# CIVIL SITE PLANS FOR

# THE MAGNOLIA'S RV PARK

# **INDEX OF DRAWINGS**

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C1 - EXISTING SITE & DEMOLITION PLAN

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#### **GENERAL NOTES**

- 1. All work shall comply with these specifications and applicable standards established by Escambia County. Where these Specifications and the County Standards deviate, the more stringent requirements shall prevail unless approved otherwise by the engineer of record.
- 2. The Contractor shall coordinate the work of the utility subcontractors to ensure that all utility installations proceed in a timely manner and to prevent conflicts in the installation of the water, sewer, electric power, and telephone lines.
- 3. All conditions and stipulations of the construction permits and the approvals issued by the Escambia County shall be complied with in every detail.
- 4. This is not a survey, boundary information based upon a survey performed by NORTHWEST FLORIDA LAND SURVEYING INC. (850-432-1052) Project #: 24384, dated 03-08-21.

#### GENERAL REQUIREMENTS GRADING AND DRAINAGE CONSTRUCTION

- 1. All areas to be cut or filled shall be cleared and grubbed. The site grading plan and the retention pond details indicate which areas are to be cleared & grubbed. Clearing and grubbing shall be as per Section 110 of the 2020 FDOT Standard Specifications for Roads and Bridges..
- 2. All disturbed and/or exposed soil/dirt in the Escambia County right-of-way shall shall be stabilized with bahia sod.
- 3. The County, its officers, and employees shall be held harmless from any damage to persons or property which might result from work or activity undertaken by the developer and authorized by the County.
- 4. THE ELEVATIONS AS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988, FROM ESCAMBIA COUNTY GEODETIC CONTROL POINT STAMPED "ESC 4075" HAVING A PUBLISHED ELEVATION OF 109.05 FEET. BASED ON ESCAMBIA COUNTY, FLORIDA GPS NETWORK SURVEY PREFORMED BY BASKERVILLE DONOVAN, INC. DATED 10/15/97. SEE SHEETS C1 & C3 FOR BENCHMARK LOCATIONS.

#### BENCHMARK DATA::

BM~1 NAIL AND DISK IN ASPHALT ROAD ELEVATION= 120.96' (NAVD88)

BM~2 NAIL AND DISK IN ASPHALT ROAD ELEVATION= 132.76' (NAVD88)

5. The project engineer (engineer of record) shall provide to Escambia As-Built record drawings for verification and approval by Escambia County one week prior to requesting a certificate of occupancy, or provide "As-Built Certification" that the project construction adheres to the permitted plans and specifications. As-Built drawings shall include topo of pond verifying volume, outlet structure details, drainage structure modifications, and hydrology study on as-built data." The As-built Certification or the As-Built record drawings must be signed, sealed and dated by a registered Florida Professional Engineer.

200 NEAL ROAD

CANTONMENT, FLORIDA

# OWNER INFORMATION/DEVLOPER

OWNER: CLORINDA M BAKER
2115 CHANCE ROAD
MOLINO, FLORIDA 32507
850-529-0638

# PROPERTY REFERENCE #: 02-1N-31-2408-000-004

A COMPATIBILITY ANALYSIS WAS PROVIDED BY THE APPLICANT TO SATISFY THE LOCATION CRITERIA OF THE HEAVY COMMERCIAL AND LIGHT INDUSTRIAL (HC/LI) ZONING DISTRICT AS REQUIRED IN SEC.3-2.11(e)(4) OF THE ESCAMBIA COUNTY LAND DEVELOPMENT CODE.

ZONING DISTRICT: HC/LI FLUM CATEGORY: MU-S

# GENERAL REQUIREMENT OF GRADING AND DRAINAGE CONSTRUCTION (CONTINUED)

- 6. All aspects of the stormwater/drainage components and/or transportation components shall shall be completed prior to issue of a final certificate of occupancy.
- 7. The project engineer (engineer of record) shall provide to Escambia County As—Built record drawings for verification and approval by Escambia County one week prior to requesting a certificate of occupancy, or provide "As—Built Certification" that the project construction adheres to the permitted plans and specifications. As—Built drawings shall include topo of pond verifying volume, outlet structure details, drainage structure modifications, and hydrology study on as—built data." The As—built Certification or the As—Built record drawings must be signed, sealed and dated by a registered Florida Professional Engineer.
- 8. The contractor shall install prior to the start of construction and maintain during construction all sediment control measures as required to retain all sediments on the site. Improper sediment control measures may result in Code Enforcement Violation.
- 9. All disturbed areas which are not paved are to be stabilized with seeding, fertilizer and mulch, hydroseed and/or sod.

