

OWNER/DEVELOPER:
SINE QUA NON HOLDINGS, LLC
C/O: PAUL SILVOS
17 EAST MAIN STREET, SUITE 200
PENSACOLA, FL 32502
PHONE: (850) 637-1880

ENGINEER:
GECI & ASSOCIATES ENGINEERS, INC.
CONTACT: CLINT GECI, P.E.
2950 NORTH 12th AVENUE
PENSACOLA, FLORIDA 32503
PHONE: (850) 432-2929

SURVEYOR:
360 SURVEYING SERVICES, INC.
C/O: JOSH MILLER
213A SOUTH BAYLEN STREET
PENSACOLA, FL 32502
PHONE: (850) 857-4400

UTILITY COMPANIES:
UTILITY INFORMATION SHOWN AS PER FIELD INFORMATION AND
INFORMATION FURNISHED BY UTILITY COMPANIES INVOLVED.

TELEPHONE - AT & T, INC., 605 WEST GARDEN STREET,
PENSACOLA, FLORIDA 32501; (850) 436-1616

ELECTRIC - GULF POWER COMPANY, 9220 PINE FOREST ROAD,
PENSACOLA, FLORIDA 32534; (850) 484-5770

SANITARY SEWER - EMERALD COAST UTILITY AUTHORITY, ELLYSOY
INDUSTRIAL PARK, PENSACOLA, FLORIDA; (850) 476-5110

WATER - PEOPLE'S WATER SERVICE COMPANY,
905 LOWINDE AVENUE, PENSACOLA, FLORIDA; (850) 455-8552

NATURAL GAS - PENSACOLA ENERGY, 16 SOUTH PALAFOX
STREET, PENSACOLA, FLORIDA; (850) 474-5322

SITWORK CONSTRUCTION PLANS

FOR

DAVIS RUN

40 LOT SINGLE-FAMILY SUBDIVISION

IN

ESCAMBIA COUNTY, FLORIDA

G&A REFERENCE NO. 28806

Approved: *[Signature]* 3-2-20
Date: _____

This document has been reviewed in accordance with requirements of applicable Escambia County Regulations and Ordinances and does not in any way relieve the submitting Architect, Engineer, Surveyor, or other signatory from responsibility of details as drawn.

DRAINAGE FEE

Imperv. Surf. 63950.0 Sq ft

Stormwater Ret. 0.73 % (F)

Total Drainage Fee \$ 2,334.18

Pond Maint. Fee: MSBU

SITE NOTES:

- SITE AREA: 24.16 AC
- TOTAL LOTS: 40
- PARCEL ID: 33-2S-31-2000-371-026
- LATITUDE & LONGITUDE: 30°22'07"N, 87°20'32"W
- ZONING: MDR & HC/LJ
- AIRPORT ZONING: APZ-1 & APZ-2
- FLU: MU-S & C
- PROJECT ADDRESS: 9106 GULF BEACH HWY, PENSACOLA, FLORIDA 32507
- BUILDING SETBACK REQUIREMENTS: 20' FRONT, 20' REAR, & 5' SIDE.
- MAX. BUILDING HEIGHT: 45'
- LOT COVERAGE: 70% MAXIMUM LOT COVERAGE AS PER ZONING REGULATIONS, OR THE LOT COVERAGE SHOWN ON THIS LOT GRADING PLAN, WHICHEVER IS LESS.

SURVEYOR'S NOTES:

- FIELD WORK FOR THIS SURVEY WAS COMPLETED ON 06-02-2021.
- THE MEASUREMENTS SHOWN HEREON WERE MADE TO UNITED STATES SURVEY FOOT AND WERE RECORDED IN DECIMAL OF FEET UNLESS OTHERWISE MARKED.
- ALL EASEMENTS AND RIGHTS-OF-WAY OF WHICH THE SURVEYOR HAS KNOWLEDGE HAVE BEEN SHOWN HEREON. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THE SURVEYOR HAS MADE NO SEARCH TO DETERMINE THE CURRENT BUILDING SET BACK REQUIREMENTS FOR THE SUBJECT PROPERTY BEYOND THE CURRENT SUBDIVISION PLAT OF RECORD, CONTACT THE LOCAL CITY/COUNTY LAND DEVELOPMENT CODE OFFICIAL FOR THE APPROPRIATE BUILDING SET BACK DISTANCES.
- BEARINGS AS SHOWN HEREON ARE REFERENCED TO THE WEST PROPERTY LINE OF THE SUBJECT PROPERTY AS IT RELATES TO THE STATE PLANE COORDINATE SYSTEM, FLORIDA NORTH ZONE, NORTH AMERICAN DATUM OF 1983 (RE-ADJUSTED IN 2011).
- FENCE LINES ARE EXAGGERATED FOR CLARITY.
- ENCROACHMENTS ARE AS SHOWN.
- ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) BASED ON BENCHMARK K 770, HAVING A PUBLISHED ELEVATION OF 20.18 FEET.

BENCHMARKS:

- T.B.M. #1 - NAIL IN E. SIDE OF POLE, ELEVATION = 18.93
- T.B.M. #2 - NAIL IN N. FACE OF POLE, ELEVATION = 22.09

SURVEYOR'S LEGEND:

- FIBER OPTIC CABLE MARKER
- FIRE HYDRANT
- BACKFLOW PREVENTER
- SEWER LATERAL
- WATER METER
- GAS SIGN
- A.T. & T. MANHOLE
- WIRE PULL BOX
- SIGN
- WATER VALVE
- SEWER VALVE
- GUY ANCHOR
- POWER POLE
- TEMPORARY BENCHMARK
- RCP = REINFORCED CONCRETE PIPE
- T.B.M. = TEMPORARY BENCHMARK
- MES = MITRED END SECTION
- (F) = FIELD MEASUREMENT
- (D) = DEED MEASUREMENT
- (C) = CALCULATED
- (P) = PLAT MEASUREMENT
- R/W = RIGHT-OF-WAY
- O.R. = OFFICIAL RECORD
- PG. = PAGE
- TY.P. = TYPICAL
- S.F. = SQUARE FOOT
- W — = WATER LINE
- U — = OVERHEAD UTILITY
- G — = UNDERGROUND GAS LINE
- F — = UNDERGROUND FIBER OPTIC
- S — = SANITARY SEWER
- X — = 6" CHAINLINK FENCE
- X — = 4" CHAINLINK FENCE
- X — = 4" WIRE FENCE
- C — = CONCRETE
- A — = ASPHALT
- G — = GRAVEL
- 100 — = MAJOR CONTOUR
- 10 — = MINOR CONTOUR

SURVEYOR'S CORNER LEGEND:

- 1" IRON ROD
- 1" CAPPED IRON ROD #7612
- 1" IRON PIPE
- 1" CAPPED IRON ROD #6679
- NAIL & DISC "HAMILTON"
- 4" X 4" CONCRETE MONUMENT
- ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) BASED ON BENCHMARK K 770, HAVING A PUBLISHED ELEVATION OF 20.18 FEET.
- SET 1" CAPPED IRON ROD #7612

Flood zone(s)	Community number	Map number	Panel number(s)	Suffix	Map Revision Date
X & A	120080	12033C0527G	0527	G	9/29/2006

COUNTY INSPECTION NOTE:

THE CONTRACTOR SHALL NOTIFY ESCAMBIA COUNTY INSPECTOR 24 HOURS BEFORE BEGINNING OF EVERY PHASE OF CONSTRUCTION (981-7100). THE CONTRACTOR SHALL HAVE ALL EROSION CONTROL IN PLACE PRIOR TO NOTIFYING COUNTY THE PROJECT HAS STARTED.

SHEET	DESCRIPTION
C000	COVER SHEET
C100	OVERALL PLAN
C110	EXISTING CONDITIONS, EROSION CONTROL, & DEMOLITION PLAN
C130	LOT GRADING PLAN
C135	STORMWATER STRUCTURE PLAN
C200	MARTEL AVENUE PLAN & PROFILE
C210	ALVA STREET PLAN & PROFILE 1
C220	ALVA STREET PLAN & PROFILE 2
C300	UTILITY PLAN
C310	TRAFFIC PLAN
C330	STORMWATER PONDS
C340	OFFSITE DRAINAGE STORMWATER PIPE PLAN & PROFILE
C350	ONSITE STORMWATER PIPE PLANS & PROFILES
C400	CROSS-SECTIONS
C500	DETAILS
C510	DETAILS 2
C520	FOOT DETAILS



GENERAL NOTES:

- DATUM PLAN USED IS NAVD 88.
- BOUNDARY SURVEY & LEGAL DESCRIPTION PROVIDED BY 360 SURVEYING SERVICES, DATED JUNE 2021.
- ALL FINISHED PAVING GRADES SHOWN HEREON ARE TOP OF CURB GRADES, UNLESS SHOWN OTHERWISE.
- LOCATION OF EXISTING UTILITIES WERE TAKEN FROM THE RECORDS OF APPROPRIATE UTILITY COMPANIES AND HAVE NOT BEEN VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL ABOVE GROUND AND UNDERGROUND UTILITIES.
- ALL SANITARY SEWER AND POTABLE WATER CONSTRUCTION TO CONFORM TO THE CURRENT EMERALD COAST UTILITY AUTHORITY STANDARDS.
- ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBIA COUNTY STANDARDS AND F.D.O.T. STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- WORK PROPOSED NEXT TO THE R/W WITH EXISTING SWALES SYSTEMS MAY REQUIRE ADDITIONAL PROVISIONS TO REPAIR/RESTORE EXISTING DRAINAGE SWALES AS NEEDED TO ENSURE ADEQUATE DRAINAGE.
- TO ASSURE THE CONTRACTOR IS ON THE SAME VERTICAL AND HORIZONTAL DATUM AS THIS SURVEY, IT IS STRONGLY RECOMMENDED THAT VERTICAL CHECKS BE MADE BETWEEN TWO BENCHMARKS AND THAT HORIZONTAL CHECKS BE MADE BETWEEN THREE CONTROL POINTS OR PROPERTY CORNERS.
- THE CONTRACTOR SHALL NOTIFY ESCAMBIA COUNTY, F.D.O.T., NWFWD, AND EMERALD COAST UTILITIES AUTHORITY AT LEAST THREE WORKING DAYS (72 HOURS MIN.) PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EARTH OFF THE SITE.
- THE CONTRACTOR SHALL HAVE A COMPACTION TEST MADE BY AN INDEPENDENT TESTING LAB AT INTERVALS NOT TO EXCEED 300 LINEAR FEET, AND THESE TESTS SHALL INDICATE THAT THE BASE CONSTRUCTION IS IN ACCORDANCE WITH SECTION 240 OF THE D.O.T. SPECIFICATIONS. COPIES OF THESE SHALL BE FURNISHED TO THE ENGINEER.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER AT LEAST TWO WEEKS PRIOR TO THE PLACING OF THE BASE MATERIAL TO HELP THE ENGINEER COORDINATE THE OTHER UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL GRASS AND MULCH ALL THE RIGHT-OF-WAY AND DISTURBED AREAS UNLESS AT A SLOPE OF 5 TO 1 OR GREATER AND THESE SHALL BE SODDED AND PINNED.
- THE CONTRACTOR SHALL PLACE AND MAINTAIN ADEQUATE BARRICADES, CONSTRUCTION SIGNS, FLASHING LIGHTS, TORCHES, RED LANTERNS AND GUARDS DURING PROGRESS OF CONSTRUCTION WORK AND UNTIL IT IS SAFE FOR BOTH PEDESTRIAN AND VEHICULAR TRAFFIC.
- ADEQUATE PROVISIONS SHALL BE MADE FOR FLOW OF SEWERS, DRAINS, AND WATER COURSES ENCOUNTERED DURING CONSTRUCTION.
- THE CONTRACTOR IS CAUTIONED TO VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE PROJECT PRIOR TO BIDDING.
- SHOULD THE CONTRACTOR IDENTIFY DISCREPANCIES IN PROJECT PLANS OR ON FIELD CONDITIONS THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- NO DERIVATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND ESCAMBIA COUNTY. ANY DERIVATIONS MAY RESULT IN DELAYS IN THE COUNTY ACCEPTANCE OF IMPROVEMENTS.
- CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING, ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.
- NOTIFY SUNSHINE STATE ONE CALL 48 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770.
- ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION.
- ROUGH GRADE OF RIGHT-OF-WAYS MUST BE ESTABLISHED PRIOR TO COMMON TRENCH UTILITY INSTALLATION TO ENSURE UTILITIES ARE INSTALLED AT MINIMUM AND MAXIMUM DEPTHS.
- THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.
- RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BUNTING DUE TO SEDIMENTS.
- ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR MULCH (UNLESS SOD IS REQUIRED). SEEDING AREAS SHALL INCLUDE A BAHIA MIX TO ENSURE CONTINUED GROWTH AFTER WINTER MONTHS. SEED IN ACCORDANCE WITH FOOT SECTION 570 AND STANDARD 105.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF ANY UNUSABLE, QUESTIONABLE MATERIAL, OR ANY THAT HAS A PUMPING ACTION OR PERCHED GROUNDWATER. THESE AREAS WILL BE EXCAVATED, REMOVED FROM THE PROJECT AND BACK FILL WITH CLEAN SAND.
- THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3472. AS-BUILT PLANS AND CERTIFICATION ARE REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
- CONSTRUCTION WILL BEGIN WITHIN 6 MONTHS OF OBTAINING PERMITS AND WILL BE COMPLETED WITHIN 12 MONTHS OF COMMENCEMENT.
- LOT CLEARING ACTIVITIES SHALL NOT PROCEED WITHOUT BUILDING PERMITS FOR THOSE LOTS EXCLUDING CLEARING REQUIRED FOR CONSTRUCTION OF CONVEYANCE SWALES OR DRAINAGE FEATURES DESIGNATED AS THE DEVELOPERS RESPONSIBILITY.
- ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.
- ALL PERMITS FROM LOCAL, STATE AND FEDERAL AGENCIES PERTAINING TO THIS PROJECT COVER ONLY THOSE CONSTRUCTION ACTIVITIES CONTAINED WITHIN THESE PLANS. UNLESS SPECIFICALLY NOTED OTHERWISE, CONSTRUCTION ACTIVITIES WITHIN THE LOTS OF THE SUBDIVISION ARE NOT CONSIDERED PART OF THESE CONSTRUCTION PLANS. THE LOT GRADING PLAN IS TO SERVE ONLY AS A GUIDE IN THE EVALUATION OF THE DRAINAGE PLAN FOR THE INDIVIDUAL HOMES/LOTS.
- ELECTRIC/PHONE/CABLE/GAS STRUCTURE INSTALLED WITHIN DRAINAGE EASEMENT SHALL BE LOCATED ALONG BOUNDARY OF THE EASEMENT TO MAXIMIZE CLEAR ACCESS FOR MAINTENANCE EQUIPMENT.
- A MINIMUM ONE-FOOT GROUND COVER IS REQUIRED FOR ALL STORMWATER PIPES AND 30" COVER FOR ALL OTHER UTILITIES.
- SAG FILTERS IN CURB THROATS ARE NOT AN ALLOWABLE SEDIMENT CONTROL METHOD.
- THE CONTRACTOR SHALL HAVE A GEOTECH ENGINEER DETERMINE THE NEED FOR ROADWAY UNDERDRAINS (AS SHOWN IN THE DETAIL HEREIN) AFTER ROADBEDS HAVE BEEN CUT.
- ALL PVC SANITARY SEWER PIPE TO BE SDR 26.
- THE DEVELOPER/CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.
- DEVELOPER/CONTRACTOR/HOME OWNERS ASSOCIATION SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND AT THE END OF THE 2 YEAR WARRANTY PERIOD.
- THE CONTRACTOR SHALL NOTIFY FDOT 48 HOURS IN ADVANCE PRIOR TO INITIATING ANY WORK IN THE STATE RIGHT-OF-WAY.
- ALL UNDERGROUND UTILITY CONSTRUCTION MUST BE SEQUENCED BEFORE PAVEMENT. THE ROADWAYS SHALL NOT BE OPEN CUT OR BORED/DRILLED WITHIN THE 2 YEAR WARRANTY PERIOD.

A. ECUA Engineering Manual Incorporated by Reference

The ECUA Engineering Manual, dated December 18, 2014, along with Update #1 dated September 1, 2016 (hereinafter "Manual"), located at www.ecua.fl.gov, is hereby incorporated by reference into this Project's official contract documents as if fully set forth therein. It is the Contractor's responsibility to be knowledgeable of the Manual's contents and to construct the Project in accordance with the Manual. The Contractor shall provide its employees access to the Manual at all times, via Project site or office, via digital or paper format. In the event of a conflict between the Manual and the Plans, Contractor shall consult Engineer of Record on the appropriate resolution.

B. Additional Documents (to be completed by the Engineer of Record)

Does this Project have additional technical specifications or construction details that supersede the Manual listed above? Yes No. If yes, Contractor shall construct Project in accordance with said documents as listed and located below:

Document Name	Document Type	Location		
	Specification	Detail	Plans	Project Manual*
D-20	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

*Project Manuals used only with ECUA CIP Projects

C. Engineer of Record Responsibilities

The Engineers of Record (EORs) that have affixed their seals and signatures on these plans warrant their portion of the plans have been designed in accordance with the Manual (unless otherwise directed by the ECUA Project Engineer). The EORs shall be knowledgeable of the Manual's contents and shall assume responsibility for its use on the Project.

ENGINEER'S CERTIFICATE:

I HEREBY CERTIFY THAT I AM THE ENGINEER OF RECORD FOR DAVIS RUN SUBDIVISION AND ALL PROPOSED ROADWAY, DRAINAGE, AND OTHER IMPROVEMENTS UNDER MY RESPONSIBILITY ARE DESIGNED TO COMPLY WITH ALL FEDERAL, STATE, AND LOCAL DEVELOPMENT REQUIREMENTS.

CLINT A. GECI, P.E., VICE PRESIDENT
GECI & ASSOCIATES ENGINEERS, INC.
FLORIDA P.E. NO. 73924

COUNTY INSPECTION NOTE:

THE CONTRACTOR SHALL NOTIFY ESCAMBIA COUNTY INSPECTOR 48 HOURS BEFORE BEGINNING OF EVERY PHASE OF CONSTRUCTION (595-3434). THE CONTRACTOR SHALL HAVE ALL EROSION CONTROL IN PLACE PRIOR TO NOTIFYING COUNTY THE PROJECT HAS STARTED.

UTILITY NOTE:

THE ELECTRIC/PHONE/CABLE/GAS STRUCTURES INSTALLED WITHIN DRAINAGE EASEMENT SHALL BE LOCATED ALONG THE BOUNDARY OF THE EASEMENT TO MAXIMIZE CLEAR ACCESS FOR MAINTENANCE EQUIPMENT.

ALL PROPOSED UNDERGROUND UTILITIES WITHIN R/W'S OR UTILITY CONDUIT FOR ROAD CROSSINGS SHALL BE INSTALLED PRIOR TO PAVING. NO STREETS OR ROADS UNDER THE TWO (2) YEAR WARRANTY WILL BE ALLOWED TO BE OPEN-CUT, OR JACK-AND-BORED, TO ACCOMPLISH THIS REQUIREMENT. COMMON TRENCHING IS REQUIRED WHENEVER POSSIBLE. IF COMMON TRENCHING IS NOT A FEASIBLE OPTION, THE DEVELOPER SHALL INSTALL CONDUIT FOR THE UTILITY NOT PARTICIPATING IN THE COMMON TRENCHING FOR ALL ROAD CROSSINGS AND THE UTILITY COMPANY WILL BE REQUIRED TO USE THE CONDUIT. THIS SHALL REQUIRE PLANNING BETWEEN THE DEVELOPER AND THE UTILITY.

ROUGH GRADE OF RIGHT-OF-WAY MUST BE ESTABLISHED PRIOR TO COMMON TRENCH UTILITY INSTALLATION TO ENSURE UTILITIES ARE INSTALLED AT PROPER DEPTHS. ALL UNDERGROUND UTILITIES MUST MAINTAIN AT LEAST 30" OF GROUND COVER (AFTER ROUGH GRADING OF R/W)

CONTRACTOR NOTE:

CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE REGULATIONS GOVERNING STORMWATER DISCHARGE AND SOLELY RESPONSIBLE FOR ANY DAMAGES CAUSED BY EROSION ONTO PROPERTY OWNED BY OTHERS AND INDEMNIFIES THE OWNER AGAINST ANY CLAIMS OR REGULATORY PENALTIES DURING DEVELOPMENT.

RETENTION / DETENTION POND NOTE:

DEVELOPER/CONTRACTOR/HOME OWNERS ASSOCIATION SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND AT THE END OF THE 2 YEAR WARRANTY PERIOD.

LEGAL DESCRIPTION:

(FROM OFFICIAL RECORD BOOK 4638, PAGE 1231)
THE WEST 151 FEET OF LOT 84, BLOCK, 27 AND LOTS 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 53, 54, 55, 56, 61 AND 62, INCLUSIVE, OF BLOCK 26, LESS THE WEST 200 FEET OF THE NORTH 161.5 FEET OF THE SOUTH 1281 FEET OF SAID BLOCK 26 IN GULF BEACH MANOR, A SUBDIVISION OF A PORTION OF SECTION 33, TOWNSHIP 2 SOUTH, RANGE 31 WEST AND SECTION 4, TOWNSHIP 3 SOUTH, RANGE 31 WEST, ACCORDING TO THE PLAT OF SAID SUBDIVISION RECORDED IN PLAT BOOK 1, PAGES 16 AND 16A OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.

