

ESCAMBIA COUNTY SCHOOL DISTRICT

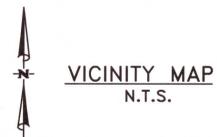
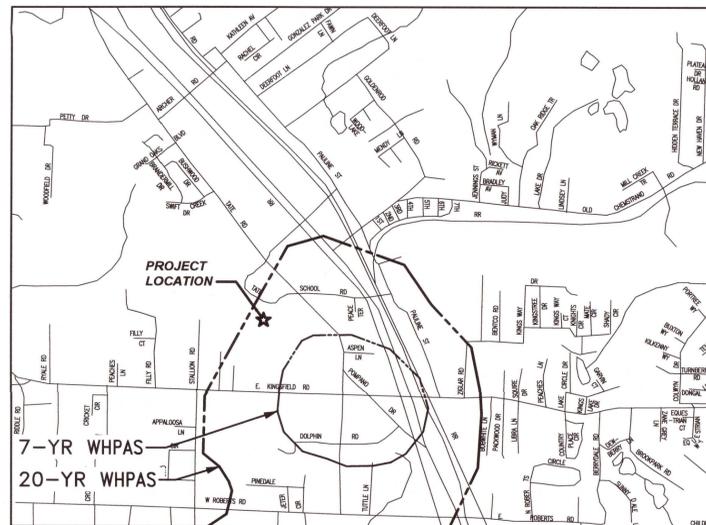
TATE HIGH SCHOOL - AGRISCIENCE BUILDING

1771 TATE RD

CANTONMENT, FL 32533

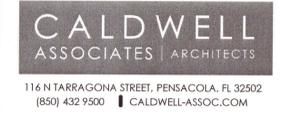
OWNER/DEVELOPER:
 ESCAMBIA COUNTY SCHOOL BOARD
 30 E. TEXAR DRIVE
 PENSACOLA, FL 32501
 PHONE: (850) 469-5345

ENGINEER:
 KENNETH HORNE & ASSOCIATES, INC.
 7201 N. 9th AVENUE, SUITE 6
 PENSACOLA, FLORIDA 32504
 PHONE: (850) 471-9005



THE SUBJECT PARCEL FALLS WITHIN SEVERAL TRAVEL TIME CONTOURS OF PROTECTED (POTABLE) WELLHEADS. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ECUA- EMERALD COAST UTILITIES AUTHORITY (850) 476-5110 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 595-6712) AGENCIES

Approved
 ESCAMBIA COUNTY DRG PLAN REVIEW
 Date: 7/27/2021
 DRG Chairman Signature: *[Signature]*
 Development Services Director or Designee: *[Signature]*
 This document has been reviewed in accordance with the requirements of applicable Escambia County Ordinances and Ordinalances, and does not in any way relieve the submitting Architect, Engineer, Surveyor or other signatory of their professional responsibility of details as drawn. A Development Order shall be obtained through the Development Review Process prior to the commencement of construction. This DO approval does not constitute approval by any other agency. All additional state/federal permits shall be provided to the county prior to approval of a final plat or the issuance of a final plat or the issuance of a building permit.



License No: AA26000721 License No: IR00002995
 PROJECT ISSUES:
 FINAL RTA SUBMITTAL 06/01/2021

- PROJECT TEAM:**
- CIVIL**
Kenneth Horne & Associates
 - GEOTECHNICAL**
Larry M. Jacobs & Associates
 - LANDSCAPE**
Alan D. Holt
 - STRUCTURAL**
Joe DeReuil & Associates
 - ARCHITECTURAL**
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 - FIRE PROTECTION**
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 - PLUMBING**
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 - MECHANICAL**
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 - ELECTRICAL**
Adams Consulting Engineering
 - TELECOMMUNICATION**
Premier Engineering
 - MOISTURE CONSULTANT**
Arcadia ICR

PROJECT:
TATE HIGH SCHOOL
AGRISCIENCE BUILDING
1771 TATE ROAD
CANTONMENT, FLORIDA



SCHOOL DISTRICT OF
ESCAMBIA COUNTY



PROJECT NO. :
 SHEET TITLE:

CIVIL COVER PAGE

SHEET NUMBER:
C000

PRINT DATE:

TAX #27-1N-31-0102-000-000
SCHOOL BOARD OF ESCAMBIA CO

75 N PACE BLVD
PENSACOLA, FL 32505

TATE HIGH SCHOOL
STREET ADDRESS:
1771 TATE ROAD, PENSACOLA, FL 32533

BENCHMARKS:

- 1704/45A - AN "X" IN THE NORTH BONNET BOLT OF A FIRE HYDRANT LOCATED 80'+/- NORTH NORTHEAST OF THE MOST NORTHERLY CORNER OF FRYMAN GYMNASIUM, TATE HIGH SCHOOL.
ELEVATION = 160.03'
- 1705/45B - AN "X" IN THE NORTHWEST SIDE OF A ROUND CONCRETE LIGHT POLE BASE LOCATED 200'+/- NORTHEAST OF MOST NORTHERLY CORNER OF FRYMAN GYMNASIUM, TATE HIGH SCHOOL.
ELEVATION = 159.10'
- 1705/45C - AN "X" IN A CONCRETE HEADWALL LOCATED 75'+/- NORTH OF NORTHWEST CORNER OF AGRICULTURAL BUILDING, TATE HIGH SCHOOL.
ELEVATION = 153.95'
- 1705/45D - AN "X" IN THE SOUTH CORNER OF A TRANSFORMER PAD LOCATED 30'+/- NORTH OF NORTHWEST CORNER OF AGRICULTURAL BUILDING, TATE HIGH SCHOOL.
ELEVATION = 154.22'

SURVEYOR'S NOTES:

- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THE SURVEYOR DOES NOT CERTIFY THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES OR THAT THEY ARE THE EXACT SIZE, MATERIAL, OR LOCATION AS INDICATED.
- THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
- THIS SURVEY IS SUBJECT TO ANY FACTS THAT MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
- THIS SURVEY IS SUBJECT TO SETBACKS, EASEMENTS, AND RESTRICTIONS OF RECORD.
- TO ASSURE THE CONTRACTOR IS ON THE SAME VERTICAL AND HORIZONTAL DATUM AS THIS SURVEY, IT IS STRONGLY RECOMMENDED THAT VERTICAL CHECKS BE MADE BETWEEN TWO BENCHMARKS AND THAT HORIZONTAL CHECKS BE MADE BETWEEN THREE CONTROL POINTS OR PROPERTY CORNERS.
- SUB-SURFACE IMPROVEMENTS, IF ANY, NOT LOCATED.
- DUE TO CURRENT SAFETY REGULATIONS, WE ARE UNABLE TO ACCESS ANY SEWER MANHOLES AND/OR STRUCTURES IN ORDER TO VERIFY PIPE SIZE OR MATERIAL. PIPE SIZE AND MATERIAL HAS BEEN SHOWN AS PER PLANS OR BY APPROXIMATE MEASUREMENTS. IT IS STRONGLY RECOMMENDED THAT SIZE AND MATERIAL ARE VERIFIED BEFORE ANY DESIGN WORK BEGINS.
- COORDINATES SHOWN ARE STATE PLANE COORDINATES REFERENCED TO N.A.D. 83 DATUM, 2011 ADJUSTMENT, FLORIDA NORTH ZONE AND EXPRESSED IN U.S. SURVEY FEET.
- COORDINATES ARE DERIVED BY USING THE TRIMBLE AND FLORIDA DEPARTMENT OF TRANSPORTATION CONTINUOUSLY OPERATING REFERENCE STATION (CORS) NETWORK.

