

Approved
 ESCAMBIA COUNTY DRC PLAN REVIEW

DRC Chairman Signature: *[Signature]* Date: 12-15-21
 Printed Name: *[Signature]*
 Development Services Director or Designee

This document has been reviewed in accordance with the requirements of applicable Escambia County Regulations and Ordinances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory from responsibility of details as drawn. A Development Order (DO) must be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a building permit.

LAND DEVELOPMENT PLANS FOR PINE FOREST MULTI-FAMILY APARTMENTS FOR TRIMCOR, LLC

PENSACOLA, FLORIDA 32502

SITE SUMMARY:

PROPERTY OWNER: TRIMCOR, LLC
 ADDRESS: P.O BOX 518, PHENIX CITY, AL 36868
 CONTACT: KOLE OGELSBY
 TELEPHONE NO.: 334-480-4001
 CONTRACTOR: TBD
 PIN: 11-1S-31-1401-000-004
 LATITUDE: N30° 31' 48.44"
 LONGITUDE: W87° 18' 48.35"
 TAX MAP NUMBER: 090403250
 PROJECT ADDRESS: 9121 PINE FOREST RD, PENSACOLA, FL 32502
 PRESENT ZONING: HC/LI
 PRESENT LANDUSE: MU-U
 PRESENT USE: VACANT COMMERCIAL
 PROPOSED USE: MULTIFAMILY RESIDENTIAL
 PARCEL ACREAGE: 9.09 ACRES
 LAND DISTURBANCE: 9.45 ACRES
 PROPOSED BUILDING: 8 MF APT BLDGS, MAINTENANCE AND OFFICE-CLUBHOUSE
 PARKING: 266 REQ'D / 350 PROPOSED

PROJECT DESCRIPTION:

THE PROJECT SHALL CONSIST OF THE CONSTRUCTION OF 170 MULTIFAMILY DWELLING UNITS (AS ENUMERATED AND TOTALED ON SHEET C-201), TO BE WITHIN THE SITE ACREAGE DETERMINED TO BE CORRECT, AND TO BE DEFINITELY THE EIGHT BUILDINGS SHOWN, NOT AN APPROXIMATE. THE MULTIFAMILY COMMERCIAL DEVELOPMENT IS SITUATED ON APPROXIMATELY 9.09 ACRES ACRES AND LOCATED ON THE WEST SIDE OF PINE FOREST ROAD IN PENSACOLA, FLORIDA ABOUT 1,500 FEET SOUTH OF WEST NINE MILE ROAD. THE SITE IS CURRENTLY PARTIALLY WOODED AND WAS PARTIALLY CLEARED BY A PREVIOUS DEVELOPER. THIS PROJECT INCLUDES THE CONSTRUCTION OF EIGHT APARTMENT BUILDINGS, 1 CLUBHOUSE AND POOL AMENITY, 1 MAINTANANCE BUILDING AS WELL AS ALL NECESSARY PARKING IMPROVEMENTS, UTILITIES, AND STORMWATER MANAGEMENT FEATURES.

ENGINEER'S STATEMENT

ALL PROPOSED ROADWAYS, DRAINAGE, AND OTHER IMPROVEMENTS WILL BE DESIGNED TO COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL DEVELOPMENT REQUIREMENTS SUCH AS:
 THE FLORIDA GREEN BOOK
 THE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN MANUAL (FDM)
 ESCAMBIA COUNTY TECHNICAL SPECIFICATIONS
 THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
 THE AMERICANS WITH DISABILITIES ACT (ADA)

FLOOD STATEMENT

"THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT-ANNUAL-CHANCE FLOODPLAINS. NO BFES OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0290G, MAP REVISION DATED SEPTEMBER 29, 2006."

Owner
 Trimcor, LLC
 P.O BOX 518, PHENIX CITY, AL 36868
 Contact: Kole Ogelsby
 Email: kogelsby@trimcor.com

Civil Engineer
 Dewberry Engineers, Inc.
 139 E Government St
 Pensacola, FL 32502
 Phone: 770.731.3135
 Contact: Matt Ables, PE
 Email: mables@dewberry.com

Land Surveyor
 Pitman, Glaze & Associates, Inc.
 5700 North Davis Hwy., Suite 3
 Pensacola, FL 32503
 Phone: 251.990.9950
 Contact: Walter J. Glaze
 Email: pgasurvey@bellsouth.net

Geotechnical Engineer
 Southern Earth Sciences, Inc.
 5460 Rangeline Road
 Mobile, FL 36619
 Phone: 251.344.7711
 Contact: Matt Coaker, PE

Sheet Number	Sheet Title
C-1.0	COVER
C-1.1	GENERAL NOTES
V-100	SURVEY
C-100	SITE DEMO
C-201	SITE PLAN
C-202	SIGNAGE, MARKING AND ROADWAY PROFILE
C-203	SITE DISTANCE PLAN & PROFILE
C-300	GRADING PLAN
C-500	UTILITY PLAN
C-502	OFFSITE SEWER AND WATER
C-301	STORM PLAN
C-302	STORM PROFILES
C-310	POND DETAILS
C-311	STORM DETAILS
C-400	EROSION & SED. CONTROL-PHASE 1
C-401	EROSION & SED. CONTROL PHASE 2
C-402	EROSION & SED. CONTROL PHASE 3
C-403	EROSION & SED. CONTROL NOTES
C-410	ENVIRONMENTAL INFORMATION PLAN
C-900	MISC CONST DETAILS 1
C-901	MISC CONST DETAILS 2
C-910	UTILITY DETAILS 1
C-911	UTILITY DETAILS 2
C-912	UTILITY DETAILS 3
C-913	UTILITY DETAILS 4
C-600	LANDSCAPE PLAN

SHEET INDEX

PLANS PREPARED BY:



139 E GOVERNMENT STREET,
 PENSACOLA, FL 32502
 (850) 760-0332

DEWBERRY PROJECT NO.: 50137668



Know what's below.
 Call before you dig.

LAND DISTURBANCE ACTIVITIES

ALL TREE REMOVAL, LAND CLEARING, FILLING OR PLACEMENT OF FILL MATERIALS OR AGGREGATE ONSITE, OR ANY OTHER "LAND DISTURBANCE ACTIVITIES", ETC... SHALL BE PERMITTED OR OTHERWISE APPROVED BY ESCAMBIA COUNTY PRIOR TO INITIATION OF WORK.

ECUA Required Plan Notes

(notes shall be inserted in the upper right corner of title sheet)

A. ECUA Engineering Manual Incorporated by Reference

The ECUA Engineering Manual, dated December 18, 2014, along with any listed updates (hereinafter "Manual"), located at www.ecua.fl.gov, is hereby incorporated by reference into this Project's official contract documents as if fully set forth therein. It is the Contractor's responsibility to be knowledgeable of the Manual's contents and to construct the Project in accordance with the Manual. The Contractor shall provide its employees access to the Manual at all times, via Project site or office, via digital or paper format. In the event of a conflict between the Manual and the Plans, Contractor shall consult Engineer of Record on the appropriate resolution.

B. Additional Documents (to be completed by the Engineer of Record)

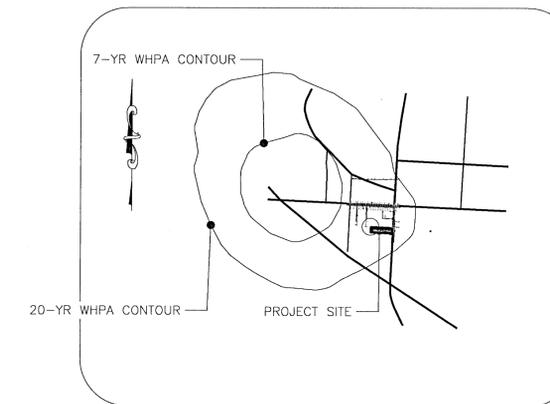
Does this Project have additional technical specifications or construction details that supersede the Manual listed above? YES NO. If yes, Contractor shall construct Project in accordance with said documents as listed and located below:

Document Name	Document Type		Location	
	Specifi- cation	Detail	Plans	Project Manual*
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

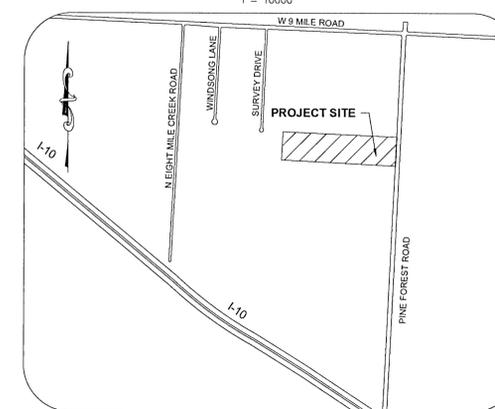
*Project Manuals used only with ECUA CIP Projects

C. Engineer of Record Responsibilities

The Engineers of Record (EORs) that have affixed their seals and signatures on these plans warrant their portion of the plans have been designed in accordance with the Manual (unless otherwise directed by the ECUA Project Engineer). The EORs shall be knowledgeable of the Manual's contents and shall assume responsibility for its use on this Project.



PENSACOLA MAP



LOCATION MAP



139 E. GOVERNMENT STREET
 PENSACOLA, FL 32502
 (850) 760-0332

PINEFOREST ROAD
 APARTMENTS PROJECT
 ESCAMBIA COUNTY, FLORIDA

SEAL NOT APPROVED UNLESS ACCOMPANIED WITH A VALID SIGNATURE



FOR PERMITTING ONLY

SCALE

NOTE: THE SCALE OF THESE PLANS MAY HAVE CHANGED DUE TO REPRODUCTION.

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY: A. K. ANDERSON
 APPROVED BY: M. ABLES
 CHECKED BY: M. ABLES
 DATE: OCTOBER 2021

TITLE

COVER

PROJECT NO. 50137668

C-1.0

SHEET NO. 1 of 30

LEGAL DESCRIPTION: (Furnished title commitment)

The North 325 feet of the Southeast Quarter of the Northeast Quarter of Section 11, Township 1 South, Range 31 West, Escambia County, Florida. LESS AND EXCEPT those portions of the lands described in Official Records Book 2598, Page 192; Official Records Book 1064, Page 337; Official Records Book 502, Page 378 included in the above description and LESS AND EXCEPT the right-of-way of S.R. 297 (Pine Forest Road). The above described parcel of land is situated in Section 11, Township 1 South, Range 31 West, Escambia County, Florida.

ALSO LESS AND EXCEPT those certain lands conveyed to the State of Florida Department of Transportation and more particularly described in Official Records Book 5529, Page 1066, of the Public Records of Escambia County, Florida.

STREET ADDRESS: 9121 Pine Forest Road

BENCHMARKS:

- 580/59 - A pk nail in the west side of a power pole located in the west right of way of Pine Forest Road and 100'+/- south of the most southerly exit road for Walmart. Elevation = 120.98'
1580/59A - An "X" in the south side of a light pole base located 100'+/- west of the west right of way of Pine Forest Road and north of the access road at the southeast corner of Walmart, also being the northeast corner of parcel surveyed. Elevation = 121.89'
1738/21A - A railroad spike in the south side of a power pole located in the west right of way of Pine Forest Road at the northeast corner of subject parcel. Elevation = 120.84'
1738/21B - A railroad spike in the north side of a power pole located in the west right of way of Pine Forest Road 35'+/- north of the southeast corner of subject parcel. Elevation = 120.56'
1738/21C - A railroad spike in the south side of a power pole located along the north line of subject parcel and 385'+/- west of right of way of Pine Forest Road. Elevation = 119.46'

SURVEYOR'S NOTES:

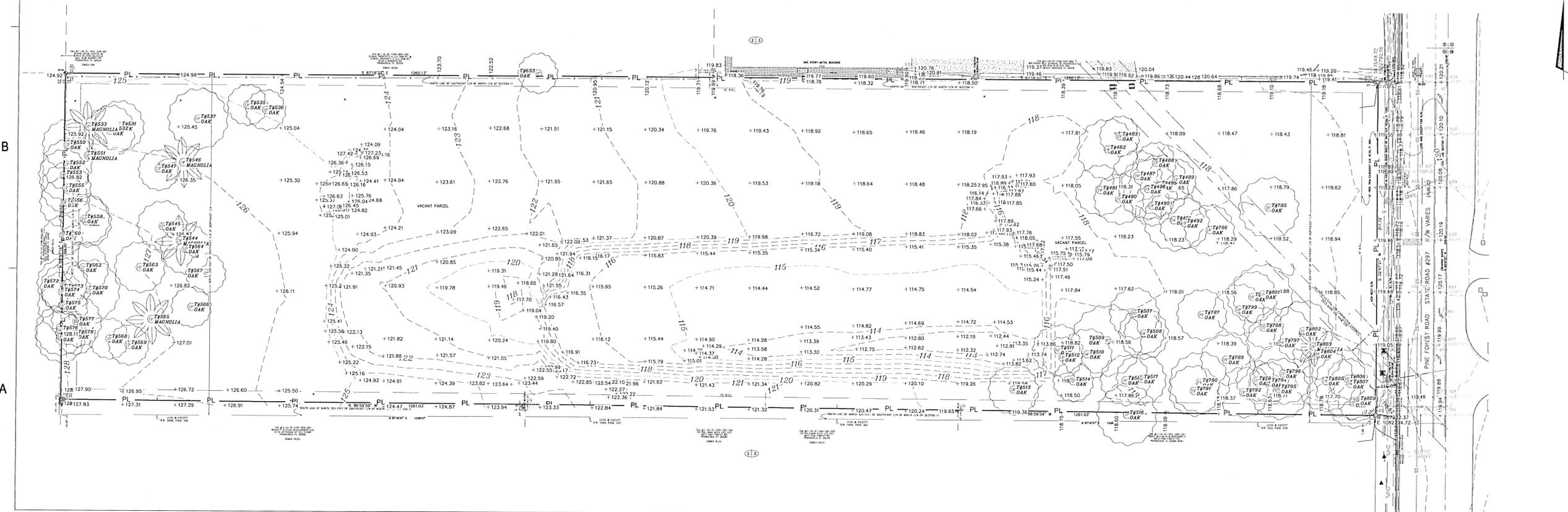
- 1. This survey does not reflect or determine ownership.
2. This survey is based on Fidelity National Title Insurance Company title commitment Oder No. 9285410, dated March 9, 2021.

- 3. To assure the contractor is on the same vertical and horizontal datum as this survey, it is strongly recommended that vertical checks be made between two benchmarks and that horizontal checks be made between three control points or property corners.
4. Sub-surface improvements, if any, not located.
5. Due to current safety regulations, we are unable to access any sewer manholes and/or structures in order to verify pipe size or material. Pipe size and material has been shown as per plans or by approximate measurements. It is strongly recommended that size and material are verified before any design work begins.
6. Coordinates shown are State Plane Coordinates referenced to N.A.D. 83 datum, 2011 adjustment, Florida North Zone and expressed in U.S. survey feet.
7. Coordinates are derived by using the Trimble and Florida Department of Transportation continuously operating reference station (CORS) network.
8. There is no evidence of recent earth moving work, building construction, or building additions observed in the process of conducting the fieldwork.
9. No proposed changes in street right of way lines were made available to the surveyor by the controlling jurisdiction.
10. No evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.
11. No plottable offsite easement or servitudes were disclosed in documents provided to the surveyor.
12. No markers were observed for field delineation of wetlands conducted by a qualified specialist hired by the client.
13. The underground utilities shown have been located using information from plans and markings combined with observed evidence. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary. The surveyor does not certify that the underground utilities shown comprise all such utilities or that they are the exact size, material or location as indicated.
14. Subject parcel contains 9.09 acres, more or less.

ZONING AND SITE REQUIREMENTS

As per the Planning and Zoning Resource Company zoning and site requirements summary PZR Site Number: 144761-1, dated April 9, 2021, the existing zoning designation is "HC/LI" Heavy Commercial and Light Industrial District.
Building Set-Back Lines
Front/Rear: 15 feet
Side: 10 Feet or 10% of the Lot Width at the Street Right-of-Way per Side, whichever is less, but at least 5 Feet; For Structures exceeding 35 Feet above highest adjacent grade, an additional 2 Feet for each additional 10 Feet in height.
Building Size
Maximum Building Height or Stories: 150 Feet above highest adjacent grade
Building Site Area Requirements: None Required
Density
Building Density Formula: Maximum Density: 25 Dwelling Units per Acre. Floor Area Ratio: 1.0 within the Mixed-Use Suburban (MU-S), Commercial (C) and Industrial (I) Future Land Use Categories; 2.0 Within the Mixed-Urban (MU-U) Future Land Use Category Minimum Pervious Lot Coverage: 15% Maximum Semi-Impervious/Impervious Cover: 75%
PARKING
Parking Space Formula: Multifamily Dwelling: 1.5 Spaces per Dwelling Unit; 2 Spaces per Dwelling Unit on Pensacola Beach

LEGEND:
B.S.L. Building setback line
BM Benchmark
ELEV Elevation
CP Concrete pipe
O.R. Official record book
P Page
1/2" Capped iron rod set #7073
1/2" Capped iron rod found #noted
4"x4" Concrete monument found #noted
Iron rod found
Gas line marker
Power pole
Road sign
Sanitary manhole
Spot elevation
Storm inlet
Buried telephone
Cable line
Contour line
Electric line
Fence ? chain link
Fence ? wood
Gas line
Sanitary sewer line
Storm sewer line
Telephone line
Water line
Magnolia tree
Oak tree



139 E. GOVERNMENT STREET
PENSACOLA, FL 32502
(850) 760-0332

PINEFOREST ROAD
APARTMENTS PROJECT
ESCAMBIA COUNTY, FLORIDA

SEAL
NOT APPROVED UNLESS ACCOMPANIED WITH A VALID SIGNATURE
[Signature]
DAVID B. TILLAR, P.E.
FL. PE. NO. 86282
COAR 8754

FOR PERMITTING ONLY

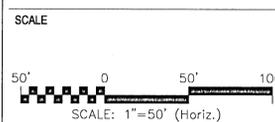


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DRAWN BY: A. K. ANDERSON
APPROVED BY: M. ABLES
CHECKED BY: M. ABLES
DATE: OCTOBER 2021

TITLE: SURVEY

PROJECT NO. 50137668

V-100

SITE NOTES:

ZONING: HC/LI
 SETBACKS:
 FRONT: 15'
 REAR: 15'
 SIDE: 10'
 LANDSCAPE BUFFER: 12'
 TOTAL SITE AREA = 9.09 ACRES
 IMPERVIOUS AREA = 6.40 ACRES
 PERVIOUS AREA = 2.69 ACRES
 TOTAL DISTURBED AREA = 9.45 ACRES
 OPEN SPACE PROVIDED = 117,176 SF
 % OPEN SPACE = 30.0%

PARKING COUNT:

PROPOSED BUILDINGS:
MULTIFAMILY
 7 BLDGS * 24 UNITS PER BLDG = 168 UNITS
 1 BLDGS * 2 UNITS PER BLDG = 2 UNITS
 TOTAL PROPOSED UNITS = 170 UNITS
 LEASING OFFICE = 3,000 SF

REQUIRED PARKING:
 MULTIFAMILY - 1.5 SPACES PER UNIT
 170 UNITS X 1.5 = 255 SPACES
 OFFICE - 3.5 PER 1,000 SF
 3,000-SF X 3.5/1000 = 10.5
 TOTAL OFFICE SPACES = 11

TOTAL PARKING SPACES REQUIRED = 266 SPACES
 PARKING SPACES PROVIDED = 350 SPACES
 INCLUDES 6 H/C PARKING SPACES
 PARKING RATIO PROVIDED = 350 SPACES / 170 UNITS = 2.06

SITE NUMBERING ADDRESS SYSTEM:
 BLDG + FLOOR + UNIT = PHYSICAL ADDRESS

BLDG X 1000
 FLOOR X 100
 UNIT = 01 THRU 99
 * EXAMPLE
 BLDG 4 (4000) + 2ND FLOOR (200) + UNIT 12 = 4212
 BLDG 6 (6000) + 1ST FLOOR (100) + UNIT 09 = 6109

BLDG	TYPE	RESIDENTIAL BLDG SCHEDULE		TOTAL UNITS	DESCRIPTION
		# OF BLDGS	UNITS PER BLDG		
8	A	1	2	2	DUPLEX UNITS
1	B	1	24	24	1 BR UNITS
2, 3, 7	C	3	24	72	3BR & 2BR + STUDY UNITS
6	D	1	24	24	3BR & 2BR DELUXE UNITS
4, 5	E	2	24	48	2BR DELUXE UNITS
		8		170	

WELLHEAD PROTECTION NOTE:

THE SUBJECT PARCEL FALLS WITHIN THE TRAVEL TIME CONTOUR OF A PROTECTED (PORTABLE) WELLHEAD. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ECUA- EMERALD COAST UTILITIES AUTHORITY (850) 476-5110 AND ESCAMBIA COUNTY HEALTH DEPARTMENT /ENVIRONMENTAL HEALTH 595-6712) AGENCIES.