10. Contractor shall maintain record drawings during construction which show As—Built conditions of all work including piping, drainage structures, topo of pond, outlet structures, dimensions, elevations, grading etc. Record drawings shall be provided to the Engineer of Engineer prior to requesting final inspection.

- 11. The owner or his agent shall arrange/schedule with the County Engineer a final inspection of the development upon completion and any intermediate inspections at 850-595-3472. As-built certification is required prior to request for final inspection/approval.
- 12. No deviations or revisions from these plans by the contractor shall be allowed without prior approval from both the design engineer and the Escambia County. Any deviations may result in delays in obtaining certificate of occupancy.
- 13. Any damage to existing roads during construction will be repaired by the developer prior to final "as-built" sign off from the county.
- 14. All new building roof drains, down spouts and gutters shall be routed to carry all stormwater to retention/detention areas.
- 15. Notify Sunshine utilities 48 hours in advance prior to digging in R/W; 1-800-432-4770.
- 16. Retention/Detention areas shall be substantially complete prior to any construction activities that may increase stormwater runoff rates. The contractor shall control stormwater during all phases of construction and take adequate measures to prevent the excavated pond from blinding due to sediments.
- 17. Developer/Contractor shall reshape per plan specifications, clean out accumulated silt, and stabilize retention/detention pond(s) at the end of construction when all disturbed areas have been stabilized and prior to request for inspection.

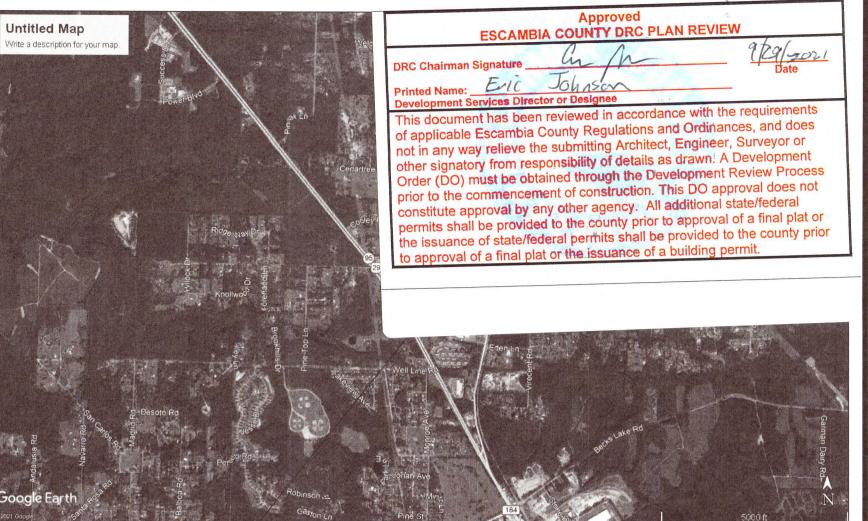
DESIGNED AND DRAWN BY

ENVIRONMENTAL ENGINEERING SERVICES

CERTIFICATE OF AUTHORIZATION #: 6515

GREGORY ALLEN CAMPBELL P.E.

FLORIDA LICENSE #: 38572 2120 MARIA CIRCLE PENSACOLA, FL. 32514 (850) 982-8606



PROJECT LOCATION -



## LAND DISTURBANCE ACTIVITIES

- 1. All trees shall remain onsite and any proposed land clearing or land disturbance activities, including the placement of fill/fill materials, grading, excavating, etc. shall not occur until such time as appropriate permit(s) are issued for such site work.
- 2. All land shall remain vegetated & in its natural state until such time as DRC Site Plan & any additional permitting approvals allow for such, per code. All tree removal, land clearing, placement of fill materials, or other Land Disturbing Activities, etc. shall be permitted or otherwise approved by the County prior to initiation.

### UTILITY CONSTRUCTION

- 1. Location of existing utilities shown on plans are approximate only and it shall be the responsibility of the Contractor to verify the location before construction. Failure of the plans to show the existence of any underground utilities, structures, etc., shall not relieve the Contractor from the responsibility of locating, preserving and protecting said utility or structures.
- 2. The Contractor shall notify the superintendents of the water, sewer, telephone and power companies 10 days in advance, that he intends to start work in a specific area. The owner disclaims any responsibility for the support and protection of sewers, drains, water pipes, gas pipes, conduits of any kind, utilities or other structures owned by the City, County, State or by private or public utilities legally occupying any street, alley, public place or right-of-way.
- 3. Notify Sunshine utilities 96 hours in advance prior to digging within right-of-way at 1-800-432-4770.
- 4 All work shall comply with applicable standards established by Escambia County Health Department, Florida Department of Environmental Protection, and Cottage Hill Water Works Inc..

