

# CONSTRUCTION PLANS FOR SUTTON PLACE SUBDIVISION

A 38 LOT PUBLIC RESIDENTIAL RE-PLAT  
OF A PORTION OF LOT 13, FIELD NINE SUBDIVISION,  
AS RECORDED IN PLAT BOOK 4 AT PAGE 64

ALSO BEING A PORTION OF SECTION 28  
TOWNSHIP-1-NORTH, RANGE-31-WEST,  
ESCAMBIA COUNTY, FLORIDA  
ZONED: MDR FLU: MU-S

OCTOBER 2021

OWNER/DEVELOPER:  
SUTTON PLACE DEVELOPERS INC  
RONALD JOHNSON, MANAGER  
1050 URBAN DRIVE  
CANTONMENT, FL 32533  
P: (850)-982-9657

SURVEYOR:  
MERRILL PARKER SHAW, INC.  
4928 N. DAVIS HWY  
PENSACOLA, FL 32503  
P: (850)-478-4923  
F: (850)-478-4924

ENGINEER:  
HAMMOND ENGINEERING, INC.  
3802 NORTH "S" STREET  
PENSACOLA, FL 32505  
P: (850) 434-2603  
F: (850) 434-4650

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- EXISTING UTILITIES HAVE BEEN SHOWN ON PLANS FROM BEST AVAILABLE INFORMATION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION & PROTECTING ALL UTILITIES INCLUDING THOSE NOT SHOWN.
- UTILITIES REQUIRING RELOCATION SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING UTILITY RELOCATION.
- GULF POWER CO. MANHOLES AND VAULTS, SOUTHERN BELL MANHOLES TO BE ADJUSTED BY THE APPROPRIATE UTILITY, AND THIS WORK SHALL BE COORDINATED BY THE CONTRACTOR.
- FLORIDA STATE STATUTE 553.851 REQUIRES THAT ALL EXCAVATORS NOTIFY GAS COMPANIES OF THEIR INTENTION TO PERFORM ANY EXCAVATION AT LEAST FORTY-EIGHT (48) HOURS (EXCLUDING SAT.,SUN. & HOLIDAYS) PRIOR TO BEGINNING WORK.

- ALL DISTURBED AREAS WHICH ARE NOT PAVED ARE TO BE STABILIZED WITH SEEDING, FERTILIZER AND MULCH, HYDROSEED AND/OR SOD. PONDS AND AND SWALES TOPS AND SIDES SHALL BE SODDED. SEEDED AREAS SHALL INCLUDE A BAHIA MIX TO ENSURE GROWTH DURING WINTER MONTHS. SEED IN ACCORDANCE WITH FDOT SECTION 570 AND STANDARD INDEX 105.
- SEDIMENT SHALL BE RETAINED ON THE SITE OF DEVELOPMENT.
- CONTRACTOR SHALL CLEAN OUT ACCUMULATED SILT, AND STABILIZE POND(S) AT END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED.
- EROSION SHALL BE CONTROLLED BY THE USE OF SYNTHETIC (IN STATE R/W) HAY BALE BARRIER/SILT FENCE AS SHOWN ON PLANS AND SHALL BE SETUP PRIOR TO COMMENCING CONSTRUCTION. THE EROSION CONTROL BARRIER SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR. AFTER PLACEMENT OF THE EROSION CONTROL BARRIER, THE RETENTION AREA IS TO BE CONSTRUCTED. UPON COMPLETION OF THE PROJECT, THE RETENTION AREA SHALL BE CLEANED OF SILT, STABILIZATION OF ALL DISTURBED AREAS SHALL BE ACCOMPLISHED, AND THE RETENTION AREA IS TO BE RECONFIGURED TO DESIGN CROSS-SECTION, AND GRASSED.

## GENERAL NOTES

- ALL WORK SHALL COMPLY WITH SPECIFICATIONS AND APPLICABLE STANDARDS ESTABLISHED BY ESCAMBIA COUNTY, ECUA AND FDEP. WHERE THESE SPECIFICATIONS AND COUNTY STANDARDS DEViate, THE MORE STRINGENT REQUIREMENTS SHALL PREVAIL UNLESS APPROVED BY THE ENGINEER.
- THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF THE UTILITY SUBCONTRACTORS TO INSURE THAT ALL UTILITY INSTALLATIONS PROCEED IN A TIMELY MANNER AND TO PREVENT CONFLICTS IN THE INSTALLATION OF THE WATER, SEWER, GAS, ELECTRICAL POWER, CABLE, AND TELEPHONE LINES.
- ALL CONDITIONS AND STIPULATIONS OF THE CONSTRUCTION PERMITS AND APPROVALS ISSUED BY ESCAMBIA COUNTY, THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND ECUA SHALL BE COMPLIED IN EVERY WAY.

## UTILITY WORK

- ALL WORK SHALL COMPLY WITH APPLICABLE STANDARDS AND CODES ESTABLISHED BY THE ECUA, ESCAMBIA COUNTY AND THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND WRITTEN SPECIFICATIONS.
- THE UTILITY CONTRACTOR SHALL MAKE CONNECTIONS TO THE SANITARY SEWER AND STORM DRAINAGE SYSTEM AS SHOWN AND SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL UTILITY LINES PRIOR TO BEGINNING WORK. THE UTILITY CONTRACTOR SHALL INCLUDE THE COST OF PROTECTION AND/OR RELOCATION OF OTHER UTILITIES IN HIS BID AND SHALL COORDINATE HIS WORK WITH OTHER UTILITY SUB-CONTRACTORS TO PREVENT CONFLICTS WITH OTHER UTILITY LINES.
- "AS-BUILT" DRAWINGS SHOWING WATERLINES AND FORCEMAINS, FITTINGS, VALVES, METERS, SERVICE LATERAL TAPS AND STUB-OUTS, MANHOLES, FIRE HYDRANTS, ETC. LOCATIONS WITH MEASUREMENTS IN ACCORDANCE WITH THE LATEST ECUA ENGINEERING MANUAL (SECTION 4000) SHALL BE FURNISHED TO THE ENGINEER PRIOR TO ACCEPTANCE.
- ECUA PERMIT SHALL BE REQUIRED PRIOR TO CP APPROVAL. THE USE OF THESE LOW PRESSURE SYSTEMS HAS TO BE APPROVED BY THE COUNTY ENGINEER.

1. THE PROJECT ENGINEER (ENGINEER OF RECORD) SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION, AND PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION AND THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER.

2. THE DEVELOPER/CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT CONTROL MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION.

3. RETENTION/DETENTION AREAS SHALL BE SUBSTANTIALLY COMPLETE PRIOR TO ANY CONSTRUCTION ACTIVITIES THAT MAY INCREASE STORMWATER RUNOFF RATES. THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION AND TAKE ADEQUATE MEASURES TO PREVENT THE EXCAVATED POND FROM BLINDING DUE TO SEDIMENTS.

4. DEVELOPER/CONTRACTOR/HOME OWNERS ASSOCIATION SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND AT THE END OF THE 2 YEAR WARRANTY PERIOD.

5. CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, TOPO OF POND(S), OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADING ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO REQUESTING FINAL INSPECTION.

6. THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS AT (850) 595-3434. AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.

7. CONTRACTOR TO NOTIFY SUNSHINE ONE UTILITIES TWO FULL BUSINESS DAYS IN ADVANCE (EXCLUDING WEEKENDS AND HOLIDAYS) PRIOR TO DIGGING WITHIN R/W; 1-800-432-4770.

8. ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO REQUESTING A FINAL INSPECTION.

9. NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN COUNTY ACCEPTANCE OF IMPROVEMENTS.

10. TO COMPLY WITH NPDES/NWFWMD REQUIRMENTS, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS; INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES/NWFWMD PERMIT APPLICANT FOR PROPER REPORTING TO FDEP.

11. CONTRACTOR IS REQUIRED TO VISIT THE SITE AND FAMILIARIZE HIM/HERSELF WITH THE PROJECT PRIOR TO BIDDING.

12. CONTRACTOR BIDS SHOULD INCLUDE CLEARING AND GRUBBING OF THE PROPOSED R/W (AS WELL AS ANY OFFSITE AREAS NECESSARY FOR CONSTRUCTION OF PROPOSED IMPROVEMENTS) INCLUDING REMOVAL OF NON-HERITAGE TREES.

13. THE CONTRACTOR SHALL NOTIFY THE COUNTY DESIGNEE AND/OR COUNTY INSPECTOR 48 HOURS PRIOR TO INITIATION OF CONSTRUCTION.

## ECUA Engineering Manual Reference Note\*

\*Notes shall be marked in the upper right corner of the sheet.  
\*Applicable only to ECUA adjustments to be constructed in urban R/W or utility easement. Not to be applied to private water/sewer facilities on private property (see Building Code).

### A. ECUA Engineering Manual Incorporated by Reference

The ECUA Engineering Manual, dated December 18, 2014, along with Update # 1 dated September 1, 2015 (hereinafter "Manual"), located at [www.ecua.org](http://www.ecua.org), is hereby incorporated by reference into this Project's office contract documents as if fully set forth therein. It is the Contractor's responsibility to be knowledgeable of the Manual's contents and to construct the Project in accordance with the Manual. The Contractor shall provide its employees access to the Manual at all times, via Project site or office, via digital or paper format. In the event of a conflict between the Manual and Plans, Contractor shall consult Engineer of Record for proper resolution.

### B. Additional Documents (to be completed by the Engineer of Record)

Does this Project have additional technical specifications or construction details that supplement and/or supersede the Manual listed above? **X** YES **NO** . If yes, Contractor shall construct Project in accordance with said documents as listed and located below:

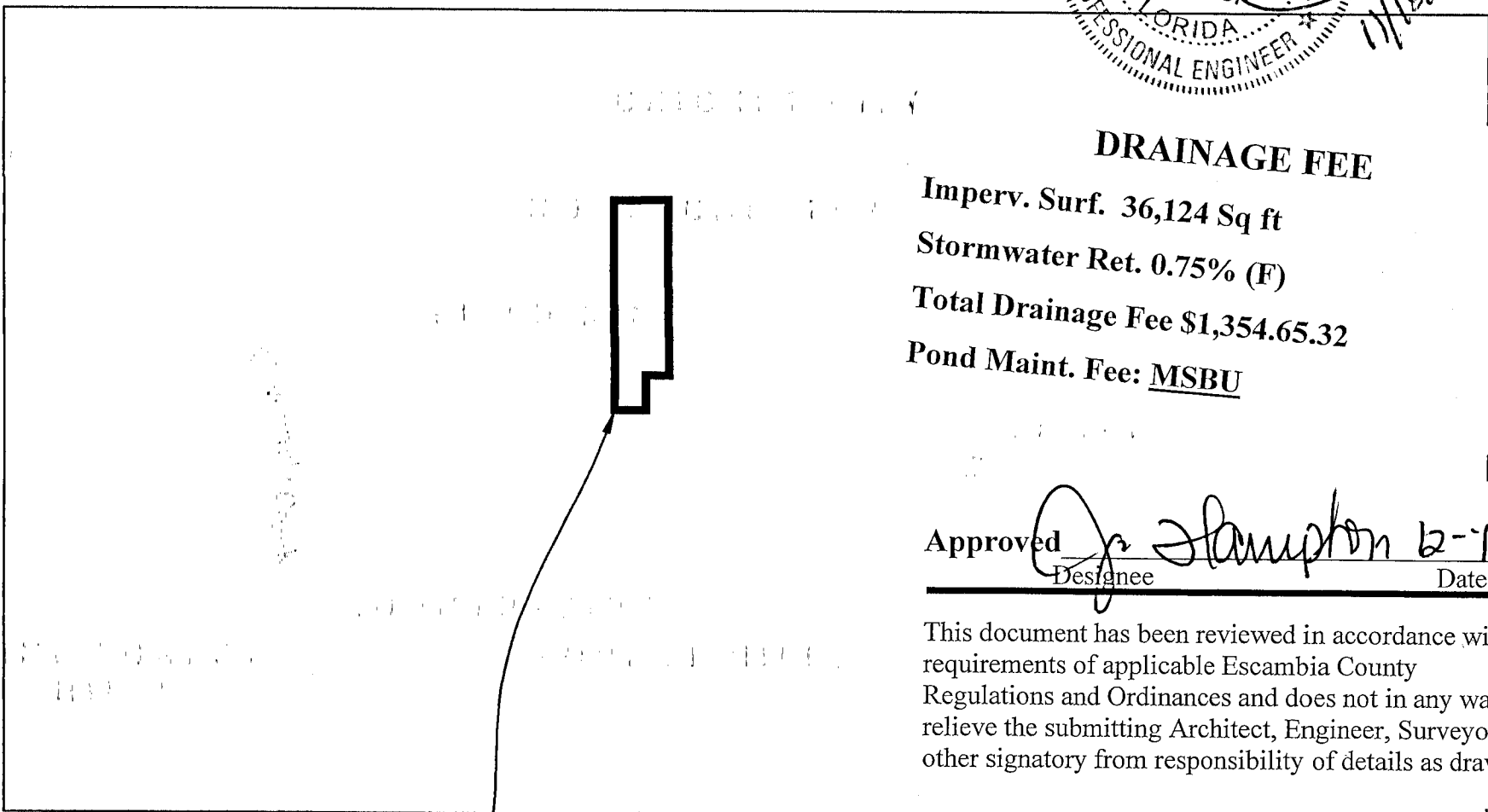
Document Name	Document Type	Location
	Specification	Detail
D-20 1-1/2" LOW PRESSURE SEWER SERVICE	X	X

\*Project Manuals used only with ECUA CIP Projects

### C. Engineer of Record Responsibilities

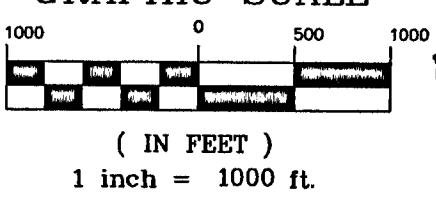
The Engineers of Record (EORs) that have affixed their seals and signatures on these plans warrant the portions of the plans have been designed in accordance with the Manual (unless otherwise directed by the ECUA Project Engineer). The EORs shall be knowledgeable of the Manual's contents and shall assume responsibility for its use on this Project.

- CONTRACTOR SHALL NOTIFY THE ECUA, FDOT, NWFWMD, THE ESCAMBIA COUNTY ENGINEER AND PROJECT ENGINEER OF RECORD AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF THIS PROJECT.
- PROPERTY OBSTRUCTIONS WHICH ARE TO REMAIN IN PLACE, SUCH AS BUILDINGS, SEWER, STORM DRAINS, WATER OR GAS PIPES, ELECTRICAL CONDUITS, POLES, WALLS, POSTS, ETC., ARE TO BE CAREFULLY PROTECTED AND ARE NOT TO BE DISPLACED, UNLESS NOTED.
- THE CONTRACTOR SHALL NOTIFY THE SUPERINTENDENTS OF THE WATER, GAS, SEWER, CABLE TV, TELEPHONE AND POWER COMPANIES 10 DAYS IN ADVANCE, THAT HE INTENDS TO START WORK IN A SPECIFIC AREA. THE OWNER DISCLAIMS ANY RESPONSIBILITY FOR THE SUPPORT AND PROTECTION OF SEWERS, DRAINS, WATER PIPES, GAS PIPES, CONDUITS OF ANY KIND, UTILITIES OR OTHER STRUCTURES OWNED BY THE CITY, COUNTY, STATE OR BY PRIVATE OR PUBLIC UTILITIES LEGALLY OCCUPYING ANY STREET, ALLEY, PUBLIC PLACE OR RIGHT-OF-WAY.
- LOCATION OF EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE ONLY AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION BEFORE CONSTRUCTION. FAILURE OF THE PLANS TO SHOW THE EXISTENCE OF ANY UNDERGROUND UTILITIES, STRUCTURES, ETC., SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY OF LOCATING, PRESERVING AND PROTECTING SAID UTILITY OR STRUCTURES.
- CONTRACTOR SHALL DISPOSE OF BY HAULING AWAY ALL EXCESS MATERIAL.
- CONTROL OF SEDIMENTATION AND EROSION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- P.V.C. PIPE FOR WATER TO BE AWWA C 900, DR 25.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SEEDING AND MULCHING AND/OR SODDING OF STREET AND ROAD SHOULDER AREAS IN ACCORDANCE WITH REQUIREMENTS OF FDOT SPECIFICATIONS AND APPLICABLE COUNTY STANDARDS.
- WATER SUPPLY FACILITIES, INCLUDING MAINS, SHALL BE INSTALLED, CLEANED, DISINFECTED AND BACTERIOLOGICALLY CLEARED FOR SERVICE IN ACCORDANCE WITH THE LATEST APPLICABLE AWWA STANDARDS AND COORDINATED WITH ECUA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR AND COMPLY WITH ANY TESTING REQUIRED BY THE LOCAL GOVERNING AGENCY IN ADDITION TO THE TESTING REQUIREMENTS OUTLINED IN THE SPECIFICATIONS.
- GRADING AROUND TREES WHICH ARE TO REMAIN SHALL BE AWAY FROM THE TREE IN A MANNER TO CAUSE NO DAMAGE TO THE TREE.
- RELOCATION OF THE OBSTRUCTIONS OWNED BY PRIVATE PROPERTY OWNER, SUCH AS MAILBOXES, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WHO MUST COORDINATE WITH THE PROPERTY OWNER AND THE LOCAL GOVERNING AGENCY.
- AS PER ESCAMBIA COUNTY LDC DSM 2-1/6(d), NO STREETS OR ROADS UNDER THE TWO YEAR WARRANTY WILL BE ALLOWED TO BE OPEN CUT, OR JACK-AND-BORE. CONDUITS ARE TO BE INSTALLED FOR ALL UTILITIES TO ROADWAY CROSSINGS PRIOR TO FINAL PLAT APPROVAL.

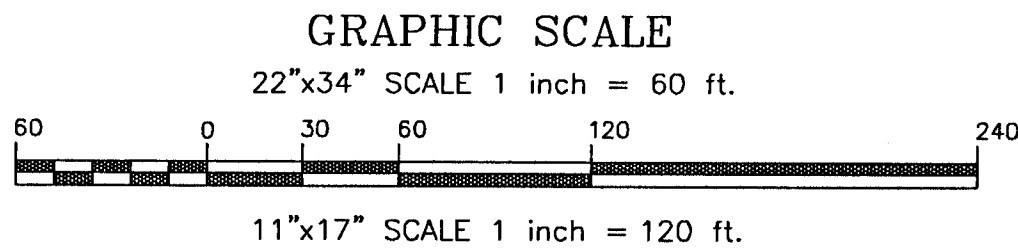


PROJECT  
LOCATION

## GRAPHIC SCALE







LEGEND:  
~ 4" x 4" PLAIN CONCRETE MONUMENT (FOUND)  
~ 4" x 4" CONCRETE MONUMENT, NUMBER 8298 (FOUND)  
~ 1/2" CAPPED IRON ROD, NUMBER 7174 (SET)  
R/W ~ RIGHT OF WAY  
(F) ~ FIELD MEASUREMENT/INFORMATION  
(D) ~ DESCRIPTION INFORMATION  
POB ~ POINT OF BEGINNING  
~ 4" HIGH METAL FENCE  
~ 4" HIGH WOOD BOARD FENCE  
~ 4" CHAIN LINK FENCE  
~ 4" HIGH WIRE FENCE  
~ OVERHEAD UTILITY LINES  
~ UTILITY POLE

R/W ~ RIGHT OF WAY  
PT ~ POINT OF TANGENCY  
PC ~ POINT OF CURVATURE  
PRC ~ POINT OF REVERSE CURVE  
PI ~ POINT OF INTERSECTION  
CP ~ CENTER POINT  
POB ~ POINT OF BEGINNING

DEVELOPMENT DATA:

PARCEL ID #S: 27-1N-31-1200-002-013  
ADDRESS: 310 W ROBERTS RD 32533  
TOTAL BOUNDARY AREA = 394,082 SQUARE FEET (9.04 ACRES)  
TOTAL PROPOSED DETENTION AREA = 58,176 SQUARE FEET (1.33 ACRES)  
TOTAL LOTS IN OVERALL BOUNDARY = 38 LOTS  
PROPOSED DENSITY OF OVERALL SITE = 4.20 LOTS PER ACRE  
ZONED: MDR  
FLU: MU-S

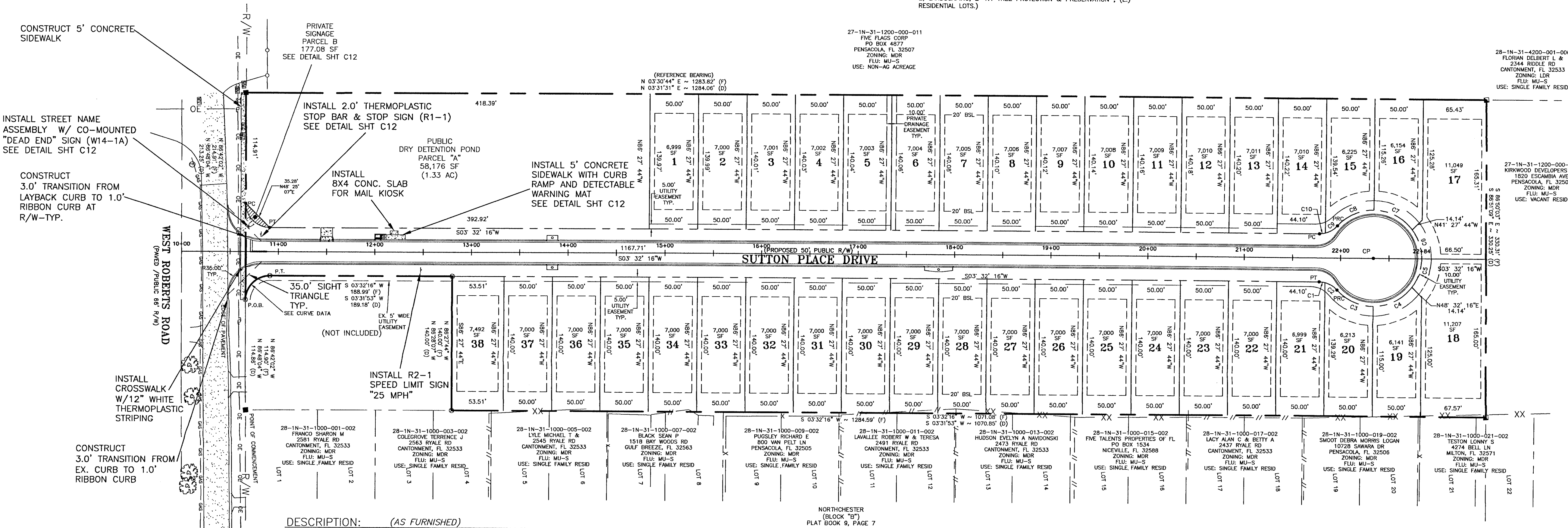
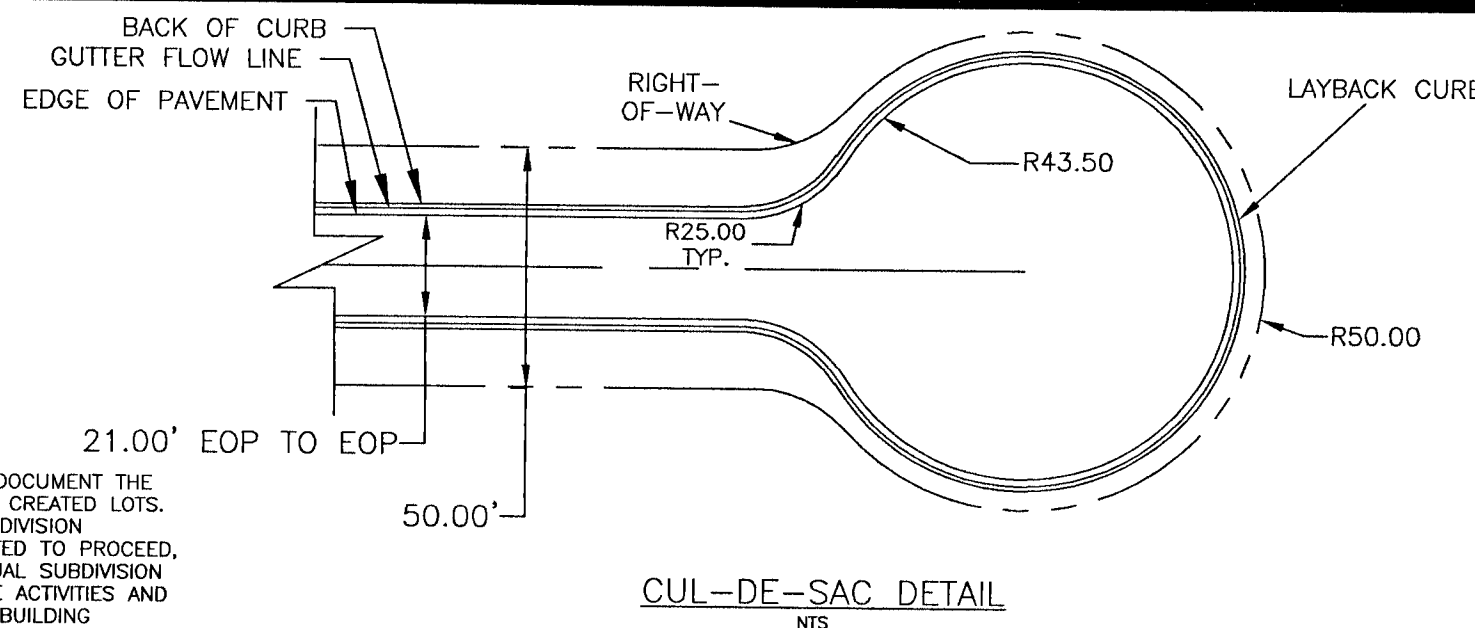
BUILDING REQUIREMENTS FOR MDR ZONE:

-DENSITY: A MAXIMUM DENSITY OF TEN DWELLING UNITS PER ACRE  
-FLOOR AREA RATIO: A MAXIMUM FLOOR AREA RATIO OF 1.0 WITHIN THE MU-S  
-FUTURE LAND USE CATEGORY AND 2.0 WITHIN MU-U  
-STRUCTURE HEIGHT: A MAXIMUM STRUCTURE HEIGHT OF 45 FEET  
-LOT WIDTH: FOR A NEW LOT WITH A MAJORITY OF ITS FRONTAGE ALONG THE  
OUTSIDE OF A STREET RIGHT-OF-WAY CURVE WHOSE RADIUS IS 100 FEET OR  
LESS, THE MINIMUM LOT WIDTH AT THE RIGHT-OF-WAY IS 40 PERCENT OF  
THE RADIUS LENGTH, BUT NOT LESS THAN 20 FEET. THE MINIMUM WIDTH FOR  
ALL OTHER NEW LOTS IS AS FOLLOWS:  
A SINGLE-FAMILY DETACHED DWELLINGS, FIFTY FEET AT THE STREET RIGHT-OF-WAY FOR  
SINGLE-FAMILY DETACHED DWELLINGS.  
B TWO-FAMILY, EIGHTY FEET AT THE STREET RIGHT-OF-WAY OR TWO-FAMILY  
DWELLINGS.  
C MULTI-FAMILY AND OTHER, EIGHTY FEET AT THE STREET RIGHT-OF-WAY FOR  
TOWNHOUSE GROUPS AND BOARDING OR ROOMING HOUSES. NO MINIMUM LOT  
WIDTH REQUIRED BY ZONING FOR OTHER USES.  
-LOT COVERAGE: MINIMUM PERVIOUS LOT COVERAGE OF 30 PERCENT (70  
PERCENT MAXIMUM SEMI-IMPERVIOUS AND IMPERVIOUS COVER) FOR ALL USES.  
-STRUCTURE SETBACKS:  
FRONT AND REAR: TWENTY FEET.  
-SIDES: TEN FEET ON EACH SIDE OF A GROUP OF ATTACHED TOWNHOUSES.  
ON EACH SIDE OF ALL OTHER STRUCTURES, FIVE FEET OR TEN PERCENT OF  
THE LOT WIDTH AT THE STREET RIGHT-OF-WAY, WHICHEVER IS GREATER, BUT  
NOT REQUIRED TO EXCEED 15 FEET.  
-CORNER LOTS: THE FRONT SETBACK SHALL APPLY TO THE FRONTAGE OF THE  
ASSIGNED STREET ADDRESS AND THE SIDE SETBACK SHALL APPLY TO ANY  
STREET FRONTAGE THAT ADJOINS THE ADDRESSED FRONTAGE.