ELECTRICAL SERVICE PLAN NOTE:

ELECTRICAL POLES AND TRANSFORMERS WILL BE LOCATED OUTSIDE ALL TREE ROOTING AREAS AND WILL NOT CONFLICT WITH TREE CANOPIES AS THEY MATURE..

PROPOSED SITE INSTALLATION NOTES

- TYPE A BLDG (SEE ARCH DWGS)
- TYPE B BLDG (SEE ARCH DWGS)
- TYPE C BLDG (SEE ARCH DWGS)
- TYPE D BLDG (SEE ARCH DWGS)
- TYPE E BLDG (SEE ARCH DWGS)
- PROPOSED LEASING OFFICE / CLUBHOUSE BLDG (SEE ARCH DWGS)
- PROPOSED MAINTENANCE BUILDING (SEE ARCH DWGS)
- TRASH COMPACTOR; MIN. 30-CY (BY OTHERS)
- USPS MAILBOX. COORDINATE THE FINAL LOCATION AND APPROVAL WITH USPS
- ASPHALT ROADWAY PAVEMENT (SEE TYPICAL ROADWAY SECTION DETAIL)
- 5FT SIDEWALK (TYP.)
- C.I.P. RETAINING WALL (DESIGNED BY OTHERS)
- 6-FT WOOD PRIVACY FENCE (MIN 1-FT AWAY FROM PROPERTY LINE)
- FIRE HYDRANT
- 8" POTABLE WATER (SEE UTILITY PLAN)
- 8" SANITARY SEWER MANHOLE (SEE UTILITY PLAN)
- 12' WIDE SECURED CHAIN LINK SWING GATE
- 6-FT CHAIN LINK SECURITY FENCING
- CONCRETE BARRIER CURB (TYPE D)
- CONCRETE CURB AND GUTTER (TYPE A)
- ADA RAMP (FDOT TYP A)

LEGEND

- BL BOLLARD
- LOD — LIMITS OF CONSTRUCTION
- [Pattern] EXISTING CONCRETE
- [Pattern] EXISTING ASPHALT
- [Pattern] NEW CONCRETE SIDEWALK
- [Pattern] NEW STD DUTY ASPHALT
- [Pattern] SODDED GRASS
- [Pattern] PROPOSED BUILDING
- [Pattern] PROPOSED STORMWATER POND DETENTION & WATER QUALITY
- ⊙ SANITARY SEWER MANHOLE
- [Pattern] PROPOSED STORM DRAINAGE STRUCTURE
- W — W DOMESTIC POTABLE WATER AND FIRE MAIN
- [Pattern] PROPOSED STORM PIPE
- [Pattern] C.I.P. CONCRETE RETAINING WALL



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PINEFOREST ROAD
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 ESCAMBIA COUNTY, FLORIDA

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DAVID B. TILLAR, P.E.
 FL. PE No. 86282

FOR PERMITTING ONLY

SCALE

SCALE: 1"=50' (Horiz.)

REVISIONS

NO.	DESCRIPTION	DATE

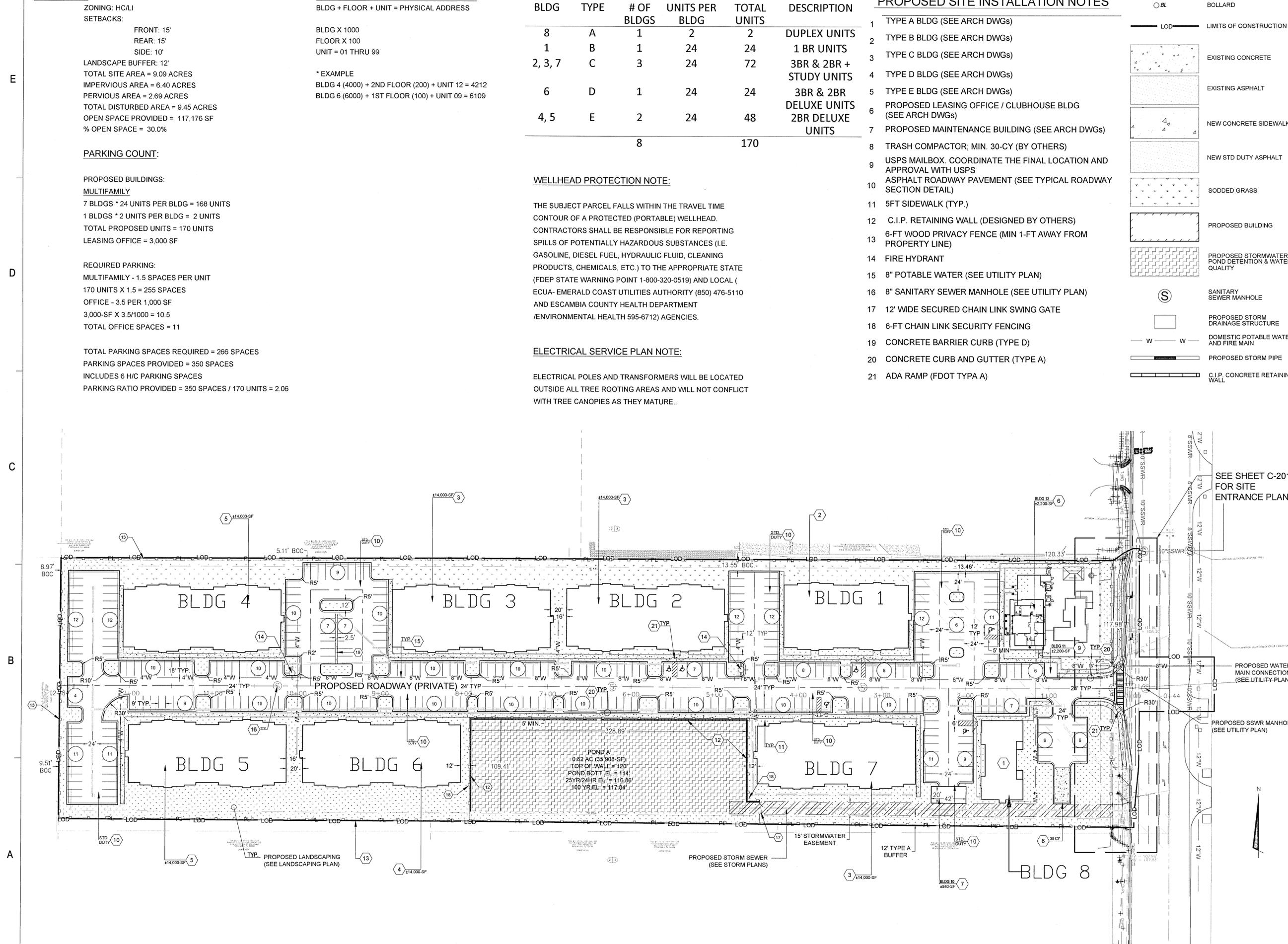
DRAWN BY: A. K. ANDERSON
 APPROVED BY: M. ABLES
 CHECKED BY: M. ABLES
 DATE: OCTOBER 2021

TITLE: **SITE PLAN**

PROJECT NO. 50137668

SHEET NO. C-201

5 of 30



NOTES:

- 1. ALL PAVEMENT MARKINGS TO CONFORM TO FDOT THERMOPLASTIC MARKING STANDARDS.
- 2. ALL SIGNAGE TO CONFORM TO FDOT AND OR MUTCD STANDARDS.
- 3. SEE TYPICAL ROADWAY SECTION DETAIL (SHEET C-902)

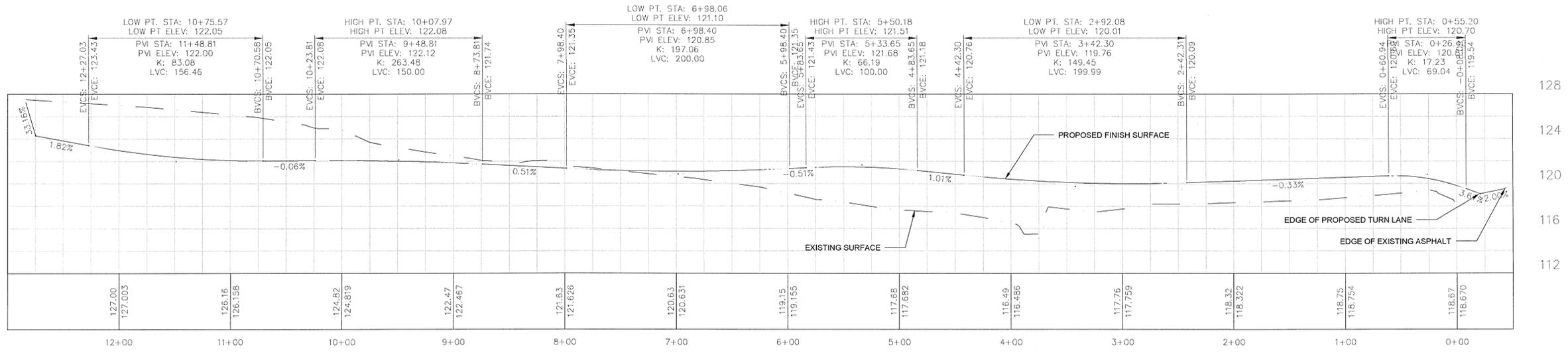
PROPOSED SIGNAGE AND MARKING NOTES

- 1 STOP SIGN R1-1 (SEE DETAIL ON SHEET C-900)
- 2 12 INCH WHITE STOP BAR
- 3 ADA CROSSWALK (SEE FDOT DETAIL ON SHEET C-901)
- 4 ADA SIDEWALK RAMP (FDOT TYPE A SEE SHEET C-901)
- 5 ADA PARKING SIGN (SEE DETAIL ON SHEET C-900)
- 6 BLUE ADA HANDICAP PARKING SYMBOL
- 7 SPEED LIMIT SIGN R2-1
- 8 NO PARKING SIGN R7-1
- 9 4 INCH SOLID YELLOW STRIPE
- 10 4 INCH SOLID YELLOW DIAGONAL GORE STRIPPING
- 11 5 INCH SOLID WHITE STRIPE
- 12 5 INCH SKIP WHITE STRIPE
- 13 WHITE RIGHT TURN ARROW
- 14 MATCH TO EXISTING STRIPING (PROVIDING APPROPRIATE TRANSITION AS NECESSARY)

LEGEND

- BL BOLLARD
- LIMITS OF CONSTRUCTION
- LP LIGHT POLE
- EXISTING CONCRETE
- EXISTING ASPHALT
- NEW CONCRETE SIDEWALK
- NEW STD DUTY ASPHALT
- SODDED GRASS
- PROPOSED BUILDING
- C.I.P. CONCRETE RETAINING WALL

PROPOSED ROADWAY PROFILE



E

D

C

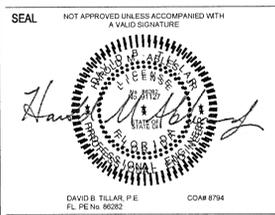
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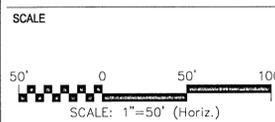


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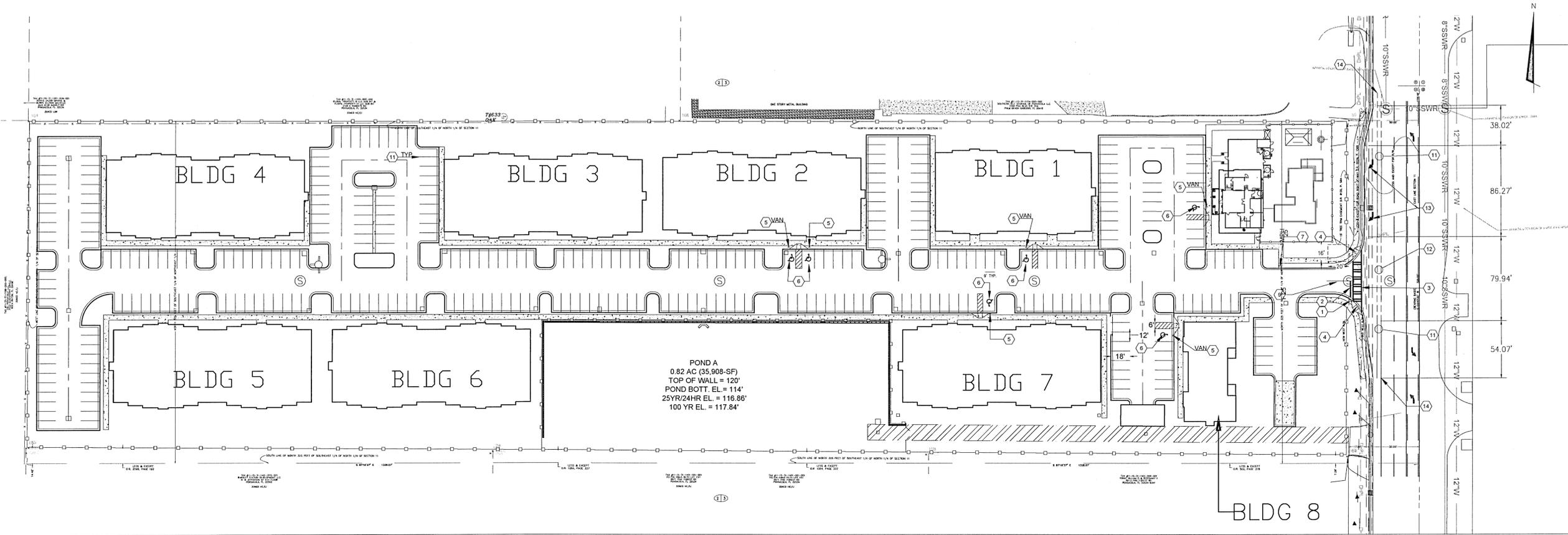
TITLE

SIGNAGE, MARKING AND ROADWAY PROFILE

PROJECT NO. 50137668

C-202

SHEET NO. 6 of 30



1

2

3

4

5

E

D

C

B

A



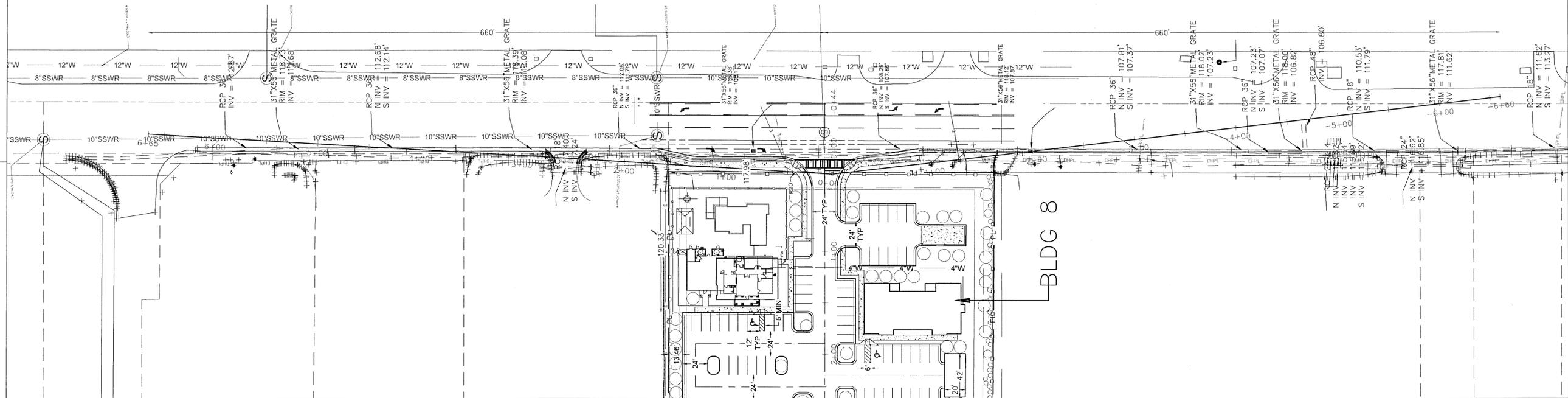
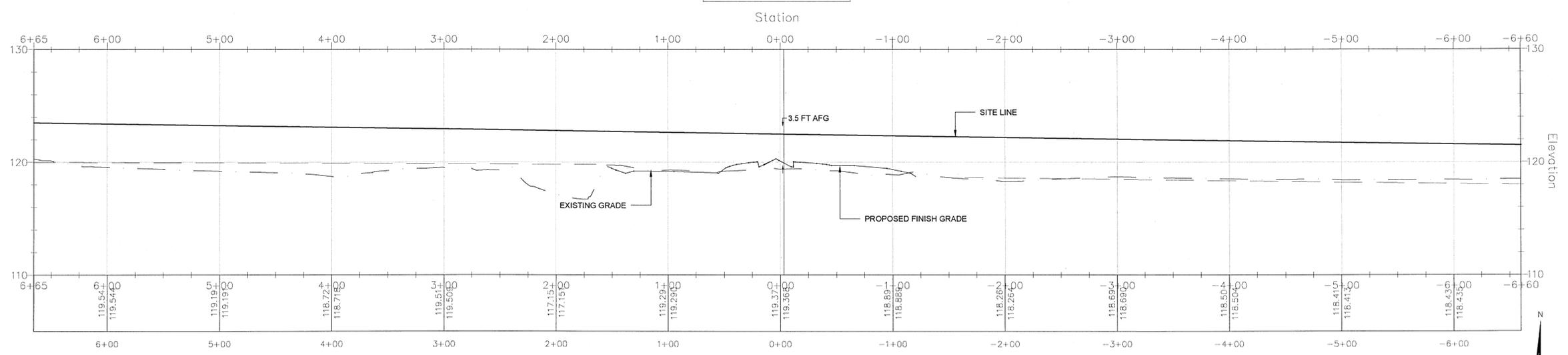
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**PINEFOREST ROAD
APARTMENTS PROJECT**
ESCAMBIA COUNTY, FLORIDA

