

SITE CONSTRUCTION PLANS
FOR
MULDOON POINTE
A 33 LOT RESIDENTIAL SUBDIVISION
5760 MULDOON ROAD
ESCAMBIA COUNTY, FLORIDA

ECUA ENGINEERING MANUAL REFERENCE NOTE*
*NOTES SHALL BE INSERTED IN THE UPPER RIGHT CORNER OF TITLE SHEET
*APPLICABLE ONLY TO ECUA INFRASTRUCTURE TO BE CONSTRUCTED IN PUBLIC ROW OR IN UTILITY EASEMENT; NOT TO BE APPLIED TO PRIVATE WATER/SEWER FACILITIES ON PRIVATE PROPERTY (SEE BUILDING CODE)

A. ECUA ENGINEERING MANUAL INCORPORATED BY REFERENCE

THE ECUA ENGINEERING MANUAL, DATED DECEMBER 18, 2014, ALONG WITH UPDATE # 1 DATED SEPTEMBER 1, 2016 (HEREINAFTER "MANUAL"), LOCATED AT WWW.ECUA.FL.GOV, IS HEREBY INCORPORATED BY REFERENCE INTO THIS PROJECT'S OFFICIAL CONTRACT DOCUMENTS AS IF FULLY SET FORTH THEREIN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE KNOWLEDGEABLE OF THE MANUAL'S CONTENTS AND TO CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE MANUAL. THE CONTRACTOR SHALL PROVIDE ITS EMPLOYEES ACCESS TO THE MANUAL AT ALL TIMES, VIA PROJECT SITE OR OFFICE, VIA DIGITAL OR PAPER FORMAT. IN THE EVENT OF A CONFLICT BETWEEN THE MANUAL AND PLANS, CONTRACTOR SHALL CONSULT ENGINEER OF RECORD FOR PROPER RESOLUTION.

B. ADDITIONAL DOCUMENTS (TO BE COMPLETED BY THE ENGINEER OF RECORD)

DOES THIS PROJECT HAVE ADDITIONAL TECHNICAL SPECIFICATIONS OR CONSTRUCTION DETAILS THAT SUPERSEDE THE MANUAL LISTED ABOVE?
☒ YES ☐ NO

IF YES, CONTRACTOR SHALL CONSTRUCT PROJECT IN ACCORDANCE WITH SAID DOCUMENTS AS LISTED AND LOCATED BELOW:

DOCUMENT NAME	DOCUMENT TYPE		LOCATION	
	SPECIFICATION	DETAIL	PLANS	PROJECT MANUAL*
LOW PRESSURE		X	X	
CUT-IN MANHOLE		X	X	

*PROJECT MANUALS USED ONLY WITH ECUA CIP PROJECTS

C. ENGINEER OF RECORD RESPONSIBILITIES

THE ENGINEERS OF RECORD (EORS) THAT HAVE AFFIXED THEIR SEALS AND SIGNATURES ON THESE PLANS WARRANT THEIR PORTIONS OF THE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE MANUAL (UNLESS OTHERWISE DIRECTED BY THE ECUA PROJECT ENGINEER). THE EORS SHALL BE KNOWLEDGEABLE OF THE MANUAL'S CONTENTS AND SHALL ASSUME RESPONSIBILITY FOR ITS USE ON THIS PROJECT.

RBA PROJECT NO.: 2021.040

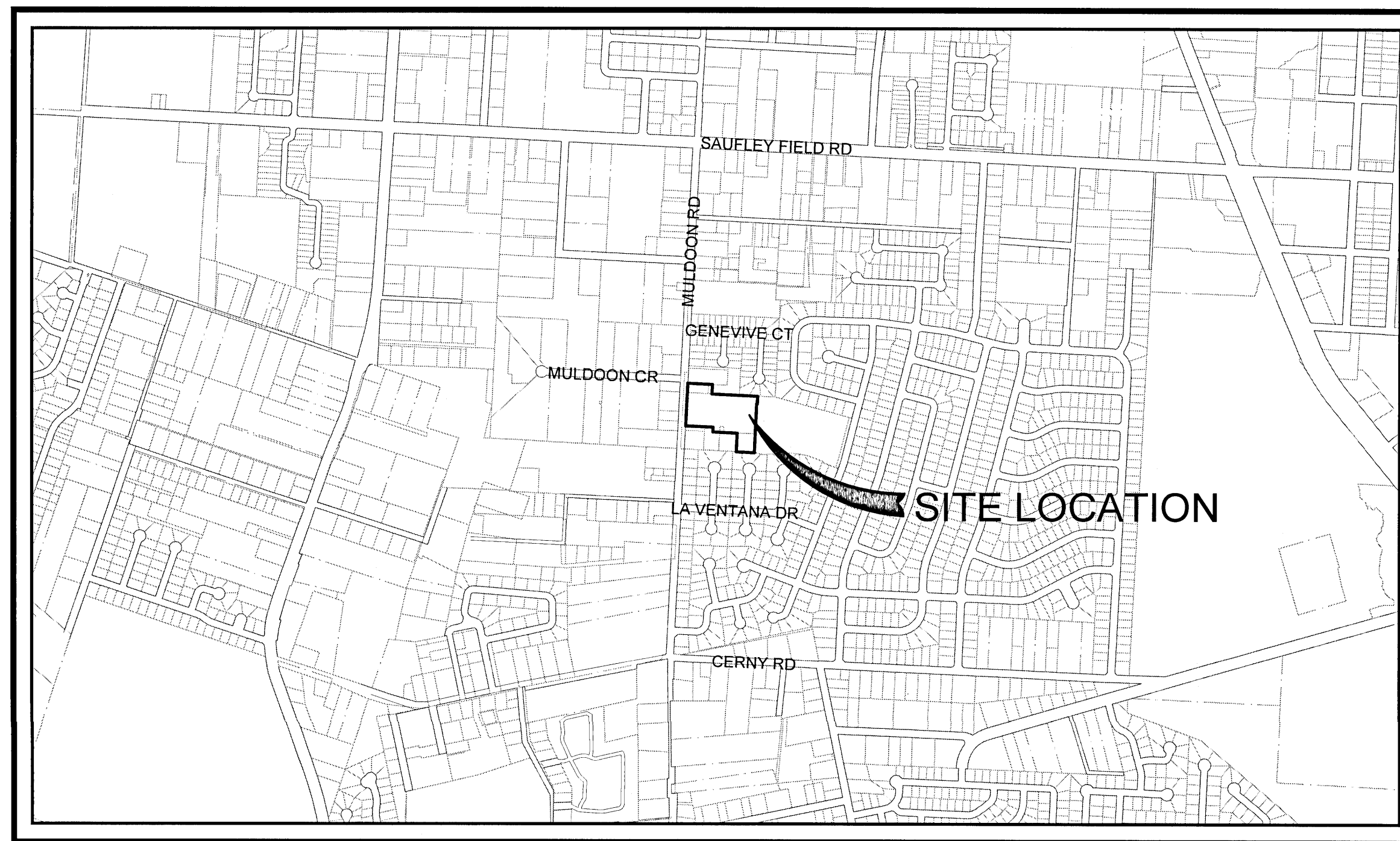
SITE INFORMATION	
OWNER:	SNS MULDOON, LLC 120 E MAIN ST SUITE A PENSACOLA, FL 32502
DEVELOPER:	SNS MULDOON, LLC 120 E MAIN ST SUITE A PENSACOLA, FL 32502
PROPERTY REFERENCE NO:	01-2S-31-4302-000-000, 01-2S-31-4302-001-001, 01-2S-31-4302-002-001, 01-2S-31-4303-000-001, 01-2S-31-4303-000-004
PROPERTY ADDRESS:	5760 MULDOON ROAD
PROPERTY AREA:	5.31 ACRES
PROJECT AREA:	5.31 ACRES
PROPERTY ZONING:	HDMU
FUTURE LAND USE:	MU-S
PROPOSED ACTIVITY:	SUBDIVISION
REQUIRED BUILDING SETBACKS	FRONT: 20' REAR: 15' SIDES: 10'

FEMA FLOOD INSURANCE RATE MAP INFORMATION					
THE PARCEL SHOWN FOR DEVELOPMENT IS LOCATED WITHIN THE FOLLOWING FLOOD ZONE(S) AS DETAILED BY FEMA FIRM (FLOOD INSURANCE RATE MAP) INFORMATION DESCRIBED BELOW:					
FLOOD ZONE(S)	COMMUNITY No.	MAP No.	PANEL No.	SUFFIX	MAP REVISION DATE
X	120080	12033C	355	G	SEPT 29, 2006

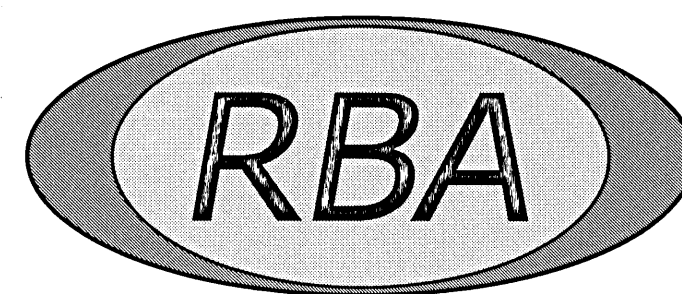
CONTACTS	
GULF POWER 5120 DOGWOOD DRIVE MILTON, FLORIDA 32570	CONTACT: CHAD SWAILS PHONE: 850.429.2446 FAX: 850.429.2432
COX CABLE 3405 McLEMORE DR. PENSACOLA, FLORIDA 32514	CONTACT: TROY YOUNG PHONE: 850.857.4510 FAX: 850.475.0621
ECUA 9255 STURDEVANT ST. PENSACOLA, FLORIDA 32514	CONTACT: TOMMY TAYLOR PHONE: 850.969.6516
ENERGY SERVICES GAS 1625 ATWOOD DRIVE PENSACOLA, FLORIDA 32504	CONTACT: DIANE MOORE PHONE: 850.474.5319 FAX: 850.474.5331
AT&T, INC. 605 W. GARDEN STREET PENSACOLA, FLORIDA 32501	CONTACT: JONATHAN BLANKINSHIP PHONE: 850.436.1489
ESCAMBIA COUNTY PUBLIC WORKS 3363 WEST PARK PLACE PENSACOLA, FLORIDA 32501	CONTACT: MRS. JOHNNY PETTIGREW PHONE: 850.595.3404
MCI	PHONE: 800.624.9675
SUNSHINE UTILITIES	PHONE: 800.432.4770

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING "RELEASED FOR CONSTRUCTION" DRAWINGS FROM REBOL-BATTLE & ASSOCIATES BEFORE BEGINNING CONSTRUCTION. REBOL-BATTLE & ASSOCIATES WILL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION BASED ON PLANS THAT HAVE NOT BEEN RELEASED FOR CONSTRUCTION.

November 30, 2021



VICINITY MAP
SCALE: 1" = 1000'



REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors

2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400
Fax 850.438.0448
EB 00009657 LB7916

INDEX OF DRAWINGS

- | | |
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DESCRIPTION: (AS PREPARED BY REBOL-BATTLE & ASSOCIATES, INC.) (RBA PROJECT NO. 2021.040)

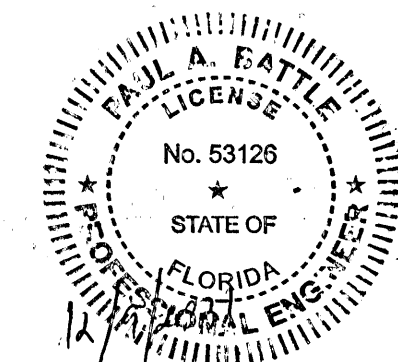
A PORTION OF GOVERNMENT LOT 4, SECTION 1, TOWNSHIP 2 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF GOVERNMENT LOT 4, SECTION 1, TOWNSHIP 2 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA; THENCE PROCEED SOUTH 87°12'08" EAST ALONG THE SOUTH LINE OF SAID GOVERNMENT LOT 4 FOR A DISTANCE OF 33.00 FEET TO THE NORTHEAST CORNER OF LA VILLA ROBLE UNIT THREE, AS RECORDED IN PLAT BOOK 8, PAGE 17 OF THE PUBLIC RECORDS OF SAID COUNTY, SAID POINT ALSO BEING ON THE EAST RIGHT-OF-WAY (R/W) LINE OF MULDOON ROAD (66' PUBLIC R/W); THENCE DEPARTING SAID SOUTH LINE OF GOVERNMENT LOT 4 AND SAID LA VILLA ROBLE UNIT THREE PROCEED NORTH 02°39'57" EAST ALONG SAID EAST R/W LINE FOR A DISTANCE OF 199.60 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SAME COURSE PROCEED NORTH 02°39'57" EAST ALONG SAID EAST R/W LINE FOR A DISTANCE OF 220.73 FEET; THENCE PROCEED NORTH 02°59'37" EAST ALONG SAID EAST R/W LINE FOR A DISTANCE OF 147.92 FEET; THENCE DEPARTING SAID EAST R/W LINE PROCEED SOUTH 87°06'47" EAST FOR A DISTANCE OF 216.28 FEET; THENCE PROCEED SOUTH 02°58'12" WEST FOR A DISTANCE OF 81.91 FEET; THENCE PROCEED SOUTH 87°06'58" EAST FOR A DISTANCE OF 234.37 FEET TO THE SOUTHWEST CORNER OF GLENWOOD SUBDIVISION, AS RECORDED IN PLAT BOOK 18, PAGE 16 OF THE PUBLIC RECORDS OF SAID COUNTY; THENCE PROCEED SOUTH 87°09'57" EAST ALONG THE SOUTH LINE OF SAID GLENWOOD SUBDIVISION FOR A DISTANCE OF 102.27 FEET; THENCE PROCEED SOUTH 87°19'18" EAST ALONG SAID SOUTH LINE FOR A DISTANCE OF 58.92 FEET; THENCE DEPARTING SAID SOUTH LINE PROCEED SOUTH 02°47'14" WEST FOR A DISTANCE OF 66.00 FEET; THENCE PROCEED NORTH 87°08'39" WEST FOR A DISTANCE OF 5.11 FEET; THENCE PROCEED SOUTH 02°39'56" WEST FOR A DISTANCE OF 419.72 FEET TO THE NORTH LINE THE AFORESAID LA VILLA ROBLE UNIT THREE AND THE AFORESAID SOUTH LINE OF GOVERNMENT LOT 4; THENCE PROCEED NORTH 87°12'08" WEST ALONG SAID NORTH LINE OF LA VILLA ROBLE UNIT THREE AND SAID SOUTH LINE OF GOVERNMENT LOT 4 FOR A DISTANCE OF 157.00 FEET; THENCE DEPARTING SAID NORTH LINE OF LA VILLA ROBLE UNIT THREE AND SAID SOUTH LINE OF GOVERNMENT LOT 4 PROCEED NORTH 02°39'56" EAST FOR A DISTANCE OF 159.65 FEET; THENCE PROCEED NORTH 87°06'58" WEST FOR A DISTANCE OF 210.23 FEET; THENCE PROCEED NORTH 02°53'02" EAST FOR A DISTANCE OF 41.16 FEET; THENCE PROCEED NORTH 87°33'56" WEST FOR A DISTANCE OF 239.93 FEET TO THE POINT OF BEGINNING.

LYING IN AND BEING A PORTION OF SECTION 1, TOWNSHIP 2 SOUTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA, AND CONTAINING 5.31 ACRES MORE OR LESS.

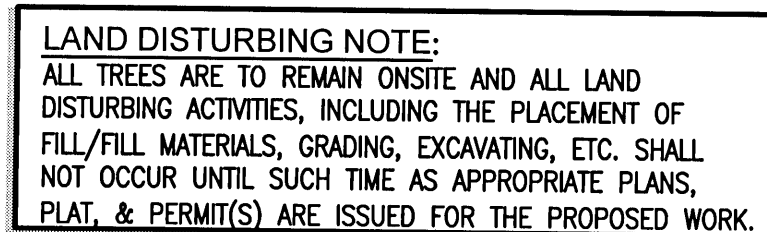
Approved: *Paul A. Battle* 1-5-22
Signature Date

This document has been reviewed in accordance with requirements of applicable Escambia County Regulations and Ordinances and does not in any way relieve the submitting Architect, Engineer, Surveyor, or other signatory from responsibility of details as drawn.

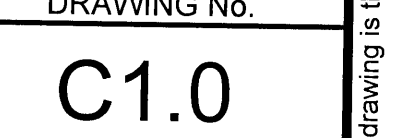


DRAINAGE FEE

Imperv. Surf. 23676.0 Sq ft
Stormwater Ret. 0.10 % (F)
Total Drainage Fee \$ 118.38
Pond Maint. Fee: Private



WELLHEAD PROTECTION NOTE:
THIS DEVELOPMENT PROJECT FALLS WITHIN THE TRAVEL TIME CONTOURS OF A PROTECTED (POTABLE) WELLHEAD. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ECUA-EMERALD COAST UTILITIES AUTHORITY 850-320-0519) AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 850-595-6712) AGENCIES.



GENERAL NOTES FOR SOIL EROSION AND SEDIMENT CONTROL:

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
2. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS.
3. PERMANENT VEGETATION TO BE SEED OR SODDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER GRADING. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.
4. ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE FDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITION, SECTIONS 104, 570, 575 AND 980 TO 986.

*5. A BITUMINOUS CONCRETE BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE BITUMINOUS CONCRETE BASE SHALL BE INSTALLED WITHIN 15 DAYS OF THE PRELIMINARY GRADING.

*6. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A THICKNESS OF TWO (2) TO FOUR (4) INCHES MIXED WITH THE TOP TWO (2) INCHES OF SOIL, ACCORDING TO STATE STANDARDS.

*7. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E. SLOPES GREATER THAN 3:1).

*8. A CRUSHED LIMEROCK, VEHICLE WHEEL-CLEANING BLANKET SHALL BE INSTALLED AT THE CONTRACTOR'S STAGING YARD AND/OR STOCKPILE AREAS TO PREVENT OFF-SITE TRACKING OF SEDIMENT BY CONSTRUCTION VEHICLES ONTO PUBLIC ROADS. BLANKET SHALL BE 15FT. X 50FT. X 6IN. (MINIMUM), CRUSHED LIMEROCK 2 1/2 INCHES IN DIAMETER. SAID BLANKET SHALL BE UNDERLAIN WITH A FDOT CLASS 3 SYNTHETIC FILTER FABRIC AND MAINTAINED IN GOOD ORDER.

9. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.

*10. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.

11. UNFILTERED DEWATERING IS NOT PERMITTED. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS DURING ALL DEWATERING OPERATIONS TO MINIMIZE SEDIMENT TRANSFER.

12. SHOULD THE CONTROL OF DUST AT THE SITE BE NECESSARY, THE SITE WILL BE SPRINKLED UNTIL THE SURFACE IS WET. TEMPORARY VEGETATION COVER SHALL BE ESTABLISHED OR MULCH SHALL BE APPLIED IN ACCORDANCE WITH STATE STANDARDS FOR EROSION CONTROL.

13. ALL SOIL WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHTS-OF-WAY WILL BE REMOVED IMMEDIATELY.

14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFFSITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

15. ALL SOIL STOCKPILES ARE TO BE TEMPORARILY STABILIZED IN ACCORDANCE WITH SOIL EROSION AND SEDIMENT CONTROL NOTE NUMBER 2 (ABOVE).

16. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORM WATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.

17. ALL SEDIMENTATION STRUCTURES SHALL BE INSPECTED AND MAINTAINED REGULARLY.

18. ALL CATCH BASIN INLETS SHALL BE PROTECTED WITH HAY BALES AS SHOWN ON DETAIL.

19. THE CONTRACTOR SHALL PREPARE A PLAN FOR THE PROPER DEWATERING AND DOWNSTREAM SILTATION PROTECTION OF EACH STREAM CROSSING PRIOR TO EXCAVATING THE STREAM BED. PLAN SHALL BE FORWARDED TO THE ENGINEER FOR APPROVAL. THE ENGINEER SHALL BE NOTIFIED FOR INSPECTION PRIOR TO EACH STREAM CROSSING CONSTRUCTION.

20. ANY AREAS USED FOR THE CONTRACTOR'S STAGING, INCLUDING BUT NOT LIMITED TO, TEMPORARY STORAGE OF STOCKPILED MATERIALS (E.G. CRUSHED STONE, QUARRY PROCESS STONE, SELECT FILL, EXCAVATED MATERIALS, ETC.), SHALL BE ENTIRELY PROTECTED BY A SILT FENCE ALONG THE LOW ELEVATION SIDE TO CONTROL SEDIMENT RUNOFF.

21. SAG FILTERS IN CURB THROATS ARE NOT AN ALLOWABLE SEDIMENT CONTROL METHOD.

* WHERE APPLICABLE

TEMPORARY SEEDING DETAILS:

SEED BED PREPARATION:

SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS./ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS./ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE

CONSISTING OF ANNUAL RYE (LOLIUM MULTIFLORUM) AT A RATE OF 174 LBS./ACRE.

PERMANENT SEEDING DETAILS:

SEED BED PREPARATION:

SOIL TO BE THOROUGHLY PULVERIZED BY DISK-HARROWING AND BE LOOSE AND REASONABLY SMOOTH. APPLY FERTILIZER AT A RATE OF 260 LBS./ACRE OF 16-16-16 OR EQUIVALENT, APPLY DOLOMITIC LIMESTONE AT A RATE OF 800 TO 1000 LBS./ACRE TO PROVIDE A SOIL pH OF 5.5 TO 6.5, LIME & FERTILIZER TO BE WORKED INTO THE TOPSOIL TO A DEPTH OF 4". ADD SANDY LOAM TOPSOIL TO A MINIMUM OF TWO (2) INCHES WHERE REQUIRED.

SEED MIXTURE CONSISTING OF

	RATE	PURITY	GERMINATION
ARGENTINE BAHIA	260 LBS./AC.	95%	80%
PENSACOLA BAHIA	260 LBS./AC.	95%	40%(MIN.)-80%(TOTAL)

SODDING:

SOD SHALL BE WELL ROOT MATTED CENTIPEDE OR BAHIA GRASS COMMERCIALY CUT TO A MINIMUM DIMENSION OF 12" X 24" A MAXIMUM OF 72 HOURS PRIOR TO PLACEMENT. SOD SHALL BE LIVE, FRESH AND UNINJURED, REASONABLY FREE OF WEEDS AND OTHER GRASSES, WITH A HEAVY SOIL MAT ADHERING TO THE ROOT SYSTEM. SOD SHALL BE GROWN, CUT, AND SUPPLIED BY A STATE CERTIFIED GROWER.

TRAFFIC CONTROL STANDARDS:

1. CONSTRUCTION TRAFFIC SHALL BE RESTRICTED TO ONSITE ACCESS BY MEANS SO DESIGNATED BY THE ENGINEER, POLICE/SHERIFF DEPARTMENT, ESCAMBIA COUNTY HIGHWAY DEPARTMENT, AND/OR THE FLORIDA DEPARTMENT OF TRANSPORTATION.
2. TRAFFIC DURING WET WEATHER SHALL BE MINIMIZED AND APPROPRIATE ROADWAY AND SITE CLEAN-UP SHALL BE PROVIDED BY THE CONTRACTOR AS SOON AS WEATHER CONDITIONS PERMIT.

TREE PROTECTION:

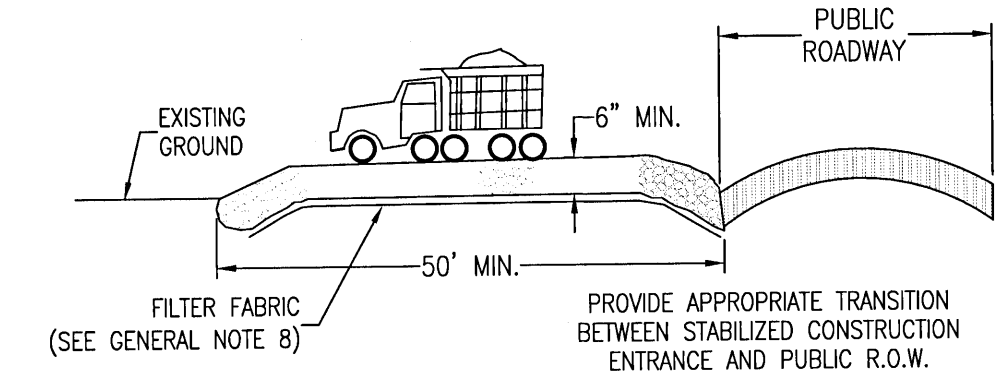
1. DAMAGED TRUNKS OR EXPOSED ROOTS WILL BE PAINTED IMMEDIATELY WITH A GOOD GRADE OF "TREE PAINT".
2. TREE LIMB REMOVAL, WHERE NECESSARY, WILL BE DONE FLUSH TO TRUNK OR MAIN BRANCH AND THAT AREA PAINTED IMMEDIATELY WITH A GOOD GRADE OF TREE PAINT.

DUST CONTROL:

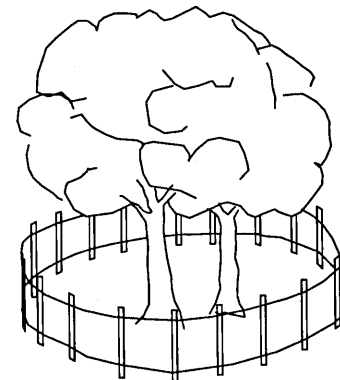
1. ALL AREAS OF CLEARING AND EMBANKMENT AS WELL AS CONSTRUCTION HAIL ROADS SHALL BE TREATED AND MAINTAINED IN SUCH A MANNER AS TO MINIMIZE ANY DUST GENERATION.
2. DISTURBED AREAS SHALL BE MAINTAINED IN A ROUGH GRADED CONDITION AND TEMPORARILY SEEDED AND/OR MULCHED UNTIL PROPER WEATHER CONDITIONS EXIST FOR THE ESTABLISHMENT OF PERMANENT VEGETATION COVER.
3. IN EVENT OF EMERGENCY CONDITIONS, TILLAGE WILL BE SATISFACTORY FREE BEFORE SOIL BLOWING STARTS.
4. CALCIUM CHLORIDE MAY BE APPLIED TO UNPAVED ROADWAY AREAS, ONLY, SUBJECT TO THE ENGINEER'S APPROVAL AND CONFORMANCE WITH FDOT STANDARD SPECIFICATIONS, SECTION 102-5, LATEST EDITION.

PROPOSED SEQUENCE OF CONSTRUCTION:

1. THE INSTALLATION OF ALL SEDIMENT AND EROSION CONTROL DEVICES THAT CAN BE PLACED PRIOR TO ANY MAJOR SOIL DISTURBANCES.
2. CLEAR AND REMOVE ALL EXISTING VEGETATION IN THOSE AREAS WHERE NECESSARY. ALL REMAINING VEGETATION IS TO BE PROPERLY PROTECTED AND IS TO REMAIN IN ITS NATURAL STATE. TOPSOIL IN AREAS TO BE DISTURBED IS TO BE STRIPPED TO A MINIMUM DEPTH OF SIX (6) INCHES AND STOCKPILED SEPARATELY FROM OTHER EXCAVATED SOIL(S).
3. THE IMMEDIATE INSTALLATION OF ALL REMAINING SEDIMENT AND EROSION CONTROL DEVICES.
4. PERFORM ALL DEMOLITION WORK.
5. CONSTRUCT ALL UNDERGROUND UTILITIES AND STORM DRAIN SYSTEMS.
6. CONSTRUCT ROADS (SUBGRADE, CURB & GUTTER, BASE, PAVEMENT, SIDEWALKS AND LANDSCAPING).
7. COMPLETE STORMWATER PONDS.
8. UPON THE COMPLETION OF THE CONSTRUCTION ACTIVITIES, PROVIDE RESTORATION, FINE GRADE REMAINDER OF SITE, RESPREAD STOCKPILED TOPSOIL AND STABILIZE WITH PERMANENT VEGETATIVE COVER AND LANDSCAPING.
9. THE REMOVAL OF APPROPRIATE TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES.



STABILIZED CONSTRUCTION ENTRANCE DETAIL
N.T.S.



NOTE:
ALL PROTECTED TREES AS SHOWN ON THE PLANS TO REMAIN ARE TO BE PROTECTED DURING CONSTRUCTION. THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING AT THE DRIP LINE OF EACH PROTECTED TREE BEFORE WORKING IN THE VICINITY OF THE TREE.

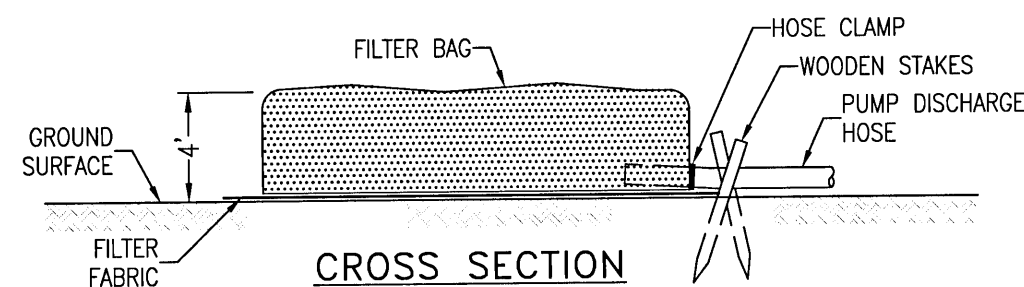
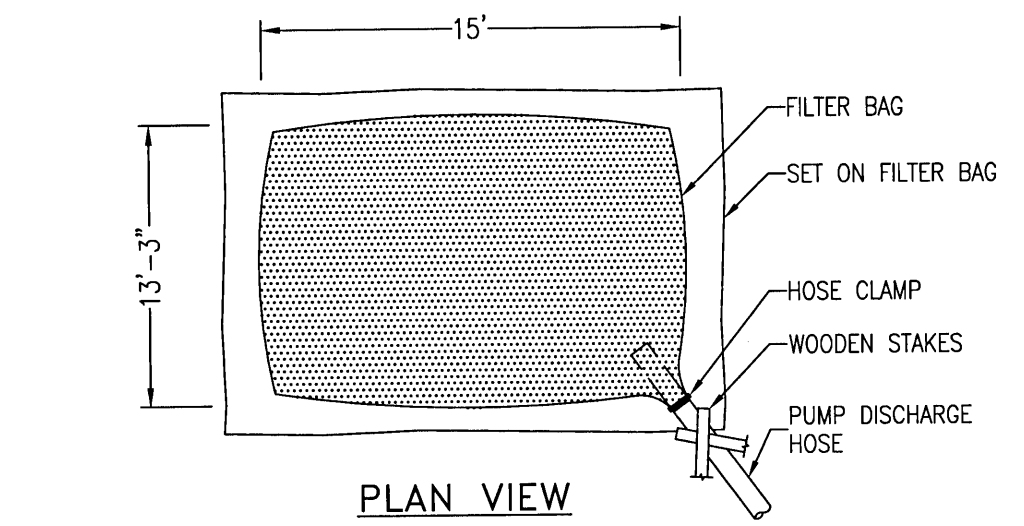
TREE BARRICADE DETAIL
N.T.S.

DESCRIPTION:
FILTER BAGS WILL BE USED AS AN EFFECTIVE FILTER MEDIUM TO CONTAIN SAND, SILT AND FINES WHEN TRENCH DEWATERING. THE WETLAND FILTER BAG CONTAINS THESE MATERIALS WHILE ALLOWING THE WATER TO FLOW THROUGH THE FABRIC.

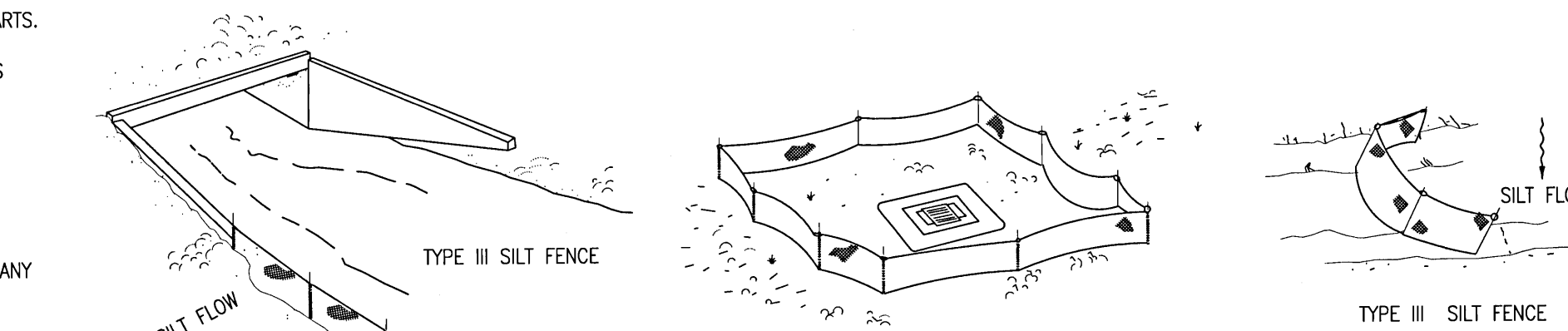
INSTALLATION:
WETLAND FILTER BAGS MAY REPLACE HAY BALE CORRALS DURING TRENCH DEWATERING. AT THE DISCRETION OF THE ENGINEER INSPECTOR, TO INSURE PROPER INSTALLATION, FILTER BAGS WILL BE PLACED ON RELATIVELY FLAT TERRAIN FREE OF BRUSH AND STUMPS TO AVOID RUPTURES AND PUNCTURES. PROPER INSTALLATION REQUIRES CUTTING A SMALL HOLE IN THE CORNER OF THE BAG, INSERTING THE PUMP DISCHARGE HOSE, AND THEN SECURING THE DISCHARGE HOSE TO THE BAG WITH A HOSE CLAMP. FILTER BAGS WILL BE PLACED AS FAR AWAY FROM FLOWING STREAMS AND WETLANDS AS POSSIBLE.

MAINTENANCE:
PRIOR TO REMOVING A BAG FROM THE HOSE, THE BAG WILL BE TIED OFF BELOW THE END OF THE HOSE ALLOWING THE BAG TO DRAIN. DRAINAGE WILL NOT BE ALLOWED THROUGH THE INLET HOLE. TO AVOID RUPTURE, THE BAGS WILL BE ATTENDED AND PUMPING RATES MONITORED. ONCE THE BAG IS INFLATED TO A HEIGHT OF 4 FEET, PUMPING WILL STOP TO AVOID RUPTURE. FILTER BAGS USED DURING CONSTRUCTION WILL BE BUNDLED AND REMOVED FOR PROPER DISPOSAL.

SPECIFICATION:
FILTER BAGS ARE CONSTRUCTED OF NON-WOVEN GEOTEXTILE FABRIC. A MAXIMUM OF ONE SIX INCH DISCHARGE HOSE WILL BE ALLOWED PER FILTER BAG. BAG CAPACITY WILL BE EXCEEDED BEYOND 2,000 GALLONS PER MINUTE. TYPICAL BAG DIMENSIONS ARE 15 FEET BY 13.25 FEET, TO HELP PREVENT PUNCTURES, GEOTEXTILE FABRIC WILL BE PLACED BENEATH THE FILTER BAG WHEN USED IN WOODED LOCATIONS. UNATTENDED FILTER BAGS WILL BE ENCIRCLED WITH A HAY BALE OR SILT FENCE CORRAL. HOSE CLAMPS WILL BE USED TO SECURE THE DISCHARGE HOSE, WIRE OR STRING WILL NOT BE USED.

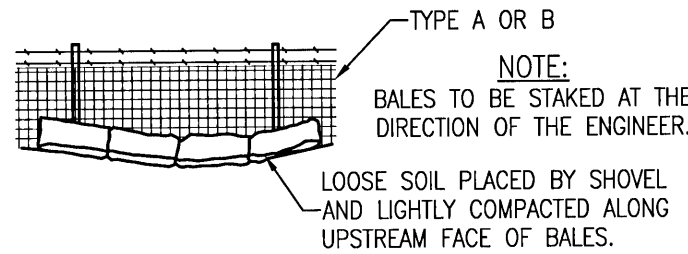


FILTER BAG DETAIL FOR TRENCH DEWATERING OPERATIONS
N.T.S.