NOTE: ALL SIDEWALK, RAMPS AND DRIVEWAYS MUST BE BUILT TO THE LATEST EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS, ADA, AND PROWAG.

NOTE: NO EXISTING HERITAGE TREES ON-SITE

NOTE: CONSTRUCTION PLAN APPROVAL IS REQUIRED TO DOCUMENT THE DESIGN OF INFRASTRUCTURE TO ADEQUATELY SERVE THE CREATED LOTS. THE APPROVAL ALLOWS THE CONSTRUCTION OF THE SUBDIVISION INFRASTRUCTURE AREAS ONLY AS SPECIFICALLY DESIGNATED TO PROCEED, BUT IT DOES NOT ALLOW DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS. NEITHER PLAT OR PLAN ALLOW LAND DISTURBANCE ACTIVITIES AND DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS AS BUILDING PERMITS FOR THE DWELLINGS WILL BE REQUIRED FOR THESE ACTIVITIES ON EACH LOT/PARCEL IN THE FUTURE. (LDC, CHAPTER 2 DEVELOPMENT & COMPLIANCE REVIEW, ARTICLE 5 SUBDIVISION, SECTION 2-5.8 CONSTRUCTION PLANS; ART. 3 LAND DISTURBANCE ACTIVITIES, SEC. 2-5.1, 2-5.2, & 2-5.6; LDC, DSM, CHAP. 2 ENVIRONMENTAL, ARTICLE 2, LANDSCAPING, 2-1.1 TREE PROTECTION & PRESERVATION, (E) RESIDENTIAL LOTS.)



DESCRIPTION: (AS FURNISHED)

PARCEL B:

A PORTION OF LOT 13, FIELD NINE SUBDIVISION, BEING A SUBDIVISION OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 27, AND THE SOUTHEAST 1/4 OF SECTION 28, TOWNSHIP 1 NORTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA, AS RECORDED IN PLAT BOOK 4, PAGE 61, OF THE PUBLIC RECORDS OF SAID COUNTY, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

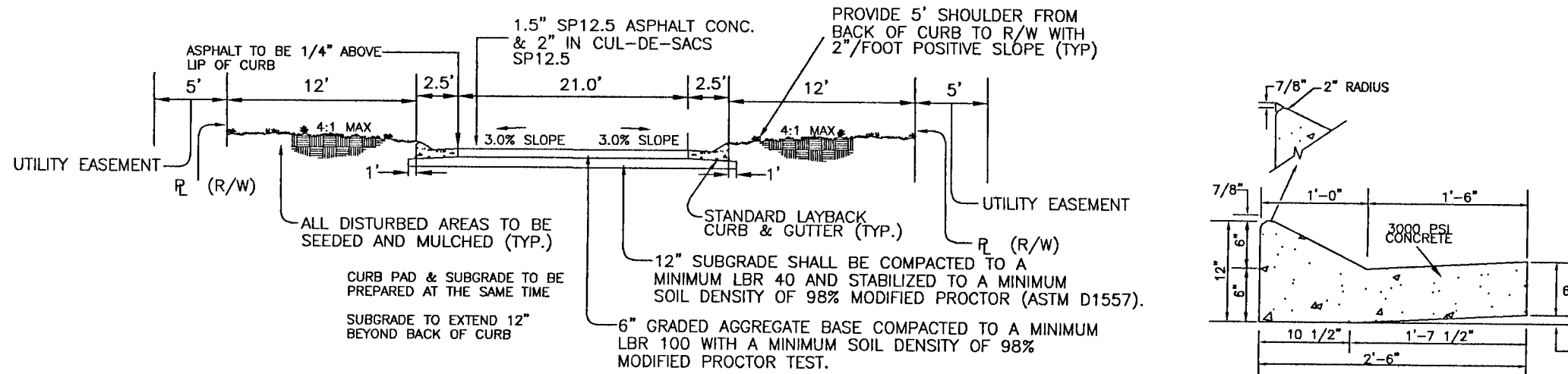
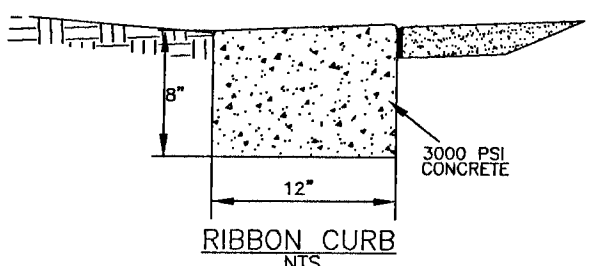
COMMENCE AT THE SOUTHEAST CORNER OF SAID LOT 13, SAID CORNER BEING ON THE NORTH RIGHT OF WAY LINE OF WEST ROBERTS ROAD (66' R/W); THENCE RUN NORTH 86°48'04" WEST ALONG THE NORTH RIGHT OF WAY LINE OF SAID WEST ROBERTS ROAD, A DISTANCE OF 114.86 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 86°48'04" WEST ALONG SAID NORTH RIGHT OF WAY LINE A DISTANCE OF 213.25 FEET TO THE SOUTHWEST CORNER OF SAID LOT 13; THENCE DEPARTING SAID NORTH RIGHT OF WAY LINE, RUN NORTH 03°31'13" EAST ALONG THE WEST LINE OF SAID LOT 13, A DISTANCE OF 1284.06 FEET TO THE NORTHWEST CORNER OF SAID LOT 13; THENCE RUN SOUTH 86°51'09" EAST ALONG THE NORTH LINE OF SAID LOT 13, A DISTANCE OF 330.25 FEET TO THE NORTHEAST CORNER OF SAID LOT 13; THENCE RUN SOUTH 03°31'53" WEST ALONG THE EAST LINE OF SAID LOT 13, A DISTANCE OF 1070.85 FEET; THENCE DEPARTING SAID EAST LINE, RUN NORTH 86°28'07" WEST A DISTANCE OF 140.00 FEET; THENCE RUN SOUTH 03°31'53" WEST, A DISTANCE OF 189.18 FEET TO A POINT OF CURVATURE, SAID CURVE BEING CONCAVE TO THE NORTHEAST, AND HAVING A RADIUS OF 25.00 FEET; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 39.41 FEET (DELTA ANGLE = 90°19'57", CHORD BEARING = SOUTH 41°38'05" EAST, CHORD DISTANCE = 35.46 FEET) TO THE POINT OF BEGINNING.

TOGETHER WITH AND SUBJECT TO A 5.00 FOOT UTILITY EASEMENT, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHEAST CORNER OF LOT 13, FIELD NINE SUBDIVISION, BEING A SUBDIVISION OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 27, AND THE SOUTHEAST 1/4 OF SECTION 28, TOWNSHIP 1 NORTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA, AS RECORDED IN PLAT BOOK 4, PAGE 61, OF THE PUBLIC RECORDS OF SAID COUNTY, SAID CORNER BEING ON THE NORTH RIGHT OF WAY LINE OF WEST ROBERTS ROAD (66' R/W); THENCE RUN NORTH 86°48'04" WEST ALONG THE NORTH RIGHT OF WAY LINE OF SAID WEST ROBERTS ROAD, A DISTANCE OF 114.86 FEET TO THE POINT OF BEGINNING; SAID POINT ALSO BEING THE POINT OF CURVATURE OF A CURVE BEING CONCAVE TO THE NORTHEAST, AND HAVING A RADIUS OF 25.00 FEET; THENCE DEPARTING SAID NORTH RIGHT OF WAY LINE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 39.41 FEET (DELTA ANGLE = 90°19'57", CHORD BEARING = NORTH 41°38'05" WEST, CHORD DISTANCE = 35.46 FEET) TO A POINT OF TANGENCY; THENCE RUN NORTH 03°31'53" EAST, A DISTANCE OF 189.18 FEET; THENCE RUN SOUTH 86°28'07" EAST, A DISTANCE OF 5.00 FEET; THENCE RUN SOUTH 03°31'53" WEST, A DISTANCE OF 189.18 FEET TO A POINT OF CURVATURE, SAID CURVE BEING CONCAVE TO THE NORTHEAST, AND HAVING A RADIUS OF 20.00 FEET; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 31.53 FEET (DELTA ANGLE = 90°19'57", CHORD BEARING = SOUTH 41°38'08" EAST, CHORD DISTANCE = 28.37 FEET); THENCE RUN SOUTH 03°11'56" WEST, A DISTANCE OF 5.00 FEET TO THE POINT OF BEGINNING.

SURVEYOR'S NOTES:

- 1) THE NORTH ARROW AND FIELD BEARINGS AS SHOWN HEREON ARE REFERENCED TO THE BEARING OF N 03°30'44" E ALONG THE WEST LINE OF THE SUBJECT PARCEL AND BEING ON THE FLORIDA STATE PLANE COORDINATE SYSTEM NORTH ZONE, LAMBERT PROJECTION, RELATIVE TO NAD 83 (2011), USING THE TRIMBLE VRSNOW G.P.S. NETWORK.
- 2) SOURCE OF INFORMATION: DEEDS OF RECORD AND EXISTING FIELD MONUMENTATION.
- 3) NO TITLE SEARCH WAS PERFORMED BY OR FURNISHED TO MERRILL PARKER SHAW, INC. FOR THE SUBJECT PROPERTY. THERE MAY BE DEEDS OF RECORD, UNRECORDED DEEDS, RIGHT-OF-WAYS, EASEMENTS, BUILDING SETBACKS, RESTRICTIVE COVENANTS, GOVERNMENTAL JURISDICTIONAL AREAS OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES AND/OR USE OF THE SUBJECT PROPERTY.
- 4) ONLY THE ABOVE GROUND VISIBLE ENCROACHMENTS AND IMPROVEMENTS WERE FIELD LOCATED AS SHOWN HEREON, UNLESS OTHERWISE NOTED. UNDERGROUND ENCROACHMENTS AND IMPROVEMENTS, IF ANY, WERE NOT FIELD LOCATED OR VERIFIED, UNLESS OTHERWISE NOTED.
- 5) THE DIMENSIONS OF THE BUILDINGS (IF ANY) AS SHOWN HEREON ARE ALONG THE OUTSIDE FACE OF THE BUILDINGS AND DO NOT INCLUDE THE EAVES OVERHANG OR THE FOOTINGS OF THE FOUNDATIONS.
- 6) THE SURVEY AS SHOWN HEREON DOES NOT DETERMINE OWNERSHIP.
- 7) THE MEASUREMENTS MADE IN THE FIELD, INDICATED THUSLY (F), AS SHOWN HEREON WERE MADE IN ACCORDANCE WITH UNITED STATES STANDARDS.
- 8) FEDERAL AND STATE COPYRIGHT ACTS PROTECT THIS MAP FROM UNAUTHORIZED USE. THIS MAP IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR PART AND IS NOT TO BE USED FOR ANY OTHER TRANSACTION. THIS DRAWING CANNOT BE USED FOR THE BENEFIT OF ANY OTHER PERSON, COMPANY OR FIRM WITHOUT PRIOR WRITTEN CONSENT OF THE COPYRIGHT OWNER AND IS TO BE RETURNED UPON REQUEST.
- 9) THE CONTOUR LINES AS SHOWN HEREON ARE AT 1 FOOT INTERVALS OF ELEVATION.
- 10) THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988, USING THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION G.P.S. NETWORK.
- 11) THE UTILITIES AS SHOWN HEREON IS BASED UPON FIELD LOCATION WHERE VISIBLE. THERE MAY BE OTHER UNDER GROUND UTILITIES THAT HAVE NOT BEEN LOCATED OR VERIFIED. IT IS THE CONTRACTORS RESPONSIBILITY TO NOTIFY THE RESPECTABLE UTILITY SPOTTERS PRIOR TO THE COMMENCEMENT OF WORK OR EXCAVATION.



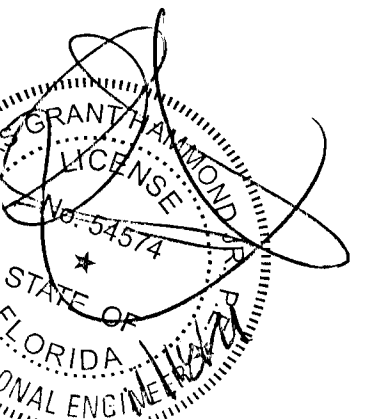
TYPICAL STREET AND GUTTER STREET

CROSS-SECTION  
NTS

Curve Table			
Curve #	Length	Radius	Delta
C1	5.96	25.00	014
C2	15.07	25.00	035
C3	42.05	50.00	048
C4	46.36	50.00	053
C5	32.18	50.00	037
C6	32.18	50.00	037
C7	46.36	50.00	053
C8	42.05	50.00	048
C9	15.07	25.00	035
C10	5.96	25.00	014
C11	39.17	25.00	090

CURVE DATA (BOUNDARY)  
RADIUS = 25.00 (D&F)  
LENGTH = 39.37 (F) 39.41 (D)  
DELTA = 90°14'18" (F) 90°19'57" (D)  
CHORD BEARING = S41°34'53"E (F) S41°38'05"E (D)  
CHORD DISTANCE = 35.43 (F) 35.46 (D)

HAMMOND ENGINEERING, INC.  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH "G" STREET  
PENSACOLA, FLORIDA 32505  
850 434-2603  
TOM@BELANDDESIGN.COM



CONSTRUCTION PLANS FOR  
SUTTON PLACE  
SUBDIVISION  
DIMENSION AND  
STAKING PLAN  
FLORIDA  
ESCAMBIA COUNTY

DRAWN BY: DYARS  
DESIGNED BY: TGHARS  
CHECKED BY: TGH  
DATE: OCTOBER 2021  
SCALE: AS SHOWN  
NOT RELEASED FOR CONSTRUCTION  
BY: DATE:

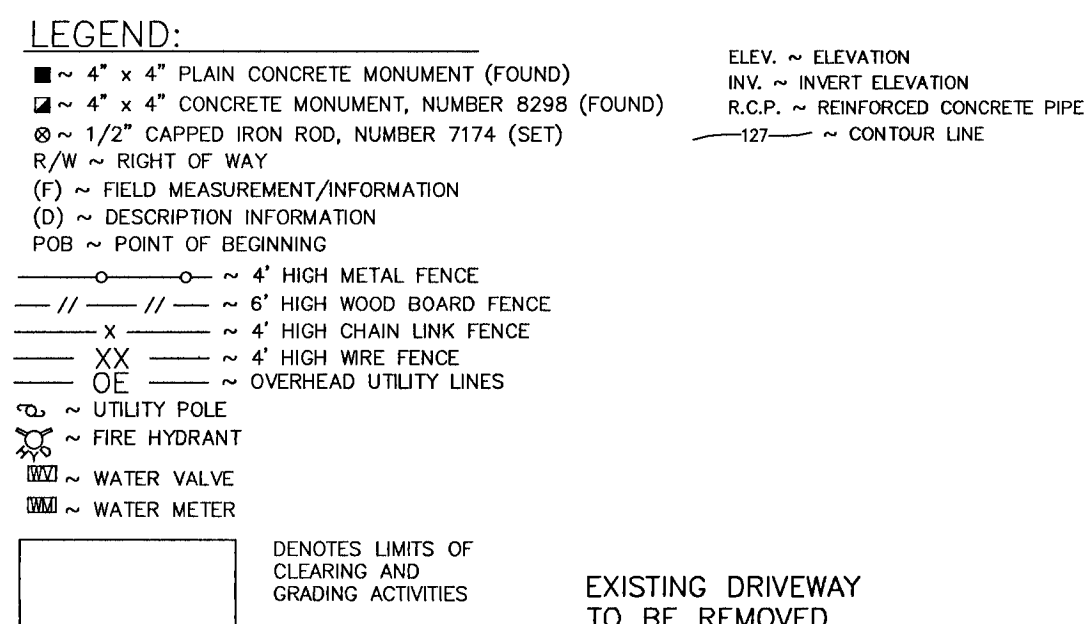
PROJECT NO: 20-090

SHEET: 02

REVISIONS			
NO.	DATE	AS PER ESCAMBIA COUNTY DRC REVIEW	AS PER ESCAMBIA COUNTY DRC COMMENTS
1.	9/17/2021	AS PER ESCAMBIA COUNTY DRC REVIEW	AS PER ESCAMBIA COUNTY DRC COMMENTS
2.	10/25/2021	AS PER ESCAMBIA COUNTY DRC REVIEW	AS PER ESCAMBIA COUNTY DRC COMMENTS
3.	10/28/2021	AS PER ESCAMBIA COUNTY DRC REVIEW	AS PER ESCAMBIA COUNTY DRC COMMENTS

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Stakes Per Bale.

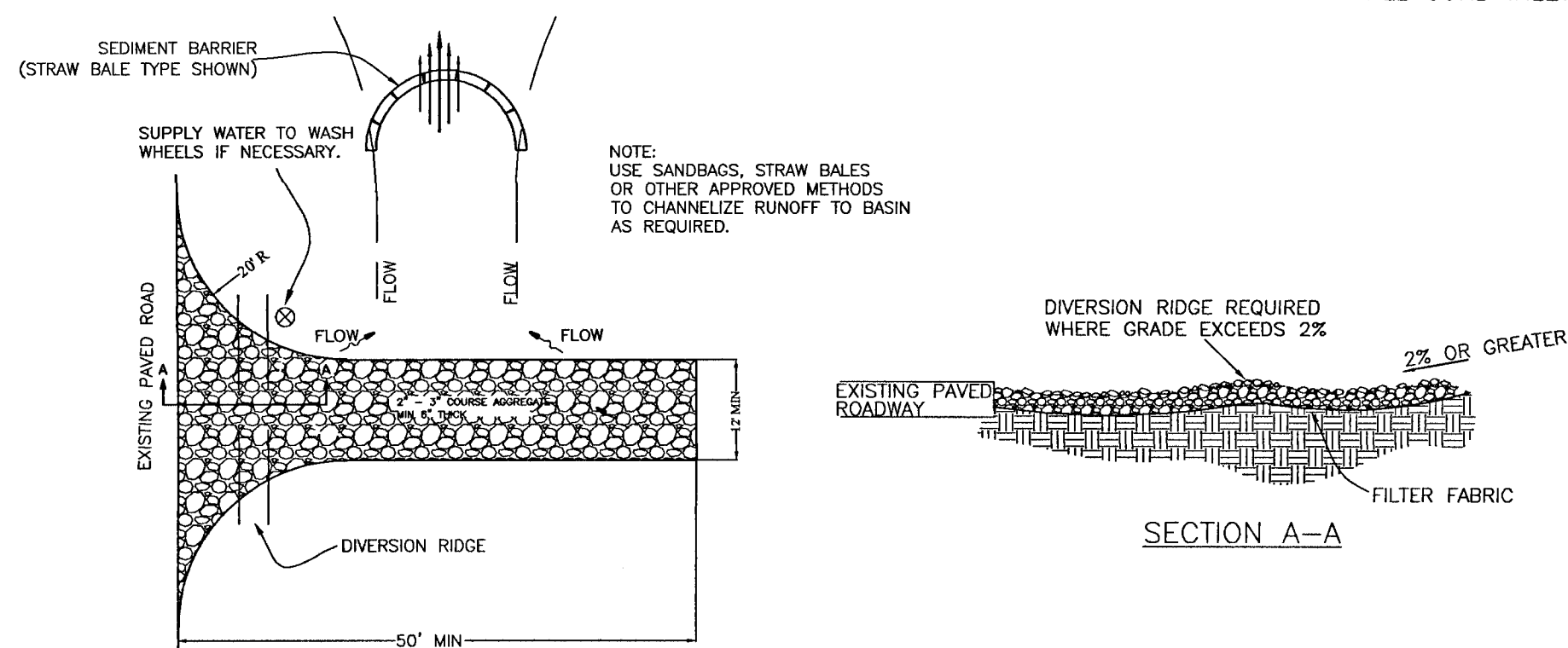
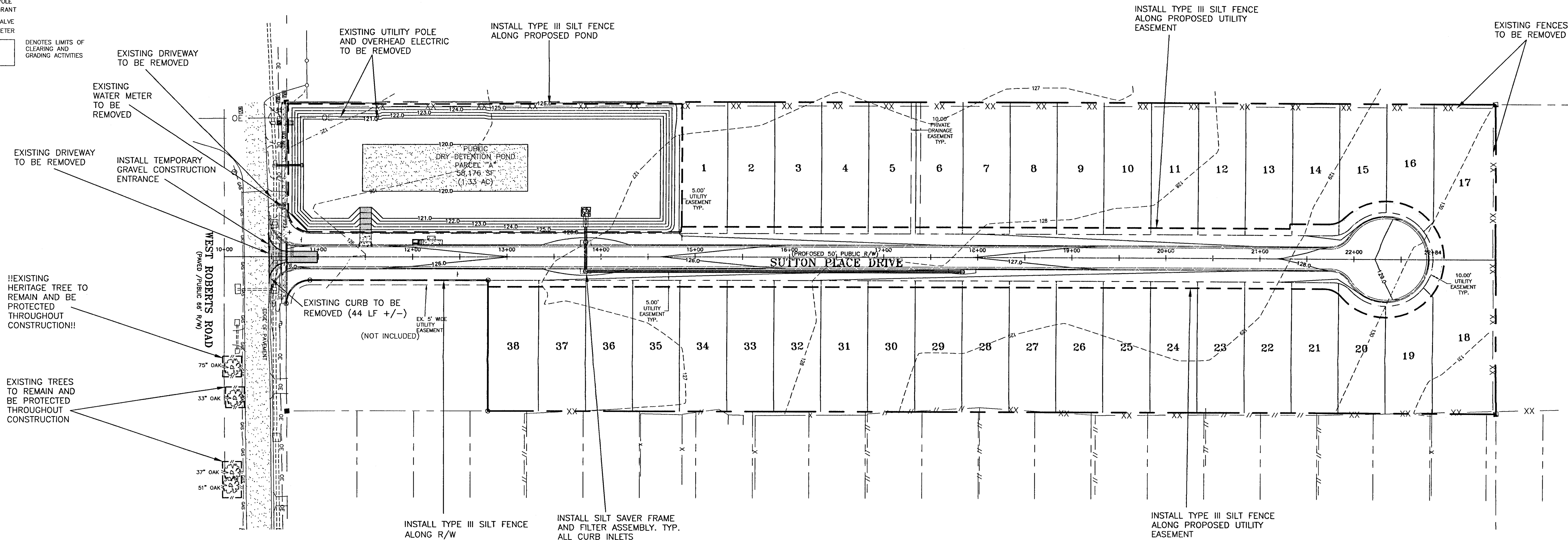
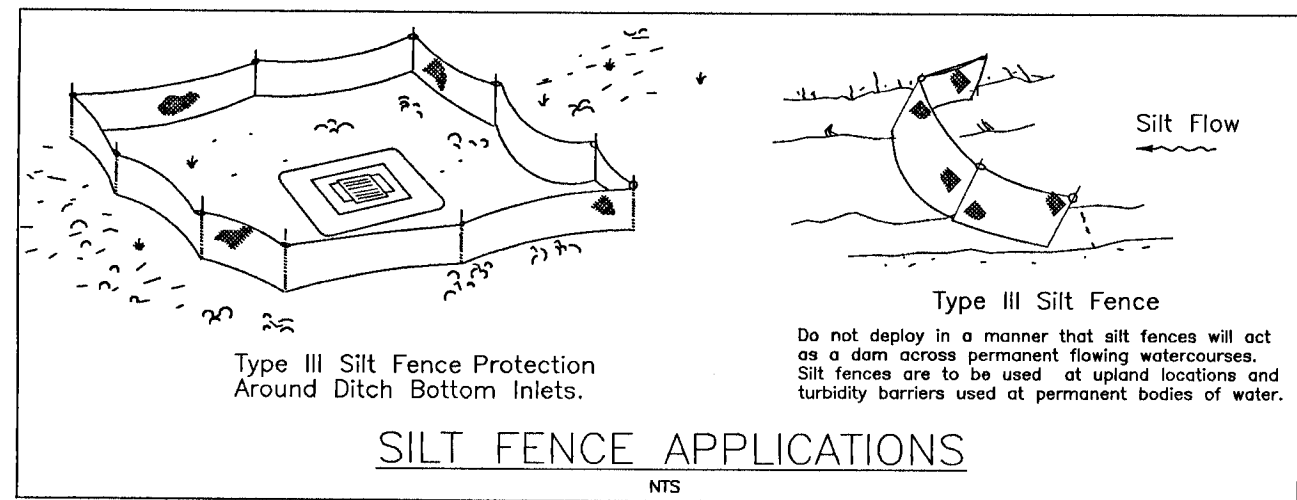
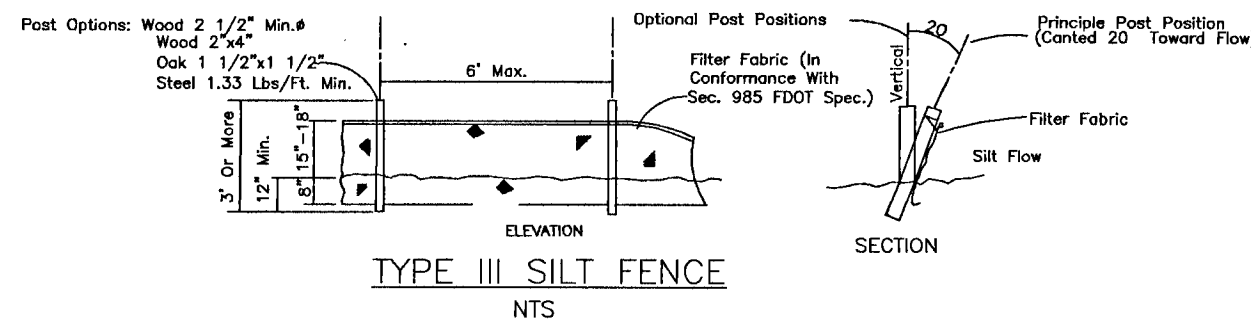
Anchor Bales With 2 - 2" x 2" x 4' ROCK BAGS

PROPOSED INLET

CURB AND GUTTER

HAY BALES

AS PER  
FDOT ROADWAY & TRAFFIC  
DESIGN MANUAL  
INDEX # 102



PLAN VIEW  
NTS

TEMPORARY GRAVEL  
CONSTRUCTION ENTRANCE  
NTS

NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE OR DRAINING INTO AN APPROVED SEDIMENT TRAP OR SEDIMENTATION POND.

Off-site: Vehicle wash areas and areas of dust shall be minimized. A stabilized construction access road shall be utilized to reduce off-site tracking. Off-site sediment removal should be conducted at frequency necessary to minimize impacts. Vehicle wash areas should be considered if off-site tracking becomes necessary.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE TO BE CONSTRUCTED AT ALL DESIGNATED CONSTRUCTION ENTRANCES AND EXITS.

SILT SAVER FRAME AND  
FILTER ASSEMBLY  
NTS  
TYPICAL ALL ROADSIDE INLETS  
(DOUBLE A & TYPE A)

INSTALL TYPE III SILT FENCE  
ALONG PROPOSED UTILITY  
EASEMENT

EXISTING FENCES  
TO BE REMOVED

INSTALL TYPE III SILT FENCE  
ALONG PROPOSED UTILITY  
EASEMENT

NOTE: ON SITES > 1 ACRE, IF > 1 CONTIGUOUS ACRE IS DECLARED, A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED WITHIN 10 WORKING DAYS ON THE PORTION OF THE SITE UPON WHICH FURTHER ACTIVE CONSTRUCTION WILL NOT BE UNDERTAKEN WITHIN 90 DAYS.