# PROPERTY LEGAL DESCRIPTION:

DESCRIPTION AS FURNISHED: (OFFICIAL RECORDS BOOK: 8430, PAGE: 188)

COMMENCE AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SECTION 2, TOWNSHIP 1 NORTH, RANGE 31 WEST, ESCAMBIA COUNTY, FLORIDA; THENCE NORTH 01 DEGREES 51 MINUTES 56 SECONDS EAST ALONG THE WEST LINE OF SECTION 2 FOR 33.14 FEET TO THE NORTHERLY RIGHT OF WAY LINE OF NEAL ROAD (66 FOOT RIGHT OF WAY); THENCE SOUTH 87 DEGREES 13 SECONDS EAST ALONG SAID RIGHT OF WAY LINE FOR 920.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 87 DEGREES 56 MINUTES 13 SECONDS EAST ALONG SAID RIGHT OF WAY LINE FOR 401.29 FEET; THENCE NORTH 01 DEGREES 48 MINUTES 09 SECONDS EAST FOR 947.93 FEET; THENCE NORTH 88 DEGREES 52 MINUTES 55 SECONDS WEST FOR 400.28 FEET; THENCE SOUTH 01 DEGREES 51 MINUTES 56 SECONDS WEST FOR 941.33 FEET TO THE POINT OF BEGINNING.

## FLOOD STATEMENT:

THE SUBJECT PROPERTY AS SHOWN HEREON IS LOCATED IN FLOOD ZONE "X", (MINIMAL RISK AREAS OUTSIDE THE 1-PERCENT AND .2 PERCENT-ANNUAL-CHANCE FLOODPLAINS. NO BFES OR BASE FLOOD DEPTHS ARE SHOWN WITHIN THESE ZONES), AS DETERMINED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE MAP OF ESCAMBIA COUNTY, FLORIDA, COMMUNITY 120080, FIRM MAP PANEL NUMBERS 12033C0240G, MAP REVISION DATED SEPTEMBER 29, 2006.

L ENGINEERING SERVICES
TION #: RY6515
3RIDA 32514
C)
X)
X CAMPBELL, P.E.
38572
NO. REVISIONS
BY [E

FIRM REGISTRATION #: RY6 2120 MARIA CIRCLE PENSACOLA, FLORIDA 3251 850-982-8606 (OFC) 850-477-1176 (FAX) GREGORY ALLEN CAMPBEL FL PE LICENSE #: 38572

NEAL ROAD

ITLE SHEET AND ENERAL NOTES

ATE: 04-02-21

SCALE: N.T.S.

SHEET NUMBER:

**1**1

SHEET 1 OF 11

Ja M Sell

PLANT DESIGNATION	PLANT SPECIES	TREE DIA.	ACTION	REASON FOR REMOVAL	MITIGATION REQUIREMENTS (CALIEPER TO B PLANTED
T1	SPRUCE	35"	REMAIN		0"
T2	LIVE OAK	30"	REMOVE	SWALE	15"
Т3	LIVE OAK	20"	REMOVE	SWALE	10"
T4	LIVE OAK	24"	REMAIN		0"
T5	MAGNOLIA	26"	REMAIN		0"
T6	MAGNOLIA	24"	REMAIN		0"
Т7	MAGNOLIA	12"	REMAIN		0"
Т8	MAGNOLIA	12"	REMOVE	RET POND	6"
Т9	MAGNOLIA	8"	REMOVE	RET POND	0" NOT PROTECTE
T10	MAGNOLIA	8"	REMOVE	RET POND	0" NOT PROTECTED
T11	MAGNOLIA	8"	REMOVE		0" NOT PROTECTED
T12	MAGNOLIA	16"	REMOVE	RET POND	8"
T13	MAGNOLIA	16"	REMAIN	TETTOND	0"
T14	QUAD LIVE OAK	6",6",8",12"	REMOVE	RET POND	
T15	MAGNOLIA	14"	REMAIN	RETTOND	0"
T16	LIVE OAK	16"	REMOVE	RET POND	
T17	LIVE OAK	16"	REMAIIN	RETTOND	8"
T18	CYPRESS	15"	REMAIN		0"
T19	LIVE OAK	12"	REMAIN		0
T20	LIVE OAK	8"	REMAIN		0"
T21	CYPRESS	14"	REMAIN		0"
T22	CYPRESS	10"	REMAIN		0"
T23	MAGNOLIA	20"	REMAIN		0"
T24	MAGNOLIA	13"	REMOVE	SWALE	6.5"
Т25	LIVE OAK	11"	REMOVE		" NOT PROTECTED
Т26	MAGNOLIA	12"	REMOVE	SWALE	
Γ27	MAGNOLIA	13"	REMAIN	SWILL	6"
Γ28	MAGNOLIA	12"	REMAIN		0"
Γ29	MAGNOLIA	15"	REMOVE	CWALE	0"
Г30	LIVE OAK	8"	REMAIN	SWALE	7.5"
					0"
					0"
	TOTAL CALIPER	R INCHES IN M	ITIGATION TO	BEPLANTED	7211
	TOTAL CALIPER			DETERMIED )	73"
	BE PLANTED	73"			