NO.	REVISION	DATE	APPR.
1	BID SET	01/18/22	CAG
2	PERMITTING REVISIONS	01/31/22	CAG
3			
4			
5			

GECI & ASSOCIATES, INC.
ENGINEERS
2950 N. 12th Ave. PENSACOLA, FL 32503
Phone (850) 432-2929 - Fax (850) 432-2875
E-Mail: geci@geciengineering.com
CERTIFICATE OF AUTHORIZATION NUMBER 00005149

SCALE: AS SHOWN DESIGNED: CAG DRAWN: KRD CHECKED: SAG DATE: 01/18/22

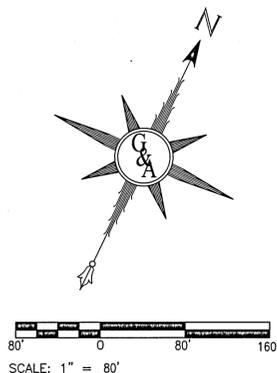
NOT RELEASED FOR CONSTRUCTION

SITWORK CONSTRUCTION PLANS FOR DAVIS RUN COVER SHEET

POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS

PROJECT NO. 28806 SHEET NO. C000

28806 CONSTRUCTION PLANS.DWG - 2/1/22 - 1055



- GENERAL NOTES:**
- THESE PLANS ARE NOT RELEASED FOR CONSTRUCTION UNLESS OTHERWISE NOTED.
 - THE LOT GRADING PLAN INCLUDED IN THESE PLANS ONLY SERVES AS A GUIDE FOR THE CONSTRUCTION OF INDIVIDUAL HOMES/LOTS.
 - THERE WILL BE NO ADVERSE IMPACTS TO EXISTING DRAINAGE DUE TO THE STORMWATER RUNOFF OF THIS PROJECT. THIS PROJECT WILL NOT CAUSE FLOODING ON ADJACENT PROPERTIES IN A 100-YR STORM EVENT.
 - NO HERITAGE TREES EXIST ON PROJECT SITE.
 - HOME BUILDERS NOTE: EACH HOME BUILDER WILL BE REQUIRED TO CONTROL ALL EROSION AND SEDIMENT ON EACH INDIVIDUAL LOT.
 - SIGN NOTE: A SEPARATE SIGN PERMIT WILL BE NEEDED FOR SIGNS FROM THE BUILDING INSPECTION DEPARTMENT.
 - FUTURE BUILDING NOTE:**
 - ALL FUTURE BUILDINGS SHALL COMPLY WITH ESCAMBA COUNTY BUILDING CODES WHICH INCLUDE THAT ALL FINISHED FLOOR ELEVATIONS (EXCLUDING BASEMENT) SHALL BE A MINIMUM OF 8" ABOVE ADJACENT TOP OF CURB OR, WHEN APPLICABLE, 8" ABOVE TOP OF REAR YARD CONVEYANCE SWALE ELEVATION UNLESS BUILDING IS IN A FLOOD ZONE WHICH INDICATES THE ELEVATION ABOVE FINISHED GRADE. ALSO, THE MINIMUM FINISHED HABITABLE FLOOR ELEVATION FOR LOTS SHALL TYPICALLY BE 8" (SOODED AROUND BUILDING) OR 10" (UNSOODED) ABOVE FINISHED GRADES OF LOTS.
 - HOME BUILDERS WILL BE REQUIRED TO CONSTRUCT AND MAINTAIN, AT ALL TIMES DURING CONSTRUCTION, APPROPRIATE EROSION CONTROL MEASURES (SILT FENCE, HAY BALES, ETC.) TO INSURE THAT NO SEDIMENTS LEAVE THE LOT UNDER CONSTRUCTION OR THE RIGHT-OF-WAY ADJACENT TO THE LOT UNDER CONSTRUCTION.

- PROPOSED STORMWATER CONTROL NOTES:**
- HAYBALES:**
 - BALES SHALL BE PLACED IN A SINGLE ROW, LENGTHWISE ON THE CONTOUR, WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER PRIOR TO EXTERIOR OPERATIONS.
 - ALL BALES SHALL BE EITHER WIRE-BOUND OR STRUNG-TIED. STRAW BALES SHALL BE INSTALLED SO THAT BINIONS ARE ORIENTED AROUND THE SIDES RATHER THAN ALONG THE TOPS AND BOTTOMS OF THE BALES (IN ORDER TO PREVENT DETERIORATION OF THE BINIONS).
 - THE BARRIER SHALL BE ENTRENCHED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED THE WIDTH OF A BALE AND THE LENGTH OF THE PROPOSED BARRIER TO A MINIMUM DEPTH OF 4 INCHES. AFTER THE BALES ARE STACKED AND CHIMED, THE EXCAVATED SOIL SHALL BE BACKFILLED AGAINST THE BARRIER. BACKFILL SHALL CONFORM TO THE UPHILL LEVEL ON THE DOWNHILL SIDE AND SHALL BE BUILT UP TO 4 INCHES AGAINST THE UPHILL SIDE OF THE BARRIER.
 - EACH BALE SHALL BE SECURELY ANCHORED BY AT LEAST TWO STAKES OR REBARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PROXIMATE LAD BALE TO FORCE THE BALES TOGETHER. STAKES OR REBARS SHALL BE DRIVEN DEEP ENOUGH INTO THE GROUND TO SECURELY ANCHOR THE BALES.
 - THE GAPS BETWEEN BALES SHALL BE CHIMED (FILLED BY WEDGING) WITH STRAW TO PREVENT WATER FROM ESCAPING. BETWEEN THE BALES, FLOODED STRAW SCATTERED OVER THE AREA IMMEDIATELY UPHILL FROM A STRAW BALE BARRIER TENDS TO INCREASE BARRIER EFFICIENCY.
 - STRAW BALE BARRIERS SHALL BE INSPECTED WHEN THEY HAVE SERVED THEIR USEFULNESS, BUT NOT BEFORE THE DISPOSAL AREAS HAVE BEEN PERMANENTLY STABILIZED.
 - STRAW BALE BARRIERS SHALL BE REMOVED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
 - CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED BALES, END RUNS AND UNDERCUTTING BENCH BALES.
 - NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BALES SHALL BE ACCOMPLISHED PROMPTLY.
 - SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE BARRIER.
 - ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE STRAW BALE BARRIER IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEEDED.

- A POSITIVE DRAINAGE OUTFALL IS A CONVEYANCE SYSTEM (DRAINAGE EASEMENT, ROADWAY WITH A DRAINAGE SYSTEM - CURB & GUTTER, OR DITCH) WHICH CONTAINS, CONTROLS, AND TRANSMITS STORMWATER RUNOFF TO A CREEK, STREAM, RIVER, BAY, GULF, OCEAN, OR OTHER WATERS OF THE STATE, OR WATERS OF THE UNITED STATES, OR TO ANY FUNCTIONING ESCAMBA COUNTY OR STATE DRAINAGE SYSTEM. THESE ARE MINIMAL REQUIREMENTS AND DO NOT RELIEVE THE BUILDER FROM PROVIDING ADDITIONAL GRADING TO DIRECT STORMWATER TO A POSITIVE OUTFALL DRAINAGE SYSTEM AND ELIMINATE NEGATIVE IMPACTS TO ADJACENT LOTS AND PROPERTIES.
- DISTURBED LOT AREAS SHALL BE COMPLETELY STABILIZED WITH SOG. IF THE HOME IS CONSTRUCTED, STABILIZE THE FIRST 10' WITH SOG AND SOG AND/OR SEED AND MATCH THE REMAINDER OF THE LOT.
- DISTURBED AREAS NOT PAVED SHALL BE STABILIZED WITH A HEALTHY GROWTH OF GRASS.
- DISTURBED RIGHT-OF-WAY AREAS SHALL BE STABILIZED WITH A HEALTHY GROWTH OF GRASS PRIOR TO RECEIVING COUNTY ACCEPTANCE.
- THE HOMEOWNER SHALL COMPLY WITH STATE PERMITTING REQUIREMENTS FOR LARGE AND SMALL CONSTRUCTION SITES. SPECIFICALLY THE NPDES PERMITS WHICH REQUIRE A DETAILED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING AVAILABLE ON-SITE FOR REVIEW DURING ALL PHASES OF CONSTRUCTION.
- LOT CLEARING ACTIVITIES SHALL NOT PROCEED WITHOUT BUILDING PERMITS FOR THOSE LOTS EXCLUDING CLEARING REQUIRED FOR CONSTRUCTION OF CONVEYANCE SWALES OR DRAINAGE FEATURES DESIGNATED AS THE DEVELOPER'S RESPONSIBILITY.
- PROVIDE EROSION CONTROL MEASURE TO ENSURE ALL SEDIMENTS SHALL BE RETAINED ON EACH INDIVIDUAL LOT.
- WETLAND SHALL BE PROTECTED WITH FABRIC SILT FENCING AND BURIED HAYBALE SYSTEMS (DOUBLE ROWS AS NECESSARY).

- STABILIZED CONVEYANCE NOTES:**
- CONVEYANCE SWALES SHALL BE BUILT BY CONTRACTOR AND TREATMENT OR SIDE YARD SWALES SHALL BE BUILT BY THE HOMEOWNER.
 - ALL NEW SOG, DRAINAGE, CONVEYANCE, AND GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO THE ROADS OR SWALES THAT LEAD TO THE RETENTION POND OR APPROVED DRAINAGE SYSTEM.
 - HOME EQUIPMENT (I.E. AC UNITS) SHALL NOT HINDER THE PROPER INSTALLATION AND/OR FUNCTIONING OF THE SIDE YARD SWALES.
 - FENCES INSTALLED SHALL BE INSTALLED NOT TO IMPED STORMWATER FLOW.
 - LOTS WILL NOT UTILIZE RETAINING WALLS OR OTHER METHODS OF FILL IN THE REAR THAT WILL BLOCK OFFSITE DRAINAGE.

- SUBMISSION GENERAL NOTES:**
- ALL DISTURBED AREAS WHICH ARE NOT PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYPOSOFF AND/OR SOG WITH A HEALTHY GROWTH OF GRASS PRIOR TO RECEIVING COUNTY ACCEPTANCE. SEEDING AREAS SHALL INCLUDE A BAMA MIX TO ENSURE CONTINUED GROWTH AFTER WINTER MONTHS. SEED IN ACCORDANCE WITH FOOT SECTION 570 AND STANDARD NCD-105.
 - DISTURBED RIGHT-OF-WAY AREAS SHALL BE STABILIZED WITH A HEALTHY GROWTH OF GRASS PRIOR TO RECEIVING COUNTY APPROVAL/ACCEPTANCE. IF THE CONSTRAINTS EXIST DURING THE FINAL PLAT APPROVAL AND ACCEPTANCE PROCESS, A MINIMUM OF TWO STRIPS OF SOG (MINIMUM 2' WIDE) BEHIND THE BACK OF CURB WITH ALL OTHER DISTURBED AREAS SEEDED/MULCHED/FERTILIZED WILL BE ACCEPTABLE.
 - DISTURBED LOT AREAS SHALL BE COMPLETELY STABILIZED WITH SOG.
 - THE HOMEOWNER SHALL COMPLY WITH STATE PERMITTING REQUIREMENTS FOR LARGE & SMALL CONSTRUCTION SITES. SPECIFICALLY THE NPDES PERMITS WHICH REQUIRE A DETAILED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING AVAILABLE ON-SITE FOR REVIEW DURING ALL PHASES OF CONSTRUCTION.
 - LOT CLEARING ACTIVITIES SHALL NOT PROCEED WITHOUT BUILDING PERMITS FOR THOSE LOTS EXCLUDING CLEARING REQUIRED FOR CONSTRUCTION OF CONVEYANCE SWALES OR DRAINAGE FEATURES DESIGNATED AS THE DEVELOPER'S RESPONSIBILITY.
 - ON INDIVIDUAL SUBMISSION LOTS ALL LAND CLEARING & TREE REMOVAL SHALL ONLY BE ALLOWED AFTER COUNTY ISSUANCE OF A BUILDING PERMIT FOR THE DWELLING OR A SEPARATE LAND DISTURBING OR TREE REMOVAL PERMIT. PER ESCAMBA COUNTY LDC, LOTS SHOULD REMAIN IN THEIR NATURAL STATE UNTIL FURTHER PERMITTING ALLOWS FOR DEVELOPMENT, SITE DISTURBANCE &/OR TREE REMOVAL.
 - NO HERITAGE TREES EXIST ON-SITE.
 - CONSTRUCTION OF THE SUBMISSION INFRASTRUCTURE, INCLUDING LAND CLEARING & REMOVAL OF PROTECTED TREES (ON-SITE WITHIN 8' FROM POND PARCELS/AREAS) WILL BE ALLOWED AT THE TIME OF CONSTRUCTION PLAN APPROVAL.

- UTILITY NARRATIVE:**
- POTABLE WATER IS PROVIDED BY NEW 6" WATER MAINS LOCATED IN THE RIGHT-OF-WAYS AND SIZED FOR FIRE PROTECTION. THE WATER CONNECTION IS TO PEOPLES WATER SYSTEM LOCATED SOUTH SIDE OF GULF BEACH HWY (EXISTING 12" MAIN). SANITARY SEWER IS PROVIDED BY A NEW LOW-PRESSURE FORCE MAIN LOCATED IN THE RIGHT-OF-WAYS. THE FORCE MAIN CONNECTION IS TO AN EXISTING 6" FORCE MAIN LOCATED ON THE NORTH SIDE OF GULF BEACH HWY. EQUA IS TO ACCEPT SANITARY SEWER FORCE MAIN FOR OWNERSHIP, OPERATION & MAINTENANCE UPON COMPLETION OF CONSTRUCTION. GRINDER PUMPS & SERVICE LINES LOCATED ON EACH LOT SHALL BE HOMEOWNERS RESPONSIBILITY. THE NEW STORMWATER SYSTEM INCLUDES STORM PIPE & INLETS LOCATED IN THE RIGHT-OF-WAYS WHICH DRAIN TO THE NEW STORMWATER POND. IT IS PROPOSED THAT ESCAMBA COUNTY ACCEPT THIS STORMWATER SYSTEM FOR OWNERSHIP, OPERATION, & MAINTENANCE AFTER THE 2-YR WARRANTY PERIOD.

- SITE NOTES:**
- SITE AREA: 2416 AC
 - TOTAL LOTS: 40
 - PARCEL ID: 33-25-31-2000-371-026
 - PROJECT ADDRESS: 9106 GULF BEACH HWY, PENSACOLA, FLORIDA 32507
 - ZONING: MDR & HC/LU
 - AIRPORT ZONING: APZ-1 & APZ-2
 - FLU: MU-S & C
 - BUILDING SETBACK LINES:
 - FRONT = 20'
 - REAR = 20'
 - SIDE = 5' MINIMUM OR 10% OF LOT WIDTH, WHICHEVER IS GREATER

PARCEL TABULATION:			
NAME	DESCRIPTION	OWNER	ACREAGE
A	WET STORMWATER POND	PUBLIC	0.54
B	COMMON AREA / WETLANDS	HOMEOWNER'S ASSOCIATION	0.63
C	WET STORMWATER POND	PUBLIC	1.89
D	COMMON AREA / WETLANDS	HOMEOWNER'S ASSOCIATION	12.92
E	DRAINAGE WAY	PUBLIC	0.34
F	COMMON AREA	HOMEOWNER'S ASSOCIATION	0.12
G	ALVA STREET	PUBLIC	1.63

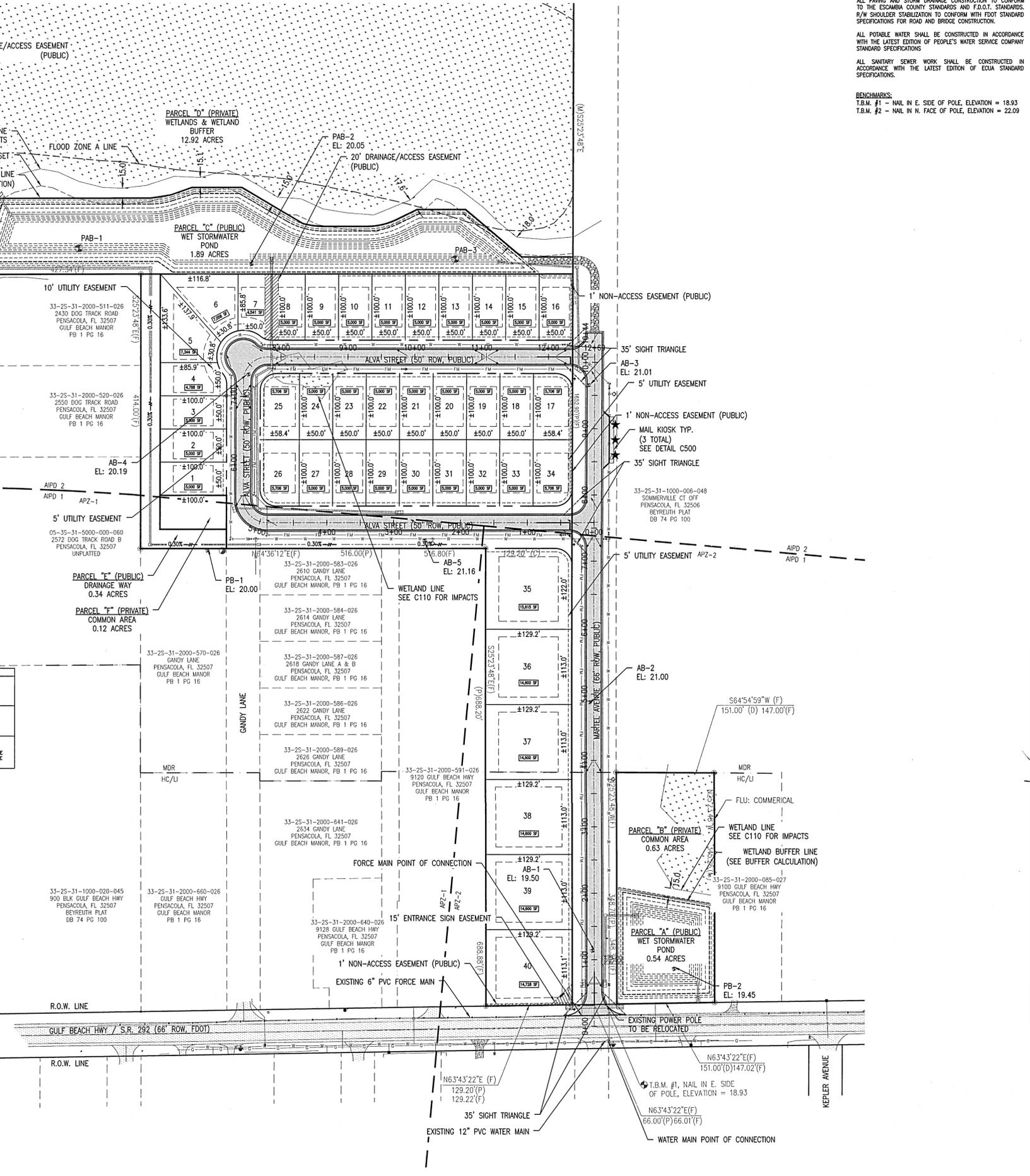
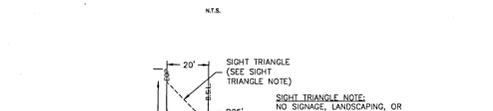
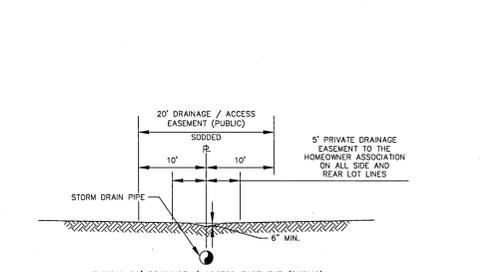
WETLAND BUFFER CALCULATIONS:

POND NORTH
 LENGTH OF WETLAND BUFFER LINE = 1,029 FT
 AREA ENCLOSED BY WETLAND & BUFFER LINES = 27,191 SF
 AVERAGE WETLAND BUFFER WIDTH = 27,191 / 1,029 = 26.42 FT
 MINIMUM WETLAND BUFFER WIDTH = 15 FT

POND SOUTH
 LENGTH OF WETLAND BUFFER LINE = 290 FT
 AREA ENCLOSED BY WETLAND & BUFFER LINES = 7,719 SF
 AVERAGE WETLAND BUFFER WIDTH = 7,719 / 290 = 26.62 FT
 MINIMUM WETLAND BUFFER WIDTH = 15 FT

ENVIRONMENTAL TABLE	
1. WETLAND DELINEATIONS BY BIOME CONSULTING GROUP, NOVEMBER 4, 2018.	
2. WETLAND DELINEATIONS SURVEYED BY S&S SURVEYING SERVICES AS SHOWN ON THE SURVEY DATED JUNE 9, 2021.	
3. JURISDICTIONS INCLUDE FDEP, ESCAMBA COUNTY, & NFWMD	
NFWMD PERMIT # IND-033-301033-1	TOTAL TEMPORARY WETLAND IMPACT = 0.124 ACRES
TOTAL WETLAND AREA = 11.53 ACRES	TOTAL BUFFER IMPACT = 0.00 ACRES
TOTAL ISOLATED IMPACT = 0.08 ACRES	REMOVING BUFFER AREA = 0.00 ACRES
TOTAL JURISDICTIONAL WETLAND IMPACT = 0.004 ACRES	

SPECIAL ENVIRONMENTAL NOTE:
 NO CLEARING OR DISTURBANCE OF ANY LAND WITHIN ENVIRONMENTALLY SENSITIVE LAND AND/OR BUFFERS SHALL BE PERMITTED. WETLAND AND WETLAND BUFFER AREAS SHALL REMAIN IN THEIR NATURAL, VEGETATED STATE UNLESS OTHERWISE PERMITTED BY ALL JURISDICTIONAL AGENCIES IN THE FUTURE. IN ADDITION, NO STRUCTURES OR ACCESSORY STRUCTURES ARE ALLOWED WITHIN WETLANDS, BUFFERS, OR ANY OTHER ENVIRONMENTALLY SENSITIVE LAND.



ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ALL POTABLE WATER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF PEOPLES WATER SERVICE COMPANY STANDARD SPECIFICATIONS.

ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF EDIA STANDARD SPECIFICATIONS.