NOTE: ALL WORK SHALL BE DONE IN ACCORDANCE TO THE PROJECT SPECIFICATIONS. WHERE SPECIFICATIONS OVERLAP (WATER, SEWER, ETC.), THE CONTRACTOR SHALL COMPLY WITH THE MOST STRINGENT SPECIFICATION.

NOTE: TO COMPLY WITH NPDES REQUIREMENTS, EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH 1/2" RAINFALL EVENT OR AT LEAST WEEKLY. THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS; INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO FDEP.

NOTES:

1. CONTRACTOR SHALL MAINTAIN AND INSPECT EROSION CONTROL DEVICES IN ACCORDANCE TO THE STORMWATER POLLUTION PREVENTION PLAN.
2. CONSTRUCTION ACTIVITIES ARE LIMITED TO ROADS, PONDS, AND EASEMENTS.
3. THE PROPOSED PONDS SHALL BE UTILIZED FOR STORMWATER DETENTION AND TEMPORARY SEDIMENT
4. THE PROPOSED PONDS SHALL BE CONSTRUCTED FOLLOWING CLEARING AND GRUBBING OF R/W'S EASEMENTS AND PRIOR TO UTILITY INSTALLATION.
5. ALL DRAINAGE EASEMENTS, PUBLIC AND PRIVATE, SHALL REMAIN UNOBSTRUCTED.

### EROSION CONTROL NOTES

A HEALTHY GROWTH OF GRASS WITHIN THE DISTURBED RIGHT-OF-WAY AREAS IS REQUIRED PRIOR TO COUNTY APPROVAL/ACCEPTANCE. IF TIME CONSTRAINTS EXIST DURING THE FINAL FLAT APPROVAL AND ACCEPTANCE PROCESS, A MINIMUM OF TWO STRIPS OF SOD (MINIMUM 2' WIDE) BEHIND THE BACK OF CURB WITH ALL OTHER DISTURBED AREAS SEEDED/MULCHED/FERTILIZED WILL BE ACCEPTABLE.

SAG FILTERS IN CURB THROATS ARE NOT AN ALLOWABLE SEDIMENT CONTROL METHOD.

NOTE: NO EXISTING HERITAGE TREES ON-SITE

NOTES:

- CONTRACTOR RESPONSIBLE FOR SECURING NPDES NOI PERMIT AS WELL AS OBTAINING AND IMPLEMENTING A STORMWATER POLLUTION PREVENTION PLAN (SWPP) AS PER FDEP STANDARDS.
- THE EROSION AND SEDIMENT CONTROL RULES ARE PERFORMANCE ORIENTED. THAT IS, THE MEASURES USED AT A CONSTRUCTION SITE MUST BE EFFECTIVE IN CONTROLLING EROSION AND PREVENTING OFF-SITE SEDIMENTATION. FOR THE SITE TO BE IN COMPLIANCE, FOLLOWING AN APPROVED PLAN AND INSTALLING THE CONTROL MEASURES MAY NOT BE ENOUGH FOR A SITE TO BE IN COMPLIANCE WITH THE RULES. IF EROSION AND OFF-SITE SEDIMENTATION OCCUR, THE CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLING ADDITIONAL MEASURES TO CORRECT ANY PROBLEM ASSOCIATED WITH COMPLIANCE OF THE NPDES PERMIT OR ANY OTHER PERMIT REQUIRED FOR THE SITE CONSTRUCTION. THE CONTRACTOR WILL ALSO BE COMPLETELY RESPONSIBLE FOR ANY FINES LEVIED BY ANY GOVERNING AGENCY ON THE PROJECT DURING CONSTRUCTION.
- EROSION CONTROL MEASURES SHOWN ARE MINIMUM REQUIREMENTS ONLY. CONTRACTOR SHALL REINFORCE AND/OR ADD ADDITIONAL MEASURES AS CONDITIONS WARRANT AND/OR AS DIRECTED BY THE PROPER REGULATORY AUTHORITIES.

NOTE: CONSTRUCTION PLAN APPROVAL IS REQUIRED TO DOCUMENT THE DESIGN OF INFRASTRUCTURE TO ADEQUATELY SERVE THE CREATED LOTS. THE APPROVAL ALLOWS THE CONSTRUCTION OF THE SUBDIVISION INFRASTRUCTURE AREAS ONLY SPECIFICALLY DESIGNATED TO PROCEED, BUT IT DOES NOT ALLOW DEVELOPMENT OF AN INDIVIDUAL LOT. THE CONSTRUCTION PLAN APPROVAL DOES NOT ALLOW LAND DISTURBANCE ACTIVITIES AND DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS AS BUILDING PERMITS FOR THE DWELLINGS WILL BE REQUIRED FOR THESE ACTIVITIES ON EACH LOT/PARCEL IN THE FUTURE. (LDC, CHAPTER 2-5, DEVELOPMENT AND COMPLIANCE REVIEW, ARTICLE 5 SUBDIVISION, SECTION 2-5.6 CONSTRUCTION PLAN APPROVAL, SUBSECTION 2-5.6.1) (LDC, CHAPTER 2-3.2, AND 2-3.6.; LDC, DMAP, CHAP. 2 ENVIRONMENTAL, ARTICLE 2, LANDSCAPING 2-1.1 TREE PROTECTION & PRESERVATION , (E) RESIDENTIAL LOTS.

DRAWN BY: DVA/RS		CONSTRUCTION PLANS FOR	
DESIGNED BY: TGH/RS		SUTTON PLACE	
CHECKED BY: TGH		SUBDIVISION	
DATE: OCTOBER 2021		EROSION CONTROL	
SCALE: AS SHOWN		PLAN	
NOT RELEASED FOR CONSTRUCTION		FLORIDA	
BY: _____		DATE: _____	
PROJECT NO: 20-090		SHEET: C3	



Site Description

The proposed Sutton Place Subdivision is located on the north side of West Roberts Rd just west of the Ryale Rd intersection in Escambia, Florida. The site is in section 27, Township 1 North, Range 31 West, Escambia County, Florida.

The site is 9.04 acres in size and currently stands vacant and undeveloped. There are no jurisdictional wetlands located on the site. The area to be disturbed by the construction of this project encompasses the proposed R/W, drainage/access easements, utility easements and pond parcel. Currently, runoff flows from the southwest side of the site. The approximate latitude and longitude of the site discharge point are: 30°33'49.15"N, 87°18'59.35"W. The proposed improvements include the construction of paved roads, a stormwater pond, stormwater piping, potable water piping, and sanitary sewer improvements.

Erosion and Sedimentation Controls

Erosion and sedimentation from the construction site shall be controlled at all times using Best Management Practices (BMPs). Perimeter controls shall be installed prior to clearing activities or any construction activity that disturbs soils. Installation of those controls may be staged to correspond with the clearing and construction schedule. Immediate after clearing activities appropriate controls shall be installed to limit and minimize the velocity of stormwater runoff over unprotected soils. Temporary BMPs shall be used as necessary inside the perimeter controls as the construction progresses. Perimeter controls shall be actively maintained until final stabilization of those portions of the site uphill of the perimeter controls. Temporary controls shall be removed when stabilization is achieved or when necessary for the next stage of construction. Controls shall be consistent with the performance standards for erosion and sedimentation control as set forth in Section 62-40.432 F.A.C.

Stabilization and Structural Practices

Stabilization practices may include, but not limited to, temporary seeding, mulching, geotextiles, permanent sod and preservation of existing vegetation. Preservation of the existing vegetation should always be the first choice BMP. Where disturbed soils are to remain for extended periods, temporary seeding should be considered prior to final sod stabilization. A record shall be maintained of the dates when major grading activities occur, when construction activities temporarily or permanently cease on a portion of the site and when stabilization measures are initiated. Stabilization measures shall be initiated as soon as practicable, but in no case more than 14 days, in those areas of the site where construction activities have temporarily or permanently ceased.

Structural practices shall divert flows from exposed soils, store flows, retain sediment on-site, or otherwise limit runoff and the discharge of pollutants from exposed areas of the site. Such practices may include, but not limited to, silt fences, earth dikes, diversion swales, sediment traps, check dams, subsurface drains, pipe slope drains, level spreaders, storm drain inlet protection, rock outlet protection, reinforced soil retaining systems and temporary or permanent sediment basins.

Stormwater Management

A single row of type III silt fence shall be installed along the proposed R/W, utility easements and boundary of stormwater pond parcel, prior to any activity that disturbs soils.

After clearing activities, silt fences and hay bales shall be installed, as necessary, uphill of the perimeter controls to reduce runoff velocities and the potential for excessive erosion. Prior to any major grading activity, the stormwater detention basin shall be constructed.

As the grading activities progress, a depressed area shall be constructed around inlets surrounded by hay bales for inlet protection. These depressed areas shall act as sediment basins. Runoff from uphill areas shall be directed to these inlets, where feasible, by diversion swales.

These swales may require temporary seeding and check dams to minimize velocities and avoid excessive erosion. As the construction progresses, each installed storm inlet shall be protected by hay bales.

Rip-rap or similar velocity control is to be used, as necessary, at the outfalls from the stormwater management system for velocity dissipation prior to discharge off-site. Silt fences, and haybales if necessary, shall be installed across the outfalls until final stabilization is achieved. Erosion control facilities shall actively maintained throughout the course of construction and shall remain until final stabilization is achieved and acceptance by the owner.

Controls for Other Potential Pollutants

A materials management area shall be designated on-site for protected storage of chemicals, solvents, fertilizers and other potentially toxic materials. Storage areas can become a major source of risk due to possible mishandling of materials and accidental spills. An inventory should be compiled and maintained of the storage area and the site. Special care should be taken to identify any materials that have the potential to come into contact with stormwater.

Petroleum products such as oil gasoline, lubricants and asphaltic substances should be handled carefully to minimize their exposure to stormwater. These management practices should be used to reduce the risks of using petroleum products:

- \* Have equipment available to contain and clean up petroleum spills in fuel storage areas or on board maintenance and fueling vehicles.
- \* Where possible, store petroleum products and fuel vehicles in covered areas and construct dikes to contain any spills.
- \* Contain and clean up petroleum spills immediately.
- \* Perform preventative maintenance for on-site equipment to prevent leakage.
- \* Apply asphaltic substances properly according to the manufacturer's instructions.

Hazardous products including, but not limited to, paints, acids for cleaning masonry surfaces, cleaning solvents, chemical additives used for soil stabilization, and concrete curing compounds should be properly handled. These practices will help avoid pollution of stormwater by these materials:

- \* Keep equipment to contain and clean up spills of hazardous materials in the areas where the materials are stored.
- \* Contain and clean up spills immediately after they occur.
- \* Keep materials in a dry, covered area.
- \* Store materials in the original manufacturer's containers whenever possible, because special handling instructions usually are printed on the containers.

Pesticides include insecticides, rodenticides, and herbicides that are commonly used on construction sites. These management practices will reduce the amounts of pesticides that could contact stormwater:

- \* Handle pesticides as infrequently as possible.
- \* Store materials in the original manufacturer's containers whenever possible, because special handling instructions usually are printed on the containers.
- \* Observe all applicable federal, state and local regulations when using, handling, or disposing of pesticides.
- \* Store pesticides in a dry, covered area.
- \* Provide curbs or dikes to contain spills.
- \* Have measures on site to contain and clean up spills.
- \* Strictly follow recommended application rates and methods.

Fertilizers and detergents usually contain nutrients that can be a major source of pollution in stormwater. These practices should be used to reduce the risks of nutrient pollution:

- \* Limit the application of fertilizers to the minimum area and the minimum recommended amounts.
- \* Reduce exposure of nutrients to stormwater runoff by working the fertilizer into the soil to a depth of 4 to 6 inches.
- \* Apply fertilizer more frequently, but at lower application rates.
- \* Limit hydroseeding in which lime and fertilizers are applied to the ground surface in one application.
- \* Implement good erosion and sediment control to help reduce the amount of fertilizer lost as a result of erosion.
- \* Limit the use of detergents on the site. Wash water containing detergents should not be discharged to the stormwater management system.
- \* Apply fertilizer and use detergents only in the recommended manner and amounts.

Proper management and disposal of building materials and other construction site wastes are an essential part of pollution prevention. Construction wastes include surplus or refuse building materials as well as hazardous wastes. Management practices for these wastes include trash disposal, recycling, material handling, and spill prevention and clean up. These practices should provide for proper disposal of construction wastes:

- \* Designate a waste disposal area on the site.
- \* Provide an adequate number of containers with lids or covers that can be placed over the container prior to rainfall. Locate containers in covered areas, where possible.
- \* Arrange for scheduled waste pick up. Adjust waste collection schedule as necessary to prevent overflow of the containers.
- \* Ensure that construction waste is collected, removed, and disposed of only at authorized disposal areas in compliance with applicable State and/or local waste disposal regulations.

Offsite vehicle tracking of sediments and the geration of dust shall be minimized. A stabilized construction access road shall be utilized to reduce off-site tracking. Off-site sediment removal should be conducted at a frequency necessary to minimize impacts. Vehicle wash area should be considered if off-site tracking becomes excessive.

The construction site must have temporary sanitary sewer facilities for on-site personnel. Portable facilities may be utilized throughout the site. Licensed domestic waste haulers must be contracted to regularly remove the sanitary wastes and to maintain the facilities in good working order. The temporary construction trailer may have sanitary sewer facilities with a holding tank. A licensed domestic waste hauler shall also service this facility. An on-site septic system for the construction trailer is not allowed. Temporary sanitary sewer facilities shall be permitted by the local building department in accordance with applicable State and local regulations.

Controls of pollutants shall be maintained throughout construction period and until final stabilization is achieved. Qualified personnel shall inspect all points of discharge and all disturbed areas of the construction site that have not been finally stabilized, areas used for storage of materials that are exposed to precipitation, structural controls, and locations where vehicles enter or exit the site at least once every seven calendar days and within 24 hours of the end of every storm event that produces at least 0.25 inches of rainfall. Where sites have been finally stabilized, such inspection shall be conducted at least once every month until a Notice of Termination has been submitted.

- \* Stabilization Measures - Disturbed areas and areas used for storage of materials that are exposed to precipitation shall be inspected for evidence of or the potential for, pollutants leaving the site. The inspection should reveal whether the area was stabilized correctly, whether there has been damage to the area since it was stabilized, and what should be done to correct any problems.
- \* Structural Controls - Silt fences, hay bales and other erosion control measures shall be inspected regularly for proper positioning, anchoring, and effectiveness in trapping sediments. The inspection should reveal whether the control was installed correctly, whether there has been damage to the control since installation, and what should be done to correct any problems. Sediment should be removed from the uphill side of the silt fence and the fence should be reconstructed as necessary. Hay bales shall be added or replaced as necessary to provide effective control.
- \* Discharge Points - Discharge points shall be inspected to determine whether erosion control measures are effective in preventing significant amounts of pollutants from leaving the site. Silt fences and hay bales shall be maintained or replaced as necessary. The inspection should reveal whether the on-site BMPs are effective, and what should be done to increase the effectiveness.
- \* Construction Entrances - Locations where vehicles enter or exit the site shall be inspected for evidence of off-site sediment tracking. The inspection should reveal whether the stabilization of the construction entrance is effective, and what should be done to increase the effectiveness.
- \* Areas Used for Storage of exposed Materials - These are locations where construction materials (including excavated soils) are stored. The inspection should reveal the potential for excessive erosion and sedimentation, and what actions should be implemented to reduce the risks of pollution.

Based on the result of the inspection, all maintenance operations needed to assure proper function of all controls, BMPs, practices or measures identified in this Plan shall be done in a timely manner, but in no case later than 7 calendar days following the inspection.

A Report summarizing the scope of each inspection, name(s) and qualifications of personnel making the inspection, the date(s) of the inspection, major observations related to the implementation of the stormwater pollution prevention plan, and modifications to the stormwater pollution prevention plan shall be prepared and retained as part of the stormwater pollution prevention plan for at least three years from the date that the site is finally stabilized. Such report shall identify any incidence of non-compliance.

Contractor Requirements

The contractor must have technical expertise in erosion prevention and sediment control. The contractor must at all time maintain erosion control methods that prevent any violation of the NPDES program.

Faulty Installation and/or Poor Maintenance

Most noncompliance occurs because measures were not installed correctly or maintained properly, or both. Determining the reason why the measures are failing requires technical knowledge about the devices and how to construct them properly. Contractors failure to control erosion, sedimentation or turbidity both onsite and offsite is not acceptable. Failure to do so may result in possible fines and/or termination from the site without payment for construction progress.

Compliance

Remember that the goal of the program is to prevent accelerated erosion and off-site sedimentation. As the contractor, you are the first person to determine if the performance standards and intent of the rule are being met. You are the key person in ensuring that the construction site is evaluated fairly and consistently and that you keep the site in compliance.

The erosion and sediment control rules are performance oriented. That is, the measures used at a construction site must be effective in controlling erosion and preventing off-site sedimentation for the site to be in compliance. Following an approved plan and installing the control measures may not be enough for a site to be in compliance with the rules. If erosion and off-site sedimentation occur, the contractor will be responsible for installing additional measures to correct any problem associated with compliance of the NPDES permit or any other permit required for the site construction. The contractor will also be completely responsible for any fines levied by any governing agency on the project during construction.

The rules are also flexible, allowing the contractor to decide the most economical and effective means of erosion control. This encourages the use of innovative techniques and specifically designed erosion control systems. The contractor is the key individual in making this kind of performance based rule work because the contractor is the first person to recognize performance failures and remedy the problems.

The contractor's job is to:

1. Determine that an erosion and sediment control plan for the site has been approved.
2. Determine that all specified practices have been installed and are being maintained according to the plan.
3. Determine that both on-site and off-site sedimentation, erosion or turbidity is being prevented. If the contractor finds deficiencies, appropriate action must be taken to attain compliance.

Control of non-stormwater discharges

It is expected that the following non-stormwater discharges may occur from the site during construction period: water from water line flushing, pavement wash water (where no spills or leaks of toxic or hazardous materials have occurred), and uncontaminated groundwater (from dewatering excavation). If said discharges do occur, they will be directed to the temporary sediment basin prior to discharge. Turbid water from the stormwater pond shall not be pumped directly into either of the receiving waters. Any pumped water from the stormwater pond shall be treated so as to not allow a discharge of polluted stormwater. Treatment can include silt fences, settling ponds, the proper use of flocculating agents or other appropriate means.

DESIGNED BY: TGH/ARS

CHECKED BY: TGH

DATE: OCTOBER 2021

SCALE: AS SHOWN

NOT RELEASED FOR CONSTRUCTION

BY: DATE:

PROJECT NO: 20-090

SHEET: 04

CONSTRUCTION PLANS FOR SUTTON PLACE SUBDIVISION EROSION CONTROL NOTES

CONSTRUCTION PLANS FOR SUTTON PLACE SUBDIVISION EROSION CONTROL NOTES

DESIGNED BY: TGH/ARS

CHECKED BY: TGH

DATE: OCTOBER 2021

SCALE: AS SHOWN

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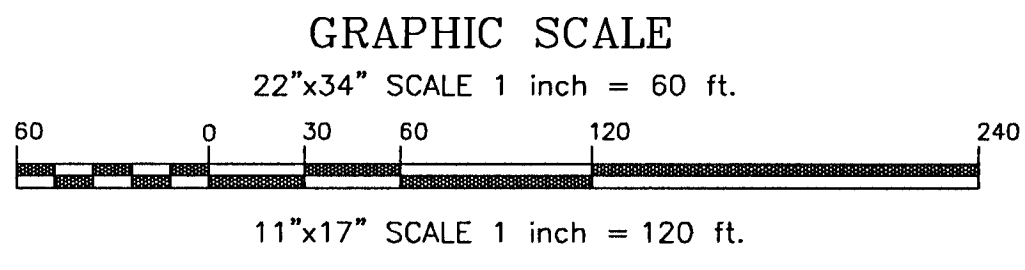
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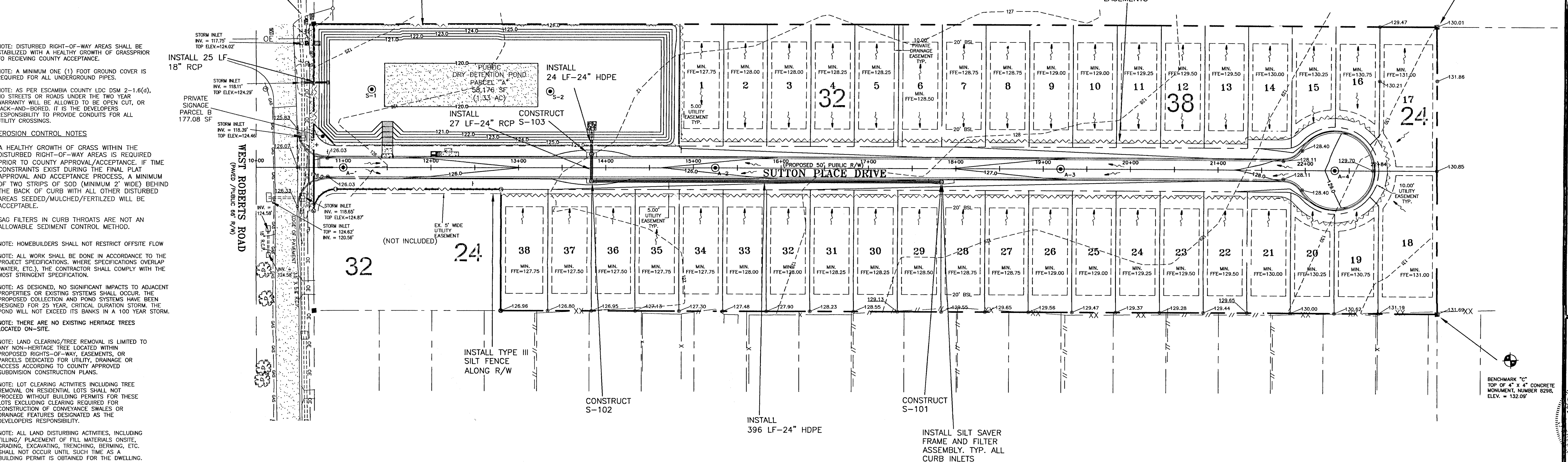
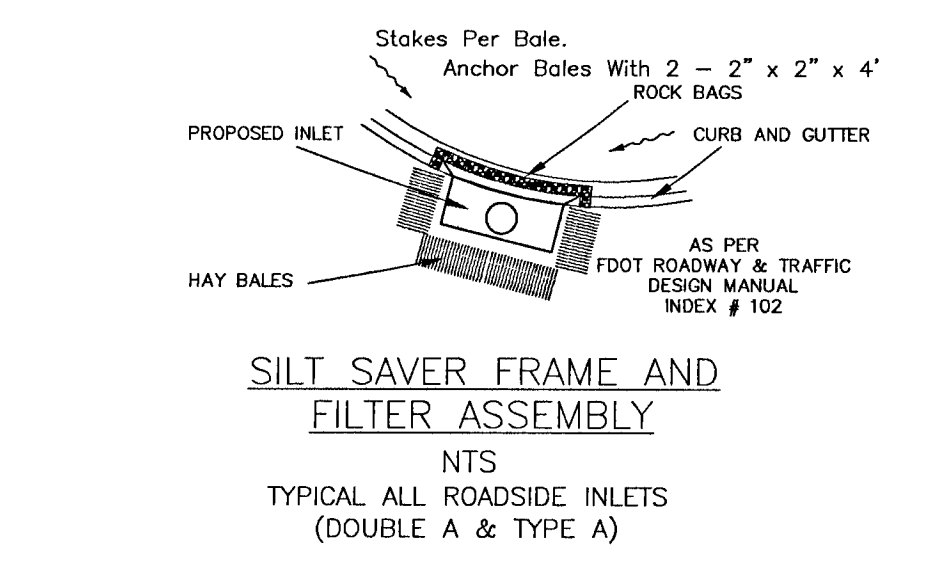
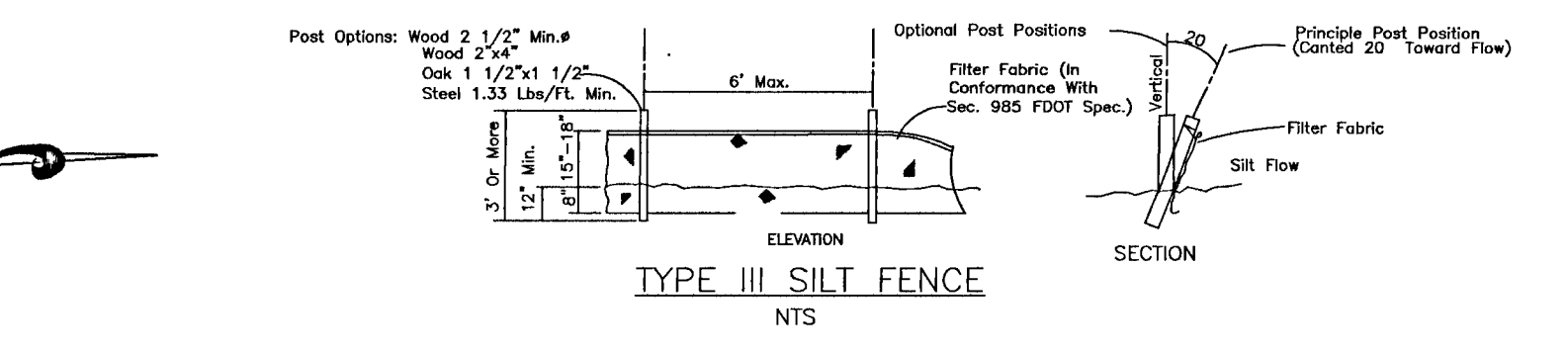
CONSTRUCTION PLANS FOR SUTTON PLACE SUBDIVISION EROSION CONTROL NOTES

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- LEGEND:
- ~ 4" x 4" PLAIN CONCRETE MONUMENT (FOUND)
  - ~ 4" x 4" CONCRETE MONUMENT, NUMBER 8298 (FOUND)
  - ~ 1/2" CAPPED IRON ROD, NUMBER 7174 (SET)
  - R/W ~ RIGHT OF WAY
  - (F) ~ FIELD MEASUREMENT/INFORMATION
  - (D) ~ DESCRIPTION INFORMATION
  - POB ~ POINT OF BEGINNING
  - ~ 4" HIGH METAL FENCE
  - ~ 6" HIGH WOOD BOARD FENCE
  - ~ 4" HIGH CHAIN LINK FENCE
  - ~ 4" HIGH WIRE FENCE
  - ~ OVERHEAD UTILITY LINES
  - ~ UTILITY POLE
  - ~ FIRE HYDRANT
  - ~ WATER VALVE
  - ~ WATER METER
  - ~ EX. SPOT ELEVATION
  - ~ PROPOSED SPOT ELEVATION
- ELEV. ~ ELEVATION  
INV. ~ INVERT ELEVATION  
R.C.P. ~ REINFORCED CONCRETE PIPE  
~ CONTOUR LINE  
~ BENCHMARK IN VICINITY
- SOIL INFO:  
24: POARCH SANDY LOAM, 0 TO 2 PERCENT SLOPES  
32: TROUP SAND, 0 TO 5 PERCENT SLOPES  
38: BONIFAY LOAMY SAND, 0 TO 5 PERCENT SLOPES



FLOOD ZONE DATA

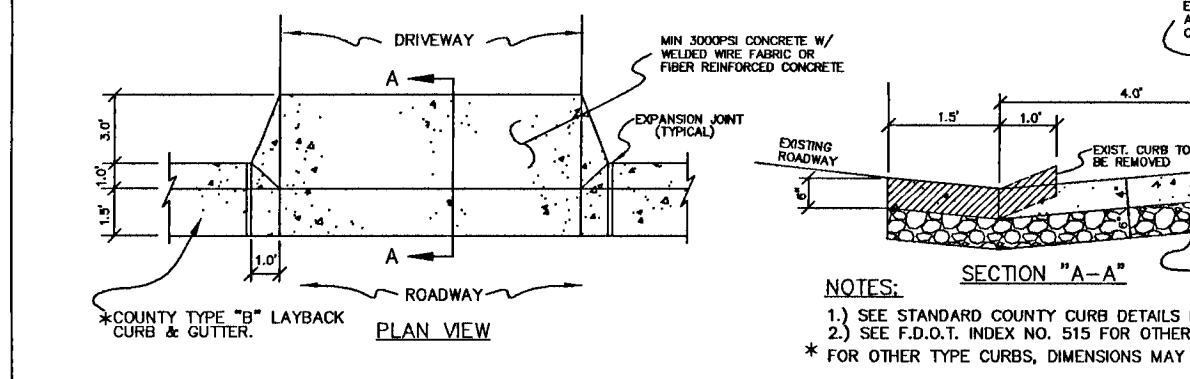
THE SUBJECT PROPERTY SHOWN HEREON IS LOCATED IN FLOOD ZONE X, (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND 2-PERCENT ANNUAL-CHANCE FLOODPLANS, NO BEE'S OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBER 12033C0280G, MAP REVISION DATED SEPTEMBER 29, 2006.