SITE DATA:

PROPERTY REFERENCE NOS: 27-IN-31-0102-000-000
 PROPERTY ADDRESS: 1771 TATE RD 32533
 ZONING: Pub, LDR, LDMU
 FLU: MU-S
 PROPOSED USE: EDUCATIONAL
 EXISTING IMPERVIOUS AREA TO BE REMOVED: 45,558 SF
 PROPOSED IMPERVIOUS: 29,034 SF
 FLOOD ZONE "X" - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOODING

THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED IN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:

FLOOD ZONE(S)	COMMUNITY NUMBER	MAP NUMBER	PANEL NUMBERS	SUFFIX	MAP REVISION DATE
X	120080	12033C	0285	G	SEPTEMBER 29, 2006

EROSION CONTROL NOTES:

- HAY BALES OR SILT FENCE SHALL BE PLACED AS REQUIRED. POSTS FOR SILT FENCE SHALL BE AT A DEPTH TO RESIST OVERTURNING, THE BOTTOM EDGE OF THE FABRIC SHALL BE BELOW GRADE AND COVERED WITH SOIL. SUPPLEMENT WITH HAY BALES AS REQUIRED TO PREVENT THE PASSAGE OF SOIL MATERIALS. HAY BALES ARE TO BE PROPERLY PLACED AND STAKED. (SEE TYPICAL DETAILS)
- ISOLATED AREAS OF CONSTRUCTION MAY NEED TO BE ADDRESSED BY THE CONTRACTOR AS FIELD CONDITIONS DICTATE.
- UPON COMPLETION OF CONSTRUCTION, ALL DISTURBED AREAS ARE TO BE STABILIZED WITH SOD.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT EROSION CONTROL MEASURES USED ARE MAINTAINED AND FULLY FUNCTIONAL DURING RAINFALL EVENTS.
- THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
- CONTRACTOR SHALL INSPECT AND REESTABLISH EROSION CONTROL BARRIERS WEEKLY AND AFTER EVERY SIGNIFICANT STORM EVENT.

GENERAL NOTES:

- ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO ESCAMBIA COUNTY STANDARDS.
- CONTRACTOR SHALL NOTIFY THE OWNER FORTY-EIGHT HOURS PRIOR TO BEGINNING CONSTRUCTION.
- ALL LANDSCAPING SHALL COMPLY WITH ARTICLE 7 OF THE ESCAMBIA COUNTY LAND DEVELOPMENT CODE.
- ALL WORK WITHIN THE RIGHT-OF-WAYS SHALL CONFORM TO ESCAMBIA COUNTY STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) AND F.D.O.T. STANDARD DETAILS AND SPECIFICATIONS (LATEST EDITION).
- CONTRACTOR SHALL FILE A "NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES." CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THIS PERMIT THROUGHOUT THE COURSE OF CONSTRUCTION.
- THE OWNER WILL BE RESPONSIBLE FOR SUBMITTING THE NOTICE OF COMMENCEMENT AND FOR MONITORING CONSTRUCTION. THE ENGINEER OF RECORD WILL BE RESPONSIBLE FOR SUBMITTING THE AS-BUILT CERTIFICATION.
- THE GENERAL CONTRACTOR IS TO MAINTAIN (CUT AND WATER) THE VEGETATION INSIDE THE CONSTRUCTION FENCE DURING ENTIRE CONSTRUCTION.
- TEMPORARY SECURITY FENCE AND ALL REMNANTS THEREOF SHALL BE REMOVED WHEN PROJECT IS COMPLETE.
- ANY NECESSARY PERMITS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE ENGINEER OF RECORD WILL ASSIST CONTRACTOR WITH ANY REQUIRED PERMITS. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BE BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AGENCIES.
- ROLL GRADE BEFORE AND ROLL SOD AFTER PLACEMENT TO ENSURE SMOOTH FINAL GRADE. NO RUTTING WILL BE ACCEPTABLE AT PROJECT CLOSE-OUT.
- CONTRACTOR SHALL VIEW SITE SPECIFIC GEOTECHNICAL REPORT PRIOR TO BIDDING FOR ADDITIONAL REQUIREMENTS / INFORMATION ON SITE PREPARATION, FILL, EARTHWORK QUALITY CONTROL, BUILDING FOUNDATION, AND STORMWATER POND.
- CONTRACTOR SHALL HAUL AWAY ALL EXCESS MATERIAL AND DEBRIS AND DISPOSE OF OFFSITE IN A LEGAL MANNER.
- FOR STAGING, EQUIPMENT STORAGE, EMPLOYEE PARKING, AND SITE ACCESS, COORDINATE WITH OWNER.
- PROPERTY OBSTRUCTIONS WHICH ARE TO REMAIN IN PLACE, SUCH AS BUILDINGS, SEWER, DRAINS, WATER OR GAS PIPES, ELECTRICAL, CONDUITS, POLES, WALLS, POST, ETC., ARE TO BE CAREFULLY PROTECTED AND ARE NOT TO BE DISPLACED UNLESS NOTED.
- NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN OBTAINING A CERTIFICATE OF OCCUPANCY.
- ALL AREAS DISTURBED DUE TO CONSTRUCTION ACTIVITY SHALL BE SODDED. ALL PLASTIC BACKING SHALL BE REMOVED FROM SOD PRIOR TO INSTALLATION.
- THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT 850-595-3472. AS BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
- ANY DAMAGE TO EXISTING ROADS & PARKING LOT DURING CONSTRUCTION WILL BE REPAIRED BY THE DEVELOPER PRIOR TO FINAL "AS-BUILT" SIGN-OFF FROM THE ENGINEER OF RECORD & COUNTY.
- CONTRACTOR SHALL MAINTAIN TRAFFIC CONTROL IN ACCORDANCE WITH FDOT STANDARD INDEX 600 (LATEST EDITION), FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION) AND IN ACCORDANCE WITH ALL PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING IN ORDER TO FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS AND THE EXTENT OF CLEARING AND GRUBBING REQUIRED.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHT-OF-WAY.
- ALL DEBRIS RESULTING FROM PROPOSED DEMOLITION WILL BE DISPOSED OF IN A LEGAL MANNER AND WILL CONFORM TO ANY AND ALL STATE AND LOCAL REGULATIONS AND/OR ORDINANCES WHICH GOVERN SUCH ACTIVITIES.
- NO DEMOLITION DEBRIS WILL BE STOCKPILED OR GATHERED ON THE PROJECT SITE WITHOUT PRIOR AUTHORIZATION OF THE OWNER.
- ALL PAVEMENT MARKINGS AND STRIPING SHALL BE THERMOPLASTIC AND INSTALLED ACCORDING TO FDOT STANDARD INDEX, LATEST EDITION.
- ALL SIGNS SHALL BE INSTALLED PER FDOT STANDARD INDEX 11865, LATEST EDITION, WIND ZONE NO. 1.
- OWNER/CONTRACTOR SHALL OBTAIN A SIGN PERMIT THROUGH ESCAMBIA COUNTY PRIOR TO ERECTING OR CONSTRUCTING ANY SITE BUILDING SIGNS. ADDITIONAL RESTRICTIONS MAY APPLY.

STORMWATER NOTES:

- THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
- ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
- ALL NEW STORMWATER RUNOFF IS TO BE DIRECTED TO THE NEW STORMWATER COLLECTION SYSTEM.
- RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.
- TRENCHING AND GRADING AROUND TREES WHICH ARE TO REMAIN SHALL BE AWAY FROM THE TREE IN A MANNER TO CAUSE NO DAMAGE TO THE TREE.
- DEVELOPER/CONTRACTOR SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT AND STABILIZE RETENTION/DETENTION PONDS AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND PRIOR TO REQUEST FOR INSPECTION.
- CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPOGRAPHY OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
- A COPY OF THE NWFWD ERP PERMIT WILL BE KEPT ON SITE AT ALL TIMES.
- THE CONTRACTOR IS REQUIRED TO REVIEW THE COMPLETE NWFWD PERMIT PRIOR TO CONSTRUCTION COMMENCEMENT.
- THE ENGINEER OF RECORD, NICHOLAS R. KING, SHALL BE RESPONSIBLE FOR MONITORING CONSTRUCTION, ENSURING THAT THE NOTICE OF COMMENCEMENT IS FILED WITH THE NWFWD AND THAT THE AS-BUILT CERTIFICATION IS PROVIDED WHEN THE PROJECT IS COMPLETED.
- ALL NEW BUILDING ROOF DRAINS, DOWNSPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.