LEGEND

- BOLLARD
- LIMITS OF CONSTRUCTION
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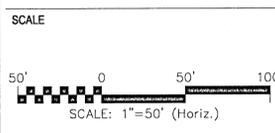
SITE DISTANCING PROFILE



SEAL NOT APPROVED UNLESS ACCOMPANIED WITH A VALID SIGNATURE

DAVID B. TILAR, P.E.
FL. P.E. NO. 85282

FOR PERMITTING ONLY



REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY: A. K. ANDERSON
 APPROVED BY: M. ABLES
 CHECKED BY: M. ABLES
 DATE: OCTOBER 2021

TITLE

SITE DISTANCE PLAN & PROFILE

PROJECT NO. 50137668

C-203

SHEET NO. 7 of 30

UTILITY NOTE:

1. THIS DEVELOPMENT SHALL BE MASTER METERED. THUS, RESTRICTED TO A SOLE ENTITY OWNER.

PROPOSED UTILITY INSTALLATION NOTES

- 1 INSTALL 8-INCH DIP WATER MAIN
- 2 INSTALL 4-INCH DIP WATER SUPPLY
- 3 INSTALL 2-INCH DIP WATER SERVICE SUPPLY
- 4 INSTALL 8"x4" D.I. TEE FITTING
- 5 INSTALL 8"x2" D.I. CROSS FITTING
- 6 INSTALL 4"x2" D.I. TEE FITTING
- 7 INSTALL 8"x4" D.I. REDUCING CROSS FITTING OR 8"x4" D.I. CROSS FITTING WITH 8"x4" REDUCER D.I. FITTING
- 8 CROSSING PIPE CONFLICT. CONTRACTOR SHALL ENSURE ADEQUATE PIPE SEPARATION. (MIN. 1-FT VERT. - WATER CROSSING ABOVE)
- 9 INSTALL 6" DIP WITH 3-WAY FH AND ASSEMBLY (SEE D-50 ON SHEET C-913)
- 10 CONNECT WATER/FIRE SERVICE TO PROPOSED BLDG., COORD WITH PLUMBING CONTRACTOR. BFP TO BE INSTALLED INSIDE BLDG FIRE RISER ROOM. (SEE PLUMBING / FIRE PROTECTION PLANS).
- 11 APPROX. LOCATION OF SEWER SERVICE CONNECTION. COORD. W/ PLUMBING (SEE PLUMBING PLANS)
- 12 8" PVC SANITARY SEWER MAIN
- 13 SANITARY SEWER CLEANOUT (MIN. 5-FT FROM BLDG AND EVERY BEND OR 75-FT LINEAR) (SEE DETAIL ON C-910)
- 14 6" LATERAL SEWER SERVICE CONNECTION (SEE D-1 ON SHEET C-912)

PROPOSED UTILITY INSTALLATION NOTES

- 15 48" SANITARY SEWER MANHOLE (SEE D-10 ON SHEET C-912 OR C-910 FOR DOGHOUSE)
- 16 CONNECT TO EXISTING 12" WATER MAIN W/ 12"x12"x8" D.I. TEE. COORD. W/ ECUA. (CONTRACTOR SHALL FIELD VERIFY PRIOR TO CONSTRUCTION)
- 17 16" STEEL CASING (0.25"Ø MIN) INSTALLED USING JACK AND BORE; COMPLETE WITH SPACERS AND END CAPS.
- 18 8" DIP (MIN. 0.25" THICKNESS) WATER MAIN CARRIER PIPE; MIN 5-FT BEYOND END OF CASING
- 19 1-INCH WATER SUPPLY
- 20 2"x1"x1" TEE FITTING
- 21 10"x6" WATER METER VAULT (SEE DETAIL D-45 ON SHEET C-913)
- 22 8" D.I.P. SANITARY SEWER MAIN
- 23 8"x6" SSWR SERVICE CONNECTION TO 8" PVC SSWR MAIN
- 24 ECUA UTILITY EASEMENT

LEGEND

- BL BOLLARD
- LIMITS OF CONSTRUCTION
- LP ☆ LIGHT POLE
- EXISTING CONCRETE
- EXISTING ASPHALT
- NEW CONCRETE SIDEWALK
- NEW STD DUTY ASPHALT
- SODDED GRASS
- PROPOSED BUILDING
- C.I.P. CONCRETE RETAINING WALL
- WATER MAIN
- PROPOSED PIV
- PROPOSED WEDGE GATE VALVE WITH NRS AND VALVE BOX
- DI TEE FITTING
- PROPOSED WATER LINE
- NEW 3-WAY FH
- SANITARY SEWER LINE
- SANITARY SEWER CLEANOUT



139 E. GOVERNMENT STREET
PENSACOLA, FL 32502
(850) 760-0332

PINEFOREST ROAD
APARTMENTS PROJECT
ESCAMBIA COUNTY, FLORIDA

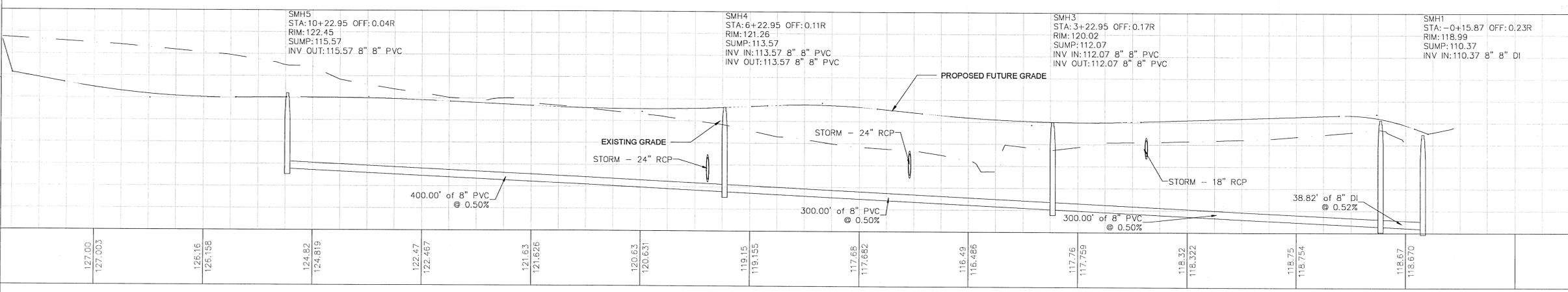
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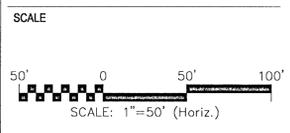
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DAVID B. TILLAR, P.E.
FL. PE No. 88282

COAR 8794

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REVISIONS

NO.	DESCRIPTION	DATE

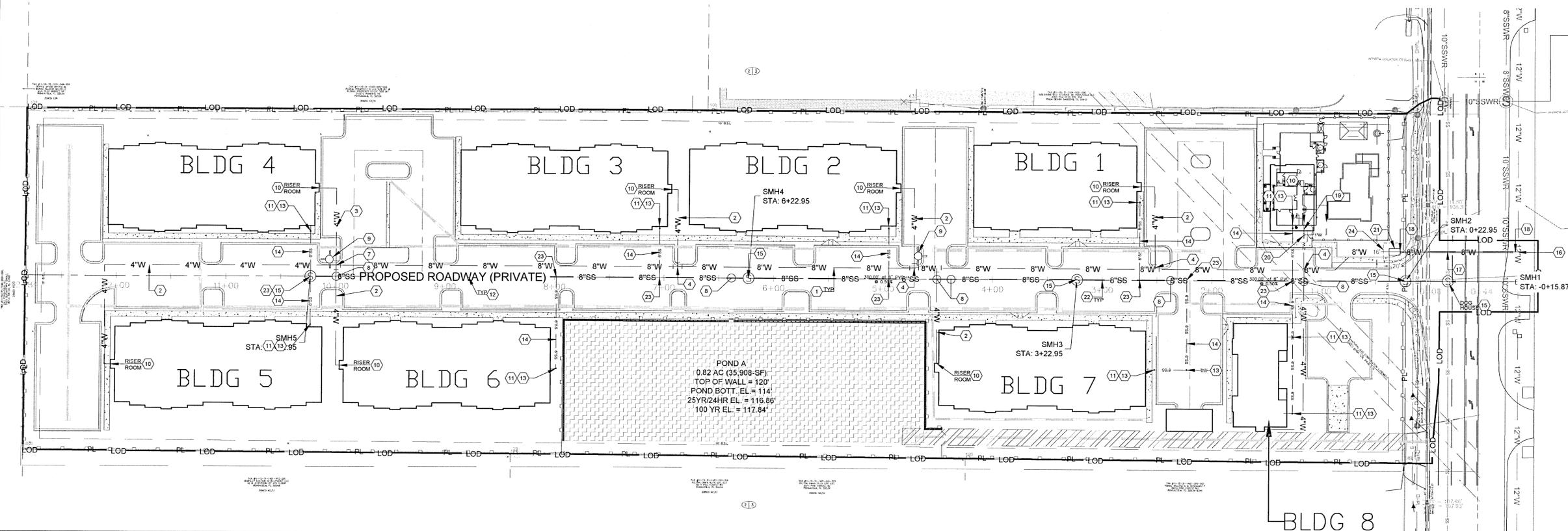
DRAWN BY: A. K. ANDERSON
 APPROVED BY: M. ABLES
 CHECKED BY: M. ABLES
 DATE: OCTOBER 2021

UTILITY PLAN

PROJECT NO. 50137668

C-500

SHEET NO. 9 of 30



1. ALL WORK THAT WILL BECOME ECUA OWNED SHALL BE DESIGNED, CONSTRUCTED, AND TESTED IN ACCORDANCE WITH THE ECUA STAMPED APPROVED PLANS AND ECUA'S ENGINEERING MANUAL IN EFFECT AT TIME OF ECUA PLAN APPROVAL.

PROPOSED OFFSITE SEWER IMPROVEMENT NOTES

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21 ABANDON EX. 6-INCH SSWR FM W/ FLOWABLE FILL AND ENDCAP, AND REMOVE EXISTING VALVES

LEGEND

- DD JACK AND BORE SEE D-65 (SHEET C-910)
OC OPEN CUT
CP 6" RESTRAINED PVC CARRIER PIPE
CA 14" STEEL CASING PIPE (0.118 Ø MIN)
RP 6" RESTRAINED PVC FM
FIT PVC FITTING



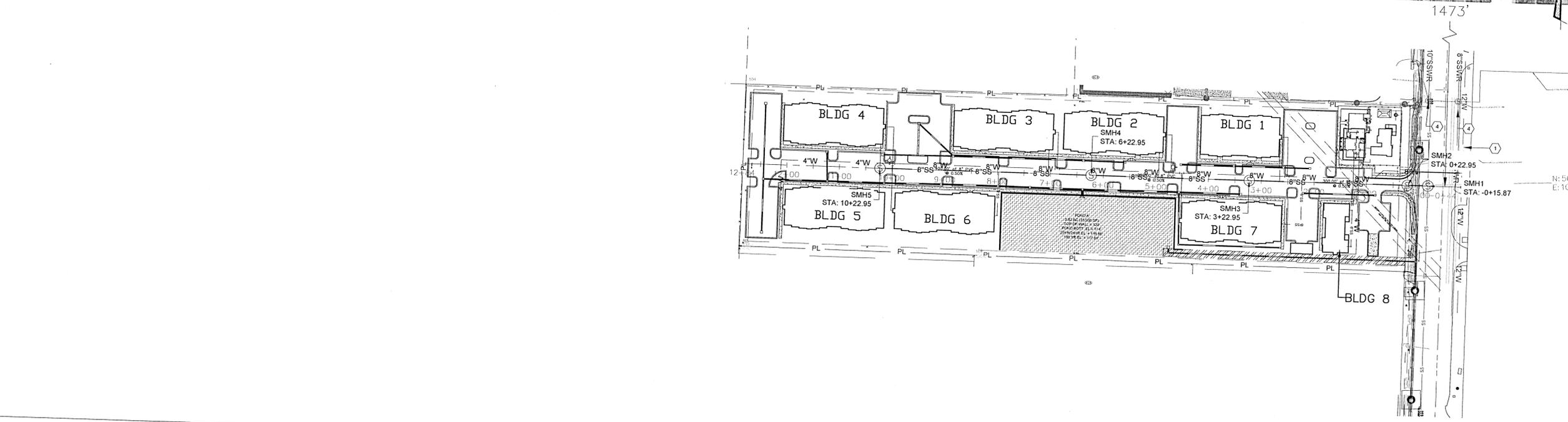
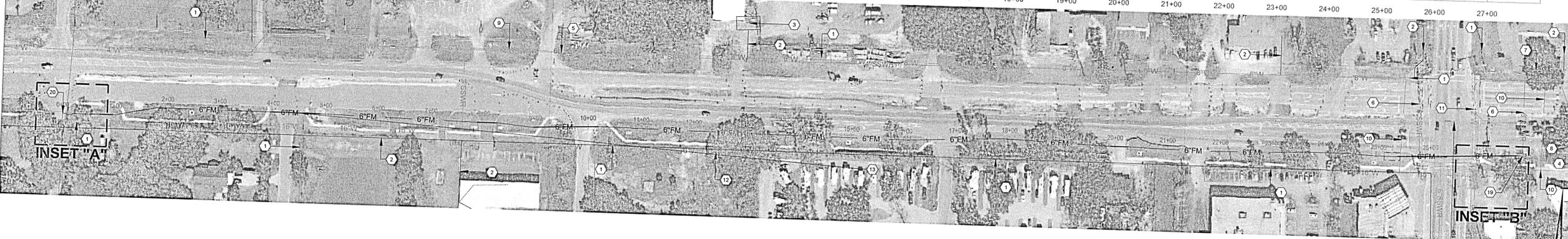
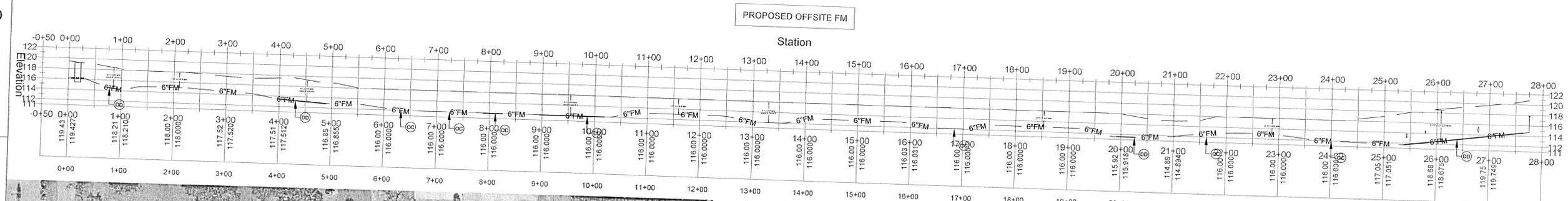
139 E. GOVERNMENT STREET
PENSACOLA, FL 32502
(850) 760-0332

PINEFOREST ROAD
APARTMENTS PROJECT
ESCAMBIA COUNTY, FLORIDA

- 1. CONTRACTOR SHALL FIELD VERIFY CONNECTION LOCATION AND SIZE PRIOR TO BEGINNING CONSTRUCTION.
2. CONTRACTOR SHALL NOT EXCEED THE PIPE MANUFACTURER RECOMMENDED MAX BENDING RADIUS FOR PRESSURE.
3. CONTRACTOR SHALL LEAVE AT LEAST ONE ACCESS POINT TO BUILDINGS AND LOTS WHEN OPEN CUTTING
4. CONTRACTOR TO DEMO PAVEMENT 4-FT WIDE TO FACILITATE OPEN CUTS AND REPLACE WITH EQUAL OR BETTER MATERIAL

PROFILE NOTES:

1. APPROXIMATE LOCACTIONS AND DEPTH. CONTRACTOR SHALL FIELD VERIFY PRIOR TO BEGINNING CONSTRUCTION.



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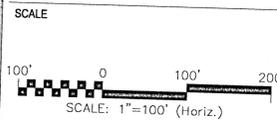


Table with columns: NO., DESCRIPTION, DATE. Includes a REVISIONS section.