FLOOD ZONE(S)	NFP COMMUNITY NUMBER	MAP NUMBER	PANEL NUMBER(S)	SUFFIX	MAP REVISION DATE
X	120080	12033C	0280	G	SEPTEMBER 29, 2006

TYPICAL DRIVEWAY CONNECTION STANDARDS FOR EXISTING ROADWAY CONDITIONS

- NOTES:
1. ALL MATERIALS AND LABOR FOR INSTALLATION WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
  2. DRIVEWAYS ABUTTING PAVED ROADS SHALL BE 1-1/2" ASPHALT WITH 6" STABILIZED SUBGRADE OR 4" TO 6" CONCRETE WITH 4" STABILIZED SUBGRADE - 95% COMPACTION (MODIFIED PROCTOR) WITH LBR 40 BETWEEN EASEMENT AND R/W LINE.
  3. DRIVEWAYS ABUTTING A DIRT ROAD SHALL BE MILLED ASPHALT, GRADED AGGREGATE BASE, OR WASHED CONCRETE (4" IN DEPTH) ON THE COUNTY MAINTAINED PORTION OF DRIVEWAY.
  4. IF NECESSARY, REFER TO F.O.D.T. INDEX DETAILS AS REFERENCED BELOW.
  5. RADIUS OR FLARE IS ACCEPTABLE FOR TYPE II OR TYPE III CONNECTIONS.
  6. DRIVEWAYS WITHIN PROPERTY BOUNDARY SHALL PROVIDE A MINIMUM OF 2 PARKING SPACES.
  7. TYPICAL DRIVEWAY SECTIONS ARE TO BE 12' WIDE MINIMUM.

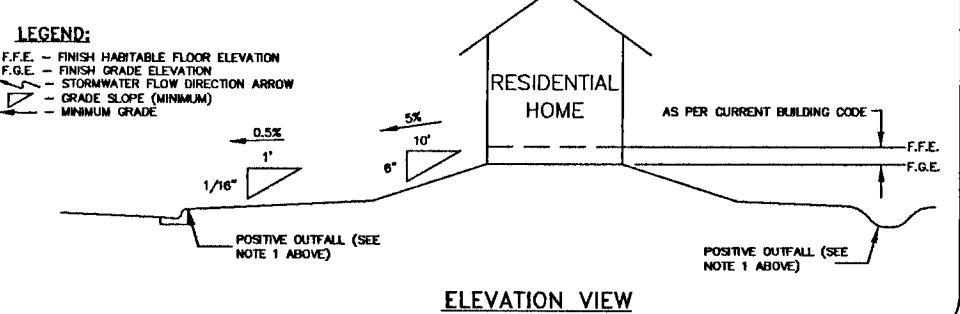
TYPE I CURB CUT DRIVEWAY FOR COUNTY TYPE "B" LAYBACK CURBS.



- HOMEOWNER NOTES:
1. INSTALL SILT FENCE ALONG ALL DOWN GRADIENT LOT BOUNDARY LINES.
  2. PROVIDE 12" WIDE, 4" THICK, FOOT #1 AGGREGATE CONSTRUCTION ACCESS DRIVE ON EACH LOT PRIOR TO COMMENCEMENT OF HOUSE CONSTRUCTION.
  3. FENCES SHALL BE INSTALLED IN A MANNER WHICH SHALL NOT IMPEDE STORMWATER FLOW.

MINIMUM STANDARDS FOR TYPICAL RESIDENTIAL GRADING CONTROL PLAN

- NOTES:
1. A POSITIVE DRAINAGE OUTFALL BY A CONVEYANCE SYSTEM (DRAINAGE EXISTENCE, ROADWAY WITH A DRAINAGE SYSTEM - CURB & GUTTER, OR EXISTING DRAINAGE SYSTEM) SHALL BE MAINTAINED TO A POSITIVE DRAINAGE SYSTEM. THE DRAINAGE SYSTEM SHALL BE MAINTAINED TO A POSITIVE DRAINAGE SYSTEM. THE DRAINAGE SYSTEM SHALL BE MAINTAINED TO A POSITIVE DRAINAGE SYSTEM.
  2. THE HOMEOWNER SHALL COMPLY WITH STATE PERMITTING REQUIREMENTS FOR LARGE AND SMALL CONSTRUCTION SITES. SPECIFICALLY SEE STATE PERMITS WHICH REQUIRE A DETAILED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING AVAILABLE ON-SITE FOR REVIEW PRIOR TO ANY CONSTRUCTION.
  3. LOT CLEARING ACTIVITIES SHALL NOT PROCEED WITHOUT BUILDING PERMITS FOR THOSE LOTS EXCLUDING CLEARING REQUIRED FOR CONSTRUCTION OF CONVEYANCE SWALES OR DRAINAGE FEATURES DESIGNATED AS THE DEVELOPER'S RESPONSIBILITY.
  4. DISTURBED LOT AREAS SHALL BE COMPLETELY STABILIZED WITH SOD. IF THE HOME IS CONSTRUCTED, STABILIZE THE FIRST 10' WITH SOD AND 300 AND/OR SEED AND MULCH THE REMAINDER OF THE LOT.
  5. THE HOMEOWNER SHALL COMPLY WITH STATE PERMITTING REQUIREMENTS FOR LARGE AND SMALL CONSTRUCTION SITES. SPECIFICALLY SEE STATE PERMITS WHICH REQUIRE A DETAILED STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BEING AVAILABLE ON-SITE FOR REVIEW PRIOR TO ANY CONSTRUCTION.
  6. ALL NEW MOUND, CONDUITS, AND OUTLETS SHALL BE ROUTED TO CARRY ALL STORMWATER TO THE ROADS OR SWALES THAT LEAD TO RETENTION POND OR APPROVED DRAINAGE SYSTEM.
  7. PROVIDE EROSION CONTROL MEASURES TO PREVENT ALL SEDIMENTS SHALL BE RETAINED ON EACH INDIVIDUAL LOT.
  8. WETLANDS SHALL BE PROTECTED WITH FIBER SILT FENCING AND BARRIERS (DOUBLE ROWS AS NECESSARY).



DRAINAGE STRUCTURES

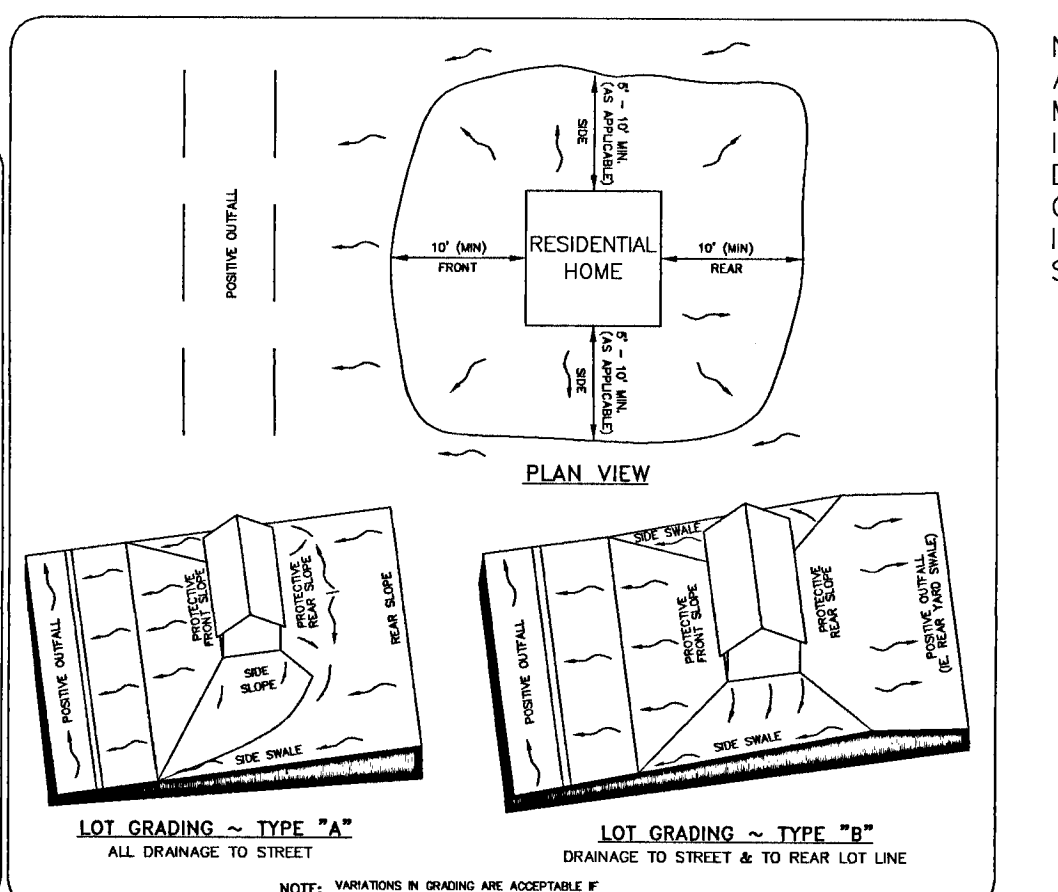
STRUCTURE #	DESCRIPTION
S-101	TYPE DOUBLE A CURB INLET W/ 4" DIA. BOTTOM
S-102	TYPE A CURB INLET W/ 4" DIA. BOTTOM
S-103	TYPE A CURB INLET W/ 4" DIA. BOTTOM
S-104	TYPE C OVERFLOW STRUCTURE

STORMWATER INFRASTRUCTURE TABLE

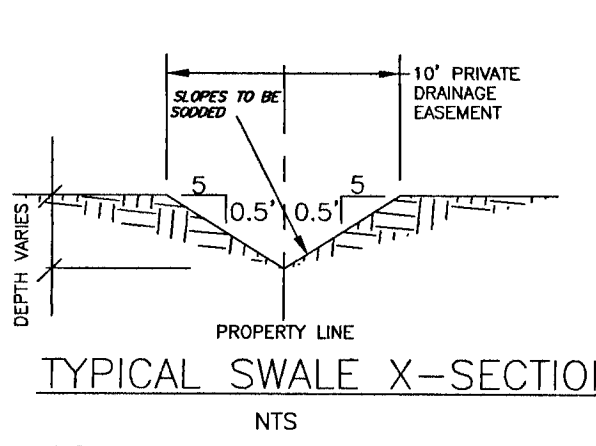
STRUCTURE	QUANTITY
STORMWATER PIPE	472
STORMWATER CURB INLETS	3
STORMWATER POND STRUCTURES	1

IMPERVIOUS AREA

ITEM	NET
LOTS (HOMES AND DRIVEWAYS, MAX OF 3500 EACH)	133,000 SF - 3.05 AC
ASPHALT ROADWAY AND CURBING	36,124 SF - 0.83 AC
TOTAL IMPERVIOUS AREA	169,124 SF - 3.88 AC



NOTE: FOR TREES REMAINING, ALL ADEQUATE TREE PROTECTION MEASURES AND BARRICADES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND MAINTAINED IN GOOD WORKING ORDER UNTIL PROJECT IS COMPLETE AND SITE BECOMES STABILIZED.



NOTE: CONSTRUCTION PLAN APPROVAL IS REQUIRED TO DOCUMENT THE DESIGN OF INFRASTRUCTURE TO ADEQUATELY SERVE THE CREATED LOTS. THE APPROVAL ALLOWS THE CONSTRUCTION OF THE SUBDIVISION INFRASTRUCTURE AREAS ONLY AS SPECIFICALLY DESIGNATED TO PROCEED, BUT IT DOES NOT ALLOW DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS. NEITHER PLAT OR PLAN ALLOW LAND DISTURBANCE ACTIVITIES AND DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS AS BUILDING PERMITS FOR THE DWELLINGS WILL BE REQUIRED FOR THESE ACTIVITIES ON EACH LOT/PARCEL IN THE FUTURE. (LDC, CHAPTER 2 DEVELOPMENT & COMPLIANCE REVIEW, ARTICLE 5 SUBDIVISION, SECTION 2-5-6 CONSTRUCTION PLANS; ART. 3 LAND DISTURBANCE ACTIVITIES, SEC. 2-3-1, 2-3-2, & 2-3-6; LDC, DSM, CHAP. 2 ENVIRONMENTAL, ARTICLE 2, LANDSCAPING, 2-1-1 TREE PROTECTION & PRESERVATION, (E.) RESIDENTIAL LOTS.)

CONSTRUCTION PLANS FOR SUTTON PLACE SUBDIVISION GRADING PLAN

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CHECKED BY: TGH  
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PROJECT NO: 20-090  
SHEET: 05

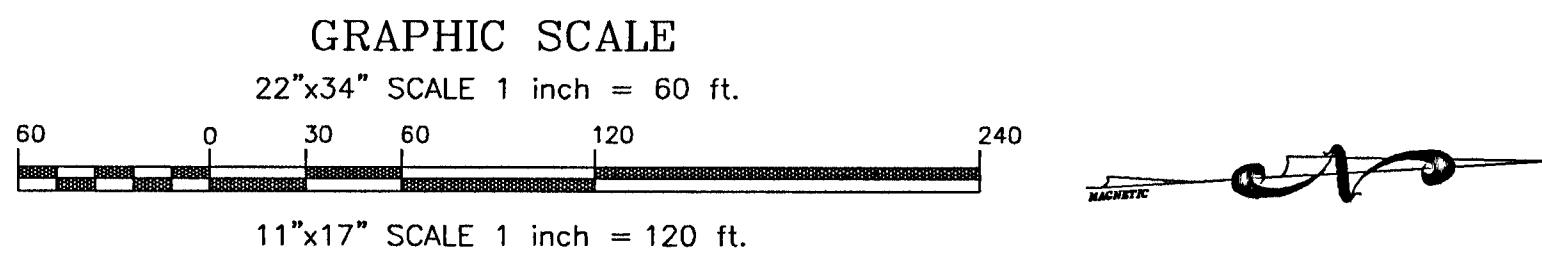
HAMMOND ENGINEERING, INC.  
FLORIDA AUTHORIZATION NO. 9130  
ALABAMA AUTHORIZATION NO. 3277  
3802 NORTH "G" STREET  
PENSACOLA, FLORIDA 32505  
850 434-2603  
FAX 850-434-2650  
TOM@BELANDESIGN.COM

REVISIONS

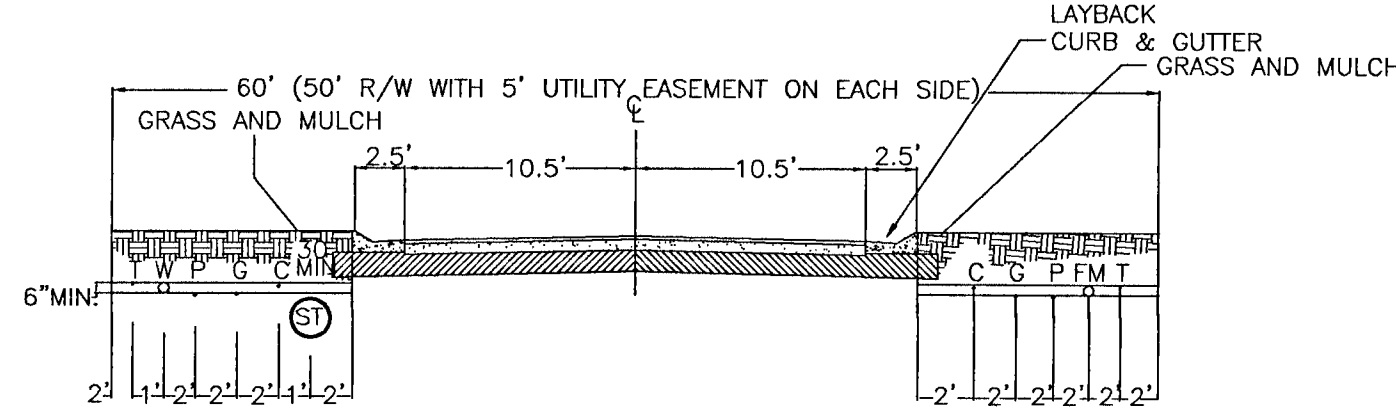
NO.	DATE	DESCRIPTION
1.	9/17/2021	AS PER ESCAMBIA COUNTY DRC REVIEW
2.	10/25/2021	AS PER ESCAMBIA COUNTY COMMENTS
3.	10/28/2021	AS PER ESCAMBIA COUNTY COMMENTS

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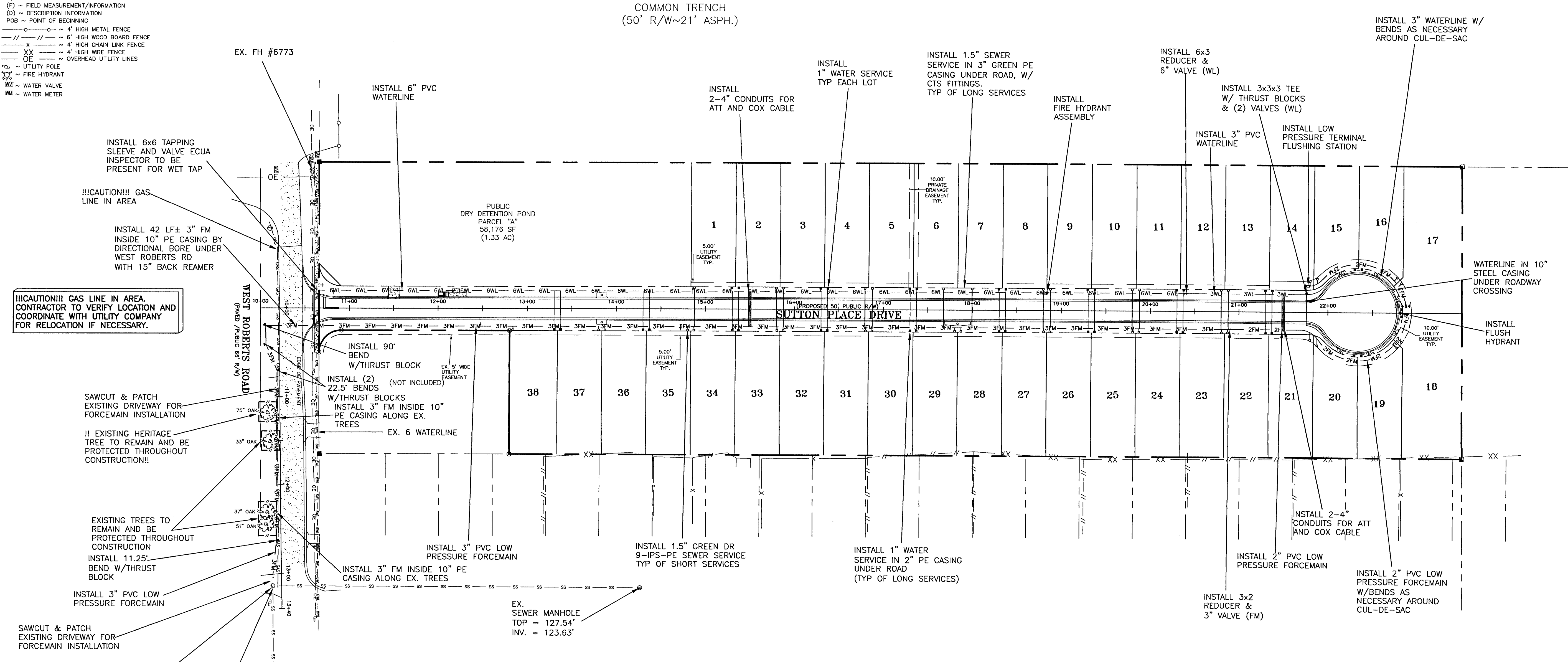




LEGEND:  
~ 4" x 4" PLAIN CONCRETE MONUMENT (FOUND)  
~ 4" x 4" CONCRETE MONUMENT, NUMBER 8298 (FOUND)  
~ 1/2" CAPPED IRON ROD, NUMBER 7174 (SET)  
R/W ~ RIGHT OF WAY  
(F) ~ FIELD MEASUREMENT/INFORMATION  
(D) ~ DESCRIPTION INFORMATION  
POB ~ POINT OF BEGINNING  
--- 4" HIGH METAL FENCE  
--- 6" HIGH WOOD BOARD FENCE  
--- X --- 4" HIGH CHAIN LINK FENCE  
--- XX --- 4" HIGH WIRE FENCE  
--- OE --- OVERHEAD UTILITY LINES  
~ UTILITY POLE  
~ FIRE HYDRANT  
~ WATER VALVE  
~ WATER METER



NOTE: CONSTRUCTION PLAN APPROVAL IS REQUIRED TO DOCUMENT THE DESIGN OF INFRASTRUCTURE TO ADEQUATELY SERVE THE CREATED LOTS. THE APPROVAL ALLOWS THE CONSTRUCTION OF THE SUBDIVISION INFRASTRUCTURE AREAS ONLY AS SPECIFICALLY DESIGNATED TO PROCEED, BUT IT DOES NOT ALLOW DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS. NEITHER PLAT OR PLAN ALLOW LAND DISTURBANCE ACTIVITIES AND DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS AS BUILDING PERMITS FOR THE DWELLINGS WILL BE REQUIRED FOR THESE ACTIVITIES ON EACH LOT/PARCEL IN THE FUTURE. (LDC, CHAPTER 2 DEVELOPMENT & COMPLIANCE REVIEW, ARTICLE 5 SUBDIVISION, SECTION 2-5.6 CONSTRUCTION PLANS; ART. 3 LAND DISTURBANCE ACTIVITIES, SEC. 2-3.1, 2-3.2, & 2-3.6; LDC, CHAP. 2 ENVIRONMENTAL, ARTICLE 2, LANDSCAPING, 2-1.1 TREE PROTECTION & PRESERVATION, (E.) RESIDENTIAL LOTS.)



LOW PRESSURE RESIDENTIAL SEWER SERVICE:  
RESIDENTIAL PUMP STATIONS TO HAVE 24" DIA. BASIN WITH HCP PUMP MODEL 326F22.2H

AS MANUFACTURED BY:  
HCP PUMPS AMERICA, INC.  
1723 INDUSTRIAL PKWY  
FOLEY, AL 36535  
P: 251-943-8080  
F: 205-763-3002  
WWW.HCPPUMPSOFAMERICA.COM  
OR APPROVED EQUAL

NOTE:  
PRIVATE GRINDER PUMP STATIONS LOCATED ON EACH RESIDENTIAL LOT SHALL BE MAINTAINED BY THE HOMEOWNERS

NOTE:  
PER ECUA, GRINDER PUMPS SHALL PROVIDE A MINIMUM OF 21 GPM AT 50 PSI.

NOTE: WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER. REFERENCE ECUA DETAIL D-64 (WATER/SEWER SEPARATION)

#### UTILITIES NARRATIVE:

POTABLE WATER:  
AFTER RECEIVING ERP, ECUA AND ESCAMBIA COUNTY APPROVALS, THE DEVELOPER PLANS TO CONNECT TO THE EXISTING, ADJACENT SYSTEM OF ECUA, CONSTRUCTING ALL NECESSARY UNDERGROUND WATER MAINS, VALVES AND FIRE HYDRANTS TO SERVE THIS DEVELOPMENT. UPON COMPLETION, THE ENTIRE SYSTEM WILL THEN BE TURNED OVER TO ECUA FOR ACCEPTANCE AND MAINTENANCE.

SANITARY SEWER:  
AFTER RECEIVING ERP, ECUA AND ESCAMBIA COUNTY APPROVALS, THE DEVELOPER PLANS TO CONNECT TO THE EXISTING, ADJACENT SYSTEM OF ECUA, CONSTRUCTION OF PRIVATE LOW PRESSURE SYSTEMS TO SERVE THIS DEVELOPMENT. UPON COMPLETION, THE ENTIRE SYSTEM LOCATED WITHIN THE RIGHTS OF WAYS AND EASEMENTS WILL BE TURNED OVER TO ECUA FOR ACCEPTANCE AND MAINTENANCE. PRIVATE GRINDER STATIONS SHALL BE MAINTAINED BY THE HOME OWNERS.

STORM SEWER:  
AFTER RECEIVING ERP AND ESCAMBIA COUNTY APPROVALS, THE DEVELOPER PLANS TO CONSTRUCT ALL NECESSARY STORMWATER MANHOLES, PIPES AND STORMWATER PONDS TO SERVE THIS DEVELOPMENT. THE ENGINEER WILL DESIGN THE STORM DRAINAGE SYSTEM TO COMPLY WITH ESCAMBIA COUNTY SUBDIVISION AND STORMWATER ORDINANCES. UPON COMPLETION, THE ENTIRE SYSTEM WILL BE TURNED OVER TO THE COUNTY FOR OWNERSHIP AND MAINTENANCE INCLUDING THE DETENTION PONDS.

ELECTRIC, GAS, TELEPHONE & TV CABLE:  
THESE SERVICES TO BE INSTALLED AND MAINTAINED BY THE APPROPRIATE UTILITY COMPANY.

#### NOTES:

ALL PROPOSED UNDERGROUND UTILITIES WITHIN R/W'S OR UTILITY CONDUIT FOR ROAD CROSSINGS SHALL BE INSTALLED PRIOR TO PAVING. NO STREETS OR ROADS UNDER THE TWO (2) YEAR WARRANTY SHALL BE ALLOWED TO BE OPEN-CUT, OR JACK-AND-BORED. TO ACCOMPLISH THIS REQUIREMENT, COMMON TRENCHING IS REQUIRED WHENEVER POSSIBLE. IF COMMON TRENCHING IS NOT A FEASIBLE OPTION, THE DEVELOPER SHALL INSTALL CONDUIT FOR THE UTILITY NOT PARTICIPATING IN THE COMMON TRENCHING FOR ALL ROAD CROSSINGS AND THE UTILITY COMPANY WILL BE REQUIRED TO USE THE CONDUIT. THIS SHALL REQUIRE PLANNING BETWEEN THE DEVELOPER AND THE UTILITY.

ROUGH GRADE OF RIGHT-OF-WAY MUST BE ESTABLISHED PRIOR TO COMMON TRENCH UTILITY INSTALLATION TO ENSURE UTILITIES ARE INSTALLED AT MINIMUM AND MAXIMUM DEPTHS. A MINIMUM 30" OF COVER IS REQUIRED OVER ALL UTILITIES. THIS DIMENSION SHALL BE MEASURED FROM PROPOSED GRADE IF ROAD IS IN FILL AND MEASURED FROM TOP OF CURB IF ROAD IS IN CUT.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR RECORD AT LEAST TWO WEEKS PRIOR TO PLACEMENT OF BASE MATERIAL TO ASSIST IN THE COORDINATION OF ALL OTHER UNDERGROUND UTILITIES.