UTILITY COMPANIES:

UTILITY INFORMATION SHOWN AS PER FIELD INFORMATION AND INFORMATION FURNISHED BY UTILITY COMPANIES INVOLVED.
 TELEPHONE - AT & T, INC., 605 WEST GARDEN STREET, PENSACOLA, FLORIDA 32501; (850) 436-1616
 ELECTRIC - GULF POWER COMPANY, 9220 PINE FOREST ROAD, PENSACOLA, FLORIDA 32534; (850) 484-5770
 SANITARY SEWER/WATER - EMERALD COAST UTILITY AUTHORITY, ELLYSON INDUSTRIAL PARK, PENSACOLA, FLORIDA; (850) 476-5110
 NATURAL GAS - PENSACOLA ENERGY, 16 SOUTH PALAFOX STREET, PENSACOLA, FLORIDA; (850) 474-5322

UTILITY NOTES:

- CONTRACTOR SHALL LOCATE, SUPPORT & PROTECT EXISTING UTILITIES TO REMAIN, AS REQUIRED. ALL KNOWN UTILITIES ARE SHOWN IN AN APPROXIMATE LOCATION ONLY. CONTRACTOR SHALL UTILIZE GROUND PENETRATING RADAR OR EQUIVALENT TO LOCATE ALL EXISTING UTILITIES WITHIN ALL AREAS OF CONSTRUCTION. CONTRACTOR SHALL CONFIRM HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES TO BE RELOCATED AND/OR IN DIRECT CONFLICT WITH CONSTRUCTION ACTIVITIES. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES WITH VARIOUS UTILITY COMPANIES PRIOR TO CONSTRUCTION.
- IF EXISTING UTILITY LINES ABOVE OR BELOW GROUND ARE DISTURBED DUE TO CONSTRUCTION ACTIVITY THEY WILL BE RELOCATED AS PER UTILITY OWNER AND OWNER REQUIREMENTS.
- NOTIFY SUNSHINE UTILITIES 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RIGHT-OF-WAY; 1-800-432-4770.
- LOCATION OF EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE ONLY AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION AND DEPTHS BEFORE BEGINNING CONSTRUCTION. FAILURE OF THE PLANS TO SHOW THE EXISTENCE OF ANY UNDERGROUND UTILITIES, STRUCTURES, ETC., SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF PRESERVING AND PROTECTING SAID UTILITIES OR STRUCTURES.

EXIST LEGEND:

- BM BENCHMARK
- ELEV ELEVATION
- FFE FINISHED FLOOR ELEVATION
- CP CONCRETE PIPE
- CPP CORRUGATED PLASTIC PIPE
- PVC POLY VINYL CHLORIDE
- 1/2" CAPPED IRON ROD SET #7073
- NAIL AND DISK SET #7073
- AIR CONDITIONING UNIT
- CABLE EQUIPMENT
- ELECTRIC EQUIPMENT
- FIRE HYDRANT
- FLAG POLE
- GAS METER
- GAS VALVE
- LIGHT POLE
- PILING
- POLE
- POST
- ROAD SIGN
- SANITARY MANHOLE
- SATELLITE DISH
- SEWER CLEANOUT
- SPOT ELEVATION
- STORM INLET
- STORM MANHOLE
- TELEPHONE EQUIPMENT
- WATER METER
- WATER VALVE
- CABLE LINE
- CONTOUR LINE
- ELECTRIC LINE
- FENCE - CHAIN LINK
- FENCE - WOOD
- GAS LINE
- SANITARY SEWER LINE
- STORM SEWER LINE
- TELEPHONE LINE
- WATER LINE
- MISCELLANEOUS TREE
- OAK TREE
- PECAN TREE

NEW LEGEND:

- TP TOP OF PAVING
- TC TOP OF CONCRETE
- FG FINISH GRADE
- ME MATCH EXISTING
- TE TOP ELEVATION
- IE INVERT ELEVATION
- BUILDING
- ASPHALT PAVING
- CONCRETE
- ITEM TO BE REMOVED
- 157 FINISH CONTOUR
- SS SANITARY SEWER
- ST STORM LINE
- WTR WATER LINE
- HANDICAP PARKING
- WATER VALVE
- STORM INLET
- STORM JUNCTION BOX
- SIGN
- EROSION CONTROL
- CONSTRUCTION FENCE
- BOLLARD

CALDWELL ASSOCIATES | ARCHITECTS

116 N TARRAGONA STREET, PENSACOLA, FL 32502
(850) 432 9500 | CALDWELL-ASSOC.COM

License No: AA26000721 | License No: B0000995

PROJECT ISSUES:
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1771 TATE ROAD
CANTONMENT, FLORIDA**



**SCHOOL DISTRICT OF
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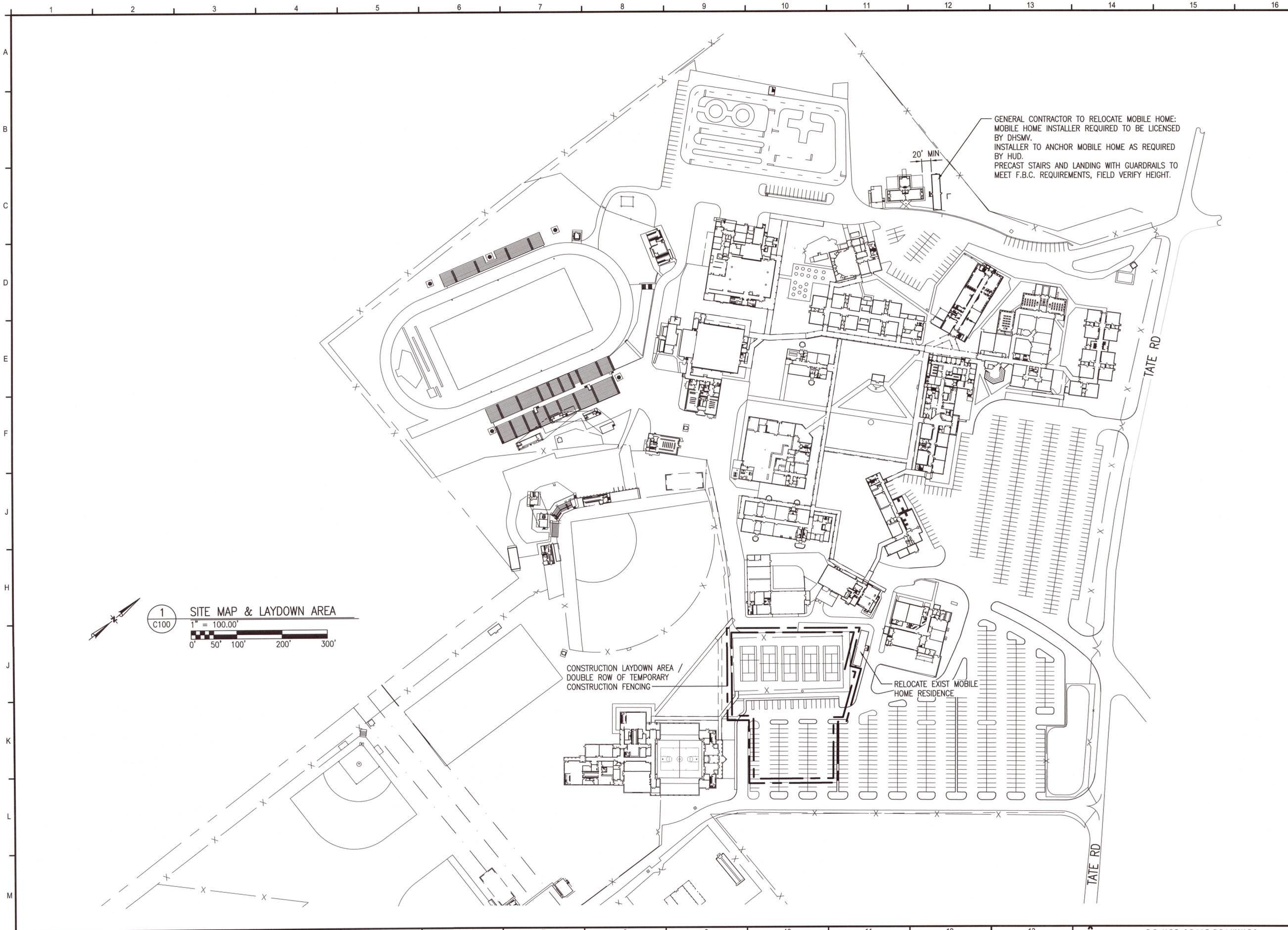
GENERAL NOTES
& LEGEND

SHEET NUMBER:

C001

PRINT DATE:

DO NOT SCALE DRAWINGS



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SCHOOL DISTRICT OF
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PROJECT NO. :
SHEET TITLE:

SITE MAP & LAYDOWN AREA

SHEET NUMBER:
C100

SITE PREPARATION:

THE CONTRACTOR SHALL READ AND FAMILIARIZE THEMSELVES WITH SPECIFIC REQUIREMENTS IN THE GEOTECHNICAL REPORT, SEE APPENDIX-A.

BASE BID: SHALL INCLUDE 5'-0" UNDERCUTTING AND COMPACTED FILL.

BID ALT#1: SHALL INCLUDE 2'-0" ADDITIONAL UNDERCUTTING AND COMPACTED FILL (TOTAL OF 7'-0").