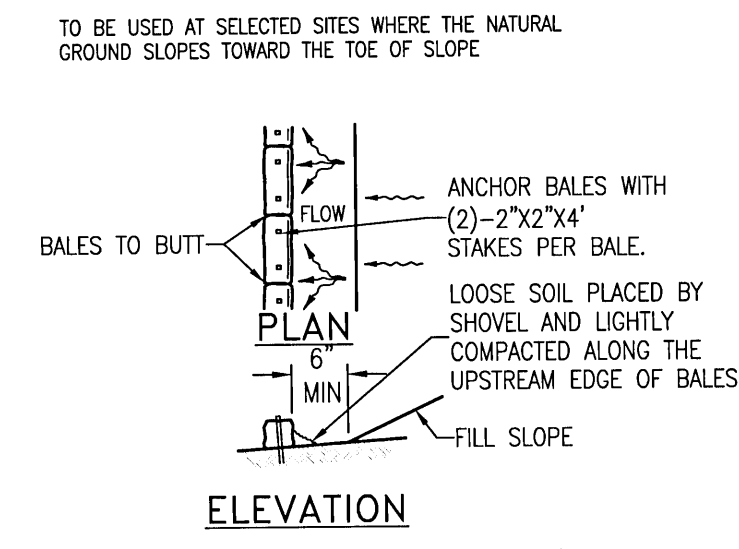
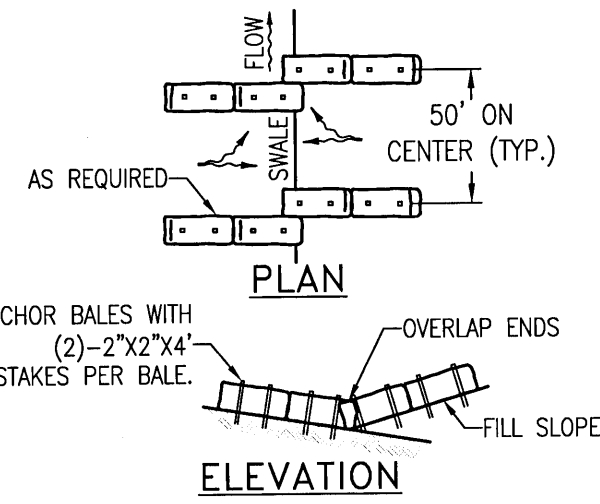


SILT FENCE APPLICATIONS
N.T.S.

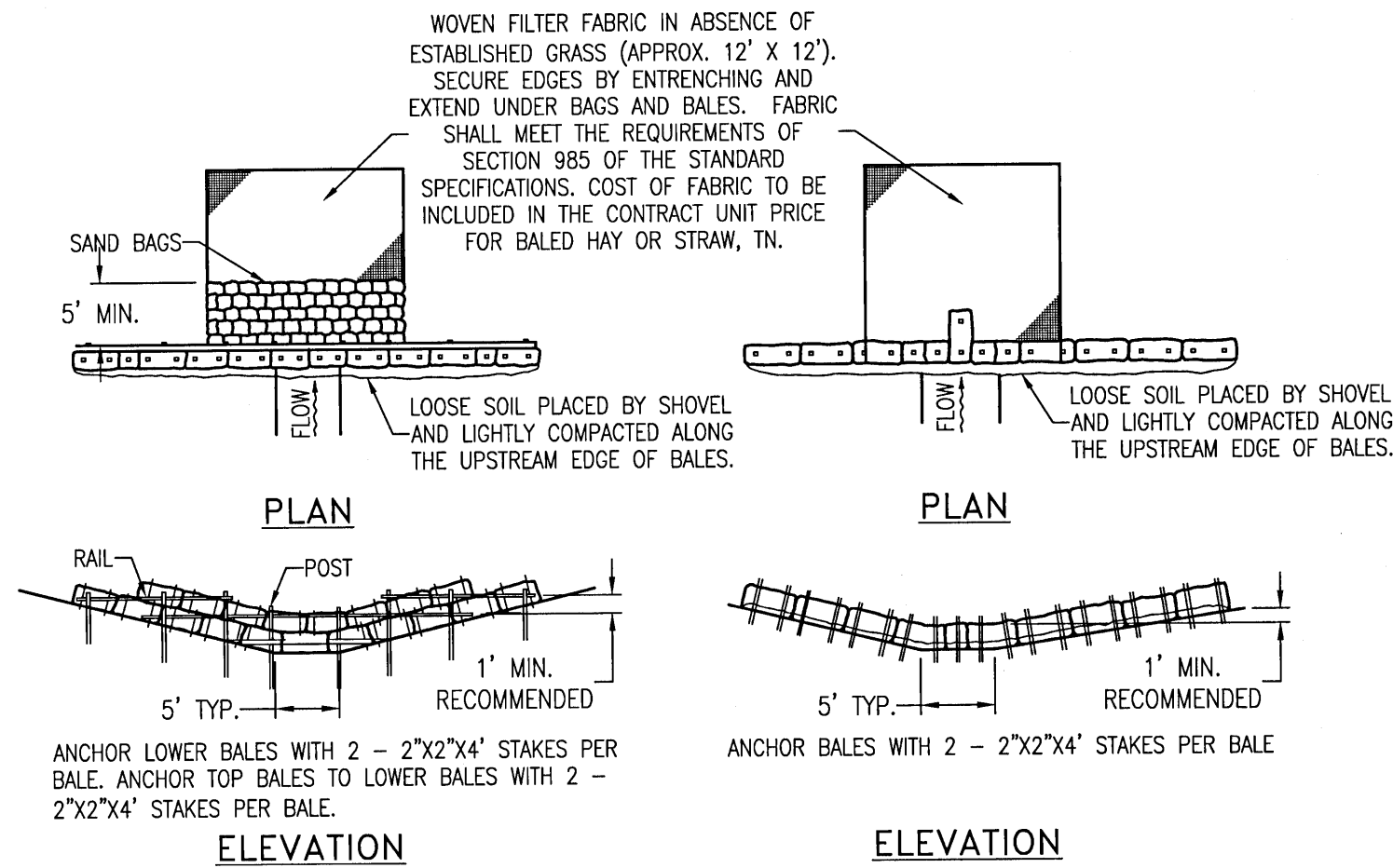
DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.



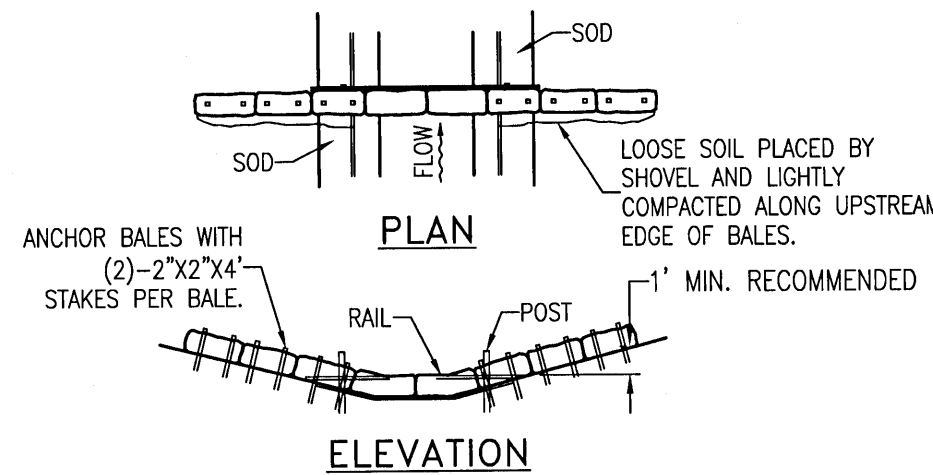
STRAW BALES BACKED BY FENCE
N.T.S.



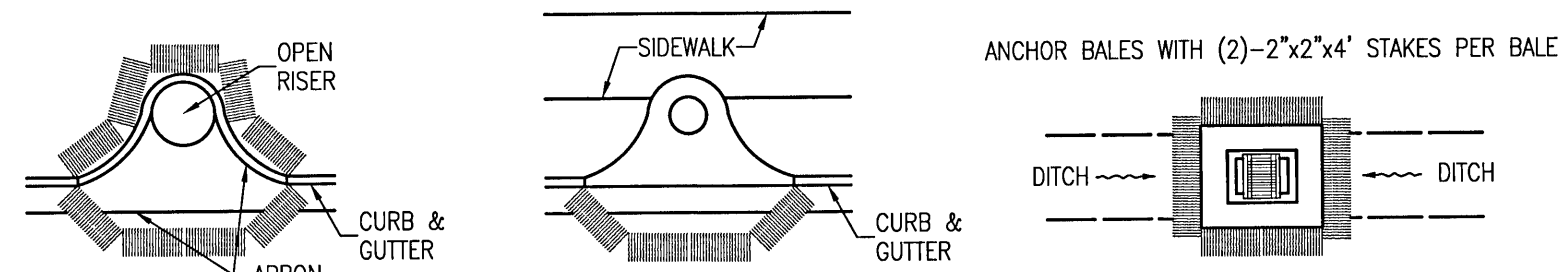
BARRIERS FOR FILL SLOPES
N.T.S.



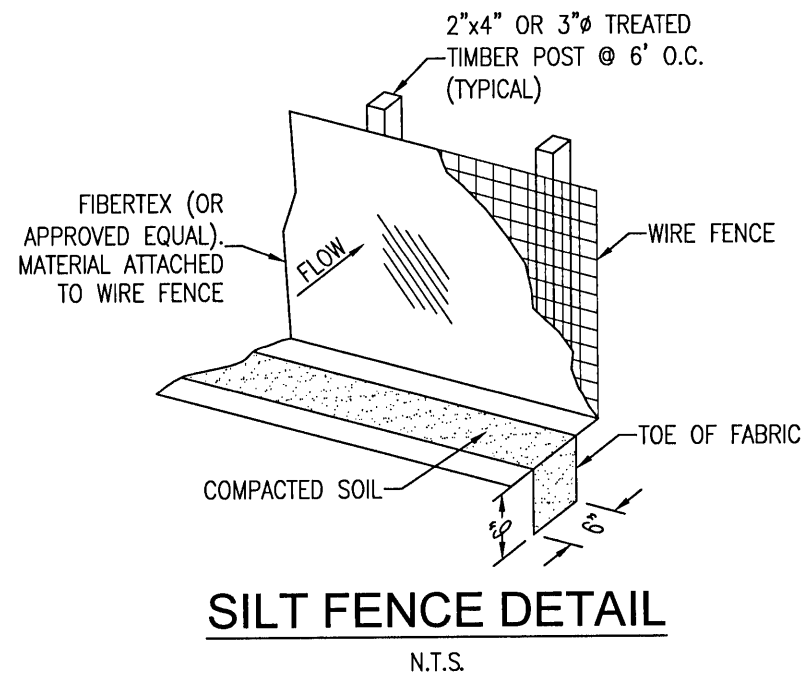
APPLICATION AND SPACING: THE USE OF TYPES I & II BALE BARRIERS SHOULD BE LIMITED TO THE CONDITIONS OUTLINED IN CHART 1, SHEET 1 OF 3, INDEX NO. 102
BARRIER FOR UNPAVED DITCH
N.T.S.



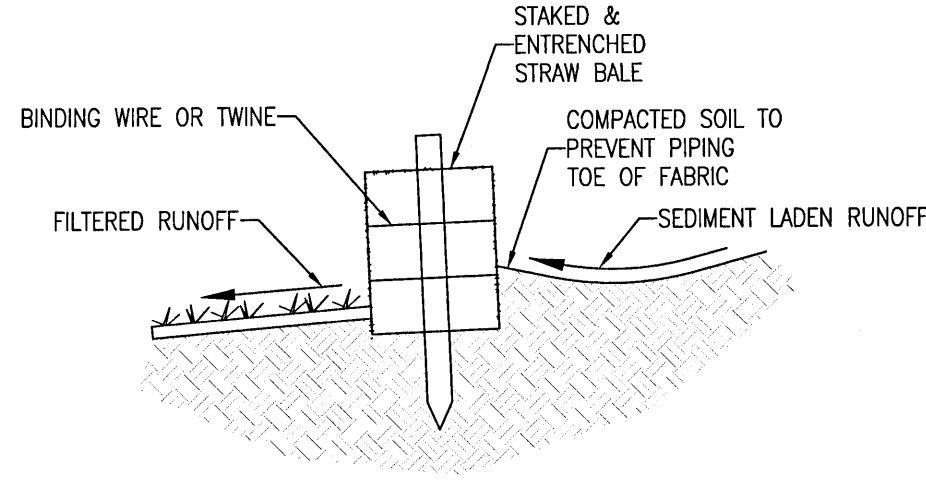
SPACING:
BALE BARRIERS FOR PAVED DITCHES SHOULD BE SPACED IN ACCORDANCE WITH CHART 1, SHEET 1 OF 3, INDEX NO. 102
BARRIER FOR PAVED DITCH
N.T.S.



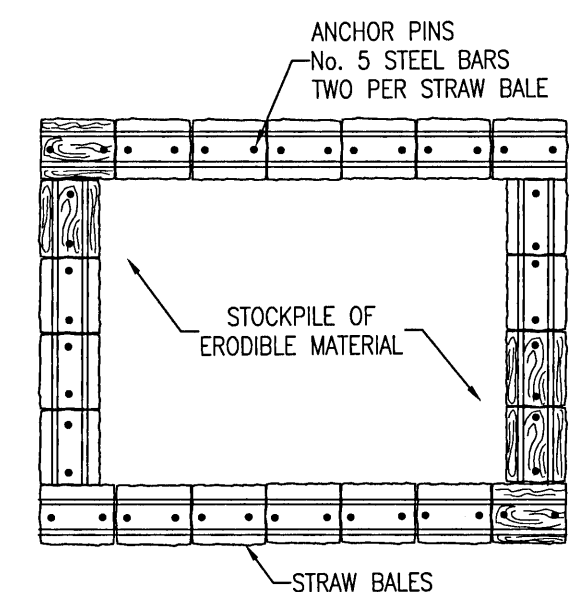
PROTECTION AROUND INLETS OR SIMILAR STRUCTURES
N.T.S.



SILT FENCE DETAIL
N.T.S.

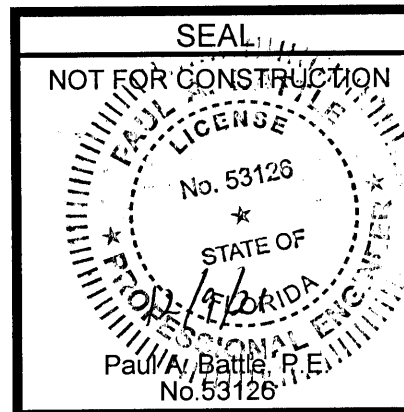


STRAW BALE DETAIL
N.T.S.



MATERIAL STOCKPILE DETAIL
N.T.S.

No.	DATE	REVISION



Dr. By: CBD
Ck By: PAB
Job No.: 2021.040
Date: 11/30/2021

DRAWING No.

C1.1
SHEET 3

STORM WATER POLLUTION PREVENTION PLAN

1.0 BACKGROUND & REQUIREMENTS:

1.1 INTRODUCTION:

THE REFERENCED SUPPORT DOCUMENTATION FOR THIS STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY'S (EPA) STORM WATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES, DEVELOPING POLLUTION PREVENTION PLANS AND BEST MANAGEMENT PRACTICES SUMMARY GUIDANCE (EPA 833-R-92-001) AND STORM WATER MANAGEMENT FOR CONSTRUCTION ACTIVITIES, DEVELOPING POLLUTION PREVENTION PLANS AND BEST MANAGEMENT PRACTICES (EPA 832-R-92-005). THIS SWPPP IS DESIGNED TO PROTECT ONSITE AND ADJACENT NATURAL RESOURCES, INCLUDING BUT NOT LIMITED TO, WETLANDS, MARSHES, BAYOUS AND BAYS, WHILE PRESERVING WILDLIFE AND ARCHEOLOGICAL RESOURCES.

AN ENVIRONMENTAL RESOURCE PERMIT APPLICATION WILL BE SUBMITTED TO THE NWFWM D NOVEMBER 2021

1.2 NOTICE OF INTENT (NOI):

RULE 62-621.300(4), FAC REQUIRES THE CONSTRUCTION OPERATOR OF A SITE THAT DISTURBS ONE OR MORE ACRES TO OBTAIN COVERAGE FROM THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES. THE CONTRACTOR IS REQUIRED TO SUBMIT A NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (FDEP FORM 62-621.300(4)(B)) ALONG WITH THE APPROPRIATE APPLICATION FEE TO THE FOLLOWING ADDRESS 48 HOURS PRIOR TO COMMENCING CONSTRUCTION:

NPDES STORMWATER NOTICES CENTER, MS # 2510
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
2600 BLAIR STONE ROAD
TALLAHASSEE, FLORIDA 32399-2400

THIS FORM CAN BE OBTAINED FROM FDEP'S WEBSITE (WWW.DEP.STATE.FL.US) OR BY CONTACTING FDEP. PLEASE NOTE THAT THE CURRENT APPLICATION FEE IS \$300; HOWEVER, THIS FEE IS SUBJECT TO CHANGE WITHOUT NOTICE. ALWAYS REFER TO THE MOST CURRENT VERSION OF RULE 62-4.050(4)(D), FAC TO CONFIRM THE AMOUNT BEFORE SUBMITTING PAYMENT. IF CONSTRUCTION ACTIVITY EXCEEDS FIVE YEARS, THE CONTRACTOR MUST RE-APPLY FOR COVERAGE.

1.3 STORMWATER POLLUTION PREVENTION PLAN (SWPPP):

THE CONTRACTOR IS REQUIRED TO CERTIFY THIS STORMWATER POLLUTION PREVENTION PLAN (SWPPP) BELOW PRIOR TO SUBMITTING THE NOI. THIS SWPPP IS NOT REQUIRED TO BE SUBMITTED WITH THE NOI, BUT IS REQUIRED TO BE KEPT ON SITE DURING ALL PHASES OF CONSTRUCTION. BECAUSE EROSION AND SEDIMENT CONTROLS AND CONSTRUCTION METHODS VARY SIGNIFICANTLY FROM CONTRACTOR TO CONTRACTOR, THE CONTRACTOR CAN PROPOSE ALTERNATIVE METHODS TO THIS SWPPP THAT ARE EQUAL OR BETTER AT CONTROLLING EROSION AND SEDIMENTATION. AT A MINIMUM, THE CONTRACTOR MUST FOLLOW THE EROSION CONTROL PLAN SPECIFIED IN THE CONSTRUCTION PLANS AND DOCUMENTS. ANY MODIFICATIONS TO THIS SWPPP MUST BE DOCUMENTED AND KEPT WITH THE PLAN AS PART OF THE RECORDS KEEPING PROCESS TO BE IN FULL COMPLIANCE WITH THE CGP.

1.4 CONTRACTOR'S / SUBCONTRACTOR CERTIFICATION:

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

PRINT & SIGN NAME	COMPANY & ADDRESS
_____	_____
_____	_____
_____	_____
NAME & TITLE (PRINT)	
SIGNATURE _____	DATE _____

1.5 RESPONSIBLE AUTHORITY CERTIFICATION:

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

PRINT & SIGN NAME	COMPANY & ADDRESS
_____	_____
_____	_____
NAME & TITLE (PRINT)	
_____	_____
SIGNATURE _____	DATE _____

1.6 NOTICE OF TERMINATION (NOT):

THE CONTRACTOR IS REQUIRED TO SUBMIT A NOTICE OF TERMINATION OF GENERIC PERMIT COVERAGE (FDEP FORM 62-621.300(6)) UPON CONSTRUCTION COMPLETION TO DISCONTINUE PERMIT COVERAGE. THE NOT IS TO BE SUBMITTED TO THE FOLLOWING ADDRESS:

NPDES STORMWATER NOTICES CENTER, MS # 2510
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
2600 BLAIR STONE ROAD
TALLAHASSEE, FLORIDA 32399-2400

THIS FORM CAN BE OBTAINED FROM FDEP'S WEBSITE (WWW.DEP.STATE.FL.US) OR BY CONTACTING FDEP. THE NOT CAN NOT BE SUBMITTED UNTIL ALL DISTURBED SOILS AT THE CONSTRUCTION SITE HAVE BEEN FINALLY STABILIZED AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN REMOVED OR WILL BE REMOVED AT AN APPROPRIATE TIME. FINAL STABILIZATION MEANS THAT ALL SOIL DISTURBING ACTIVITIES AT THE SITE HAVE BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70 PERCENT OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN ESTABLISHED, OR EQUIVALENT STABILIZATION MEASURES HAVE BEEN EMPLOYED. IF CONSTRUCTION ACTIVITY EXCEEDS FIVE YEARS, THE CONTRACTOR MUST RE-APPLY FOR COVERAGE.

1.7 APPLICATION INFORMATION:

PROJECT ADDRESS: 5760 MULDOON ROAD
PENSACOLA, FL

LATITUDE: N 30.455011'
LONGITUDE: W 87.314377'

WATER MANAGEMENT DISTRICT: NORTHWEST FLORIDA (NWFWM D)

MS4 OPERATOR NAME: ESCAMBIA COUNTY

RECEIVING WATER NAME: PERIDDO BAY

2.0 SITE DESCRIPTION:

2.1 NATURE OF CONSTRUCTION ACTIVITIES:

THIS PROJECT INVOLVES THE CONSTRUCTION OF A 33 LOT RESIDENTIAL SUBDIVISION. CONSTRUCTION INCLUDES ROADWAYS, UTILITIES AND A STORMWATER COLLECTION/MANAGEMENT SYSTEMS.

2.2 SEQUENCE OF MAJOR SOIL DISTURBING ACTIVITIES:

THE FOLLOWING SEQUENCE OF MAJOR ACTIVITIES SHALL BE FOLLOWED UNLESS THE CONTRACTOR CAN PROPOSE AN ALTERNATIVE THAT IS EQUAL TO OR BETTER AT CONTROLLING EROSION AND SEDIMENTATION. THE DETAILED SEQUENCE FOR THE ENTIRE PROJECT CAN VARY SIGNIFICANTLY FROM CONTRACTOR TO CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ANY CHANGES.

- CLEAR, GRUB AND PERFORM ALL DEMOLITION WORK.
- COMPLETE ROUGH GRADING OF THE POND AND DIRECT ALL STORMWATER RUNOFF TO THE POND(S).
- CONSTRUCT ALL UNDERGROUND UTILITIES AND STORM DRAIN SYSTEM.
- CONSTRUCT ROADS (SUBGRADE, CURB & GUTTER, BASE, PAVEMENT, SIDEWALKS, AND LANDSCAPING).
- COMPLETE STORMWATER PONDS.

2.3 AREA ESTIMATES:

ONSITE AREA: 5.31 ACRES
OFFSITE AREA: 3.43 ACRES
TOTAL AREA: 8.74 ACRES
AREA TO BE DISTURBED: 5.31 ACRES

2.4 RUNOFF DATA:

RUNOFF COEFFICIENTS (C): PHASE 1

BEFORE:	COMPOSITE C =	0.23
DURING:	VARIES BETWEEN =	0.23 & 0.53
AFTER:	COMPOSITE C =	0.53

SOILS DATA:
BENEATH UP TO 24" OF TOPSOIL, THE TEST BORINGS GENERALLY ENCOUNTERED MIXED STRATA OF FINE-GRAINED SANDS, SLIGHTLY SILTY SANDS, AND SILTY SANDS.

DRAINAGE AREAS FOR EACH OUTFALL:

OUTFALL LOCATION	TOTAL AREA FLOWING TO POND	'C' COEFFICIENT
N/A	8.74	0.53

2.5 SITE MAP:

THE CONSTRUCTION PLANS ARE TO BE USED AS THE SITE MAPS. THE LOCATION OF THE REQUIRED INFORMATION IS DESCRIBED BELOW. THE SHEET NUMBERS FOR ALL THE ITEMS DISCUSSED BELOW ARE IDENTIFIED ON THE KEY SHEET OF THE CONSTRUCTION PLANS.

- DRAINAGE PATTERNS: ALL DRAINAGE PATTERNS ARE SHOWN ON THE GRADING & DRAINAGE PLANS.
- APPROXIMATE SLOPES: APPROXIMATE SLOPES ARE SHOWN ON THE GRADING & DRAINAGE POND SIDE SLOPES ARE SHOWN ON THE POND CROSS-SECTIONS.
- AREAS OF SOIL DISTURBANCE: ALL DEMOLITION IS SHOWN ON THE EXISTING SITE CONDITIONS AND DEMOLITION AND EROSION CONTROL PLAN SHEET. ALL PROPOSED CONSTRUCTION IS SHOWN ON THE REMAINING PLANS. ANY AREAS WHERE DEMOLITION WORK OR PERMANENT FEATURES ARE SHOWN ABOVE OR BELOW GROUND WILL BE DISTURBED.
- AREAS NOT TO BE DISTURBED: ANY AREAS NOT SHOWING DEMOLITION WORK OR PERMANENT FEATURES ARE ASSUMED NOT TO BE DISTURBED. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO INDICATE ON THE PLANS ANY OF THESE AREAS THAT DO GET DISTURBED AS WELL AS ANY AREAS USED FOR STAGING AND MATERIALS STORAGE.
- LOCATIONS OF CONTROLS: ALL PROPOSED TEMPORARY CONTROLS AND EXISTING PERMANENT CONTROLS ARE SHOWN ON THE EXISTING SITE, DEMOLITION AND EROSION CONTROL PLAN. ALL PROPOSED PERMANENT CONTROLS ARE SHOWN ON THE REMAINING PLANS. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO INDICATE THE LOCATION OF ANY OTHER CONTROLS ON THE PLANS THAT ARE USED DURING CONSTRUCTION.
- PERMANENT STABILIZATION IS SHOWN ON THE PLANS. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO INDICATE THE LOCATION ON THE PLANS OF ALL TEMPORARY STABILIZATION PRACTICES USED DURING CONSTRUCTION.

- SURFACE WATERS: N/A
- DISCHARGE POINTS: N/A

2.6 RECEIVING WATERS:

PERIDDO BAY

3.0 CONTROLS:

3.1 EROSION AND SEDIMENT CONTROLS:

ALL EROSION AND SEDIMENT CONTROLS SPECIFIED ON THE DEMOLITION AND EROSION CONTROL PLAN SHEETS, AND THE EROSION CONTROL DETAILS SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION OR DEMOLITION. SILT FENCING AND STAKED HAY BALES SHALL BE INSTALLED ALONG DOWN-GRADIENT LIMITS.

TEMPORARY SEEDING AND MULCHING SHALL BE APPLIED AFTER 14-DAY INTERVALS OF CEASED DISTURBANCE ACTIVITIES THAT WILL EXCEED 20-DAY PERIODS. GRADED AREAS SHALL BE STABILIZED WITH PERMANENT SEEDING, MULCHING, AND FERTILIZING, OR SODDING WITHIN FIVE DAYS OF FINAL GRADING. LANDSCAPING, INCLUDING SODDING, SHALL BE INSTALLED BY AN EXPERIENCED LANDSCAPE CONTRACTOR. PROPOSED DISTURBED AREAS WILL NOT EXCEED 8 ACRES IN ANY DRAINAGE AREA.

3.2 STORMWATER MANAGEMENT:

PROPOSED STORMWATER MANAGEMENT FACILITIES FOR THIS SITE INCLUDE: A DRY RETENTION FACILITY.

THE PROPOSED STORMWATER MANAGEMENT FACILITIES MEET ALL STORMWATER TREATMENT REQUIREMENTS AND ALL RATE CONTROL REQUIREMENTS SET FORTH BY THE LOCAL AND STATE REGULATORY AGENCIES.

3.3 OTHER CONTROLS:

WASTE DISPOSAL: THE CONTRACTOR IS RESPONSIBLE FOR ALL WASTE DISPOSAL FROM THE SITE. THE CONTRACTOR SHALL EMPLOY WASTE DISPOSAL PRACTICES THAT MEET ALL LOCAL, STATE, AND FEDERAL GUIDELINES AND PREVENT DISCHARGE OF SOLID MATERIALS TO WATERS OF THE UNITED STATES. THE CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING THIS PORTION OF THE SWPPP.

OFFSITE VEHICLE TRACKING: IF OFF SITE TRACKING OF SEDIMENTS BY CONSTRUCTION VEHICLES OCCURS, THE CONTRACTOR IS REQUIRED TO INSTALL A SOIL TRACKING PREVENTION DEVICE (STPD) AS PER FDOT STANDARD INDEX 106 AT ALL EXITS TO THE SITE WHERE SEDIMENT TRACKING IS OCCURRING. THE CONTRACTOR IS ALSO RESPONSIBLE FOR DOCUMENTING THIS PORTION OF THE SWPPP.

HAZARDOUS MATERIALS: ALL POLLUTANTS AND HAZARDOUS MATERIALS INCLUDING BUT NOT LIMITED TO FERTILIZERS, HERBICIDES, PESTICIDES, SOLVENTS, OILS AND OIL FILTERS, PETROLEUM PRODUCTS, PAINT, AND EQUIPMENT MAINTENANCE FLUIDS, SHALL BE STORED INDOORS OR UNDER COVER IN AREAS WITH SECONDARY CONTAINMENT. SECONDARY CONTAINMENT PREVENTS A SPILL FROM SPREADING ACROSS THE SITE AND INCLUDES DIKES, BERMS, CURBING, OR OTHER CONTAINMENT METHODS. HAZARDOUS MATERIAL STORAGE AREAS SHALL BE INSPECTED WEEKLY AND AFTER STORM EVENTS. STORAGE AREAS SHALL BE KEPT CLEAN, WELL ORGANIZED, AND EQUIPPED WITH AMPLE CLEANUP SUPPLIES/SPILL KITS AS APPROPRIATE FOR THE MATERIALS BEING STORED. MATERIAL SAFETY DATA SHEETS, MATERIAL INVENTORY, AND EMERGENCY CONTACT INFORMATION SHALL BE MAINTAINED ON-SITE. ALL PERSONNEL SHALL RECEIVE INSTRUCTION REGARDING PROPER PROCEDURES FOR HAZARDOUS MATERIAL HANDLING AND DISPOSAL. HAZARDOUS MATERIALS SHALL NOT BE DISPOSED OF INTO ON-SITE DUMPSTERS; HAZARDOUS MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, AND MUNICIPAL REGULATIONS. VEHICLES AND EQUIPMENT WILL BE MAINTAINED OFF-SITE. ALL VEHICLES AND EQUIPMENT INCLUDING SUBCONTRACTOR VEHICLES WILL BE CHECKED FOR LEAKING OIL AND FLUIDS. VEHICLES LEAKING FLUIDS WILL NOT BE ALLOWED ON-SITE. DRIP PANS SHALL BE PLACED UNDER ALL VEHICLES AND EQUIPMENT THAT ARE PARKED OVERNIGHT.

APPLICATION OF FERTILIZERS, HERBICIDES, AND PESTICIDES: FERTILIZERS, HERBICIDES, AND PESTICIDES SHALL BE DELIVERED TO THE SITE IN ORIGINAL, UNOPENED CONTAINERS BEARING MANUFACTURER'S CHEMICAL ANALYSIS, NAME, TRADE NAME, TRADEMARK, AND INDICATION OF CONFORMANCE TO STATE AND FEDERAL LAWS. FERTILIZERS, HERBICIDES, AND PESTICIDES SHALL BE IN APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S SUGGESTED RATE.

5.0 INSPECTIONS:

QUALIFIED PERSONNEL SHALL INSPECT THE FOLLOWING ITEMS, BUT NOT LIMITED TO, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.25 INCHES OR GREATER WHERE SITES HAVE BEEN FINALLY STABILIZED, INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH.

- POINTS OF DISCHARGE TO WATERS OF THE UNITED STATES.
- POINTS OF DISCHARGE TO MUNICIPAL SEPARATE STORM SEWER SYSTEMS.
- DISTURBED AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
- AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION.
- STRUCTURAL CONTROLS.
- STORMWATER MANAGEMENT SYSTEMS.
- LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE.

6.0 NON-STORMWATER DISCHARGES:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING ANY HAZARDOUS SUBSTANCE SPILLS THAT MAY EQUAL OR EXCEED A REPORTABLE QUANTITY (RQ). REFER TO EPA'S LIST OF HAZARDOUS SUBSTANCES AND REPORTABLE QUANTITIES (EPA 40 CFR 302.4 & 117). V THIS LIST CAN BE OBTAINED FROM EPA'S WEBSITE (WWW.EPA.GOV) OR BY CONTACTING EPA. IF AN RQ RELEASE DOES OCCUR THE CONTRACTOR SHALL PERFORM THE FOLLOWING PROCEDURES:

- NOTIFY THE NATIONAL RESPONSE CENTER IMMEDIATELY AT 800-424-8802.
- PROVIDE WRITTEN DESCRIPTION OF THE RELEASE WITHIN 14 DAYS
- PROVIDING DATES, CAUSE AND PREVENTION METHODS TO THE REGIONAL EPA OFFICE.
- MODIFY THE SWPPP AS NECESSARY TO ADDRESS ADDED PREVENTION METHODS.

7.0 IMPLEMENTATION CHECKLIST:

7.1 RECORDS:

THE CONTRACTOR SHALL MAINTAIN RECORDS OF CONSTRUCTION ACTIVITIES INCLUDING, BUT NOT LIMITED TO:

- DATES WHEN MAJOR GRADING ACTIVITIES OCCUR.
- DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY CEASE ON A PORTION OF THE SITE.
- DATES WHEN CONSTRUCTION ACTIVITIES PERMANENTLY CEASE ON A PORTION OF THE SITE.
- DATES WHEN STABILIZATION MEASURES ARE INITIATED ON THE SITE.

7.2 INSPECTION REPORTS:

THE CONTRACTOR SHALL PREPARE INSPECTION REPORTS SUMMARIZING THE FOLLOWING, BUT NOT LIMITED TO:

- NAME OF INSPECTOR.
- QUALIFICATIONS OF INSPECTOR.
- MEASURES/AREAS INSPECTED.
- OBSERVED CONDITIONS.
- CHANGES NECESSARY TO THE SWPPP.

7.3 RELEASES OF REPORTABLE QUANTITIES OF OIL OR HAZARDOUS MATERIALS:

THE CONTRACTOR SHALL REPORT ANY RELEASES OF REPORTABLE QUANTITIES OF OIL OR HAZARDOUS MATERIALS IF THEY OCCUR AS PER THE MEASURES OUTLINED IN SECTION 6.0 OF THE SWPPP.

7.4 SWPPP MODIFICATION:

THE CONTRACTOR SHALL MODIFY THE SWPPP AS NECESSARY TO:

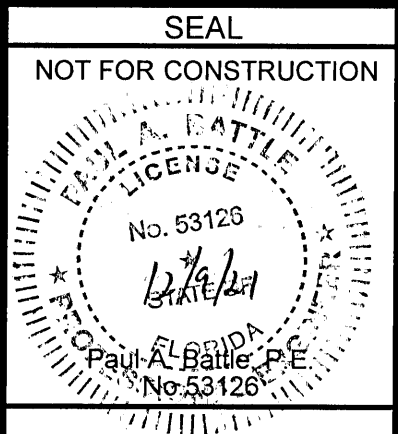
- COMPLY WITH MINIMUM PERMIT REQUIREMENTS WHEN NOTIFIED BY FDEP THAT THE PLAN DOES NOT COMPLY.
- ADDRESS ANY CHANGES IN DESIGN, CONSTRUCTION OPERATIONS OR MAINTENANCE, WHICH HAS AN EFFECT ON THE POTENTIAL FOR DISCHARGE OF POLLUTANTS.
- PREVENT REOCCURRENCE OF REPORTABLE QUANTITY RELEASES OF HAZARDOUS MATERIAL OR OIL.

8.0 TERMINATION CHECKLIST:

THE FOLLOWING ITEMS SHALL BE COMPLETE BEFORE SUBMITTING THE NOT:

- ALL SOIL DISTURBING ACTIVITIES ARE COMPLETE.
- TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN REMOVED OR WILL BE REMOVED AT AN APPROPRIATE TIME.
- ALL AREAS OF THE CONSTRUCTION SITE NOT OTHERWISE COVERED BY PERMANENT PAVEMENT OR STRUCTURE HAVE BEEN STABILIZED WITH UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% OR EQUIVALENT MEASURES HAVE BEEN EMPLOYED.

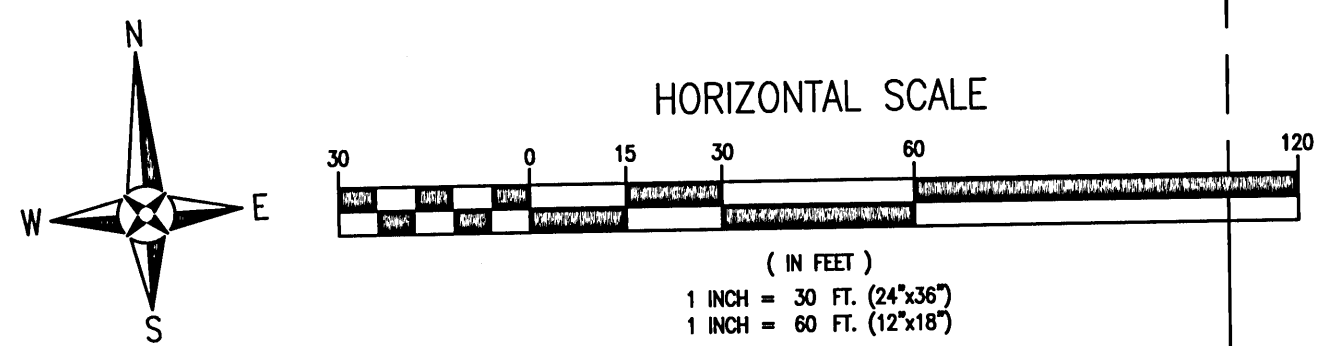
No.	DATE	REVISION



Dr. By: CBD
Ck By: PAB
Job No.: 2021.040
Date: 11/30/2021

DRAWING No.