BENCHMARKS:
 T.B.M. #1 - NAIL IN E. SIDE OF POLE, ELEVATION = 18.93
 T.B.M. #2 - NAIL IN N. FACE OF POLE, ELEVATION = 22.09

NO.	REVISION	DATE	APPR.
1	BID SET	01/18/22	CAG
2	PERMITTING REVISIONS	01/31/22	CAG
3			
4			
5			

GECCI & ASSOCIATES, INC.
 ENGINEERS
 2950 N. 12th Ave. PENSACOLA, FL 32503
 Phone (850) 432-2929 - Fax (850) 432-2875
 CERTIFICATE OF AUTHORIZATION NUMBER 00005149
 E-Mail: ge@gecciconsulting.com

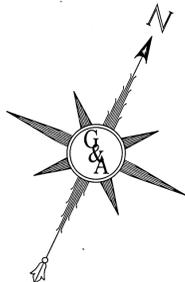
C&A

SCALE: AS SHOWN DESIGNED: CAG DRAWN: KRD CHECKED: SAG DATE: 01/18/22

NOT RELEASED FOR CONSTRUCTION

SITENET CONSTRUCTION PLANS FOR **DAVIS RUN** OVERALL PLAN
 POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS

PROJECT NO. 28806 SHEET NO. C100



SCALE: 1" = 100'

- NOTES:**
- CONTRACTOR SHALL REFER TO BOUNDARY & TOPO SURVEY PROVIDED BY 360 SURVEYING, DATED JUNE 9TH, 2021 FOR ALL EXISTING CONDITIONS.
 - LOCATION OF EXISTING UTILITIES WERE TAKEN FROM THE RECORDS OF APPROPRIATE UTILITY COMPANIES AND HAVE NOT BEEN VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL ABOVE GROUND AND UNDERGROUND UTILITIES.
 - ALL AREAS REQUIRED FOR CONSTRUCTION OF ROADS, PONDS, LAY DOWN AREAS, STOCKPILE AREAS, UTILITIES, AND INFRASTRUCTURE REQUIRED TO CONSTRUCT THE DEVELOPMENT TO BE CLEARED & GRUBBED.
 - ALL EXISTING IMPROVEMENTS LOCATED INSIDE INCLUDING BUT NOT LIMITED TO BUILDINGS, PAVEMENT, FENCES AND UTILITIES TO BE DEMOLISHED & HAULED OFFSITE.
 - ALL EXISTING STRUCTURES WILL REQUIRE SEPARATE DEMO PERMITS FROM BUILDING INSPECTIONS AT TIME OF DEMOLITION.
 - NO HERITAGE TREES EXIST ON PROJECT SITE.
 - THESE PLANS ARE NOT RELEASED FOR CONSTRUCTION UNLESS OTHERWISE NOTED.
 - CONSTRUCTION ENTRANCE TO BE MAINTAINED DURING ALL EARTH DISTURBING ACTIVITIES.

ALL PROPOSED STORMWATER STRUCTURES TO BE INSTALLED WITH SILT SAVERS (SEE DETAIL C500)

WETLAND BUFFER CALCULATIONS:

POND NORTH
 LENGTH OF WETLAND BUFFER LINE = 1,029 FT
 AREA ENCLOSED BY WETLAND & BUFFER LINES = 27,191 SF
 AVERAGE WETLAND BUFFER WIDTH = 27,191 / 1,029 = 26.42 FT
 MINIMUM WETLAND BUFFER WIDTH = 15 FT

POND SOUTH
 LENGTH OF WETLAND BUFFER LINE = 290 FT
 AREA ENCLOSED BY WETLAND & BUFFER LINES = 7,719 SF
 AVERAGE WETLAND BUFFER WIDTH = 7,719 / 290 = 26.62 FT
 MINIMUM WETLAND BUFFER WIDTH = 15 FT

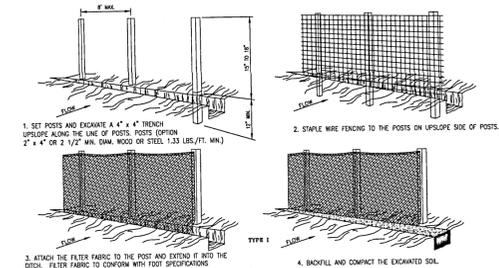
ENVIRONMENTAL TABLE

- NOTES:**
- WETLANDS DELINEATIONS BY BIOME CONSULTING GROUP, NOVEMBER 4, 2019.
 - WETLAND DELINEATIONS SURVEYED BY 360 SURVEYING SERVICES AS SHOWN ON THE SURVEY DATED JUNE 9, 2021.
 - JURISDICTIONS INCLUDE FDEP, ESCAMBA COUNTY, & INFWMD.

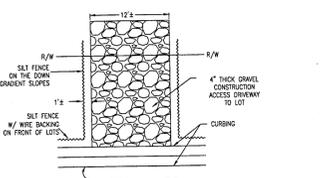
INFWMD PERMIT # IND-033-301033-1
 TOTAL WETLAND AREA = 11.53 ACRES
 TOTAL ISOLATED IMPACT = 0.09 ACRES
 TOTAL JURISDICTIONAL WETLAND IMPACT = 0.004 ACRES

TOTAL TEMPORARY WETLAND IMPACT = 0.124 ACRES
 TOTAL BUFFER IMPACT = 0.00 ACRES
 REMAINING BUFFER AREA = 0.00 ACRES

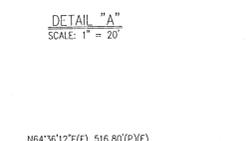
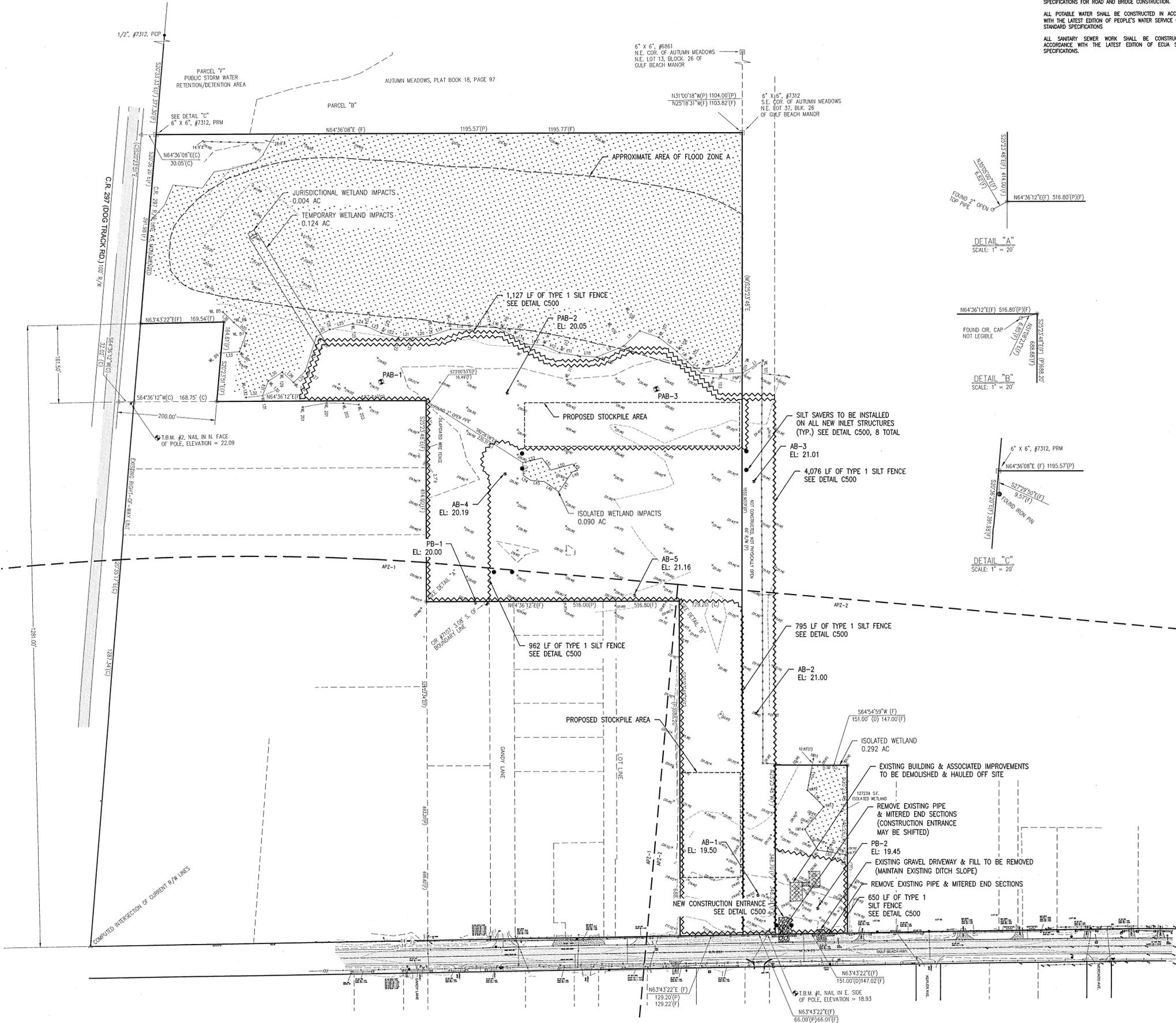
SPECIAL ENVIRONMENTAL NOTES:
 NO CLEARING OR DISTURBANCE OF ANY LAND WITHIN ENVIRONMENTALLY SENSITIVE LAND AND/OR BUFFERS SHALL BE PERMITTED. WETLAND AND WETLAND BUFFER AREAS SHALL REMAIN IN THEIR NATURAL VEGETATED STATE UNLESS OTHERWISE PERMITTED BY ALL JURISDICTIONAL AGENCIES IN THE FUTURE. IN ADDITION, NO STRUCTURES OR ACCESSORY STRUCTURES ARE ALLOWED WITHIN WETLANDS, BUFFERS, OR ANY OTHER ENVIRONMENTALLY SENSITIVE LAND.



SILT FENCE DETAIL WITH WIRE MESH FENCING



TYPICAL LOT DETAIL



ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ALL POTABLE WATER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF PEOPLE'S WATER SERVICE COMPANY STANDARD SPECIFICATIONS.

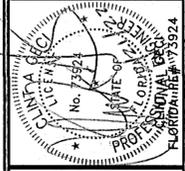
ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF EQUA STANDARD SPECIFICATIONS.

NO.	REVISION	DATE	APPR.
1	BID SET	01/18/22	CAG
2	PERMITTING REVISIONS	01/31/22	CAG
3			
4			
5			

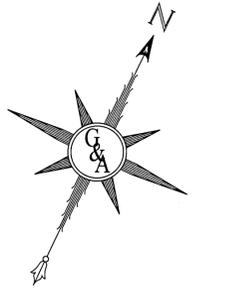
GECI & ASSOCIATES, INC.
 ENGINEERS
 2950 N. 12th Ave. PENSACOLA, FL 32503
 Phone (850) 432-2929 - Fax (850) 432-2875
 CERTIFICATE OF AUTHORIZATION NUMBER 00005149
 E-Mail: gecigec@geciengineering.com

SCALE: AS SHOWN
 DESIGNED: CAG
 DRAWN: KRJ
 CHECKED: SAG
 DATE: 01/18/22

NOT RELEASED FOR CONSTRUCTION



STEWORCK CONSTRUCTION PLANS FOR
DAVIS RUN
 EXISTING CONDITIONS, EROSION CONTROL, & DEMOLITION PLAN
 POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS



SCALE: 1" = 80'

NOTE: THESE PLANS ARE NOT RELEASED FOR CONSTRUCTION UNLESS OTHERWISE NOTED.

Structure Table	
Structure Name	Structure Details
DISCHARGE STRUCTURE 00	TOP EL. = 20.10 NW INV OUT = 16.60
DISCHARGE STRUCTURE 02	TOP EL. = 19.26 SE INV OUT = 16.51
ST BUBBLE UP 01	TOP EL. = 17.60 SE INV IN = 14.60
ST BUBBLE UP 018	TOP EL. = 17.60 SE INV IN = 12.80
ST INLET 000	TOP EL. = 20.82 SW INV OUT = 17.65
ST INLET 010	TOP EL. = 20.78 NE INV IN = 17.36 NW INV OUT = 17.26
ST INLET 012	TOP EL. = 20.04 SE INV IN = 16.38 NW INV OUT = 15.38
ST INLET 110	TOP EL. = 20.98 SE INV IN = 16.30 NW INV OUT = 15.80
ST INLET 120	TOP EL. = 21.10 SW INV IN = 16.48 NW INV OUT = 16.38
ST INLET 140	TOP EL. = 20.95 SW INV IN = 17.38 NE INV IN = 17.38 NW INV OUT = 16.88
ST INLET 150	TOP EL. = 20.95 NE INV OUT = 17.45
ST INLET 160	TOP EL. = 21.62 SW INV OUT = 18.12
ST INLET 220	TOP EL. = 21.91 SE INV IN = 18.30 NW INV OUT = 18.20
ST INLET 230	TOP EL. = 21.91 NW INV OUT = 18.37
ST INLET 310	TOP EL. = 19.57 SW INV IN = 15.84
ST INLET 320	TOP EL. = 19.57 NE INV OUT = 15.90
ST MES 100	TOP EL. = 20.04 SE INV IN = 15.57
ST MES 200	TOP EL. = 20.25 E INV IN = 17.57
ST MES 300	TOP EL. = 20.08 SW INV IN = 14.10
ST MES 400	TOP EL. = 18.25 NW INV IN = 16.45
ST MES 500	TOP EL. = 18.35 SW INV OUT = 15.70
ST MES 600	TOP EL. = 18.25 NE INV IN = 15.60
ST MH 014	TOP EL. = 20.07 SE INV IN = 15.38 SW INV OUT = 15.38
ST MH 016	TOP EL. = 20.00 NE INV IN = 15.38 N INV OUT = 14.88
ST MH 017	TOP EL. = 21.00 S INV IN = 14.88 NW INV OUT = 14.78
ST MH 130	TOP EL. = 21.28 SE INV IN = 16.62 NE INV OUT = 16.52
ST MH 210	TOP EL. = 20.38 SE INV IN = 17.88 W INV OUT = 17.78
ST MH 302	TOP EL. = 20.36 SE INV IN = 15.40 NE INV OUT = 14.30

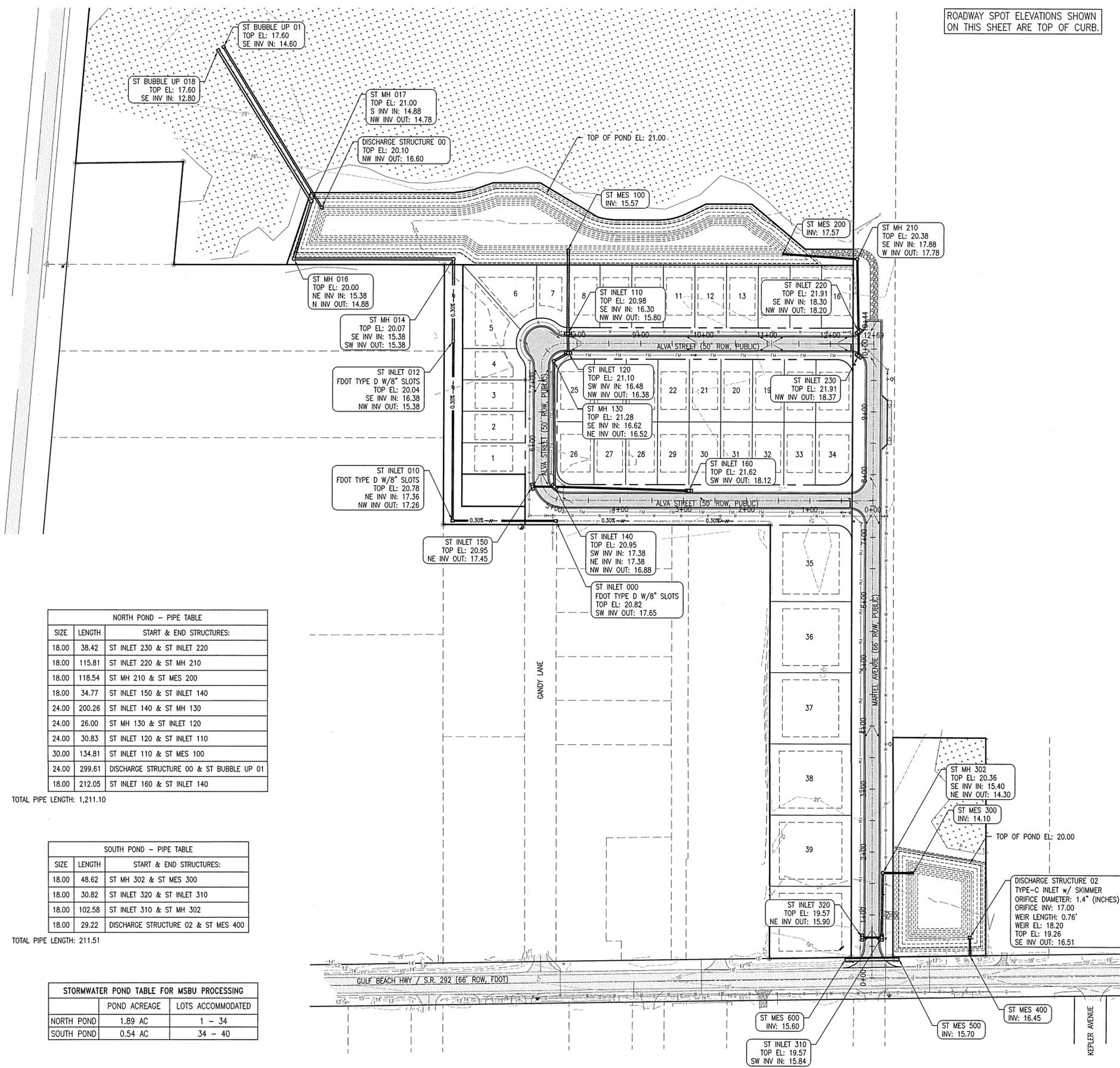
NORTH POND - PIPE TABLE		
SIZE	LENGTH	START & END STRUCTURES:
18.00	38.42	ST INLET 230 & ST INLET 220
18.00	115.81	ST INLET 220 & ST MH 210
18.00	118.54	ST MH 210 & ST MES 200
18.00	34.77	ST INLET 150 & ST INLET 140
24.00	200.26	ST INLET 140 & ST MH 130
24.00	26.00	ST MH 130 & ST INLET 120
24.00	30.83	ST INLET 120 & ST INLET 110
30.00	134.81	ST INLET 110 & ST MES 100
24.00	299.61	DISCHARGE STRUCTURE 00 & ST BUBBLE UP 01
18.00	212.05	ST INLET 160 & ST INLET 140

TOTAL PIPE LENGTH: 1,211.10

SOUTH POND - PIPE TABLE		
SIZE	LENGTH	START & END STRUCTURES:
18.00	48.62	ST MH 302 & ST MES 300
18.00	30.82	ST INLET 320 & ST INLET 310
18.00	102.58	ST INLET 310 & ST MH 302
18.00	29.22	DISCHARGE STRUCTURE 02 & ST MES 400

TOTAL PIPE LENGTH: 211.51

STORMWATER POND TABLE FOR MSBU PROCESSING		
	POND ACREAGE	LOTS ACCOMMODATED
NORTH POND	1.89 AC	1 - 34
SOUTH POND	0.54 AC	34 - 40



ROADWAY SPOT ELEVATIONS SHOWN ON THIS SHEET ARE TOP OF CURB.

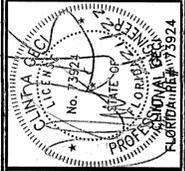
ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
ALL POTABLE WATER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF PEOPLE'S WATER SERVICE COMPANY STANDARD SPECIFICATIONS.
ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF ECMA STANDARD SPECIFICATIONS.

NO.	REVISION	DATE	APPR.
1	BID SET	01/18/22	CAG
2	PERMITTING REVISIONS	01/31/22	CAG
3			
4			
5			

GECI & ASSOCIATES, INC.
ENGINEERS
2950 N. 12th Ave. PENSACOLA, FL 32503
Phone (850) 432-2929 - Fax (850) 432-2875
CERTIFICATE OF AUTHORIZATION NUMBER 00005149
E-Mail: gec@geciengineers.com

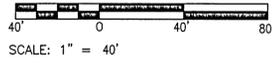
SCALE: AS SHOWN DESIGNED: CAG DRAWN: KFD CHECKED: SAG DATE: 01/18/22

NOT RELEASED FOR CONSTRUCTION

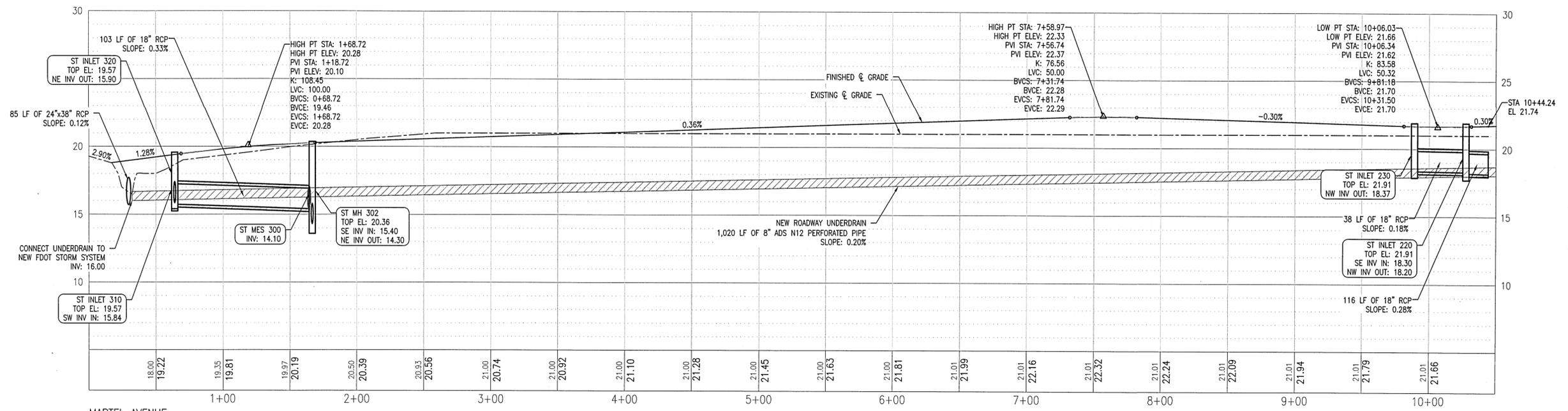
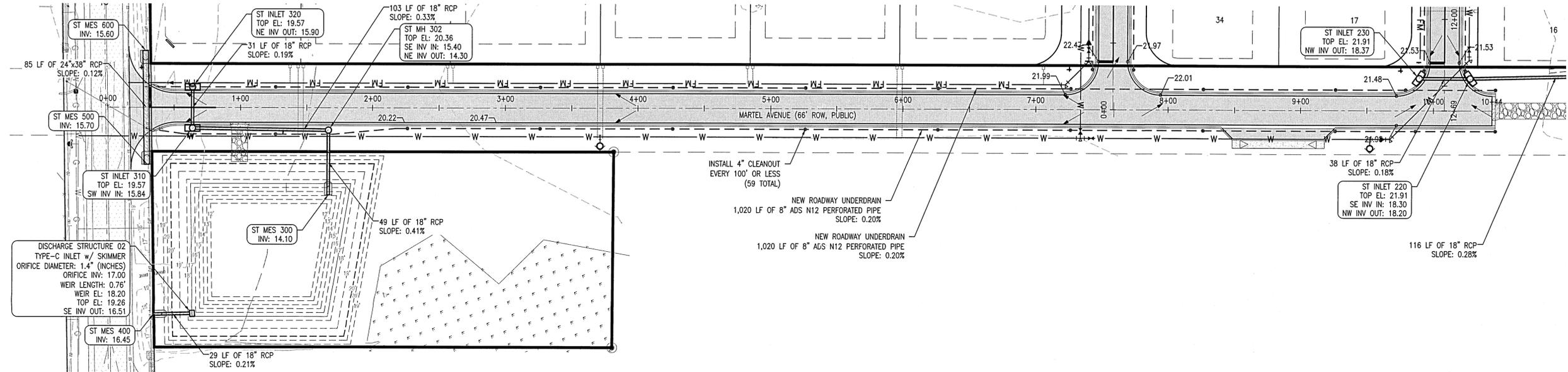


STEWART CONSTRUCTION PLANS FOR
DAVIS RUN
STORMWATER STRUCTURE PLAN
POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS

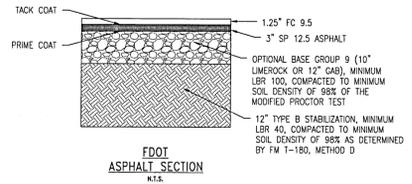
PROJECT NO. 28806 SHEET NO. C135



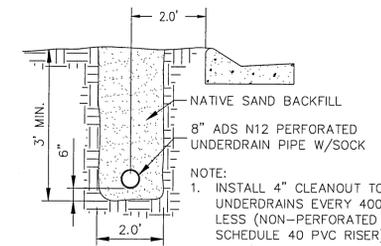
NOTE:
THESE PLANS ARE NOT RELEASED FOR
CONSTRUCTION UNLESS OTHERWISE NOTED.