THE SUBJECT PARCEL FALLS WITHIN SEVERAL TRAVEL TIME CONTOURS OF PROTECTED (POTABLE) WELLHEADS. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ECUA- EMERALD COAST UTILITIES AUTHORITY (850) 476-5110 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 595-6712) AGENCIES

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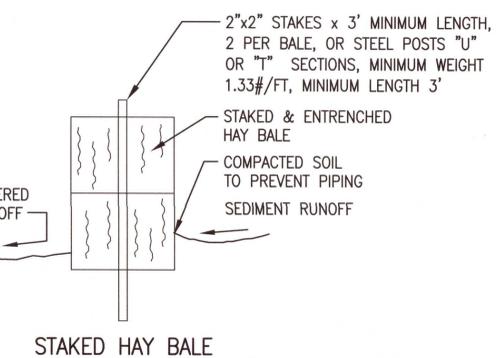
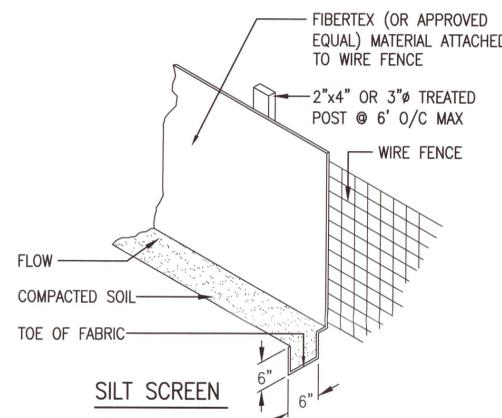
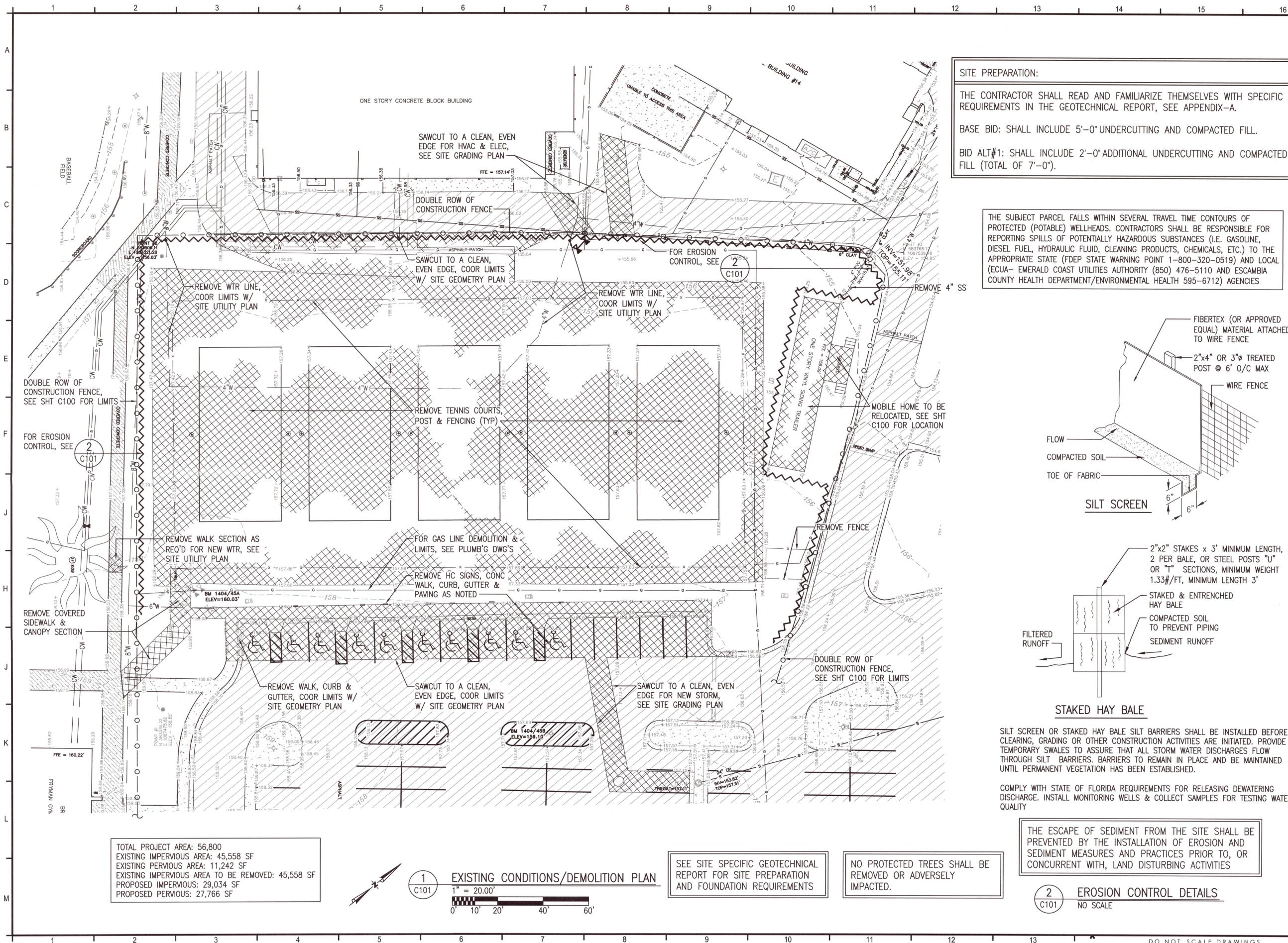


PROJECT NO. :
SHEET TITLE:

EXISTING
CONDITIONS/DEMOLITION
PLAN

SHEET NUMBER:

C101



SILT SCREEN OR STAKED HAY BALE SILT BARRIERS SHALL BE INSTALLED BEFORE CLEARING, GRADING OR OTHER CONSTRUCTION ACTIVITIES ARE INITIATED. PROVIDE TEMPORARY SWALES TO ASSURE THAT ALL STORM WATER DISCHARGES FLOW THROUGH SILT BARRIERS. BARRIERS TO REMAIN IN PLACE AND BE MAINTAINED UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED.

COMPLY WITH STATE OF FLORIDA REQUIREMENTS FOR RELEASING DEWATERING DISCHARGE. INSTALL MONITORING WELLS & COLLECT SAMPLES FOR TESTING WATER QUALITY

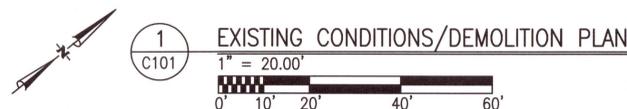
THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES

2
C101 EROSION CONTROL DETAILS
NO SCALE

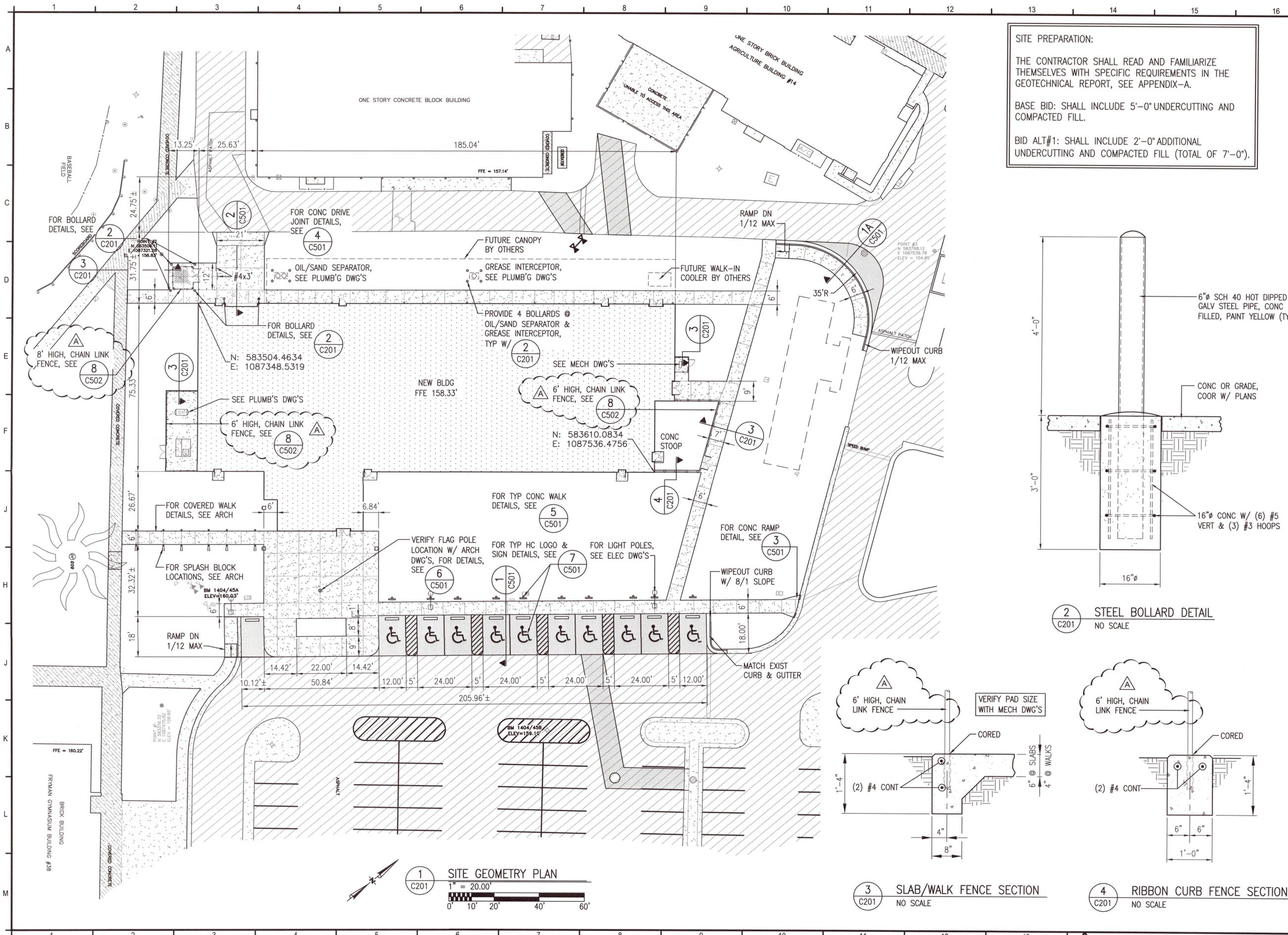
SEE SITE SPECIFIC GEOTECHNICAL REPORT FOR SITE PREPARATION AND FOUNDATION REQUIREMENTS