C1.2
SHEET 4



LEGEND

[Pattern]	EXISTING ASPHALT
[Pattern]	PROPOSED GRAVEL
[Pattern]	PROPOSED ASPHALT
[Pattern]	PROPOSED CONCRETE

LAND DISTURBING NOTE:
ALL TREES ARE TO REMAIN ONSITE AND ALL LAND DISTURBING ACTIVITIES, INCLUDING THE PLACEMENT OF FILL/FILL MATERIALS, GRADING, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PLANS, PLAT, & PERMIT(S) ARE ISSUED FOR THE PROPOSED WORK.

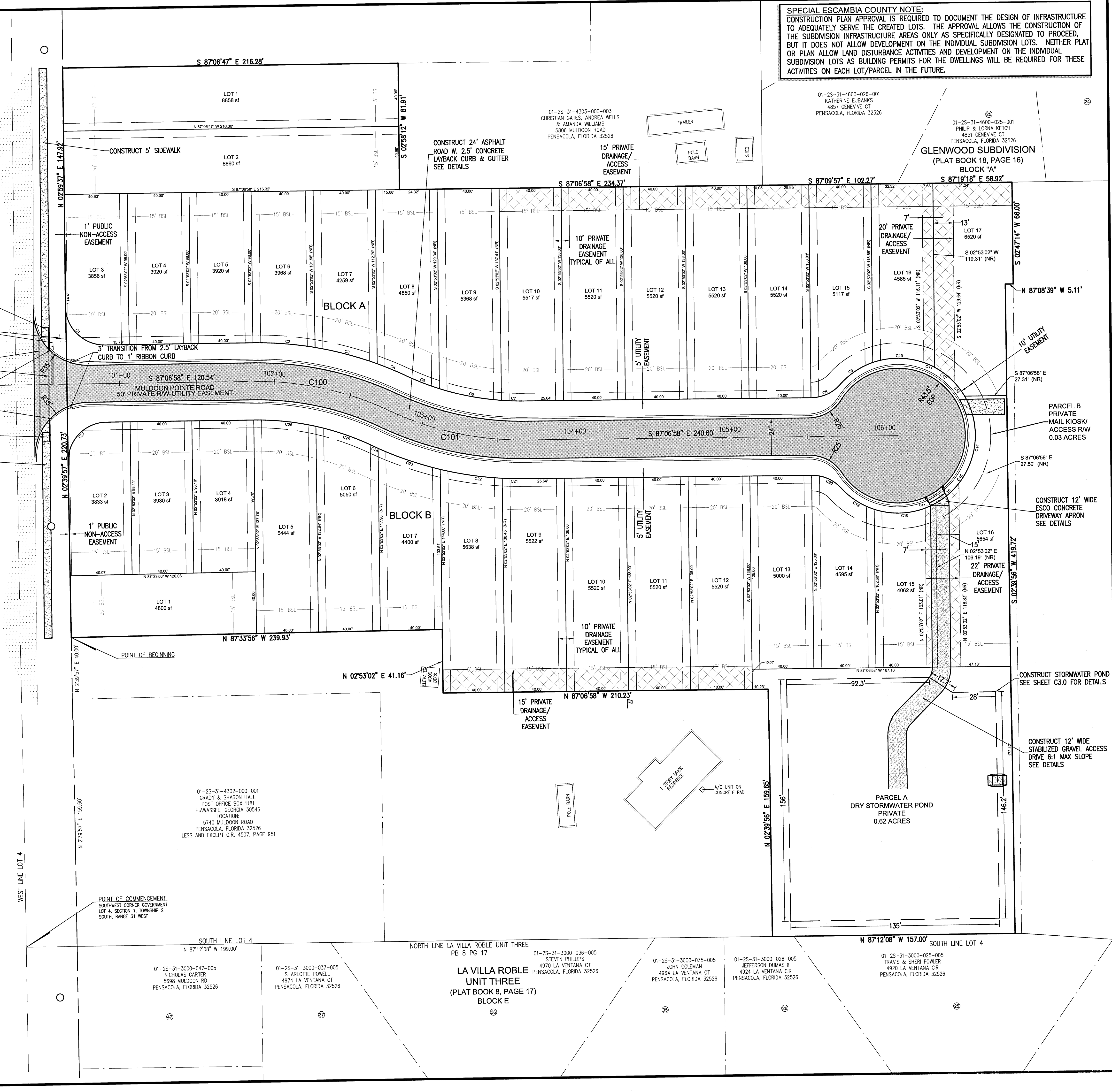
ALIGNMENT CURVE TABLE

Curve #	Radius	Length	Chord Direction	Chord	Delta
C101	200.04	91.15	S 74°19'45" E	90.36	28°06'26"
C100	200.00	90.21	S 74°11'43" E	89.44	25°50'31"

PARCEL CURVE TABLE

Curve #	Length	Radius	Central Angle	Chord	Chord Bearing
C1	39.13	25.00	89°40'31"	35.26	N 42°16'43" W
C2	40.21	225.00	10°14'25"	40.16	N 81°59'46" W
C3	41.58	225.00	10°35'14"	41.52	N 71°34'56" W
C4	19.69	225.00	5°00'52"	19.69	N 63°46'53" W
C5	23.66	175.00	7°44'46"	23.64	N 65°08'51" W
C6	40.90	175.00	13°23'25"	40.81	N 75°42'56" W
C7	14.37	175.00	4°42'20"	14.37	N 84°45'48" W
C8	21.03	25.00	48°11'23"	20.41	S 68°47'20" W
C9	25.87	50.00	29°38'44"	25.58	S 59°31'01" W
C10	33.63	50.00	38°32'27"	33.00	N 86°23'24" W
C11	7.69	50.00	8°49'02"	7.69	N 62°42'39" W
C12	16.66	50.00	19°05'07"	16.58	N 48°45'35" W
C13	10.56	50.00	12°06'03"	10.54	N 33°10'00" W
C14	52.36	50.00	60°00'00"	50.00	S 02°53'02" W
C15	7.47	50.00	8°33'33"	7.46	S 37°09'48" W
C16	19.75	50.00	22°37'37"	19.62	S 52°45'23" W
C17	7.69	50.00	8°49'02"	7.69	S 68°28'43" W
C18	33.63	50.00	38°32'27"	33.00	N 87°50'33" W
C19	25.87	50.00	29°38'44"	25.58	N 53°44'58" W
C20	21.03	25.00	48°11'23"	20.41	N 63°01'17" W
C21	14.37	225.00	3°39'30"	14.36	S 85°17'14" E
C22	40.53	225.00	10°19'18"	40.48	S 78°17'50" E
C23	42.47	225.00	10°48'51"	42.40	S 67°43'45" E
C24	4.11	225.00	1°02'52"	4.11	S 61°47'53" E
C25	38.57	175.00	12°37'44"	38.49	S 67°35'19" E
C26	40.36	175.00	13°12'47"	40.27	S 80°30'35" E
C27	39.37	25.00	90°13'05"	35.42	N 47°46'29" E

WELLHEAD PROTECTION NOTE:
THIS DEVELOPMENT PROJECT FALLS WITHIN THE TRAVEL TIME CONTOURS OF A PROTECTED (POTABLE) WELLHEAD. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ECUA-EMERALD COAST UTILITIES AUTHORITY 850-320-0519 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 850-595-6712) AGENCIES.



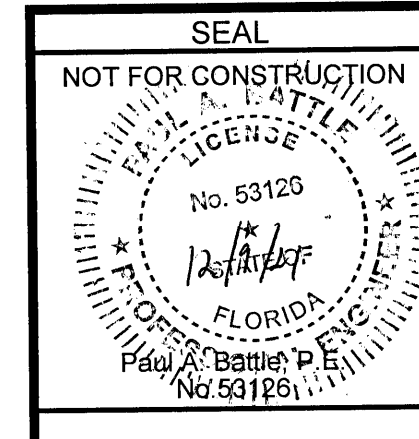
RBA
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors
2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.436.0448
Fax 850.436.0448

SITE LAYOUT & DIMENSION PLAN

MULDOON POINTE
A 33 Lot Subdivision
5760 MULDOON ROAD
ESCAMBIA COUNTY, FLORIDA

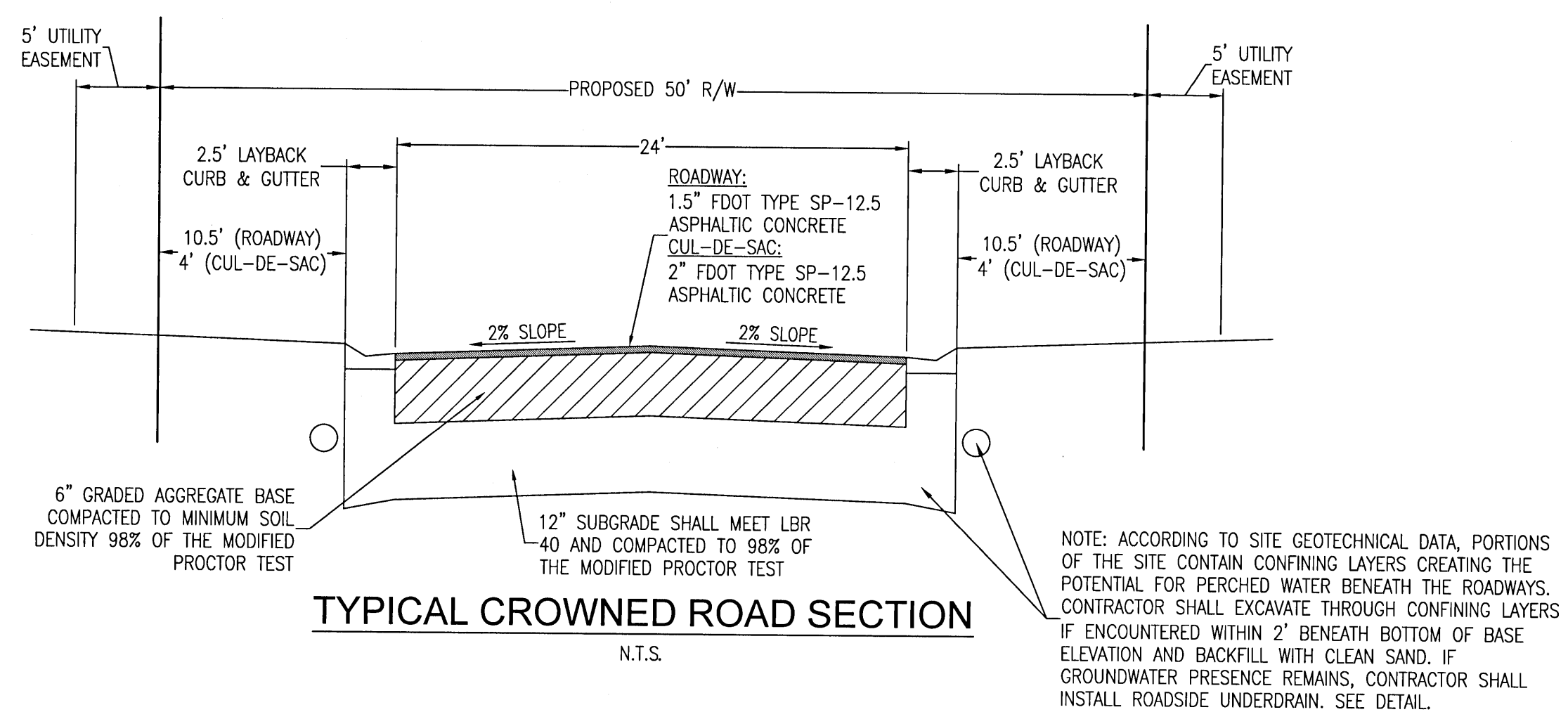
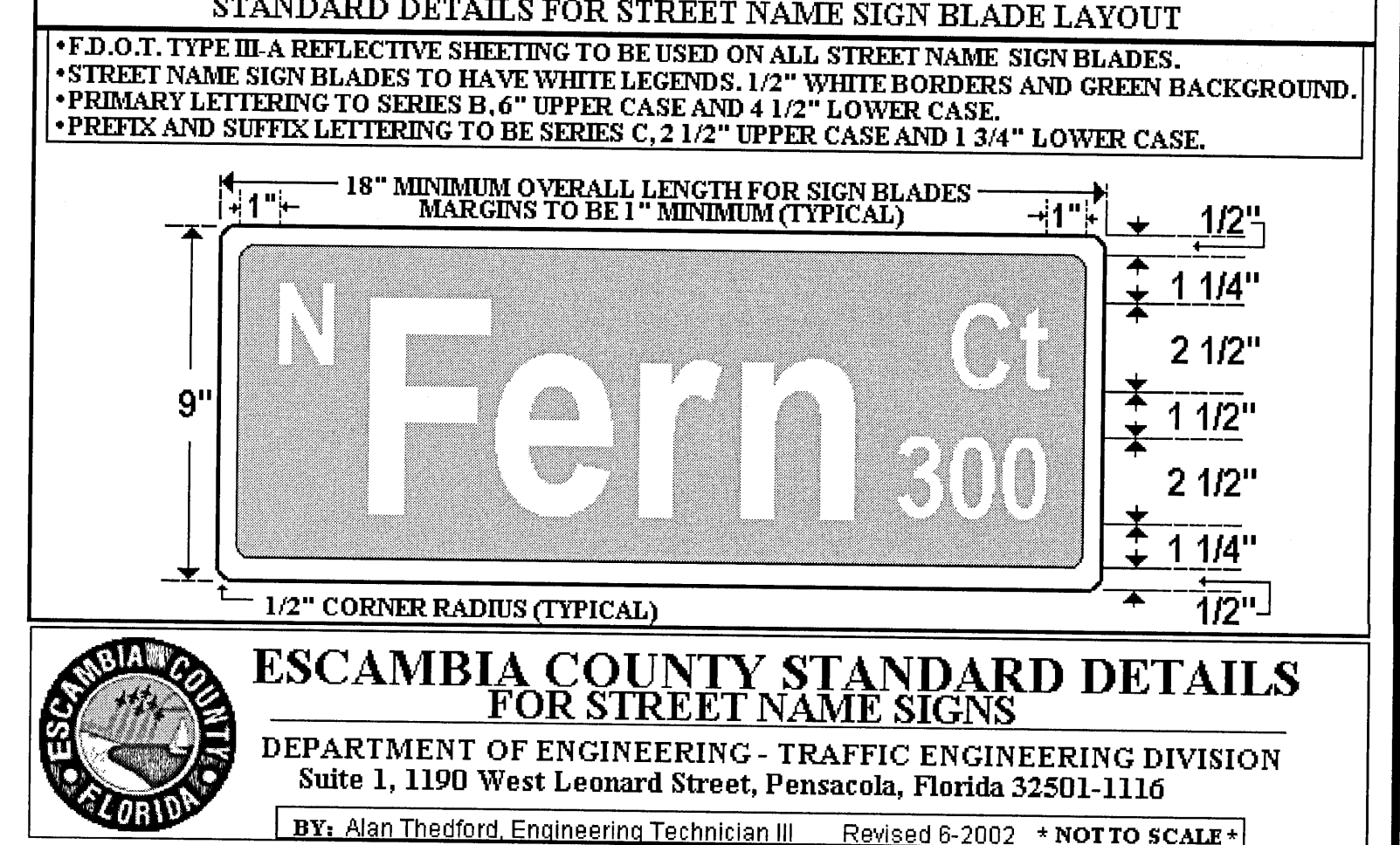
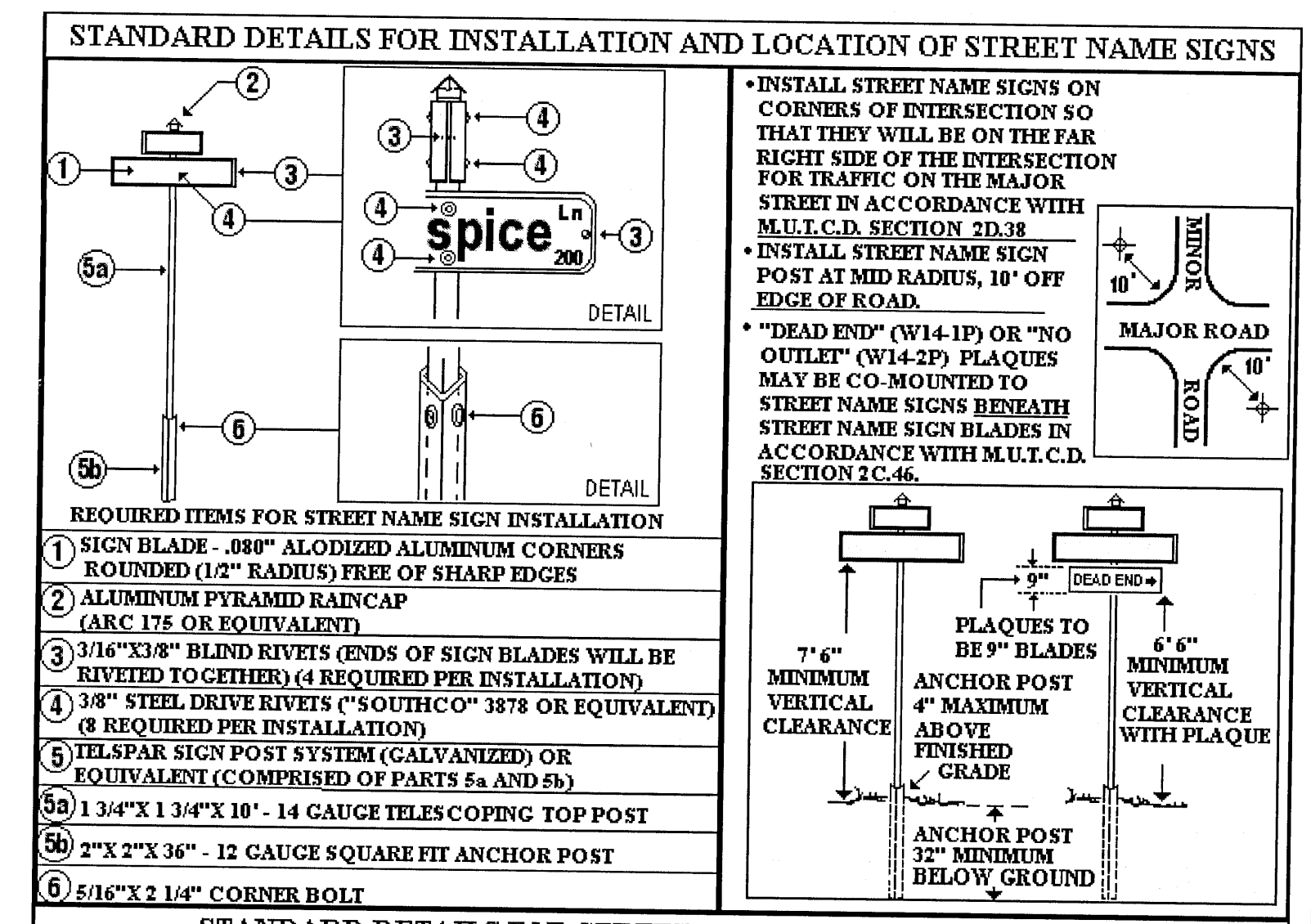
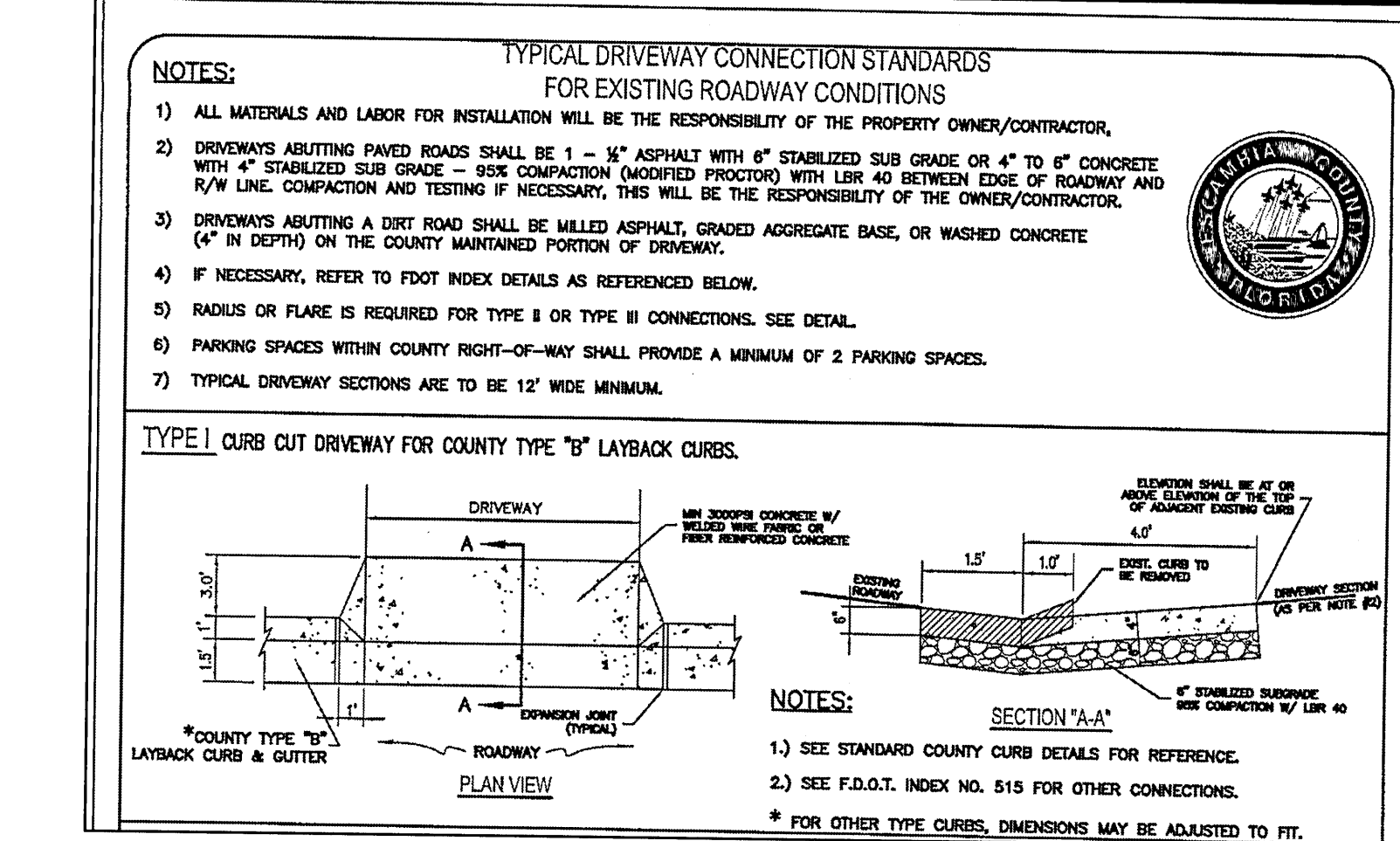
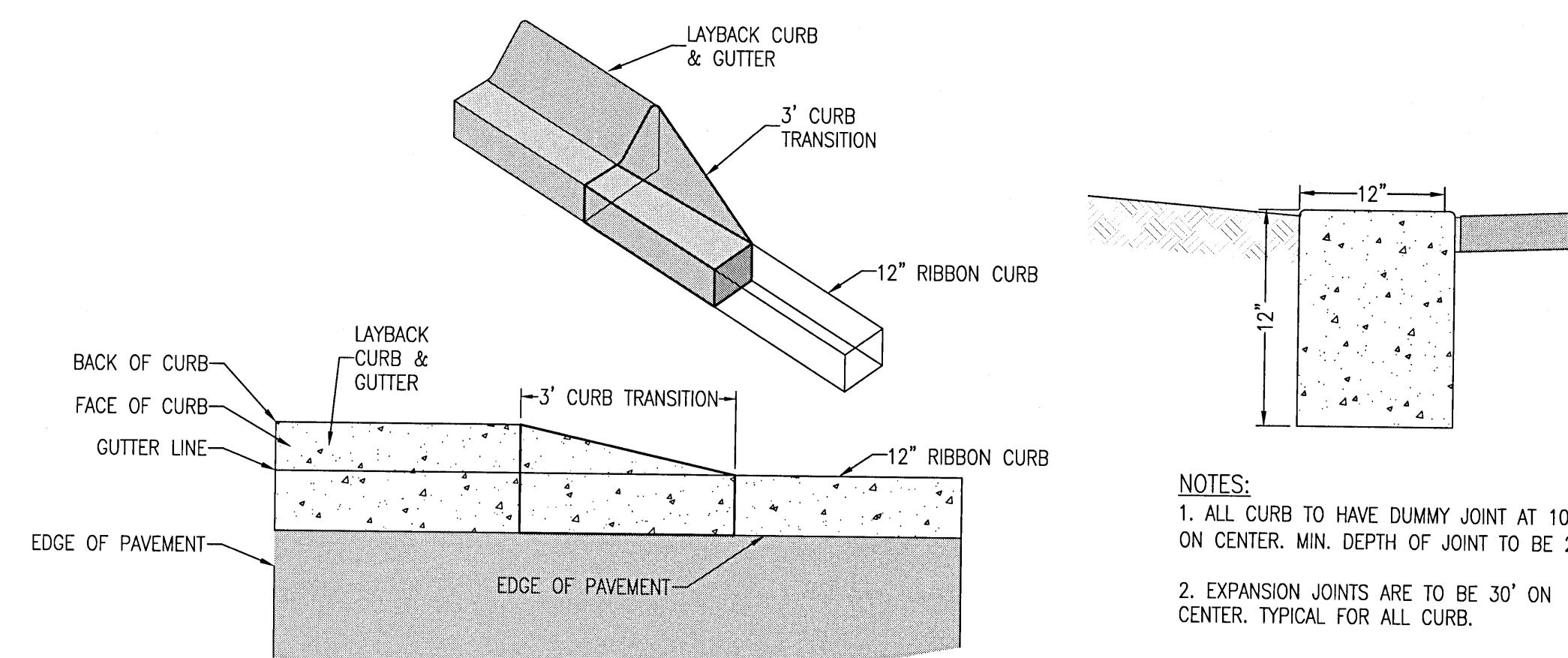
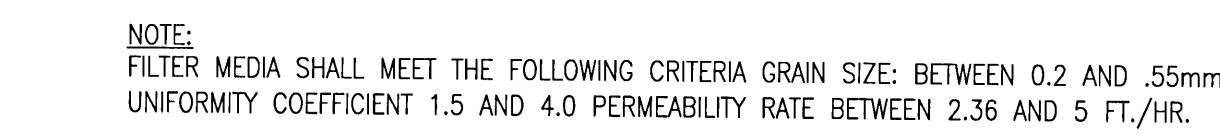
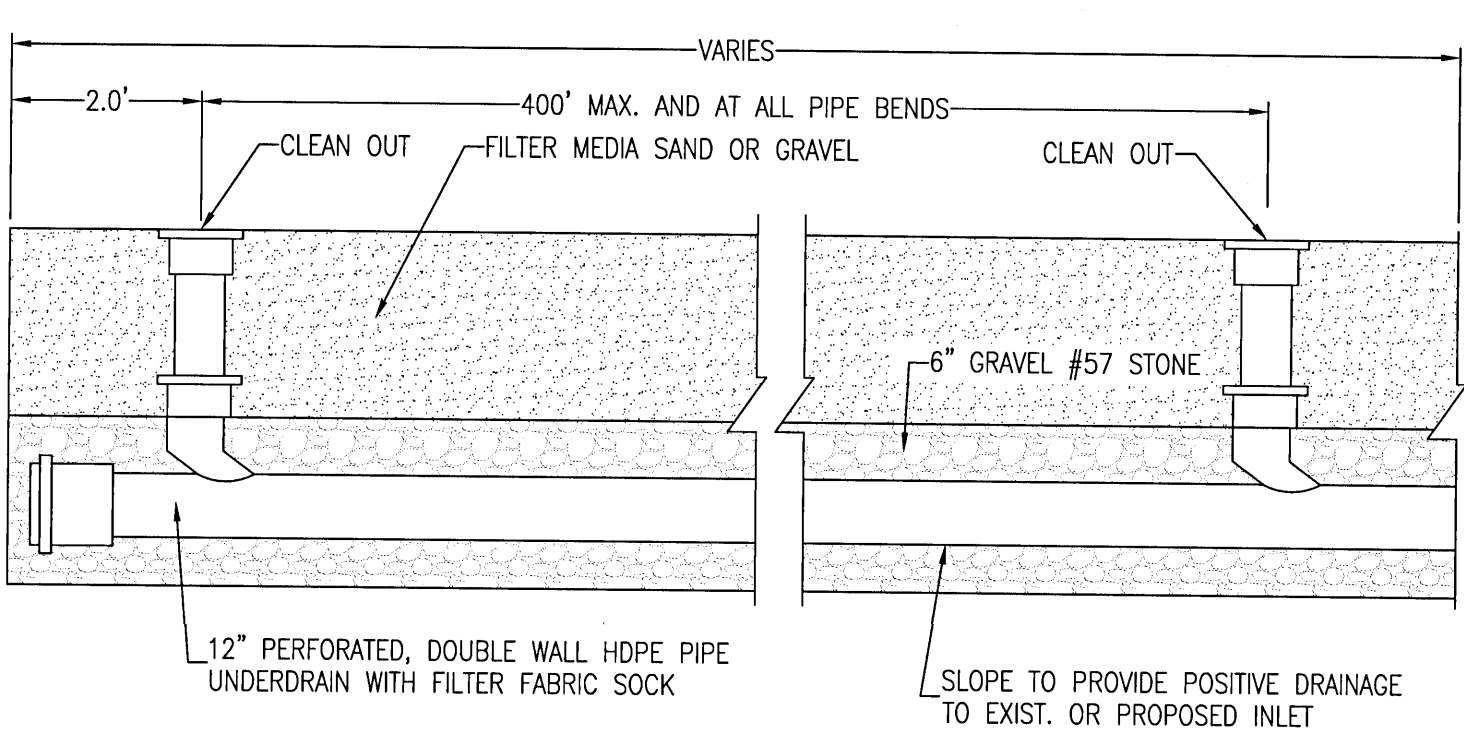
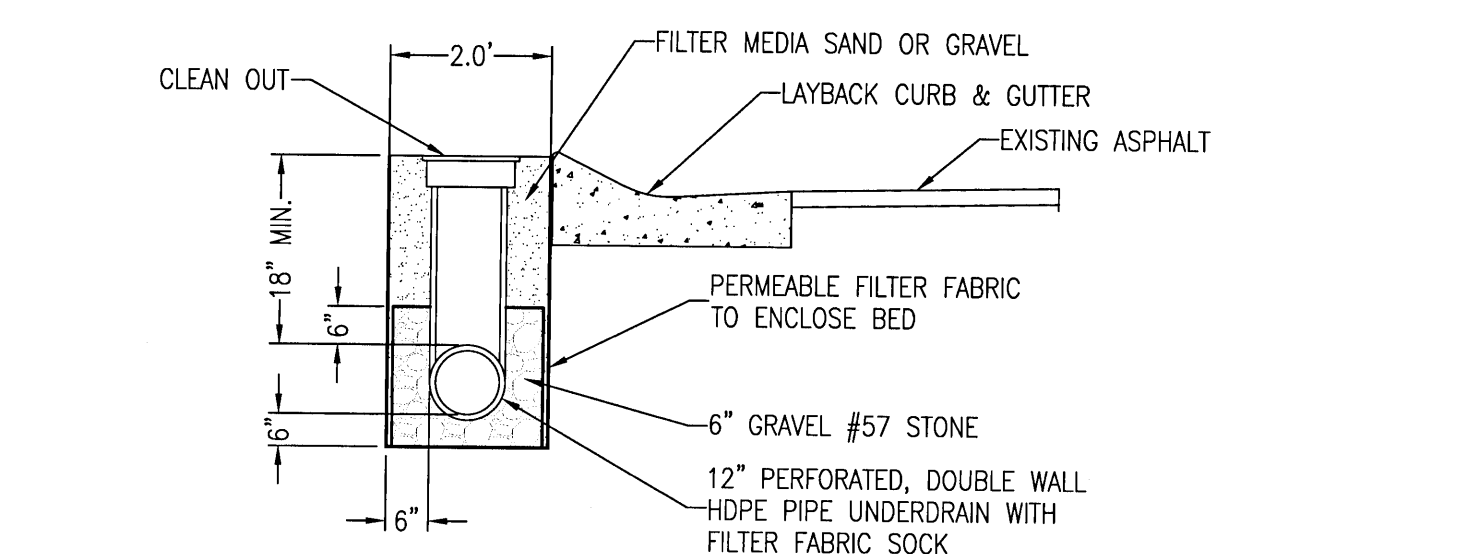
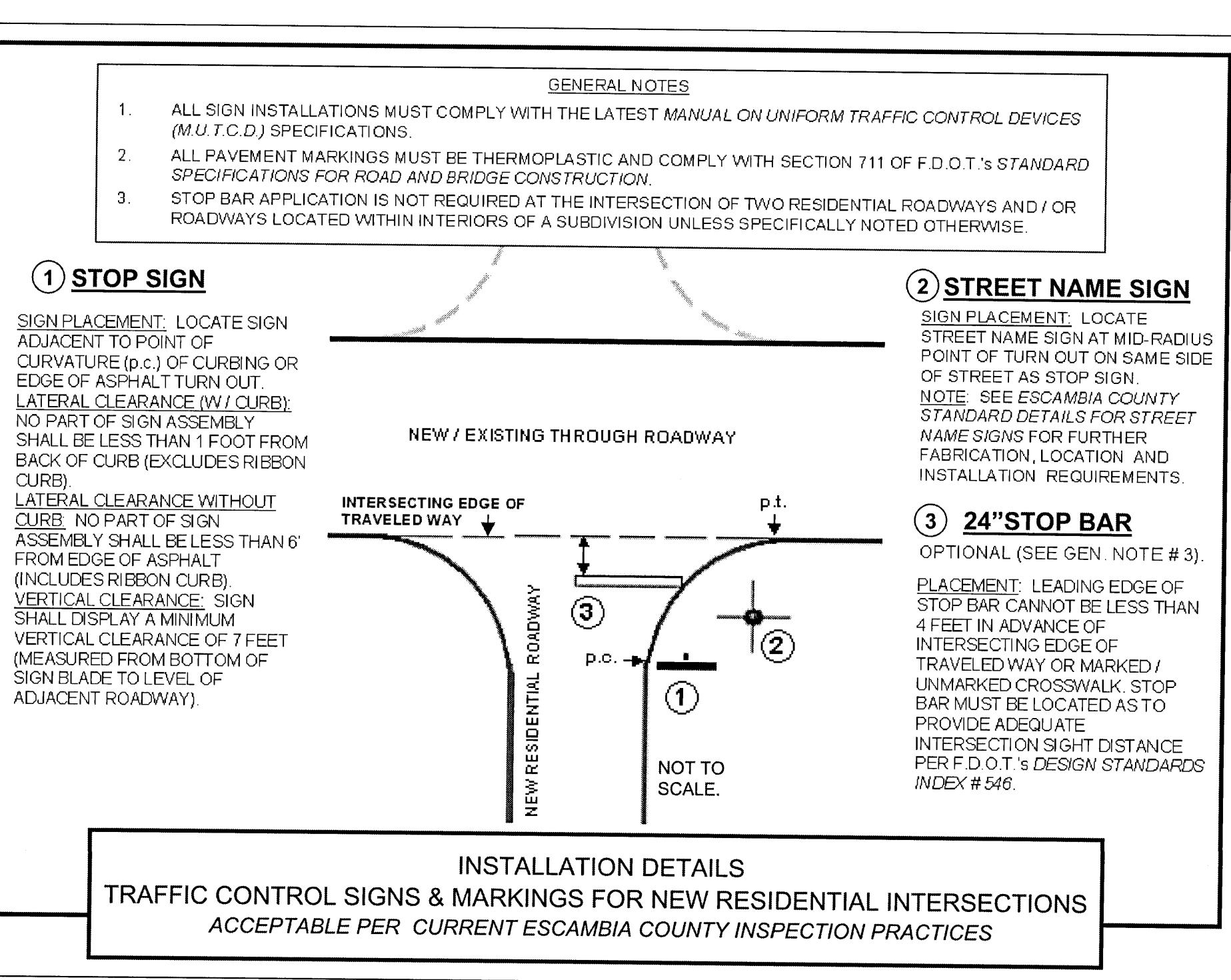
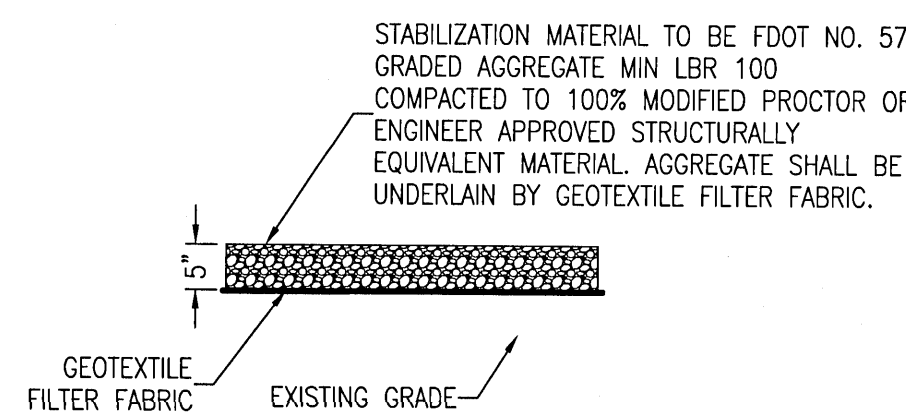
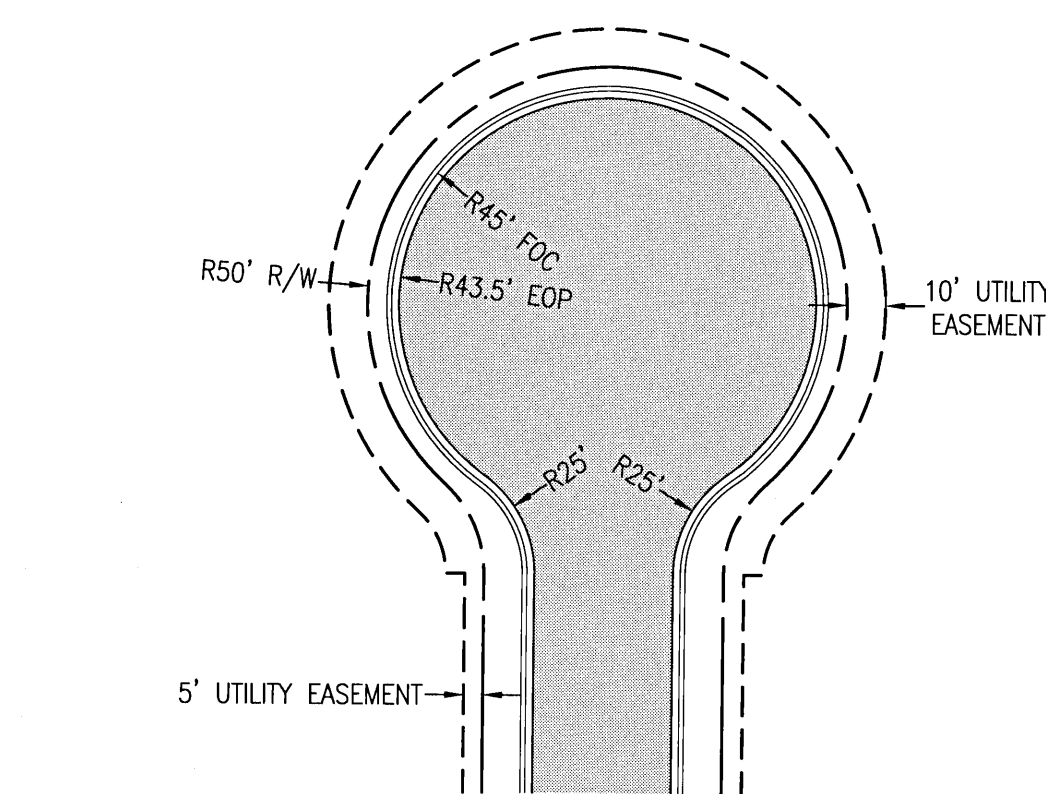
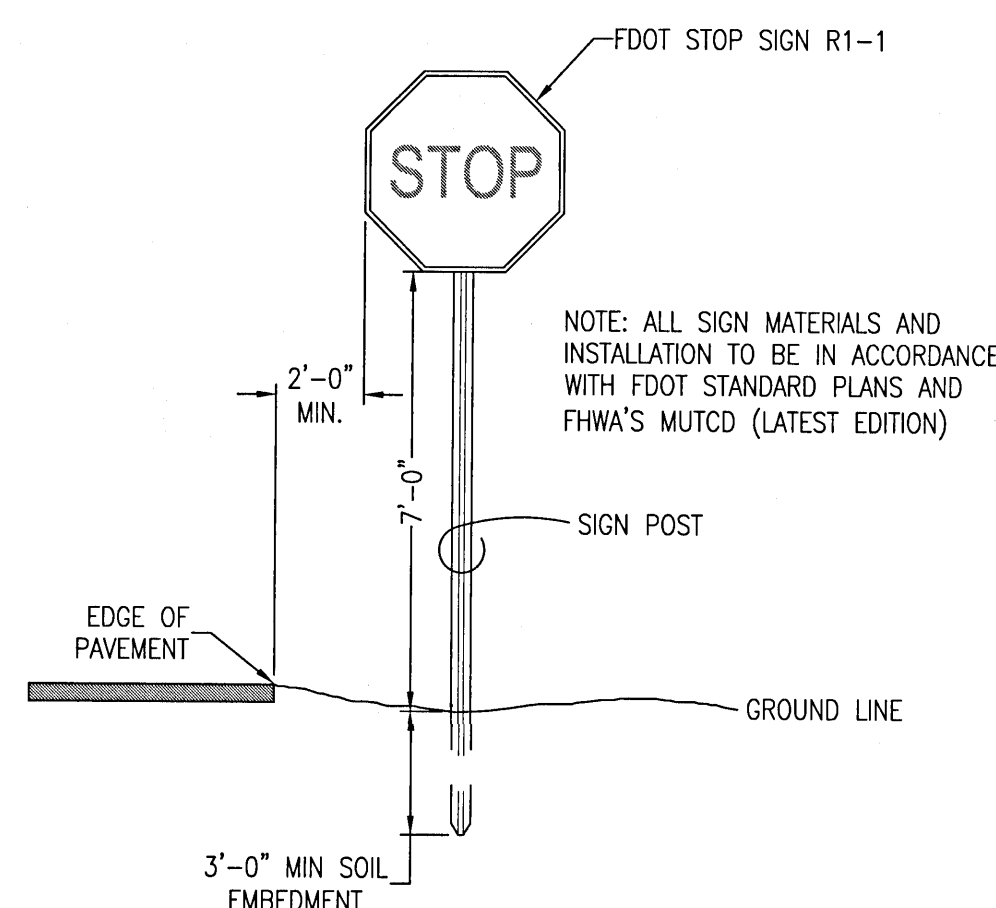
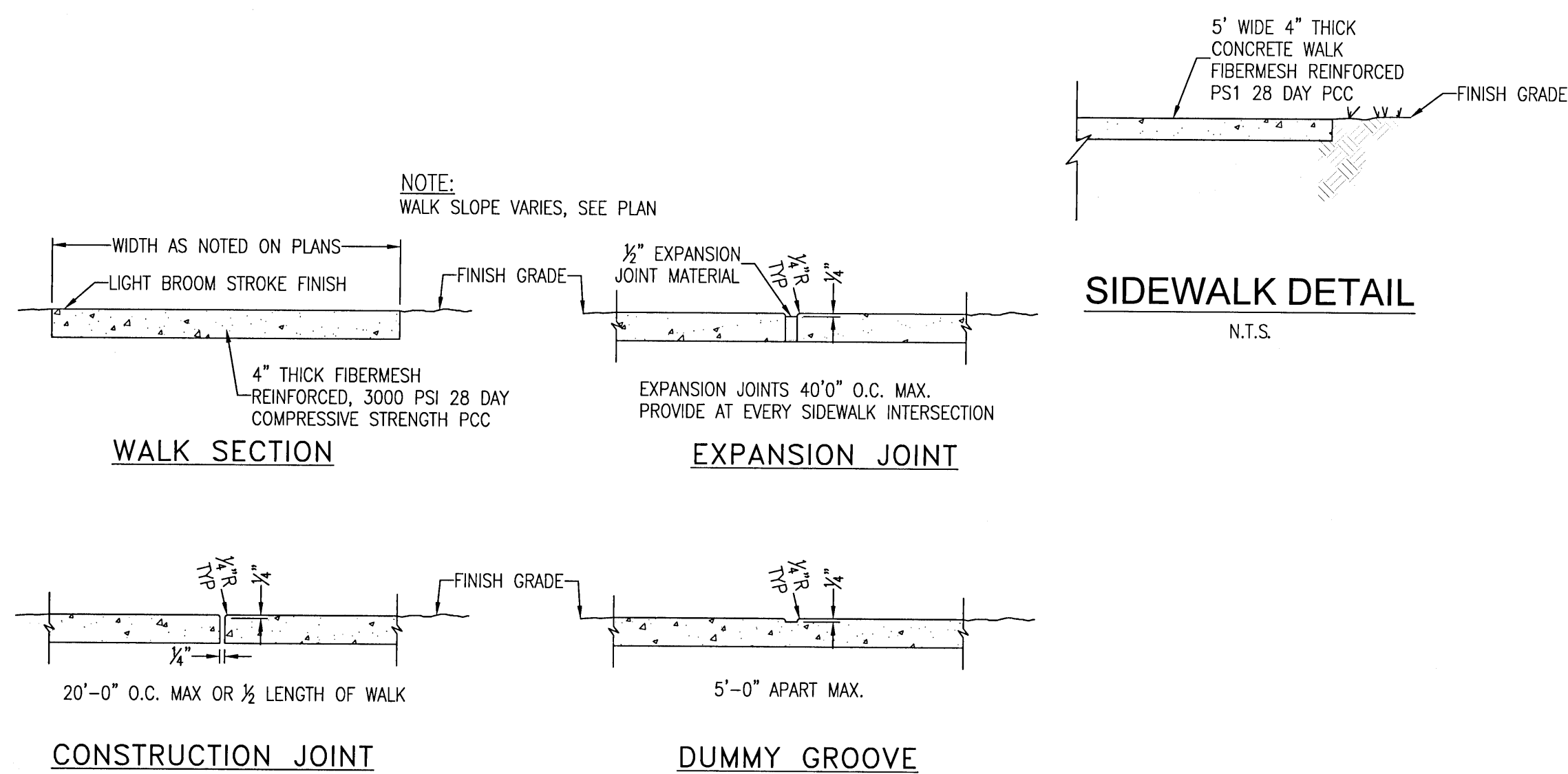
REVISION