MARTEL AVENUE
STA 0+00 - STA 10+50
VERT. EXAG. = 10



NOTE: THIS ASPHALT SECTION IS TO BE USED WITHIN ALL FDOT RIGHTS-OF-WAY



ROADWAY UNDERDRAIN
DETAIL
N.T.S.

ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ALL POTABLE WATER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF PEOPLE'S WATER SERVICE COMPANY STANDARD SPECIFICATIONS.

ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF ECUA STANDARD SPECIFICATIONS.

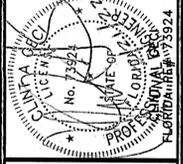
NO.	REVISION	DATE	APPR.
1	BID SET	01/18/22	CAG
2	PERMITTING REVISIONS	01/31/22	CAG
3			
4			
5			

GECI & ASSOCIATES, INC.
ENGINEERS

2950 N. 12th Ave. PENSACOLA, FL 32503
Phone (850) 432-2929 - Fax (850) 432-2875
CERTIFICATE OF AUTHORIZATION NUMBER 00005149
E-Mail: geci@geciengineering.com

SCALE: AS SHOWN DESIGNED: CAG DRAWN: KRJ CHECKED: SAG DATE: 01/18/22

NOT RELEASED FOR CONSTRUCTION



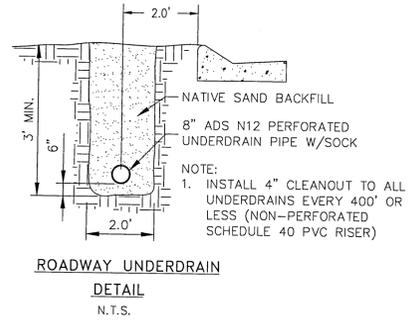
SITework CONSTRUCTION PLANS
FOR
DAVIS RUN
MARTEL AVENUE PLAN & PROFILE
POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS

28806 CONSTRUCTION PLANS.DWG_2/21/22_1055



SCALE: 1" = 40'

NOTE: THESE PLANS ARE NOT RELEASED FOR CONSTRUCTION UNLESS OTHERWISE NOTED.

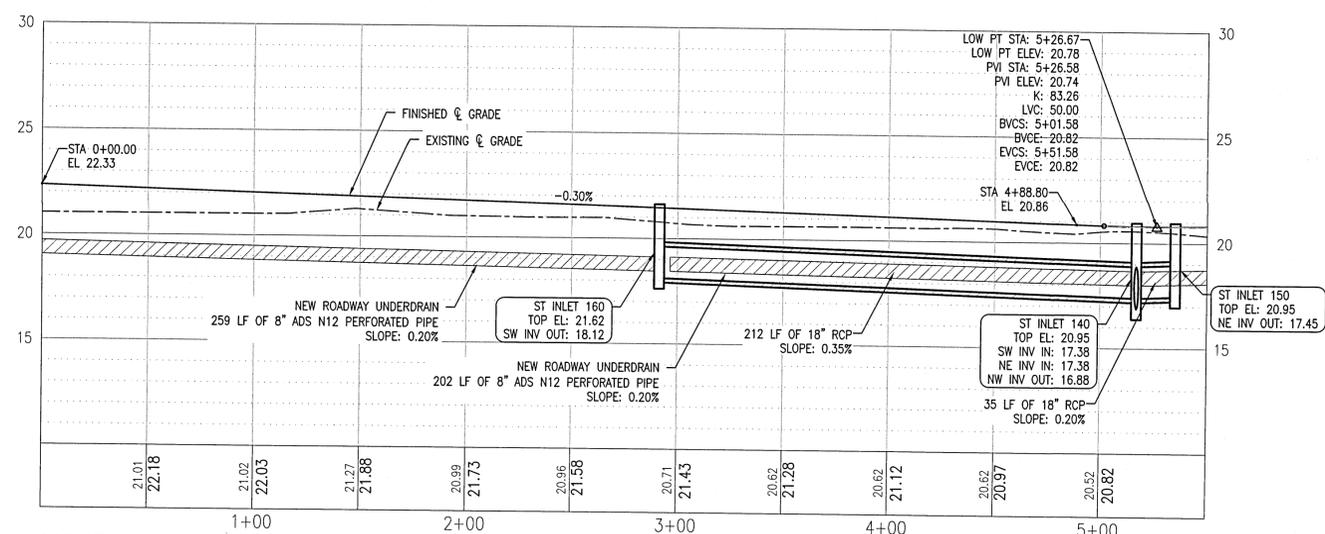
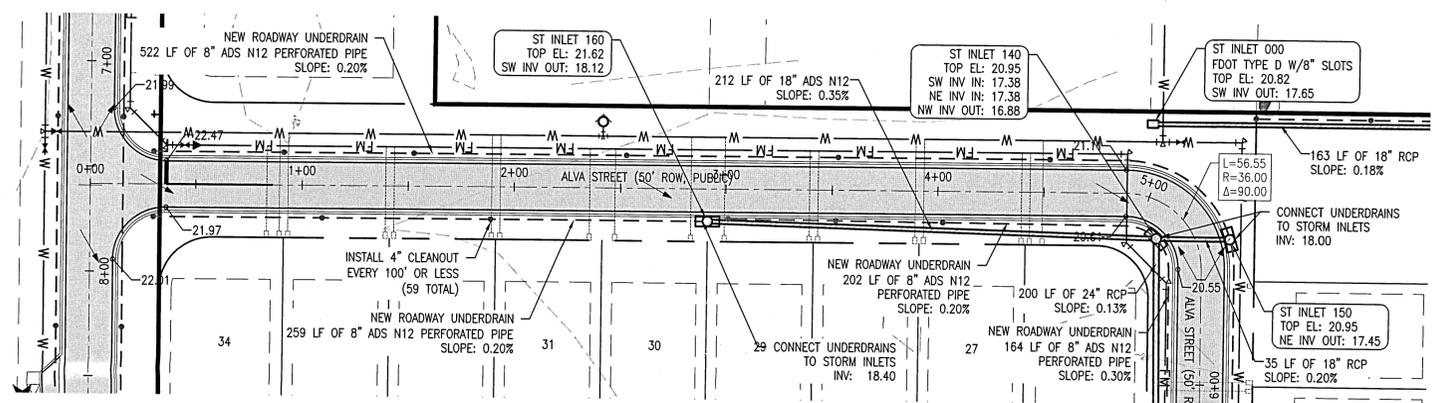


ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS. P/W SHOULDER STABILIZATION TO CONFORM WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ALL POTABLE WATER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF PEOPLE'S WATER SERVICE COMPANY STANDARD SPECIFICATIONS.

ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF ECWA STANDARD SPECIFICATIONS.

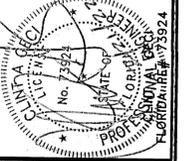
NO.	REVISION	DATE	APPR.
1	BID SET	01/18/22	CAG
2	PERMITTING REVISIONS	01/31/22	CAG
3			
4			
5			



ALVA STREET
STA 0+00 - STA 5+50
VERT. EXAG. = 10

GECI & ASSOCIATES, INC.
 ENGINEERS
 2950 N. 12th Ave. PENSACOLA, FL 32503
 Phone: (850) 432-2029 Fax: (850) 432-2075
 CERTIFICATE OF AUTHORIZATION NUMBER 00005149
 E-Mail: gec@geciengineering.com

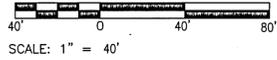
SCALE AS SHOWN | DESIGNED: CAG | DRAWN: KRJ | CHECKED: SAG | DATE: 01/18/22
NOT RELEASED FOR CONSTRUCTION



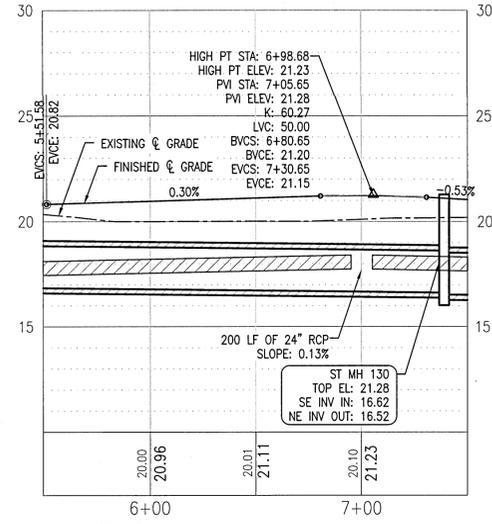
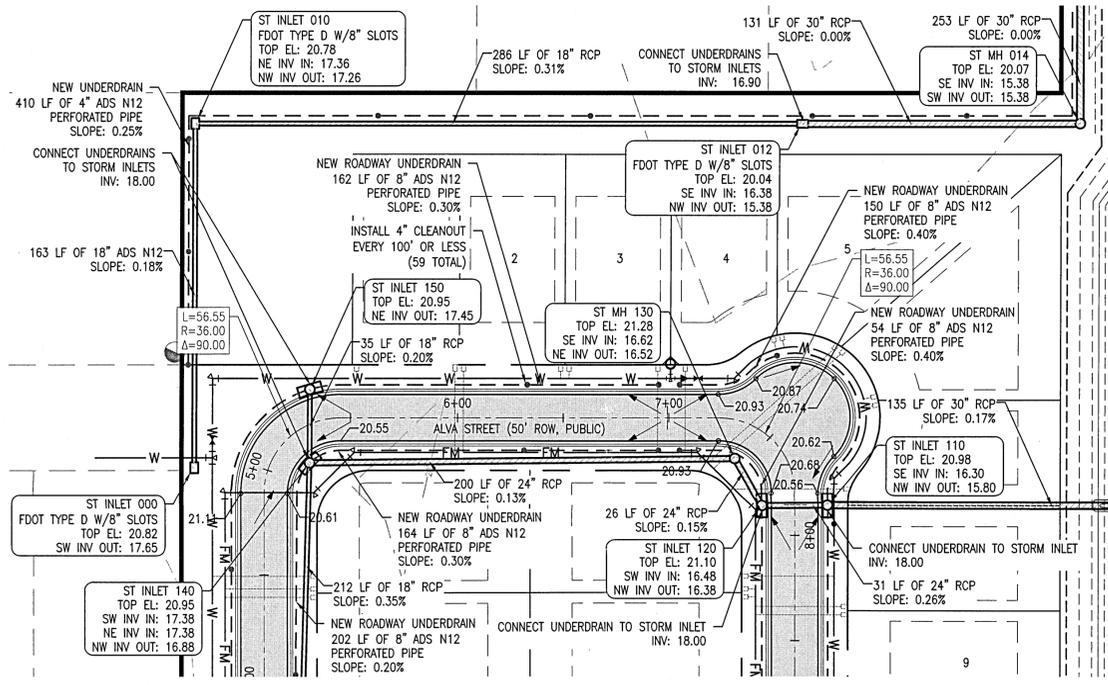
SITEWORK CONSTRUCTION PLANS FOR
DAVIS RUN
 ALVA STREET PLAN & PROFILE 1
 POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS

PROJECT NO.	SHEET NO.
28806	C210

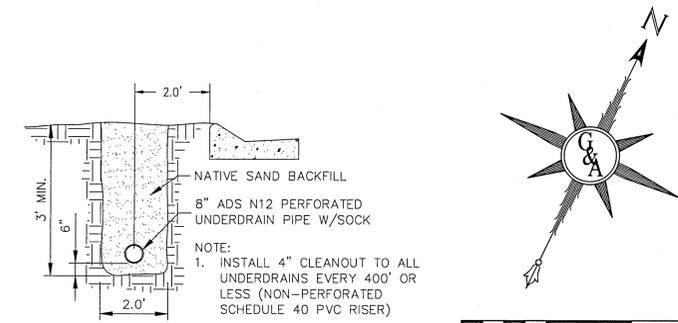
28806 CONSTRUCTION PLANS.DWG_2/21/22_1055



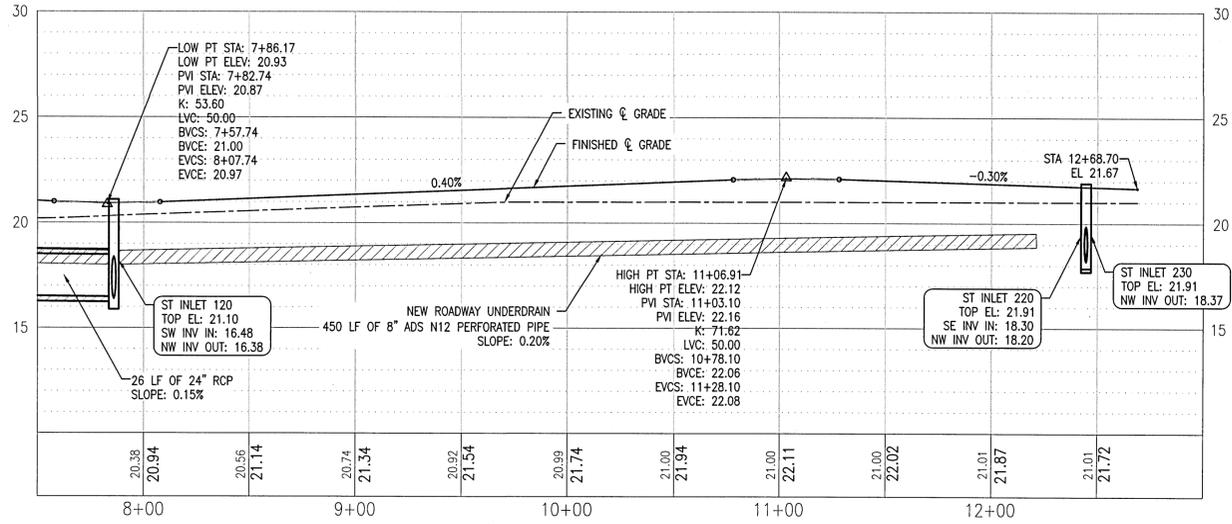
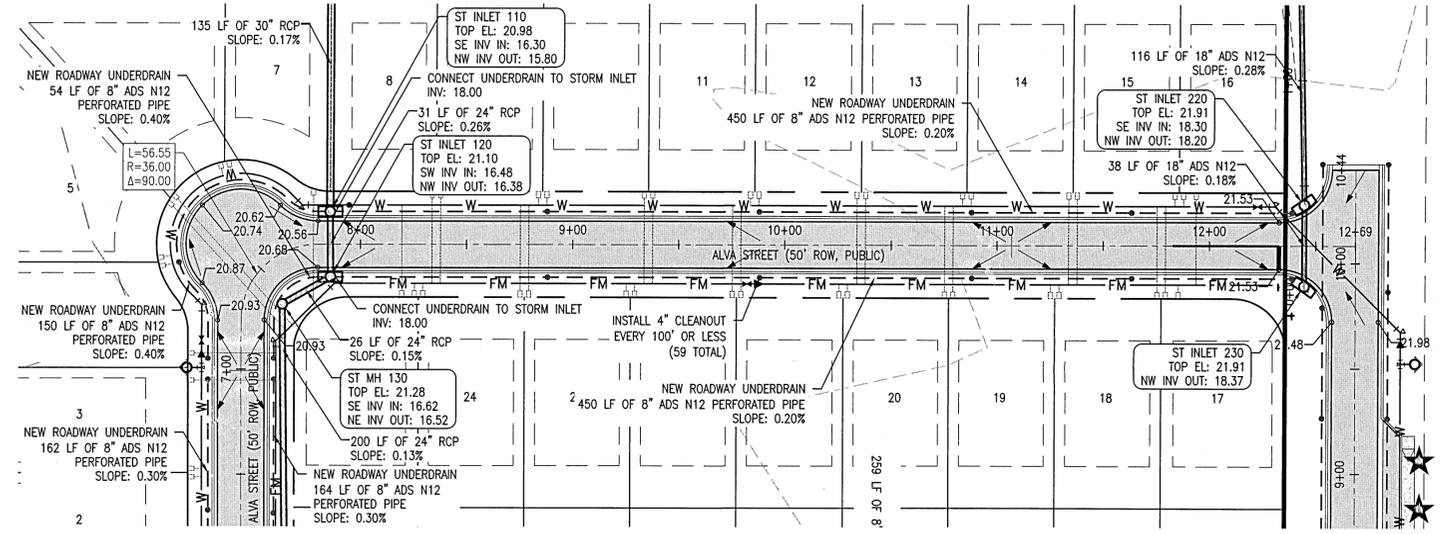
NOTE: THESE PLANS ARE NOT RELEASED FOR CONSTRUCTION UNLESS OTHERWISE NOTED.



ALVA STREET
STA 5+50 - STA 7+50
VERT. EXAG. = 10



ROADWAY UNDERDRAIN
DETAIL
N.T.S.



ALVA STREET
STA 7+50 - STA 13+00
VERT. EXAG. = 10

ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS.
R/W SHOULDER STABILIZATION TO CONFORM WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
ALL POTABLE WATER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF PEOPLE'S WATER SERVICE COMPANY STANDARD SPECIFICATIONS.
ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF ECWA STANDARD SPECIFICATIONS.

NO.	REVISION	DATE	APPR.
1	BID SET	01/18/22	CAG
2	PERMITTING REVISIONS	01/31/22	CAG
3			
4			
5			

GECI & ASSOCIATES, INC.
ENGINEERS

2950 N. 12th Ave. PENSACOLA, FL 32503
Phone (850) 432-2929 - Fax (850) 432-2875
CERTIFICATE OF AUTHORIZATION NUMBER 00005149
E-Mail: geci@geciengineers.com

SCALE: AS SHOWN DESIGNED: CAG DRAWN: KRD CHECKED: SAG DATE: 01/18/22

NOT RELEASED FOR CONSTRUCTION



SITework CONSTRUCTION PLANS
FOR
DAVIS RUN
ALVA STREET PAVING & STORM DRAINAGE PLANS

POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS

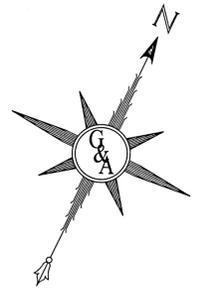
PROJECT NO. SHEET NO.
28806 C220

28806 CONSTRUCTION PLANS.DWG_2/21/22_1055

ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBIA COUNTY STANDARDS AND F.D.O.T. STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

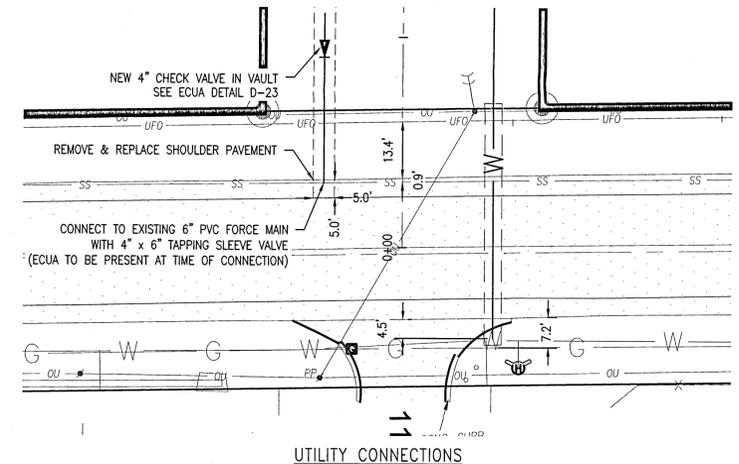
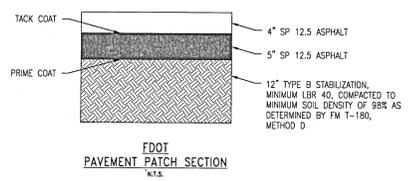
ALL POTABLE WATER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF PEOPLE'S WATER SERVICE COMPANY STANDARD SPECIFICATIONS.

ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF ECMA STANDARD SPECIFICATIONS.