DRAWN BY: A. K. ANDERSON
APPROVED BY: M. ABLES
CHECKED BY: M. ABLES
DATE: OCTOBER 2021

OFFSITE SEWER AND WATER OVERALL

PROJECT NO. 50137668

C-501

SHEET NO. 10 of 30

GENERAL NOTES:

1. CONTRACTOR SHALL FIELD VERIFY CONNECTION LOCATION AND SIZE PRIOR TO BEGINNING CONSTRUCTION.
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PROFILE NOTES:

1. APPROXIMATE LOCATIONS AND DEPTH. CONTRACTOR SHALL FIELD VERIFY PRIOR TO BEGINNING CONSTRUCTION.

ECUA NOTE:

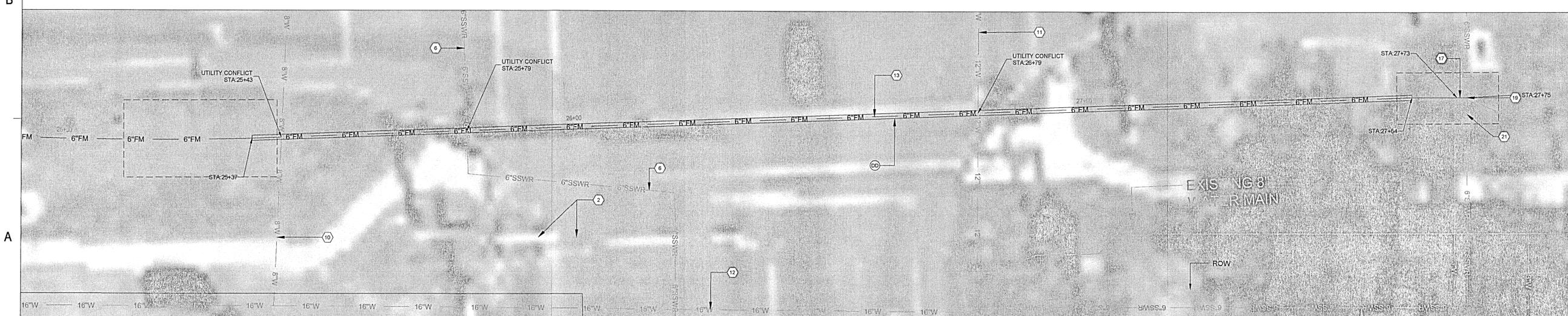
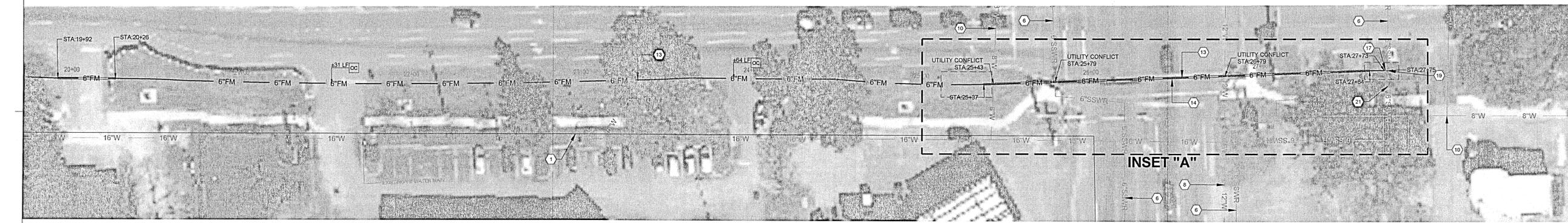
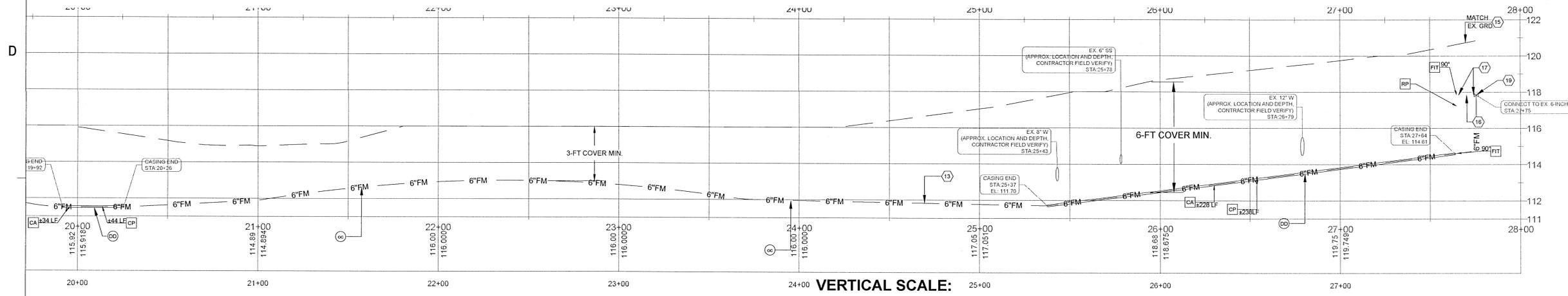
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PROPOSED OFFSITE SEWER IMPROVEMENT NOTES

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- 21 ABANDON EX. 6-INCH SSWR FM W/ FLOWABLE FILL AND ENDCAP, AND REMOVE EXISTING VALVES

LEGEND

- DD DIRECTIONAL DRILL SEE D-65 (SHEET C-910)
- OC DRIVEWAY OPEN CUT
- CP 6" RESTRAINED PVC FM CARRIER PIPE
- CA 14" STEEL CASING PIPE (0.25" Ø MIN)
- RP 6" RESTRAINED PVC FM
- FIT PVC FITTING
- BORING / RECEIVING PIT



**INSET "A"
SCALE: 1"=10'**



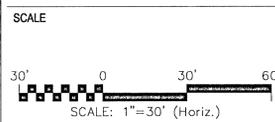
139 E. GOVERNMENT STREET
PENSACOLA, FL 32502
(850) 760-0332

PINEFOREST ROAD
APARTMENTS PROJECT
ESCAMBIA COUNTY, FLORIDA

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DAVID B. TILLAR, PE
FL. PE No. 86262

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REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY A. K. ANDERSON
 APPROVED BY M. ABLES
 CHECKED BY M. ABLES
 DATE OCTOBER 2021

TITLE

OFFSITE SEWER AND WATER PLAN

PROJECT NO. 50137668

GENERAL NOTES:

1. CONTRACTOR SHALL FIELD VERIFY CONNECTION LOCATION AND SIZE PRIOR TO BEGINNING CONSTRUCTION.
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3. CONTRACTOR SHALL LEAVE AT LEAST ONE ACCESS POINT TO BUILDINGS AND LOTS WHEN OPEN CUTTING
4. CONTRACTOR TO DEMO PAVEMENT 4-FT WIDE TO FACILITATE OPEN CUTS AND REPLACE WITH EQUAL OR BETTER MATERIAL

ECUA NOTE:

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PROPOSED OFFSITE SEWER IMPROVEMENT NOTES

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- 21 ABANDON EX. 6-INCH SSWR FM W/ FLOWABLE FILL AND ENDCAP, AND REMOVE EXISTING VALVES

LEGEND

- DD DIRECTIONAL DRILL SEE D-65 (SHEET C-910)
- OC OPEN CUT
- CP 6" RESTRAINED PVC CARRIER PIPE
- CA 14" STEEL CASING PIPE (0.118 Ø MIN)
- RP 6" RESTRAINED PVC FM
- FIT PVC FITTING

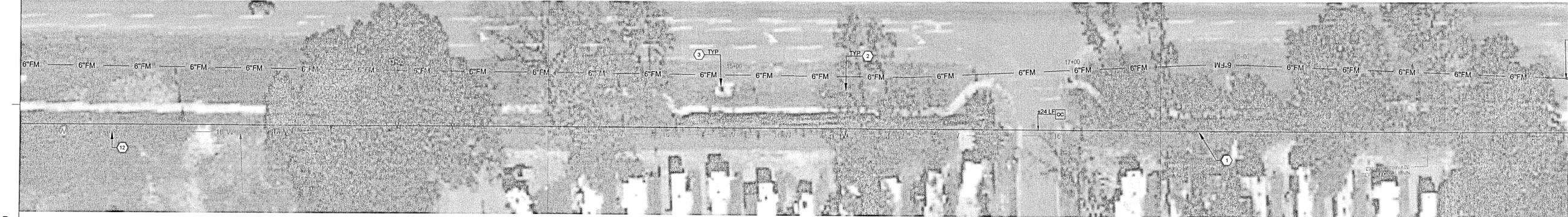
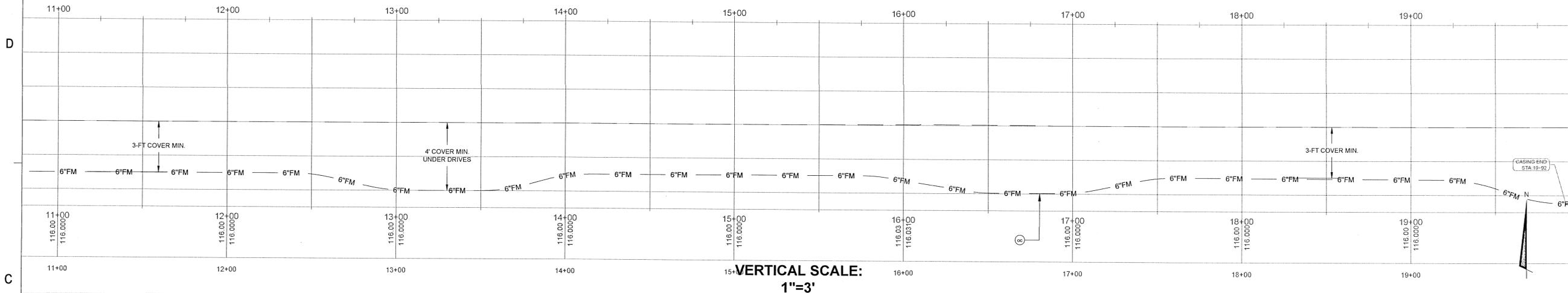


139 E. GOVERNMENT STREET
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(850) 760-0332

PINEFORREST ROAD
APARTMENTS PROJECT
ESCAMBIA COUNTY, FLORIDA

PROFILE NOTES:

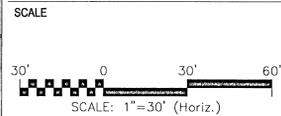
1. APPROXIMATE LOCATIONS AND DEPTH. CONTRACTOR SHALL FIELD VERIFY PRIOR TO BEGINNING CONSTRUCTION.



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DAVID B. TILLAR, P.E.
FL PE No. 86282

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REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY	A. K. ANDERSON
APPROVED BY	M. ABLES
CHECKED BY	M. ABLES
DATE	OCTOBER 2021

TITLE

OFFSITE SEWER AND WATER PLAN II

PROJECT NO. 50137668

GENERAL NOTES:

- CONTRACTOR SHALL FIELD VERIFY CONNECTION LOCATION AND SIZE PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL NOT EXCEED THE PIPE MANUFACTURER RECOMMENDED MAX BENDING RADIUS FOR PRESSURE.
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- CONTRACTOR TO DEMO PAVEMENT 4-FT WIDE TO FACILITATE OPEN CUTS AND REPLACE WITH EQUAL OR BETTER MATERIAL.
- ALL CARRIER PIPE SHALL BE EXTENDED A MINIMUM 5-FT FROM END OF CASING.

PROFILE NOTES:

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- EXISTING STORM PIPE
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- EXISTING MANHOLE
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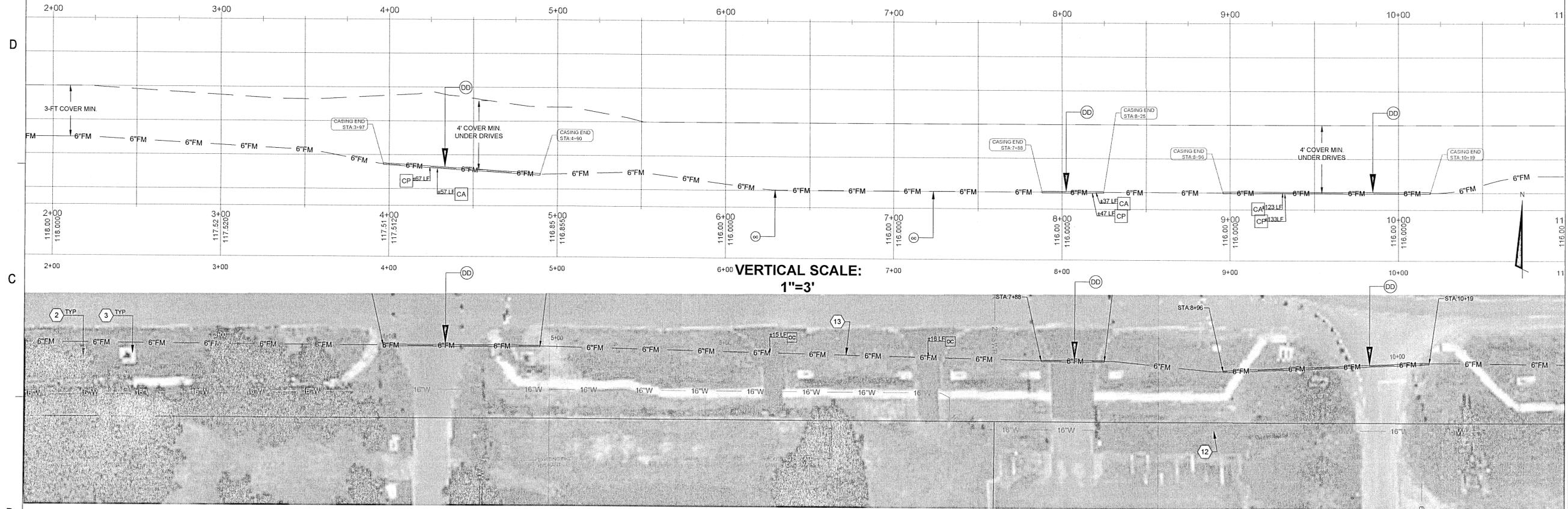
LEGEND

- ⊙ DD DIRECTIONAL DRILL SEE D-65 (SHEET C-910)
- ⊙ OC OPEN CUT
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- FIT PVC FITTING

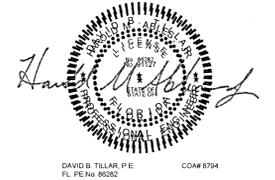


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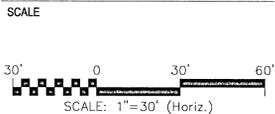
PINEFORST ROAD
APARTMENTS PROJECT
ESCAMBIA COUNTY, FLORIDA



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REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY _____ A. K. ANDERSON
 APPROVED BY _____ M. ABLES
 CHECKED BY _____ M. ABLES
 DATE _____ OCTOBER 2021

TITLE
OFFSITE SEWER AND WATER PLAN III

PROJECT NO. _____ 50137668

C-504

SHEET NO. 13 of 30

GENERAL NOTES:

- 1. CONTRACTOR SHALL FIELD VERIFY CONNECTION LOCATION AND SIZE PRIOR TO BEGINNING CONSTRUCTION.
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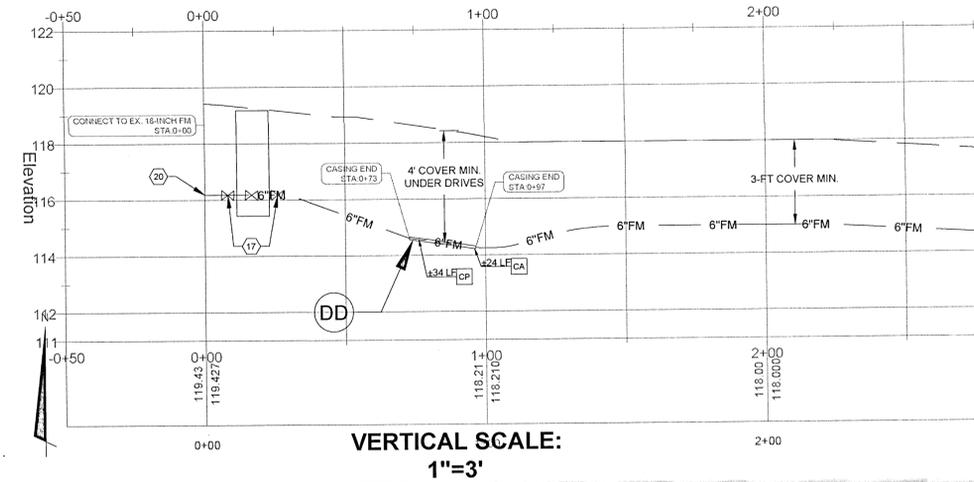
LEGEND

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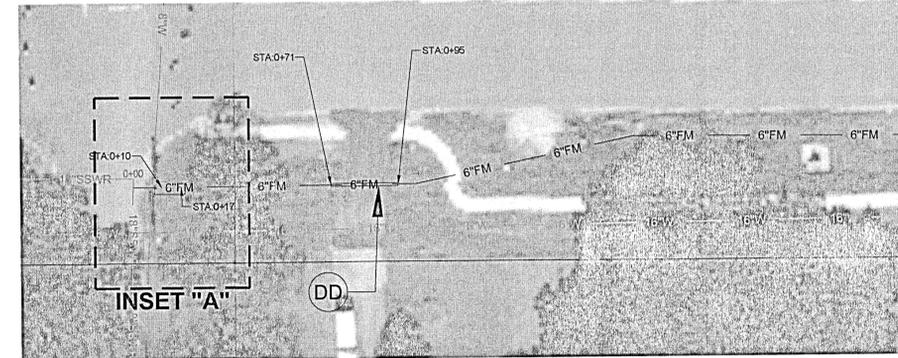


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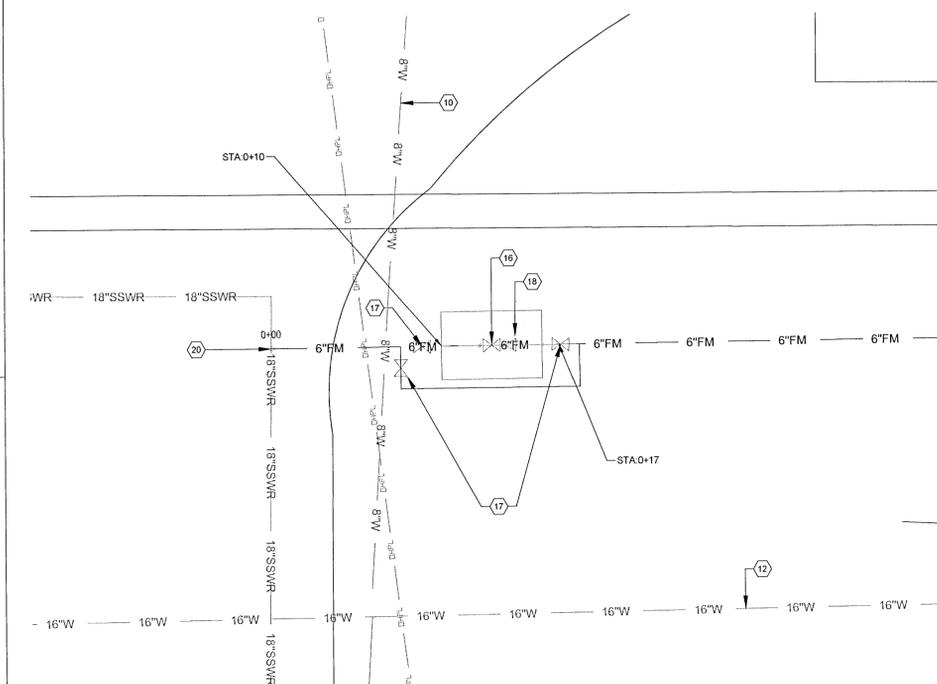
PINEFOREST ROAD
APARTMENTS PROJECT
ESCAMBIA COUNTY, FLORIDA



VERTICAL SCALE:
1"=3'



INSET "A"



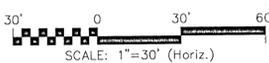
INSET "A"
SCALE: 1"=5'