No.	DATE	REVISION

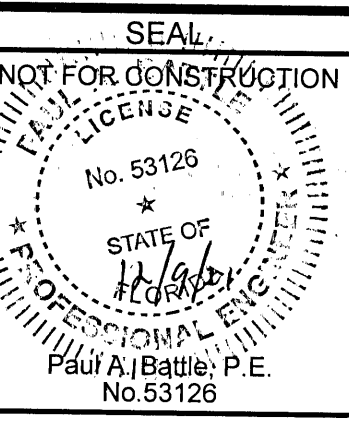


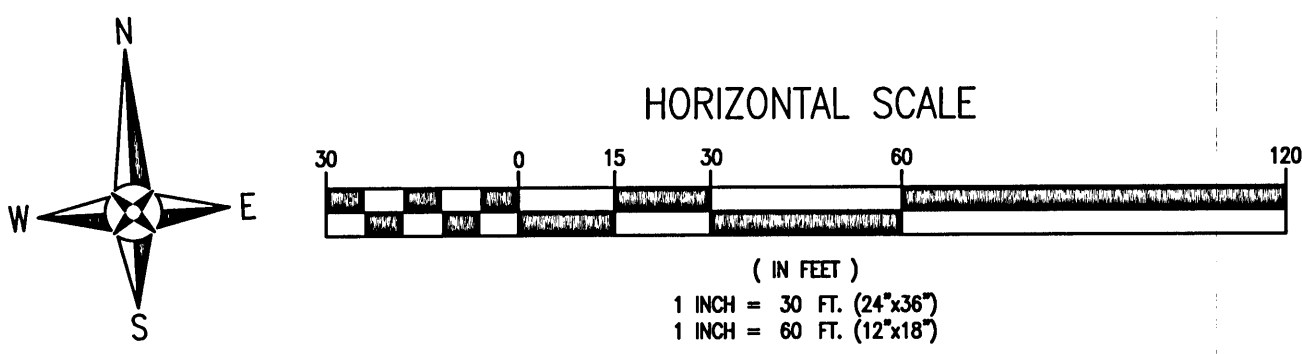
Dr. By: CBD
Ck By: PAB
Job No.: 2021.040
Date: 11/30/2021
DRAWING No.
C2.0

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NO.	DATE	REVISION

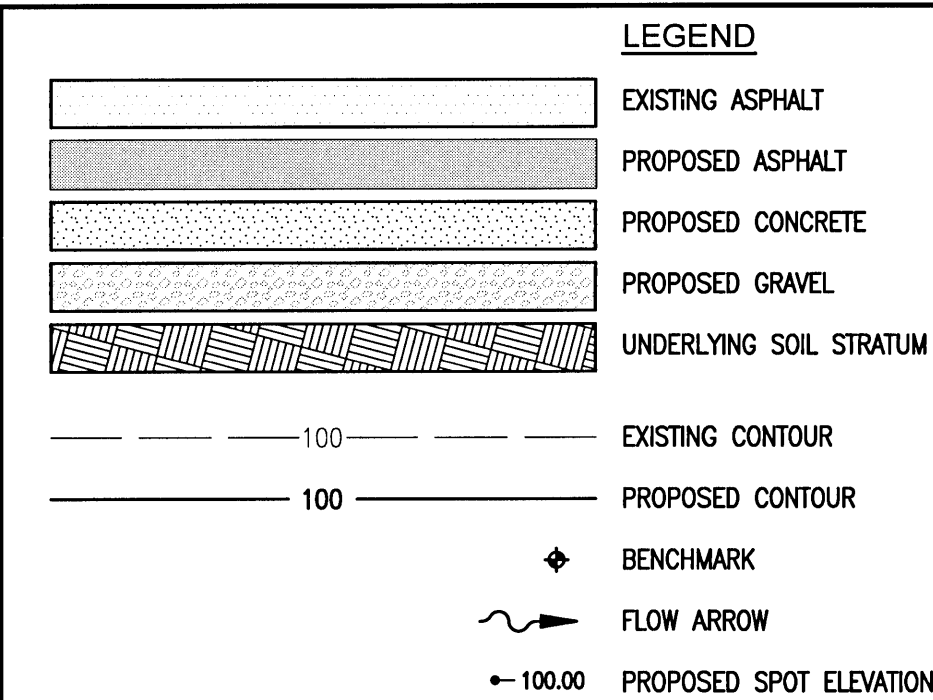




GRADING NOTES

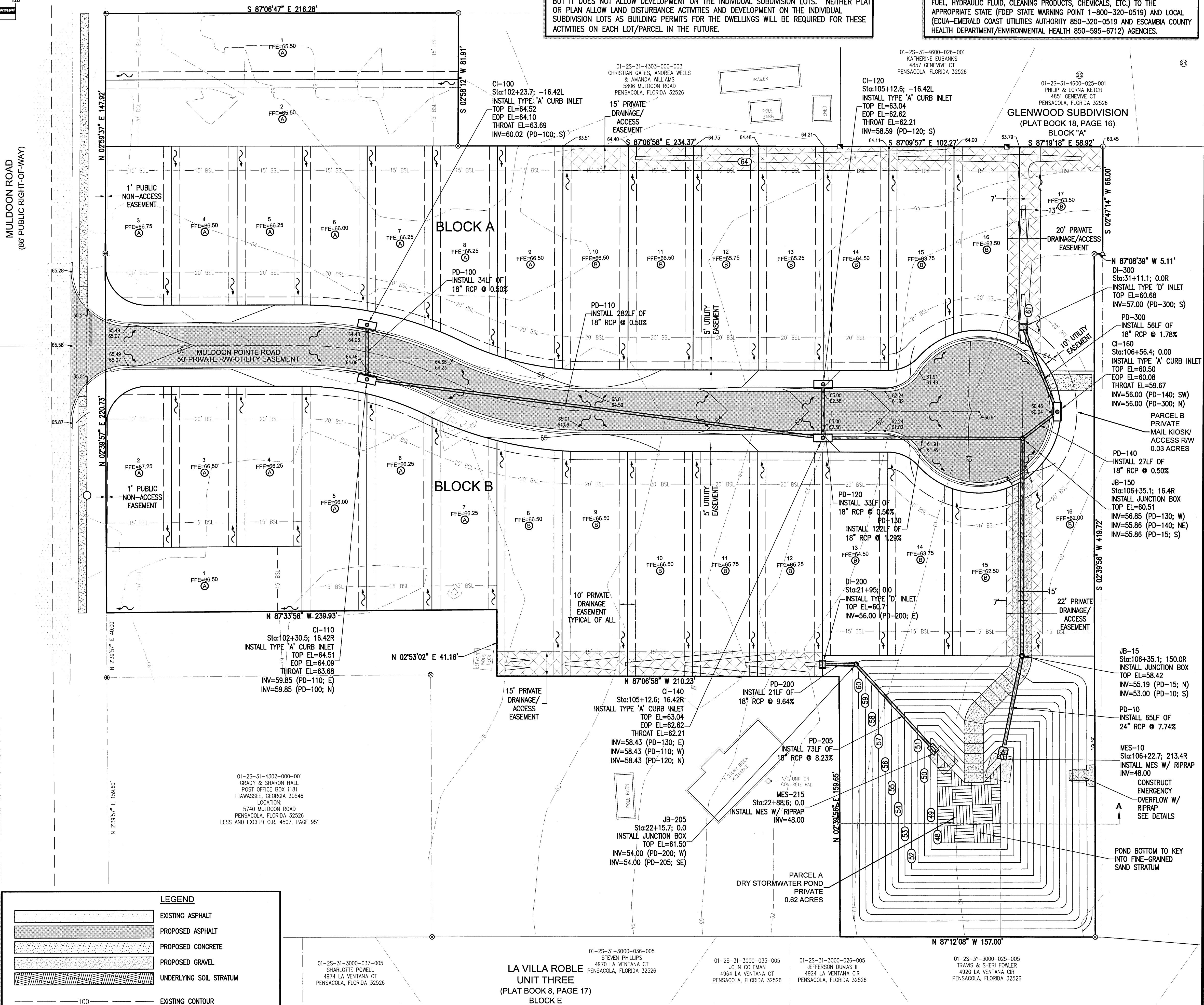
- THE CONTRACTOR SHALL INSTALL PRIOR TO THE START OF CONSTRUCTION AND MAINTAIN DURING CONSTRUCTION ALL SEDIMENT CONTROL MEASURES AS REQUIRED TO RETAIN ALL SEDIMENTS ON THE SITE. IMPROPER SEDIMENT MEASURES MAY RESULT IN CODE ENFORCEMENT VIOLATION(S).
- NOTIFY SUNSHINE 811 A MINIMUM OF 72 HOURS IN ADVANCE PRIOR TO DIGGING WITHIN RIGHT-OF-WAY. (CALL - 811)
- THE CONTRACTOR SHALL CONTROL STORMWATER DURING ALL PHASES OF CONSTRUCTION.
- ALL DISTURBED AREAS WHICH ARE NOT SODDED OR PAVED SHALL BE STABILIZED WITH SEEDING, FERTILIZER, AND MULCH AND/OR HYDROSEED. SEEDING AREAS SHALL INCLUDE A BAHIA MIX TO ENSURE CONTINUED GROWTH AFTER WINTER MONTHS. SEED IN ACCORDANCE WITH FOOT SECTION 570 AND STANDARD INDEX 105
- DEVELOPER/CONTRACTOR/HOME OWNER'S ASSOCIATION SHALL RESHAPE PER PLAN SPECIFICATIONS, CLEAN OUT ACCUMULATED SILT, AND STABILIZE RETENTION/DETENTION POND(S) AT THE END OF CONSTRUCTION WHEN ALL DISTURBED AREAS HAVE BEEN STABILIZED AND AT THE END OF THE 2-YEAR WARRANTY PERIOD.
- ON SITES > 1 ACRE, IF > CONTIGUOUS ACRE IS CLEARED, A GROUND COVER SUFFICIENT TO PREVENT EROSION SHOULD BE PLANTED OR OTHERWISE STABILIZED WITHIN 10 WORKING DAYS ON THAT PORTION OF THE SITE UPON WHICH FURTHER ACTIVE CONSTRUCTION WILL NOT BE UNDERTAKEN WITHIN 90 DAYS.
- TO COMPLY WITH NPDES REQUIREMENTS, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH "RAINFALL OR AT LEAST WEEKLY, THE CONTRACTOR SHALL 12" RAINFALL OR AT LEAST WEEKLY, THE CONTRACTOR SHALL DOCUMENT SUCH INSPECTIONS AND EROSION CONTROL MAINTENANCE EFFORTS; INSPECTION RECORDS SHALL BE PROVIDED TO THE NPDES PERMIT APPLICANT FOR PROPER REPORTING TO FDEP/NWFWMD.
- A HEALTHY GROWTH OF GRASS WITHIN DISTURBED RIGHT-OF-WAY AREAS IS REQUIRED PRIOR TO COUNTY APPROVAL/ACCEPTANCE (RIGHT-OF-WAY TO REMAIN PRIVATE). IF TIME CONSTRAINTS EXIST DURING THE FINAL PLAN APPROVAL AND ACCEPTANCE PROCESS, A MINIMUM OF TWO STRIPS OF SOD (MINIMUM 2' WIDE) BEHIND THE BACK OF CURB WITH ALL OTHER DISTURBED AREAS SEEDING/MULCHED/FERTILIZED WILL BE ACCEPTABLE.
- ALL NEW BUILDING ROOF DRAINS, DOWN SPOUTS, OR GUTTERS SHALL BE ROUTED TO CARRY ALL STORMWATER TO RETENTION/DETENTION AREAS.
- NO DEVIATIONS OR REVISIONS FROM THESE PLANS BY THE CONTRACTOR SHALL BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE DESIGN ENGINEER AND THE ESCAMBIA COUNTY. ANY DEVIATIONS MAY RESULT IN DELAYS IN COUNTY ACCEPTANCE OF IMPROVEMENTS.
- THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS DURING CONSTRUCTION WHICH SHOW "AS-BUILT" CONDITIONS OF ALL WORK INCLUDING PIPING, DRAINAGE STRUCTURES, OUTLET STRUCTURES, DIMENSIONS, ELEVATIONS, GRADINGS, ETC. RECORD DRAWINGS SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO COUNTY ACCEPTANCE OF IMPROVEMENTS.
- ALL ASPECTS OF THE STORMWATER/DRAINAGE COMPONENTS AND/OR TRANSPORTATION COMPONENTS SHALL BE COMPLETED PRIOR TO ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY.
- THE OWNER OR HIS AGENT SHALL ARRANGE/SCHEDULE WITH THE COUNTY A FINAL INSPECTION OF THE DEVELOPMENT UPON COMPLETION AND ANY INTERMEDIATE INSPECTIONS (595-3434). AS-BUILT CERTIFICATION IS REQUIRED PRIOR TO REQUEST FOR FINAL INSPECTION/APPROVAL.
- THE PROJECT ENGINEER SHALL PROVIDE TO ESCAMBIA COUNTY "AS-BUILT" RECORD DRAWINGS FOR VERIFICATION AND APPROVAL BY ESCAMBIA COUNTY ONE WEEK PRIOR TO REQUESTING A FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY, OR PROVIDE "AS-BUILT" CERTIFICATION THAT THE PROJECT CONSTRUCTION ADHERES TO THE PERMITTED PLANS AND SPECIFICATIONS. THE "AS-BUILT" CERTIFICATION OR THE "AS-BUILT" RECORD DRAWINGS MUST BE SIGNED, SEALED AND DATED BY A REGISTERED FLORIDA PROFESSIONAL ENGINEER
- THE OWNER/CONTRACTOR SHALL COORDINATE ANY ANTICIPATED COMMENCEMENT OF CONSTRUCTION WITH THE ENGINEER OF RECORD. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING THE CONSTRUCTION COMMENCEMENT NOTICE FORM 62-330.350(1).
- UPON SUBSTANTIAL COMPLETION, THE OWNER/CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD. THE ENGINEER OF RECORD IS RESPONSIBLE FOR INSPECTION OF THE PERMITTED FACILITY FOR COMPLIANCE WITH THE APPROVED PERMIT. THE ENGINEER OF RECORD SHALL BE RESPONSIBLE FOR SUBMITTING THE 'AS BUILT' CERTIFICATION AND REQUEST FOR CONVERSION TO OPERATIONAL PHASE FOR 62-330.310(1) WITHIN 30 DAYS AFTER WORK IS DEEMED COMPLETE.
- THE OPERATION AND MAINTENANCE OF THE FACILITY WILL BE THE RESPONSIBILITY OF THE OWNER, AS IN ACCORDANCE WITH THE APPROVED PERMIT.
- ELECTRIC/PHONE/CABLE/GAS STRUCTURES INSTALLED WITHIN DRAINAGE ACCESS EASEMENTS SHALL BE LOCATED ALONG THE BOUNDARY OF THE EASEMENT TO MAXIMIZE CLEAR ACCESS FOR MAINTENANCE EQUIPMENT.
- MINIMUM ONE (1) FOOT GROUND COVER IS REQUIRED FOR ALL UNDERGROUND PIPES.
- RIGHT-OF-WAY SHOULDER STABILIZATION SHALL BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- RETAINING WALLS SHOWN ARE TO BE DESIGNED BY OTHERS. THE CONTRACTOR SHALL OBTAIN BUILDING INSPECTION DEPARTMENT'S PERMIT(S) FOR ANY RETAINING WALL HIGHER THAN 2 FEET.
- WORK PROPOSED NEXT TO THE R/W WITH EXISTING SWALE SYSTEMS MAY REQUIRE ADDITIONAL PROVISIONS TO REPAIR/RESTORE EXISTING DRAINAGE SWALES AS NEEDED TO ENSURE ADEQUATE DRAINAGE. R/W SHOULDER STABILIZATION SHOULD BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- ALL PROPOSED UNDERGROUND UTILITIES WITHIN R/W'S OR UTILITY CONDUIT FOR ROAD CROSSINGS SHALL BE INSTALLED PRIOR TO PAVING. NO STREETS OR ROADS UNDER THE TWO (2) YEAR WARRANTY WILL BE ALLOWED TO BE OPEN-CUT, OR JACK-AND-BORED, TO ACCOMPLISH THIS REQUIREMENT. COMMON TRENCHING IS REQUIRED WHENEVER POSSIBLE. IF COMMON TRENCHING IS NOT A FEASIBLE OPTION, THE DEVELOPER SHALL INSTALL CONDUIT FOR THE UTILITY NOT PARTICIPATING IN THE COMMON TRENCHING FOR ALL ROAD CROSSINGS AND THE UTILITY COMPANY WILL BE REQUIRED TO USE THE CONDUIT. THIS SHALL REQUIRE PLANNING BETWEEN THE DEVELOPER AND THE UTILITY.
- ROUGH GRADE OF RIGHT-OF-WAY MUST BE ESTABLISHED PRIOR TO COMMON TRENCH UTILITY INSTALLATION TO ENSURE UTILITIES ARE INSTALLED AT PROPER DEPTH. THIS NOTE SHOULD ALSO INDICATE A MINIMUM 30" OF COVER IS REQUIRED OVER ALL UTILITIES. THIS DIMENSION SHALL BE MEASURED FROM PROPOSED GRADE IF ROAD IS IN FILL AND MEASURED FROM TOP OF CURB IF ROAD IS IN CUT.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD AT LEAST TWO WEEKS PRIOR TO PLACEMENT OF BASE MATERIAL TO ASSIST IN THE COORDINATION OF ALL OTHER UNDERGROUND UTILITIES

LAND DISTURBING NOTE:
ALL TREES ARE TO REMAIN ON SITE AND ALL LAND DISTURBING ACTIVITIES, INCLUDING THE PLACEMENT OF FILL/FILL MATERIALS, GRADING, EXCAVATING, ETC. SHALL NOT OCCUR UNTIL SUCH TIME AS APPROPRIATE PLANS, PLAT, & PERMIT(S) ARE ISSUED FOR THE PROPOSED WORK.



SPECIAL ESCAMBIA COUNTY NOTE:
CONSTRUCTION PLAN APPROVAL IS REQUIRED TO DOCUMENT THE DESIGN OF INFRASTRUCTURE TO ADEQUATELY SERVE THE CREATED LOTS. THE APPROVAL ALLOWS THE CONSTRUCTION OF THE SUBDIVISION INFRASTRUCTURE AREAS ONLY AS SPECIFICALLY DESIGNATED TO PROCEED, BUT IT DOES NOT ALLOW DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS. NEITHER PLAT OR PLAN ALLOW LAND DISTURBANCE ACTIVITIES AND DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS AS BUILDING PERMITS FOR THE DWELLINGS WILL BE REQUIRED FOR THESE ACTIVITIES ON EACH LOT/PARCEL IN THE FUTURE.

WELLHEAD PROTECTION NOTE:
THIS DEVELOPMENT PROJECT FALLS WITHIN THE TRAVEL TIME CONTOURS OF A PROTECTED (POTABLE) WELLHEAD. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ECOA-EMERALD COAST UTILITIES AUTHORITY 850-320-0519 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 850-595-6712) AGENCIES.

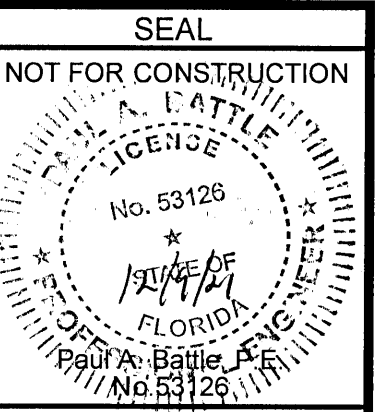


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2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 850.438.0400 Fax 850.438.0448
EB 0006667

GRADING & DRAINAGE PLAN

MULDOON POINTE
A 33 Lot Subdivision
5760 MULDOON ROAD
ESCAMBIA COUNTY, FLORIDA

REVISION	DATE	NO.

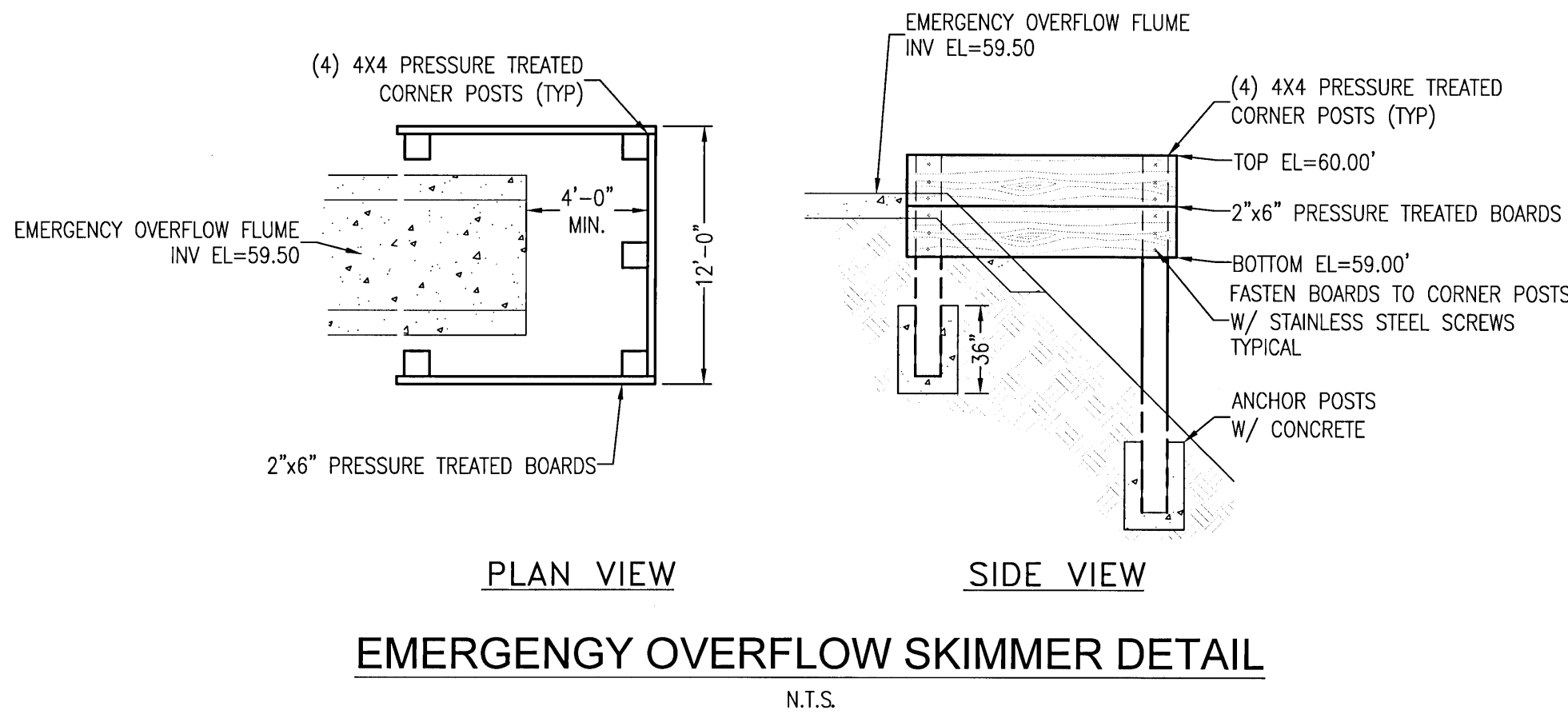


Dr. By: CBD
Ck By: PAB
Job No.: 2021.040
Date: 11/30/2021

DRAWING No.

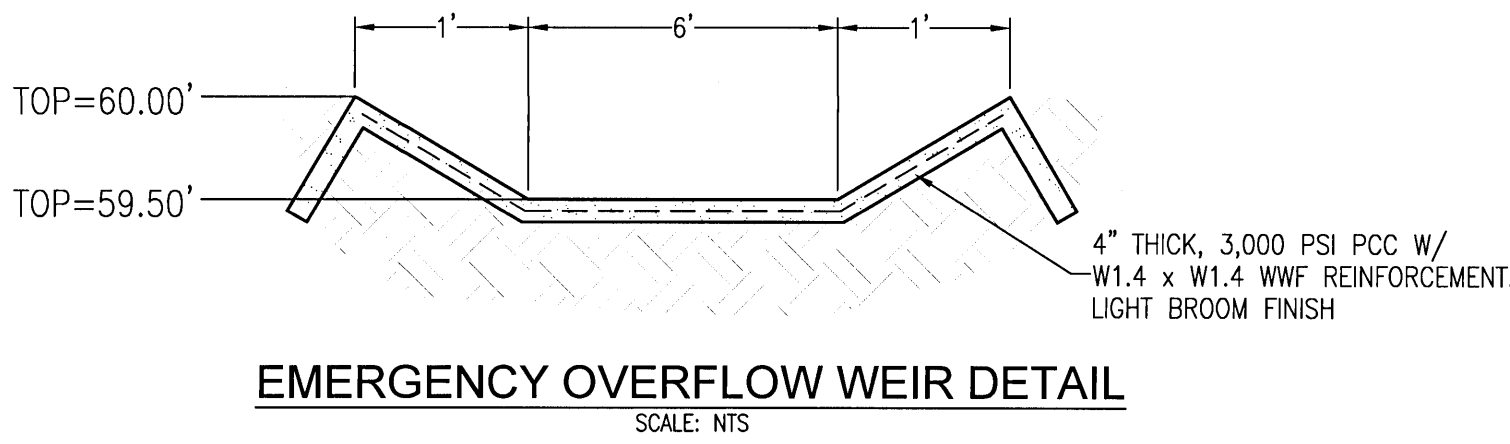
C3.0
SHEET 7

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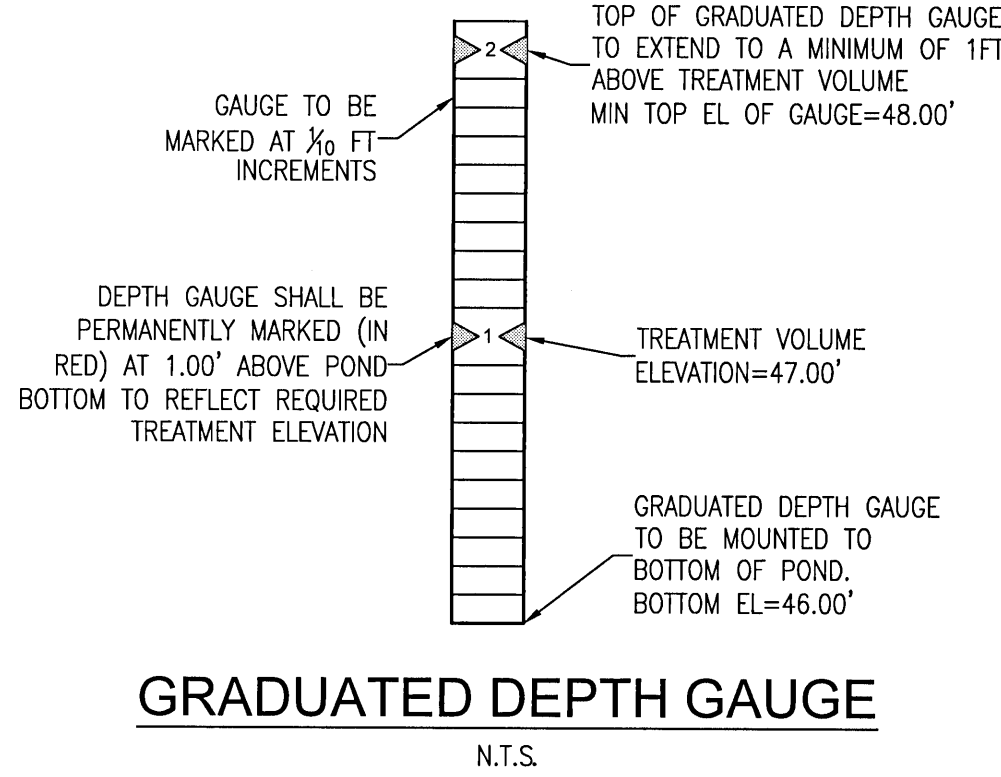
EMERGENCY OVERFLOW SKIMMER DETAIL

N.T.S.