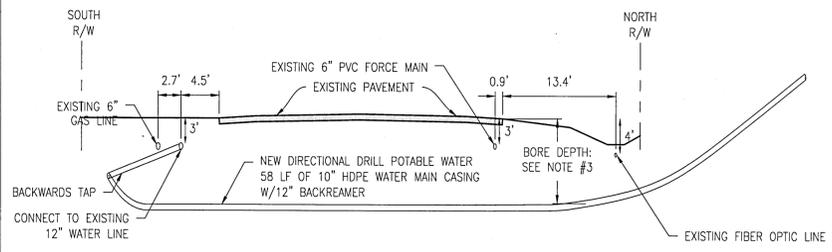
SCALE: 1" = 80'

- GENERAL NOTES:**
- ALL STRIPING MUST BE THERMOPLASTIC PAINT. NO PRE-MANUFACTURED STRIPING (TAPE) APPLICATION ALLOWED.
 - SIGN LETTERING HEIGHTS AND RETRO REFLECTIVITY SHALL BE IN ACCORDANCE WITH THE MUTCD, LATEST EDITION.
 - THESE PLANS ARE NOT RELEASED FOR CONSTRUCTION UNLESS OTHERWISE NOTED.



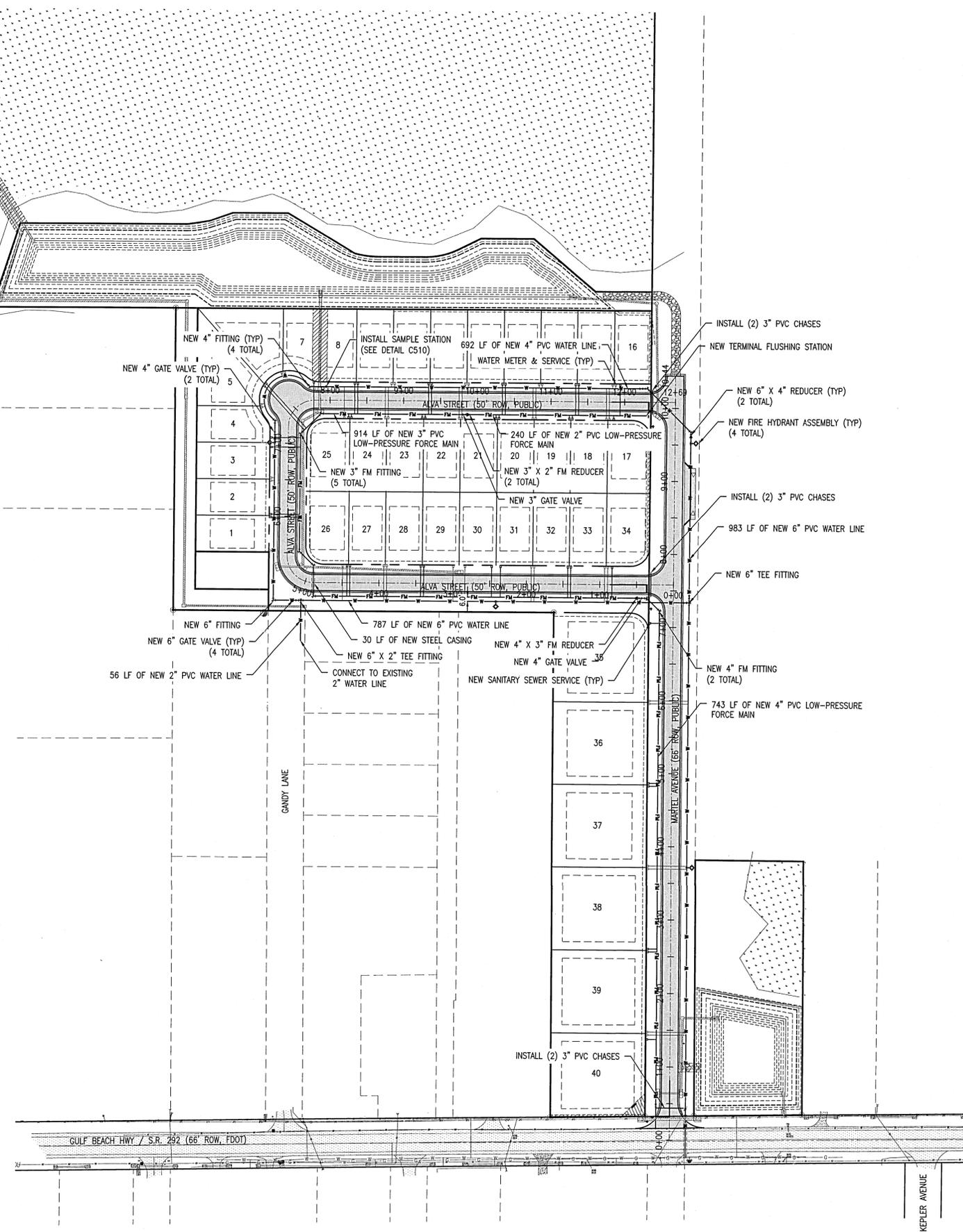
UTILITY CONNECTIONS
SCALE: 1:20

LOCATION OF EXISTING UTILITIES WERE TAKEN FROM THE RECORDS OF APPROPRIATE UTILITY COMPANIES AND HAVE NOT BEEN VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES THAT MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL ABOVE GROUND AND UNDERGROUND UTILITIES.



- NOTES:**
- MAXIMUM ALLOWABLE ENTRY & EXIT ANGLES SHALL BE BASED UPON DRILL RIG & PIPE MANUFACTURERS RECOMMENDATIONS.
 - BACKREAMER DIAMETER = 8"x1.5" = 12"
 - BORE DEPTH = 120"
MINIMUM SEPARATION BETWEEN ALL UTILITIES TO BE 3.5 X BORE DIAMETER = 3.5'

UTILITY CONNECTION DETAIL
SCALE: 1:10



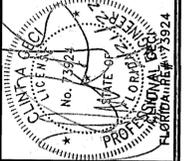
NO.	REVISION	DATE	APPR.
1	BID SET	01/18/22	CAG
2	PERMITTING REVISIONS	01/31/22	CAG
3			
4			
5			

GECI & ASSOCIATES, INC.
ENGINEERS

290 N. 12th Ave. Ft. SACCOLA, FL 32503
Phone: (850) 432-2953
FAX: (850) 432-2875
CERTIFICATE OF AUTHORIZATION NUMBER 00005149
E-Mail: gec@geciengineering.com

SCALE: AS SHOWN DESIGNED: CAG DRAWN: KRJ CHECKED: SAG DATE: 01/18/22

NOT RELEASED FOR CONSTRUCTION



SITWORK CONSTRUCTION PLANS
FOR
DAVIS RUN
UTILITY PLAN

POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS

PROJECT NO.	SHEET NO.
28806	C300

28806 CONSTRUCTION PLANS.DWG_2/21/22_1055

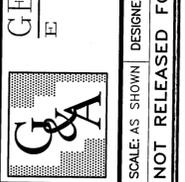
ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ALL POTABLE WATER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF PEOPLE'S WATER SERVICE COMPANY STANDARD SPECIFICATIONS.

ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF ECWA STANDARD SPECIFICATIONS.

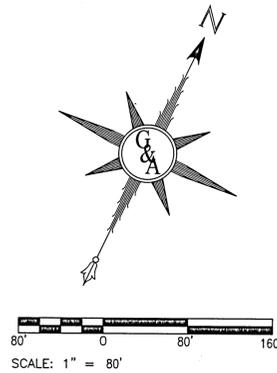
NO.	REVISION	DATE	APPR.
1	BID SET	01/18/22	CAG
2	PERMITTING REVISIONS	01/31/22	CAG
3			
4			
5			

GECI & ASSOCIATES, INC.
 ENGINEERS, ARCHITECTS
 2950 N. 12th Ave. PENSACOLA, FL 32503
 Phone (850) 432-2929 - Fax (850) 432-2973
 CERTIFICATE OF AUTHORIZATION NUMBER 00005149
 E-Mail: gec@aec.com

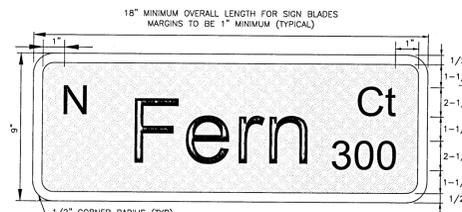
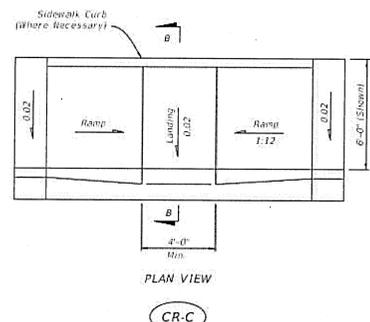


SCALE: AS SHOWN
 DESIGNED: CAG
 DRAWN: KRD
 CHECKED: SAG
 DATE: 01/18/22

SITework CONSTRUCTION PLANS FOR
DAVIS RUN
 TRAFFIC PLAN
 POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS
 PROJECT NO. 28806 SHEET NO. C310



- GENERAL NOTES:**
- ALL STRIPING MUST BE THERMOPLASTIC PAINT. NO PRE-MANUFACTURED STRIPING (TAPE) APPLICATION ALLOWED.
 - SIGN LETTERING HEIGHTS AND RETRO REFLECTIVITY SHALL BE IN ACCORDANCE WITH THE MUTCD, LATEST EDITION.
 - THESE PLANS ARE NOT RELEASED FOR CONSTRUCTION UNLESS OTHERWISE NOTED.



- FOOT TYPE II-A REFLECTIVE SHEETING TO BE USED ON ALL STREET NAME SIGN BLADES
- STREET NAME SIGN BLADES TO HAVE WHITE LEGENDS, 1/2" WHITE BORDERS AND GREEN BACKGROUND
- PRIMARY LETTERING TO BE SERIES B, 6" UPPER CASE AND 4-1/2" LOWER CASE
- PREFIX AND SUFFIX LETTERING TO BE SERIES C, 2-1/2" UPPER CASE AND 1-3/4" LOWER CASE
- STREET NAME SIGNS SHALL CONTAIN ALL ROAD NAMES AND BLOCK ADDRESS NUMBERS

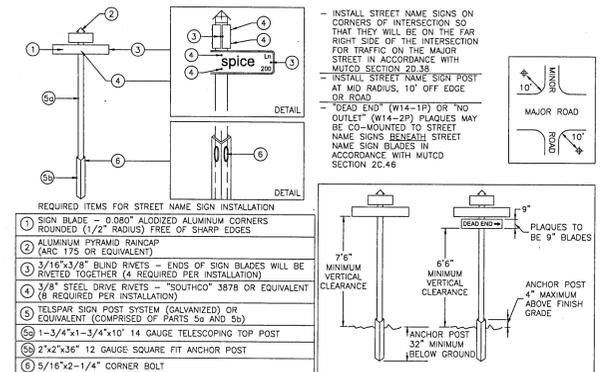
STREET NAME SIGN BLADE LAYOUT
 NOT TO SCALE



SPEED LIMIT SIGN DETAIL
 STANDARD MUTCD R2-1
 PLAQUE SIZE 30x36

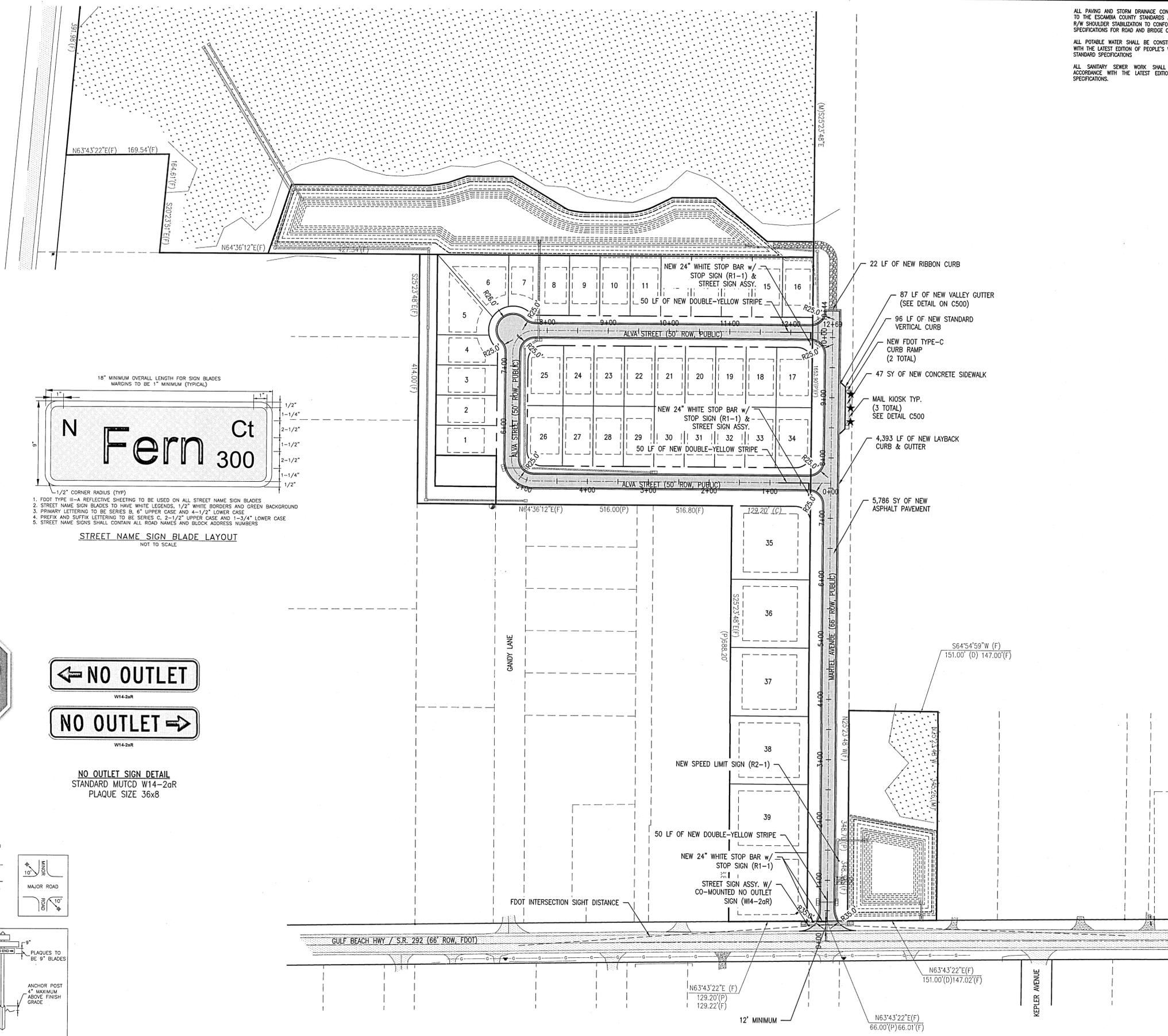
STOP SIGN DETAIL
 STANDARD MUTCD R1-1
 PLAQUE SIZE 30x30

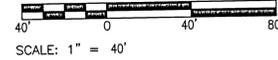
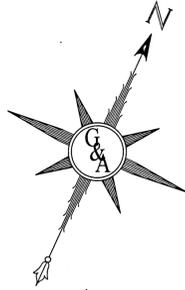
NO OUTLET SIGN DETAIL
 STANDARD MUTCD W14-2aR
 PLAQUE SIZE 36x8



STANDARD DETAILS FOR INSTALLATION AND LOCATION OF STREET NAME SIGNS
 NOT TO SCALE

28806 CONSTRUCTION PLANS.DWG. 2/21/22_1055





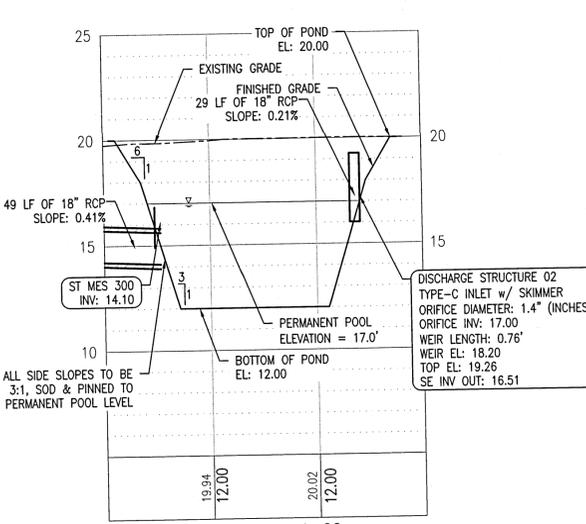
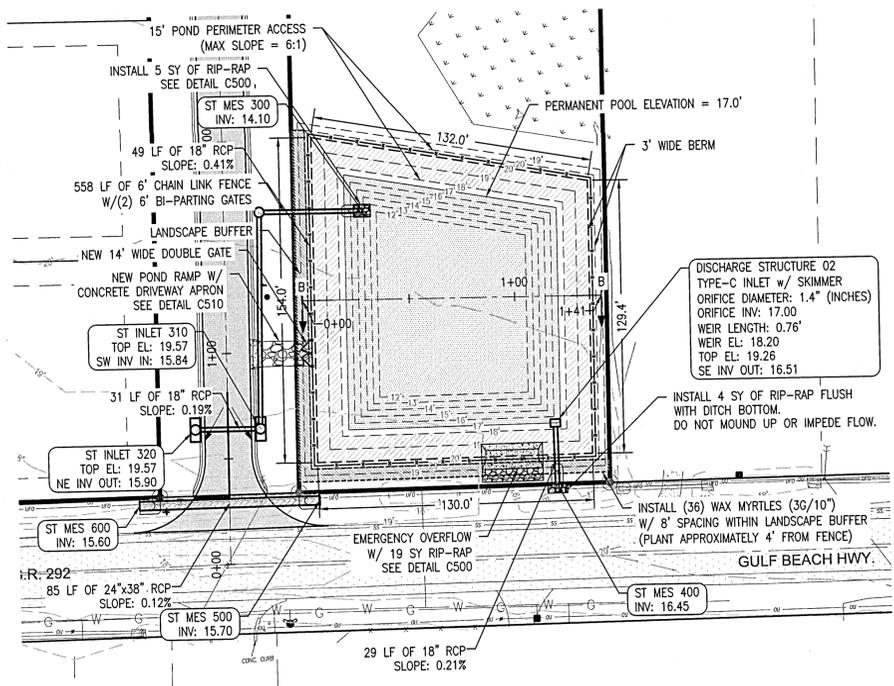
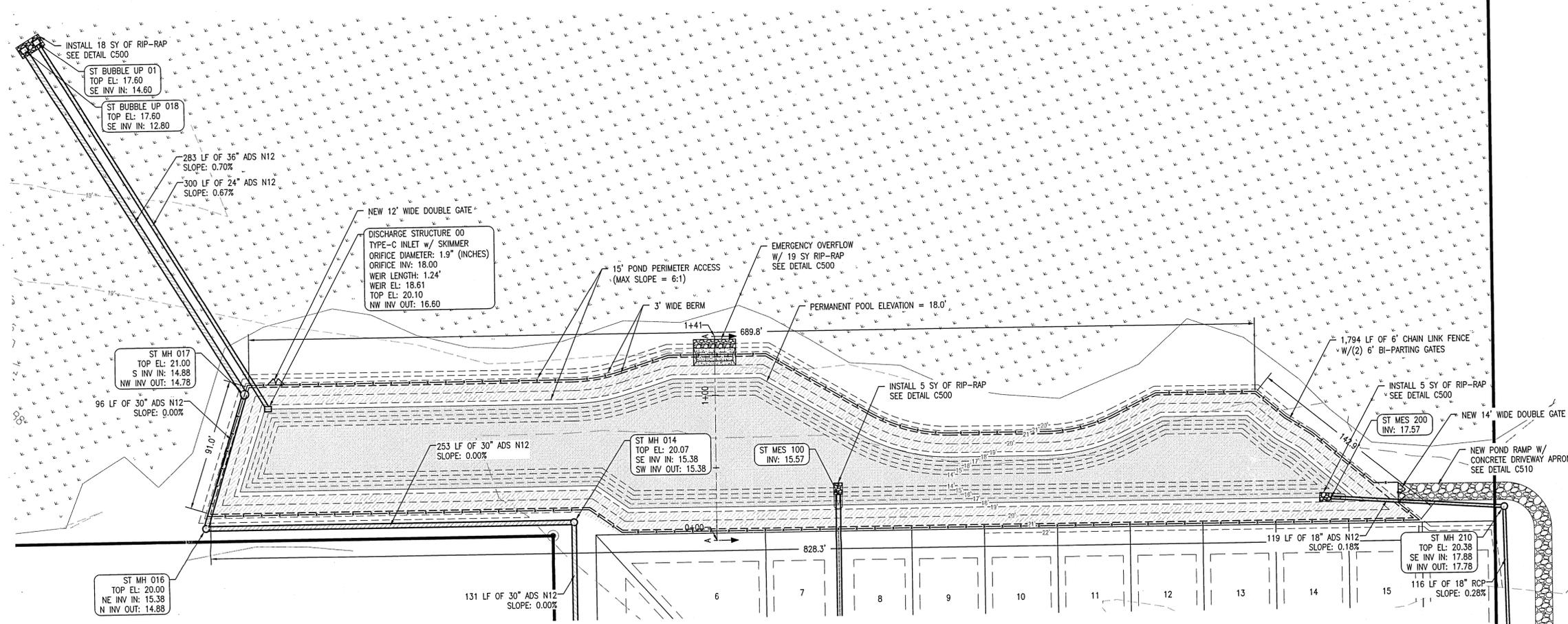
NOTES:

1. THESE PLANS ARE NOT RELEASED FOR CONSTRUCTION UNLESS OTHERWISE NOTED.
2. ALL PIPES TO HAVE MINIMUM 12" GROUND COVER.
3. ALL FENCING TO MEET COUNTY SPECIFICATION 2800.