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SCALE



REVISIONS

NO.	DESCRIPTION	DATE

NO.	DESCRIPTION	DATE

TITLE

OFFSITE SEWER AND WATER
PLAN IV

PROJECT NO. 50137668

C-505

SHEET NO. 14 of 30

Structure Name	Structure Type	Rim Elevation	Inverts	Station
CO-B2N	Precast Gutter Inlet - Type S 10 ft. or Less	RIM = 120.886	INV IN:117.69 18"	STA: 9+52.31 OFF -27.77L
DI-A2	36 x 36 inch Rectangular Structure	RIM = 120.490	INV IN:114.07 42" INV IN:114.57 24" INV IN:115.07 30" INV IN:114.07 30"	STA: 6+38.59 OFF -27.77L
DI-A4	36 x 36 inch Rectangular Structure	RIM = 120.839	INV IN:115.61 30" INV IN:116.11 24"	STA: 7+98.35 OFF -26.63L
DI-A5	36 x 36 inch Rectangular Structure	RIM = 120.974	INV IN:116.38 24" INV IN:116.38 24"	STA: 9+06.37 OFF -26.56L
DI-A6	36 x 36 inch Rectangular Structure	RIM = 121.316	INV IN:116.69 24" INV IN:116.69 24"	STA: 10+14.51 OFF -28.14L
DI-A6N	Precast Gutter Inlet - Type S 10 ft. or Less	RIM = 122.011	INV IN:117.26 18"	STA: 11+24.95 OFF -27.90R
DI-A7	36 x 36 inch Rectangular Structure	RIM = 121.782	INV IN:116.98 18" INV IN:116.98 24" INV IN:116.98 24"	STA: 11+22.56 OFF -28.15L
DI-A7N	Precast Gutter Inlet - Type S 10 ft. or Less	RIM = 121.301	INV IN:118.30 18"	STA: 12+43.99 OFF 116.45R
DI-A7S	Precast Gutter Inlet - Type S 10 ft. or Less	RIM = 121.501	INV IN:118.09 18"	STA: 12+43.60 OFF -130.02L
DI-A8	36 x 36 inch Rectangular Structure	RIM = 122.713	INV IN:117.58 18" INV IN:117.58 18" INV IN:117.58 24"	STA: 12+43.77 OFF -27.96L
DI-B1	Precast Gutter Inlet - Type S 10 ft. or Less	RIM = 120.490	INV IN:114.85 24" INV IN:114.85 24" INV IN:115.82 18" Reinforced Concrete Pipe	STA: 6+38.53 OFF 27.98R
DI-B2	Precast Gutter Inlet - Type S 10 ft. or Less	RIM = 121.235	INV IN:116.03 24" INV IN:117.23 18" INV IN:116.53 18"	STA: 8+85.42 OFF 28.18R
DI-B3	Precast Gutter Inlet - Type S 10 ft. or Less	RIM = 121.459	INV IN:117.19 18"	STA: 10+18.92 OFF 26.15R
DI-C1	36 x 36 inch Rectangular Structure	RIM = 120.104	INV IN:114.98 24" INV IN:114.98 30" INV IN:115.48 18" INV IN:115.48 24"	STA: 4+55.14 OFF -26.49L
DI-C1E	36 x 36 inch Rectangular Structure	RIM = 119.516	INV IN:115.57 24"	STA: 3+38.11 OFF -26.48L

Structure Name	Structure Type	Rim Elevation	Inverts	Station
DI-C1E	36 x 36 inch Rectangular Structure	RIM = 121.225	INV IN:115.98 18" INV IN:115.98 18"	STA: 4+53.09 OFF -127.06L
DI-C1S2	24 x 24 inch Rectangular Structure	RIM = 121.231	INV IN:116.95 18"	STA: 2+61.40 OFF -127.01L
DI-C2	36 x 36 inch Rectangular Structure	RIM = 119.909	INV IN:115.30 24" INV IN:115.29 24"	STA: 4+52.77 OFF 26.82R
DI-C3	36 x 36 inch Rectangular Structure	RIM = 119.495	INV IN:115.79 24" INV IN:115.79 24"	STA: 3+53.37 OFF 26.81R
DI-C4	36 x 36 inch Rectangular Structure	RIM = 119.665	INV IN:116.81 18" INV IN:116.30 24" INV IN:116.80 18"	STA: 2+24.87 OFF 0.00
DI-C4E	36 x 36 inch Rectangular Structure	RIM = 119.251	INV IN:116.97 18"	STA: 0+50.44 OFF 0.00
DI-C5	36 x 36 inch Rectangular Structure	RIM = 119.651	INV IN:117.05 18" INV IN:117.05 18" Reinforced Concrete Pipe	STA: 2+86.45 OFF 0.00
DI-C5GH	Precast Gutter Inlet - Type S 10 ft. or Less	RIM = 119.179	INV IN:108.33 18"	STA: 0+09.81 OFF 69.41R
DI-C5HW	Concrete Endwall with 45 Degree Wings - 42 in. Dia. Pipe	RIM = 118.875	INV IN:114.00 42"	STA: 6+38.46 OFF -41.80L
DI-C5JB	24 x 24 inch Rectangular Structure	RIM = 118.371	INV IN:110.46 18" INV IN:110.46 18"	STA: 4+71.97 OFF -143.35L
DI-C5OC	Precast 48 in. x 48 in. Type J Junction Box (6 in. Wall Thickness) 10 ft. or Less	RIM = 117.000	INV IN:110.54 18"	STA: 4+71.98 OFF -133.35L

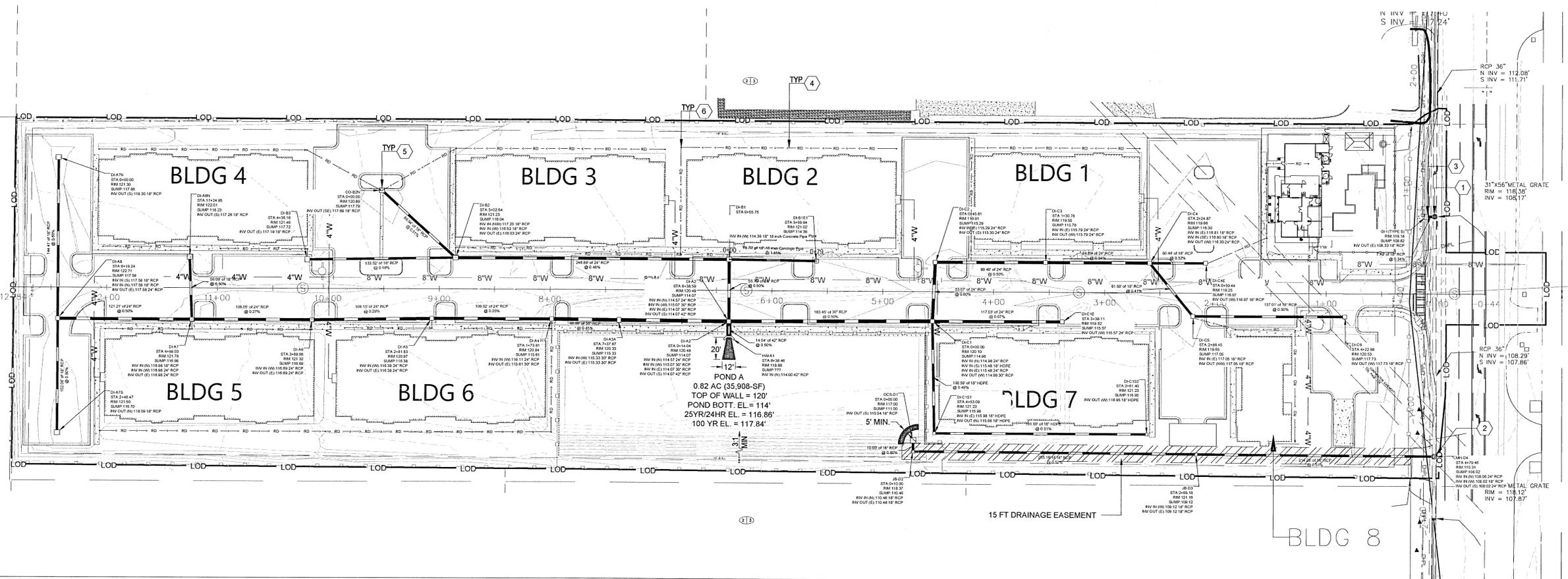
NAME	DIAMETER (INCHES)	LENGTH (FEET)	DESIGN FLOW CAPACITY (CFS)	PEAK FLOW (CFS)
PIPE 1	18	32.92	7.93	3.74
PIPE 2	18	49.34	8.1	5.17
PIPE 3	24	102.92	17.25	8.88
PIPE 4	24	99.99	17.33	12.43
PIPE 5	24	61.17	17.45	14.07
PIPE 6	24	117	10.96	1.3
PIPE 7	18	194.69	8.05	2.21
PIPE 8	18	99.33	8.05	4.3
PIPE 9	30	182.52	31.38	20.97
PIPE 10	42	14.04	76.96	55.16
PIPE 11	24	55.75	17.37	15.38
PIPE 12	24	238.58	17.24	10.99
PIPE 13	18	130.55	8.09	2.89
PIPE 14	18	89.12	8.18	1.7
PIPE 15	30	158.87	31.33	17.71
PIPE 16	24	116.63	17.43	14.92
PIPE 17	24	100.74	17.09	12.16
PIPE 18	24	108.3	17.31	9.41
PIPE 19	18	55.8	8.05	2.86
PIPE 20	24	120.65	17.28	6
PIPE 21	18	144.41	8.04	1.72
PIPE 22	18	102.06	8.04	3.16
PIPE 23	18	21.94	9.55	2.09
PIPE 24	18	469.45	7.2	1.99

LEGEND

- BL BOLLARD
- LIMITS OF CONSTRUCTION
- LP ☆ LIGHT POLE
- EXISTING CONCRETE
- EXISTING ASPHALT
- NEW CONCRETE SIDEWALK
- NEW STD DUTY ASPHALT
- SODDED GRASS
- PROPOSED BUILDING
- C.I.P. CONCRETE RETAINING WALL
- DI - DROP INLET (TYPE C)
- GI - GUTTER INLET (TYPE S)
- MH - STORM MANHOLE

PROPOSED STORMWATER NOTES

- 1 MODIFY AND OR REPLACE EXISTING STORM STRUCTURE TO A FDOT JUNCTION BOX AND OR MANHOLE WITH TRAFFIC RATED ACCESS COVER. (SEE SHEET C-311 FOR FDOT DETAIL 425-010)
- 2 INSTALL FDOT JUNCTION BOX AND OR MANHOLE WITH TRAFFIC RATED ACCESS COVER. (SEE SHEET C-311 FOR FDOT DETAIL 425-010)
- 3 INSTALL FDOT GUTTER INLET TYPE S.
- 4 INSTALL ROOF DRAIN WITH 12-INCH HDPE OR PVC (MIN. 2-FT COVER AND 1% POSITIVE SLOPE). CONNECT ALL ROOF DOWNSPOUTS, CONDENSATE LINES AND OR SMALL DIAMETER DRAINAGE LINES TO ROOF DRAIN USING APPROPRIATE PERMANENT CONNECTIONS.
- 5 CONNECT ROOF DRAIN TO CLOSEST DRAINAGE STRUCTURE AS SHOWN.
- 6 INSTALL HDPE (OR PVC) BEND WITH CLEANOUT

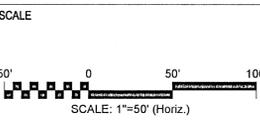


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PENSACOLA, FL 32502
(850) 760-0332

PINEFOREST ROAD
APARTMENTS PROJECT
ESCAMBIA COUNTY, FLORIDA



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NO.	DESCRIPTION	DATE

DRAWN BY: A. K. ANDERSON
APPROVED BY: M. ABLES
CHECKED BY: M. ABLES
DATE: OCTOBER 2021

TITLE: STORM PLAN

PROJECT NO. 50137668

C-301

SHEET NO. 15 of 30

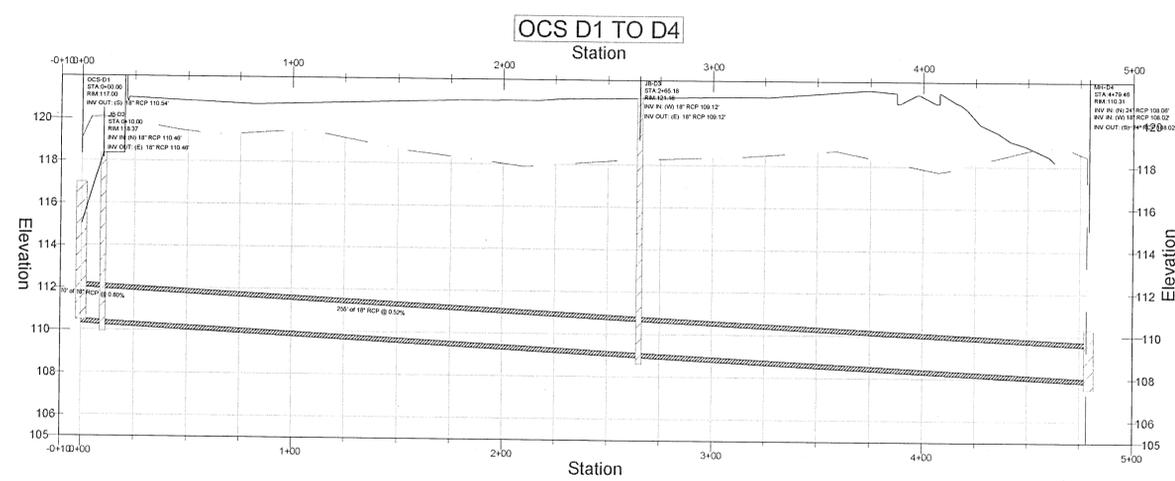
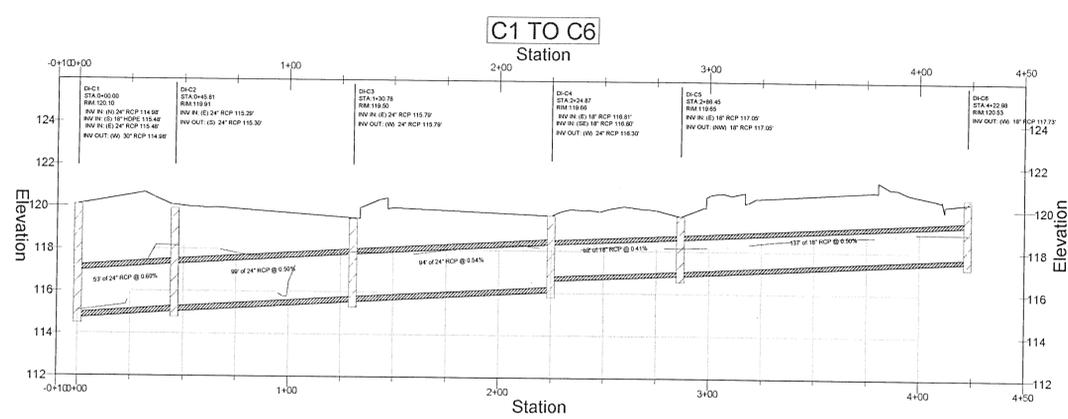
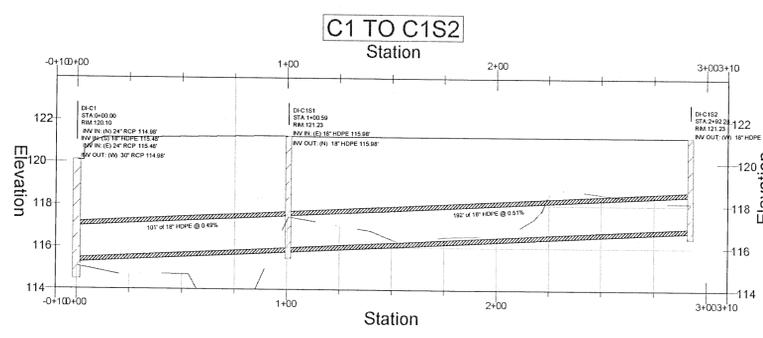
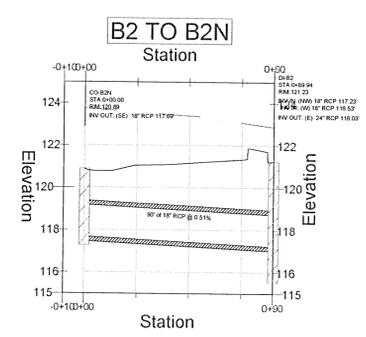
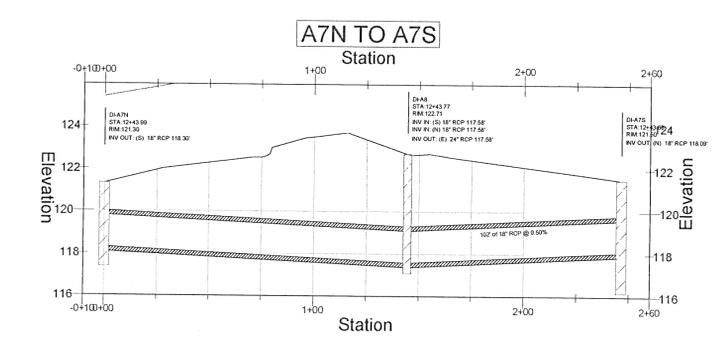
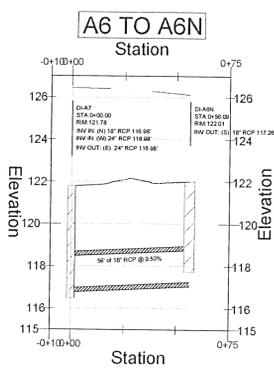
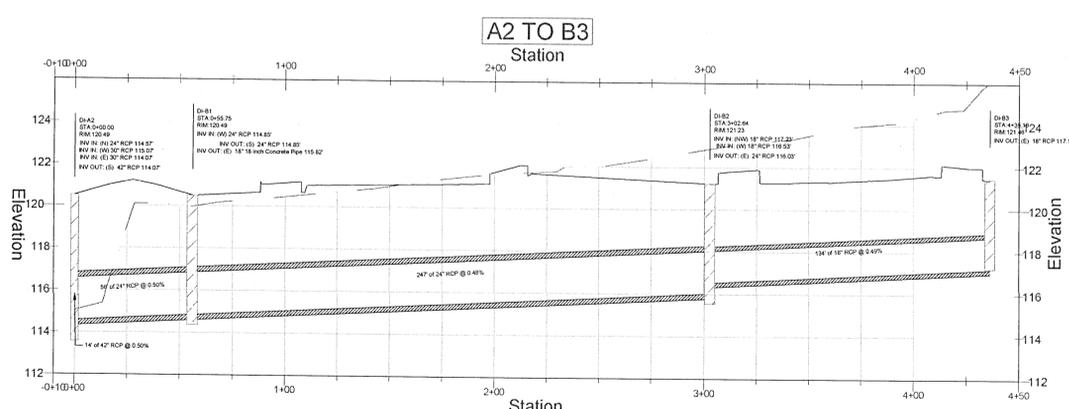
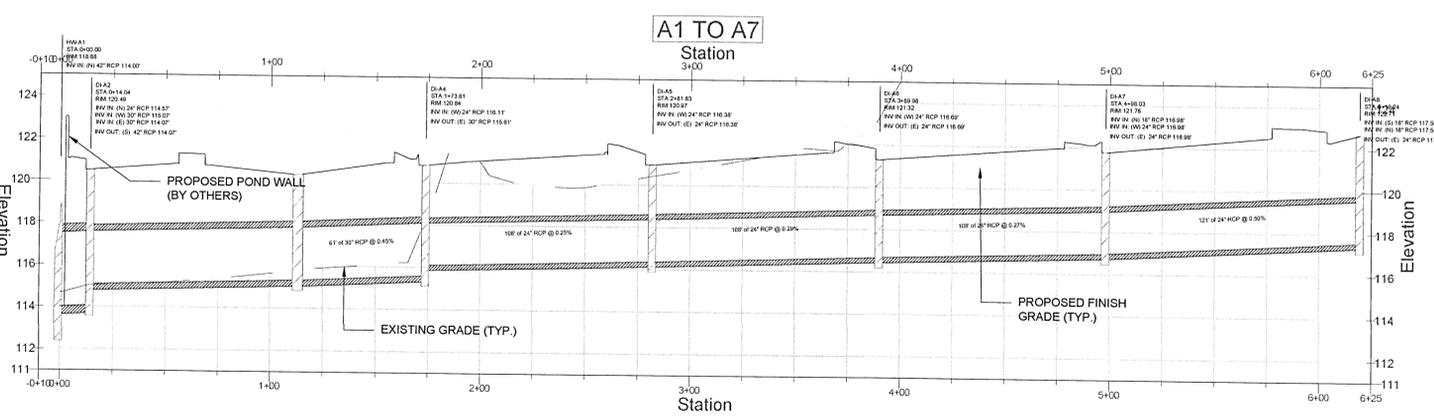
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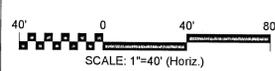