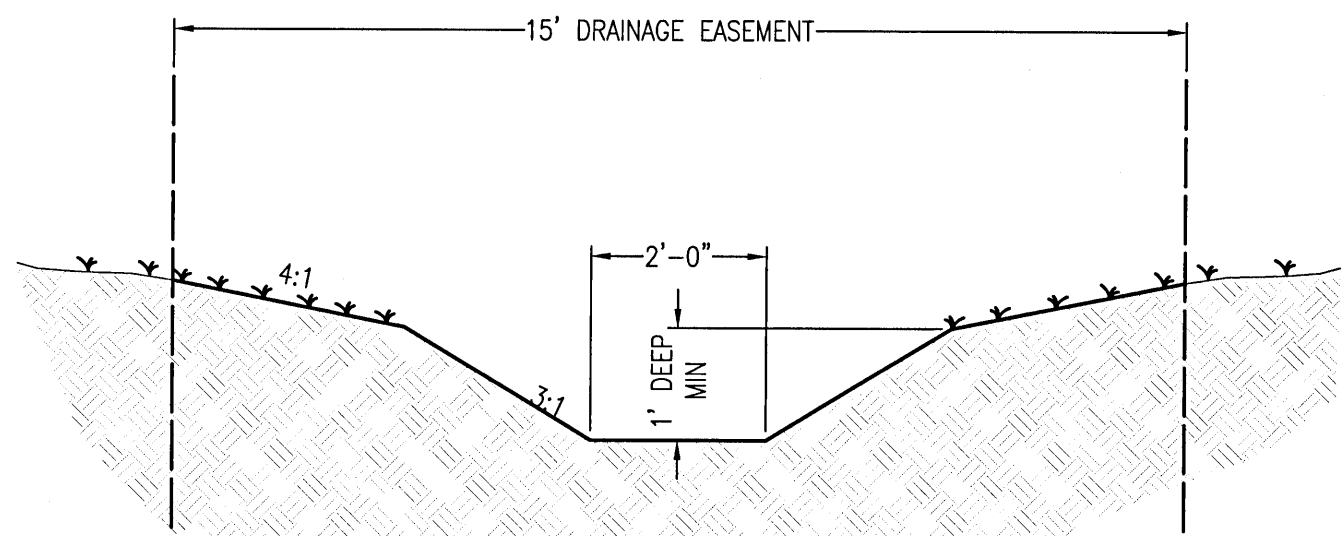
EMERGENCY OVERFLOW WEIR DETAIL

SCALE: NTS



GRADUATED DEPTH GAUGE

N.T.S.

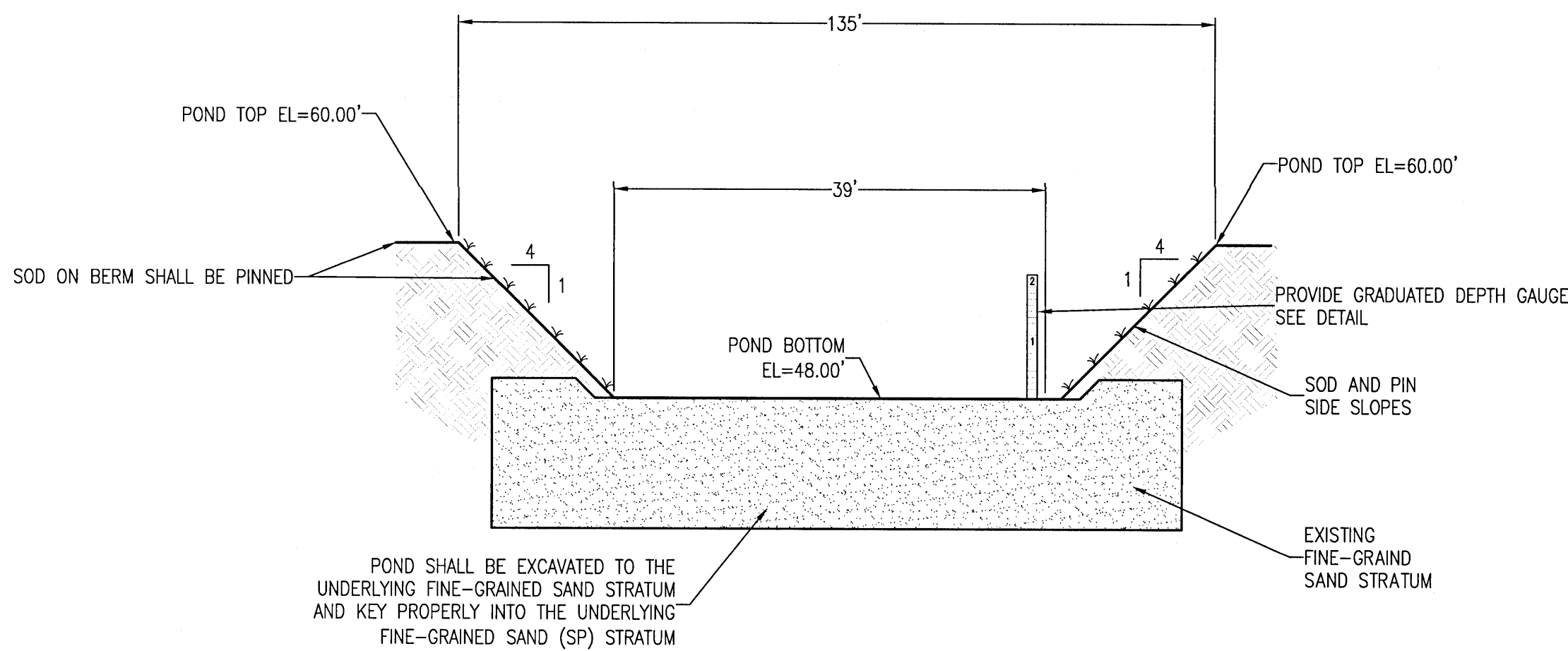


NOTE:

1. THE ENTIRE BANK SLOPE AND BOTTOM SHALL BE SODDED IN A MANNER TO GUARANTEE HEALTHY GRASS GROWTH (FREE FROM NOXIOUS WEEDS) SUCH AS ST. AUGUSTINE, CENTIPEDE OR OTHER SUITABLE GRASS.
2. SWALE TO BE BUILT BY CONTRACTOR

TYPICAL 15'
DRAINAGE EASEMENT SWALE

N.T.S.

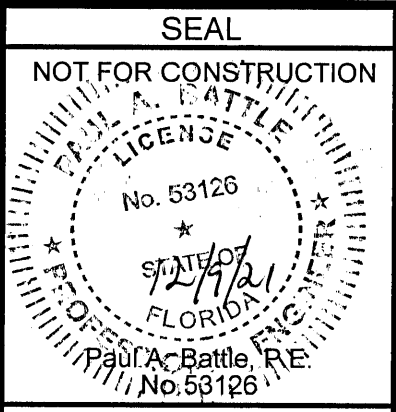


1. A REGISTERED PROFESSIONAL MUST BE PRESENT ON-SITE TO VERIFY THAT THE BOTTOM OF THE POND IS KEYING INTO THE PERMEABLE LAYER THAT IS UTILIZED IN THE DESIGN CALCULATIONS. REPRESENTATIVES OF BOTH REBOL-BATTLE & ASSOCIATES AND NOVA ENGINEERING & ENVIRONMENTAL SHALL BE PRESENT.
2. A REGISTERED PROFESSIONAL MUST BE PRESENT ON-SITE TO VERIFY THAT THE LESS PERMEABLE MATERIAL HAS BEEN REMOVED TO AN APPROPRIATE DEPTH IN THE BOTTOM OF THE POND. REPRESENTATIVES OF BOTH REBOL-BATTLE & ASSOCIATES AND NOVA ENGINEERING & ENVIRONMENTAL SHALL BE PRESENT.
3. THE POND BOTTOM SHOULD BE EXCAVATED SO THAT IT WILL KEY INTO THE FINE GRAINED SANDS (SP) SOIL STRATUM ENCOUNTERED FROM ABOUT 9FT TO 22FT BELOW EXISTING GRADE.
4. THE ENTIRE BANK SLOPE SHALL BE SODDED IN A MANNER TO GUARANTEE HEALTHY GRASS GROWTH (FREE FROM NOXIOUS WEEDS) SUCH AS ST. AUGUSTINE, CENTIPEDE OR OTHER SUITABLE GRASS. SOD ON SIDE SLOPES SHALL BE PINNED.

CROSS SECTION A-A
RETENTION POND DETAIL

N.T.S.

REVISION	DATE	No.

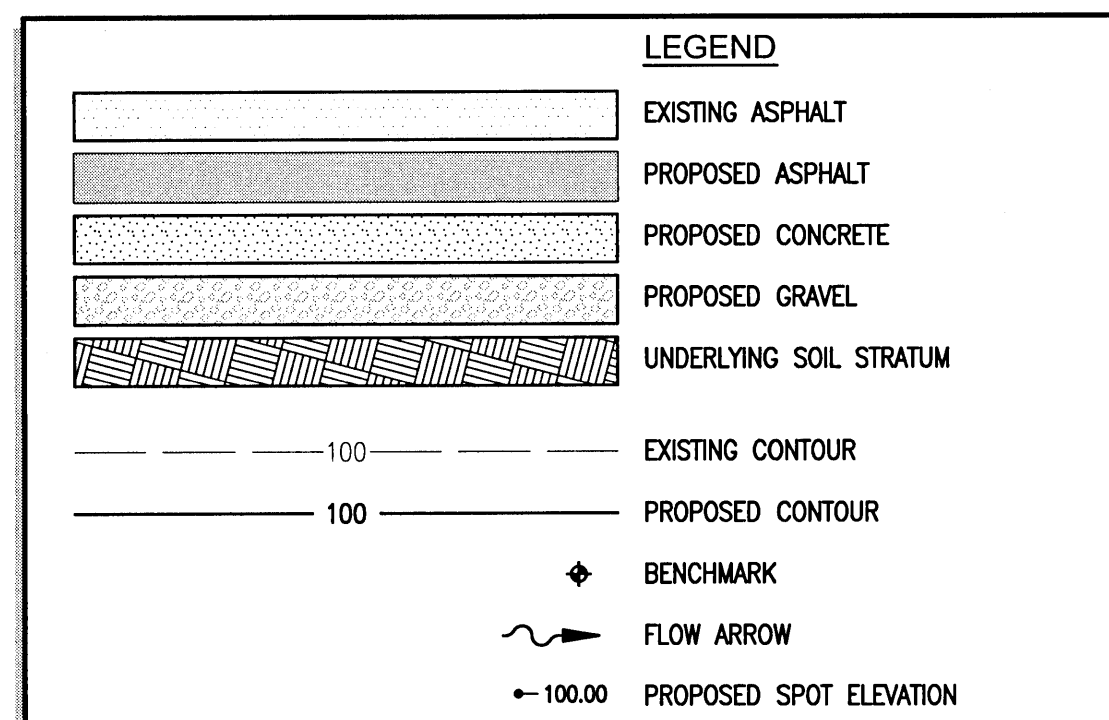


Dr. By: CBD
Ck By: PAB
Job No.: 2021.040
Date: 11/30/2021

DRAWING No.

C3.2
SHEET 9

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MULDOON ROAD
(66' PUBLIC RIGHT-OF-WAY)

BM 21-04/40B
RED CAPPED IRON ROD
ELEVATION 65.57

WEST LINE LOT 4

POINT OF COMMENCEMENT
SOUTHWEST CORNER GOVERNMENT
LOT 4, SECTION 1, TOWNSHIP 2
SOUTH, RANGE 31 WEST

01-2S-31-4302-000-001
GRADY & SHARON HALL
POST OFFICE BOX 1181
HIWASSEE, GEORGIA 30546
LOCATION:
5740 MULDOON ROAD
PENSACOLA, FLORIDA 32526
LESS AND EXCEPT O.R. 4507, PAGE 951

01-2S-31-3000-047-005
NICHOLAS CARTER
5698 MULDOON RD
PENSACOLA, FLORIDA 32526

01-2S-31-3000-037-005
SHARLOTTE POWELL
4974 LA VENTANA CT
PENSACOLA, FLORIDA 32526

LA VILLA ROBLE PLAT BOOK 8, PAGE 17
UNIT THREE
(PLAT BOOK 8, PAGE 17)

01-2S-31-3000-036-005
STEVEN PHILLIPS
4970 LA VENTANA CT
PENSACOLA, FLORIDA 32526

01-2S-31-3000-035-005
JOHN COLEMAN
4964 LA VENTANA CT
PENSACOLA, FLORIDA 32526

01-2S-31-3000-026-005
JEFFERSON DUMAS II
4924 LA VENTANA CIR
PENSACOLA, FLORIDA 32526

01-25-31-3000-025-005
TRAVIS & SHERI FOWLER
4920 LA VENTANA CIR
PENSACOLA, FLORIDA 32526

[illegible]

SEAL

NOT FOR CONSTRUCTION


PAUL A. BATTLE
LICENSE
No. 53126
JAN 11 1999
Paul A. Battle
No. 53126

Dr. By: CBD
Ck By: PAB
Job No.: 2021.040
Date: 11/30/202

DRAWING NO.

C3.3
SHEET 10

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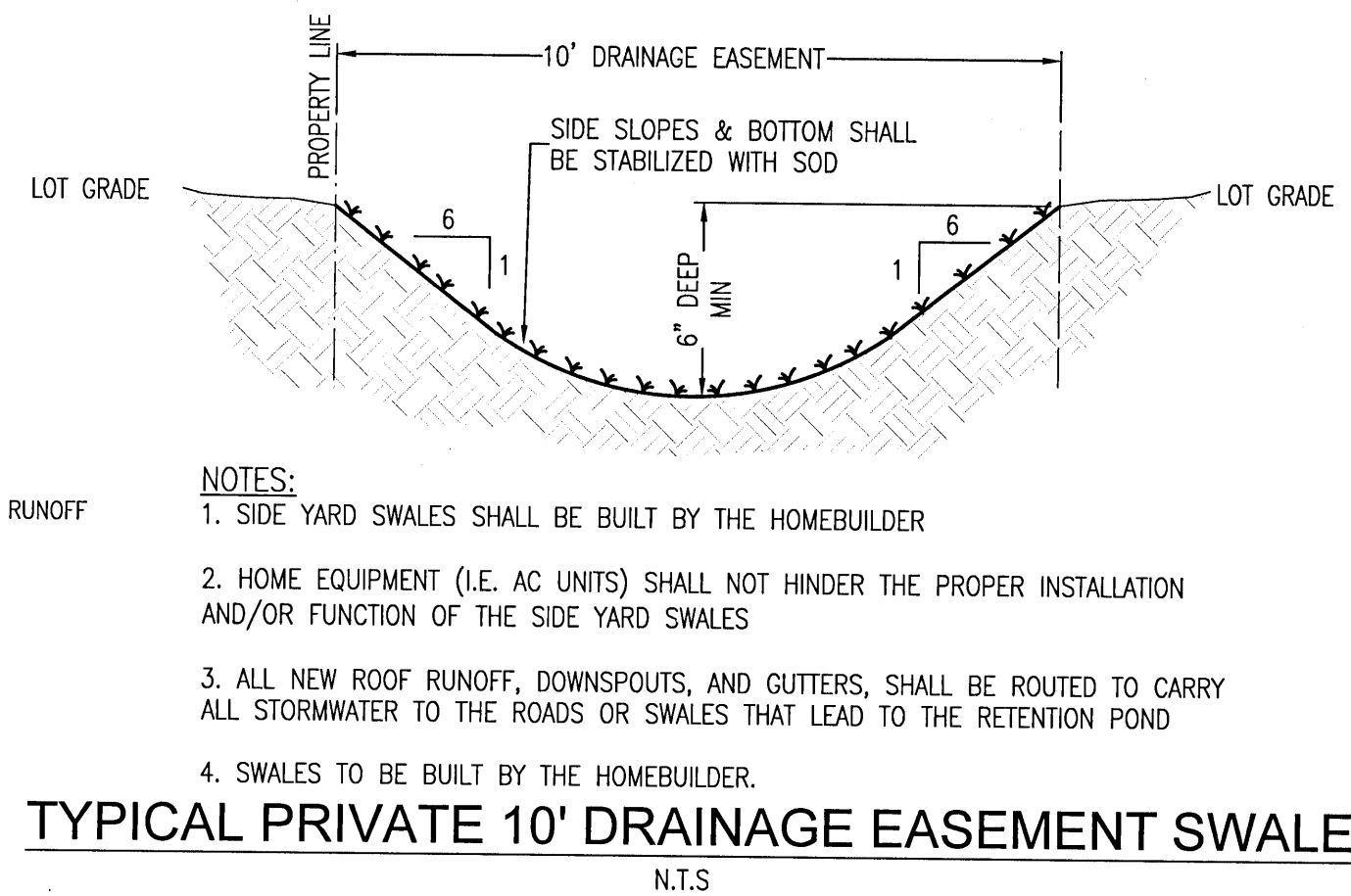
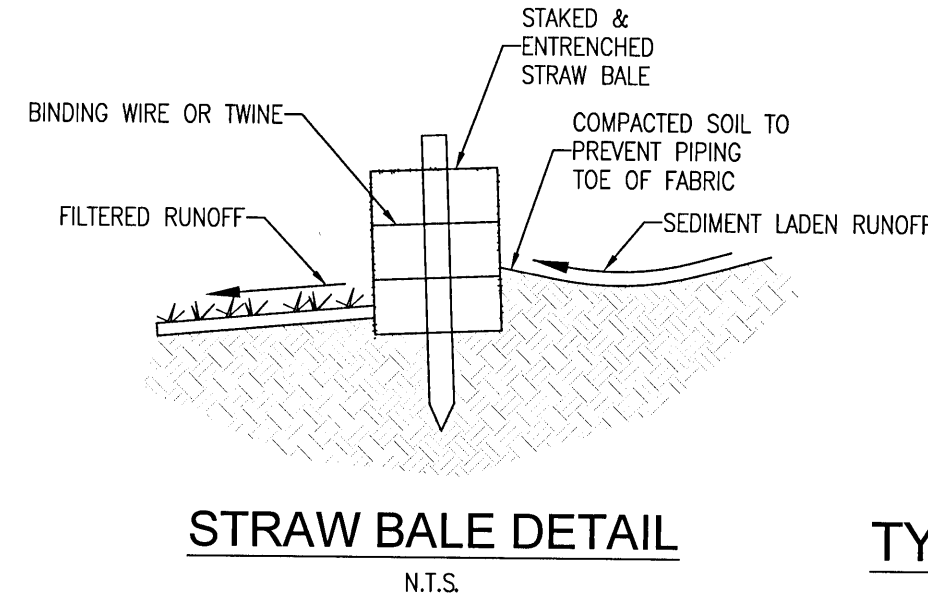
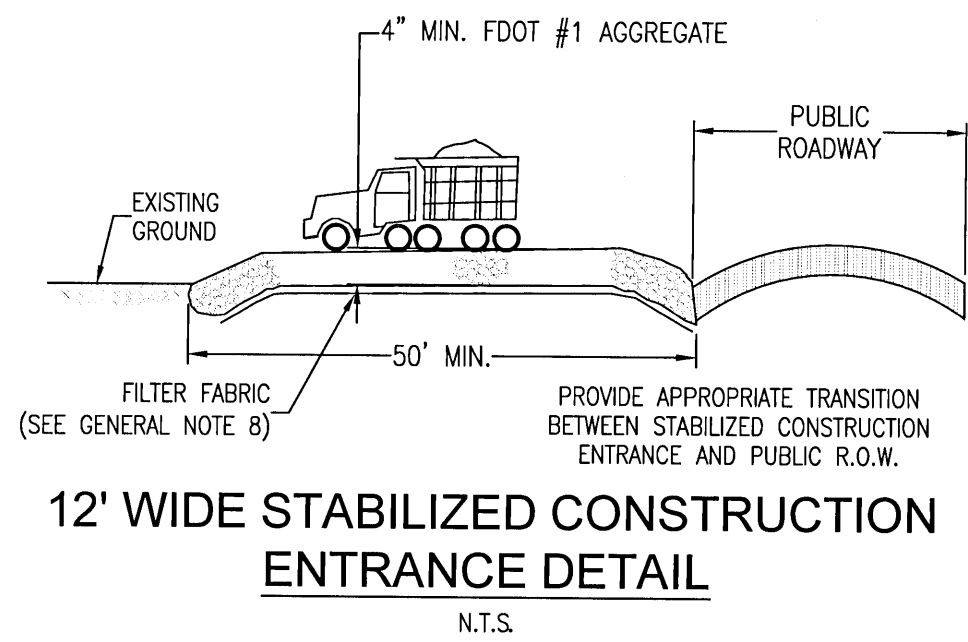
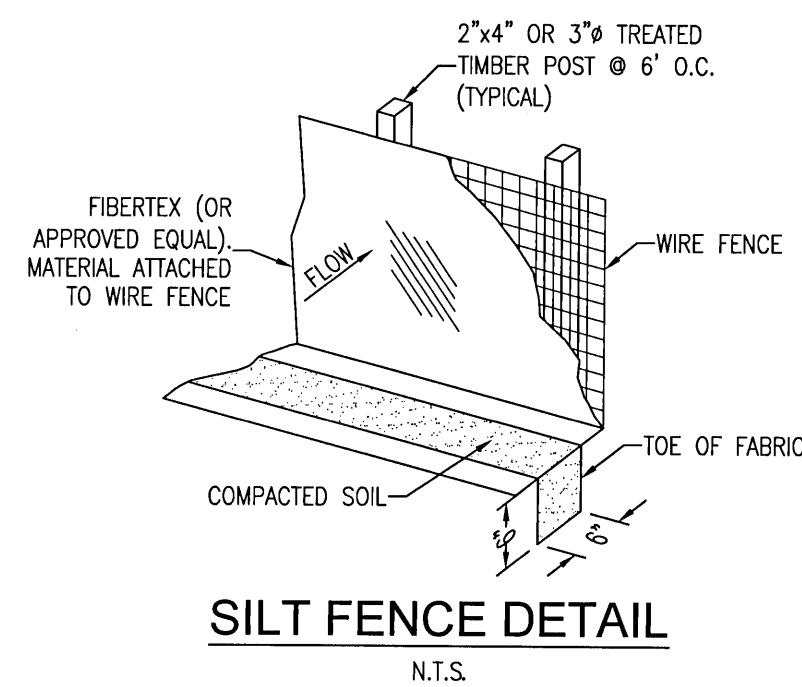
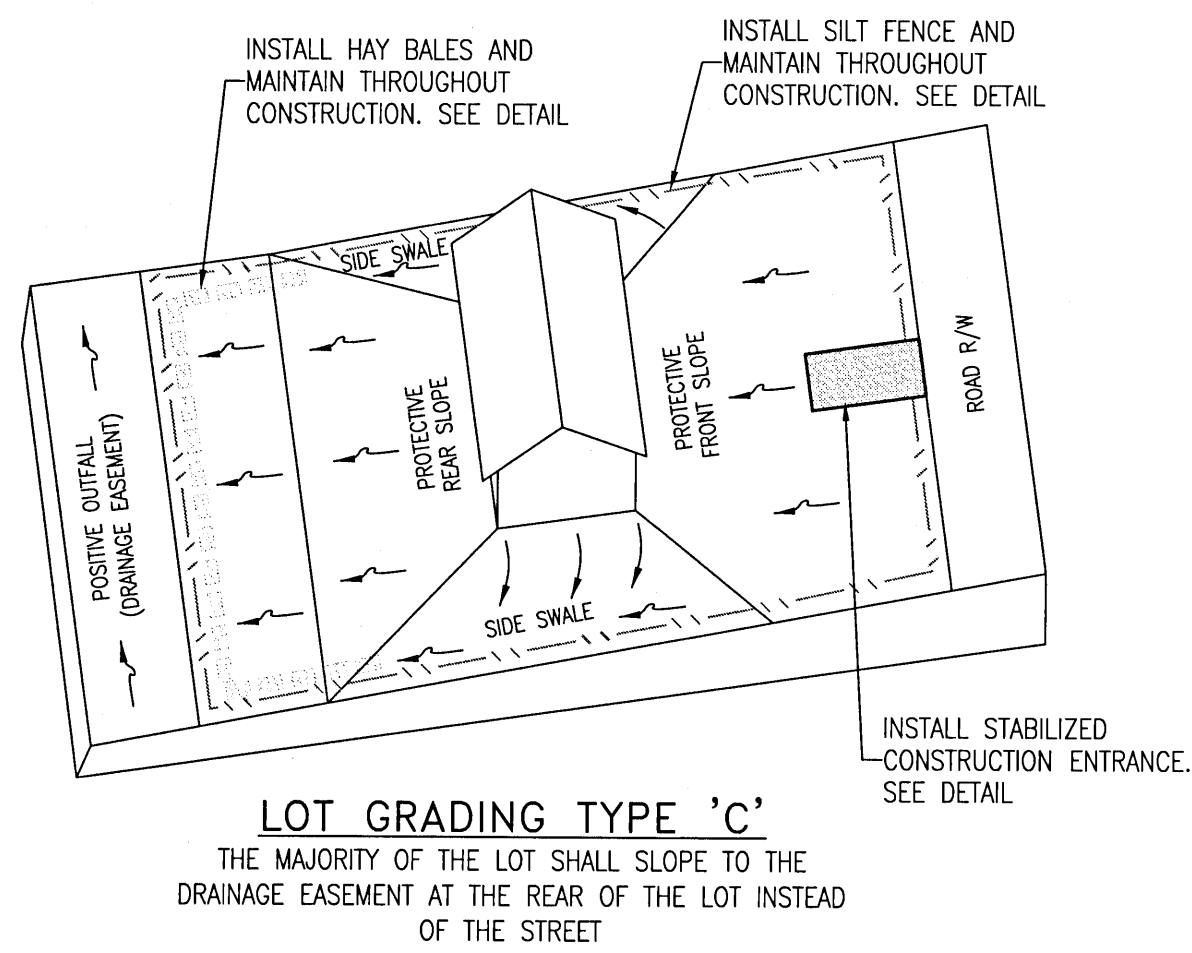
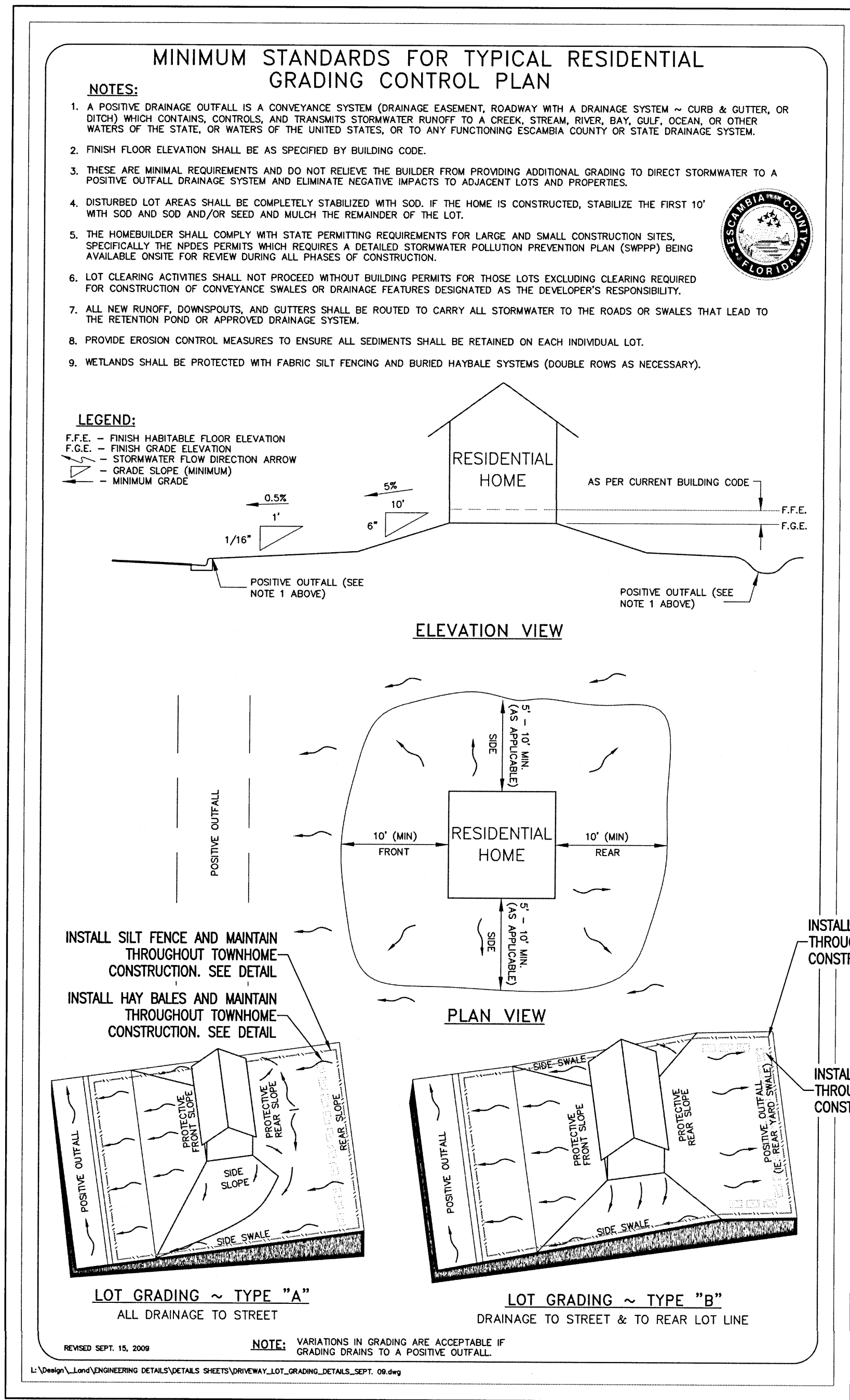
REBOL-BATTLE & ASSOCIATES
Civil Engineers and Surveyors

2301 N. Ninth Avenue, Suite 300
Pensacola, Florida 32503
Telephone 650.550.0000 Fax 650.438.0448

GRADING & DRAINAGE PLAN

MULDOON POINTE
A 33 Lot Subdivision
5760 MULDOON ROAD
ESCAMBIA COUNTY, FLORIDA

11/20/2021 10:01 AM MULDOON POIN... 11/20/2021 10:01 AM MULDOON POIN...



NOTES:

- 1) ALL MATERIALS AND LABOR FOR INSTALLATION WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER/CONTRACTOR.
- 2) DRIVEWAYS ABUTTING PAVED ROADS SHALL BE 1 - 1/2" ASPHALT WITH 6" STABILIZED SUB GRADE OR 4" TO 6" CONCRETE WITH 4" STABILIZED SUB GRADE - 95% COMPACTION (MODIFIED PROCTOR) WITH LBR 40 BETWEEN EDGE OF ROADWAY AND R/W LINE. COMPACTION AND TESTING IF NECESSARY, THIS WILL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR.
- 3) DRIVEWAYS ABUTTING A DIRT ROAD SHALL BE MILLED ASPHALT, GRADED AGGREGATE BASE, OR WASHED CONCRETE (4" IN DEPTH) ON THE COUNTY MAINTAINED PORTION OF DRIVEWAY.
- 4) IF NECESSARY, REFER TO FDOT INDEX DETAILS AS REFERENCED BELOW.
- 5) RADIUS OR FLARE IS REQUIRED FOR TYPE II OR TYPE III CONNECTIONS. SEE DETAIL.
- 6) PARKING SPACES WITHIN COUNTY RIGHT-OF-WAY SHALL PROVIDE A MINIMUM OF 2 PARKING SPACES.
- 7) TYPICAL DRIVEWAY SECTIONS ARE TO BE 12' WIDE MINIMUM.