# DENOTES:

~ 1/2" CAPPED IRON ROD, NUMBERED 7277 (PLACED)
~ 1/2" CAPPED IRON ROD, NUMBERED 5170 (FOUND)
~ 1/2" CAPPED IRON ROD, NUMBERED 1748 (FOUND)
~ RAILROAD SPIKE, UNNUMBERED (FOUND)
~ 1" IRON PIPE, UNNUMBERED (FOUND)

~ 4" SQUARE CONCRETE MONUMENT, UNNUMBERED (FOUND)

(D) ~ DEED INFORMATION

(F) ~ FIELD INFORMATION
R/W ~ RIGHT OF WAY
P.O.B. ~ POINT OF BEGINNING

O.R. ~ OFFICIAL RECORD PG. ~ PAGE

~ BENCHMARK

~ FIRE HYDRANT

123 ~ MAIL BOX

∼ UTILITY POLE

SPECIAL LINES:

~ WATER SERVICE LINE ~ NATURAL GAS LINE ~ STORMWATER PIPE ~ OVERHEAD ELECTRICAL

T37 EXIST

EXISTING LIVE OAK TREE & DESIGNATION NUMBER

EXISTING CYPRESS TREE & DESIGNATION NUMBER

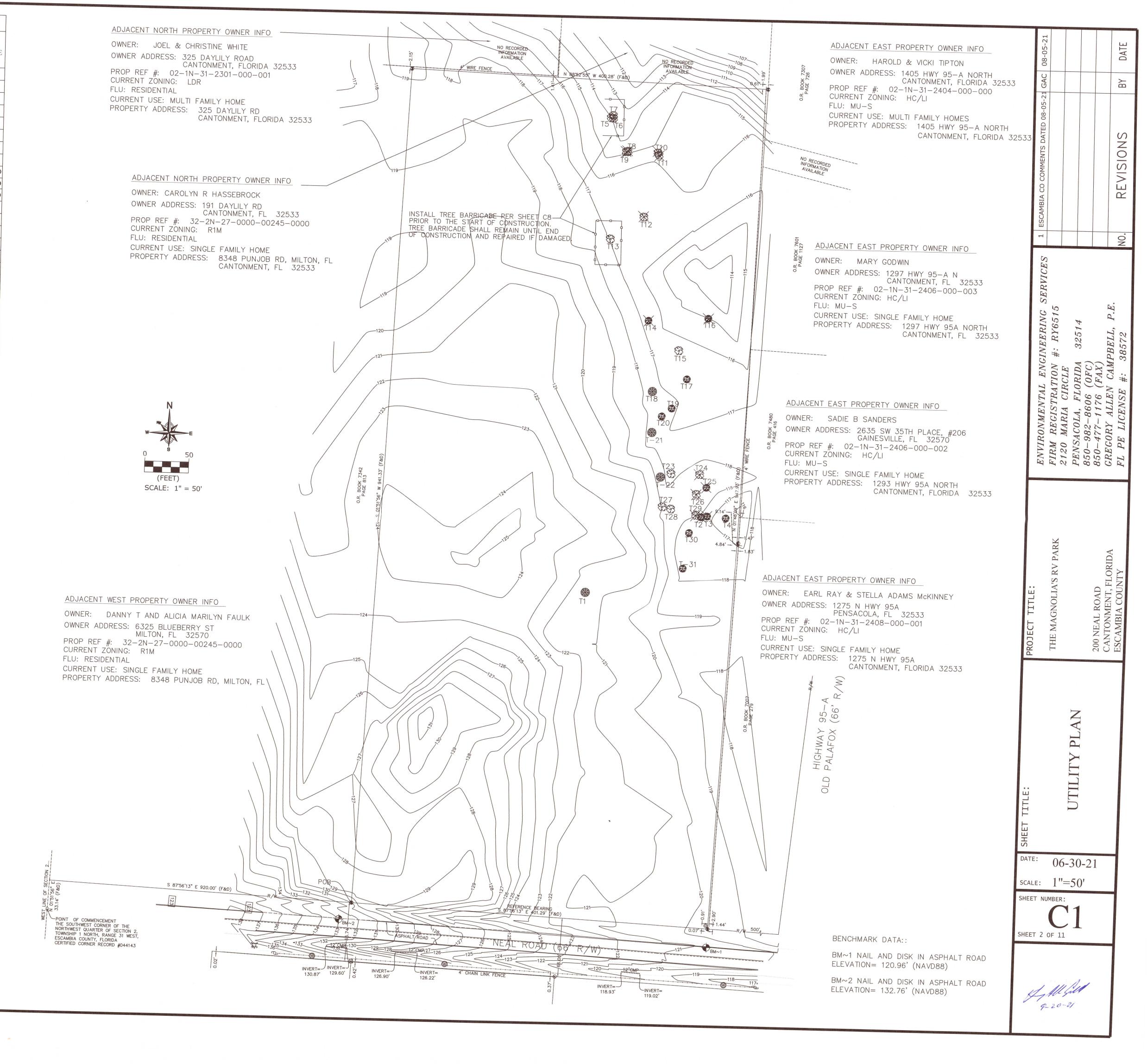
EXISTING MAGNOLIA TREE & DESIGNATION

T1

T15 EXISTING TREE TO BE REMOVED

PROPERTY BOUNDARY

PROPOSED TREE BARRICADE



# SITE PLAN NOTES: NOTIFY ESCAMBIA COUNTY INSPECTOR 24 HOURS BEFORE BEGINNING EVERY PHASE OF CONSTRUCTION AT 595-3550. FRONT & REAR BUILDING SETBACK LINE=15' SIDE BUILDING SETBACK LINE=10' NO STRUCTURES PROPOSED WITH THIS SITE PLAN. ALL PAVEMENT MARKINGS & STRIPING SHALL BE THERMOPLASTIC. NO PRE-MANUFACTURED STRIPING (TAPE) WILL BE ALLOWED. 