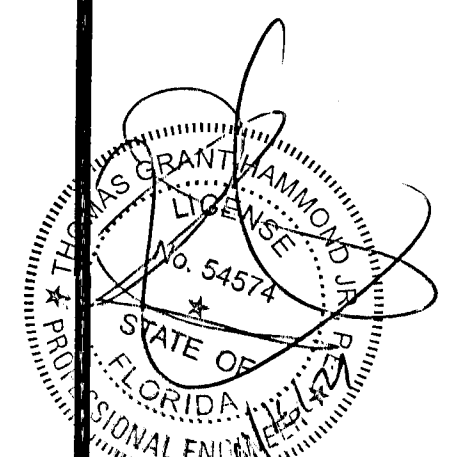
CONTRACTOR TO INSTALL WATER SERVICES FOR EACH LOT, OPPOSITE THE PROPERTY CORNER THAT GULF POWER HAS PROPOSED POWER TRANSFORMERS.

PROPOSED WATERLINES AND FORCE MAIN SHALL HAVE A MINIMUM COVER OF 30" AND A MAXIMUM COVER OF 36" BELOW PROPOSED FINISHED GRADE UNLESS NOTED OTHERWISE

CONTRACTOR SHALL INSTALL EACH UTILITY SERVICE IN THE LOCATION AS SHOWN IN THE COMMON TRENCH DETAIL.

ELECTRIC/PHONE/CABLE/GAS STRUCTURES INSTALLED WITHIN DRAINAGE/ACCESS EASEMENTS SHALL BE LOCATED ALONG THE BOUNDARY OF THE EASEMENT TO MAXIMIZE CLEAR ACCESS FOR MAINTENANCE EQUIPMENT.

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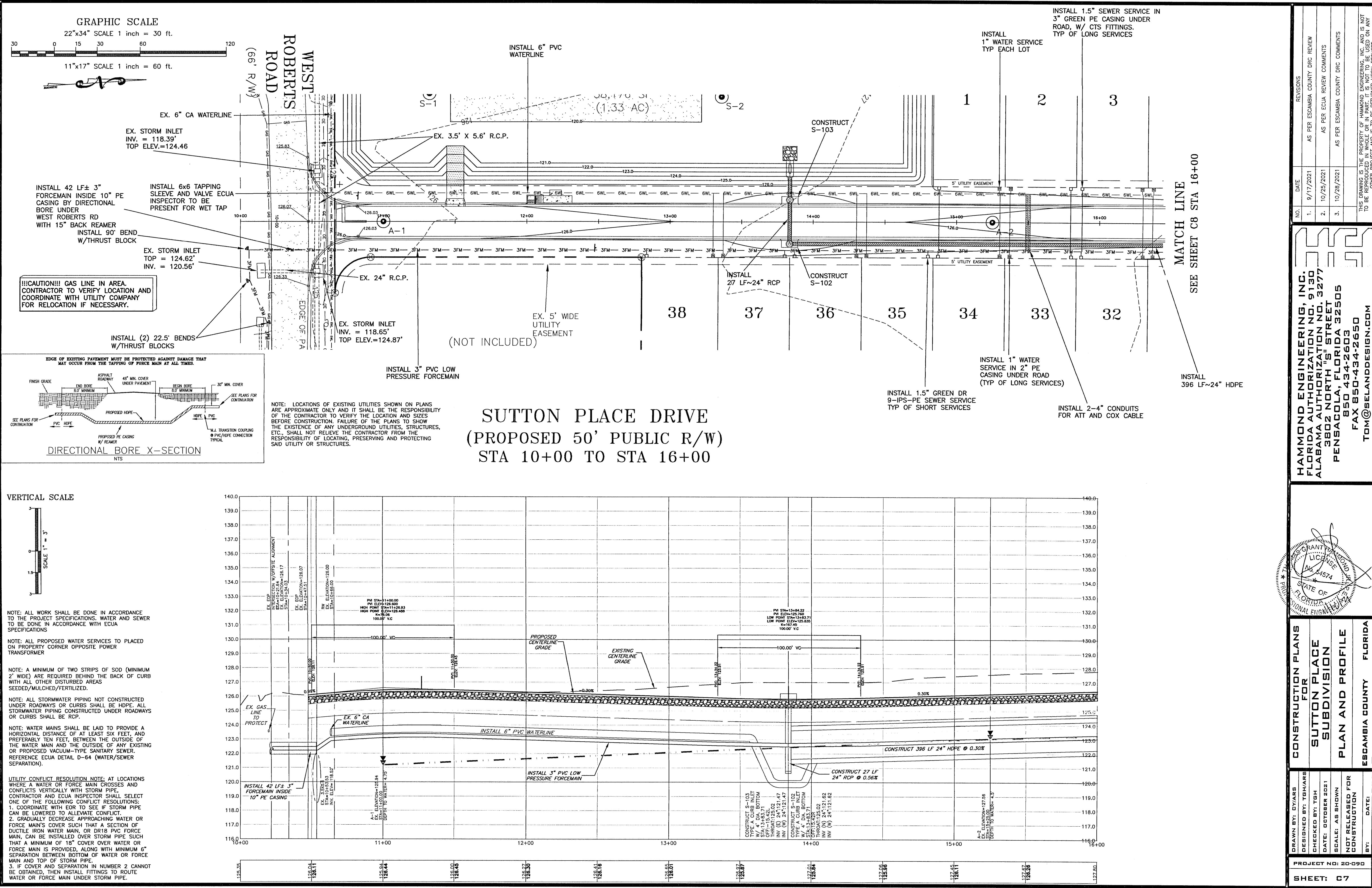


CONSTRUCTION PLANS  
FOR  
SUTTON PLACE  
SUBDIVISION  
UTILITY MASTER  
PLAN  
FLORIDA  
ESCAMBIA COUNTY

DRAWN BY: CYARS  
DESIGNED BY: TGH/ARS  
CHECKED BY: TGH  
DATE: OCTOBER 2021  
SCALE: AS SHOWN  
NOT RELEASED FOR  
CONSTRUCTION  
BY: DATE:

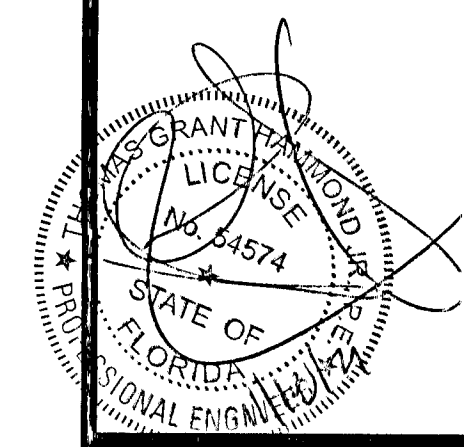
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SHEET: 06





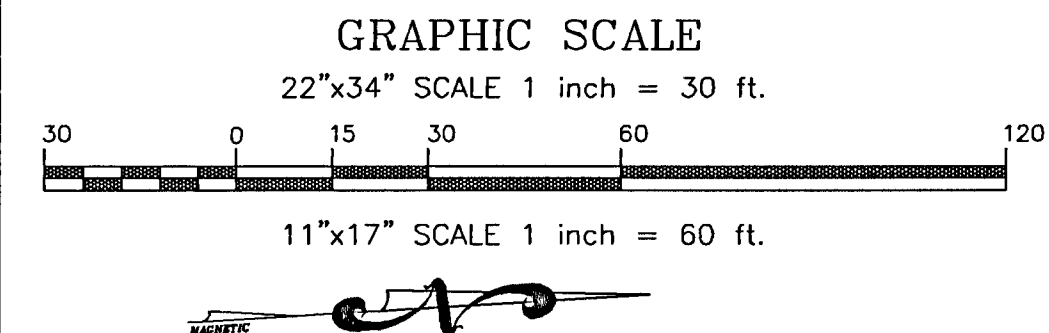
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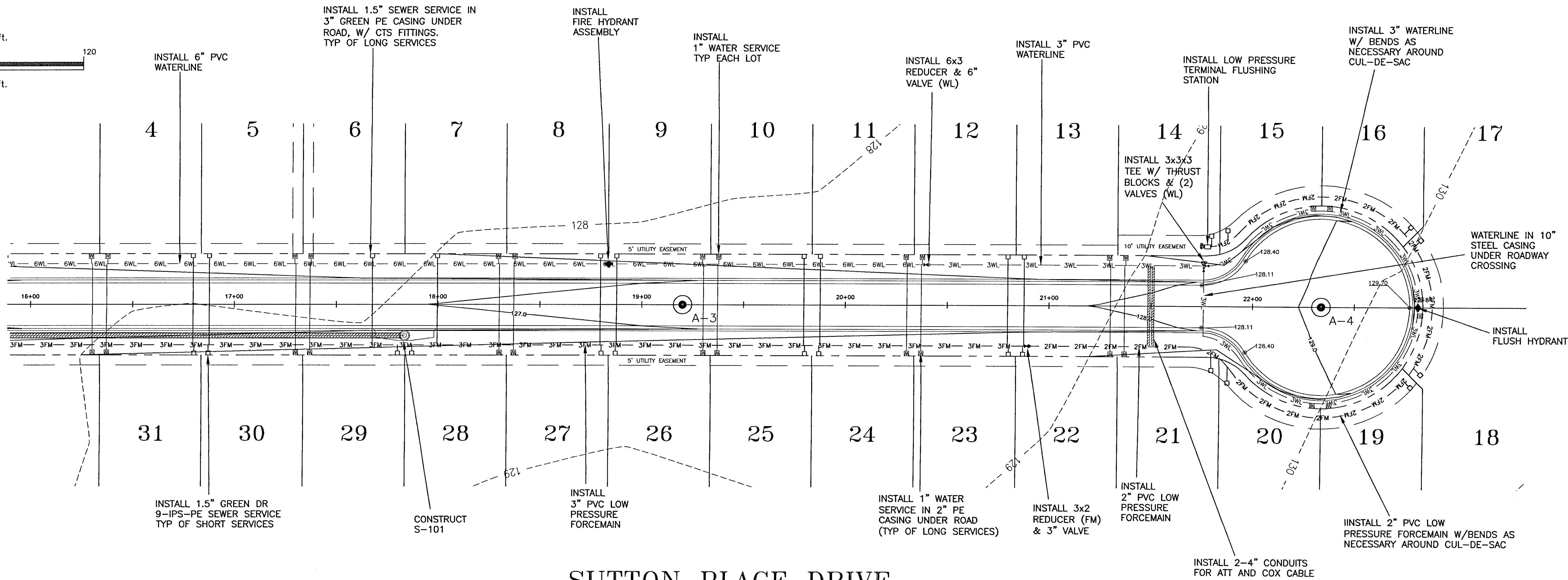


DRAWN BY: DVARB	DESIGNED BY: TGH/ARB
CHECKED BY: TGH	DATE: OCTOBER 2021
SCALE: AS SHOWN	NOT RELEASED FOR CONSTRUCTION
BY:	DATE:



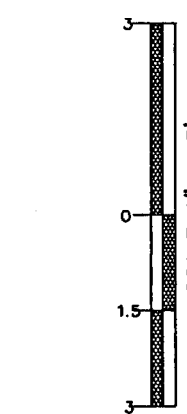


MATCH LINE  
SEE SHEET C7 STA 16+00



SUTTON PLACE DRIVE  
(PROPOSED 50' PUBLIC R/W)  
STA 16+00 TO STA 22+84

VERTICAL SCALE



NOTE: ALL WORK SHALL BE DONE IN ACCORDANCE TO THE PROJECT SPECIFICATIONS. WATER AND SEWER TO BE DONE IN ACCORDANCE WITH ECUA SPECIFICATIONS

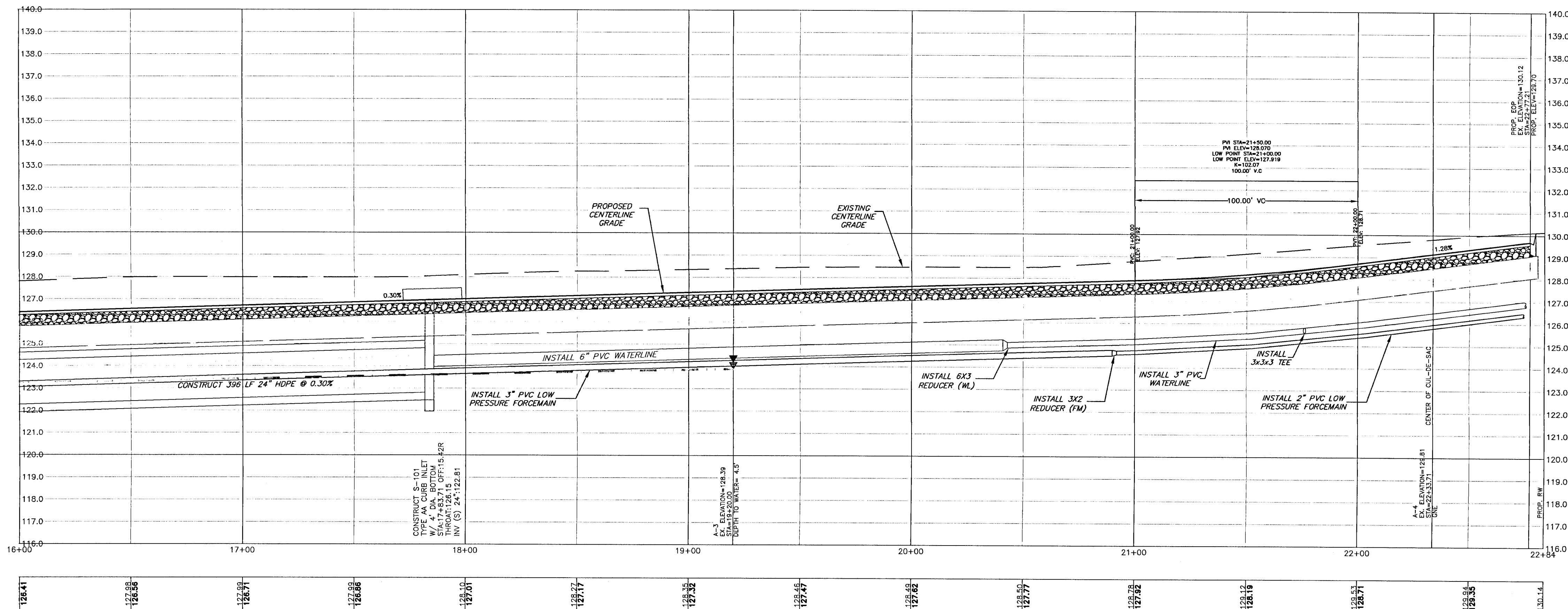
NOTE: ALL PROPOSED WATER SERVICES TO BE PLACED ON PROPERTY CORNER OPPOSITE POWER TRANSFORMER

NOTE: A MINIMUM OF TWO STRIPS OF SOD (MINIMUM 2' WIDE) ARE REQUIRED BEHIND THE BACK OF CURB WITH ALL OTHER DISTURBED AREAS SEEDED/MULCHED/FERTILIZED.

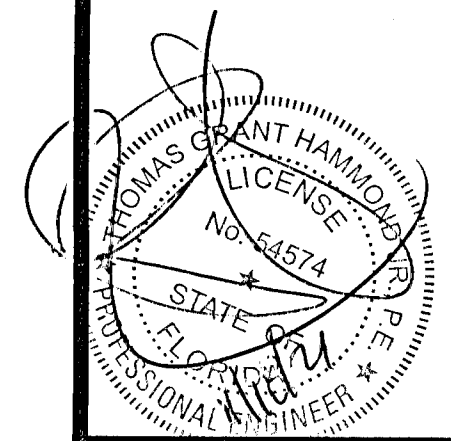
NOTE: ALL STORMWATER PIPING NOT CONSTRUCTED UNDER ROADWAYS OR CURBS SHALL BE HOPE. ALL STORMWATER PIPING CONSTRUCTED UNDER ROADWAYS OR CURBS SHALL BE RCP.

NOTE: WATER MAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER. REFERENCE ECUA DETAIL D-64 (WATER/SEWER SEPARATION).

UTILITY CONFLICT RESOLUTION NOTE: AT LOCATIONS WHERE A WATER OR FORCE MAIN CROSSES AND CONFLICTS VERTICALLY WITH STORM PIPE, CONTRACTOR AND ECUA INSPECTOR SHALL SELECT ONE OF THE FOLLOWING CONFLICT RESOLUTIONS:  
1. COORDINATE WITH EOR TO SEE IF STORM PIPE CAN BE LOWERED TO ALLEVATE CONFLICT.  
2. GRADUALLY DECREASE APPROACHING WATER OR FORCE MAIN'S COVER SUCH THAT A SECTION OF DUCTILE IRON WATER MAIN, OR DR18 PVC FORCE MAIN, CAN BE INSTALLED OVER STORM PIPE SUCH THAT A MINIMUM OF 18" COVER OVER WATER OR FORCE MAIN IS PROVIDED, ALONG WITH MINIMUM 6" SEPARATION BETWEEN BOTTOM OF WATER OR FORCE MAIN AND TOP OF STORM PIPE.  
3. IF COVER AND SEPARATION IN NUMBER 2 CANNOT BE OBTAINED, THEN INSTALL FITTINGS TO ROUTE WATER OR FORCE MAIN UNDER STORM PIPE.



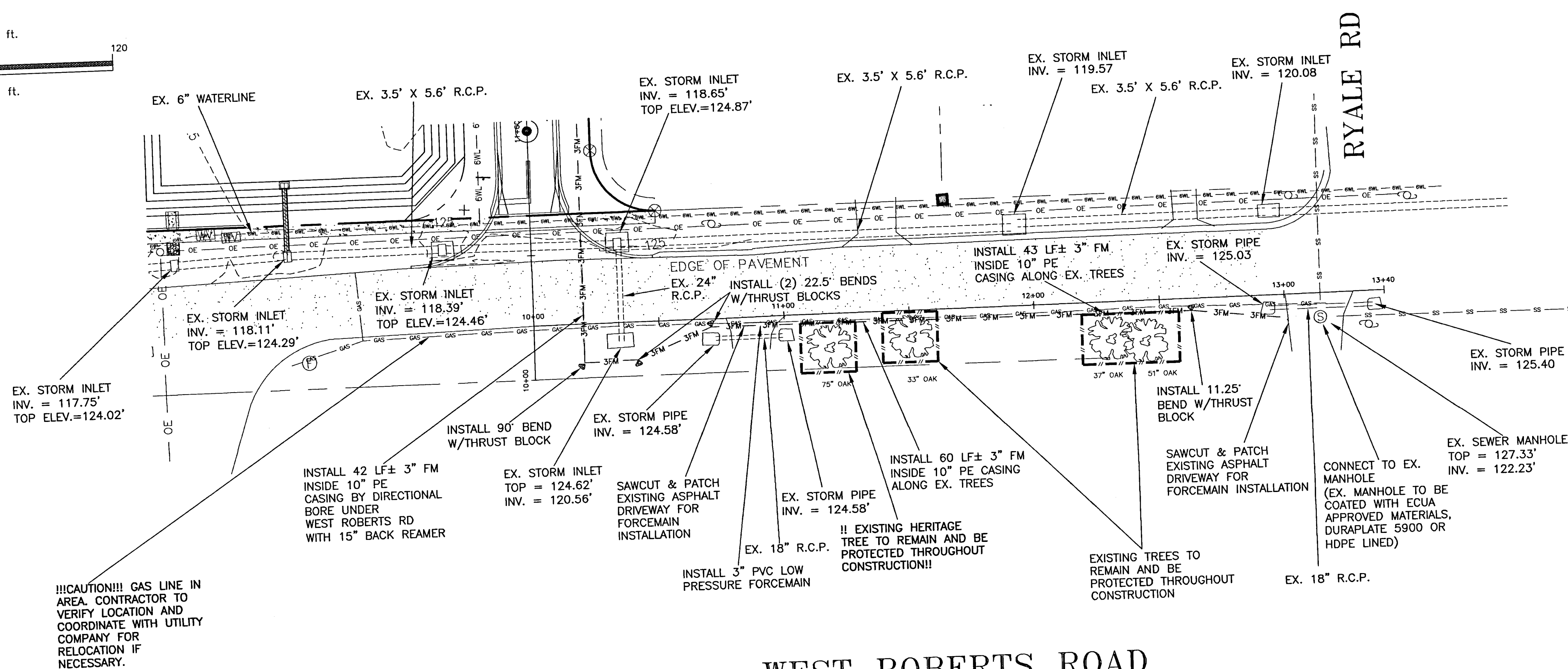
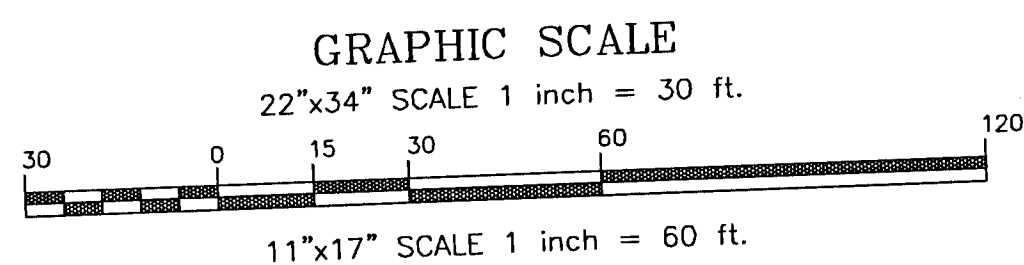
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CONSTRUCTION PLANS  
FOR  
SUTTON PLACE  
SUBDIVISION  
PLAN AND PROFILE  
ESCAMBIA COUNTY FLORIDA

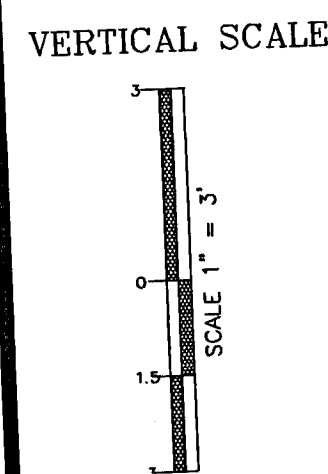
DRAWN BY: DYARS  
DESIGNED BY: TGH/ARS  
CHECKED BY: TGH  
DATE: OCTOBER 2021  
SCALE: AS SHOWN  
NOT RELEASED FOR  
CONSTRUCTION  
BY: DATE:  
PROJECT NO: 20-090  
SHEET: C8





WEST ROBERTS ROAD  
(66 R/W)  
STA 10+00 TO STA 13+40

NOTE: NEXT DOWNSTREAM  
MANHOLE TO BE COATED WITH  
ECUA APPROVED MATERIALS,  
DURAPLATE 5900 OR HDPE LINED.

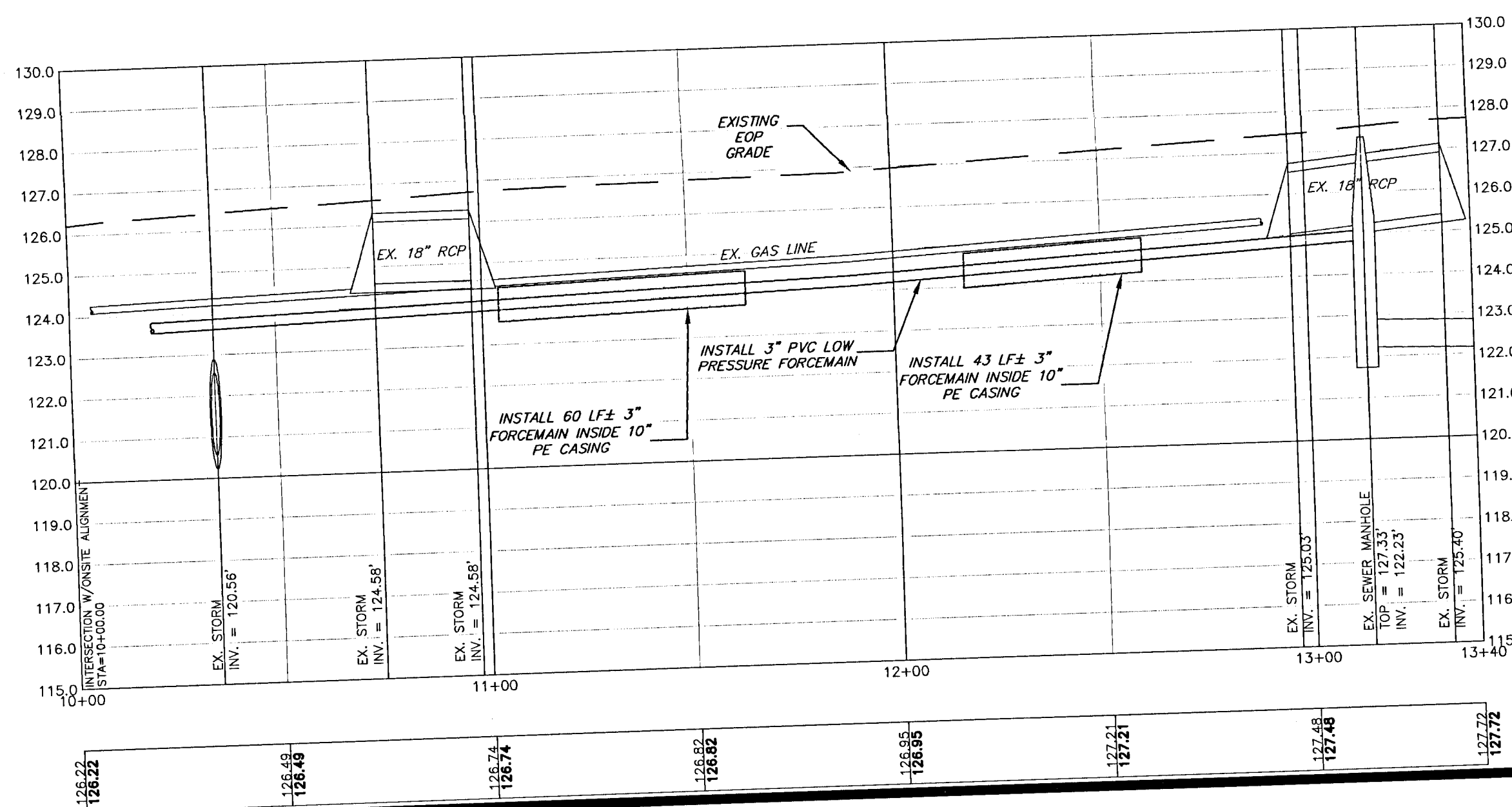


NOTE:  
ALL EXISTING DRIVEWAYS TO BE  
DISTURBED SHALL BE RESTORED TO  
ORIGINAL OR BETTER CONDITION.

EROSION CONTROL NOTES:

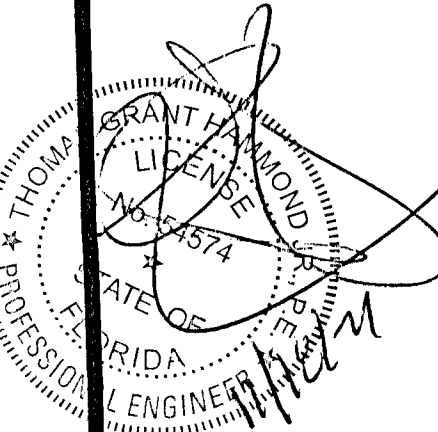
- CONTRACTOR TO IMPLEMENT BMPs AS NECESSARY THROUGHOUT CONSTRUCTION
- THE EROSION AND SEDIMENT CONTROL RULES ARE PERFORMANCE ORIENTED. THAT IS, THE MEASURES USED AT A CONSTRUCTION SITE MUST BE EFFECTIVE IN CONTROLLING EROSION AND PREVENTING OFF-SITE SEDIMENTATION FOR THE SITE TO BE IN COMPLIANCE. FOLLOWING AN APPROVED PLAN AND INSTALLING THE CONTROL MEASURES MAY NOT BE ENOUGH FOR A SITE TO BE IN COMPLIANCE WITH THE RULES. IF EROSION AND OFF-SITE SEDIMENTATION OCCUR, THE CONTRACTOR WILL BE RESPONSIBLE FOR INSTALLING ADDITIONAL MEASURES TO CORRECT ANY PROBLEM ASSOCIATED WITH COMPLIANCE OF THE NPDES PERMIT OR ANY OTHER PERMIT REQUIRED FOR THE SITE CONSTRUCTION. THE CONTRACTOR WILL ALSO BE COMPLETELY RESPONSIBLE FOR ANY FINES LEVIED BY ANY GOVERNING AGENCY ON THE PROJECT DURING CONSTRUCTION.