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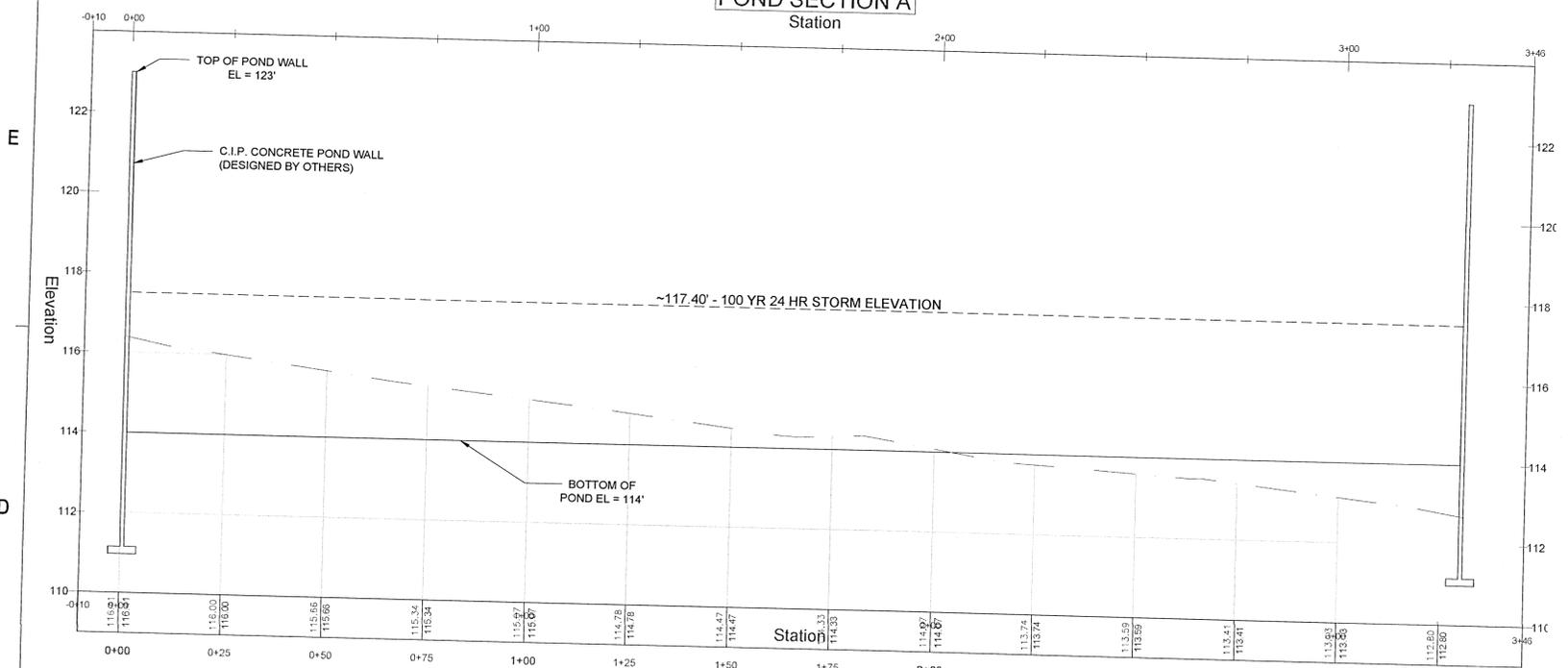
STORM PROFILES

PROJECT NO. 50137668

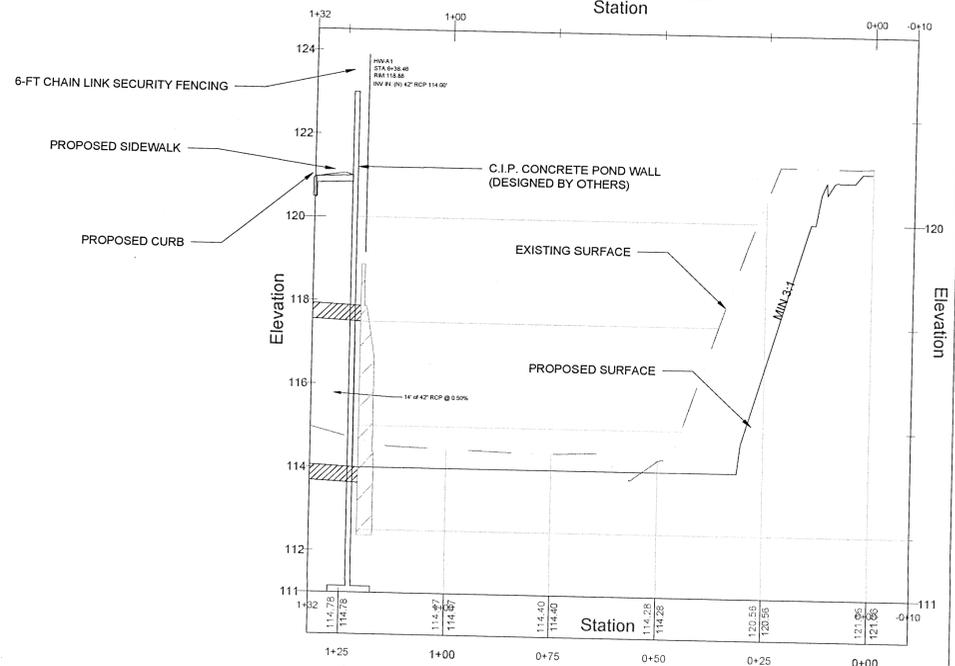
C-302

SHEET NO. 16 of 30

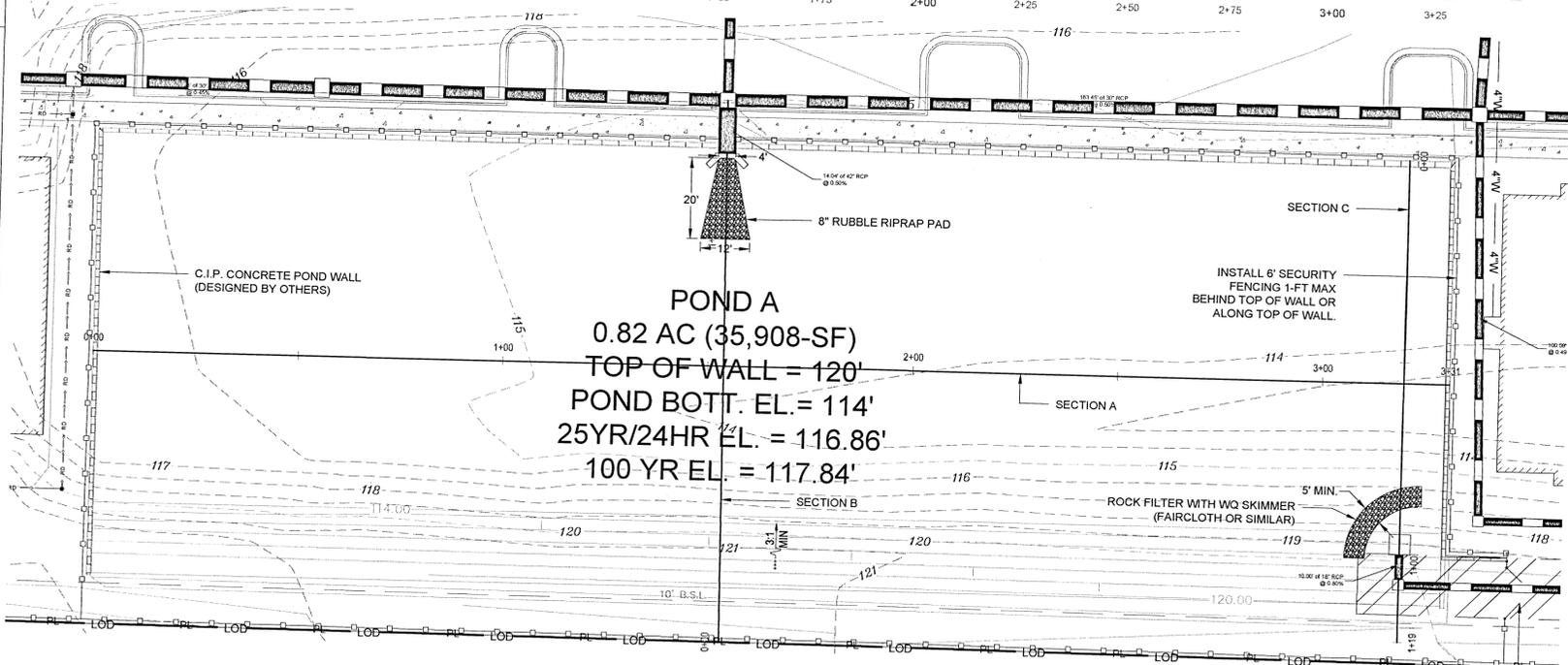
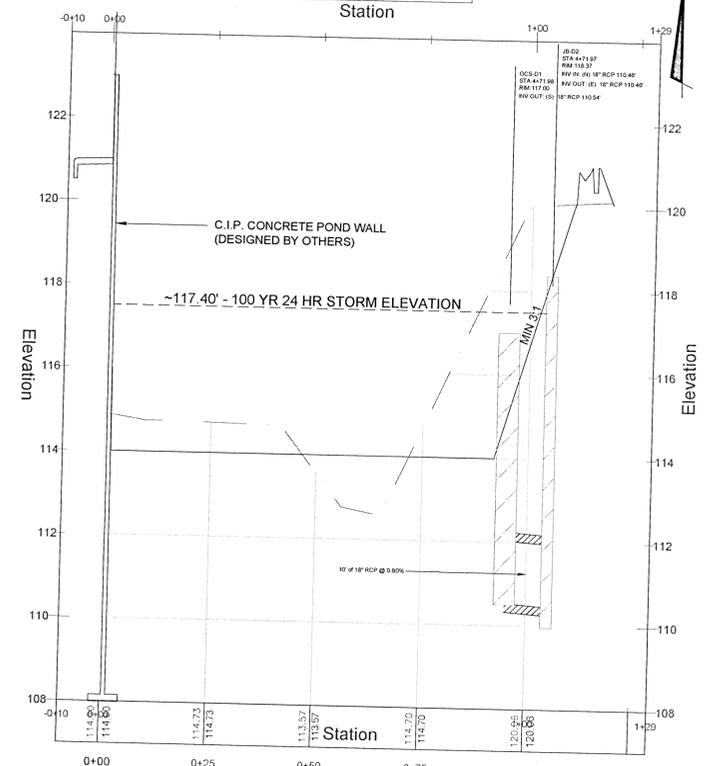
POND SECTION A
Station



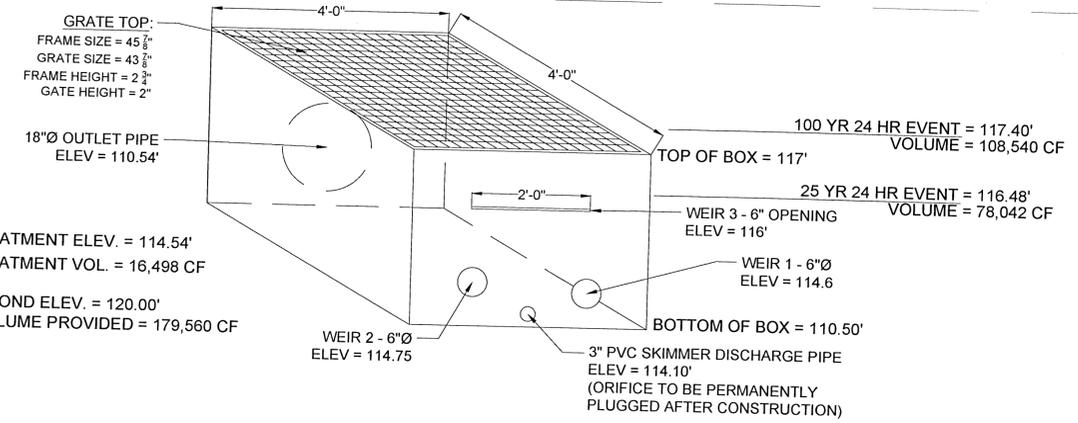
POND SECTION B
Station



POND SECTION C
Station



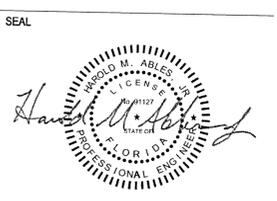
POND A
0.82 AC (35,908-SF)
TOP OF WALL = 120'
POND BOTT. EL. = 114'
25YR/24HR EL. = 116.86'
100 YR EL. = 117.84'



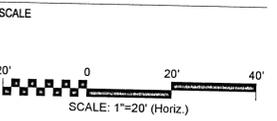
- NOTE:**
- CONTRACTOR SHALL INCLUDE A PERMANENT SKIMMER/TRASH RACK OVER CONTROL STRUCTURE. (SEE STORM DETAILS)
 - CONTRACTOR SHALL STABILIZE POND SLOPES WITH SODDING PRIOR TO BEING PLACED IN USE.

Dewberry
139 E. GOVERNMENT STREET
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(850) 760-0332

**PINEFOREST ROAD
APARTMENTS PROJECT**
ESCAMBIA COUNTY, FLORIDA



FOR PERMITTING ONLY



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POND DETAILS

PROJECT NO. 50137668

C-310

SHEET NO. 17 of 30

TREE PROTECTION TABLE		
TREE NUMBER	DIAMETER (INCH)	TREE TYPE
513	18	OAK
514	12	OAK
515	16	OAK
516	17	OAK
550	13	OAK
552	17	OAK
553	14	OAK
555	13	OAK
556	18	OAK
557	14	OAK
562	15	OAK
572	19	OAK
573	13	OAK
574	12	OAK
575	16	OAK
576	16	OAK
579	14	OAK
633	12	OAK
785	31	OAK
803	16	MAGNOLIA
804	18	OAK
805	24	OAK
806	15	OAK
807	24	OAK

PRE DEVELOPED BASIN CHARACTERISTICS						
BASIN	TOTAL AREA	IMPERV. AREA	SLOPE	CN	25 YR RAINFALL INTENSITY	25 YR FLOWRATE
A	6.41 AC (278258.515 SF)	0 AC (0 SF)	2%	77	0.48	7.489 cfs
OFFSITE A	0.865 AC (37659.189 SF)	0 AC (0 SF)	2%	77	0.48	1.014 cfs
OFFSITE B	0.422 AC (18380.397 SF)	0 AC (0 SF)	2%	77	0.48	0.495 cfs
OFFSITE C	0.079 AC (3432.135 SF)	0 AC (0 SF)	2%	77	0.48	0.092 cfs

LEGEND OF MEASURES FOR EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT

- CONSTRUCTION EXIT
- TOPSOIL
- DUST CONTROL
- FILTER RING
- SKIMMER
- SODDING
- OUTLET PROTECTION
- INLET PROTECTION
- SILT FENCE
- STORMWATER DETENTION BASIN
- SOIL STOCKPILE

STOCKPILE NOTE:
CONTRACTOR SHALL STOCKPILE SOIL IN ACCORDANCE WITH THE DETAIL SHOWN ON SHEET C-403 AND RELOCATE AS NECESSARY WITH CONSTRUCTION.