4. DEVELOPER/CONTRACTOR SHALL OBTAIN A SEPARATE SIGN PERMIT FROM ESCAMBIA COUNTY PRIOR TO INSTALLING ANY FREE-STANDING OR WALL SIGNS. 5. LOCATIONS OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE AND IT SHALL BE THE RESPONSIBLITY OF THE CONTRACTOR TO VERIFY THE LOCATION BEFORE CONSTRUCTION. FAILURE OF THE PLANS TO SHOW THE EXISTENCE OF ANY UNDERGROUND UTILITIES, STRUCTURES ETC. SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY. 6. NO EXTERIOR LIGHTING IS PROPOSED WITH THIS SITE PLAN. OWNER/DEVELOPER SHALL OBTAIN BUILDING PERMIT FOR ANY EXTERIOR LIGHTING IN THE FUTURE. 7. ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED.

#### OWNER/PROJECT INFORMATION

OWNER: CLORINDA BAKER

OWNER ADDRESS: 2115 CHANCE ROAD

MOLINO, FLORIDA 32577

CANTONMENT, FLORIDA

OWNER PHONE #: 850-529-0638
PROJECT NAME: THE MAGNOLIA'S RV PARK

PROJECT NAME. THE MAGNOLIA'S RV PARI

CURRRENT ZONING: HC/LI

FLU: C

PROPERTY REFERENCE #: 02-1N-31-2408-000-004

#### LOCATION CRITERIA (ZONING HC/LI)

THE DEVELOPER/OWNER, CLORINDA BAKER, SUBMITTED A COMPATILITY STUDY TO HORACE JONES IN ACCORDANCE WITH ESCAMBIA COUNTY LDC 3-2.11(e)(4). MR JONES APPROVED THE COMPATIBILITY STUDY PER EMAIL TO CLORINDA BAKER DATED 01-08-21. THE APPROVED EMAIL AND COMPATIBILITY STUDY IS ENCLOSED WITH THE DRC PACKAGE.

