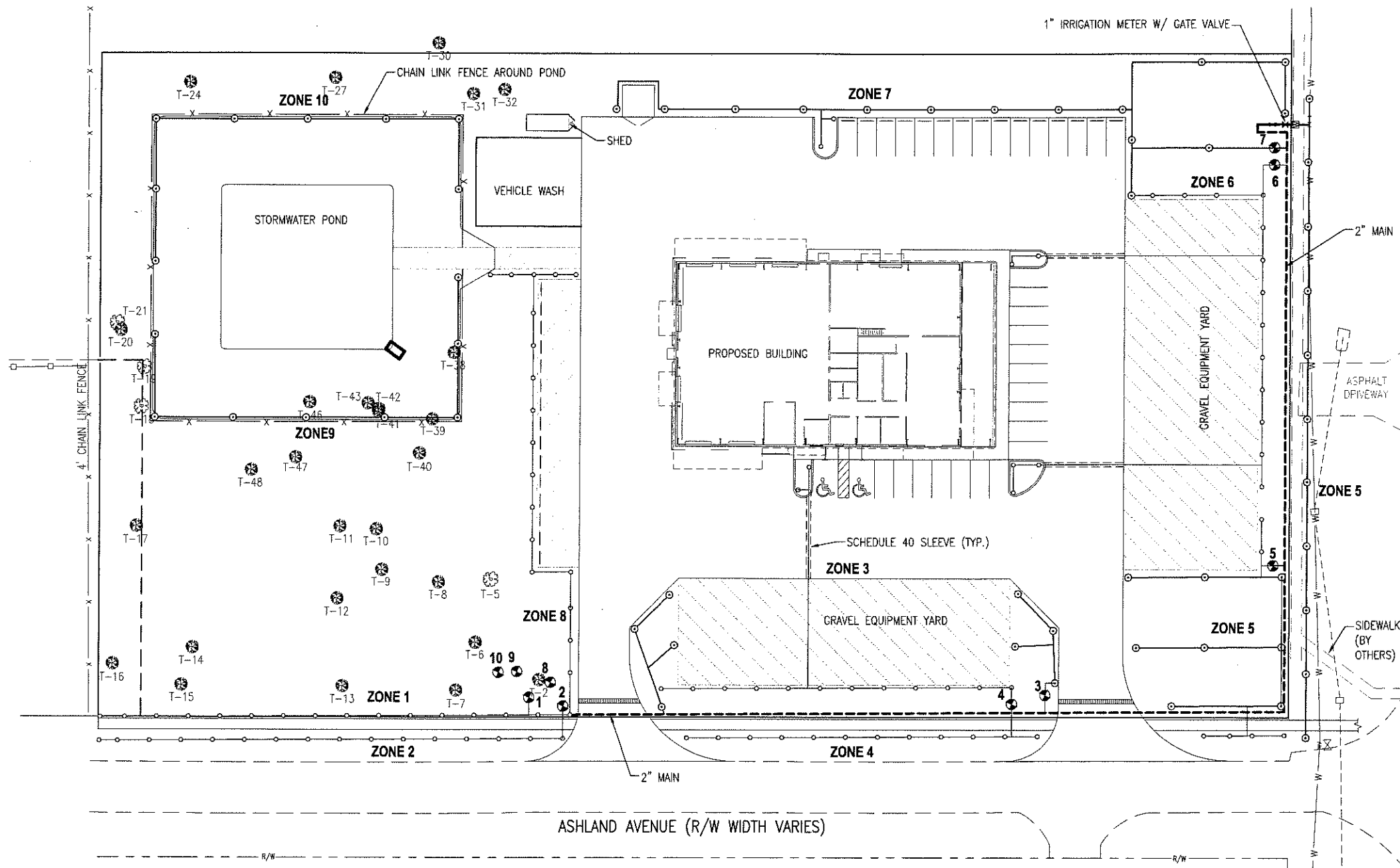
DATE: SEPTEMBER 2021

PROJECT MGR: K GUTHRIE

SCALE: AS SHOWN

PLANTING PLAN

NOT RELEASED
FOR CONSTRUCTION



IRRIGATION PLAN

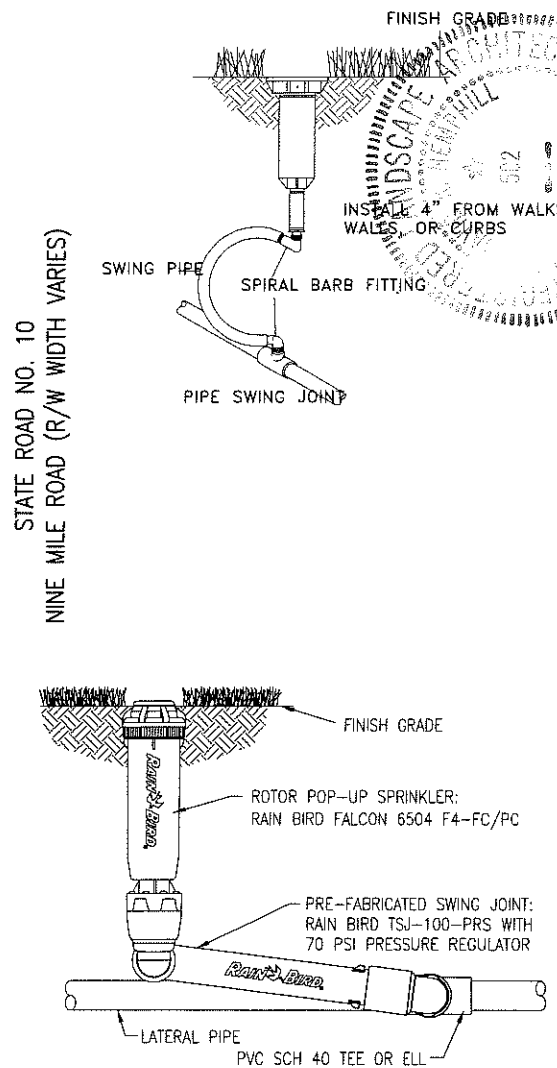
SCALE: 1" = 30' 0 15' 30' 60'



IRRIGATION SCHEDULE					
QUANTITY	SYMBOL	MNFT	DESCRIPTION	MODEL NO.	COMMENTS
			WATTS BACKFLOW PREVENTER	007M1QT	
-		RAINBIRD	POP-UP SPRAY HEAD	6" 570 R 13	INSTALL W/ FUNNY PIPE
14		RAINBIRD	ELEC. SOLENOID VALVE W / BRASS GATE VALVE	150-PEB	INSTALL IN AMETEK BOX
4			ISOLATION GATE VALVE	SAME SIZE AS PIPE	BRONZE, IN AMETEK BOX
			SDR21 - PVC LATERAL	SCH. 40 SLEEVES FOR ROADS AND WALKS	
			2" MAIN		