NO PROTECTED TREES SHALL BE REMOVED OR ADVERSELY IMPACTED.

TOTAL PROJECT AREA: 56,800
EXISTING IMPERVIOUS AREA: 45,558 SF
EXISTING PERVIOUS AREA: 11,242 SF
EXISTING IMPERVIOUS AREA TO BE REMOVED: 45,558 SF
PROPOSED IMPERVIOUS: 29,034 SF
PROPOSED PERVIOUS: 27,766 SF



PRINT DATE:

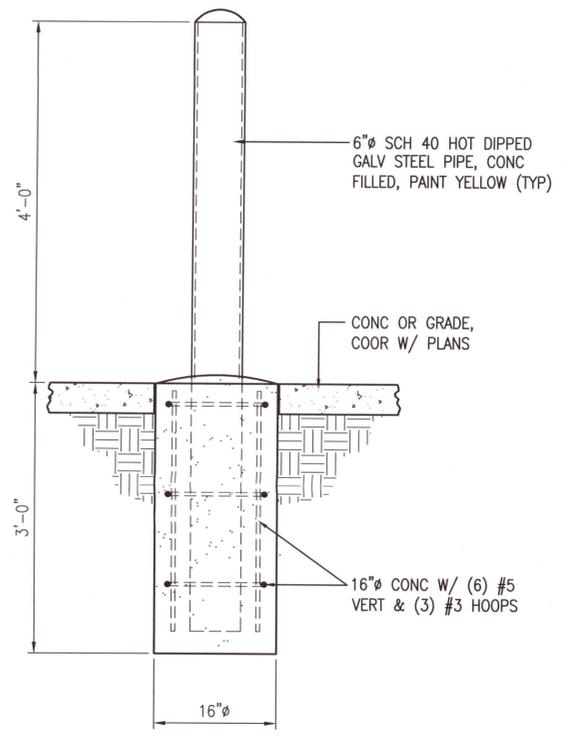


SITE PREPARATION:

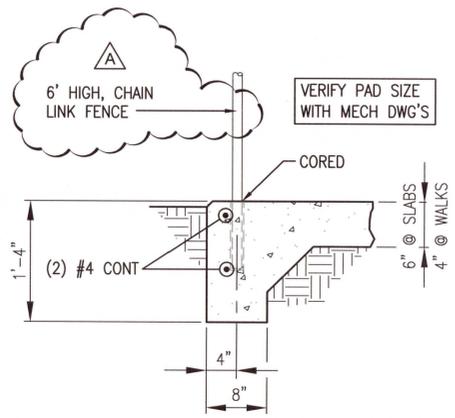
THE CONTRACTOR SHALL READ AND FAMILIARIZE THEMSELVES WITH SPECIFIC REQUIREMENTS IN THE GEOTECHNICAL REPORT, SEE APPENDIX-A.

BASE BID: SHALL INCLUDE 5'-0" UNDERCUTTING AND COMPACTED FILL.

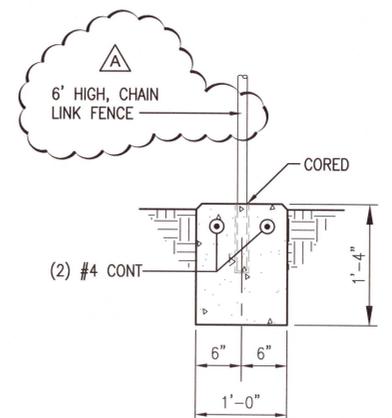
BID ALT#1: SHALL INCLUDE 2'-0" ADDITIONAL UNDERCUTTING AND COMPACTED FILL (TOTAL OF 7'-0").



2 STEEL BOLLARD DETAIL
C201 NO SCALE



3 SLAB/WALK FENCE SECTION
C201 NO SCALE



4 RIBBON CURB FENCE SECTION
C201 NO SCALE

1 SITE GEOMETRY PLAN
C201 1" = 20.00'

- PROJECT TEAM:**
- CIVIL: Kenneth Horne & Associates
 - GEOTECHNICAL: Larry M. Jacobs & Associates
 - LANDSCAPE: Alan D. Holt
 - STRUCTURAL: Joe DeReuil & Associates
 - ARCHITECTURAL: Caldwell Associates
 - INTERIOR DESIGNER: Ellis Architects
 - FIRE PROTECTION: Premier Engineering
 - PLUMBING: Premier Engineering
 - MECHANICAL: Premier Engineering
 - ELECTRICAL: Adams Consulting Engineering
 - TELECOMMUNICATION: Premier Engineering
 - MOISTURE CONSULTANT: Arcadia ICR

PROJECT:
TATE HIGH SCHOOL AGRISCIENCE BUILDING
1771 TATE ROAD
CANTONMENT, FLORIDA



SCHOOL DISTRICT OF ESCAMBIA COUNTY



PROJECT NO. :
SHEET TITLE:

SITE GEOMETRY PLAN

SHEET NUMBER:
C201

SITE PREPARATION:

THE CONTRACTOR SHALL READ AND FAMILIARIZE THEMSELVES WITH SPECIFIC REQUIREMENTS IN THE GEOTECHNICAL REPORT, SEE APPENDIX-A.

BASE BID: SHALL INCLUDE 5'-0" UNDERCUTTING AND COMPACTED FILL.

BID ALT#1: SHALL INCLUDE 2'-0" ADDITIONAL UNDERCUTTING AND COMPACTED FILL (TOTAL OF 7'-0").