MAXIMUM LOT SURFACE COVERAGE

ALL RESIDENTIAL LOTS 3,000 SF (HOUSE & DRIVEWAY)

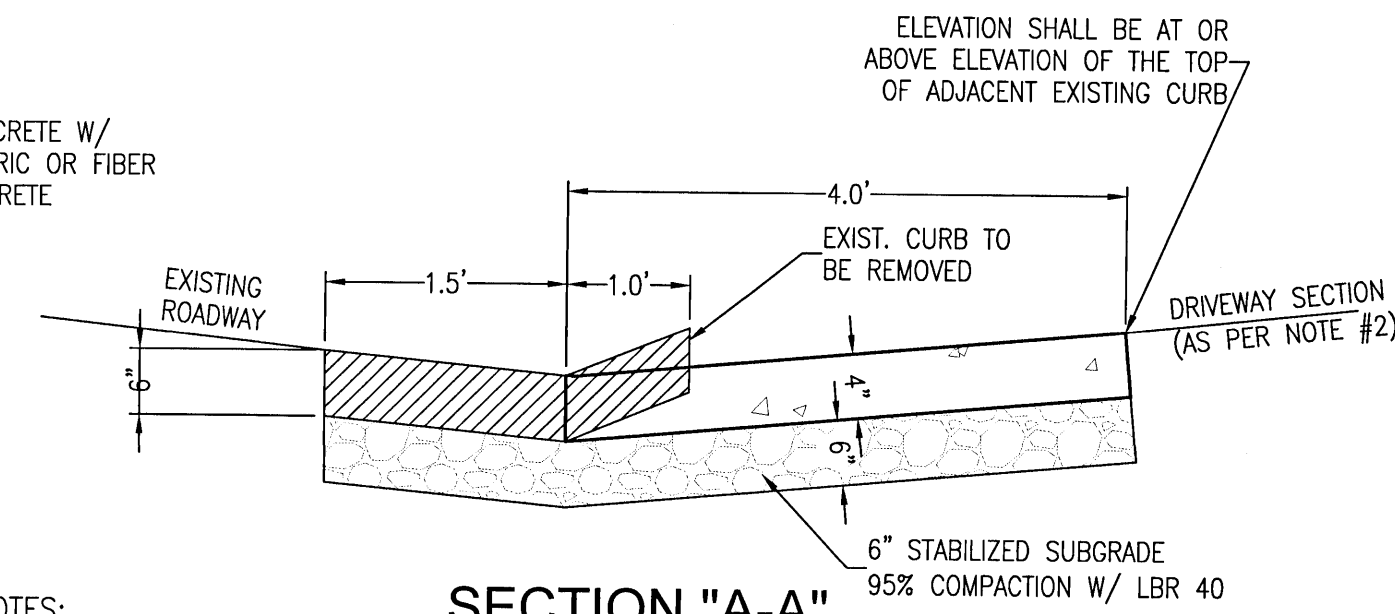
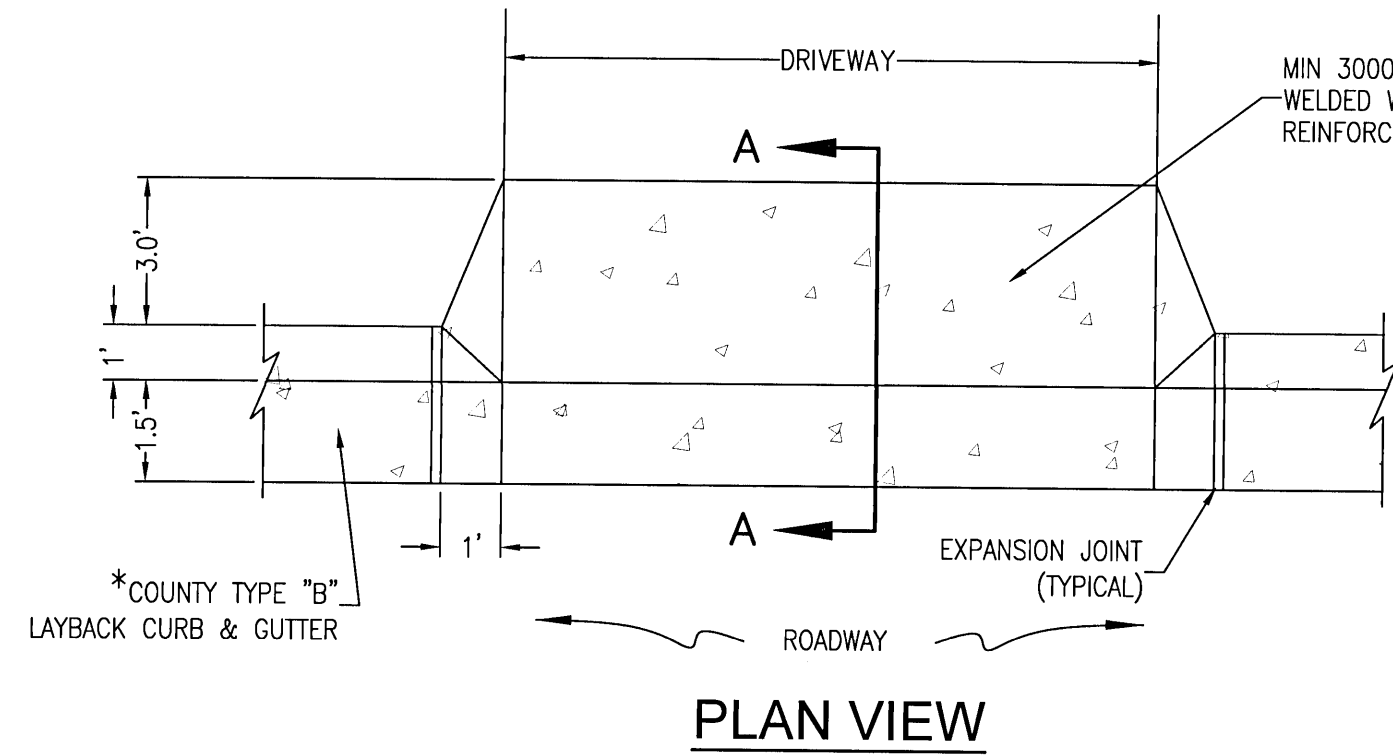
TOTAL IMPERVIOUS SURFACE

TOTAL NEW INFRASTRUCTURE 43,523 SF (ROADWAY, SIDEWALK, CURB)

TOTAL IMPERVIOUS AREA FOR POST DEVELOPMENT CONDITIONS 142,523 SF (NEW INFRASTRUCTURE, LOTS)

TYPE I

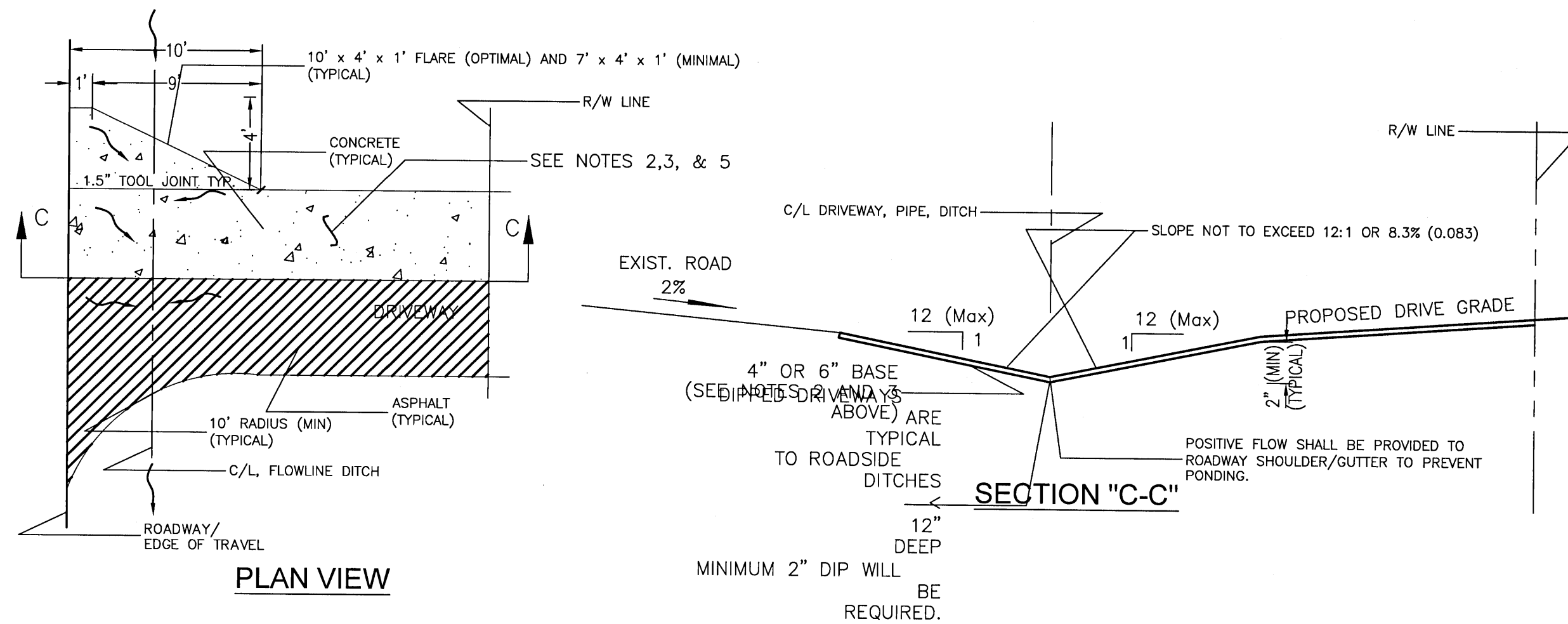
CURB CUT DRIVEWAY FOR COUNTY TYPE "B" LAYBACK CURBS.



NOTES:

- 1.) SEE STANDARD COUNTY CURB DETAILS FOR REFERENCE.
 - 2.) SEE F.D.O.T. INDEX NO. 515 FOR OTHER CONNECTIONS.
- * FOR OTHER TYPE CURBS, DIMENSIONS MAY BE ADJUSTED TO FIT.

TYPICAL DRIVEWAY CONNECTION STANDARDS FOR EXISTING ROADWAY CONDITIONS

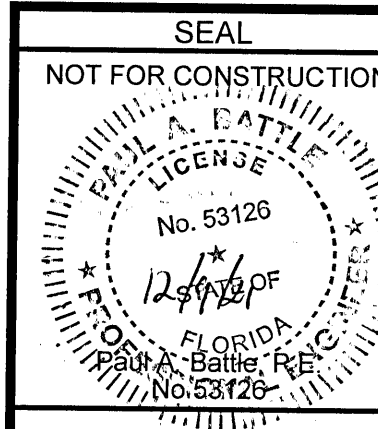


ALTERNATE DRIVEWAY CONNECTION STANDARDS FOR EXISTING ROADWAY CONDITIONS FOR LOTS 1, 2, & 33

NEIGHBORHOOD LOT GRADING PLAN DETAILS

MULDOON POINTE
A 33 Lot Subdivision
5760 MULDOON ROAD
ESCAMBIA COUNTY, FLORIDA

REVISION	DATE	NO.



Dr. By: CBD
Ck By: PAB
Job No.: 2021.040
Date: 11/30/2021

DRAWING No.

C3.4
SHEET 11

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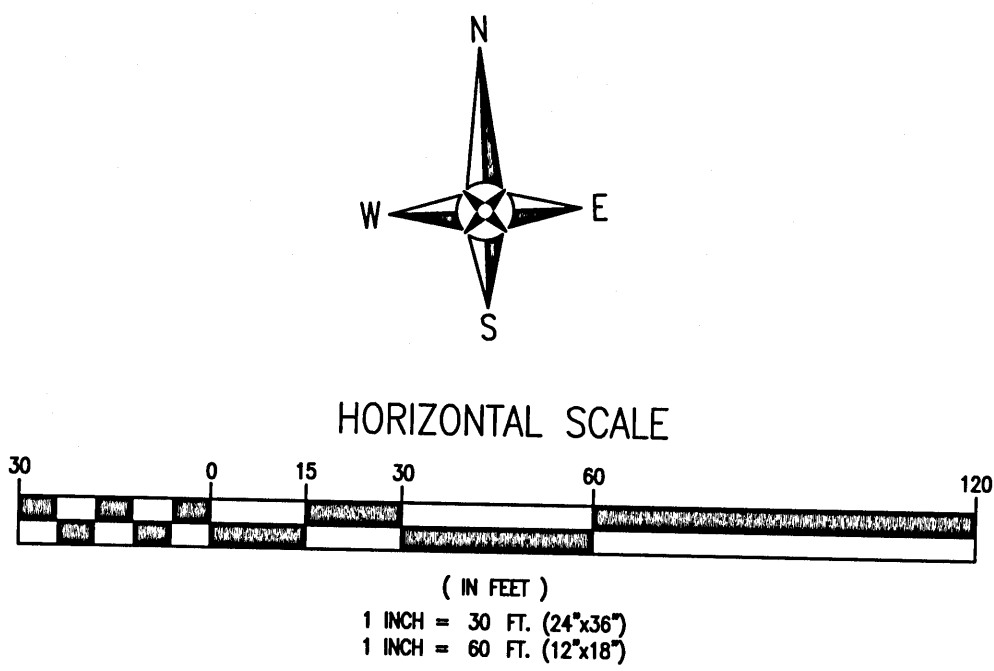
2301 N. West Avenue, Suite 300
Pensacola, Florida 32505
Telephone 850.438.0400 Fax 850.438.0448
EB 00009657

LEGEND

- EXISTING ASPHALT
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- WATER LINE
- SEWER LINE (GRAVITY)
- FM SEWER FORCE MAIN
- OVERHEAD UTILITIES
- BURIED TELEPHONE LINE
- GAS LINE
- BURIED FIBER OPTIC CABLE
- BENCHMARK
- UTILITY POLE
- GUY ANCHOR
- LIGHT POLE
- TELEPHONE JUNCTION BOX
- FIBER OPTIC CABLE MARKER
- WATER VALVE
- FIRE HYDRANT

PIPE TABLE			
Pipe Name	Length	Size	Slope
PS-110	221'	8" PVC Pipe	0.40%
PS-120	218'	8" PVC Pipe	0.40%

SEWER MANHOLE TABLE		
NAME	TOP ELEVATION	INVERTS
SMH-100	65.41	INV=57.13 (PS-110)
SMH-110	64.47	INV=58.11 (PS-120) INV=58.01 (PS-110)
SMH-120	63.00	INV=58.99 (PS-120)



NOTE:
ALL WATER SYSTEM FACILITIES TO BE OWNED & MAINTAINED BY ECUA

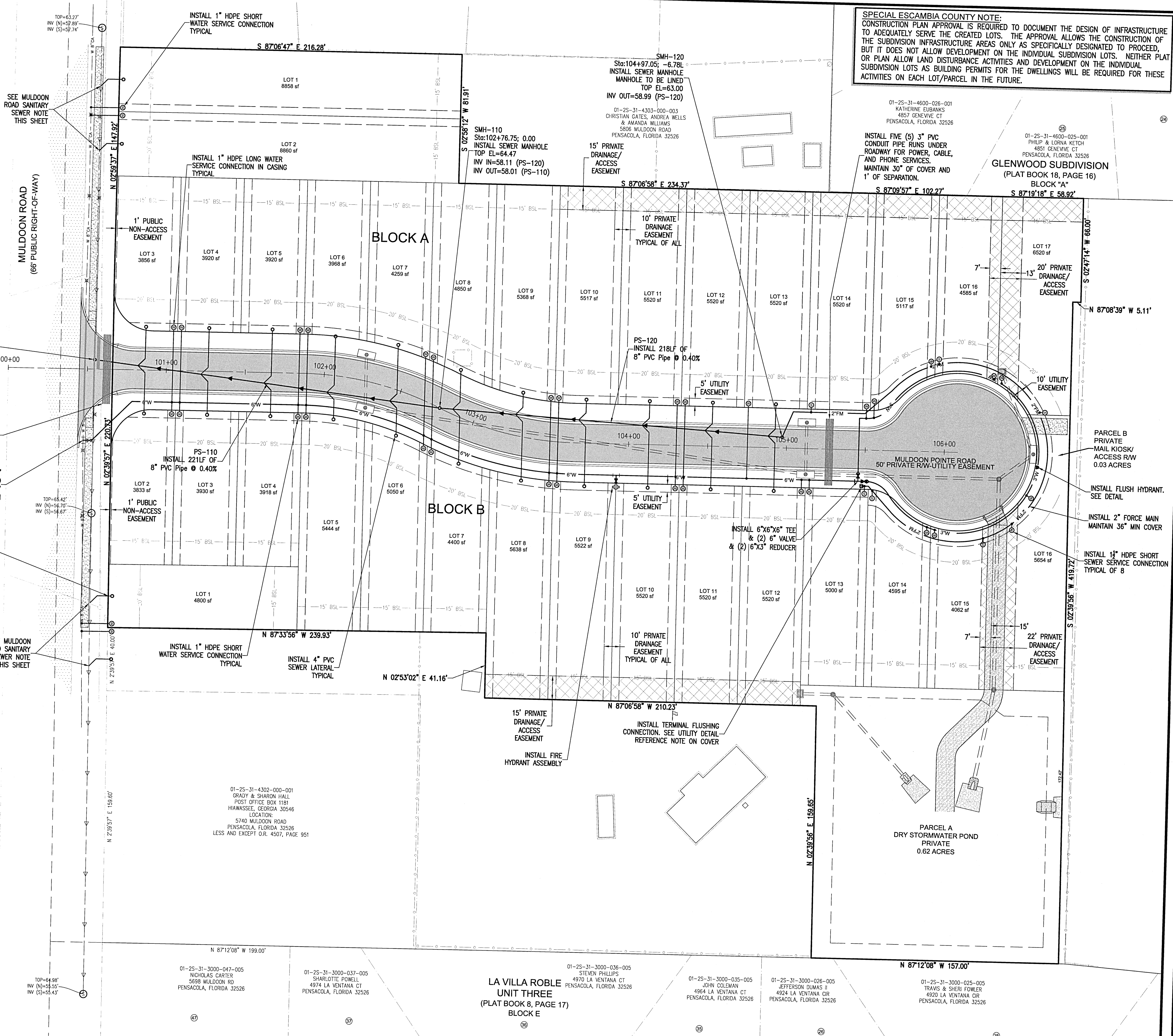
MULDOON ROAD SEWER NOTE:
GRAVITY SEWER SERVICES LOCATED IN MULDOON ROAD RIGHT-OF-WAY SHALL USE AN INSERTA TEE FOR CONNECTION TO SEWER MAIN

LOW PRESSURE SEWER NOTE:
LOTS 14-21 TO HAVE SANITARY SEWER SERVICE VIA A LOW PRESSURE FORCE MAIN.

UTILITY DETAIL REFERENCE NOTE:
REFER TO ECUA ENGINEERING MANUAL (9-1-2016) DIVISION 4 FOR ALL ECUA STANDARD DETAILS.

ALL WORK THAT WILL BECOME ECUA OWNED SHALL BE DESIGNED, CONSTRUCTED, AND TESTED IN ACCORDANCE WITH THE ECUA STAMPED APPROVED PLANS AND ECUA'S ENGINEERING MANUAL IN EFFECT AT TIME OF ECUA PLAN APPROVAL.

WELLHEAD PROTECTION NOTE:
THIS DEVELOPMENT PROJECT FALLS WITHIN THE TRAVEL TIME CONTOURS OF A PROTECTED (POTABLE) WELLHEAD. CONTRACTORS SHALL BE RESPONSIBLE FOR REPORTING SPILLS OF POTENTIALLY HAZARDOUS SUBSTANCES (I.E. GASOLINE, DIESEL FUEL, HYDRAULIC FLUID, CLEANING PRODUCTS, CHEMICALS, ETC.) TO THE APPROPRIATE STATE (FDEP STATE WARNING POINT 1-800-320-0519) AND LOCAL (ECUA-EMERALD COAST UTILITIES AUTHORITY 850-320-0519 AND ESCAMBIA COUNTY HEALTH DEPARTMENT/ENVIRONMENTAL HEALTH 850-595-6712) AGENCIES.



SPECIAL ESCAMBIA COUNTY NOTE:
CONSTRUCTION PLAN APPROVAL IS REQUIRED TO DOCUMENT THE DESIGN OF INFRASTRUCTURE TO ADEQUATELY SERVE THE CREATED LOTS. THE APPROVAL ALLOWS THE CONSTRUCTION OF THE SUBDIVISION INFRASTRUCTURE AREAS ONLY AS SPECIFICALLY DESIGNATED TO PROCEED, BUT IT DOES NOT ALLOW DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS. NEITHER PLAT OR PLAN ALLOW LAND DISTURBANCE ACTIVITIES AND DEVELOPMENT ON THE INDIVIDUAL SUBDIVISION LOTS AS BUILDING PERMITS FOR THE DWELLINGS WILL BE REQUIRED FOR THESE ACTIVITIES ON EACH LOT/PARCEL IN THE FUTURE.

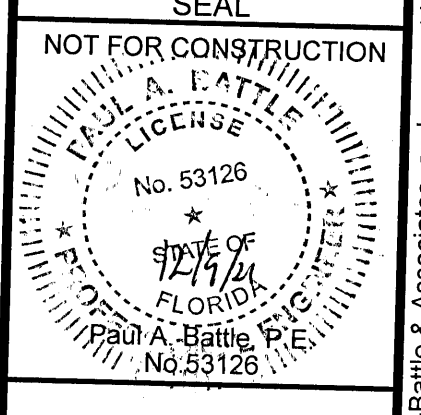
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UTILITY PLAN

MULDOON POINTE
A 33 Lot Subdivision
5760 MULDOON ROAD
ESCAMBIA COUNTY, FLORIDA

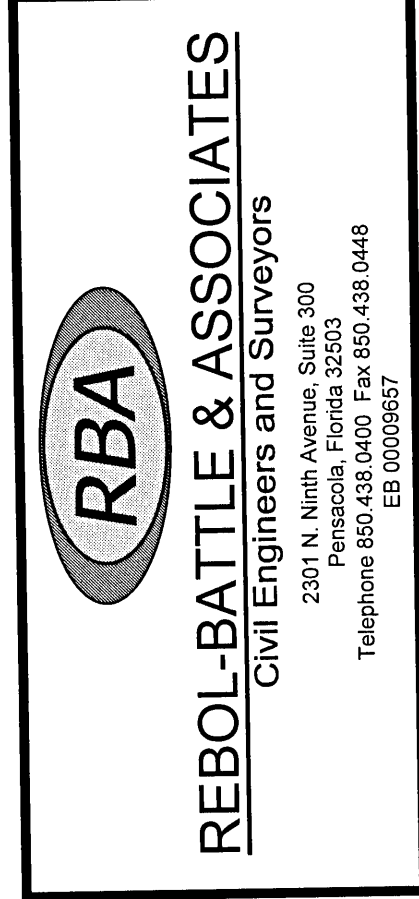
REVISION	
No.	DATE



Dr. By: CBD
Ck. By: PAB
Job No.: 2021.040
Date: 11/30/2021
DRAWING No.

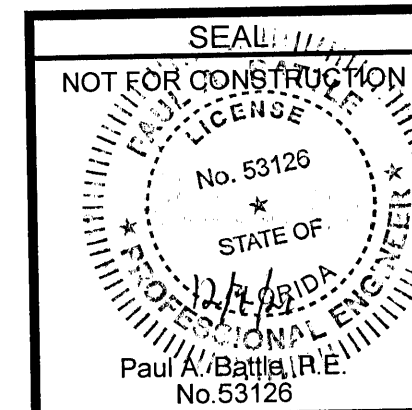


-
- PROP. EQUA PRECAST CONCRETE STANDARD MANHOLE, SEE CONSTRUCTION DETAIL 0-10
- LAP JOINTS OF THE PRE-CAST SECTION ARE TO BE SEALED WITH WRAP/ SEAL OR APPROVED EQUIVALENT (TYP.)
- 4' DIA. MIN.
- INVERT CHANNEL (AKA BENCH) SHALL BE PREFORMED & INCLUDED IN BASE BY FABRICATOR
- 6" MIN. (TYP.)
- FERROD STRONG BACK RC COUPLING, (CLAY TO PVC) PART: 1002-88RC (TYP.)
- 12" OF #57 STONE (SEE NOTE 3)
- 6" MIN.
- EXIST. 8" NON-LINED VCP GRAVITY SEWER (TYP.)
- PROP. DR26, 8" PVC GRAVITY SEWER (TYP.)
- INSTALL SEAL PER SPECIFICATION SECTION 2570-2.4.2.11 (TYP.)
- NOTES:
1. SEE SECTION 2570 FOR COMPLETE SPECIFICATIONS.
 2. VACUUM TEST TO BE COMPLETED IN ACCORDANCE WITH ASTM C-1244 AND PERFORMED PRIOR TO BACKFILLING.
 3. INSTALL GRADED AGGREGATE BASE, COMPACTED TO 98% MAXIMUM DENSITY.
 4. SUPPORTING SOILS UNDER THE BASE OF THE MANHOLE SHALL BE COMPACTED TO AT LEAST 98% OF MAXIMUM DENSITY.
 5. JOINT SEALING WRAP SHALL BE INSTALLED ON ALL NEW MANHOLES. RISER SECTION SHALL ONLY BE WRAPPED WHEN MANHOLE IS LOCATED IN LOW AREAS OR AS DEEMED NECESSARY BY ENGINEER.
- CUT-IN MANHOLE
EXISTING NON-LINED VCP ONLY**
- DRAFT**
- SCALE: N.T.S.
DATE: August 2019
- DETAIL**
- ECOA**
EMERALD COAST
UTILITIES AUTHORITY



UTILITY DETAIL

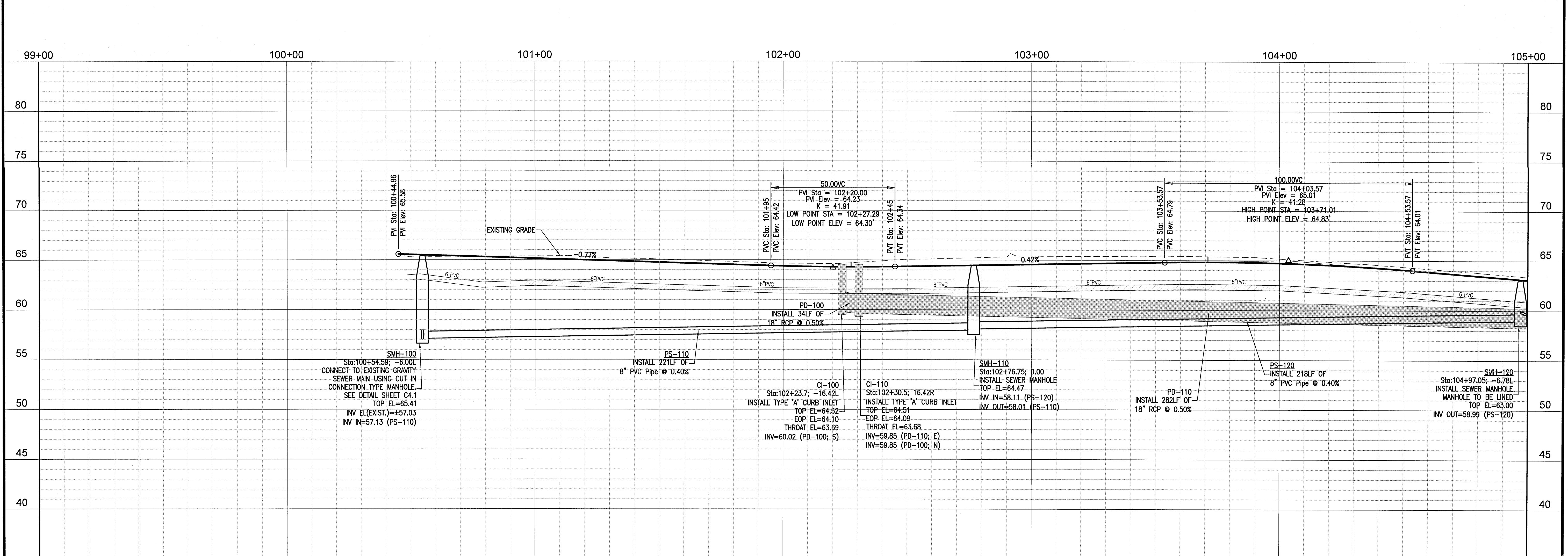
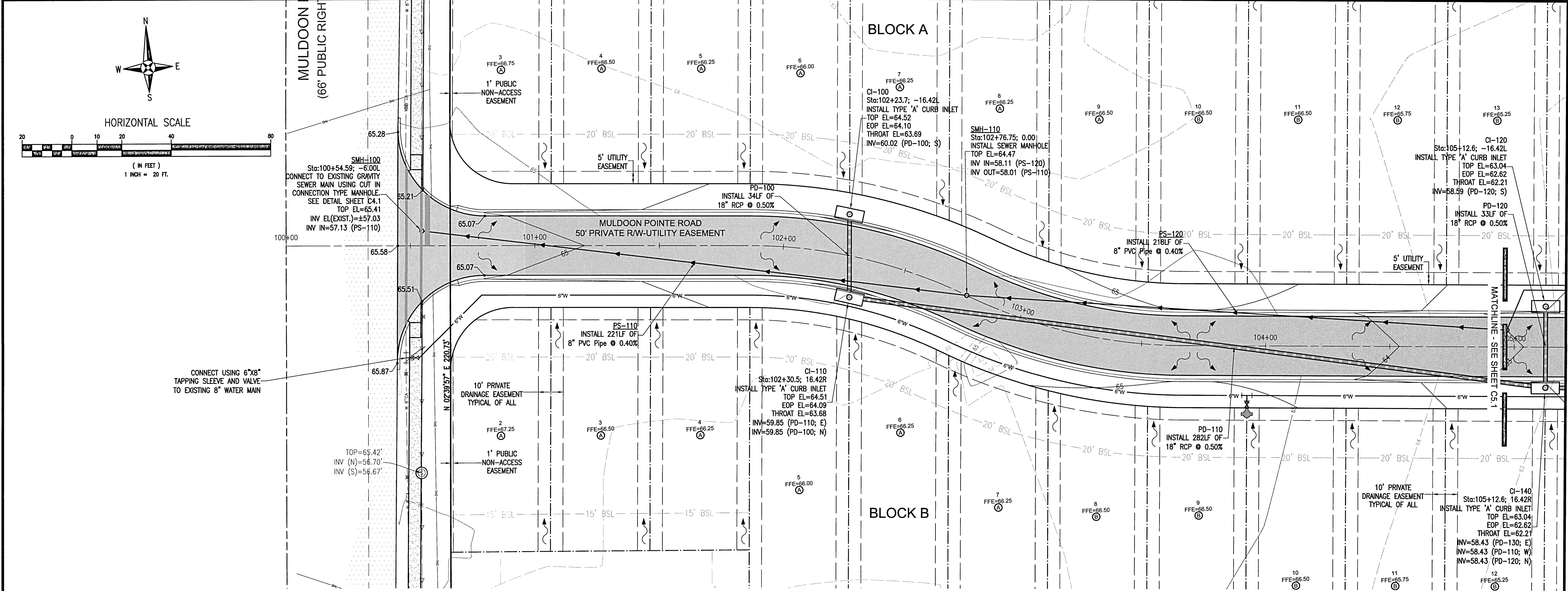
**MULDOON POINTE
A 33 Lot Subdivision
5760 MULDOON ROAD
ESCAMBIA COUNTY, FLORIDA**

[illegible]

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Ck By: PAB
Job No.: 2021.040
Date: 11/30/2021

DRAWING No.

C4.1



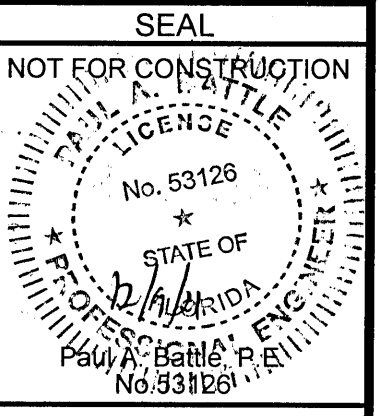


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PLAN & PROFILE

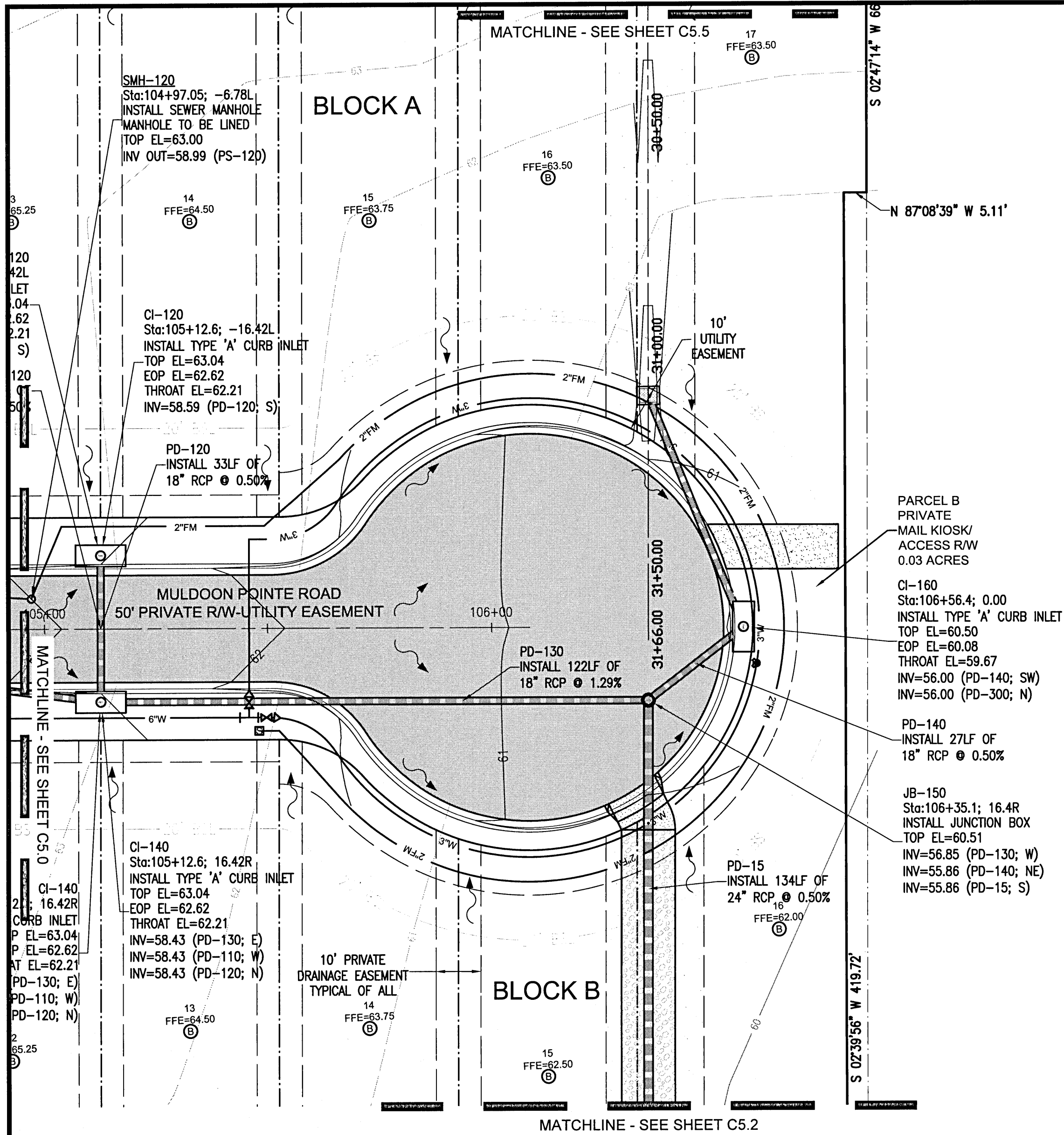
MULDOON POINTE
A 33 Lot Subdivision
5760 MULDOON ROAD
ESCAMBIA COUNTY, FLORIDA

REVISION	
No.	DATE



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Dr. By: CBD
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SHEET 14

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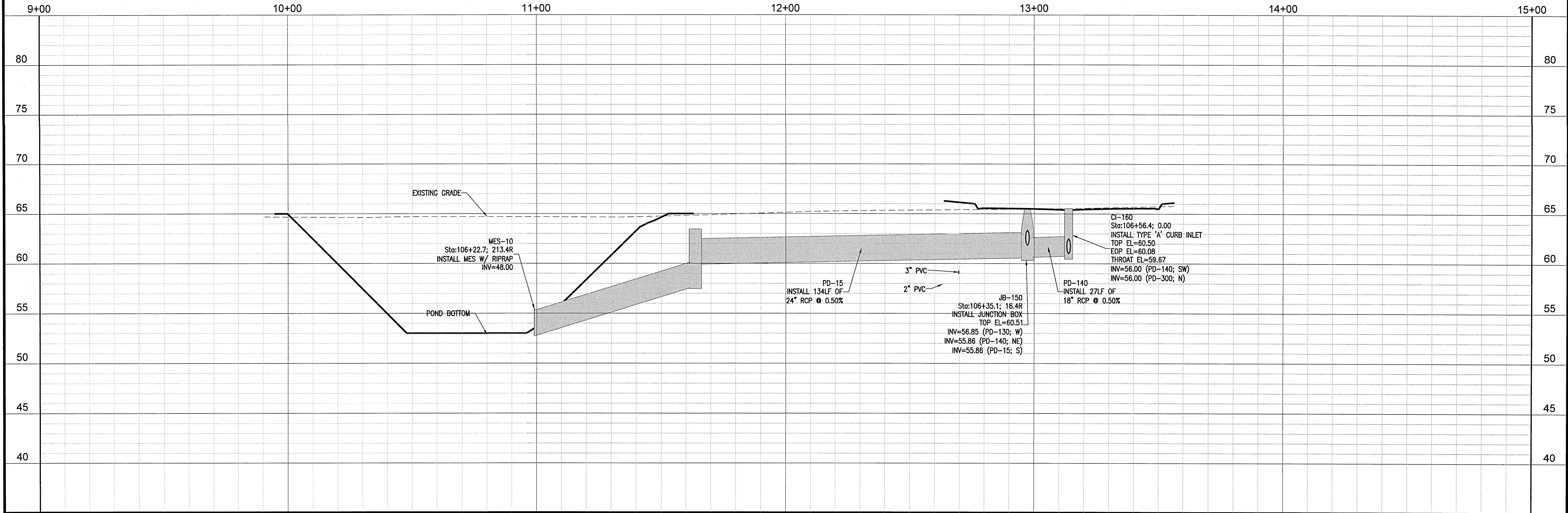
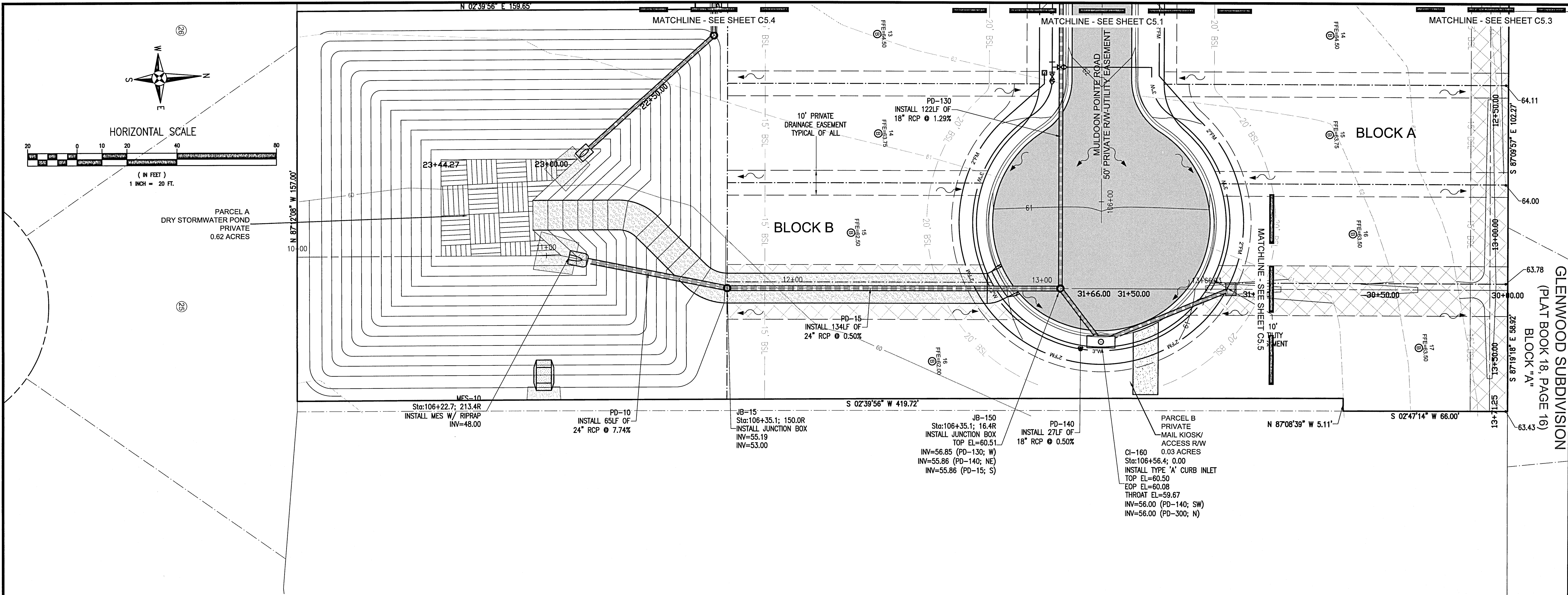
PLAN & PROFILE