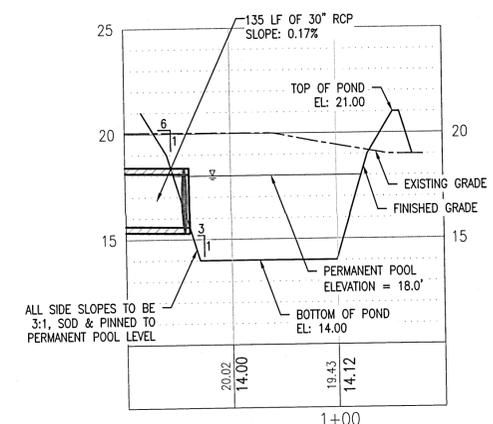
ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ALL POTABLE WATER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF PEOPLE'S WATER SERVICE COMPANY STANDARD SPECIFICATIONS.

ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF ECWA STANDARD SPECIFICATIONS.



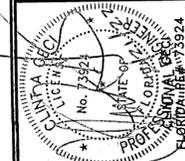
SECTION B-B
STA 0+00 - STA 1+50
VERT. EXAG. = 10



SECTION A-A
STA 0+00 - STA 1+50
VERT. EXAG. = 10

NO.	REVISION	DATE	APPR.
1	BID SET	01/18/22	CAG
2	PERMITTING REVISIONS	01/31/22	CAG
3			
4			
5			

GECI & ASSOCIATES, INC.
ENGINEERS
2950 N. 12th Ave. PENSACOLA, FL 32503
Phone (850) 432-2929 - Fax (850) 432-2875
E-Mail: geci@geciengineering.com
CERTIFICATE OF AUTHORIZATION NUMBER 00005149

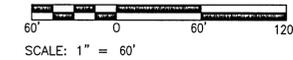
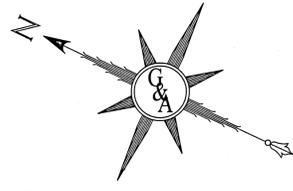


DAVIS RUN
STORMWATER PONDS
SITING CONSTRUCTION PLANS FOR
POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS

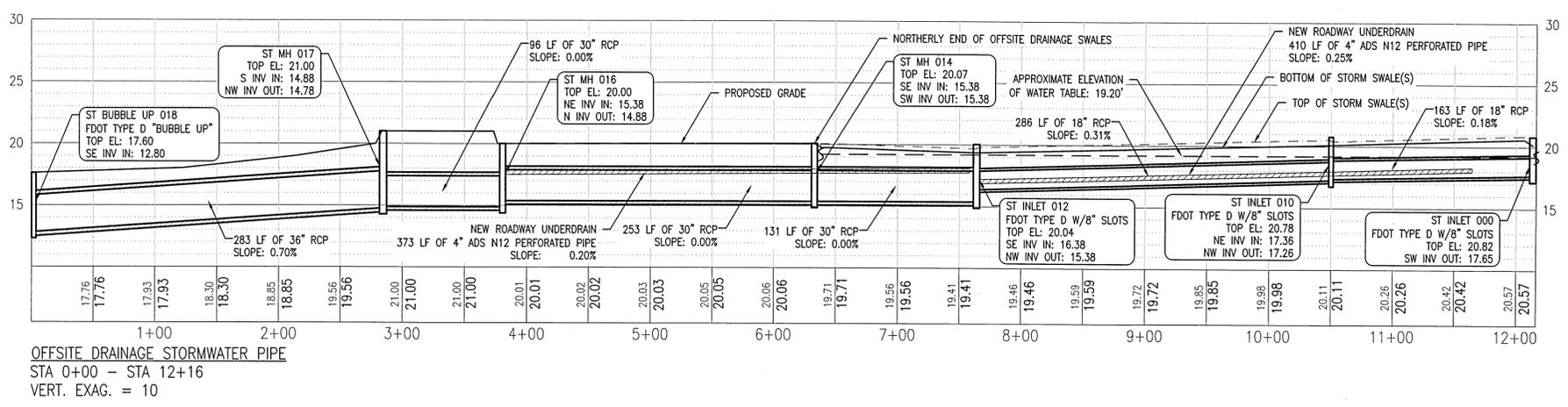
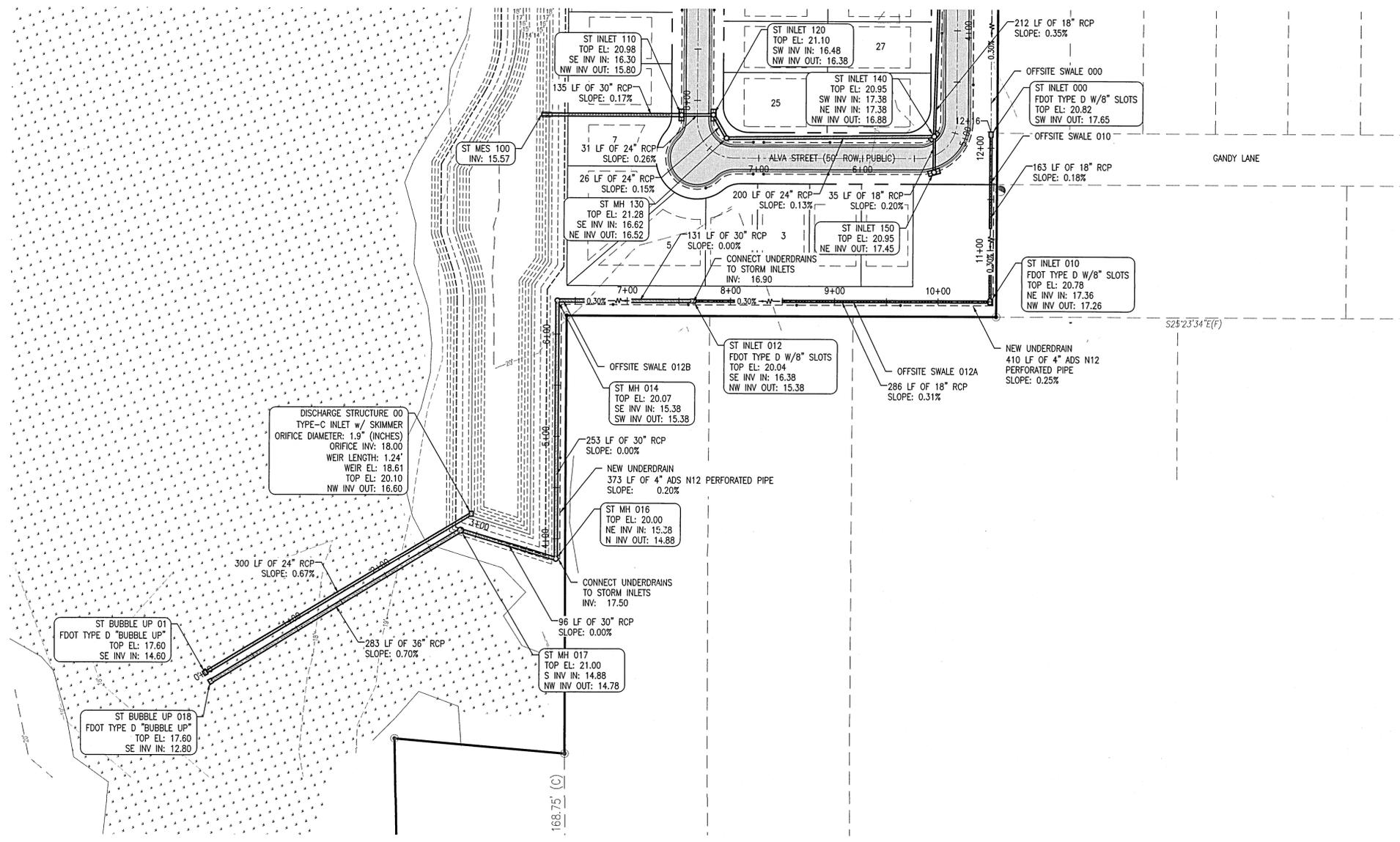
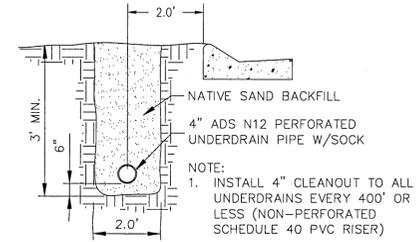
PROJECT NO.	SHEET NO.
28806	C330

28806 CONSTRUCTION PLANS.DWG_2/21/22_1056

NOT RELEASED FOR CONSTRUCTION



- NOTES:
- APPROXIMATE ELEVATION OF WATER TABLE IS BASED UPON THE GEOTECHNICAL REPORT PROVIDED BY TERRA, DATED JANUARY OF 2021.
 - THESE PLANS ARE NOT RELEASED FOR CONSTRUCTION UNLESS OTHERWISE NOTED.



ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.D.O.T. STANDARDS.
R/W SHOULDER STABILIZATION TO CONFORM WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ALL POTABLE WATER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF PEOPLE'S WATER SERVICE COMPANY STANDARD SPECIFICATIONS.

ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF ECUA STANDARD SPECIFICATIONS.

NO.	REVISION	DATE	APPR.
1	BID SET	01/18/22	CAG
2	PERMITTING REVISIONS	01/31/22	CAG
3			
4			
5			

GECI & ASSOCIATES, INC.

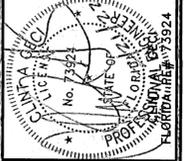
ENGINEERS

2650 N. 12th Ave. TAMPA, FL 33603
PH: (813) 432-2020 FAX: (813) 432-2875
CERTIFICATE OF AUTHORIZATION NUMBER 00005149
E-Mail: gec@geciassociates.com

DATE: 01/18/22

NOT RELEASED FOR CONSTRUCTION

DESIGNED: CAG DRAWN: KRJ CHECKED: SAG



SITework CONSTRUCTION PLANS
FOR
DAVIS RUN
OFFSITE DRAINAGE STORMWATER PIPE
PLAN & PROFILE

POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS

PROJECT NO.	SHEET NO.
28806	C340

28806 CONSTRUCTION PLANS.DWG_2/21/22_1056



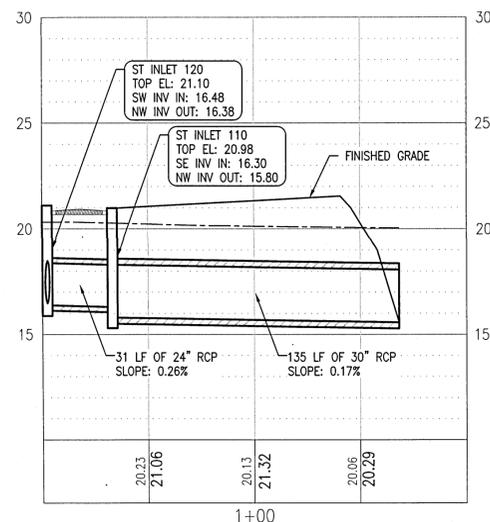
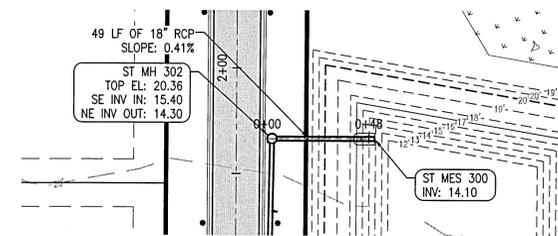
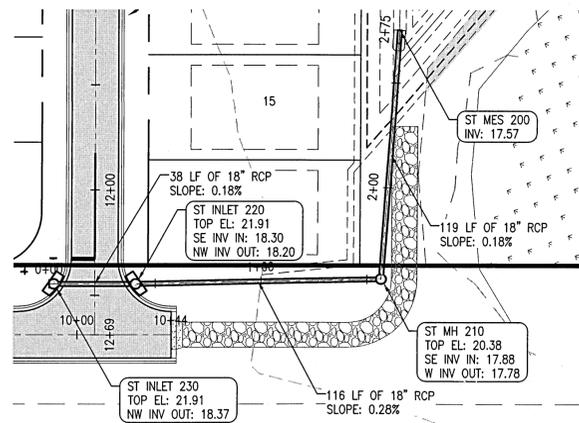
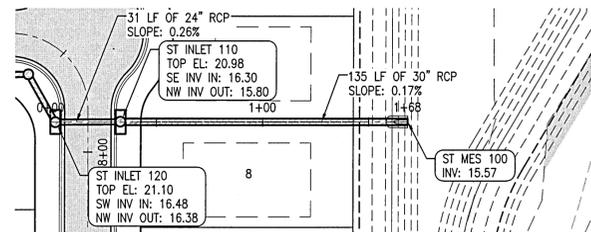
SCALE: 1" = 40'

NOTE:
THESE PLANS ARE NOT RELEASED FOR
CONSTRUCTION UNLESS OTHERWISE NOTED.

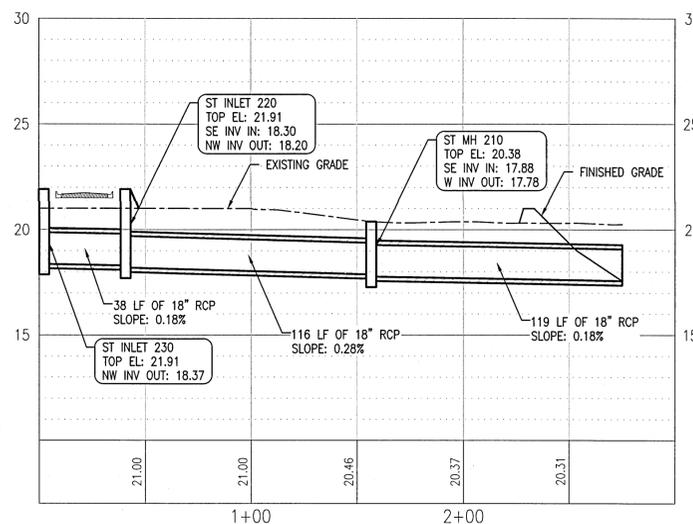
ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBA COUNTY STANDARDS AND F.O.D.T. STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ALL POTABLE WATER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF PEOPLE'S WATER SERVICE COMPANY STANDARD SPECIFICATIONS.

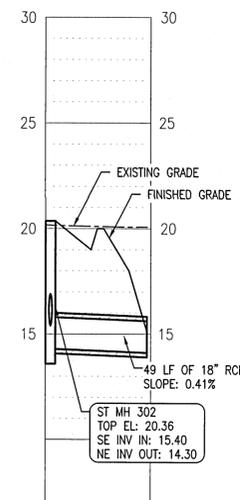
ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF ECMA STANDARD SPECIFICATIONS.



STORMWATER PIPE 120-100
STA 0+00 - STA 2+00
VERT. EXAG. = 10



STORMWATER PIPE 230-200
STA 0+00 - STA 3+00
VERT. EXAG. = 10



STORMWATER PIPE 302-300
STA 0+00 - STA 0+50
VERT. EXAG. = 10

NO.	REVISION	DATE	APPR.
1	BID SET	01/18/22	CAG
2	PERMITTING REVISIONS	01/31/22	CAG
3			
4			
5			

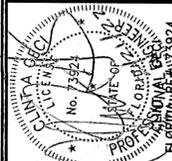
GECI & ASSOCIATES, INC.

ENGINEERS

2850 N. 12th Ave., Pensacola, FL 32503
 P.O. Box 435, Pensacola, FL 32503
 Phone: (904) 432-2875
 Fax: (904) 432-2875
 CERTIFICATE OF AUTHORIZATION NUMBER 00005149
 E-Mail: geci@geciengineering.com

SCALE: AS SHOWN DESIGNED: CAG DRAWN: KRJ CHECKED: SAG DATE: 01/18/22

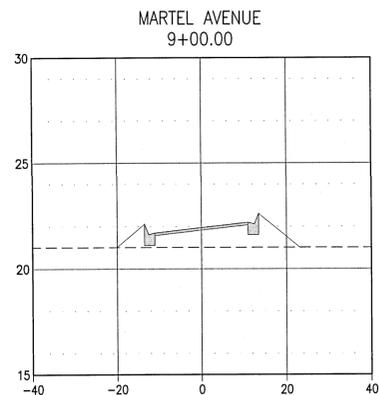
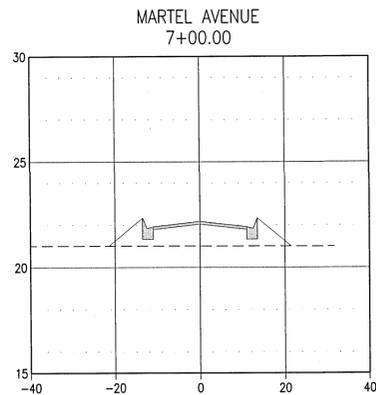
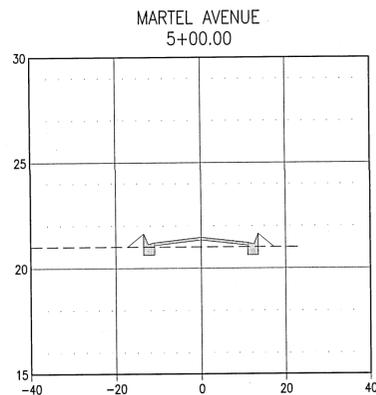
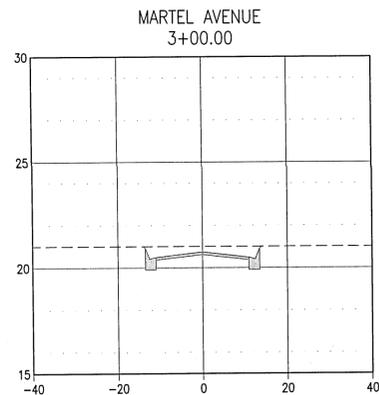
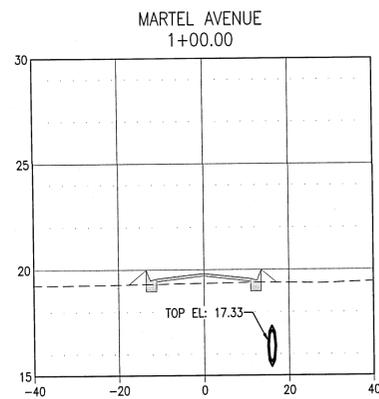
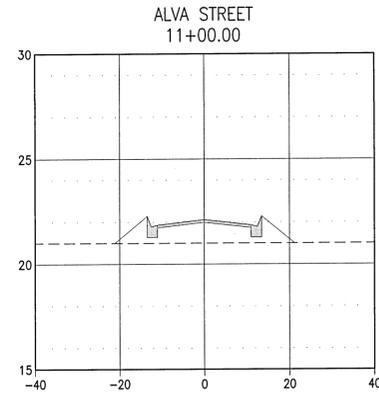
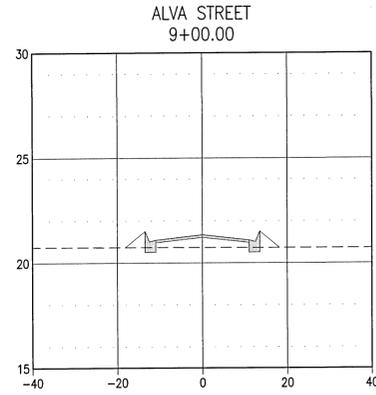
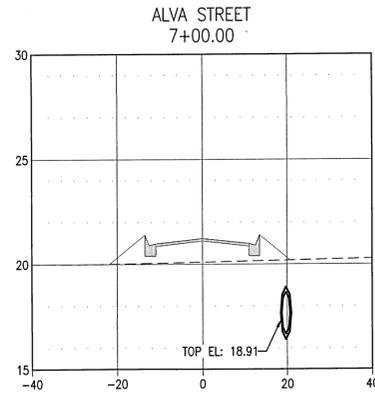
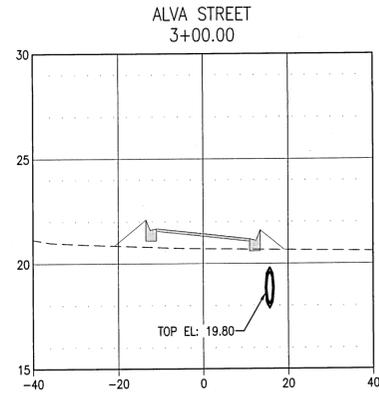
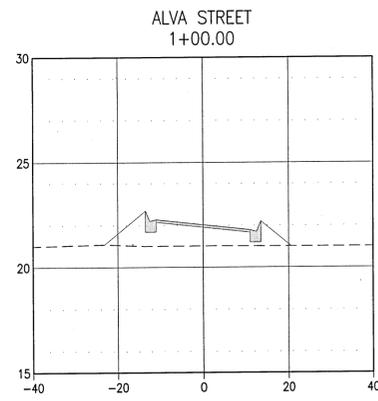
NOT RELEASED FOR CONSTRUCTION



SITework CONSTRUCTION PLANS
FOR
DAVIS RUN
ONSITE STORMWATER PIPE PLANS & PROFILES
POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS

PROJECT NO. 28806 SHEET NO. C350

28806 CONSTRUCTION PLANS.DWG_2/21/22_1056



ALL PAVING AND STORM DRAINAGE CONSTRUCTION TO CONFORM TO THE ESCAMBIA COUNTY STANDARDS AND F.D.O.T. STANDARDS. R/W SHOULDER STABILIZATION TO CONFORM WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.

ALL POTABLE WATER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF PEOPLE'S WATER SERVICE COMPANY STANDARD SPECIFICATIONS.

ALL SANITARY SEWER WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF ECMA STANDARD SPECIFICATIONS.