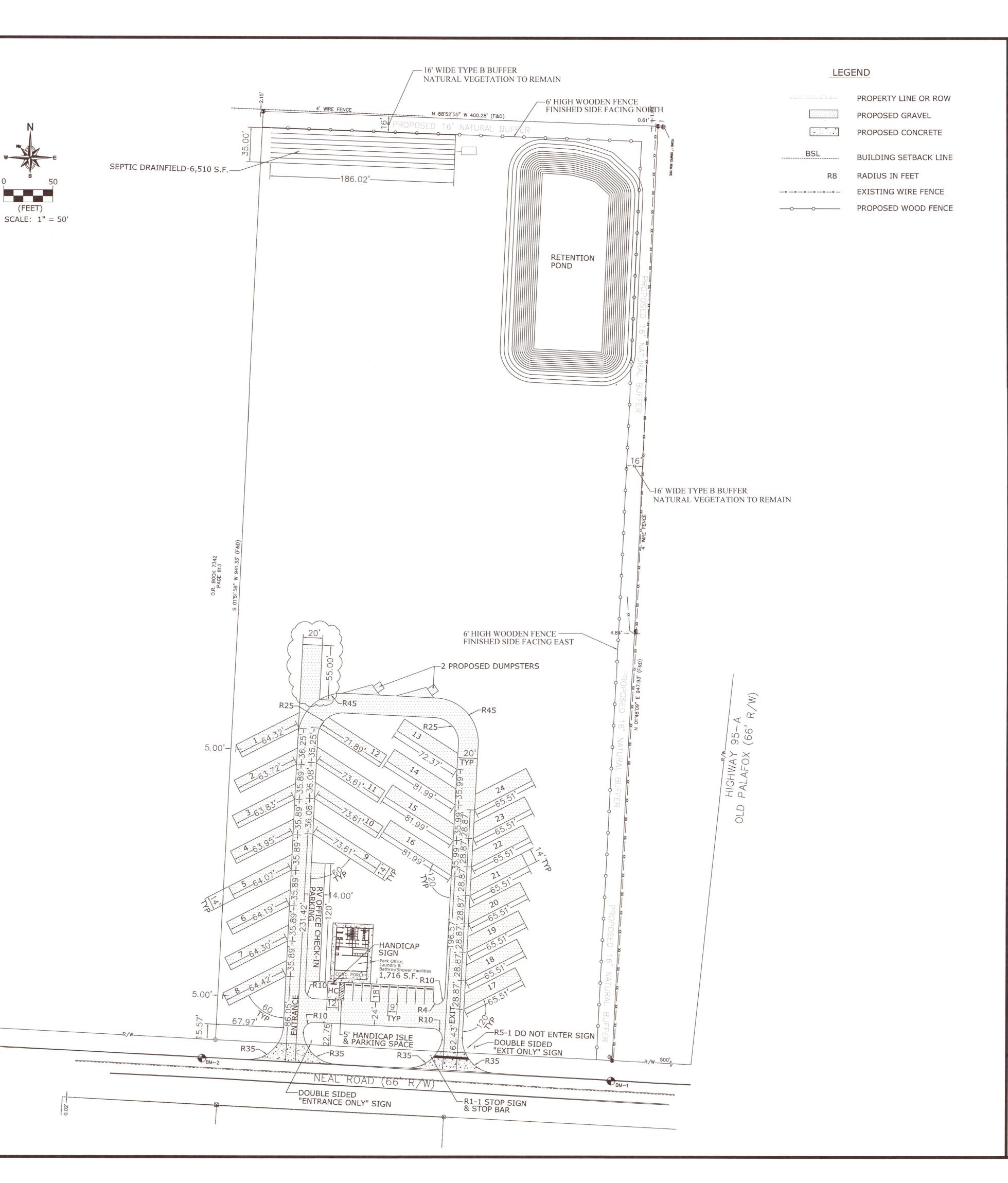
#### PARKING SPACE REQUIREMENTS

REQUIRED OFFICE AREA PARKING = 1,451 S.F. X 3.5 SPACES/1000 S.F. = 5.1 OR 6 SPACES REQUIRED TOTAL PARKING SPACES PROVIDED = 11 SPACES (10 REGULAR & 1 HC)

#### SITE PLAN AREA TABLE

OTTE TEXT	THE THE BEE	
SITE PLAN DATA	EXISTING	PROPOSED
BUILDING AREA (S.F.)	0	1,716
PAVED AREA (S.F.)	0	1,101
GRAVEL AREA (S.F.)	0	47,500
PERVIOUS AREA (S.F.)	378,566	328,249
TOTALLOT ADEA (S.E.)	378 566	378 566

% IMPERVIOUS AREA = 50,317 S.F./378,566 S.F. X 100 = 13.29% < 85% O.K.