EROSION AND CONTROL NOTES

- INSTALL SILT FENCE
- INSTALL TREE PROTECTION FOR EXISTING TREE (TYP.)
- CONTRACTOR TO PROVIDE DUST CONTROL
- INSTALL INLET PROTECTION
- CONSTRUCTION ENTRANCE

LEGEND

- STREET SIGN
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- CATCH BASIN
- SANITARY CLEAN-OUT
- DROP INLET
- REINFORCED CONCRETE PIPE
- BOLLARD
- MANHOLE
- JUNCTION BOX
- LIGHT POLE
- NEW CONTOUR
- EXISTING CONTOUR
- SPOT ELEVATION
- UNDERGROUND TELECOMM
- WATER MAIN
- EXISTING CONCRETE
- EXISTING ASPHALT
- TREE LINE
- EXISTING DRAINAGE PIPING
- EXISTING DROP INLET
- TREE PROTECTION
- INLET PROTECTION
- SILT FENCE
- FLOW DIRECTION & SLOPE



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PINEFORST ROAD
APARTMENTS PROJECT
ESCAMBIA COUNTY, FLORIDA

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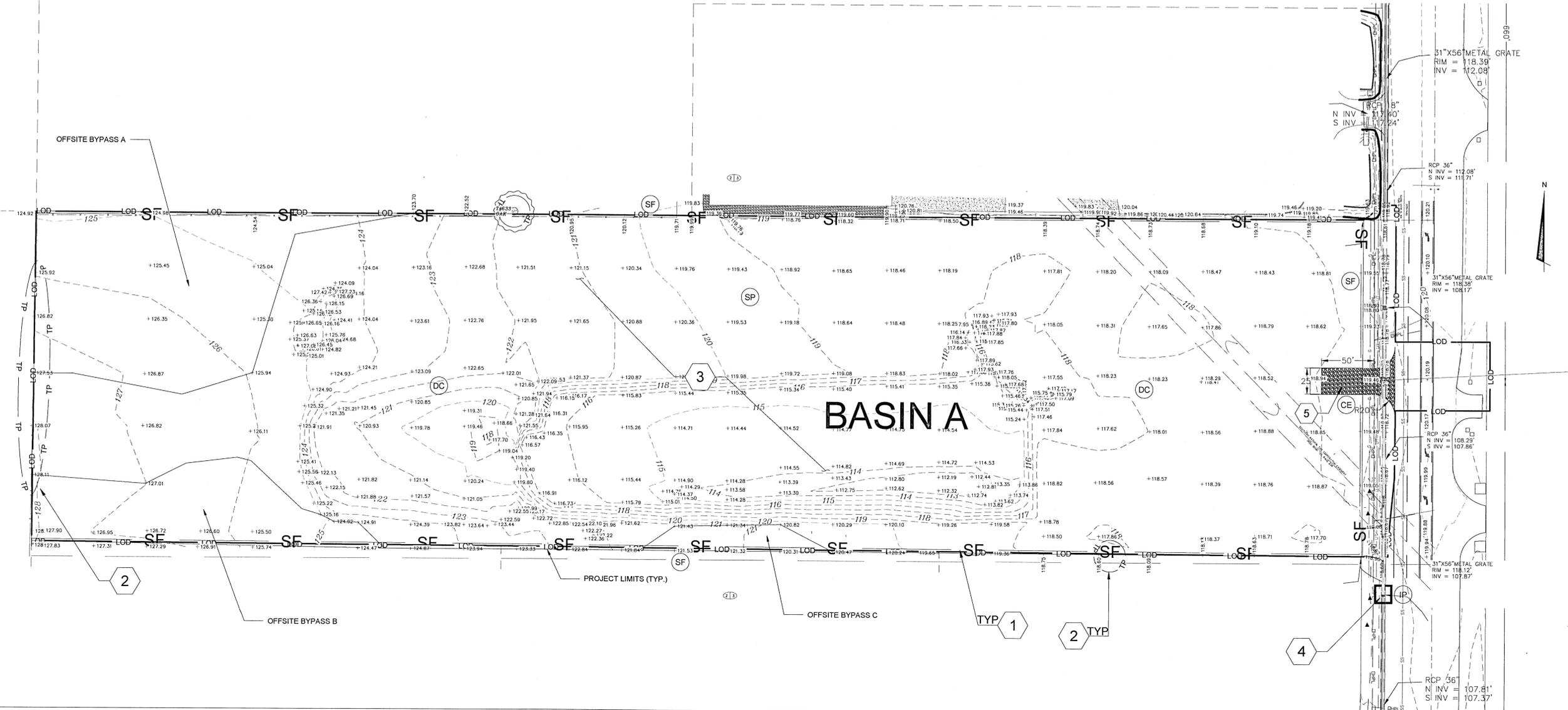
EROSION & SED. CONTROL-PHASE 1

PROJECT NO. 50137668

C-400

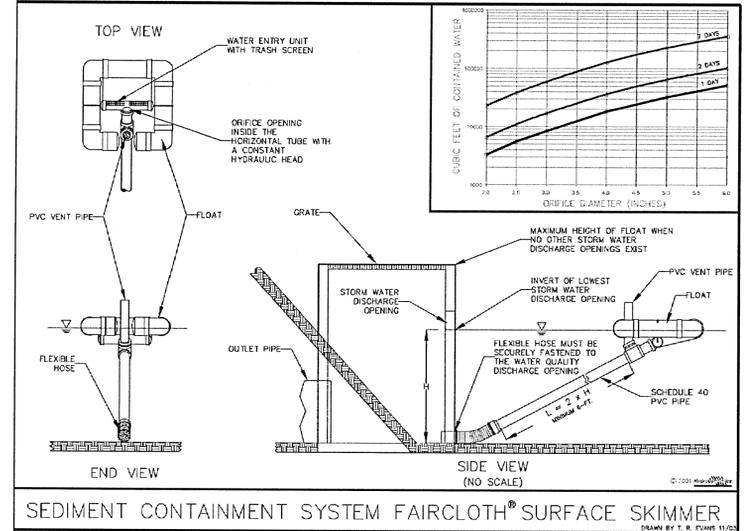
SHEET NO. 19 of 30

E
D
C
B
A



POST DEVELOPED BASIN CHARACTERISTICS

BASIN	TOTAL AREA	IMPERV. AREA	SLOPE	CN	25 YR RAINFALL INTENSITY	25 YR FLOWRATE
1	0.2361 AC (10285.168 SF)	0.1471 AC (6409.246 SF)	1.50%	75.76	0.48	1.76 cfs
2	0.3686 AC (16058.068 SF)	0.2549 AC (11104.069 SF)	1.50%	79.8	0.48	2.9 cfs
3	0.3813 AC (16610.358 SF)	0.2549 AC (11103.494 SF)	2%	78.44	0.48	2.950 cfs
4	0.1983 AC (8638.283 SF)	0.1808 AC (7874.98 SF)	2.50%	92.79	0.48	1.720 cfs
5	0.8178 AC (35624.672 SF)	0.5795 AC (25243.236 SF)	1.50%	81.38	0.48	6.520 cfs
6	0.7242 AC (31545.367 SF)	0.4887 AC (21286.854 SF)	1.50%	65.69	0.48	4.560 cfs
7	0.4489 AC (19555.552 SF)	0.3541 AC (15422.455 SF)	1.50%	81.43	0.48	3.620 cfs
8	0.3139 AC (13672.135 SF)	0.2461 AC (10718.185 SF)	2%	85.26	0.48	2.590 cfs
9	0.4696 AC (20457.576 SF)	0.3547 AC (15448.896 SF)	2%	83.56	0.48	3.800 cfs
10	0.3381 AC (14725.706 SF)	0.0935 AC (4071.243 SF)	2%	55.32	0.48	1.630 cfs
11	0.1443 AC (6285.659 SF)	0.0987 AC (4301.378 SF)	4%	79.36	0.48	1.140 cfs
12	0.0697 AC (3037.111 SF)	0.0613 AC (2671.259 SF)	1.50%	90.91	0.48	0.610 cfs
13	0.3861 AC (16817.373 SF)	0.2428 AC (10575.31 SF)	2.50%	76.1	0.48	2.860 cfs
14	0.3834 AC (16701.394 SF)	0.2368 AC (10395.487 SF)	1.50%	76.09	0.48	2.860 cfs
15	0.3931 AC (17121.474 SF)	0.2452 AC (10682.674 SF)	1%	76.09	0.48	2.910 cfs
16	0.1426 AC (6210.114 SF)	0.1238 AC (5391.366 SF)	1.50%	90.33	0.48	1.210 cfs
17	0.1995 AC (8690.365 SF)	0.1701 AC (7410.523 SF)	2.00%	89.3	0.48	1.690 cfs
18	0.1660 AC (7216.471 SF)	0.1380 AC (6009.347 SF)	1.50%	88.05	0.48	1.400 cfs
19	0.1537 AC (6697.247 SF)	0.1355 AC (5901.378 SF)	1.50%	91.01	0.48	1.320 cfs
20	0.6080 AC (26485.452 SF)	0.5336 AC (23244.23 SF)	1.50%	90.78	0.48	5.220 cfs
21	0.4371 AC (19040.783 SF)	0.2732 AC (11898.474 SF)	2%	75.88	0.48	3.240 cfs
22	0.9382 AC (40866.447 SF)	0 AC (0 SF)	0%	39	0.48	2.100 cfs
23	0.3080 AC (13414.672 SF)	0.1711 AC (7454.626 SF)	0.50%	71.78	0.48	2.150 cfs
24	0.3099 AC (13499.269 SF)	0.1902 AC (8283.935 SF)	4%	75.21	0.48	2.260 cfs
25	0.3818 AC (16629.558 SF)	0.0547 AC (2383.0 SF)	2.50%	48.76	0.48	1.270 cfs



SKIMMER CALCS:

SKIMMER SIZE = 2.5 INCHES
 BARREL SIZE = 3 INCHES
 DISCHARGE PIPE SIZE = 3 INCHES
 24HR FLOW = 6,137 CF
 2DAY FLOW = 12,275 CF
 3DAY FLOW = 18,412 CF
 4DAY FLOW = 24,550 CF
 5DAY FLOW = 30,687 CF
 6DAY FLOW = 36,825 CF
 7DAY FLOW = 42,962 CF

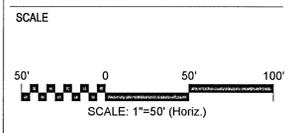
LEGEND OF MEASURES FOR EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT

- (CE) CONSTRUCTION EXIT
- (TS) TOPSOIL
- (DC) DUST CONTROL
- (FR) FILTER RING
- (SK) SKIMMER
- (SOD) SODDING
- (OP) OUTLET PROTECTION
- (IP) INLET PROTECTION
- (SF) SILT FENCE
- (SDB) STORMWATER DETENTION BASIN

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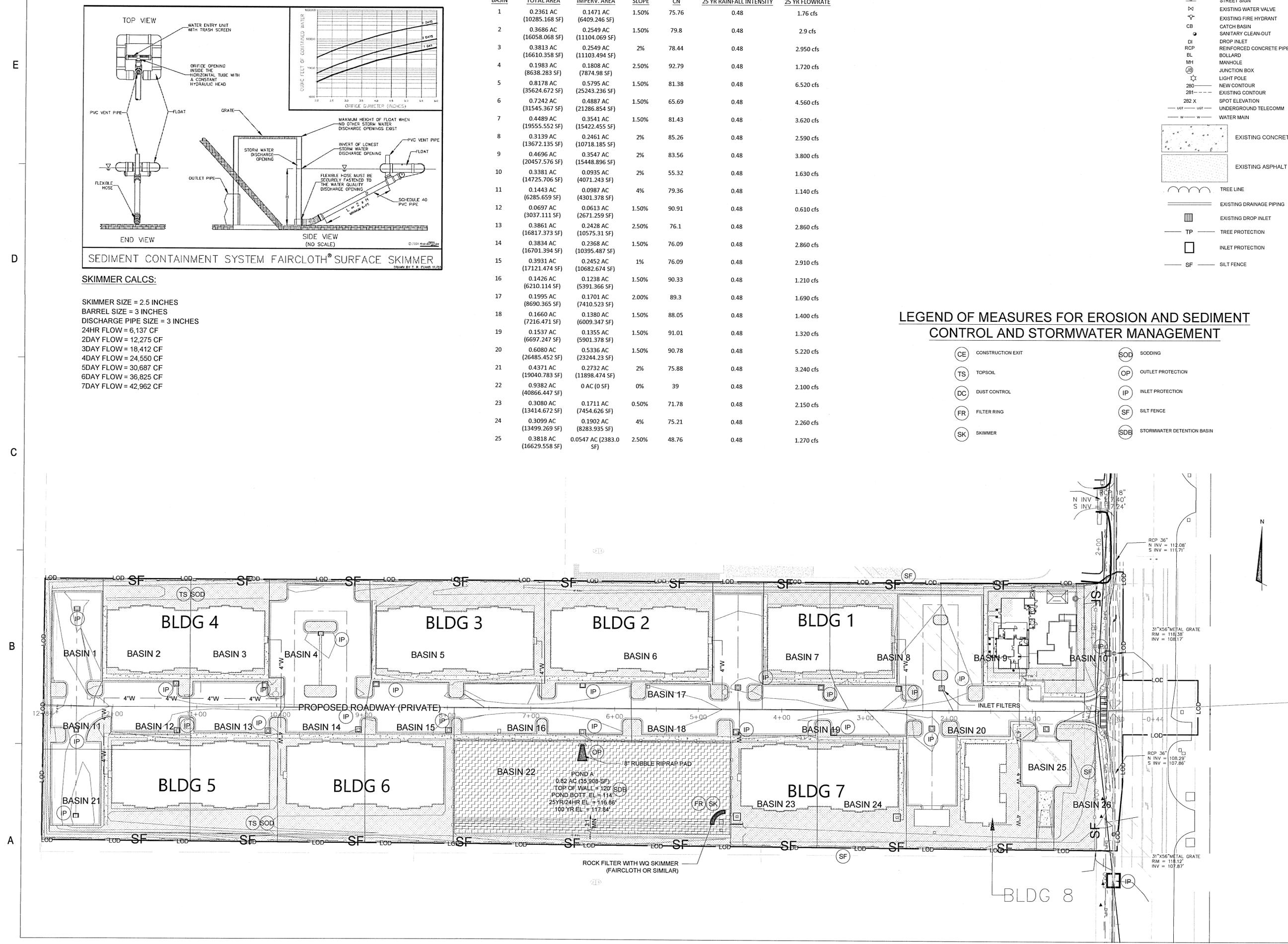
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EROSION & SED. CONTROL PHASE 2

PROJECT NO. 50137668

C-401

SHEET NO. 20 of 30



LEGEND OF MEASURES FOR EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT

- STORMWATER DETENTION BASIN
- FILTER RING
- SODDING
- OUTLET PROTECTION

LEGEND

- STREET SIGN
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- CATCH BASIN
- SANITARY CLEAN-OUT
- DROP INLET
- REINFORCED CONCRETE PIPE
- BOLLARD
- MANHOLE
- JUNCTION BOX
- LIGHT POLE
- NEW CONTOUR
- EXISTING CONTOUR
- SPOT ELEVATION
- UNDERGROUND TELECOMM
- WATER MAIN
- EXISTING CONCRETE
- EXISTING ASPHALT
- PERMANENT SOD
- TREE LINE
- EXISTING DRAINAGE PIPING
- EXISTING DROP INLET
- TREE PROTECTION
- INLET PROTECTION
- SILT FENCE



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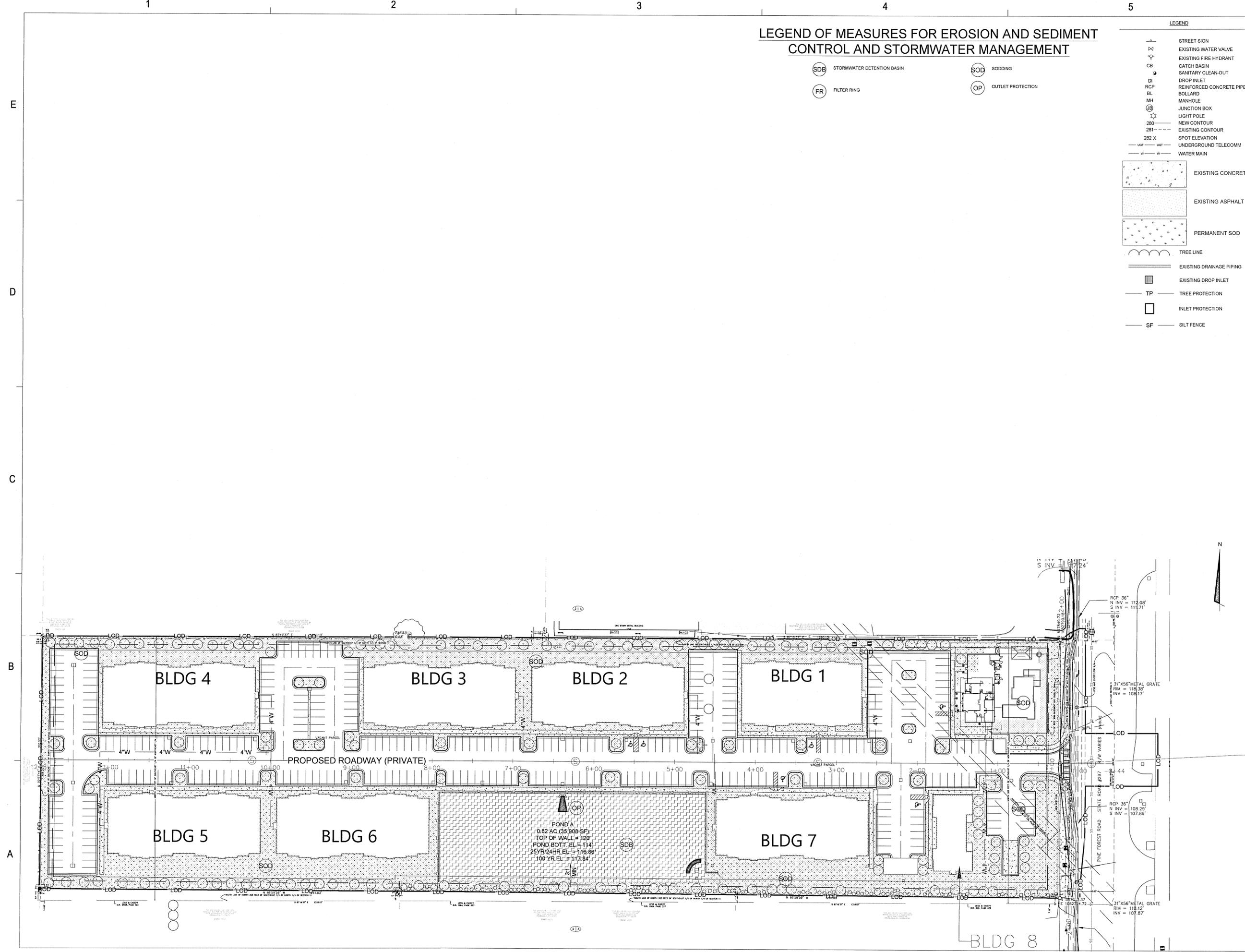
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EROSION & SED.
CONTROL PHASE 3