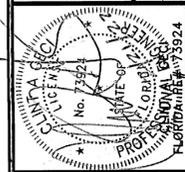
NO.	REVISION	DATE	APPR.
1	BID SET	01/18/22	CAG
2	PERMITTING REVISIONS	01/31/22	CAG
3			
4			
5			

GECI & ASSOCIATES, INC.
ENGINEERS

2950 N. 12th Ave. PENSACOLA, FL 32503
Phone (850) 432-2929 - Fax (850) 432 2875
CERTIFICATE OF AUTHORIZATION NUMBER 00005149
E-Mail: pec@geciengineering.com

SCALE: AS SHOWN | DESIGNED: CAG | DRAWN: KRD | CHECKED: SAG | DATE: 01/18/22

NOT RELEASED FOR CONSTRUCTION



SITWORK CONSTRUCTION PLANS
FOR
DAVIS RUN
CROSS-SECTIONS

POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS

PROJECT NO.	SHEET NO.
28806	C400

TYPICAL DRIVEWAY CONNECTION STANDARDS FOR EXISTING ROADWAY CONDITIONS

NOTES:

- ALL MATERIALS AND LABOR FOR INSTALLATION WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- CONCRETE FINISHES SHALL BE 1/4" FINISH WITH 1/4" STABILIZED SUBGRADE OR 1/2" FINISH CONCRETE WITH 1/2" STABILIZED SUBGRADE - 8% COMPACTION MODIFIED PROCTOR WITH LIR 40 BETWEEN EDGE OF ROADWAY AND R/W LINE.
- CONCRETE ADJUTING TO ROAD SHALL BE 3000 PSI CONCRETE, UNLESS OTHERWISE SPECIFIED, OR FINISHED CONCRETE WITH 1/4" FINISH WITH 1/4" STABILIZED SUBGRADE OR 1/2" FINISH CONCRETE WITH 1/2" STABILIZED SUBGRADE - 8% COMPACTION MODIFIED PROCTOR WITH LIR 40 BETWEEN EDGE OF ROADWAY AND R/W LINE.
- NECESSARY, REFER TO F.D.O.T. INDEX DETAILS AS REFERENCED BELOW.
- ROADS OR FLARE IS ACCEPTABLE FOR TYPE I OR TYPE II CONNECTIONS.
- DRIVEWAYS WITH PROPERTY BOUNDARY SHALL PROVIDE A MINIMUM OF 2 PARKING SPACES.
- TYPICAL DRIVEWAY SECTIONS ARE TO BE 12' WIDE MINIMUM.

TYPE I CURB CUT DRIVEWAY FOR COUNTY TYPE "B" LAYBACK CURBS.

TYPE II DIPPED DRIVEWAY WITHOUT CONCRETE PIPE (CULVERT)

TYPE III-A CROSS PIPE (CULVERT) DRIVEWAY

TYPE III-B DRIVEWAY WITH CONCRETE OR SAND/GRASS HEADWALLS WILL BE USED IN SPECIAL CASES AS APPROVED BY THE PUBLIC WORKS / DEVELOPMENT REVIEW DEPARTMENT.

TYPE IV SPECIAL DRIVEWAY CONNECTION

TYPE IV-A REQUIRES A F.D.O.T. CONNECTION PERMIT (PROVIDE APPROVED F.D.O.T. PERMIT TO OBTAIN COUNTY APPROVAL). REFER TO INDEX NO. 515 AND CONTACT F.D.O.T. AT (850) 981-3000. MAY REQUIRE PLANS PREPARED BY A FLORIDA REGISTERED PROFESSIONAL ENGINEER (P.E.).

TYPE IV-B SPECIAL INNOVATIVE CONNECTION AS DESIGNED BY A FLORIDA REGISTERED PROFESSIONAL ENGINEER (P.E.) AND AS APPROVED BY THE APPROPRIATE PUBLIC WORKS / DEVELOPMENT REVIEW STAFF. ATTACH PLAN FOR REVIEW.

NOTES:

ALL PROPOSED UTILITIES WITHIN R/W'S UTILITY CONDUIT FOR ROAD CROSSINGS SHALL BE INSTALLED PRIOR TO PAVING. NO STREETS OR ROADS UNDER THE TWO (2) YEAR WARRANTY WILL BE ALLOWED TO BE OPEN-CUT, OR JACK-AND-BORED, UNLESS SPECIFICALLY APPROVED BY THE COUNTY ENGINEER. TO ACCOMPLISH THIS REQUIREMENT, COMMON TRENCHING IS REQUIRED WHENEVER POSSIBLE. IF COMMON TRENCHING IS NOT A FEASIBLE OPTION, THE DEVELOPER SHALL INSTALL CONDUIT FOR THE UTILITY NOT PARTICIPATING IN THE COMMON TRENCHING FOR ALL ROAD CROSSINGS AND THE UTILITY COMPANY WILL BE REQUIRED TO USE THE CONDUIT. THIS SHALL REQUIRE PLANNING BETWEEN THE DEVELOPER AND THE UTILITY. CONTRACTORS SHALL INSTALL EACH UTILITY SERVICE IN THE LOCATION AS SHOWN IN THE COMMON TRENCH DETAIL.

COMMON TRENCH TYPICAL
NOT TO SCALE

LEGEND:

- R/W - RIGHT-OF-WAY LINE
- C - CENTER LINE
- G - GAS MAIN
- P - UNDERGROUND POWER CABLE
- T - TELEPHONE CABLE
- U - UNDERGROUND TELEVISION CABLE
- W - WATER MAIN
- ST - STORM SEWER
- FM - LOW PRESSURE FORCE MAIN

NOTES:

- THIS IS A TYPICAL LOCATION PLAN. SEE CONSTRUCTION PLANS TO DETERMINE WHICH SIDE OF THE R/W ACTUALLY RECEIVES UTILITIES. SOME UTILITIES WILL ONLY BE ON ONE SIDE (I.E. WATER & FORCE MAIN).
- MINIMUM COVER ON ALL UTILITIES SHALL BE 30 INCHES.
- ALL RIGHTS-OF-WAY & UTILITY EASEMENTS SHALL BE ROUGH GRADED PRIOR TO COMMON TRENCH OR PLACING ANY UNDERGROUND UTILITIES.
- ELECTRIC/PHONE/CABLE/GAS STRUCTURES INSTALLED WITHIN DRAINAGE ACCESS EASEMENTS SHALL BE LOCATED ALONG THE BOUNDARY OF THE EASEMENT TO MAXIMIZE CLEAR ACCESS FOR MAINTENANCE EQUIPMENT.

STANDARD ROLL OVER CURB AND GUTTER

CURB TRANSITION DETAIL

TYPE "F" D.O.T. CURB

STANDARD VERTICAL CURB

STANDARD LAYBACK CURB AND GUTTER

RIBBON CURB

VALLEY GUTTER DETAIL

CURB ENDING TAPER DETAIL

NOTES:

- WHEN SLOPES FROM CURBS TO PROPERTY LINES ARE 3 TO 1 OR GREATER THEY ARE TO BE SLOPED AND PINNED WHEN THE SLOPE IS LESS THAN 3 TO 1 THEY ARE TO BE GRASS AND MULCHED.
- RECYCLED CONCRETE IS NOT ACCEPTABLE AS BASE MATERIAL.

CURBING NOTE: ALL CONCRETE CURBING SHALL BE 3000 PSI.

TYPICAL CONSTRUCTION SEQUENCE FOR SILT-SAVER FRAME & FILTER ASSEMBLY

- EXCAVATE APPROXIMATELY 4" TO 6" BELOW THE TOP OF THE INLET STRUCTURE.
- PLACE THE FRAME ONTO THE INLET STRUCTURE, ENSURE THE FRAME COVERS STRUCTURE COMPLETELY.
- PLACE THE FILTER OVER THE FRAME.
- FILL THE FILTER POCKETS WITH SOIL #57 GRAVEL OR EQUIVALENT. THE FILTER POCKETS SHOULD BE COMPLETELY FILLED TO ENSURE A GOOD SEAL BETWEEN THE GROUND AND THE INLET STRUCTURE.
- BACKFILL AROUND THE FRAME AND FILTER ASSEMBLY IS NOT REQUIRED TO COMPLETE INSTALLATION, HOWEVER BACKFILLING MAY BE NECESSARY TO COMPLETE EXCAVATION REQUIREMENTS FOR THE SITE.

MAINTENANCE REQUIREMENTS FOR SILT-SAVER FRAME AND FILTER ASSEMBLY

- MAINTENANCE IS REQUIRED WHEN ERODED SOILS REACH A POINT OF 50% OF THE TOTAL HEIGHT OF THE FRAME OR APPROXIMATELY 7 TO 9 INCHES OF THE GRY FILTER MATERIAL IS SHOWING.
- REMOVE THE IMPACTED MATERIAL BY HAND OR MACHINE METHOD, PAYING CLOSE ATTENTION NOT TO DAMAGE THE FRAME OR FILTER.
- BRUSH, SWEEP OR WASH FILTER AND INSPECT FOR ANY CUTS AND/OR ABRASIONS, REPLACE FILTER AS NECESSARY. INSPECT FRAME FOR ANY STRESS OR DAMAGE, REPLACE AS NECESSARY.
- REFILL FILTER POCKETS, BACKFILL AS REQUIRED BY JOBSITE CONDITIONS.

SILT-SAVER FRAME & FILTER ASSEMBLY
N.T.S.

NON-WOVEN FILTER COVER MEETS GA. D.O.T. STD. (SEC. 8B1.05)

1/4" MIN. THICK HIGH DENSITY POLYETHYLENE FRAME

BASE OF FRAME SIZED TO COVER INLET TOP

SILT-SAVER, INC.
1401 BUSINESS CENTER DRIVE
CONYERS, GA. 30094
(770) 388-7818
OR
1-888-382-7458
OR
WWW.SILTSAVER.COM
OR APPROVED EQUAL BY ENGINEER

POND EMERGENCY OVERFLOW DETAIL

Oil Skimmer

POND SKIMMER DETAIL

DISCHARGE STRUCTURE DETAIL

STORMWATER CURB INLET DETAIL

NOTES:

- THIS IS A TYPICAL LOCATION PLAN. SEE CONSTRUCTION PLANS TO DETERMINE WHICH SIDE OF THE R/W ACTUALLY RECEIVES UTILITIES. SOME UTILITIES WILL ONLY BE ON ONE SIDE (I.E. WATER & FORCE MAIN).
- MINIMUM COVER ON ALL UTILITIES SHALL BE 30 INCHES.
- ALL RIGHTS-OF-WAY & UTILITY EASEMENTS SHALL BE ROUGH GRADED PRIOR TO COMMON TRENCH OR PLACING ANY UNDERGROUND UTILITIES.
- ELECTRIC/PHONE/CABLE/GAS STRUCTURES INSTALLED WITHIN DRAINAGE ACCESS EASEMENTS SHALL BE LOCATED ALONG THE BOUNDARY OF THE EASEMENT TO MAXIMIZE CLEAR ACCESS FOR MAINTENANCE EQUIPMENT.

***SEE PLAN FOR DIMENSIONS & ELEVATIONS (DISCHARGE STRUCTURES TO INCLUDE POND SKIMMER)**

TYPICAL PUBLIC STREET CROSS SECTION

NOTES:

- WHEN SLOPES FROM CURBS TO PROPERTY LINES ARE 3 TO 1 OR GREATER THEY ARE TO BE SLOPED AND PINNED WHEN THE SLOPE IS LESS THAN 3 TO 1 THEY ARE TO BE GRASS AND MULCHED.
- RECYCLED CONCRETE IS NOT ACCEPTABLE AS BASE MATERIAL.

CURBING NOTE: ALL CONCRETE CURBING SHALL BE 3000 PSI.

TYPICAL CONSTRUCTION SEQUENCE FOR SILT-SAVER FRAME & FILTER ASSEMBLY

- EXCAVATE APPROXIMATELY 4" TO 6" BELOW THE TOP OF THE INLET STRUCTURE.
- PLACE THE FRAME ONTO THE INLET STRUCTURE, ENSURE THE FRAME COVERS STRUCTURE COMPLETELY.
- PLACE THE FILTER OVER THE FRAME.
- FILL THE FILTER POCKETS WITH SOIL #57 GRAVEL OR EQUIVALENT. THE FILTER POCKETS SHOULD BE COMPLETELY FILLED TO ENSURE A GOOD SEAL BETWEEN THE GROUND AND THE INLET STRUCTURE.
- BACKFILL AROUND THE FRAME AND FILTER ASSEMBLY IS NOT REQUIRED TO COMPLETE INSTALLATION, HOWEVER BACKFILLING MAY BE NECESSARY TO COMPLETE EXCAVATION REQUIREMENTS FOR THE SITE.

MAINTENANCE REQUIREMENTS FOR SILT-SAVER FRAME AND FILTER ASSEMBLY

- MAINTENANCE IS REQUIRED WHEN ERODED SOILS REACH A POINT OF 50% OF THE TOTAL HEIGHT OF THE FRAME OR APPROXIMATELY 7 TO 9 INCHES OF THE GRY FILTER MATERIAL IS SHOWING.
- REMOVE THE IMPACTED MATERIAL BY HAND OR MACHINE METHOD, PAYING CLOSE ATTENTION NOT TO DAMAGE THE FRAME OR FILTER.
- BRUSH, SWEEP OR WASH FILTER AND INSPECT FOR ANY CUTS AND/OR ABRASIONS, REPLACE FILTER AS NECESSARY. INSPECT FRAME FOR ANY STRESS OR DAMAGE, REPLACE AS NECESSARY.
- REFILL FILTER POCKETS, BACKFILL AS REQUIRED BY JOBSITE CONDITIONS.

SILT-SAVER FRAME & FILTER ASSEMBLY
N.T.S.

NON-WOVEN FILTER COVER MEETS GA. D.O.T. STD. (SEC. 8B1.05)

1/4" MIN. THICK HIGH DENSITY POLYETHYLENE FRAME

BASE OF FRAME SIZED TO COVER INLET TOP

SILT-SAVER, INC.
1401 BUSINESS CENTER DRIVE
CONYERS, GA. 30094
(770) 388-7818
OR
1-888-382-7458
OR
WWW.SILTSAVER.COM
OR APPROVED EQUAL BY ENGINEER

CONSTRUCTION ENTRANCE/EXIT PERSPECTIVE VIEW

CONSTRUCTION ENTRANCE/EXIT PLAN VIEW

CONSTRUCTION ENTRANCE/EXIT SECTION VIEW

MAILBOX KIOSK DETAIL

NOTES:

- ALL SIDEWALKS CONSTRUCTED IN ESCAMBIA COUNTY SHALL MEET THE FOLLOWING REQUIREMENTS:
- A. THE CONCRETE SHALL HAVE A MINIMUM STRENGTH OF THREE THOUSAND (3000) POUNDS PER SQUARE INCH (PSI).
- B. THE MINIMUM WIDTH OF SIDEWALKS SHALL NOT BE LESS THAN FIVE (5) FEET.
- C. THE SIDEWALK SHALL NOT BE LESS THAN FOUR (4) INCHES THICK. AT DRIVEWAYS A MINIMUM THICKNESS OF SIX (6) INCHES OR FOUR (4) INCHES WITH WOVEN WIRE FABRIC REINFORCEMENT SHALL BE REQUIRED.
- D. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MAXIMUM 2.0% CROSS SLOPE.
- E. ONE-HALF (1/2) INCH EXPANSION JOINTS SHALL BE AT THIRTY (30) FOOT INTERVALS OR LESS, WITH CONTROL JOINTS AT TEN (10) FOOT INTERVALS.
- F. LOCATION OF PROPOSED IMPROVEMENTS SUCH AS SIDEWALKS, BIKEWAYS, OR BRIDLE PATHS SHALL BE INCLUDED ON CONSTRUCTION PLANS.

ALL SIDEWALKS TO HAVE CROSS-SLOPES NO GREATER THAN 2.00%

CONCRETE PIPE NOTES:

- ALL STORM PIPE JOINTS SHALL BE FULLY WRAPPED WITH WOVEN FILTER CLOTH.
- BACKFILL IN 6" LIFTS.
- DENSITY REQUIRED EVERY 2 FEET VERTICAL TO BOTTOM OF SUBGRADE.
- 5% PER PASITO T180 MINIMUM.
- PIPE CONNECTIONS TO STRUCTURES TO INCLUDE A CONCRETE COLLAR.

SECTION "A-A" TYPE "A-A" WITH CENTER BOX

SECTION "A-A" TYPE "A-A" WITH END BOX

SECTION "A-A" TYPE "A-A" WITH FULL BOX

SECTION "A-A" TYPE "A-A" WITH FULL BOX

MITERED END SECTION
SINGLE ROUND CONCRETE PIPE (ELLIPTICAL PIPE SIMILAR)

NOTES:

- STEPS SHALL BE PLACED AT VERTICAL INTERVALS OF 16" MAXIMUM IN ALL INLETS HAVING A DEPTH OF MORE THAN 4". STEPS SHALL BEGIN AT AN ELEVATION OF 6" ABOVE THE TOP OF THE OUTLET PIPE. STEPS SHALL BE SET LEVEL AND IN VERTICAL ALIGNMENT AND NOT NEARER THAN 3" TO A JOINT.

STANDARD COUNTY INLET FRAME & COVER

NOTES:

- NEIGH FOUNDRY CO FRAME & COVER No. W-8500 WITH LOCKING DEVICE TYPE "H" - CAM LUG-CONCRETE, OR APPROVED EQUAL.
- BRONZE OR NON-CORROSIIVE BOLT - 3/8" GALV. DIAWN

SIDEWALK DETAIL

CONSTRUCTION ENTRANCE/EXIT PERSPECTIVE VIEW

CONSTRUCTION ENTRANCE/EXIT PLAN VIEW

CONSTRUCTION ENTRANCE/EXIT SECTION VIEW

MAILBOX KIOSK DETAIL

NOTES:

- ALL SIDEWALKS CONSTRUCTED IN ESCAMBIA COUNTY SHALL MEET THE FOLLOWING REQUIREMENTS:
- A. THE CONCRETE SHALL HAVE A MINIMUM STRENGTH OF THREE THOUSAND (3000) POUNDS PER SQUARE INCH (PSI).
- B. THE MINIMUM WIDTH OF SIDEWALKS SHALL NOT BE LESS THAN FIVE (5) FEET.
- C. THE SIDEWALK SHALL NOT BE LESS THAN FOUR (4) INCHES THICK. AT DRIVEWAYS A MINIMUM THICKNESS OF SIX (6) INCHES OR FOUR (4) INCHES WITH WOVEN WIRE FABRIC REINFORCEMENT SHALL BE REQUIRED.
- D. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MAXIMUM 2.0% CROSS SLOPE.
- E. ONE-HALF (1/2) INCH EXPANSION JOINTS SHALL BE AT THIRTY (30) FOOT INTERVALS OR LESS, WITH CONTROL JOINTS AT TEN (10) FOOT INTERVALS.
- F. LOCATION OF PROPOSED IMPROVEMENTS SUCH AS SIDEWALKS, BIKEWAYS, OR BRIDLE PATHS SHALL BE INCLUDED ON CONSTRUCTION PLANS.

ALL SIDEWALKS TO HAVE CROSS-SLOPES NO GREATER THAN 2.00%

DIMENSIONS AND QUANTITIES

D	X	A	B	C	E	F	G	Pipe	
								M	N
18"	2'-2"	19.2'	2.18'	4.10'	2.08'	8'	1.22'	5.63'	1.19'
24"	2'-10"	19.7'	2.74'	4.71'	2.58'	8'	1.41'	4.92'	1.21'
30"	3'-5"	2.05'	3.35'	5.10'	3.08'	8'	1.59'	4.25'	1.23'
36"	3'-11"	2.24'	3.95'	5.55'	3.58'	8'	1.77'	3.58'	1.25'
42"	4'-7"	2.43'	4.55'	6.00'	4.08'	8'	1.95'	2.92'	1.27'
48"	5'-3"	2.62'	5.15'	6.45'	4.58'	8'	2.13'	2.25'	1.29'
54"	5'-9"	2.81'	5.75'	6.90'	5.08'	8'	2.31'	1.58'	1.31'
60"	6'-5"	2.99'	6.35'	7.35'	5.58'	8'	2.49'	0.92'	1.33'

TOP VIEW - SINGLE PIPE

SECTION "A-A" TYPE "A-A" WITH CENTER BOX

SECTION "A-A" TYPE "A-A" WITH END BOX

SECTION "A-A" TYPE "A-A" WITH FULL BOX

MITERED END SECTION
SINGLE ROUND CONCRETE PIPE (ELLIPTICAL PIPE SIMILAR)

NOTES:

- Slope: 4:1 Miter: To | Pipe For Pipes 18" And Smaller. 2:1 For Pipes 24" And Larger.
- Slope: 4:1 Miter: To | Pipe For Pipes 18" And Smaller. 2:1 Miter: To | Pipe For Pipes 24" And Larger.
- 1:1 For Pipes 24" And Larger.