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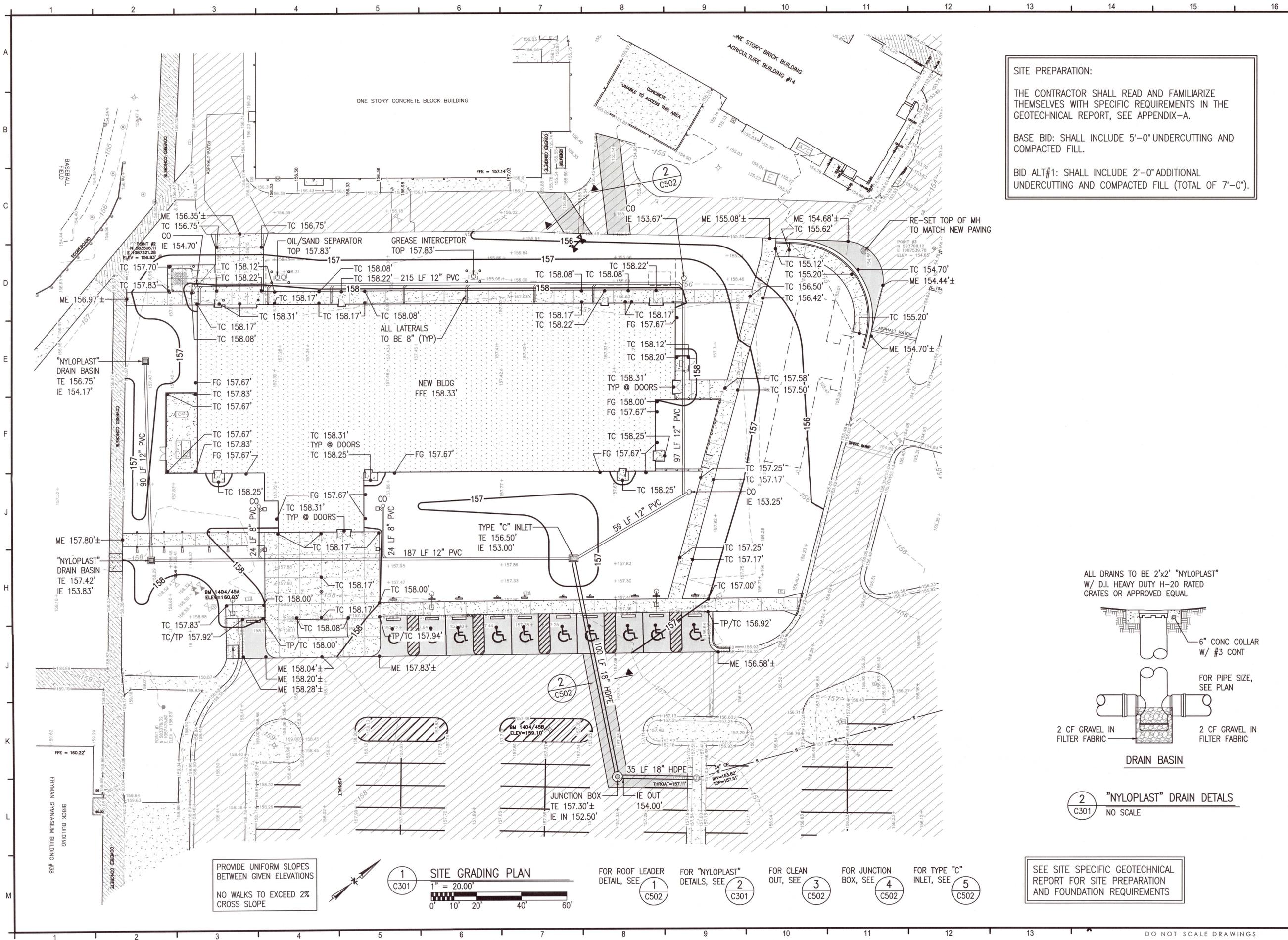


PROJECT NO. :
SHEET TITLE:

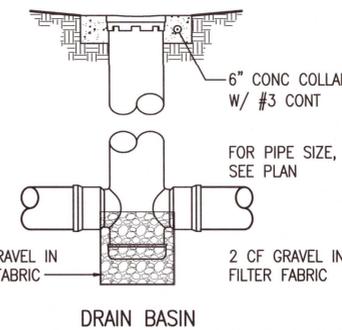
SITE GRADING PLAN

SHEET NUMBER:

C301



ALL DRAINS TO BE 2'x2' "NYLOPLAST" W/ D.I. HEAVY DUTY H-20 RATED GRATES OR APPROVED EQUAL



2 C301 "NYLOPLAST" DRAIN DETAILS
NO SCALE

SEE SITE SPECIFIC GEOTECHNICAL REPORT FOR SITE PREPARATION AND FOUNDATION REQUIREMENTS

PROJECT TEAM:

- CIVIL** Kenneth Home & Associates
- GEOTECHNICAL** Larry M. Jacobs & Associates
- LANDSCAPE** Alan D. Holt
- STRUCTURAL** Joe DeReuil & Associates
- ARCHITECTURAL** Caldwell Associates
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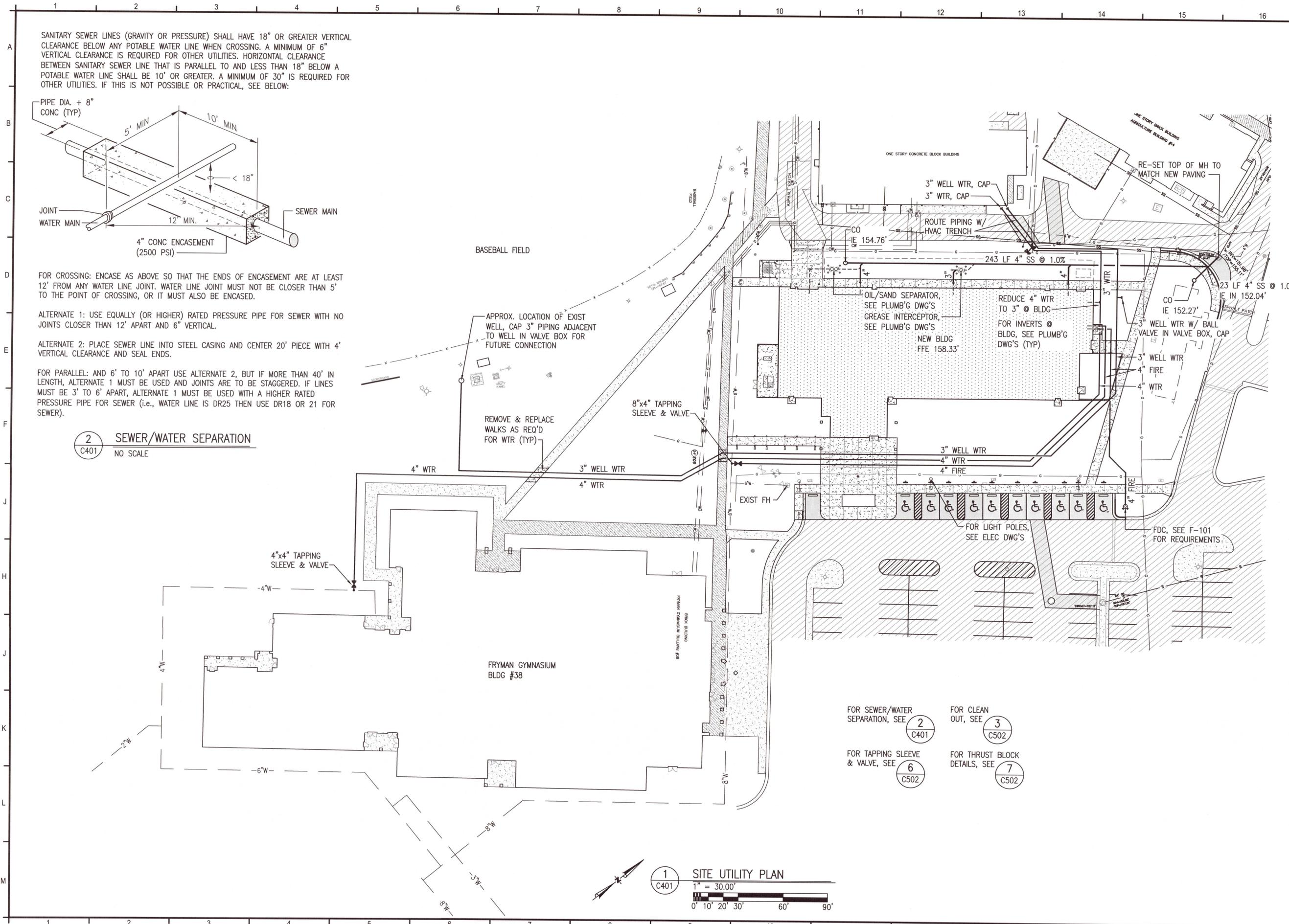


PROJECT NO. :
SHEET TITLE:

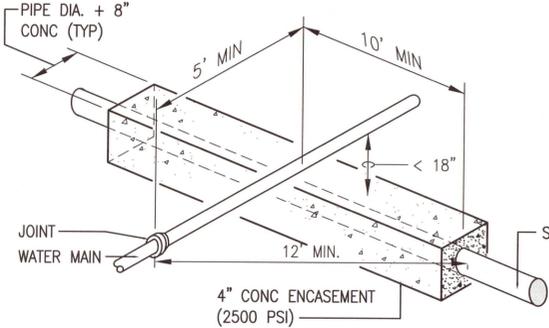
SITE UTILITY PLAN

SHEET NUMBER:

C401



SANITARY SEWER LINES (GRAVITY OR PRESSURE) SHALL HAVE 18" OR GREATER VERTICAL CLEARANCE BELOW ANY POTABLE WATER LINE WHEN CROSSING. A MINIMUM OF 6" VERTICAL CLEARANCE IS REQUIRED FOR OTHER UTILITIES. HORIZONTAL CLEARANCE BETWEEN SANITARY SEWER LINE THAT IS PARALLEL TO AND LESS THAN 18" BELOW A POTABLE WATER LINE SHALL BE 10' OR GREATER. A MINIMUM OF 30" IS REQUIRED FOR OTHER UTILITIES. IF THIS IS NOT POSSIBLE OR PRACTICAL, SEE BELOW:



FOR CROSSING: ENCASE AS ABOVE SO THAT THE ENDS OF ENCASEMENT ARE AT LEAST 12' FROM ANY WATER LINE JOINT. WATER LINE JOINT MUST NOT BE CLOSER THAN 5' TO THE POINT OF CROSSING, OR IT MUST ALSO BE ENCASED.