1		RAINBIRD	CONTROLLER	ESP-SMTE	
		PAIGE	CONTROLLER WIRE	UF-14	
		RAINBIRD	ROTARY HEAD	3500	3 GPM

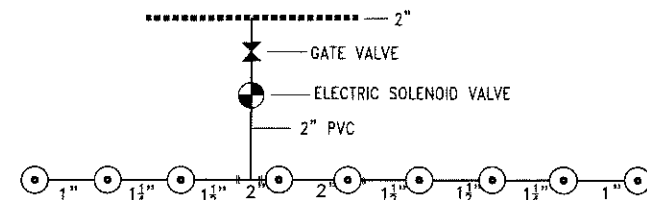
LEGEND

- 7 VALVE AND ZONE NUMBER
- ROTOR HEAD
- SPRAY HEAD



STATE ROAD NO. 10
NINE MILE ROAD (R/W WIDTH VARIES)

NOTE:
PROVIDE PIPE SIZING TO
ACCOMMODATE 5 FPS
VELOCITY MAXIMUM.



NOTE: NO PIPE SMALLER THAN 1".

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BOBCAT DEALERSHIP

NO.	DATE	APPR.	REVISION / ACTION TAKEN

PROJECT NO: 2101
DATE: SEPTEMBER 2021
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SCALE: AS SHOWN

IRRIGATION PLAN

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L-102