NOTE:  
EXISTING CULVERTS TO REMAIN AND BE PROTECTED  
THROUGHOUT INSTALLATION OF FORCEMAIN. ANY  
DAMAGE TO EXISTING CULVERTS SHALL BE REPAIRED.



NOTES:

- ALL WASTEWATER FORCE MAIN SYSTEM WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST ECUA DESIGN STANDARDS, ALL APPLICABLE LOCAL AND STATE REGULATORY RULES AND REGULATIONS, AND OTHER APPLICABLE ECUA RULES.
- ALL WASTEWATER FORCE MAIN SYSTEM CONSTRUCTION WORK SHALL BE PROVIDED BY A CONTRACTOR QUALIFIED AS REQUIRED UNDER THE CURRENT FLORIDA STATUTE OR BY AN UNDERGROUND UTILITY CONTRACTOR, LICENSED UNDER THE PROVISIONS OF CHAPTER 489 FS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CITY OR COUNTY RIGHT-OF-WAY (R/W) PERMITS FOR WORK IN THE CITY R/W, COUNTY R/W OR A FDOT PERMIT FOR WORK IN THE FDOT R/W.
- THE CONTRACTOR SHALL CONTACT ECUA'S FIELD INSPECTOR A MINIMUM 48 HOURS PRIOR TO INITIATING THE WASTEWATER FORCE MAIN SYSTEM WORK, INCLUDING ALL UTILITY MAIN TAPS BY THE CONTRACTOR.
- THE MINIMUM HORIZONTAL AND VERTICAL SEPARATION REQUIREMENTS FOR THE WASTEWATER FORCE MAIN SYSTEM OR SEWER IMPROVEMENTS SHALL CONFORM TO THE LATEST ECUA AND FDEP RULES. THE MINIMUM HORIZONTAL SEPARATION REQUIREMENTS BETWEEN THE PROPOSED SEWER UTILITIES AND PONDS OR STRUCTURES SHALL CONFORM TO THE LATEST ECUA DESIGN STANDARDS.
- WASTEWATER FORCE MAIN SYSTEM PIPES SHALL BE CONSTRUCTED WITH A MINIMUM OF 30 INCHES OF COVER IN UNPAVED AREAS AND A MINIMUM OF 36 INCHES OF COVER IN PAVED AREAS. THE MAXIMUM COVER FOR UTILITIES UTILIZING HORIZONTAL DIRECTIONAL DRILL METHODS SHALL COMPLY WITH THE LATEST ECUA DESIGN STANDARDS.
- THE CONTRACTOR SHALL MINIMIZE SERVICE INTERRUPTIONS TO EXISTING ECUA CUSTOMERS. IF ECUA APPROVES A SERVICE INTERRUPTION, THEN THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING THE NOTIFICATION OF IMPACTED CUSTOMERS IN ACCORDANCE WITH THE LATEST ECUA RULES.
- LANDSCAPING TO BE REPAIRED/REPLACED TO MATCH EXISTING CONDITIONS.
- ALL DISTURBED EXISTING DRIVEWAYS AND OTHER STRUCTURES IN THE RIGHT OF WAY SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
- CONTRACTOR TO COORDINATE DRIVEWAY CUT AND REPAIR WITH HOMEOWNER
- ALL DISTURBED AREAS IN R/W TO BE SODDED.



CONSTRUCTION PLANS  
FOR  
SUTTON PLACE  
SUBDIVISION  
PLAN AND PROFILE  
OFFSITE IMPROVEMENTS  
FLORIDA

DRAWN BY: GYANS  
DESIGNED BY: TGH/ARS  
CHECKED BY: TGH  
DATE: OCTOBER 2021  
SCALE: AS SHOWN  
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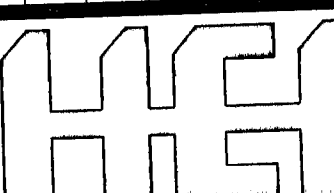
PROJECT NO: 20-090

SHEET: CBA

REVISIONS

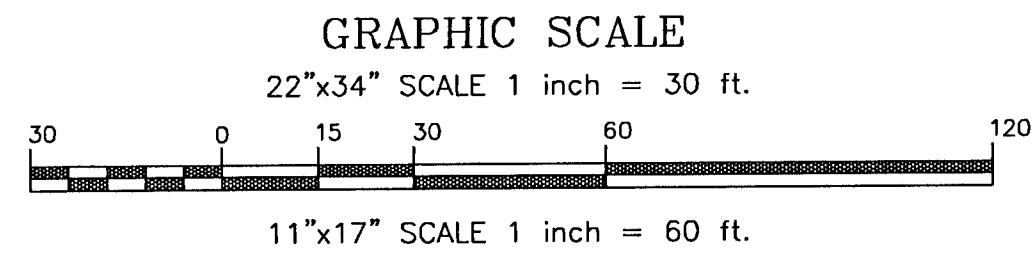
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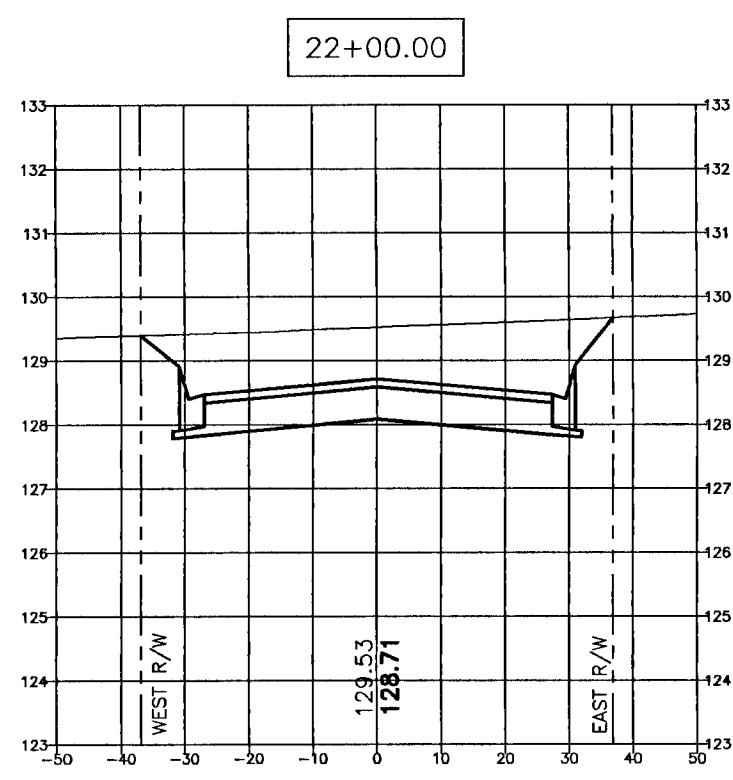
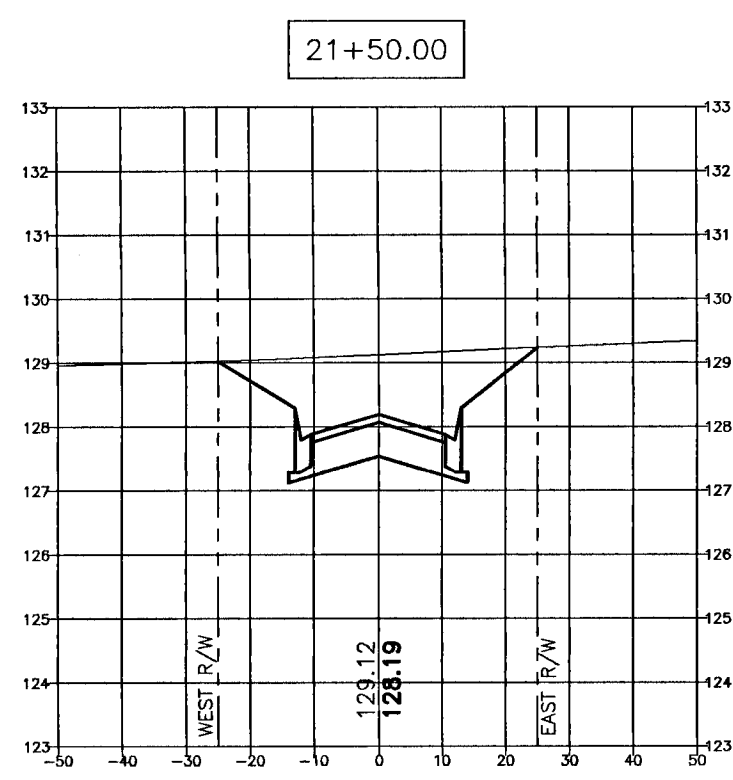
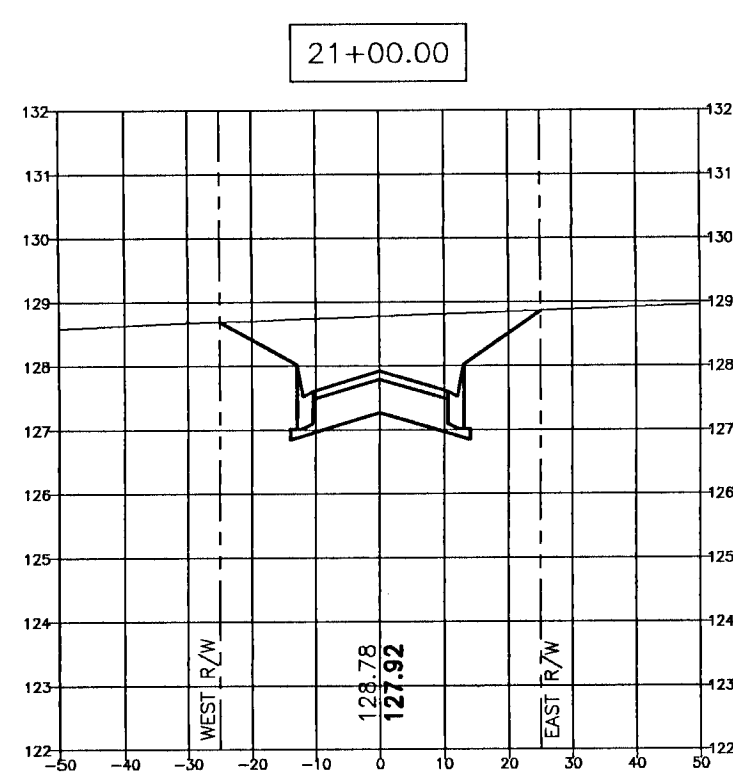
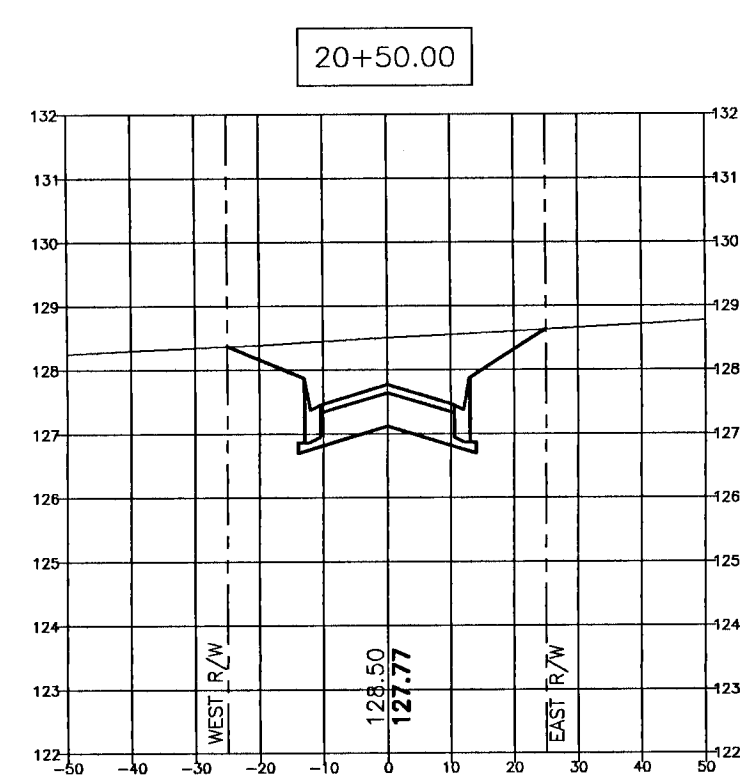
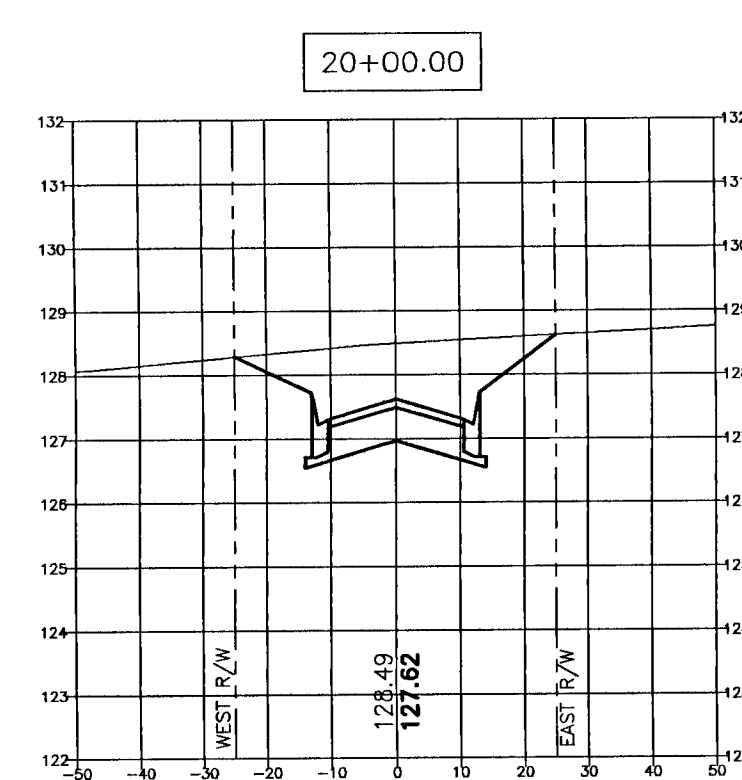
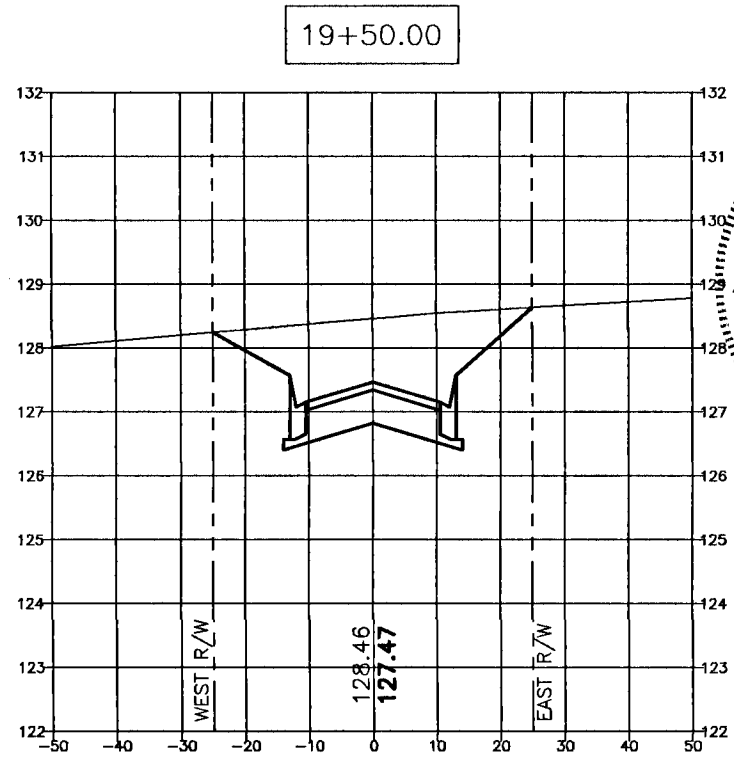
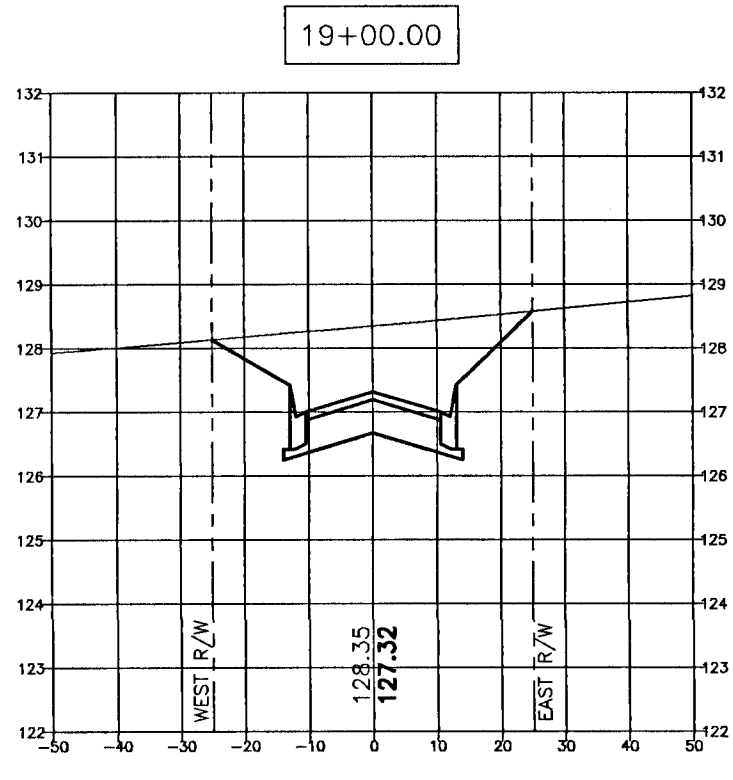
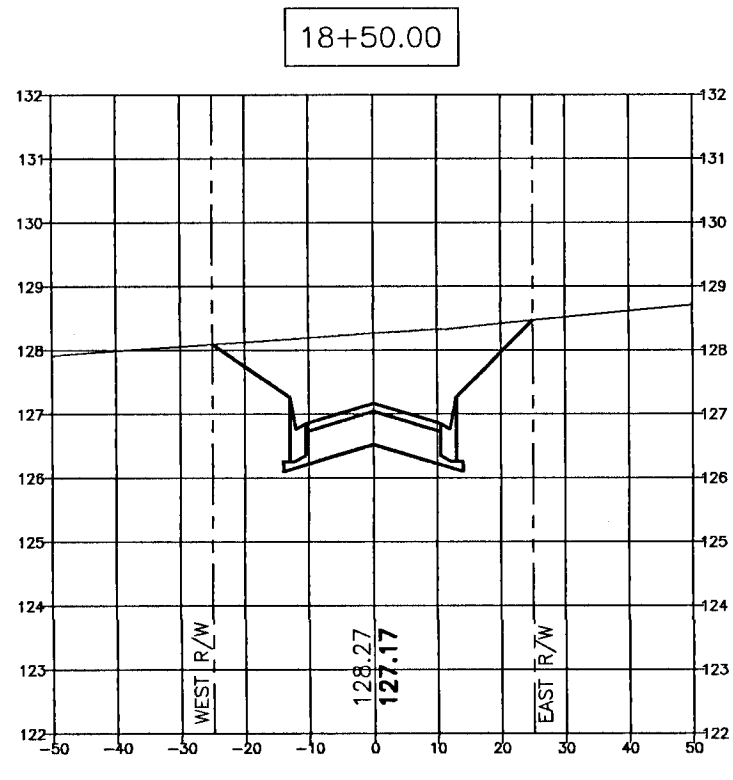
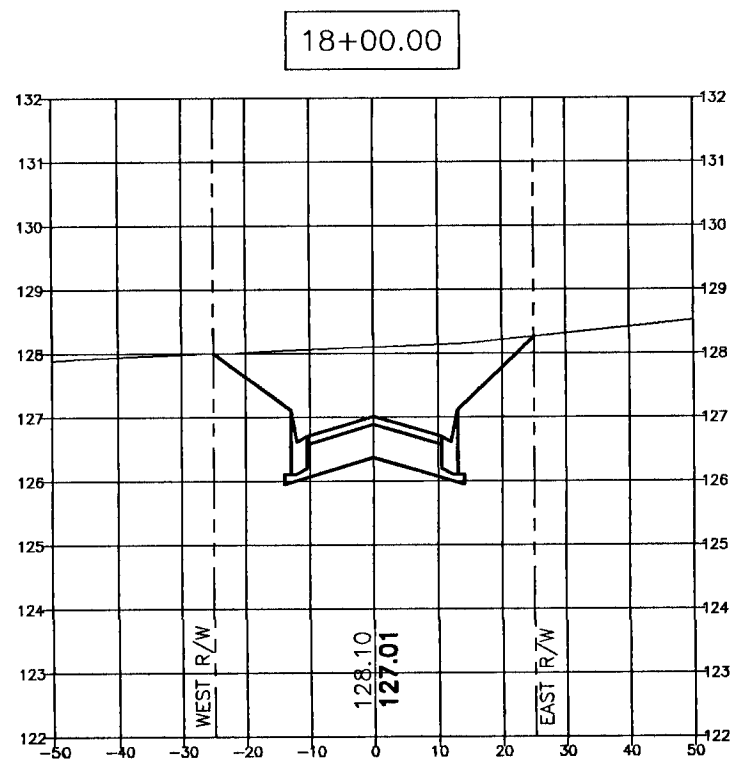
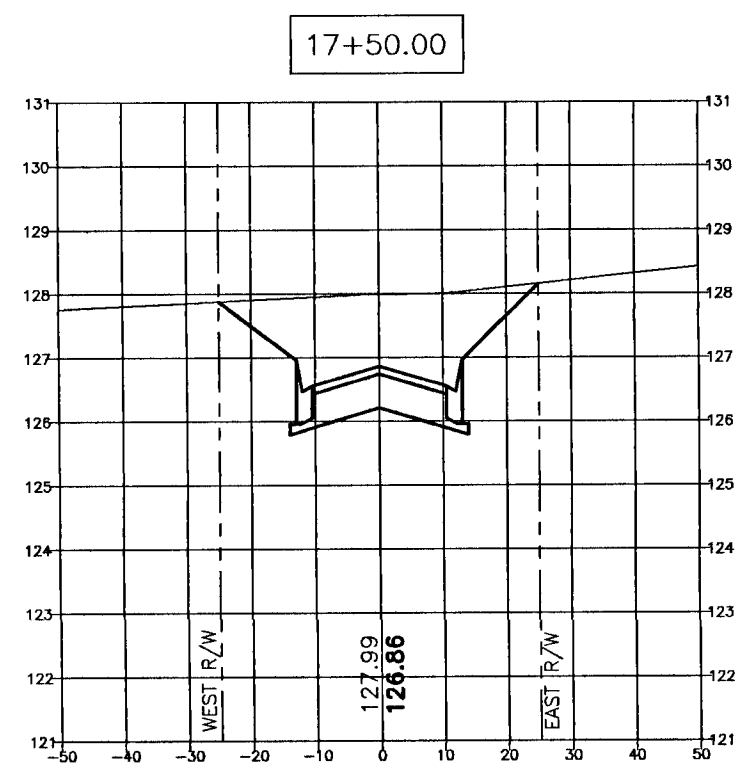
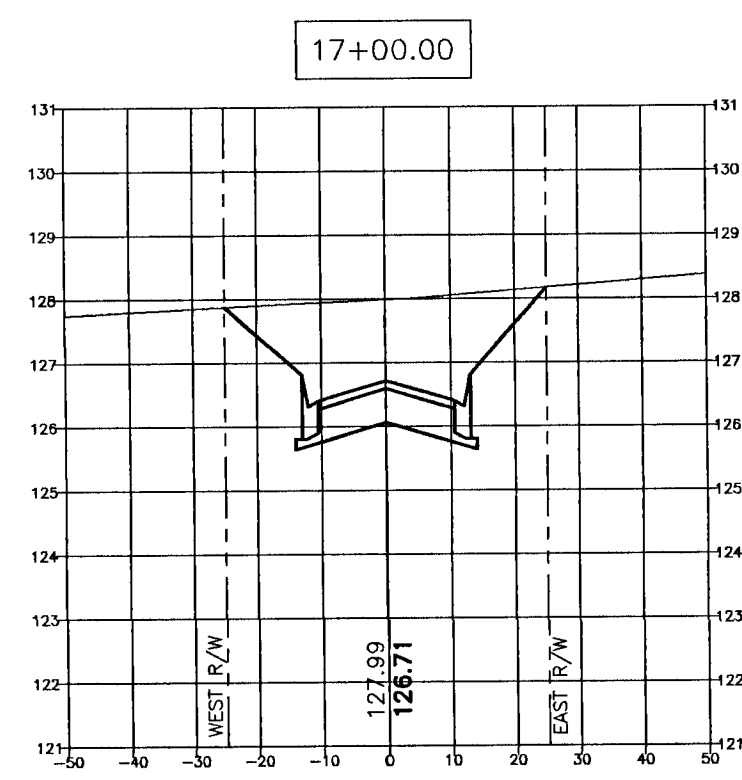
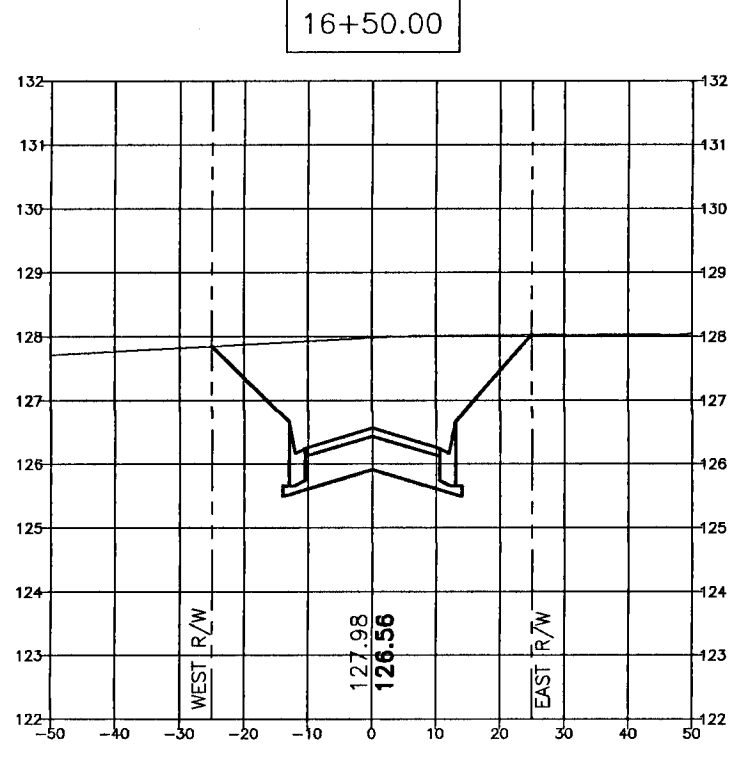
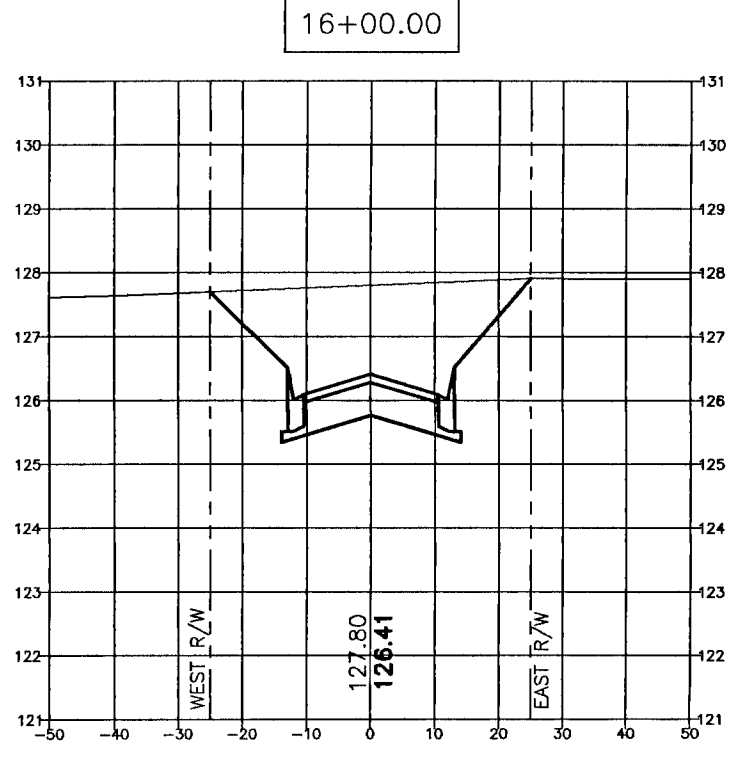
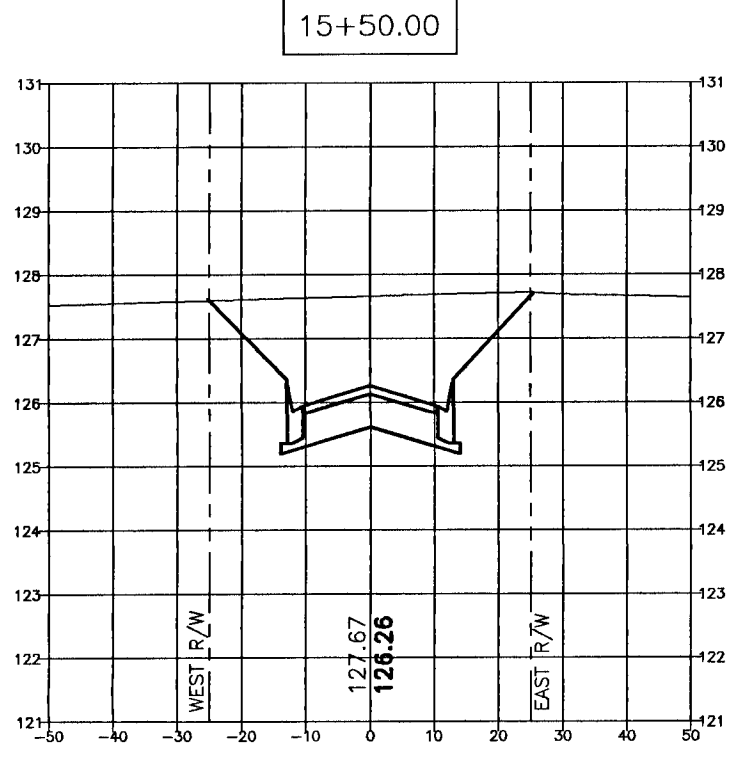
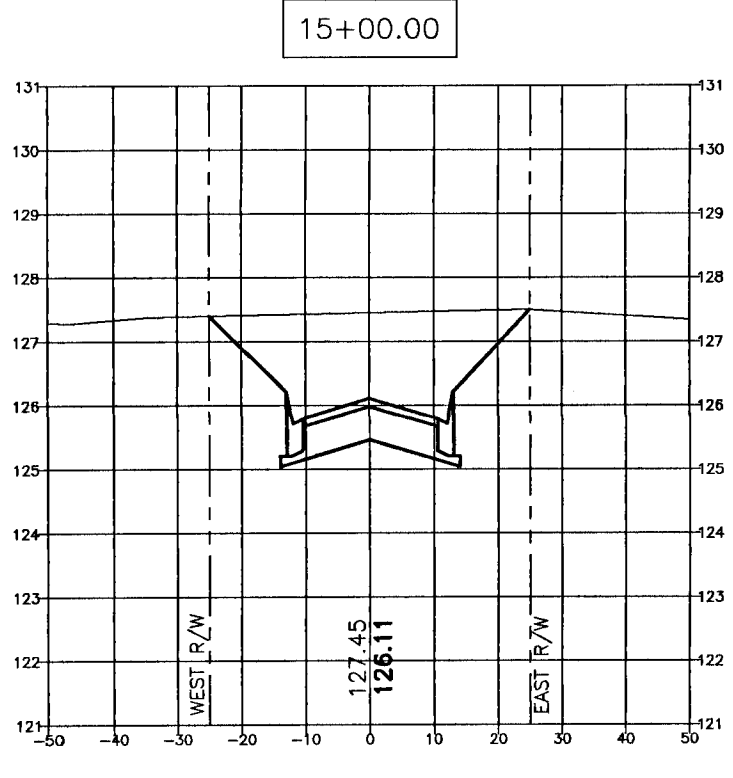
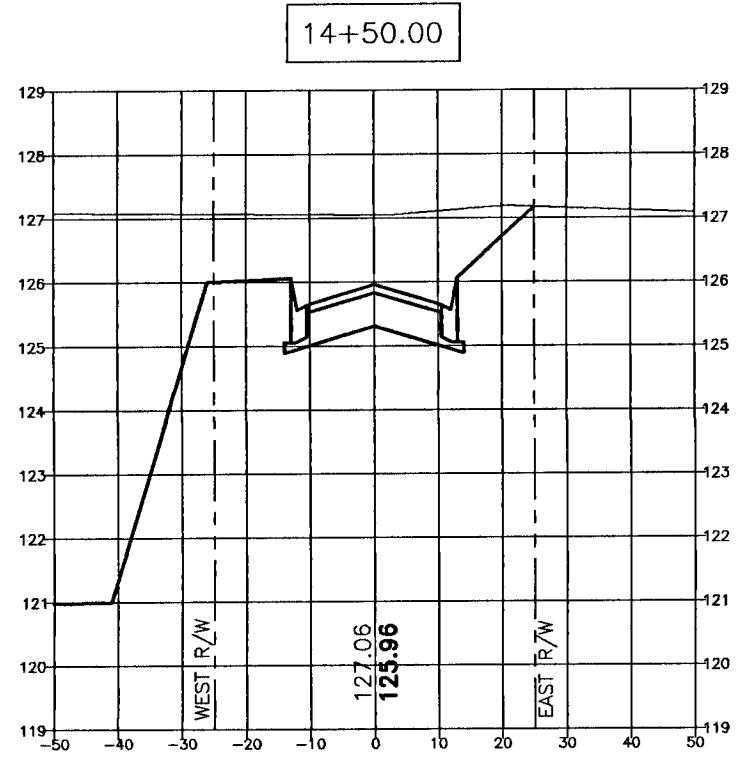
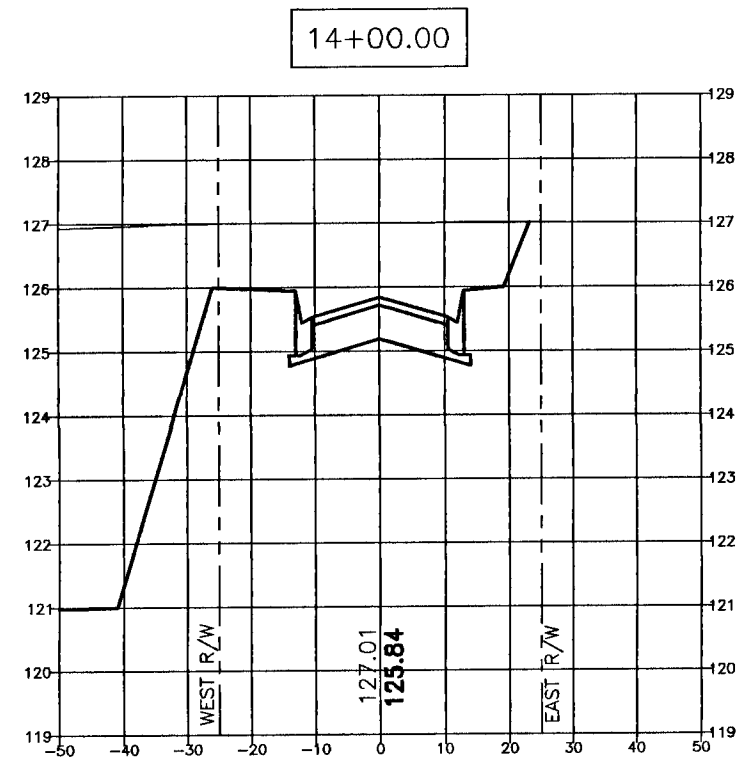
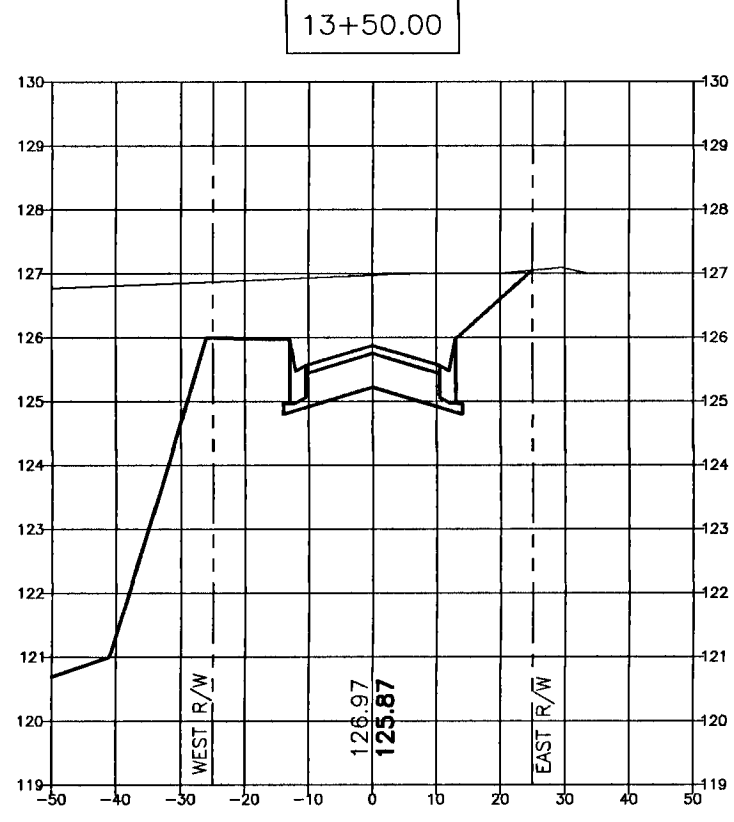
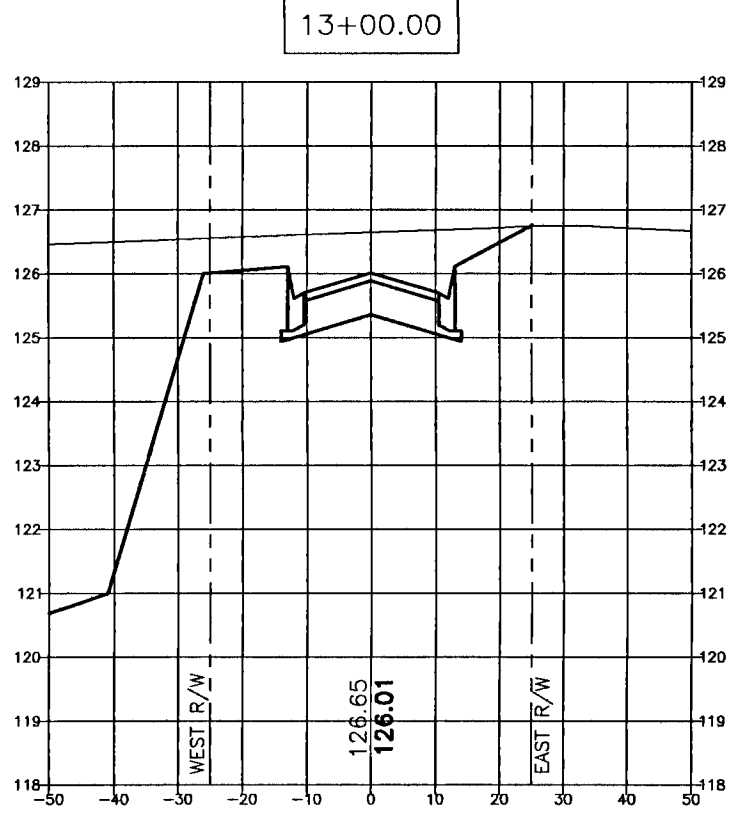
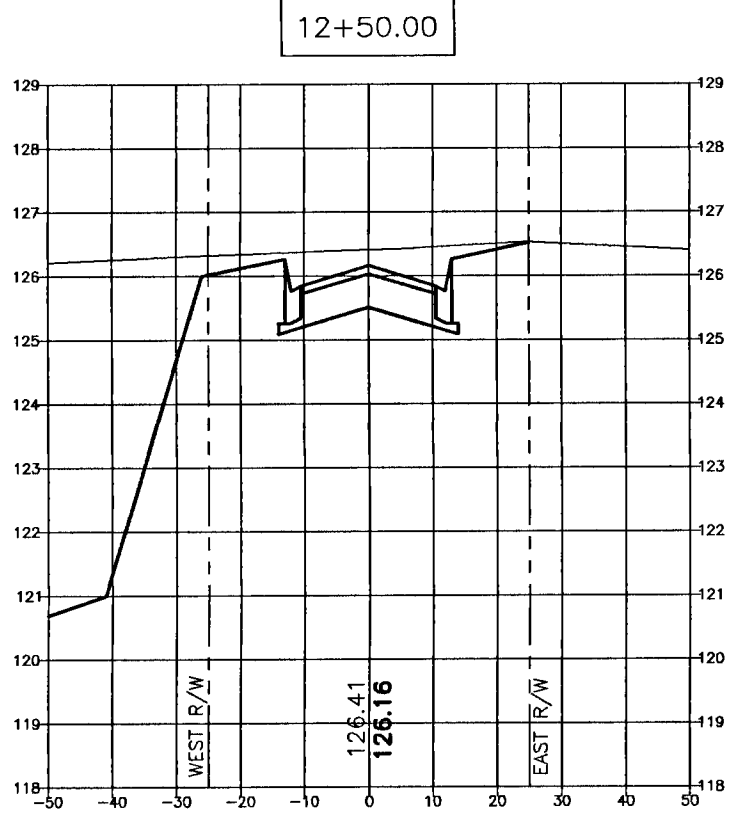
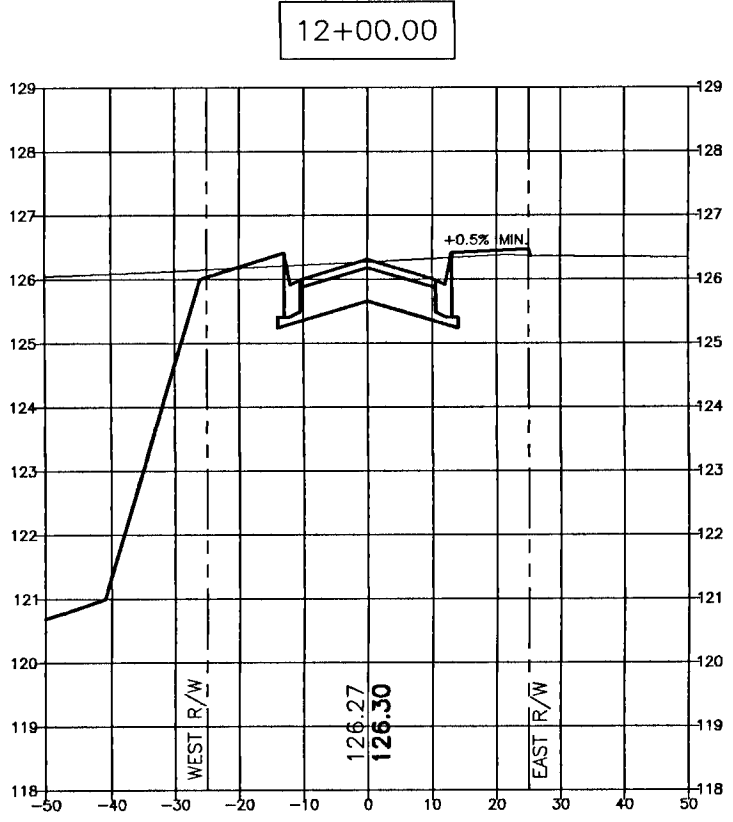
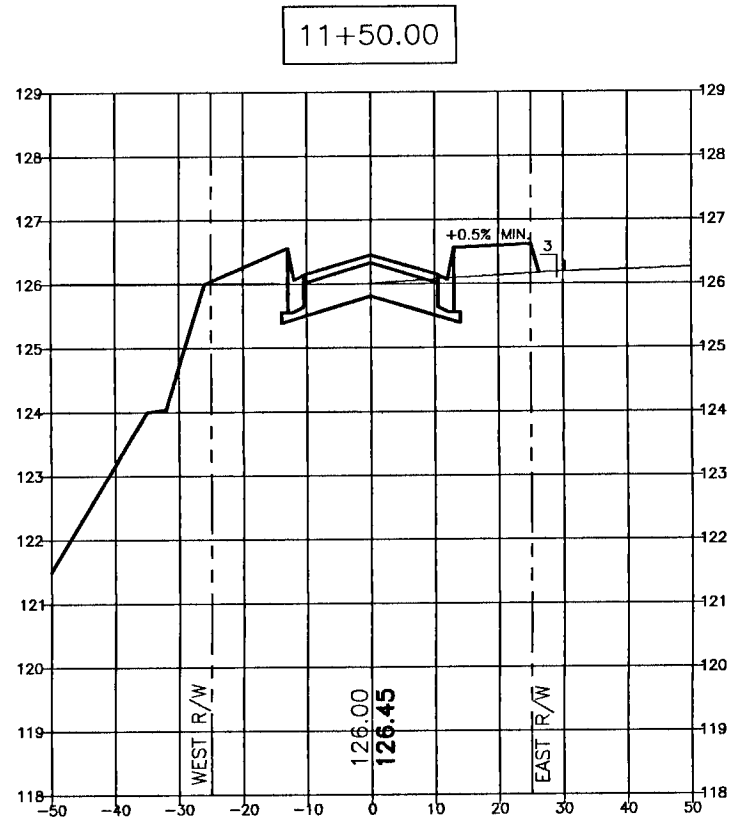
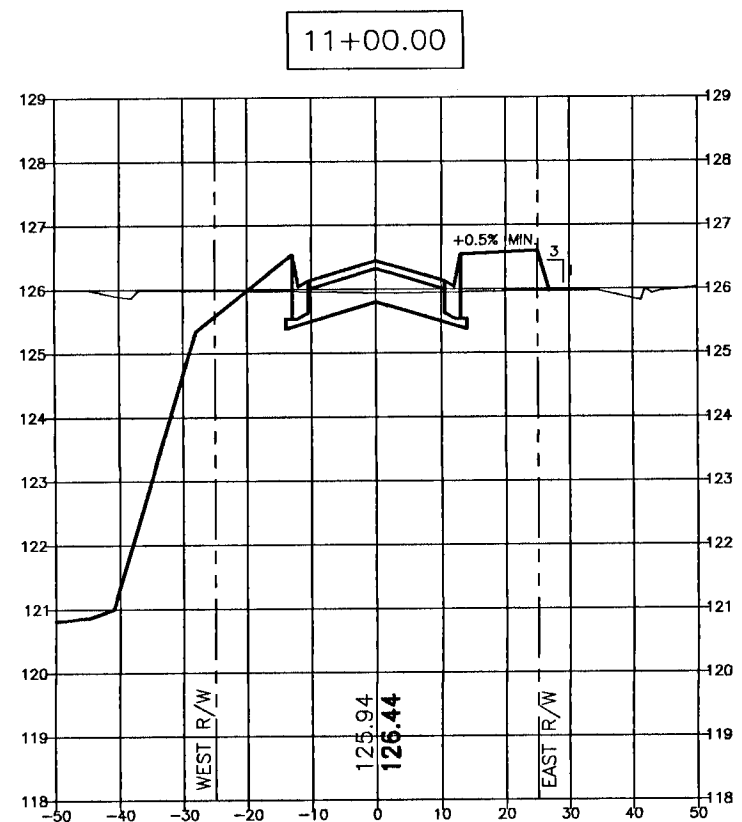