APPR. DATE
01/18/22 CAG

REVISION

NO.	REVISION	DATE
1	BID SET	01/18/22
2	PERMITTING REVISIONS	01/31/22
3		
4		
5		

GECI & ASSOCIATES, INC.
2950 N. 12th Ave. PENSACOLA, FL 32503
Phone (850) 432-2929 - Fax (850) 432-2875
CERTIFICATE OF AUTHORIZATION NUMBER 00005149
E-Mail: gec@geciengineers.com

SCALE: AS SHOWN DESIGNED: CAG DRAWN: KRD CHECKED: SAG DATE: 01/18/22

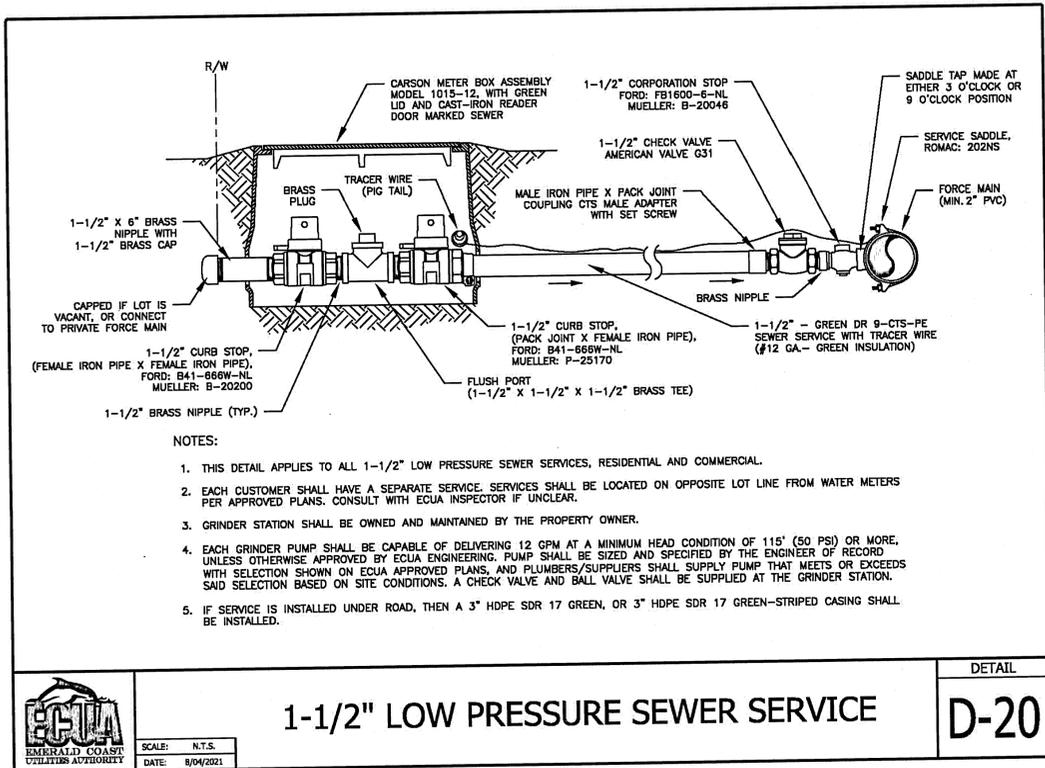
NOT RELEASED FOR CONSTRUCTION

SITENETWORK CONSTRUCTION PLANS FOR

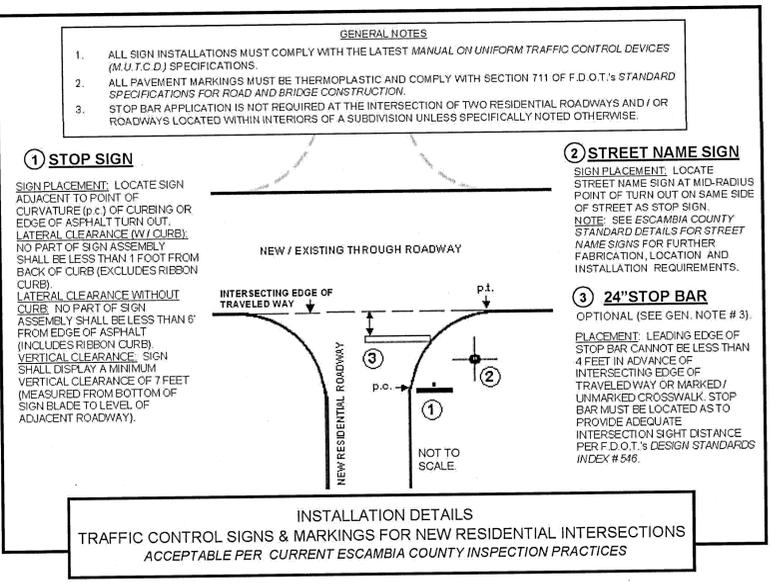
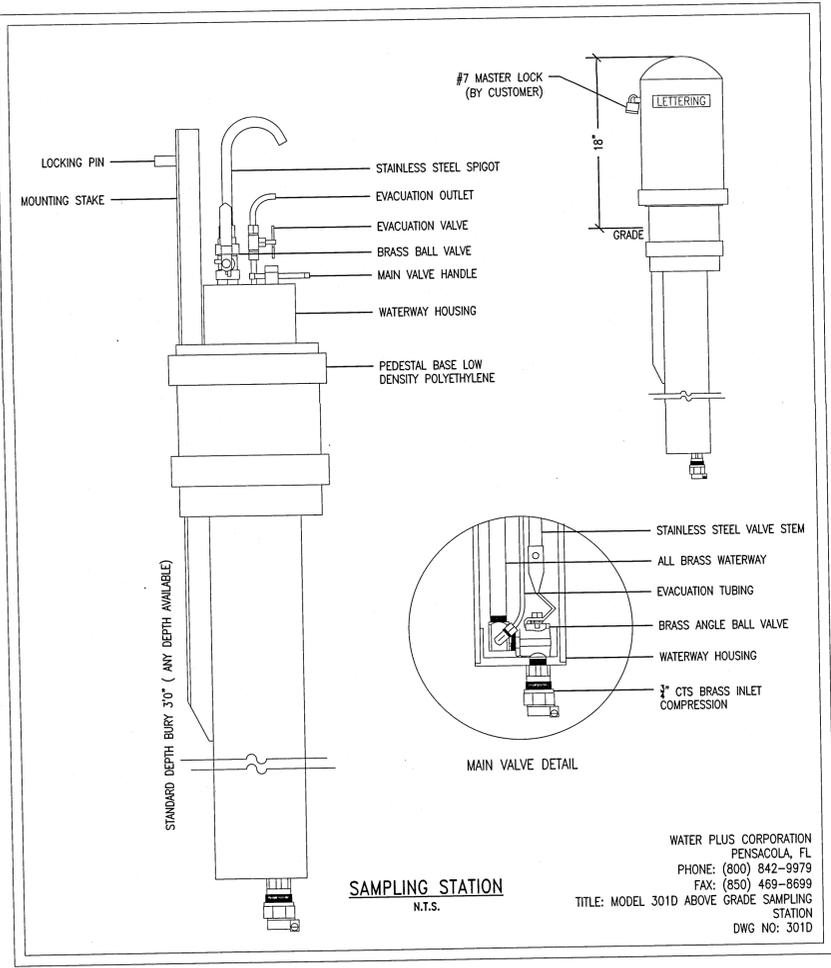
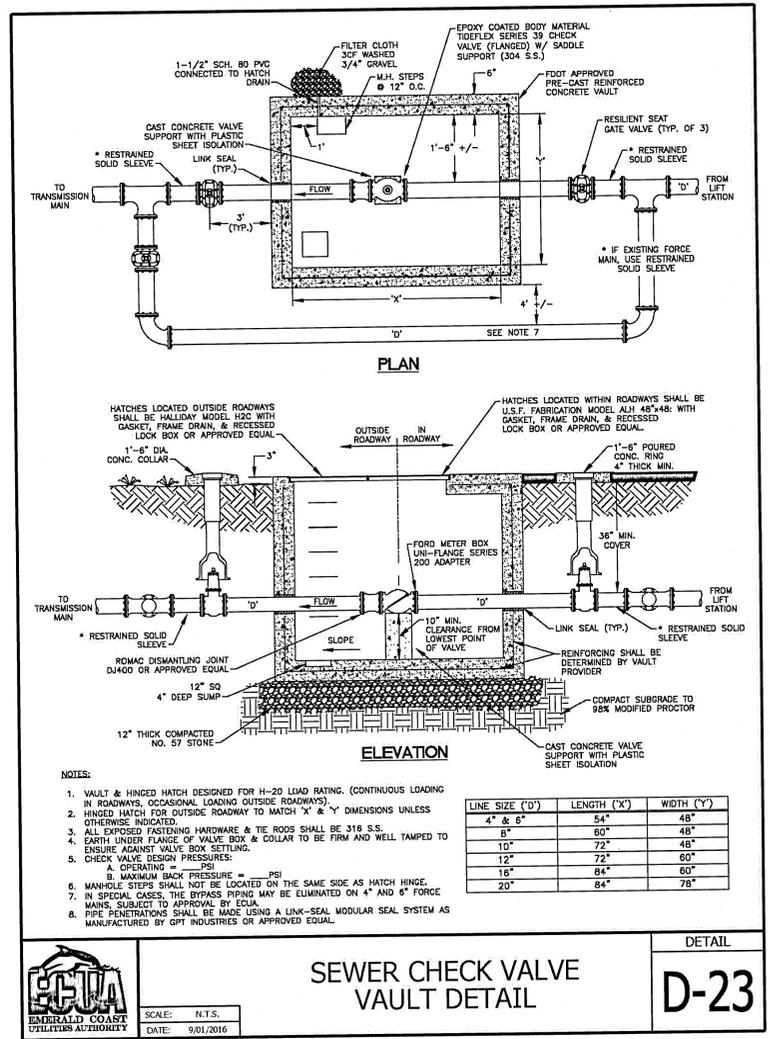
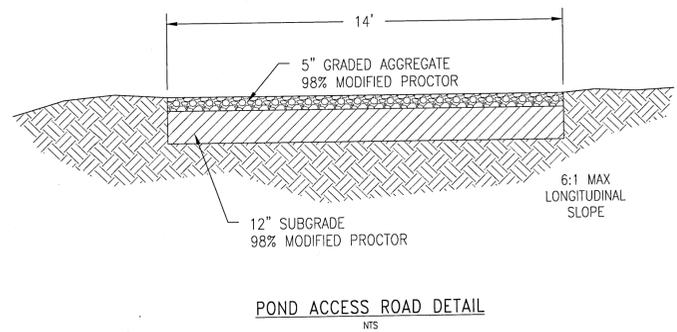
DAVIS RUN
DETAILS

POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS

PROJECT NO. 28806 **SHEET NO.** C500



- NOTES:
1. THIS DETAIL APPLIES TO ALL 1-1/2" LOW PRESSURE SEWER SERVICES, RESIDENTIAL AND COMMERCIAL.
 2. EACH CUSTOMER SHALL HAVE A SEPARATE SERVICE. SERVICES SHALL BE LOCATED ON OPPOSITE LOT LINE FROM WATER METERS PER APPROVED PLANS. CONSULT WITH ECUA INSPECTOR IF UNCLEAR.
 3. GRINDER STATION SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER.
 4. EACH GRINDER PUMP SHALL BE CAPABLE OF DELIVERING 12 GPM AT A MINIMUM HEAD CONDITION OF 115' (50 PSI) OR MORE, UNLESS OTHERWISE APPROVED BY ECUA ENGINEERING. PUMP SHALL BE SIZED AND SPECIFIED BY THE ENGINEER OF RECORD WITH SELECTION SHOWN ON ECUA APPROVED PLANS, AND PLUMBERS/SUPPLIERS SHALL SUPPLY PUMP THAT MEETS OR EXCEEDS SAID SELECTION BASED ON SITE CONDITIONS. A CHECK VALVE AND BALL VALVE SHALL BE SUPPLIED AT THE GRINDER STATION.
 5. IF SERVICE IS INSTALLED UNDER ROAD, THEN A 3" HDPE SDR 17 GREEN, OR 3" HDPE SDR 17 GREEN-STRIPED CASING SHALL BE INSTALLED.



REVISION

NO.	DATE	BY	REVISION
1	01/18/22	CAG	BID SET
2	01/31/22	CAG	PERMITTING REVISIONS
3			
4			
5			

NO. 1 BID SET
NO. 2 PERMITTING REVISIONS
NO. 3
NO. 4
NO. 5

DATE: 01/18/22
CHECKED: SAG
DRAWN: KRD
DESIGNED: CAG

NOT RELEASED FOR CONSTRUCTION

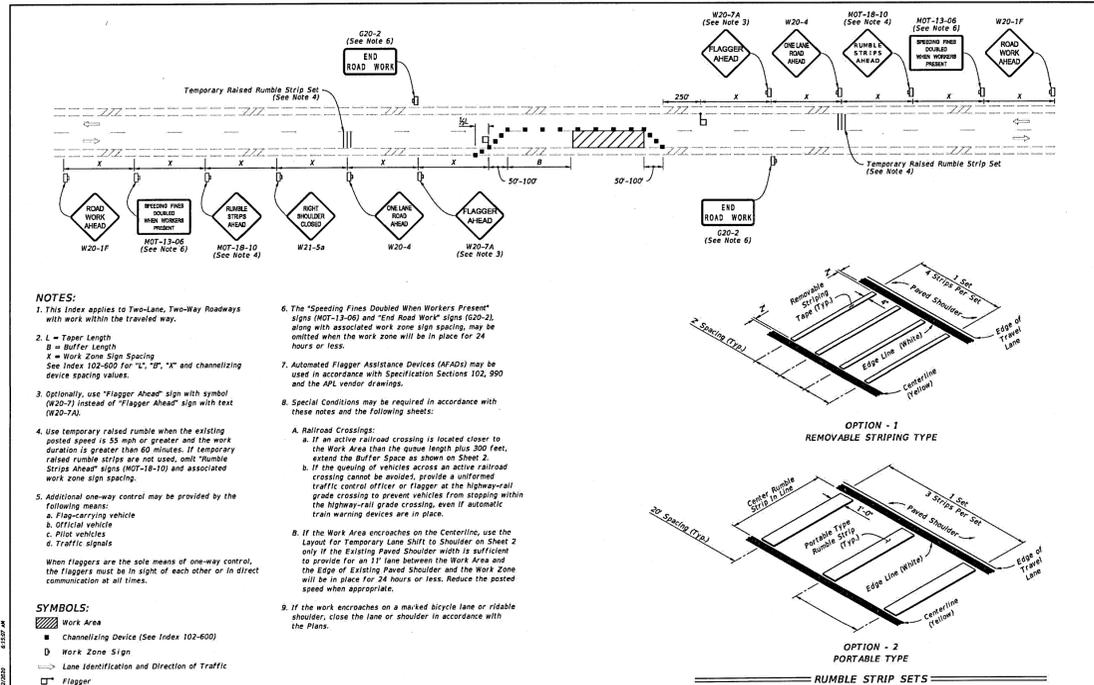
ECUA
EMERALD COAST UTILITIES AUTHORITY

GECI & ASSOCIATES, INC.
ENGINEERS
2950 N. 12th Ave. PENSACOLA, FL 32503
Phone (850) 432-2929 - Fax (850) 452-2875
CERTIFICATE OF AUTHORIZATION NUMBER 00005149
E-Mail: geci@geciengineering.com

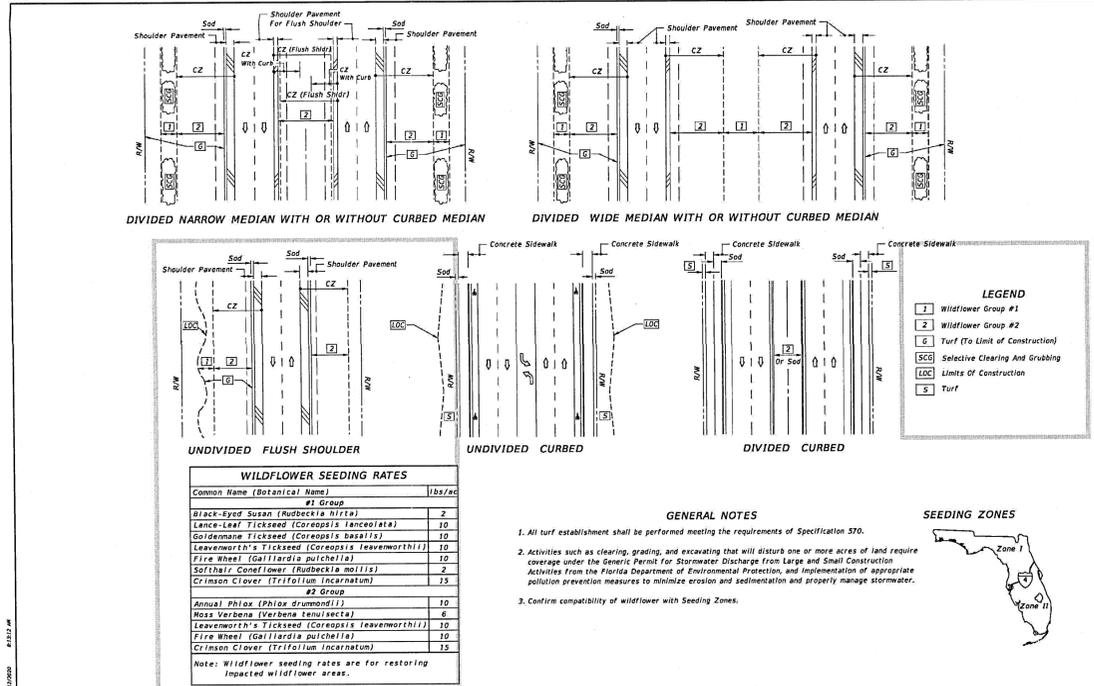
PROJECT NO. 28806 **SHEET NO. C510**

STATION CONSTRUCTION PLANS FOR DAVIS RUN
DETAILS 2
POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS

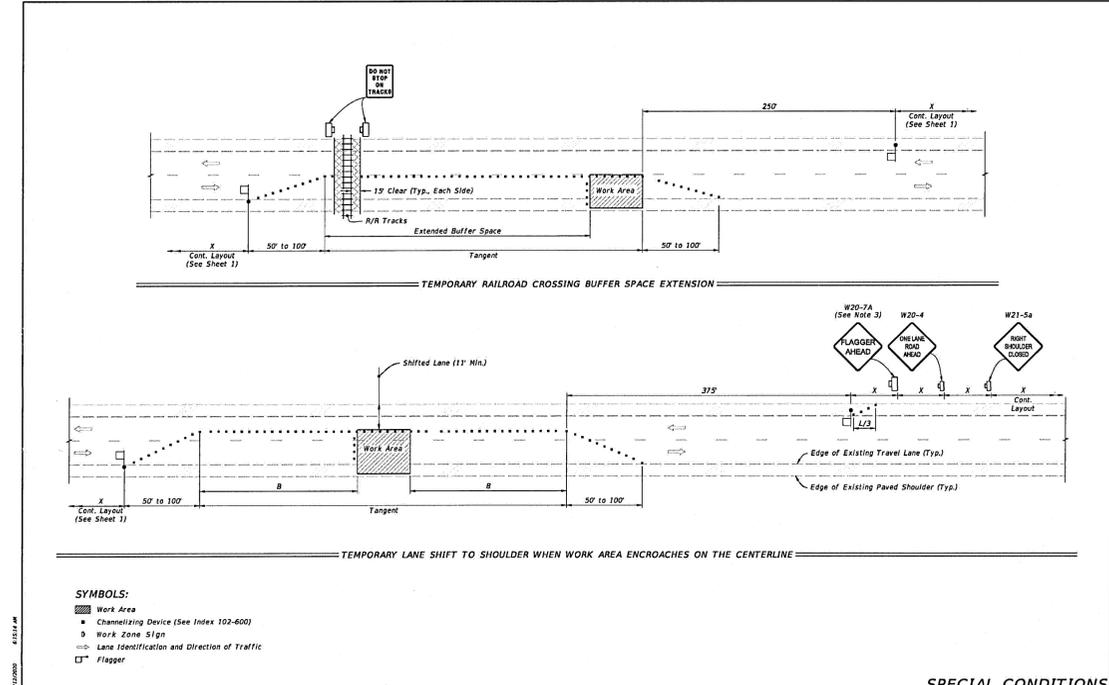
28806 CONSTRUCTION PLANS.DWG_2/21/22_1056



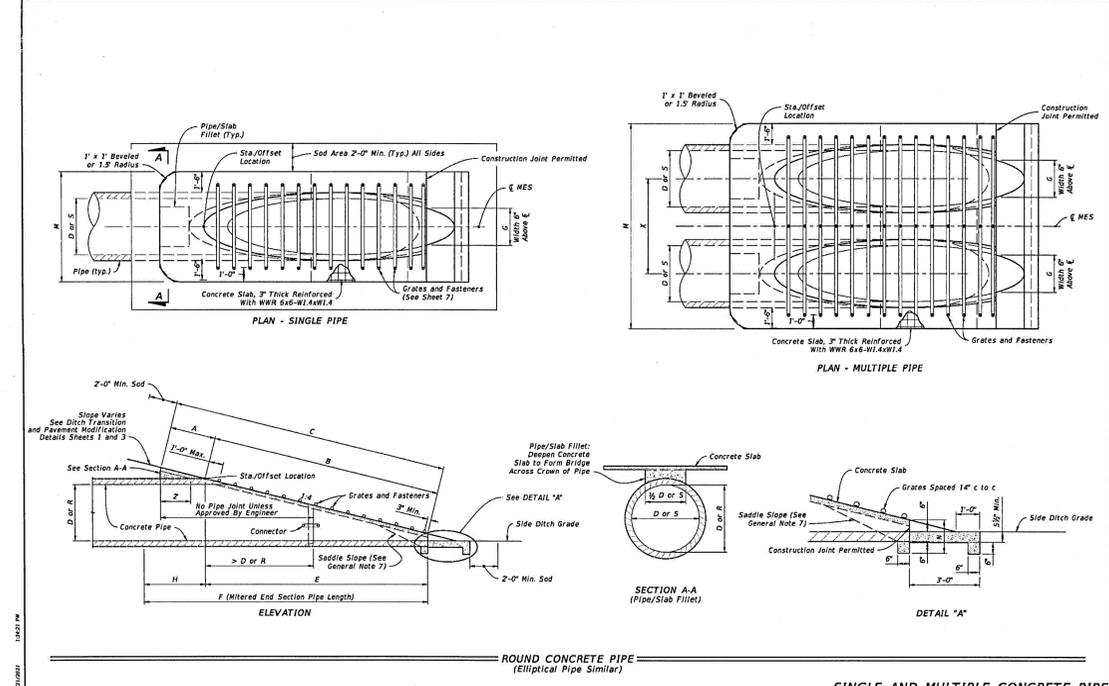
LAST REVISION 11/01/20	DESCRIPTION: FY 2021-22 STANDARD PLANS	INDEX 102-603	SHEET 1 of 2
---------------------------	-------------------------------------------	------------------	-----------------



LAST REVISION 11/01/19	DESCRIPTION: FY 2021-22 STANDARD PLANS	INDEX 570-001	SHEET 1 of 3
---------------------------	-------------------------------------------	------------------	-----------------



LAST REVISION 11/01/20	DESCRIPTION: FY 2021-22 STANDARD PLANS	INDEX 102-603	SHEET 2 of 2
---------------------------	-------------------------------------------	------------------	-----------------



LAST REVISION 11/01/18	DESCRIPTION: FY 2022-23 STANDARD PLANS	INDEX 430-022	SHEET 2 of 7
---------------------------	-------------------------------------------	------------------	-----------------

NO.	REVISION	DATE	APPR.
1	BID SET	01/18/22	CAG
2	PERMITTING REVISIONS	01/31/22	CAG
3			
4			
5			

GECI & ASSOCIATES, INC.
ENGINEERS

2950 N. 12th Ave. PENSACOLA, FL 32503
Phone (850) 432-2929 - Fax (850) 432-2875
E-Mail: geci@geciengineering.com

CERTIFICATE OF AUTHORIZATION NUMBER 00005149

SCALE: AS SHOWN DESIGNED: CAG DRAWN: KRJ CHECKED: SAG DATE: 01/18/22

NOT RELEASED FOR CONSTRUCTION



DAVIS RUN
FOOT DETAILS

POTABLE WATER, SANITARY SEWER, PAVING & STORM DRAINAGE PLANS

PROJECT NO. 28806 SHEET NO. C520