PROJECT NO. 50137668

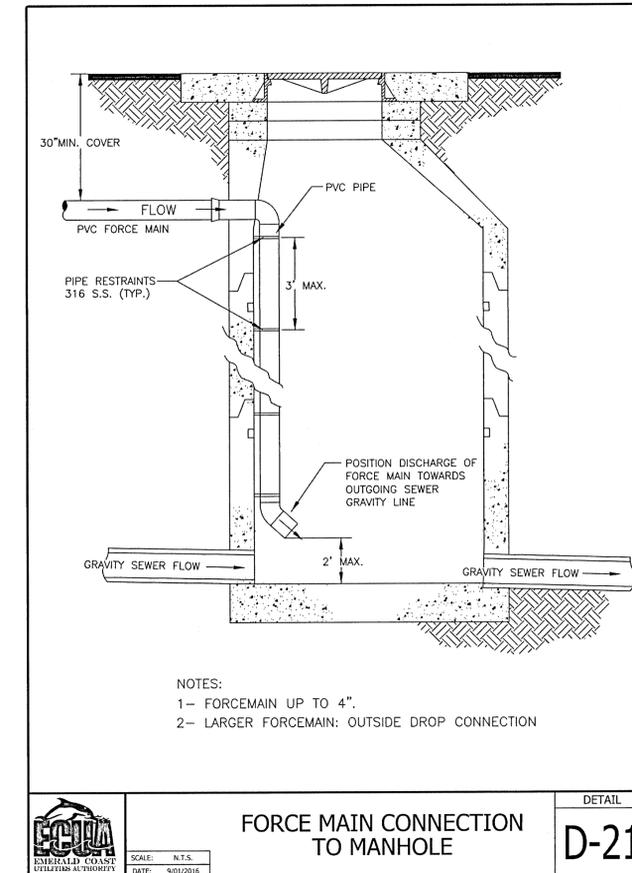
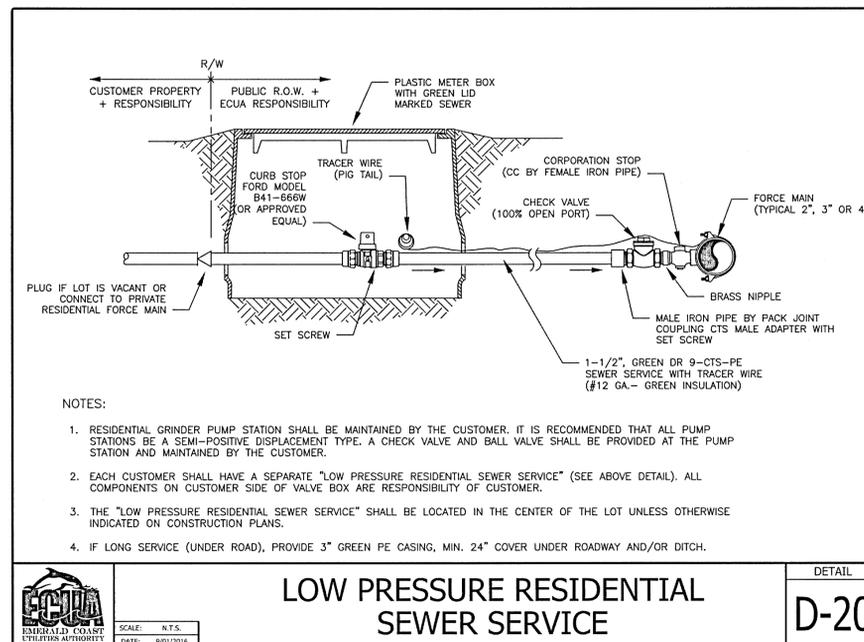
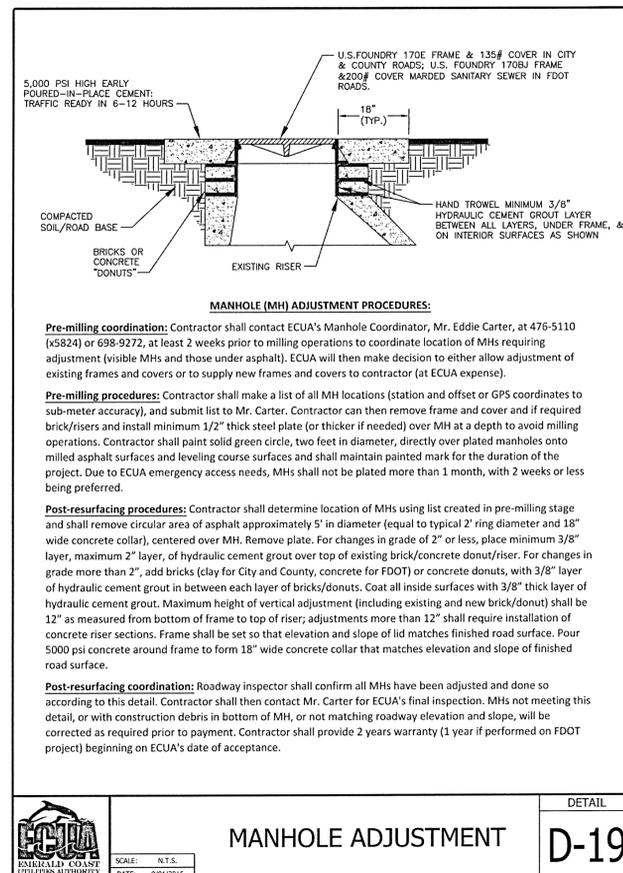
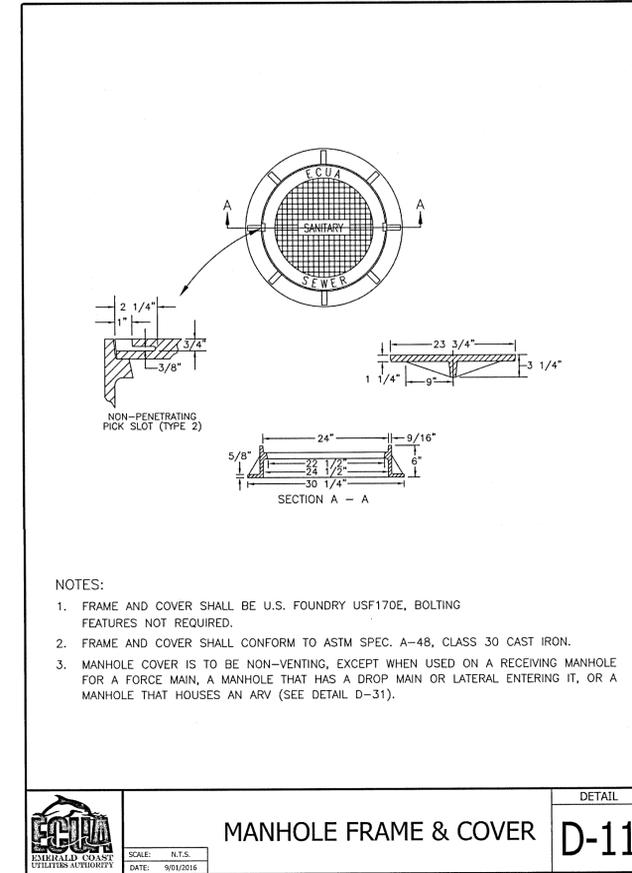
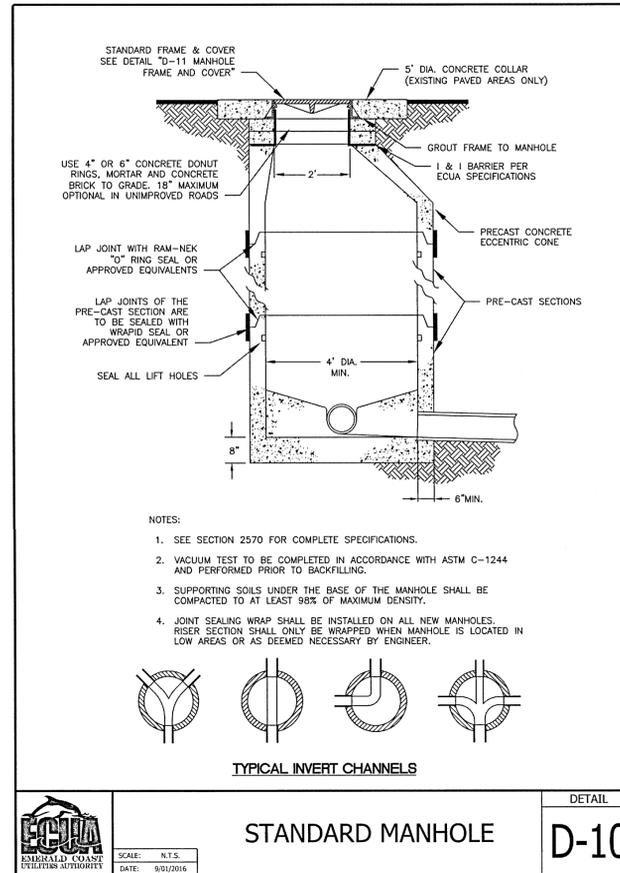
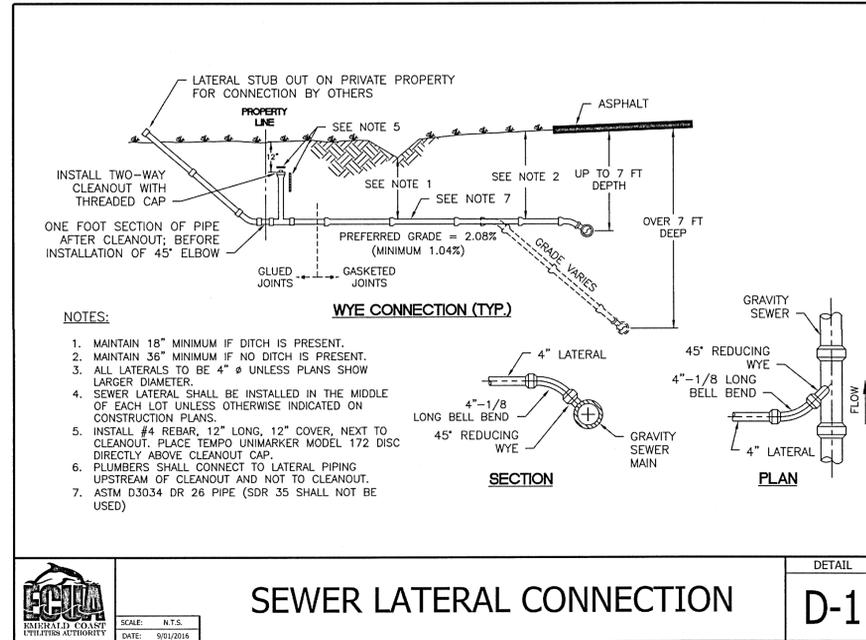
C-402

SHEET NO. 21 of 30



WATER MAIN PROTECTION NOTE:

WHERE WATER MAINS CAN NOT BE RELOCATED TO MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF 10 FEET AND A MINIMUM VERTICAL SEPARATION OF 18 INCHES BETWEEN THE OUTSIDE OF SEWER AND WATER MAINS AND JOINTS, THE CONTRACTOR SHALL PLACE THE SEWER MAIN IN A STEEL SLEEVE OR ENCASE THE SEWER MAIN IN CONCRETE ACCORDING TO THE DETAIL ON THIS SHEET.



SEAL NOT APPROVED UNLESS ACCOMPANIED WITH A VALID SIGNATURE

DAVID B. TILLAR, P.E.
FL. PE No. 86262

FOR PERMITTING ONLY

SCALE

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY: A. K. ANDERSON
APPROVED BY: M. ABLES
CHECKED BY: M. ABLES
DATE: OCTOBER 2021

TITLE

UTILITY DETAILS 3

PROJECT NO. 50137668

C-912

NOTES
LANDSCAPING IS NOT PART OF THE SITE CONTRACT.

LANDSCAPE WILL BE REQUIRED TO MEET MINIMUM STANDARD PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

LANDSCAPING NOTES

- 1. ALL PLANTS SHALL CONFORM TO THE STANDARDS FOR FLORIDA GRADE NO.1, OR BETTER, AS PROVIDED IN THE LATEST EDITION OF GRADES AND STANDARDS FOR NURSERY PLANTS, DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
2. ALL LANDSCAPING SHALL UTILIZE NATIVE PLANT SPECIES OR THOSE SPECIES LISTED IN THE FLORIDA-FRIENDLY LANDSCAPING™ GUIDE TO PLANT SELECTION AND LANDSCAPE DESIGN. NON-NATIVE SPECIES ARE LIMITED TO 25% OR LESS OF THE TOTAL REQUIRED TREES PLANTED ON SITE.
3. CANOPY TREES PLANTED TO FULFILL THE MINIMUM LANDSCAPE REQUIREMENTS OF THIS ARTICLE SHALL NORMALLY ATTAIN A MATURE HEIGHT OF AT LEAST 30 FEET AND HAVE A MINIMUM CALIPER OF 2.5 INCHES OR GREATER MEASURED AT 4 INCHES ABOVE ROOT BALL. UNDERSTORY TREES PLANTED TO FULFILL THE MINIMUM LANDSCAPE REQUIREMENTS OF THIS ARTICLE SHALL NORMALLY ATTAIN A MATURE HEIGHT OF LESS THAN 30 FEET BUT AT LEAST 12 FEET.
4. ANY REFERENCED REVISIONS (IF OCCURRING AFTER SITE PLAN APPROVAL) MUST BE CONVEYED THROUGH THE EOR TO THE SITE INSPECTORS AND CAN ONLY BE MADE PROVIDED THE SUBSTITUTIONS COMPLY WITH ALL OTHER PLAN LANDSCAPE SPECIFICATION.
5. AT LEAST 50% OF THE BUFFER TREES MUST BE EVERGREEN AND THE MAXIMUM PERCENTAGE OF ANY ONE SPECIES PER DIVERSITY REQUIREMENT IN THE DSM BASED ON THE FINAL NUMBER OF SITE TREES PROPOSED. IF 50 TREES OR MORE, THE MAXIMUM OF ANY ONE SPECIES IS 30% OF THE TOTAL.
6. FOR PROTECTED TREES, ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND BECOMES STABILIZED.
7. ALL TREE REMOVAL, LAND CLEARING, FILLING OR PLACEMENT OF FILL MATERIALS OR AGGREGATE ONSITE, OR ANY OTHER "LAND DISTURBING ACTIVITIES", ETC. SHALL BE PERMITTED OR OTHERWISE APPROVED BY THE COUNTY PRIOR TO INITIATION OF SITE WORK.

PLAN NOTES

- 1. TERMINATION TREE PLANTINGS ARE REQUIRED AT ALL PARKING ISLANDS. DUE TO THE LIMITATION OF THE GAS EASEMENT, TWO PARKING ISLANDS WERE NOT INCLUDED IN THIS REQUIREMENT.

NORTH PROPERTY LINE ADJACENT COMMERCIAL LANDUSE NO BUFFER REQUIRED

WEST PROPERTY LINE ADJACENT COMMERCIAL LANDUSE NO BUFFER REQUIRED

SOUTHWEST PROPERTY LINE ADJACENT COMMERCIAL LANDUSE NO BUFFER REQUIRED

SOUTHEAST PROPERTY LINE

ADJACENT RESIDENTIAL LANDUSE BUFFER REQUIRED; TYPE A BUFFER

EAST PROPERTY LINE ADJACENT COMMERCIAL LANDUSE NO BUFFER REQUIRED

PROVIDED: 6' HIGH FUNCTIONALLY OPAQUE FENCE

PROVIDED: 6' HIGH FUNCTIONALLY OPAQUE FENCE

PROVIDED: 6' HIGH FUNCTIONALLY OPAQUE FENCE

816 L.F. = 16 CANOPY TREES 8 UNDERSTORY TREES 91 SHRUBS 6' HIGH FUNCTIONALLY OPAQUE FENCE

PROVIDED: 6' HIGH FUNCTIONALLY OPAQUE FENCE

TREE PROTECTION NOTE:

ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.

MITIGATION CALCULATIONS

TOTAL TREE CALIPER TO BE REMOVED DUE TO CONFLICT, DYING, SPLIT, SENESCENT, HOLLOW AND ROTTING = 961.00' TOTAL TREE CALIPER TO REMAIN = 397.00'

ESCAMBIA COUNTY MITIGATION LIMIT = 25 CALIPER INCHES / ACRE PROJECT AREA = 9.09 ACRES AC TOTAL CALIPER INCHES OF MITIGATION REQUIRED = 9.09 ACRES AC X 25 CALIPER INCHES/AC = 228 CALIPER INCHES

2.5 CALIPER INCHES / TREE 228 / 2.5 = 92 MITIGATION TREES TO BE PLANTED

TOTAL MITIGATION TREES PROVIDED = 92 TREES

PER THE ABOVE CALCULATIONS, THE CONTRACTOR SHALL PROVIDE 228" IN TOTAL REPLACEMENT TREES. TREES SHALL BE CANOPY TREES AND IN ACCORDANCE WITH LANDSCAPING NOTES. FOR THE PURPOSE OF PERMITTING, TREES ARE ASSUMED TO BE 2.5" IN CALIPER.

MINIMUM REQUIRED LANDSCAPE AREA (15%): 1.36 AC OR 15% REQUIRED 1.71 ACRES OR 18% PROVIDED

LANDSCAPE BUFFER MATERIAL LIST CANOPY TREE table with columns: SYMBOL, QUANTITY, BOTANICAL NAME/Common Name, SIZE (MIN.), ROOT COND., NOTES. Includes rows for RB (Betula nigra), LO (Quercus virginiana), SM (Magnolia virginiana).

UNDERSTORY TREE table with columns: SYMBOL, QUANTITY, BOTANICAL NAME/Common Name, SIZE (MIN.), ROOT COND., NOTES. Includes rows for FT (Chionanthus virginicus), TW (Halesia diptera), DW (Osmanthus americanus).

SHRUB table with columns: SYMBOL, QUANTITY, BOTANICAL NAME/Common Name, SIZE (MIN.), ROOT COND., NOTES. Includes rows for VS (Itea virginica), ED (Philadelphus inodorus), WV (Viburnum obovatum).

PARKING ISLAND MATERIAL LIST CANOPY TREE table with columns: SYMBOL, QUANTITY, BOTANICAL NAME/Common Name, SIZE (MIN.), ROOT COND., NOTES. Includes rows for FM (Acer barbatum), RM (Acer rubrum), RB (Betula nigra), LO (Quercus virginiana), SM (Magnolia virginiana).

MITIGATION TREE MATERIAL LIST CANOPY TREE table with columns: SYMBOL, QUANTITY, BOTANICAL NAME/Common Name, SIZE (MIN.), ROOT COND., NOTES. Includes rows for FM (Acer barbatum), RM (Acer rubrum), RB (Betula nigra), LO (Quercus virginiana), SM (Magnolia virginiana).

LEGEND section containing symbols and descriptions for: LIMITS OF CONSTRUCTION, LIGHT POLE, EXISTING CONCRETE, EXISTING ASPHALT, NEW CONCRETE SIDEWALK, NEW STD DUTY ASPHALT, SODDED GRASS, PROPOSED BUILDING, C.I.P. CONCRETE RETAINING WALL.

Dewberry logo and address: 139 E. GOVERNMENT STREET PENSACOLA, FL 32502 (850) 760-0332

PINEFOREST ROAD APARTMENTS PROJECT ESCAMBIA COUNTY, FLORIDA

SEAL section with a circular professional seal and the text: NOT APPROVED UNLESS ACCOMPANIED WITH A VALID SIGNATURE. Includes name David B. Tillar, P.E. and license number CDAR 8794.

FOR PERMITTING ONLY

SCALE section with a graphical scale bar showing 0, 50, and 100 feet. Text: SCALE: 1"=50' (Horiz.)

REVISIONS table with columns: NO., DESCRIPTION, DATE. The table is currently empty.

DRAWN BY: A. K. ANDERSON APPROVED BY: M. ABLES CHECKED BY: M. ABLES DATE: OCTOBER 2021

TITLE

LANDSCAPE PLAN

PROJECT NO. 50137668

C-600

SHEET NO. 30 of 30