ALTERNATE 1: USE EQUALLY (OR HIGHER) RATED PRESSURE PIPE FOR SEWER WITH NO JOINTS CLOSER THAN 12' APART AND 6" VERTICAL.

ALTERNATE 2: PLACE SEWER LINE INTO STEEL CASING AND CENTER 20' PIECE WITH 4' VERTICAL CLEARANCE AND SEAL ENDS.

FOR PARALLEL: AND 6' TO 10' APART USE ALTERNATE 2, BUT IF MORE THAN 40' IN LENGTH, ALTERNATE 1 MUST BE USED AND JOINTS ARE TO BE STAGGERED. IF LINES MUST BE 3' TO 6' APART, ALTERNATE 1 MUST BE USED WITH A HIGHER RATED PRESSURE PIPE FOR SEWER (i.e., WATER LINE IS DR25 THEN USE DR18 OR 21 FOR SEWER).

2 SEWER/WATER SEPARATION
C401 NO SCALE

- FOR SEWER/WATER SEPARATION, SEE **2** C401
- FOR CLEAN OUT, SEE **3** C502
- FOR TAPPING SLEEVE & VALVE, SEE **6** C502
- FOR THRUST BLOCK DETAILS, SEE **7** C502

1 SITE UTILITY PLAN
C401
1" = 30.00'
0' 10' 20' 30' 60' 90'

PRINT DATE:

PROJECT TEAM:

- CIVIL
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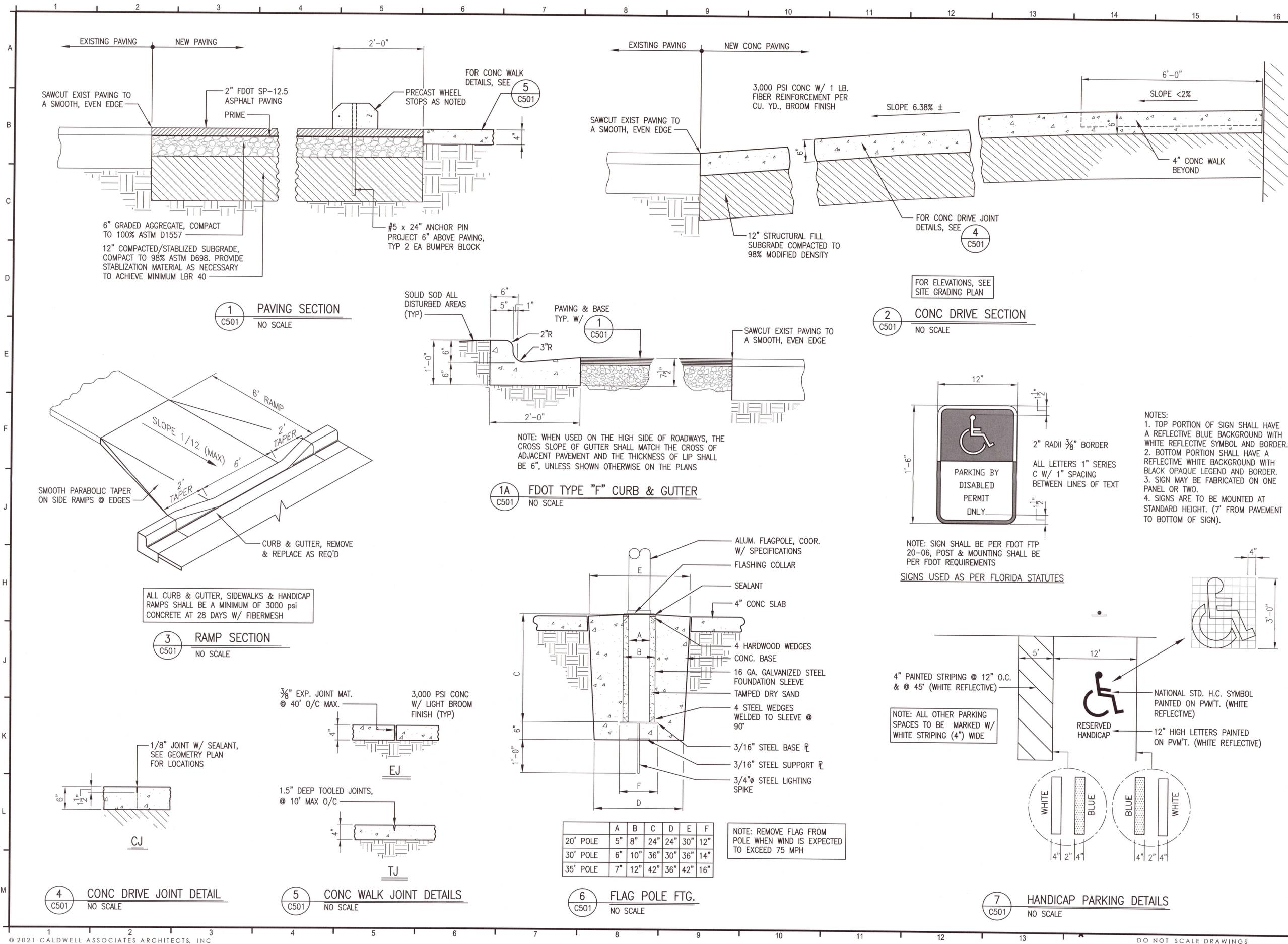


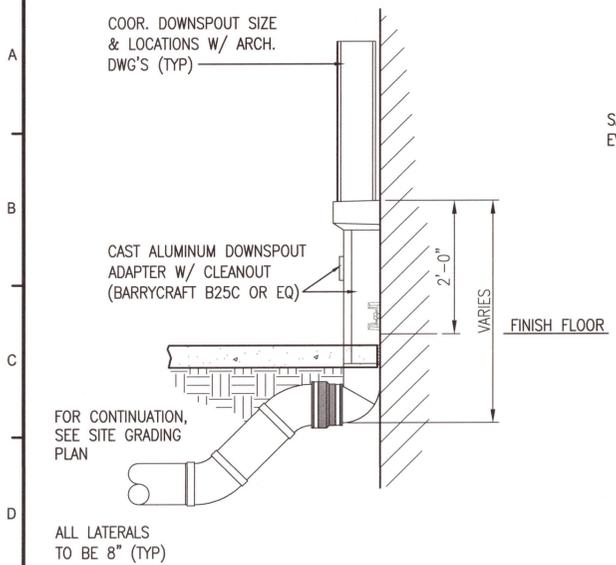
PROJECT NO. :
SHEET TITLE:

SECTIONS & DETAILS

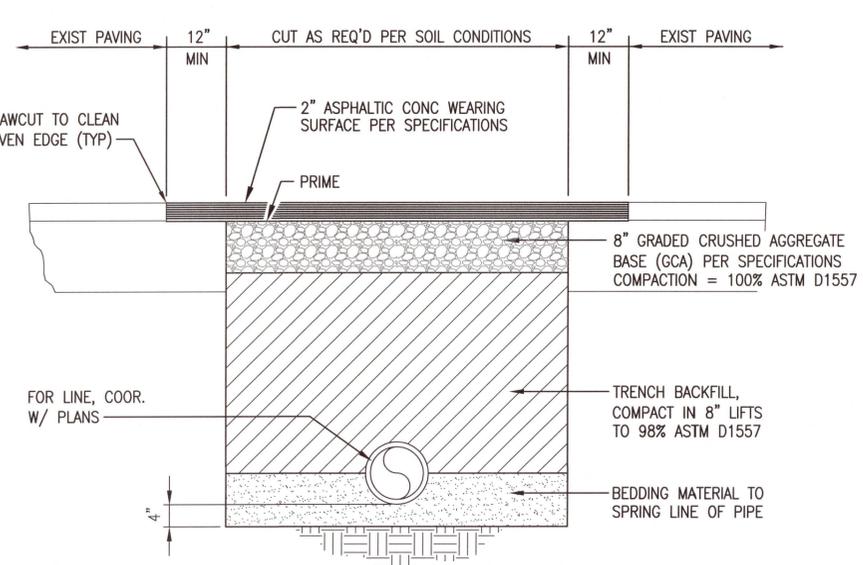
SHEET NUMBER:

C501

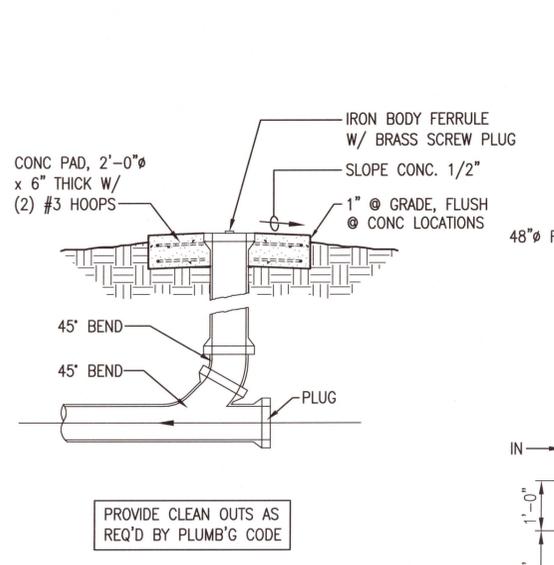




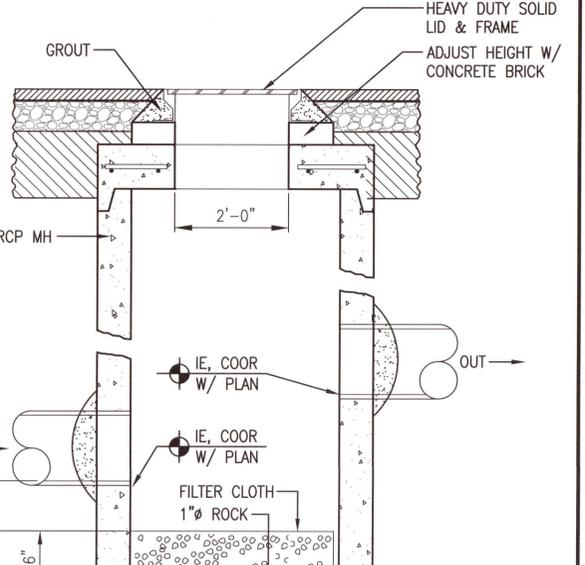
1 ROOF LEADER DETAIL
C502 NO SCALE



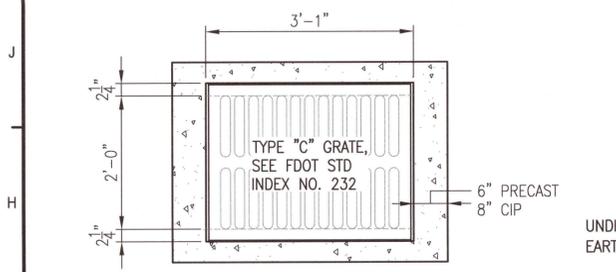
2 PAVING PATCH SECTION
C502 NO SCALE



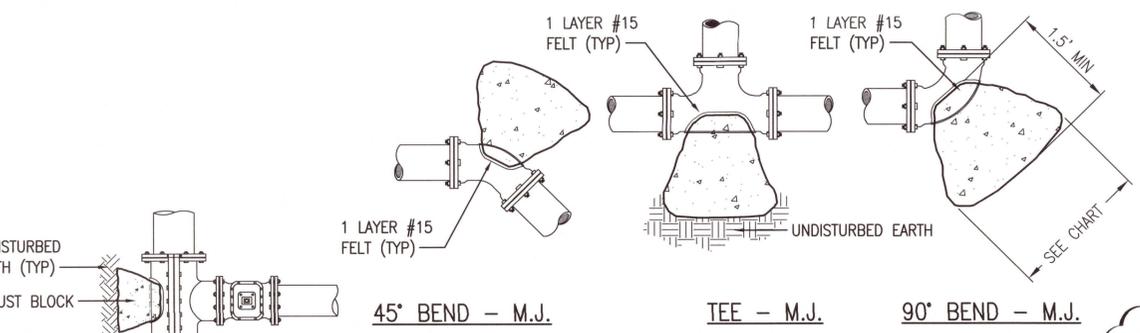
3 CLEAN OUT
C502 NO SCALE



4 JUNCTION BOX
C502 NO SCALE



5 TYPE "C" INLET
C502 NO SCALE

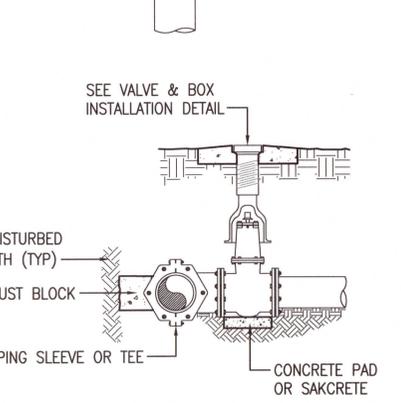


MINIMUM THRUST BLOCK DIMENSIONS:
SURFACE AREA AGAINST UNDISTURBED SOIL

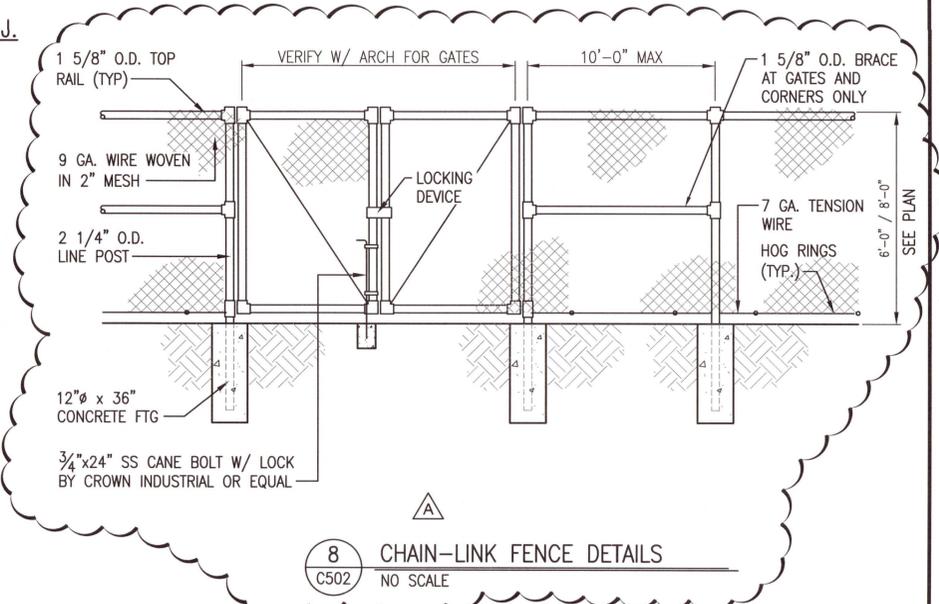
PIPE SIZE	DEAD END OR TEE	90° BEND	45° BEND	22.5° BEND
4"	1' x 2'	1.5' x 1.5'	1' x 1.5'	1' x 1'
6"	2' x 2'	2.5' x 2.5'	2' x 1.5'	1' x 1.5'
8"	2.25' x 3'	3' x 3'	2' x 2.5'	1.5' x 1.5'

- NOTES:
- ONE LAYER OF #15 FELT TO BE USED TO PREVENT ADHESION OF CONCRETE TO FITTING.
 - ALL THRUST BLOCKS TO BE BACKED BY UNDISTURBED SOIL
 - THRUST BLOCK DIMENSIONS BASED ON SM SOIL CLASSIFICATION
 - CONCRETE MIN. 2,500 PSI.
 - JOINT RESTRAINTS ARE TO BE USED ON ALL FITTINGS. TRUST BLOCKS REQUIRED ON 90° BENDS, 45° BENDS, TEES, TAPPING SLEEVES, AND DEAD ENDS.

7 THRUST BLOCK SCHEDULE & DETAILS
C502 NO SCALE



6 TAPPING SLEEVE AND VALVE DETAIL
C502 NO SCALE



8 CHAIN-LINK FENCE DETAILS
C502 NO SCALE

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C502