MULDOON POINTE
A 33 Lot Subdivision
5760 MULDOON ROAD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION

SEAL
NOT FOR CONSTRUCTION
Professional Engineer
No. 63126
Date: 11/30/2021
Dr. By: CBD
Ck By: PAB
Job No.: 2021.040
Date: 11/30/2021
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C5.1
SHEET 15

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PLAN & PROFILE

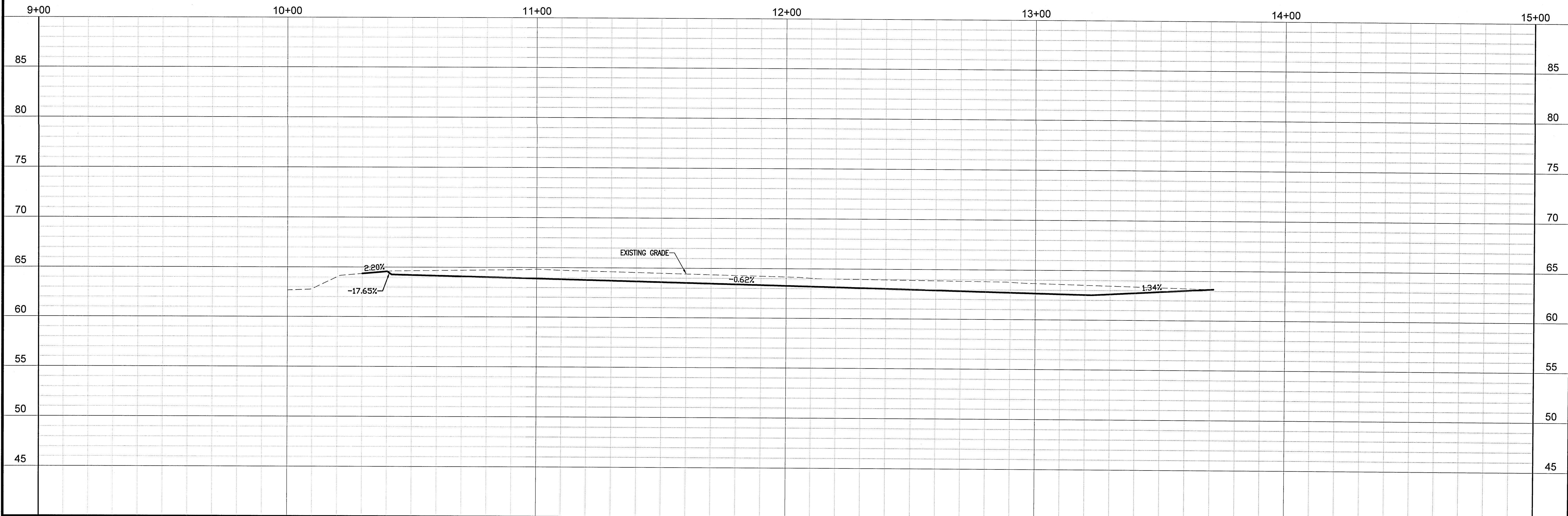
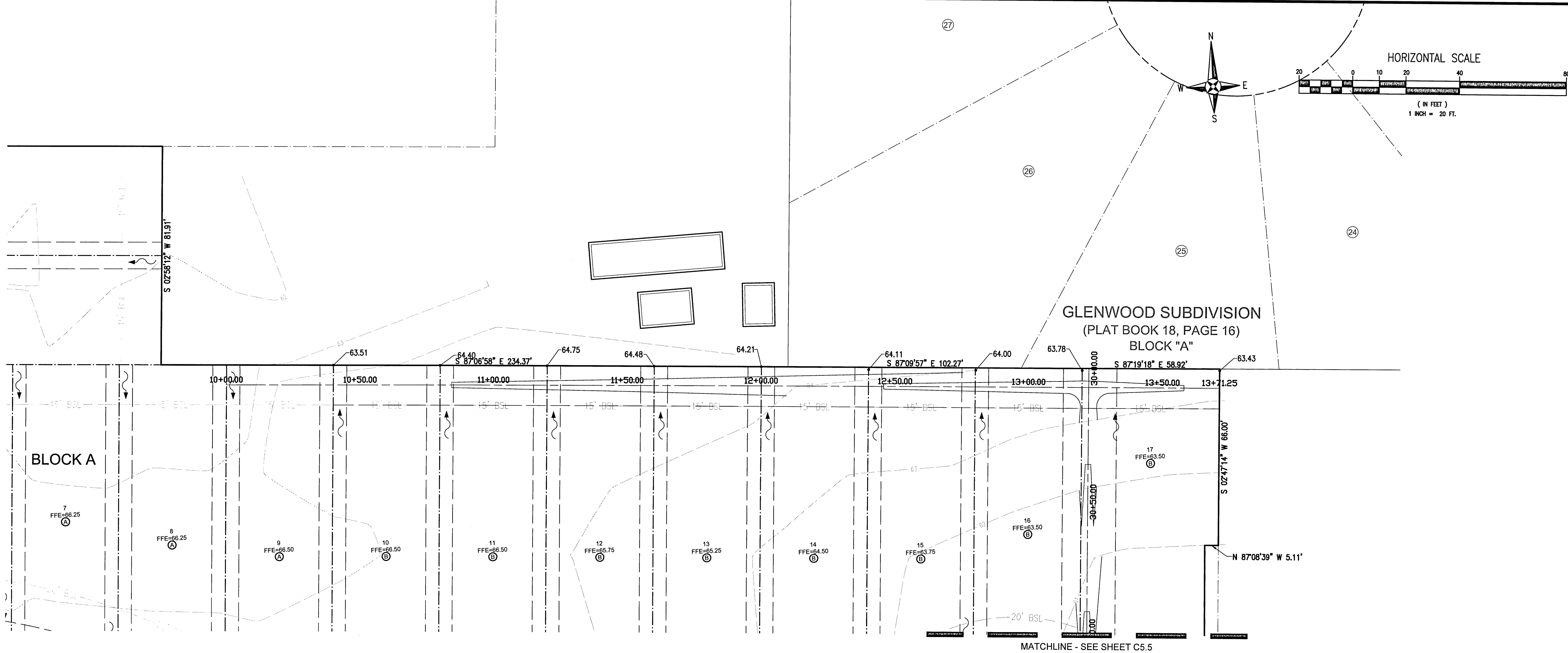
MULDOON POINTE
A 33 Lot Subdivision
5760 MULDOON ROAD
ESCAMBIA COUNTY, FLORIDA

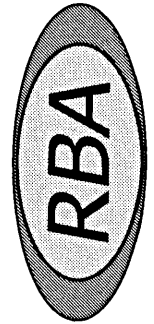
REVISION	
No.	DATE

SEAL
NOT FOR CONSTRUCTION
PAUL A. BATTLE
LICENSE
No. 53128
12/1/2021
FLORIDA
Paul A. Battle, P.E.
No. 53128

Dr. By: CBD
Ck By: PAB
Job No.: 2021.040
Date: 11/30/2021
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C5.2
SHEET 16

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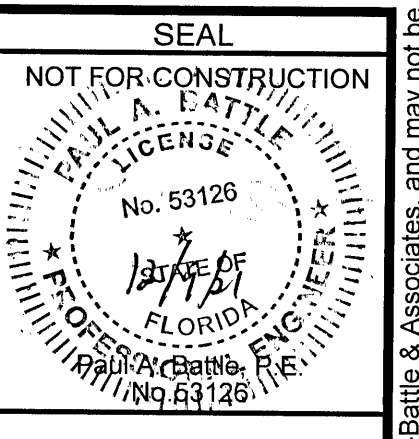


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PLAN & PROFILE

MULDOON POINTE
A 33 Lot Subdivision
5760 MULDOON ROAD
ESCAMBIA COUNTY, FLORIDA

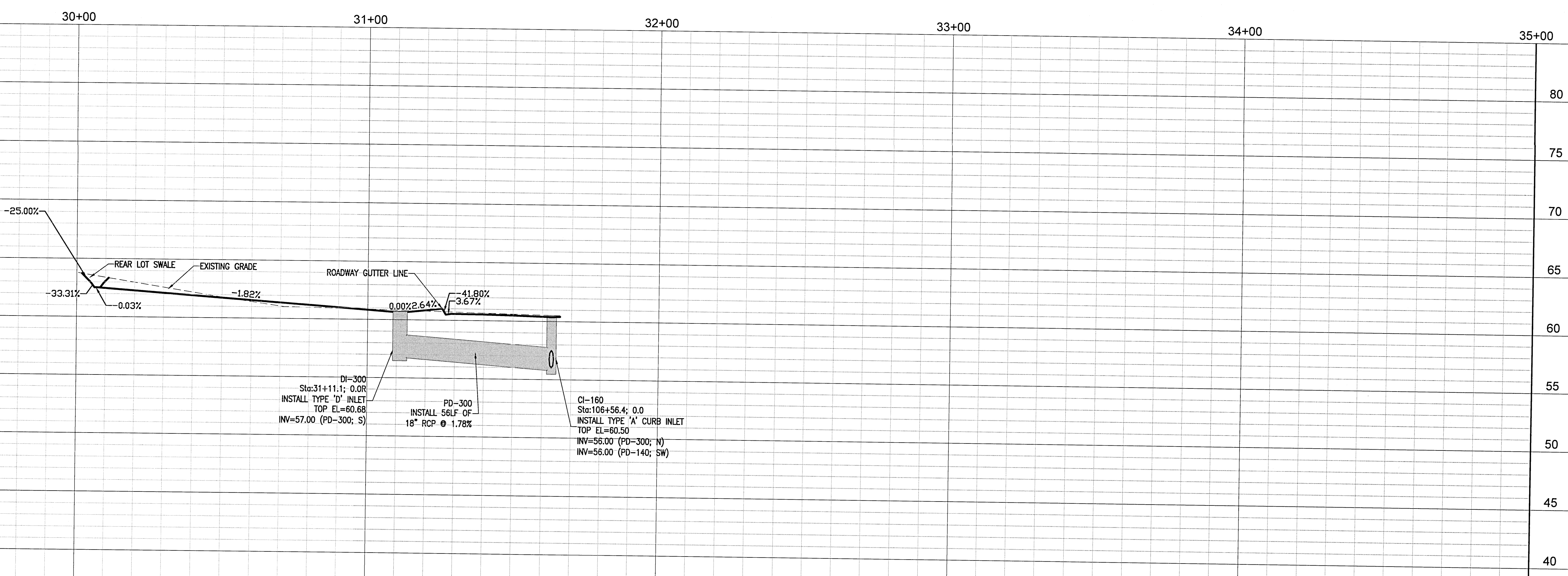
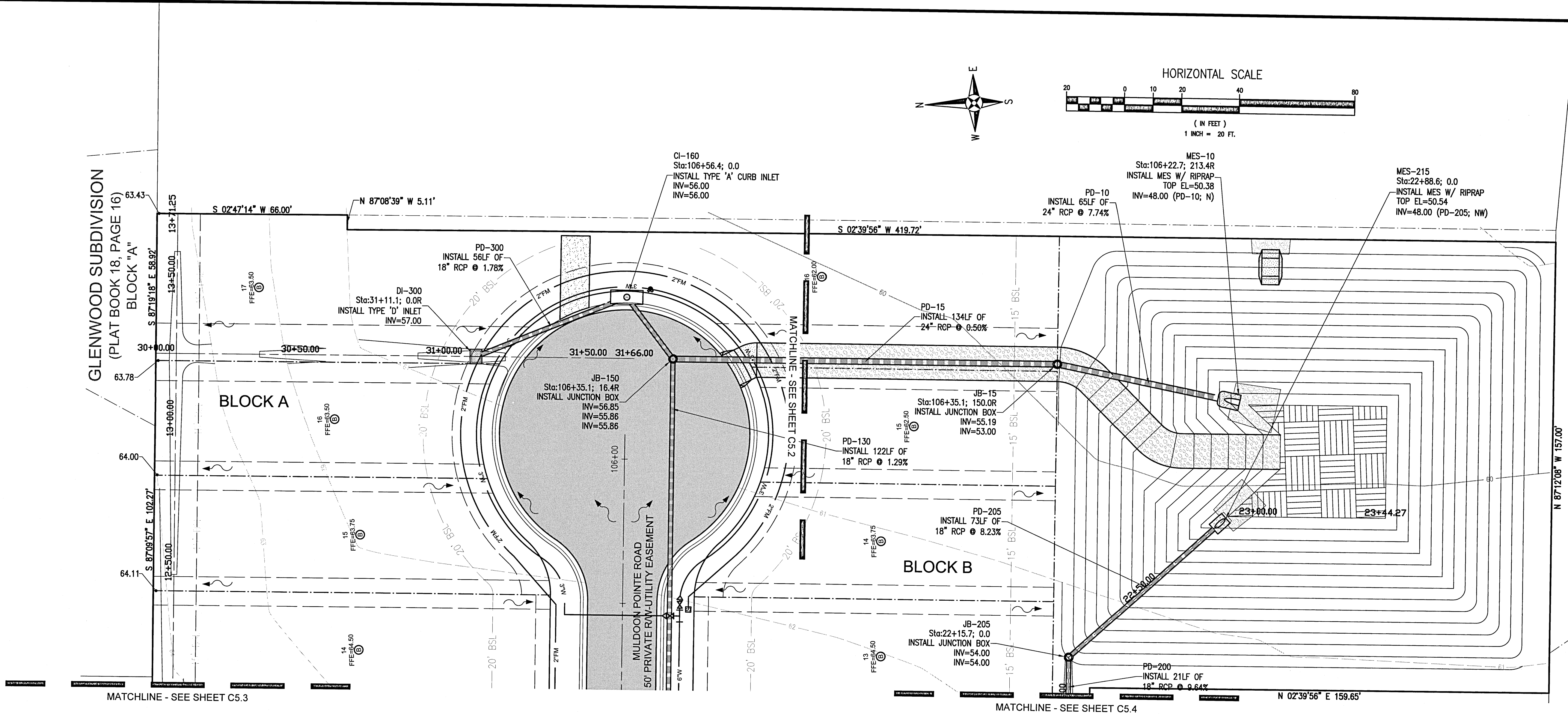
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CK By: PAB
Job No.: 2021.040
Date: 11/30/2021

DRAWING No.
C5.3
SHEET 17

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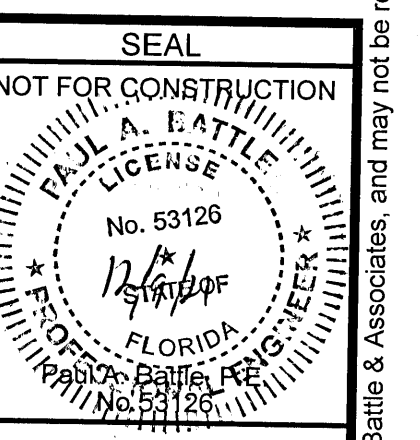
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PLAN & PROFILE