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PENSACOLA, FLORIDA 32505  
850 434-2603  
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TOM@SELANDDESIGN.COM

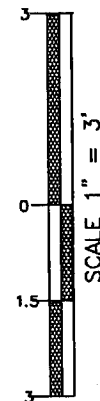




SUTTON PLACE DRIVE  
(PROPOSED 50' PUBLIC R/W)

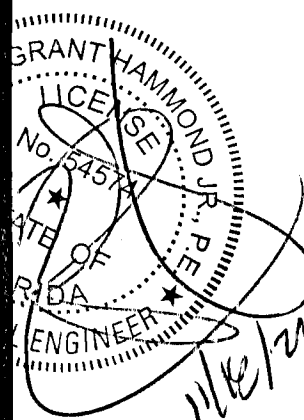


VERTICAL SCALE



REVISIONS		DATE	NO.
AS PER ESCAMBIA COUNTY DRC REVIEW		9/17/2021	1.
AS PER ECJA REVIEW COMMENTS		10/25/2021	2.
AS PER ESCAMBIA COUNTY DRC COMMENTS		10/28/2021	3.

HAMMOND ENGINEERING, INC.  
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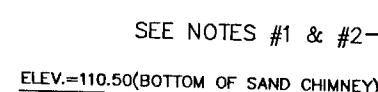
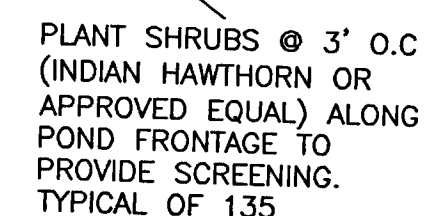


CONSTRUCTION PLANS  
FOR  
SUTTON PLACE  
SUBDIVISION  
CROSS SECTIONS  
FLORIDA  
ESCAMBIA COUNTY

DRAWN BY: C/ARS  
DESIGNED BY: TGH/ARS  
CHECKED BY: TGH  
DATE: OCTOBER 2021  
SCALE: AS SHOWN  
NOT RELEASED FOR  
CONSTRUCTION  
BY: DATE:

PROJECT NO: 20-090  
SHEET: C9





NTS

NOTE 1: CONTRACTOR TO EXCAVATE SAND CHIMNEY TO ELEVATION 110.50. CONTACT ENGINEER OF RECORD BEFORE BACK FILL PROCEDURE W/CLEAN SAND HAVING A MINIMUM PERMEABILITY RATE OF 1x10 CM/SEC. AND CONTAINING LESS THAN 5% FINES.

NOTE 2: A REGISTERED GEOTECHNICAL PROFESSIONAL MUST VERIFY ON-SITE THE REMOVAL OF THE EXISTING LESS PERMEABLE MATERIAL FOUND AT THE PROPOSED CHIMNEY BOTTOM AND THAT THE BOTTOM OF THE PROPOSED SAND CHIMNEY IS EXCAVATED TO THE SPECIFIED ELEVATION AND KEYED INTO THE MORE PERMEABLE STRATA (LOCATED FROM ELEVATION 108 TO 113 BACKFILL PROCEDURES SHOULD NOT COMMENCE UNTIL SAID REGISTERED PROFESSIONAL HAS SIGNED OFF.

NOTE 3: DO NOT SOD SAND CHIMNEY!!!!

**STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION**

**NOTES:**

1. ALL MATERIALS AND LABOR FOR INSTALLATION WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
2. DRIVEWAYS ABUTTING PAVED ROADS SHALL BE 1-1/2" ASPHALT WITH 6" STABILIZED SUBGRADE (OR 4" TO 6" CONCRETE WITH 4" STABILIZED SUBGRADE ~ 95% COMPACTION (MODIFIED PROCTOR)) WITH LBR 40 BETWEEN EDGE OF ROADWAY AND 8/4" LINE.
3. DRIVEWAYS ABUTTING A DIRT ROAD SHALL BE MILLED ASPHALT, GRADED AGGREGATE BASE, OR WASHED CONCRETE (4" IN DEPTH) ON THE COUNTY MAINTAINED PORTION OF DRIVEWAY.
4. IF NECESSARY, REFER TO F.D.O.T. INDEX DETAILS AS REFERENCED BELOW.
5. RADIUS OR FLARE IS ACCEPTABLE FOR TYPE A OR TYPE II CONNECTIONS.
6. DRIVEWAYS WITHIN PROPERTY BOUNDARY SHALL PROVIDE A MINIMUM OF 2 PARKING SPACES.
7. TYPICAL DRIVEWAY SECTIONS ARE TO BE 12" WIDE MINIMUM.

**TYPE I CURB CUT DRIVEWAY FOR COUNTY TYPE "B" LAYBACK CURBS.**

**PLAN VIEW**

**SECTION "A-A"**

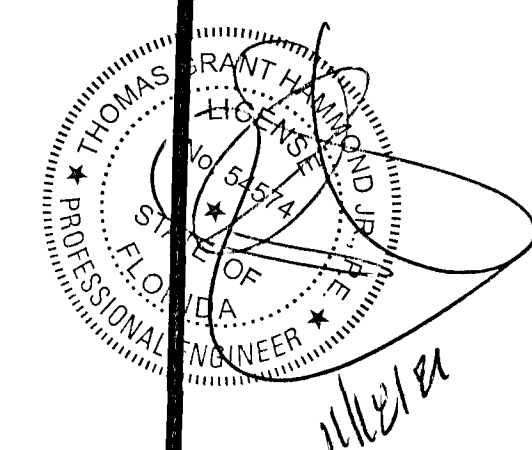
**NOTES:**

- 1) SEE STANDARD COUNTY CUB DETAILS FOR REFERENCE.
- 2) SEE F.D.O.T. INDEX NO. 515 FOR OTHER CONNECTIONS.

\* FOR OTHER TYPE CURBS, DIMENSIONS MAY BE ADJUSTED TO FIT.