MULDOON POINTE
A 33 Lot Subdivision
5760 MULDOON ROAD
ESCAMBA COUNTY, FLORIDA

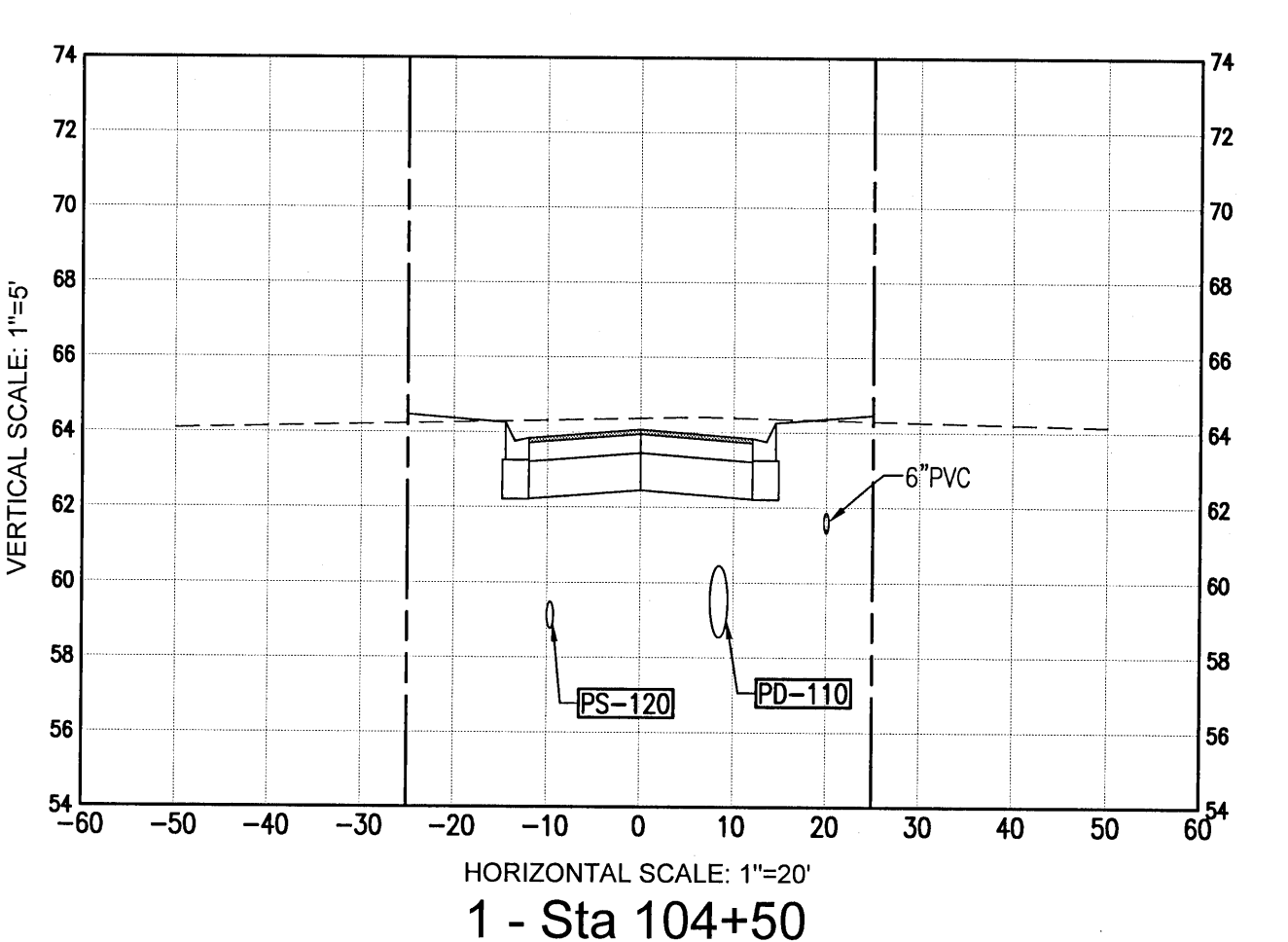
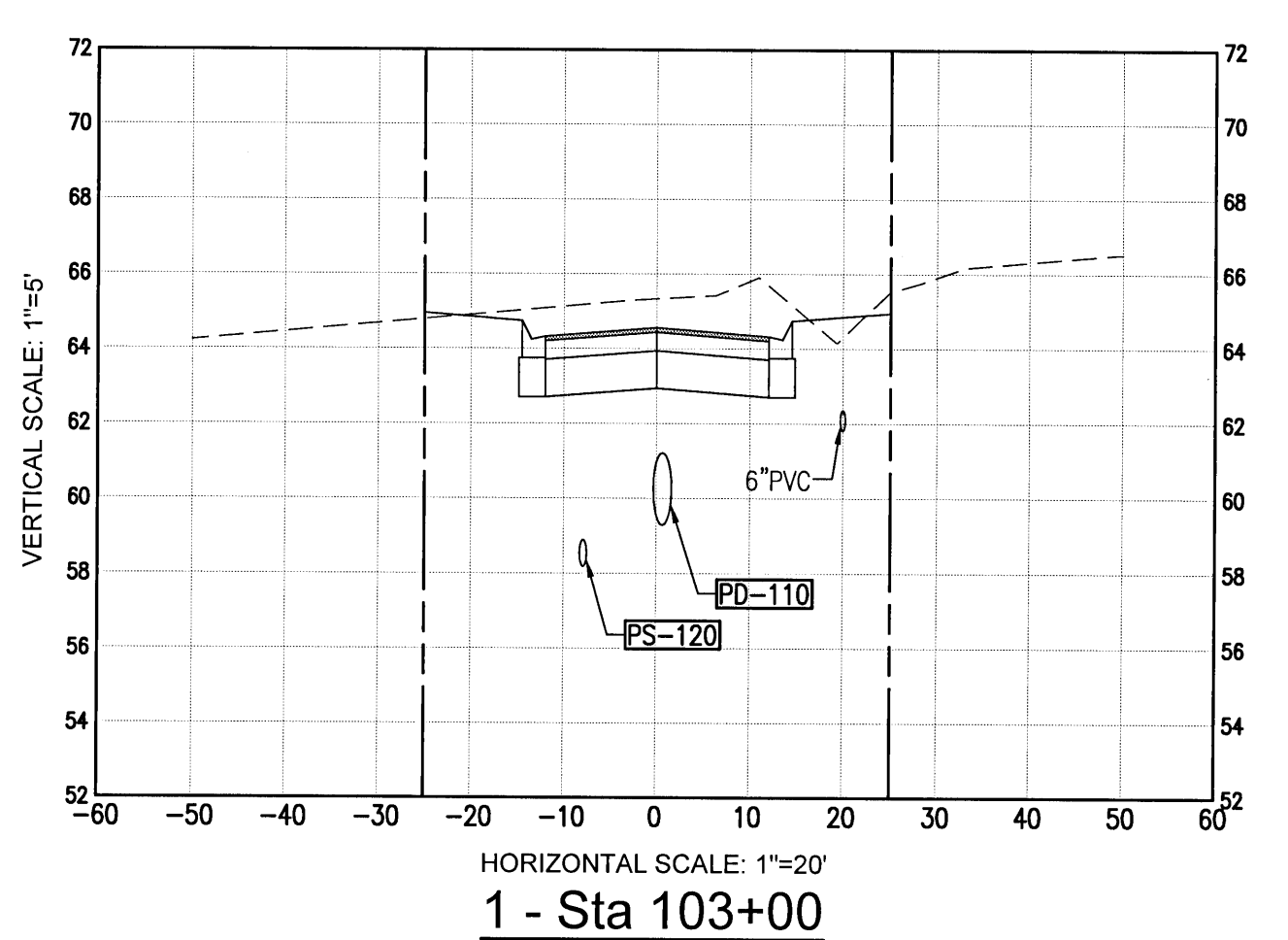
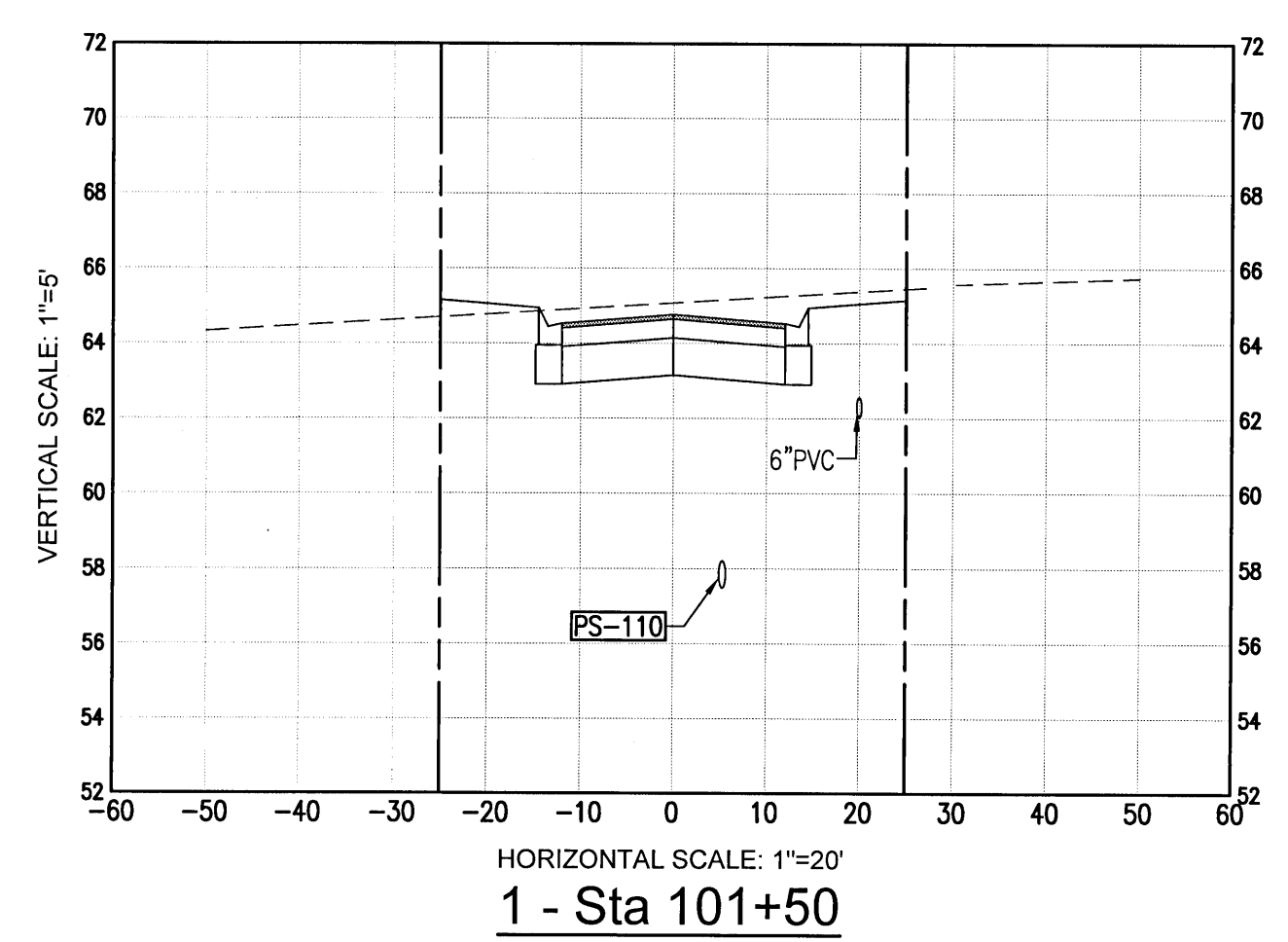
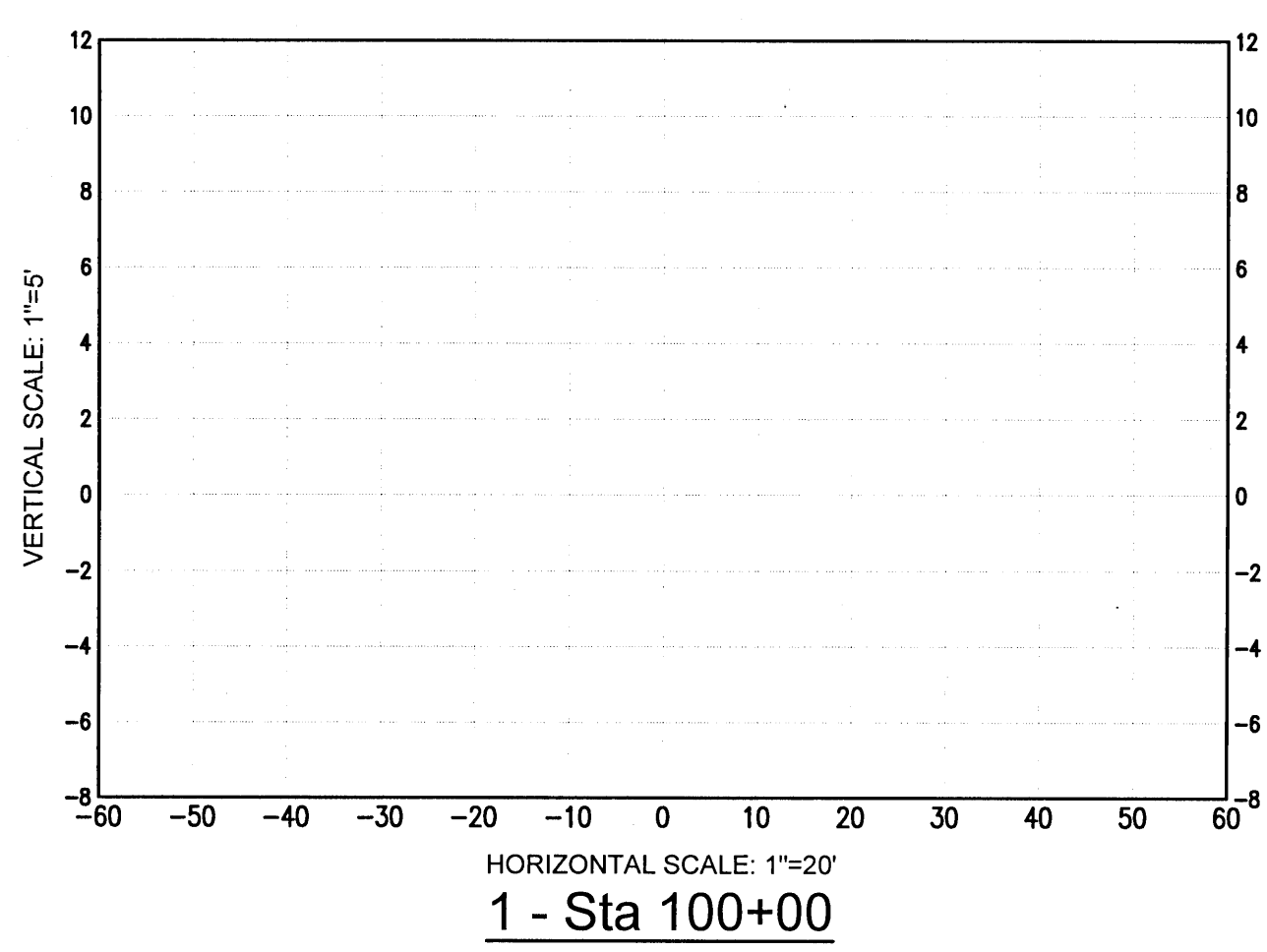
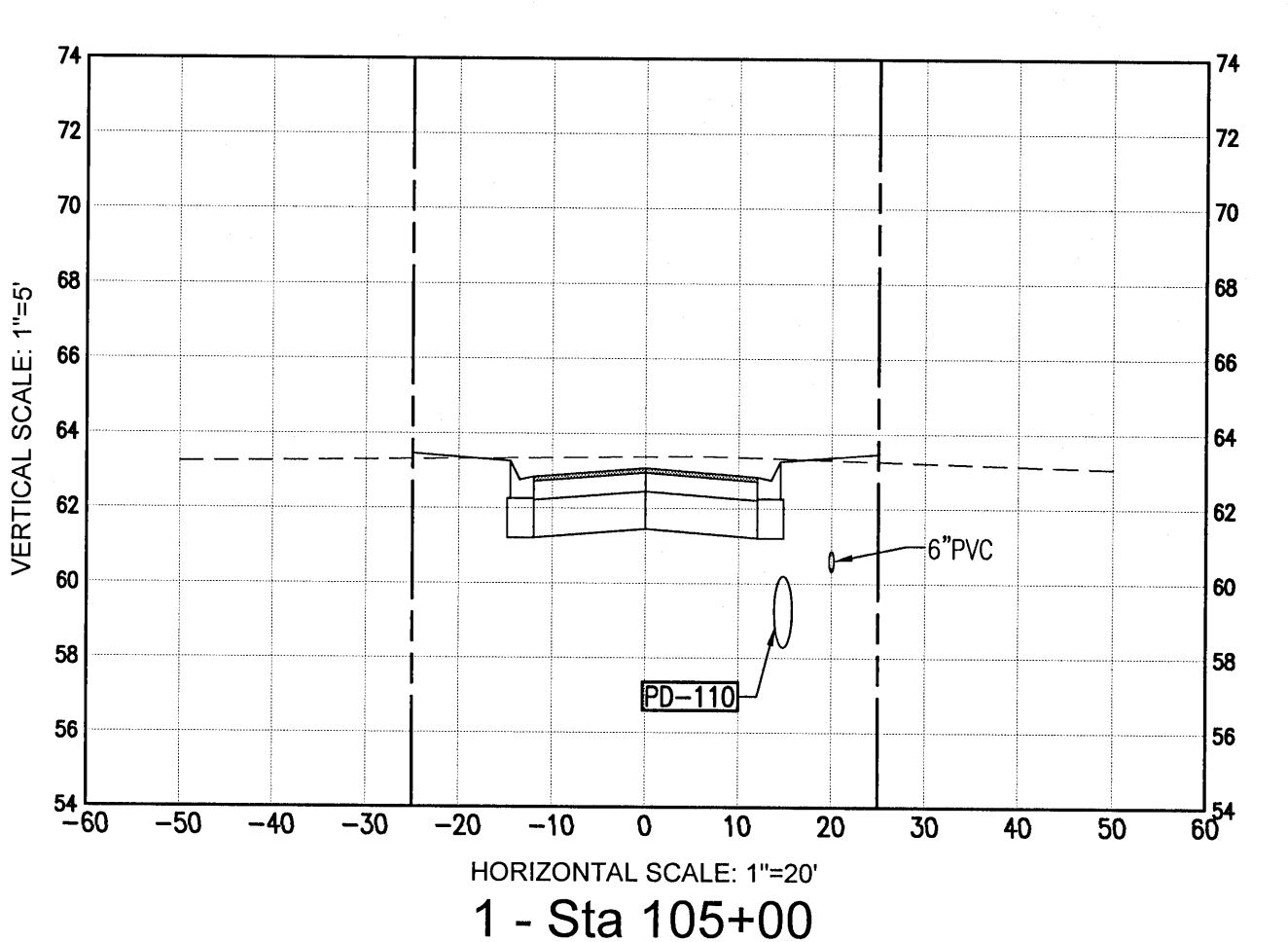
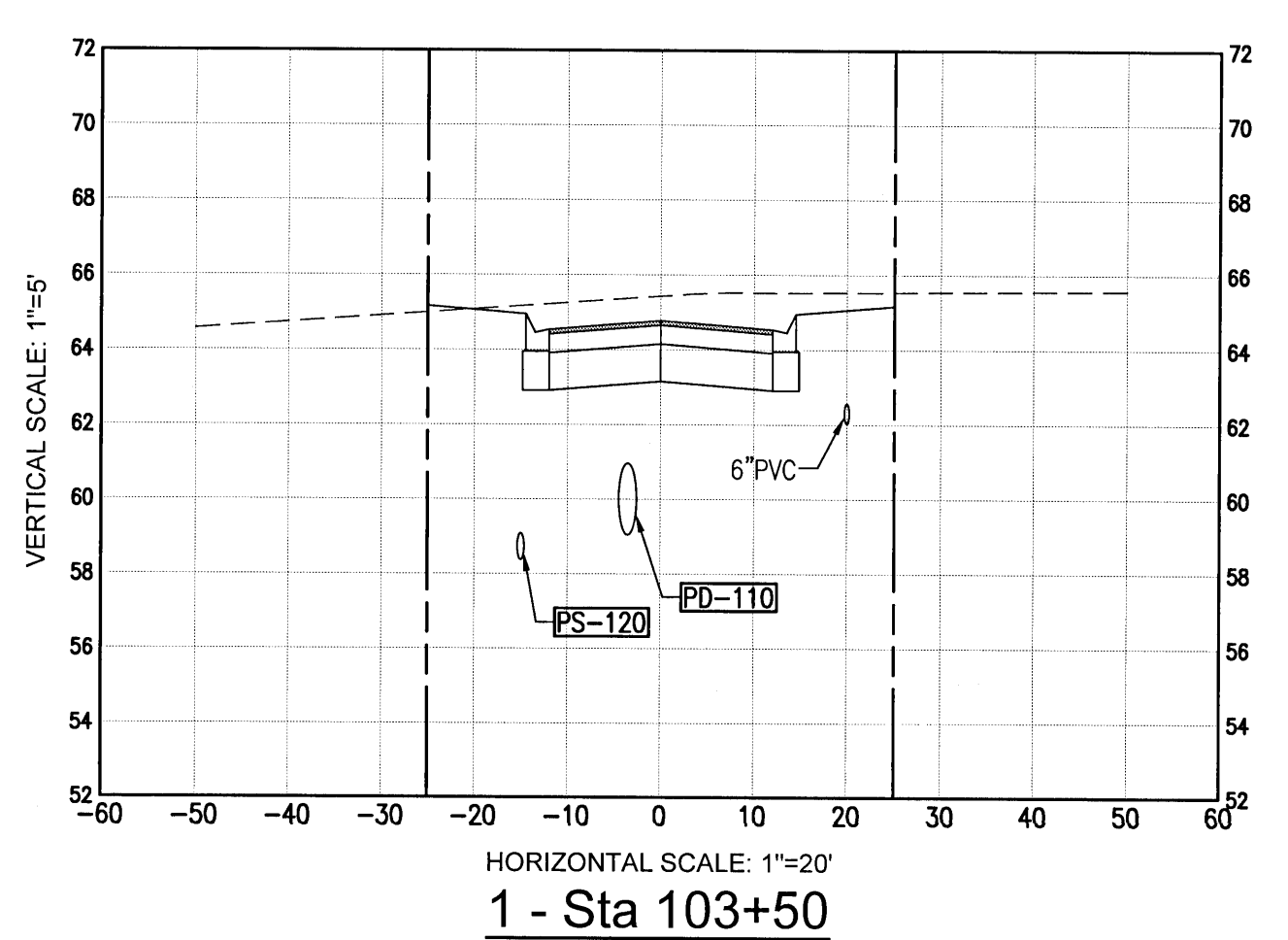
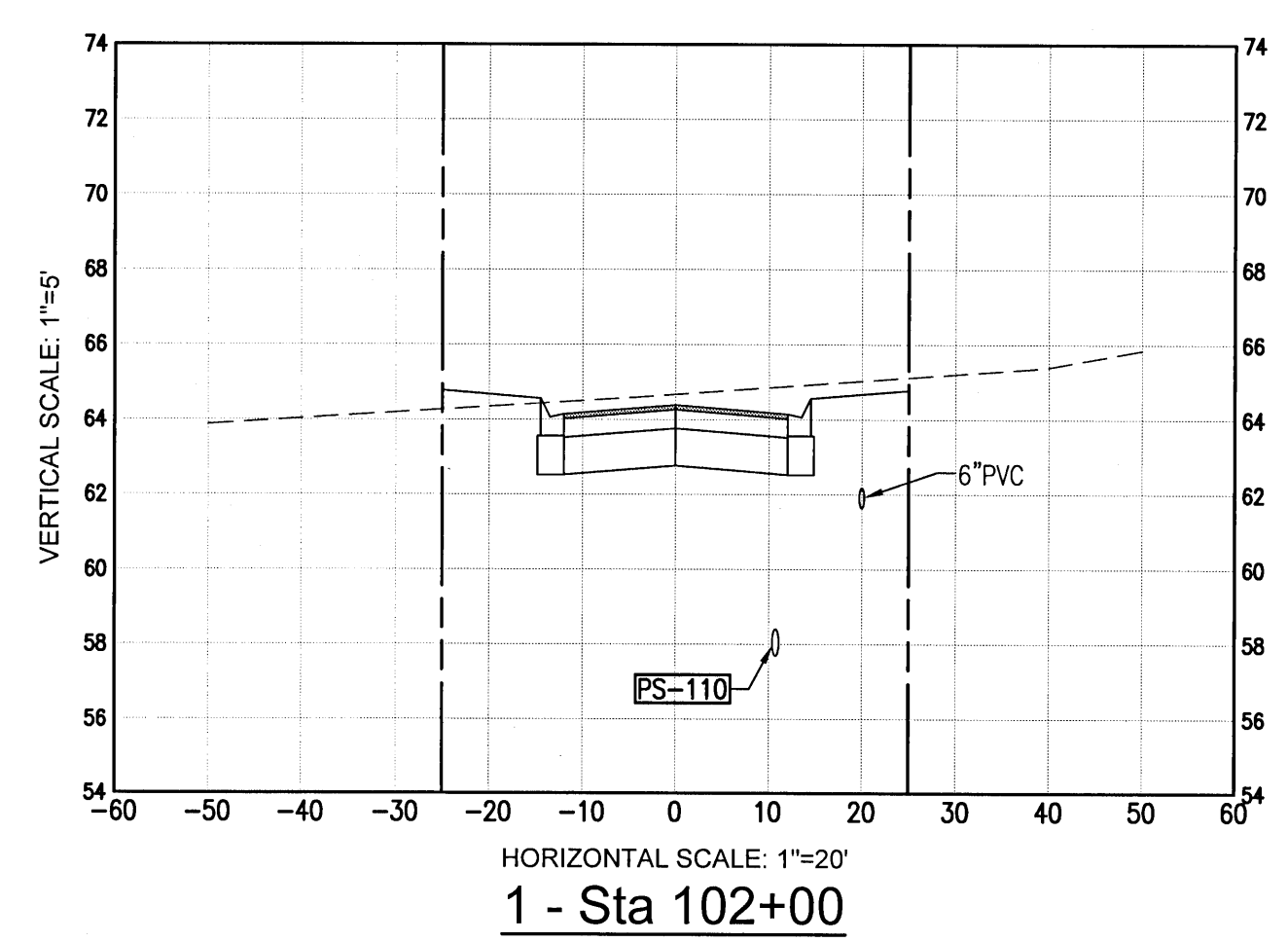
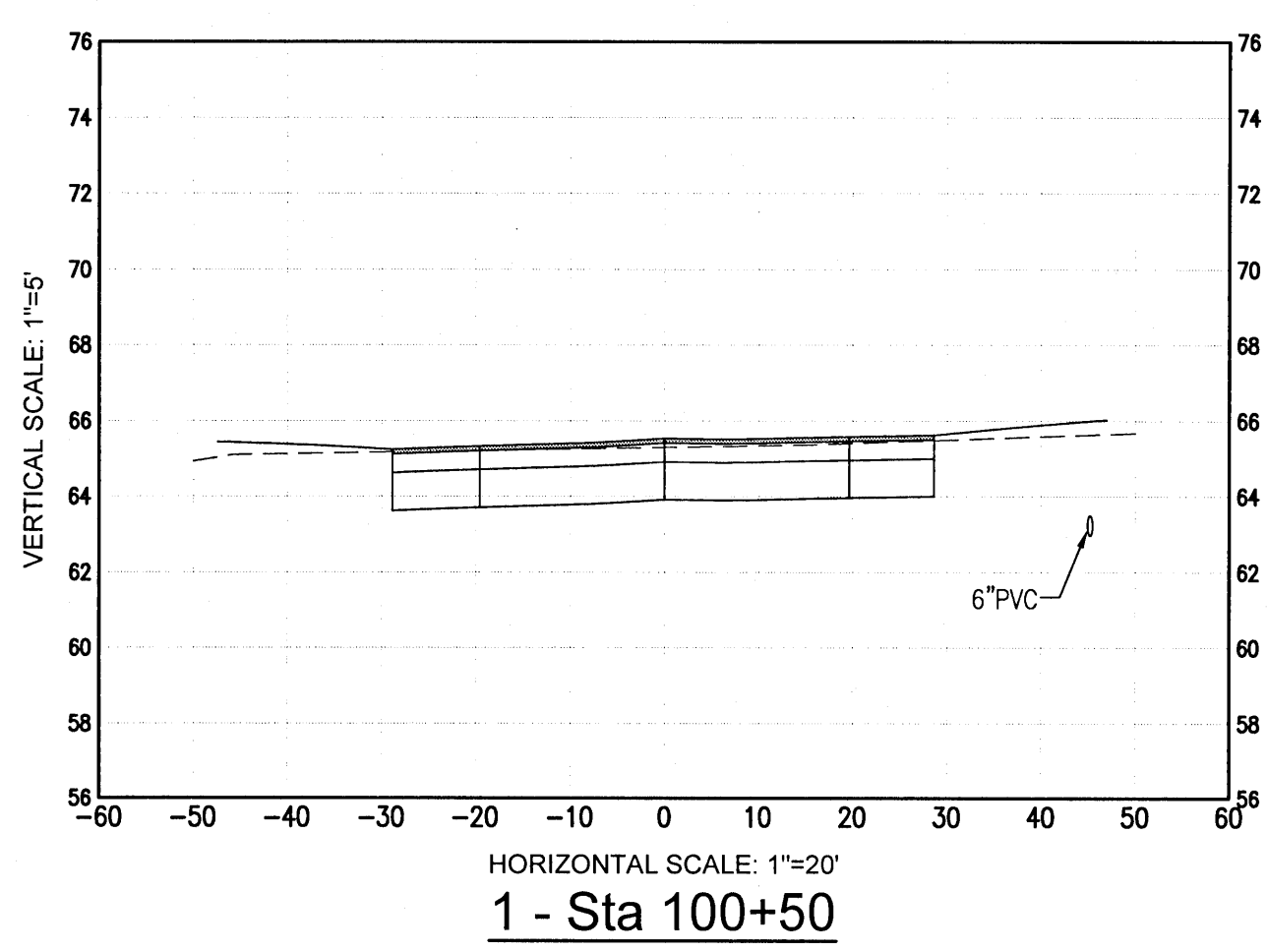
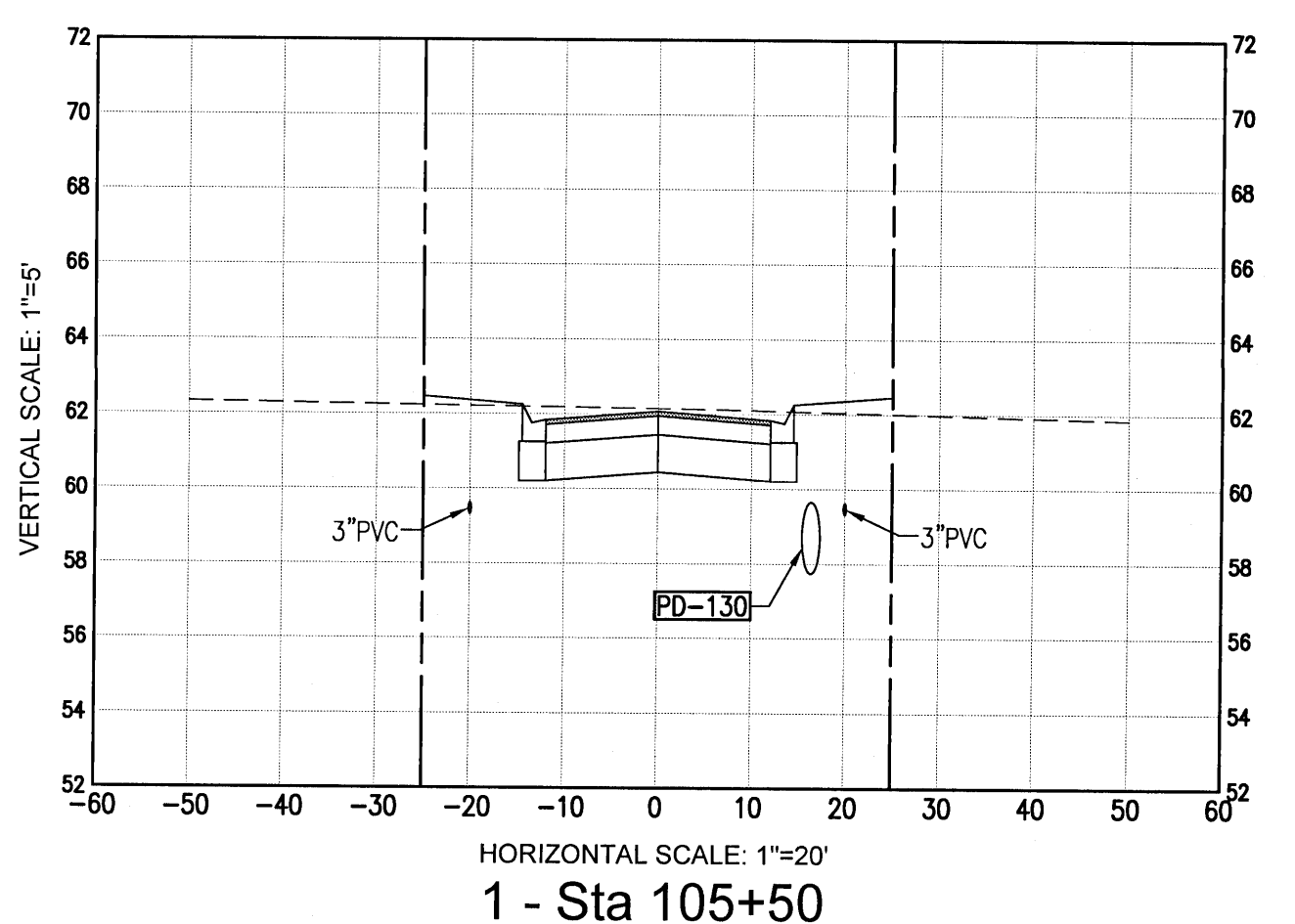
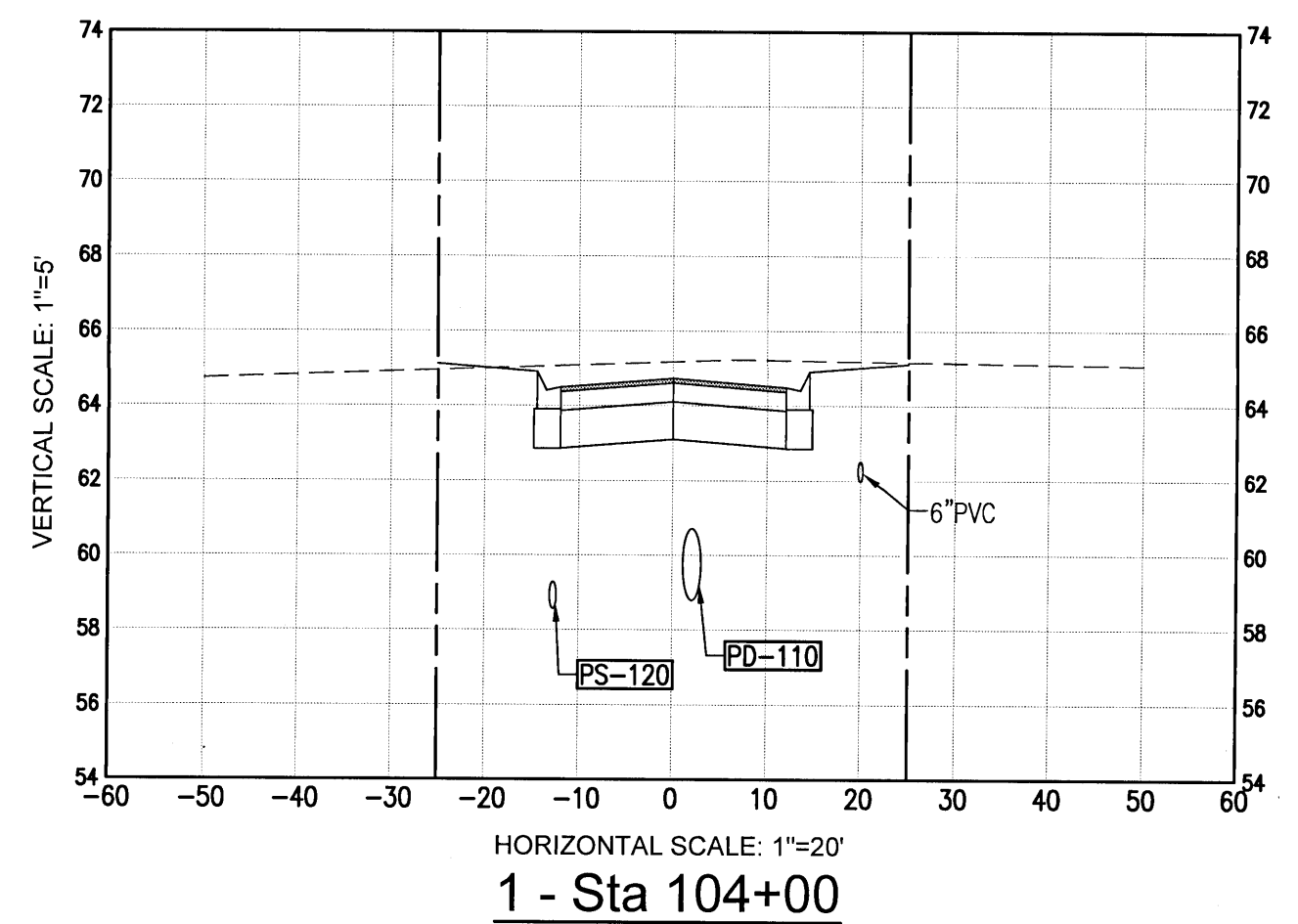
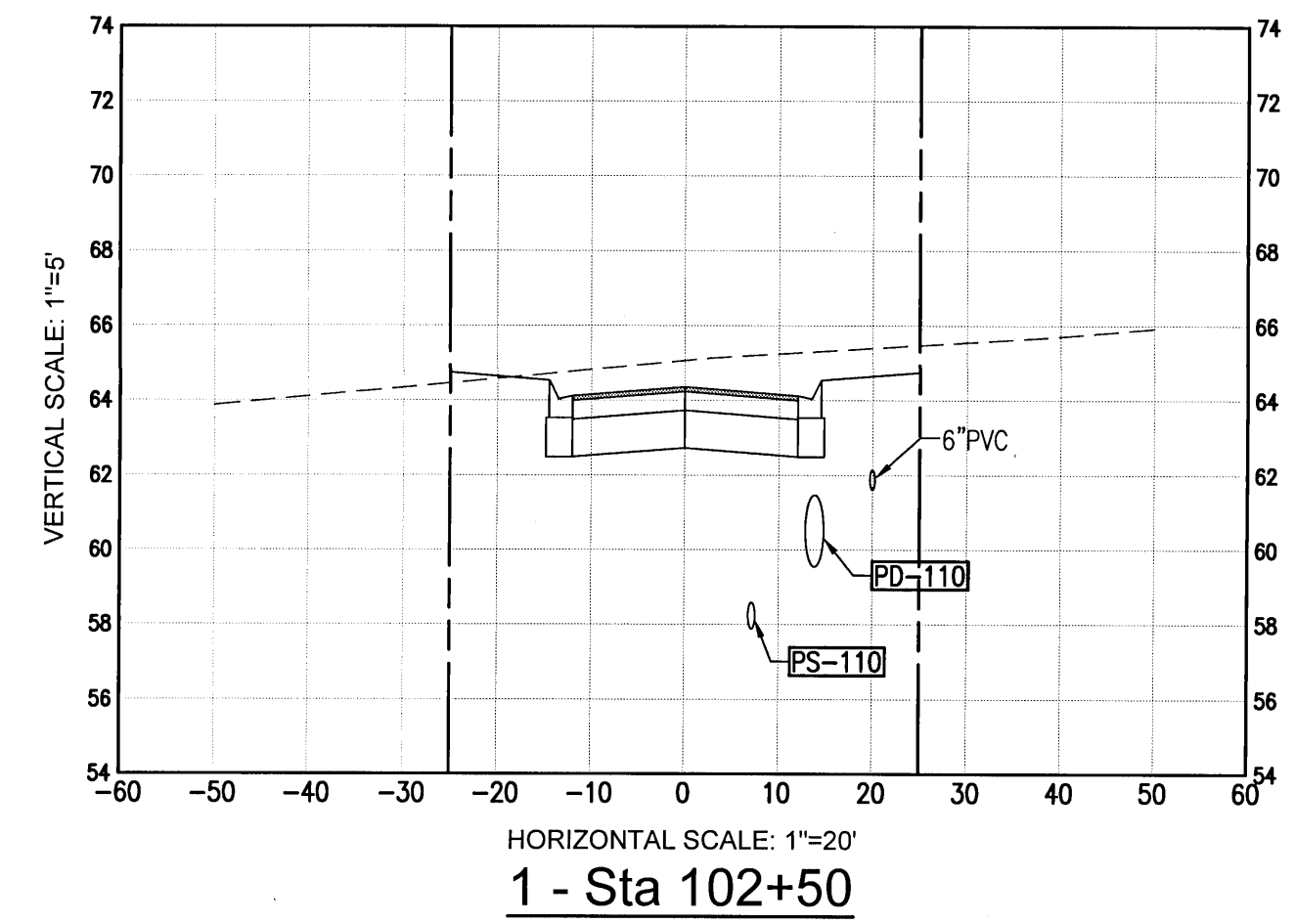
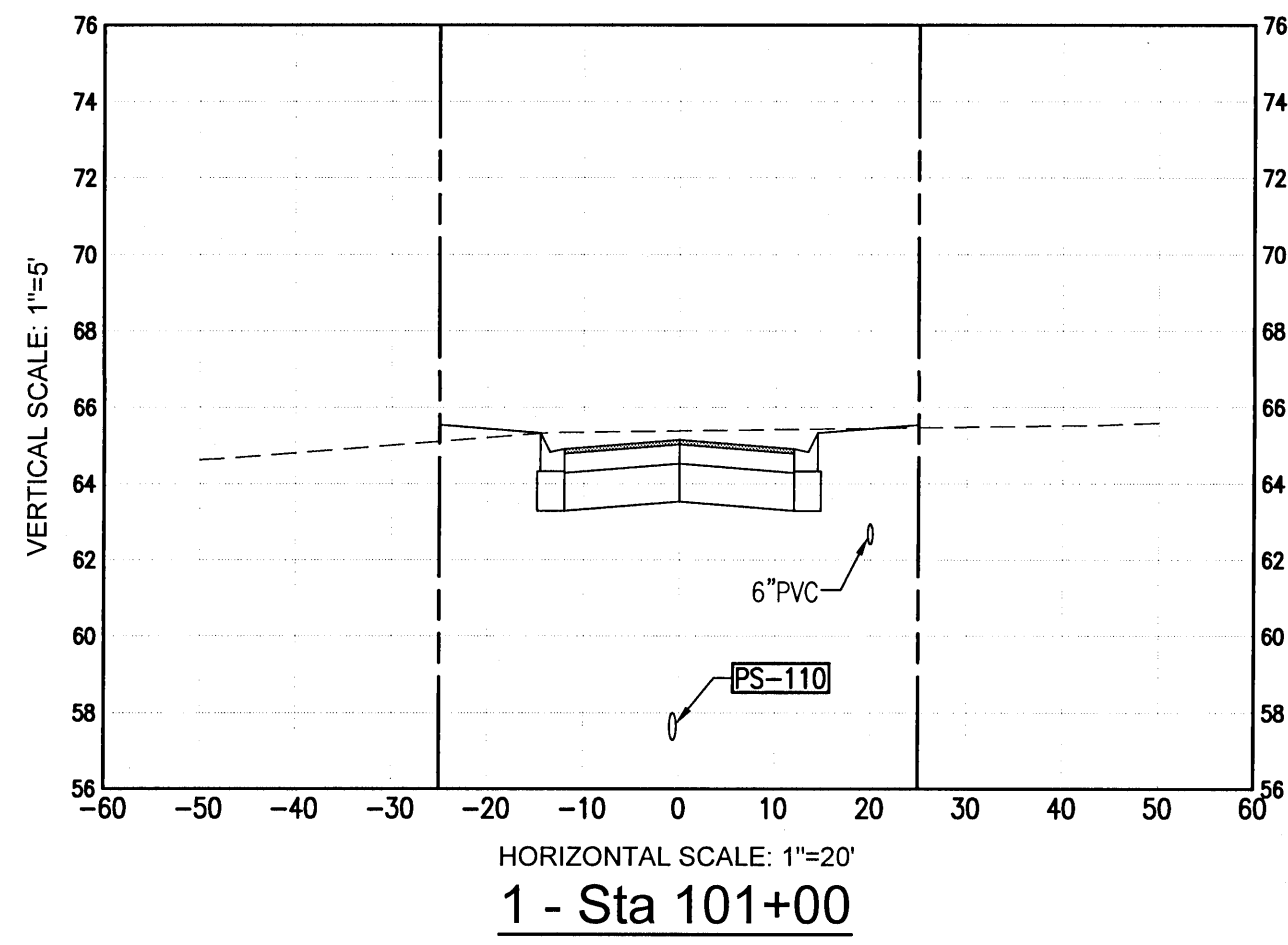
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SHEET 19

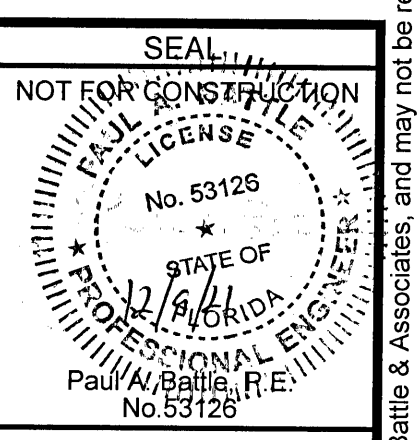
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CROSS SECTIONS

MULDOON POINTE
A 33 Lot Subdivision
5760 MULDOON ROAD
ESCAMBIA COUNTY, FLORIDA

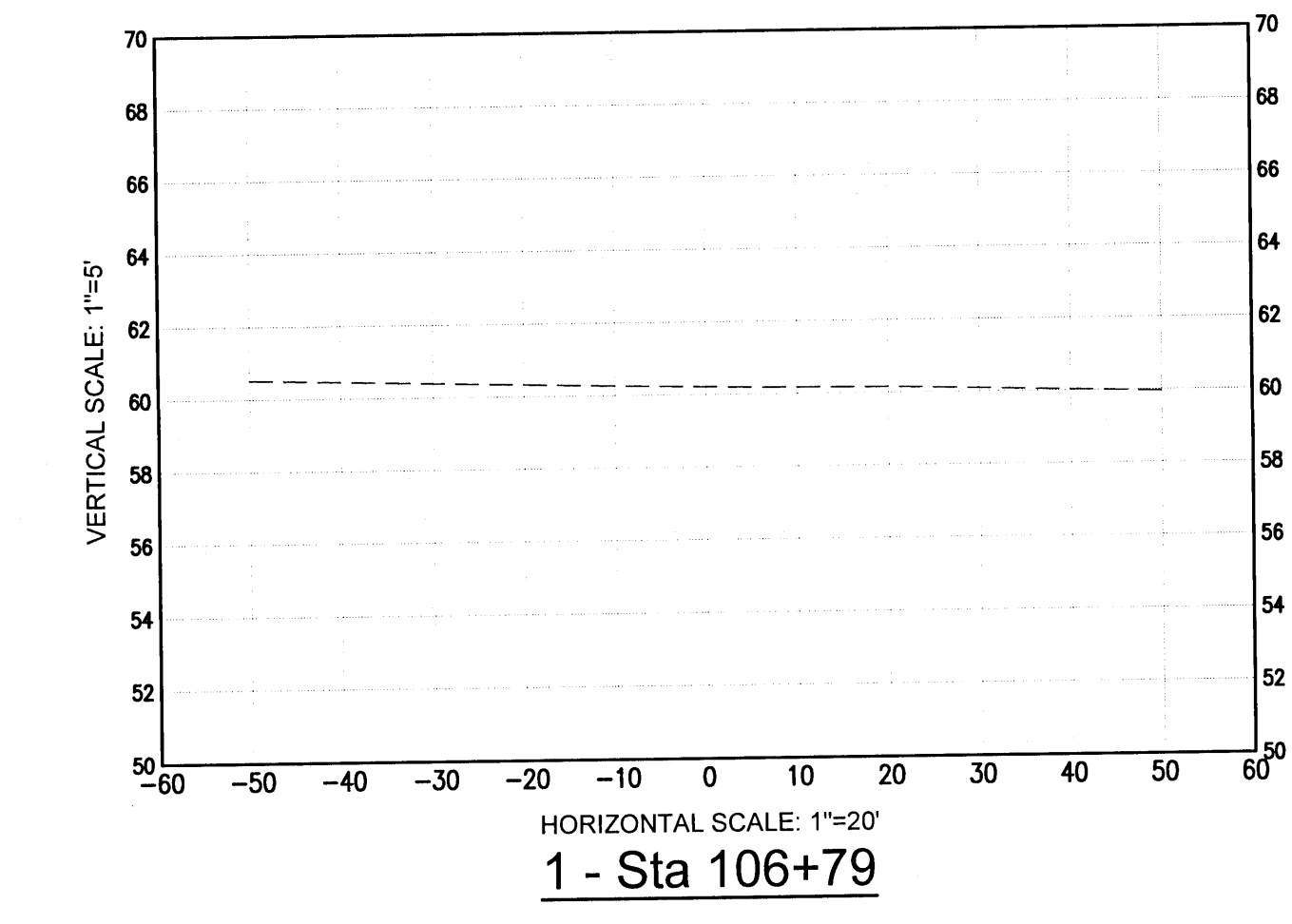
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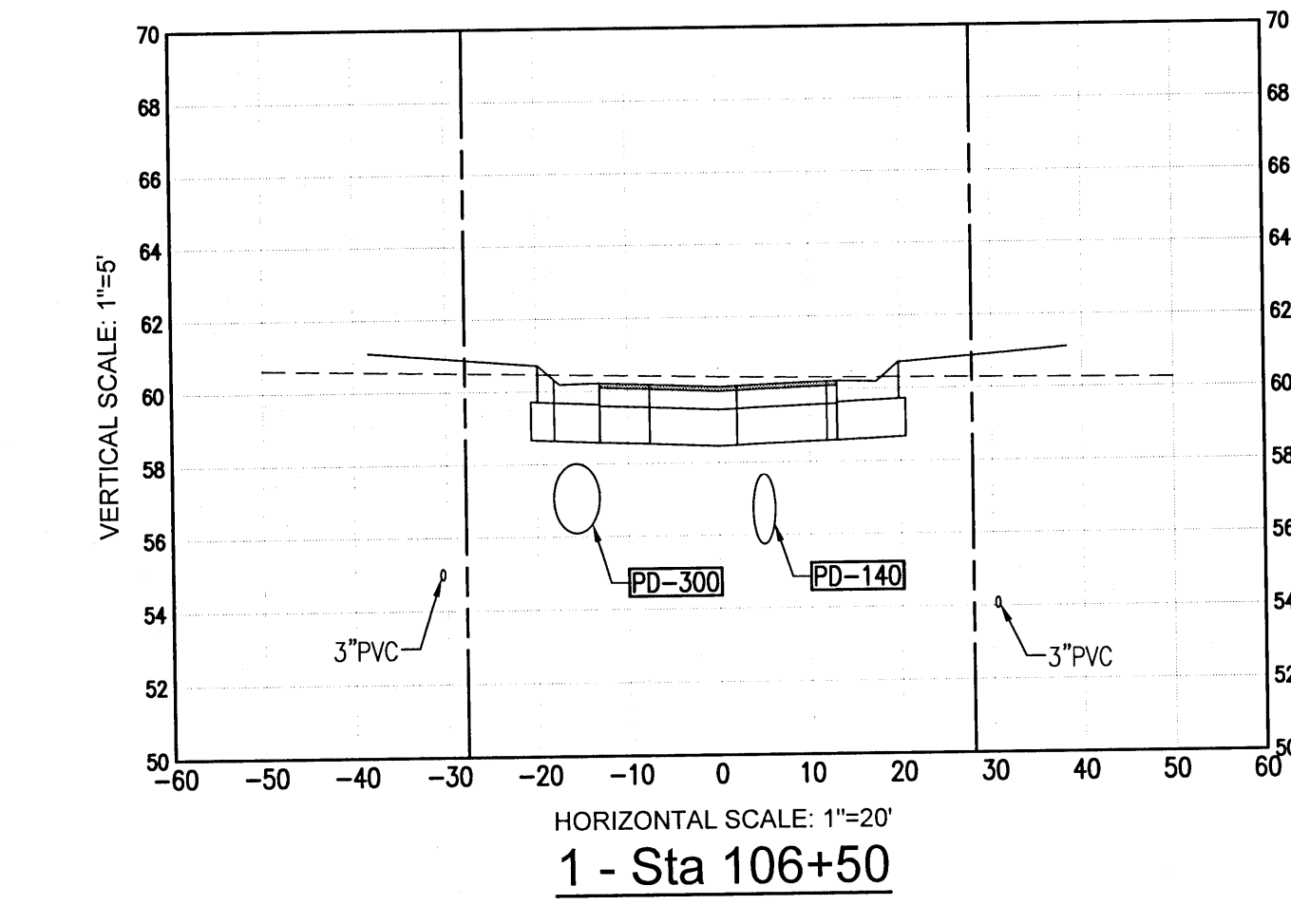
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Job No.: 2021.040
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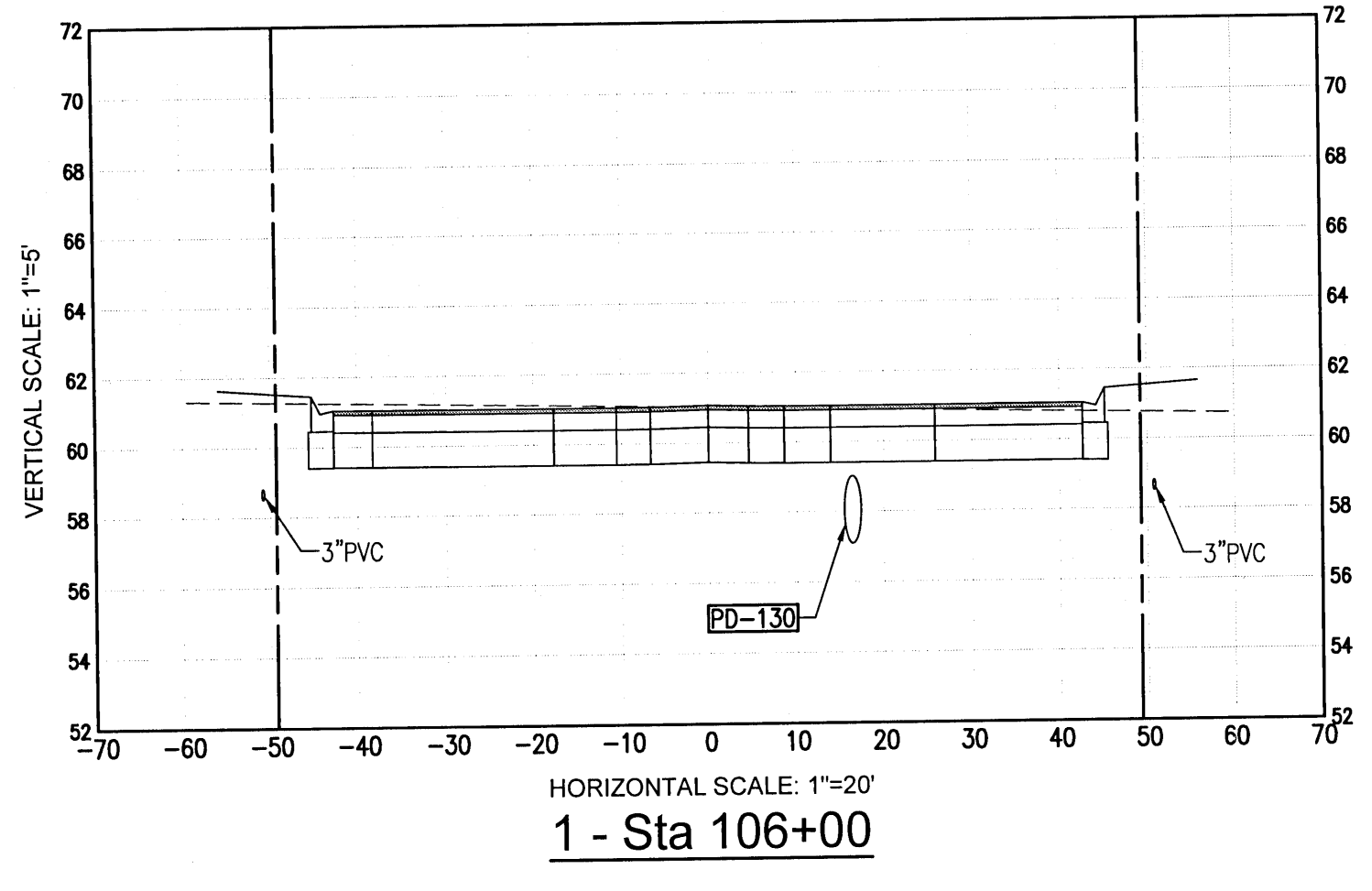
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1 - Sta 106+79



1 - Sta 106+50



1 - Sta 106+00



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E-mail: info@rba.com

CROSS SECTIONS

MULDOON POINTE
A 33 Lot Subdivision
5760 MULDOON ROAD
ESCAMBIA COUNTY, FLORIDA

No.	DATE	REVISION

NOT FOR CONSTRUCTION
PAUL A. BATTLE
LICENSE
No. 53126
STATE OF
FLORIDA
PAUL A. BATTLE
No. 53126
PROFESSIONAL ENGINEER

Dr. By: CBD
Ck By: PAB
Job No.: 2021.040
Date: 11/30/2021

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