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# CONSTRUCTION PLANS FOR SUTTON PLACE SUBDIVISION STORMWATER POND DETAILS

SCAMBIA COUNTY EL DORADO

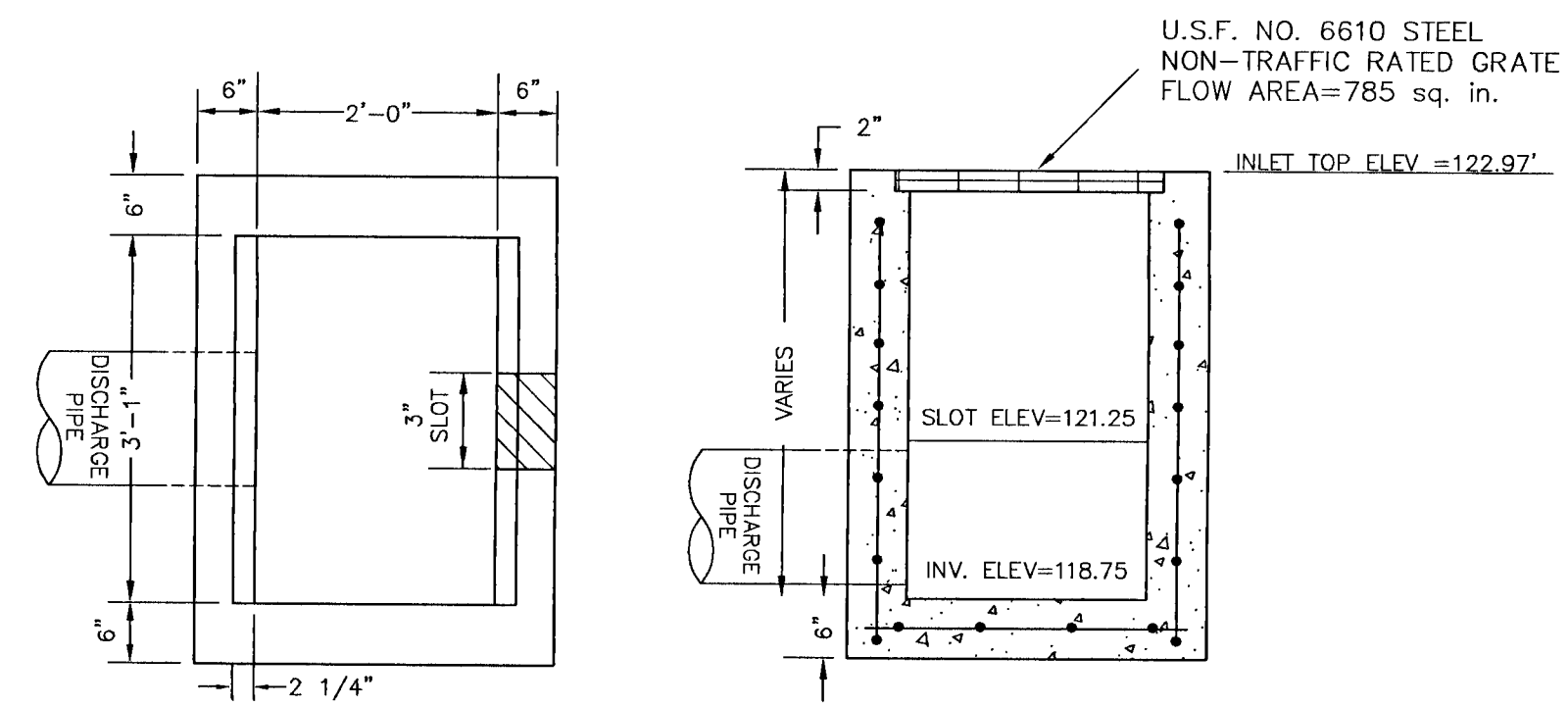
DRAWN BY: QY/ARS  
DESIGNED BY: TGH/ARS  
CHECKED BY: TGH  
DATE: OCTOBER 2021  
SCALE: AS SHOWN  
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CONSTRUCTION  
BY: DATE:

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

PROJECT NO: 20-080

SHEET: C10

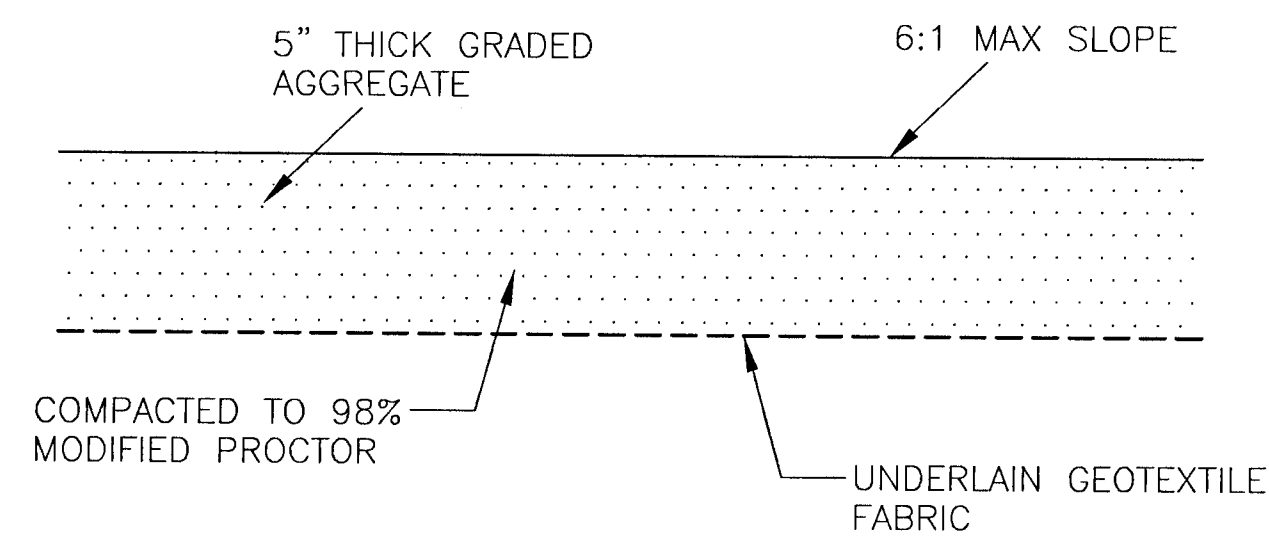
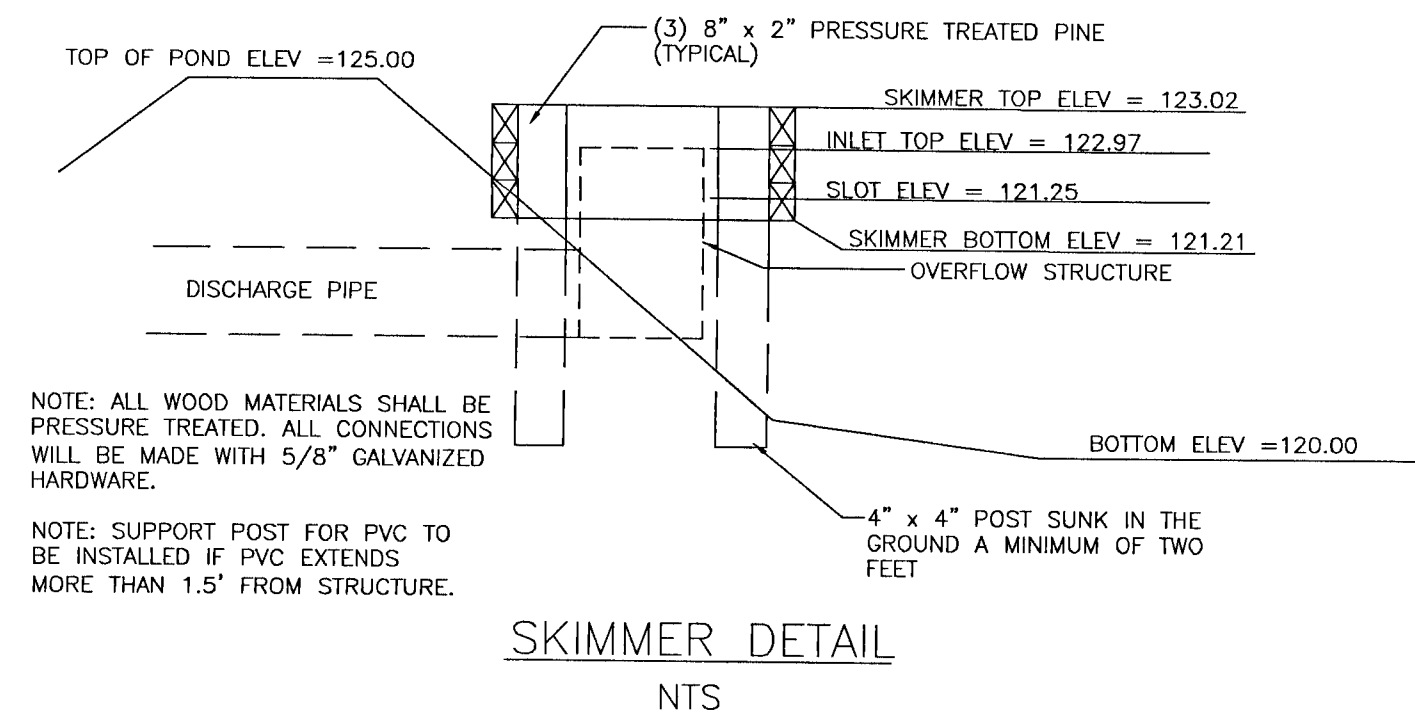




# FDOT TYPE 'C' OVERFLOW STRUCTURE (S-104)

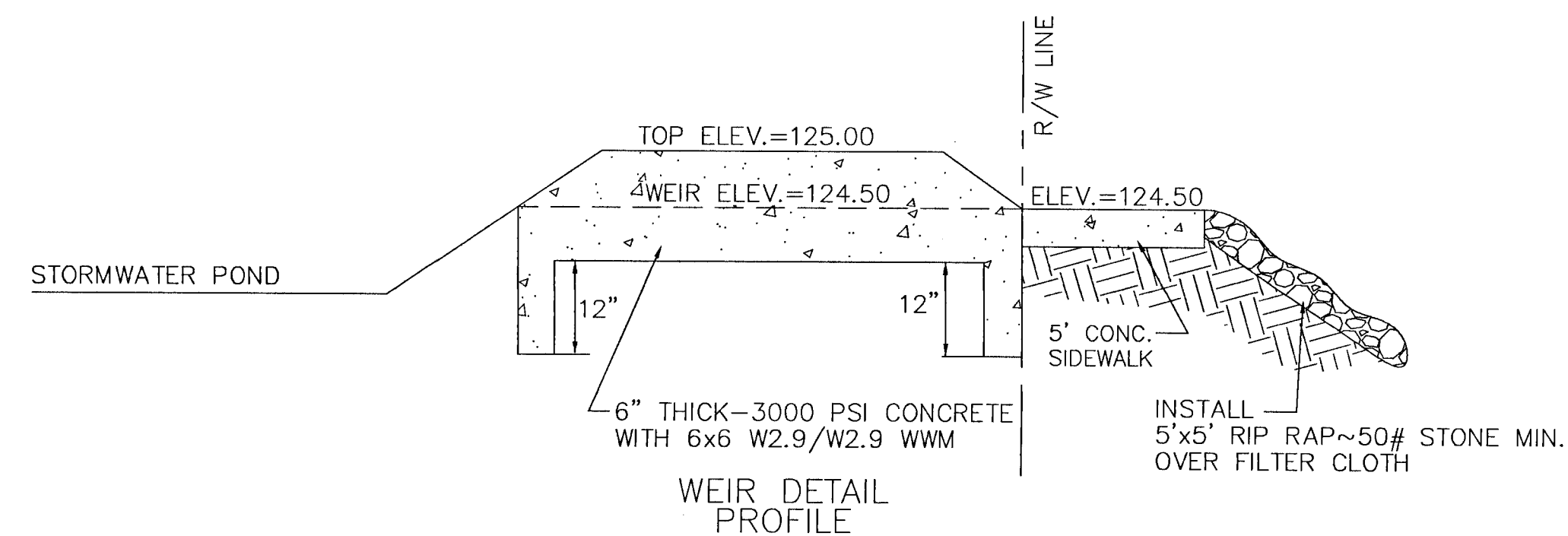
**MATERIALS:**  
CONCRETE: 4000 PSI, TYPE II CEMENT  
WALL REINFORCING: 3x4 W3.1/W4.1 WWF 65 K S.I. (AS PER FDOT-INDEX 201)  
BOTTOM SLAB REINFORCING: #4 @ 12" C.C.E.W.\*

NOTE:  
ALL EXPOSED EDGES TO HAVE 3/4" CHAMFER.  
\* GRADE 40, OR EQUIVALENT WELDED WIRE MESH.

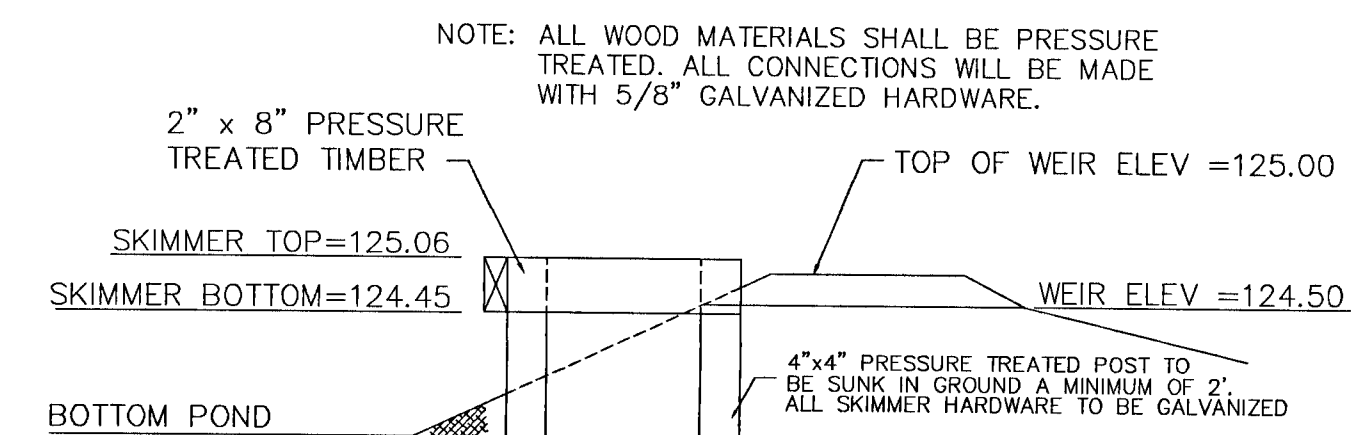


TYPICAL GRAVEL POND ACCESS SECTION

NTS



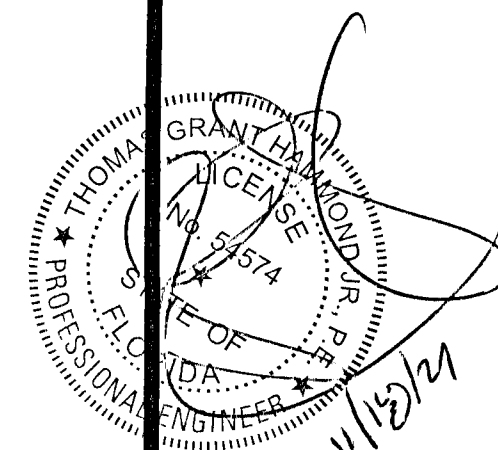
CONCRETE DISCHARGE WEIR  
NTS



OIL SKIMMER DETAIL  
NTS

NO.	DATE	REVISIONS
1.	9/17/2021	AS PER ESCAMBIA COUNTY DRC REVIEW
2.	10/25/2021	AS PER ECJA REVIEW COMMENTS
3.	10/28/2021	AS PER ESCAMBIA COUNTY DRC COMMENTS
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CONSTRUCTION PLANS  
FOR  
SUTTON PLACE  
SUBDIVISION  
STORMWATER POND  
DETAILS

DRAWN BY: CY/ARS
DESIGNED BY: TGH/ARS
CHECKED BY: TGH
DATE: OCTOBER 2021
SCALE: AS SHOWN
NOT RELEASED FOR CONSTRUCTION
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PROJECT NO: 20-090

SHEET: C10A







NTS

WI4-1aL  
DEAD END  
(DIRECTIONAL)



WI4-1oL  
DEAD END  
(DIRECTIONAL)

COLORS: LEGEND BORDER - BLACK  
BACKGROUND - YELLOW (RETROREFLECTIVE)



NTS

- ① STOP SIGN

SIGN PLACEMENT: LOCATE SIGN ADJACENT TO POINT OF CURVATURE (P.C.) OF CURBING OR EDGE OF ASPHALT TURN OUT.  
LATERAL CLEARANCE (W/CURB): NO PART OF SIGN ASSEMBLY SHALL BE LESS THAN 1 FOOT FROM BACK OF CURB (EXCLUDES RIBBON CURB).  
LATERAL CLEARANCE WITHOUT CURB: NO PART OF SIGN ASSEMBLY SHALL BE LESS THAN 6" FROM EDGE OF ASPHALT (INCLUDES RIBBON CURB).  
VERTICAL CLEARANCE: SIGN SHALL DISPLAY A MINIMUM VERTICAL CLEARANCE OF 7 FEET (MEASURED FROM BOTTOM OF SIGN BLADE TO LEVEL OF ADJACENT ROADWAY).

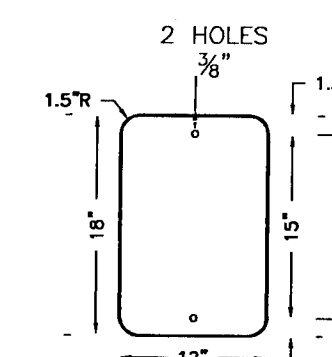
NEW/EXISTING THROUGH ROADWAY

Diagram illustrating a vehicle turning right from a two-lane road onto a one-lane road. The diagram shows the vehicle's path and the intersection geometry. Labels include "INTERSECTING EDGE OF TRAVELED WAY" and "TRAVEL LANE".

② STREET NAME SIGN

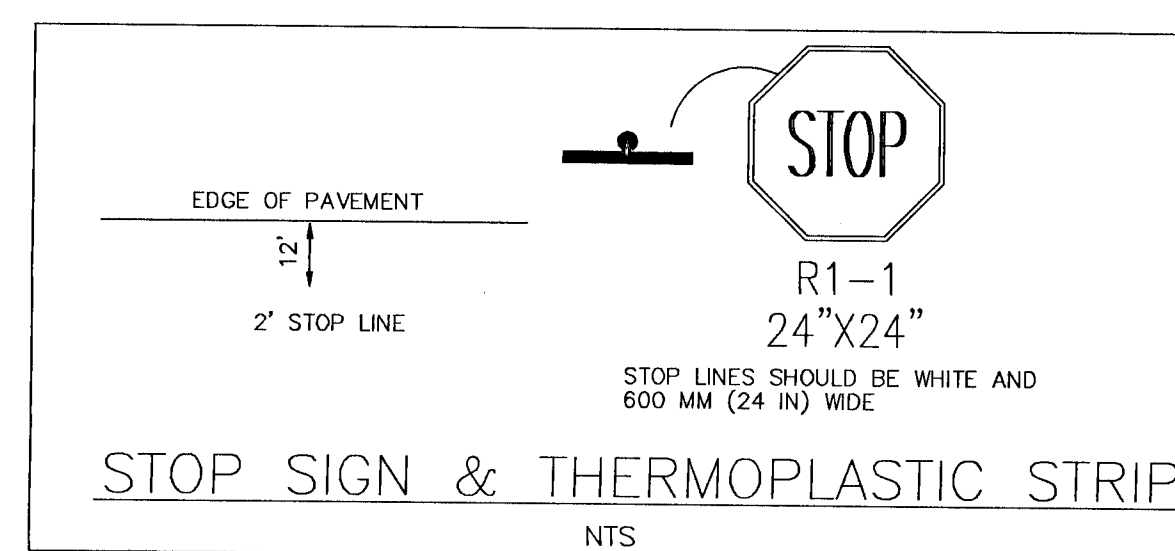
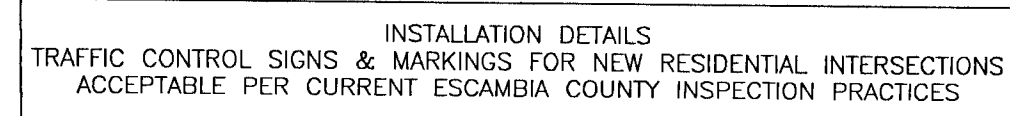
**2. STREET NAME SIGN**  
SIGN PLACEMENT: LOCATE STREET NAME SIGN AT MID-RADIUS POINT OF TURN OUT ON SAME SIDE OF STREET AS STOP SIGN.  
**NOTE:** SEE ESCAMBA COUNTY STANDARD DETAILS FOR STREET NAME SIGNS FOR FURTHER FABRICATION, LOCATION AND INSTALLATION REQUIREMENTS.

③ 24" STOP BAR  
OPTIONAL (SEE GEN. NOTE #3).  
PLACEMENT: LEADING EDGE OF  
STOP BAR CANNOT BE LESS THAN  
4 FEET IN ADVANCE OF  
INTERSECTING EDGE OF  
TRAVELED WAY OR MARKED/  
UNMARKED CROSSWALK. STOP BAR  
MUST BE LOCATED AS TO PROVIDE  
ADEQUATE INTERSECTION SIGHT  
DISTANCE PER F.D.O.T.'s DESIGN  
STANDARDS INDEX #546.



### SPEED LIMIT SIGN DETAIL

NTS




R1-1

24"X24"

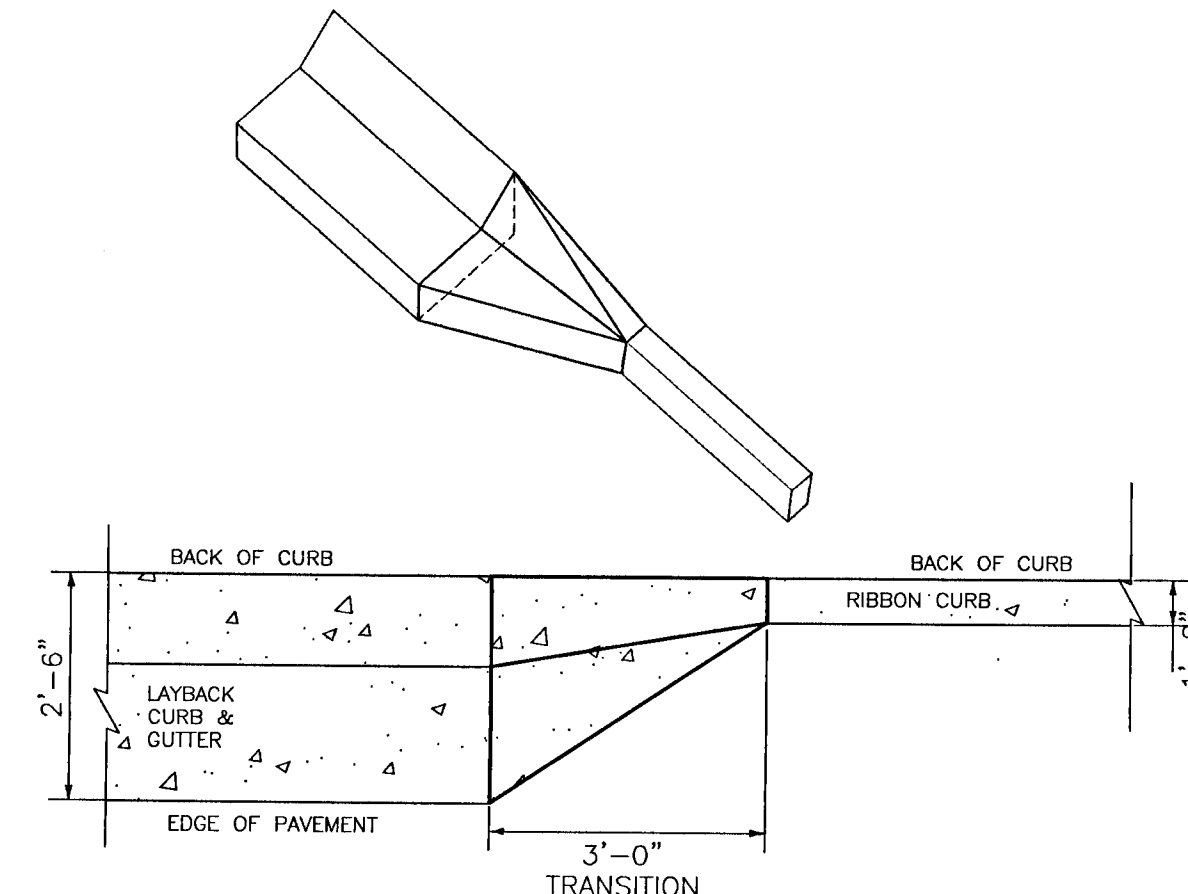
STOP LINES SHOULD BE WHITE AND  
600 MM (24 IN) WIDE

## STOP SIGN & THERMOPLASTIC STRIP

NITS

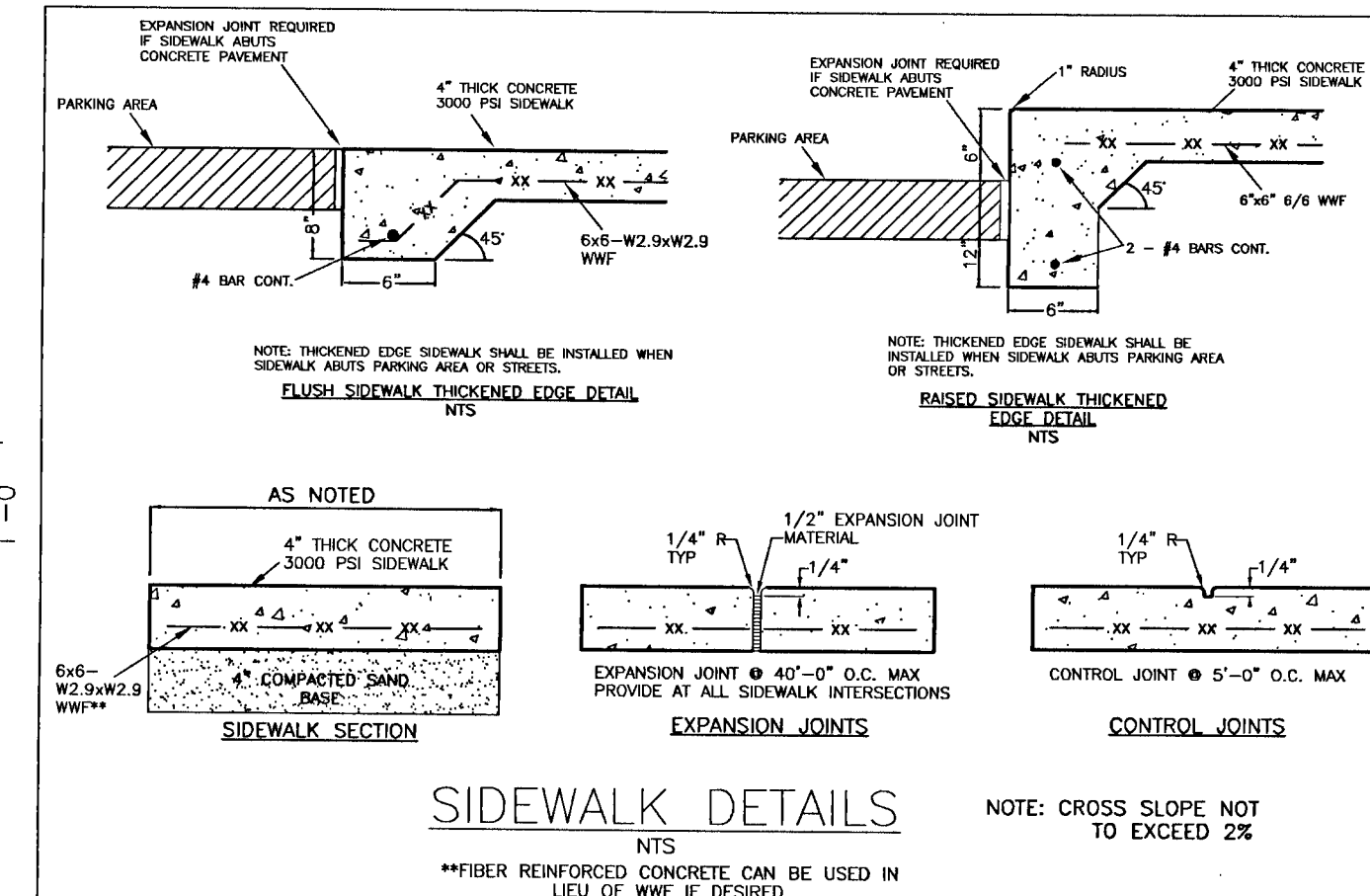


INSTALL 5' CONCRETE SIDEWALK WITH CURB RAMP AND DETECTABLE WARNING MAT



TRANSITION FROM LAYBACK CURB TO

N O



## SIDEWALK DETAILS

NTS  
\*\*FIBER REINFORCED CONCRETE CAN BE USED IN  
LIEU OF WWC IF DESIRED.

NOTE: CROSS SLOPE NOT  
TO EXCEED 2%

TO EXCEED 2%

CONSTRUCTION PLANS FOR	SUTTON PLACE SUBDIVISION CONSTRUCTION DETAILS	SCAMBIA COUNTY	FLORIDA
---------------------------	--	----------------	---------

DRAWN BY: CY/ARS  
DESIGNED BY: TGH/ARS  
CHECKED BY: TGH  
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PROJECT NO: 20-090

**SHEET: C12**

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11/16/21