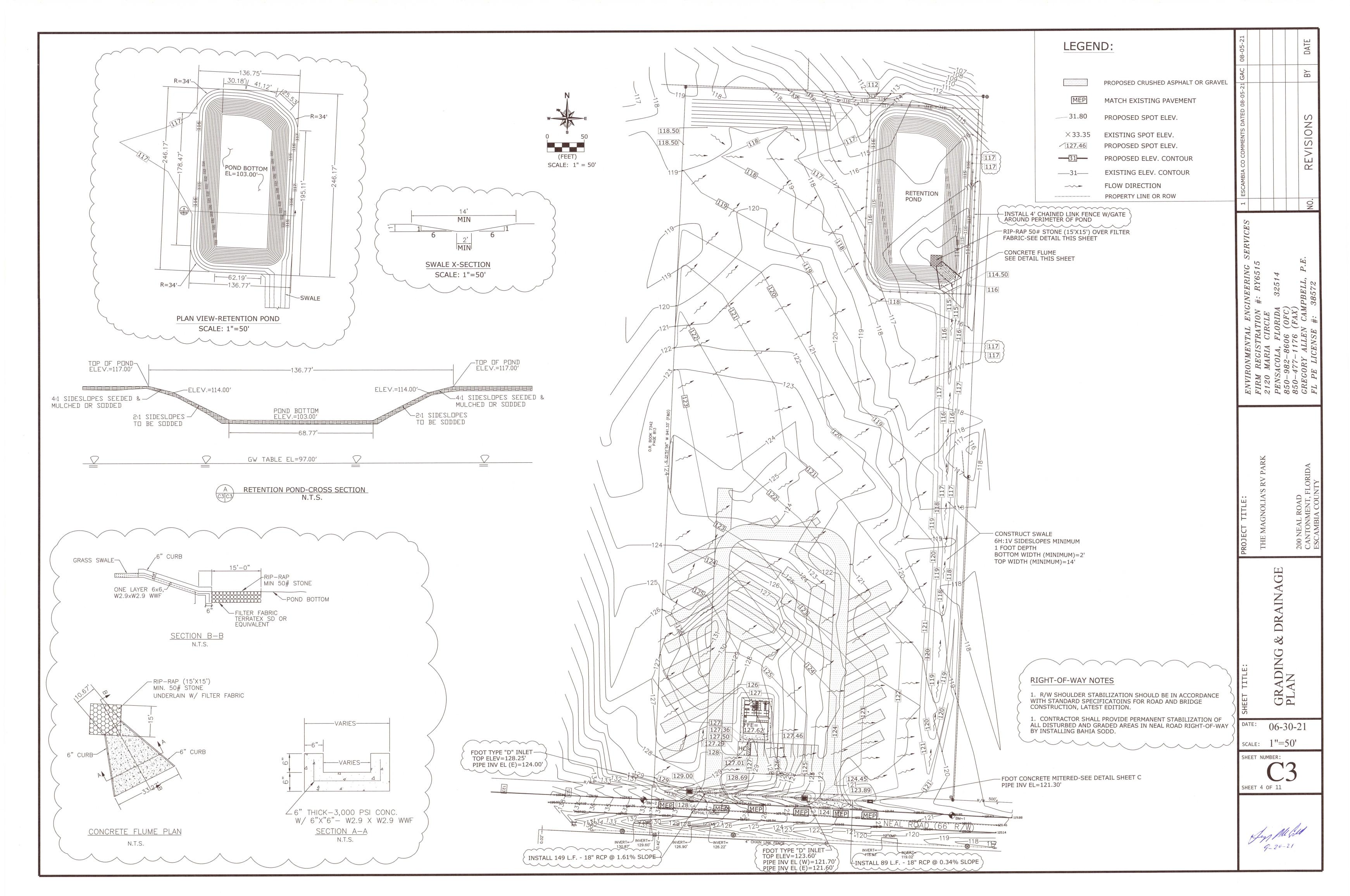
SION

06-30-21

SCALE: 1"=50'

SHEET NUMBER:

SHEET 3 OF 11



#### **LEGEND** F.M. DESIGNED BY OTHERS UTILITY NOTES: SEPTIC TANK TO BE -1. All large tapping saddles will be pressure tested to hold 150 psi for 2 hours DESIGNED BY OTHERS before making any taps with no drop in pressure. A Midway Water System SOLIDS TANK & PUMP TO BE DESIGNED GROUND LEVEL CLEAN OUT GCO representative must be present to witness pressure test before tapping the main. BY OTHERS A 48 hour notice to Midway Water System is required prior to doing the pressure PROPERTY LINE -----TOP ELEV=116.30' (FEET) WATER METER 2. All work must be done by a Florida Licensed Underground Utility Contractor. SCALE: 1" = 50' BACKFLOW PREVENTER 3. All water main pipe and pipe fittings installed shall be color coded in accordance **REVISION** with the requirements in FDEP Rule 62-555.320(21)(b)3, FAC. SEPTIC DRAINFIELD TO BE -EXISTING OVERHEAD UTILITY LINES ---OHE----DESIGNED BY OTHERS 4. Contractor shall provide to Engineer of Record, upon potable water installation is INSTALL 10 LF -8" PVC GRAVITY— SEWER @0.40 % SLOPE EXISTING BURIED FIBER OPTIC LINE completed, a set of as-built plans showing location of all services, hydrants, fittings, EXISTING WATER LINE valves and measurements from back of curb or edge of roadway pavement. After INSTALL 169 LF -8" PVC GRAVITY — SEWER @0.60 % SLOPE inspections are completed FDEP requires a disc with the as-built plan. EXISTING BURIED NATURAL GAS LINE RETENTION EXISTING GRAVITY SEWER OR SEWER FORCE MAIN 5. Contractor is responsible and liable for locating all utilities in right-of-way and SSMH#3 shall contact Sunshine utilities within 96 hours in advance prior to digging within **INSTALL SEWER MANHOLE** TOP EL=118.33' INV (S)=115.08' right-of-way at 1-800-432-4770. Location of existing utilities shown on plans are PROPOSED GRAVEL DRIVEWAY AND RV PADS -PIPE INV EL= 113.83' SSMH#4\_ approximate only and it shall be the responsibility of the Contractor to verify INSTALL SEWER MANHOLE TOP EL=116.37' INV (W)=113.97 INV (E)=114.98' EXISTING ASPHALT ROAD the location before construction. Failure of the plans to show the existence of any underground utilities, structures, etc., shall not relieve the Contractor from ELECTRICAL AND WATER PEDESTAL INV(S)=113.97'the responsibility of locating, preserving and protecting said utility or INV (N) = 113.87'structures. SEWER SERVICE CONNECTION STATION 6. Contractor shall notify Cottage Hills Water Works Inc. 48 hours prior to MAILBOX commencement of project. 7. Any onsite PVC gravity sewer lines shall meet ASTM D3034. INEERING #: RY651 32514 8. All onsite water and sewer facilities shall be privately owned, operated and maintained. 9. Water supply facilities, including mains, shall be installed, cleaned disinfected and bacteriologically cleared for service in accordance with the latest AWWA Standards (C651-92) and FDEP requirements (Rule 62-555.315(6), 62-555.340 and INSTALL 360 LF -8" PVC GRAVITY— SEWER @0.61% SLOPE - INSTALL 356 LF -8" PVC GRAVITY SEWER @0.40% 62-555.330). Coordinate with Cottage Hill Water Work inspector and Quality Control Supervisor. 10. Contractor is responsible for adjustments of existing utilities, unless otherwise noted herein, if proposed improvements impact existing utilities. 11. Minimum cover for all water and sewer pipe shall be 30-inches unless otherwise indicated on plans. 12. All water main pipe, pipe fittings, valves and meters installed during water main and service line installation shall meet AWWA and FDEP standards. PVC water INSTALL SEWER MANHOLE TOP EL=122.38' INV (S)=117.38' INV (N)=117.28' main piping shall meet AWWA C900. 13. Contractor shall pressure and leak test any new water main in accordance with AWWA standard C603 or C605, as applicable. Service lines do not need to be **INSTALL SEWER MANHOLE** 14. Contractor shall obtain a septic permit from the Escambia County Health and TOP EL=120.05' Rehabilitative Services prior to installing the septic tank system. INV(S)=115.50'INSTALL FIRE HYDRANT ASSEMBLY INV (N)=115.40'& W/6" VALVE & BOX CAP NEW 6" FIRE MAIN -CAP NEW 4" WATER MAIN-- INSTALL 400 LF -8" PVC INSTALL SEWER SERVICE — GRAVITY SEWER @0.45% CONNECTION TYPICAL —4" PLUG W/HANDLE SLOPE SEE DETAIL - INSTALL 4" PVC SEWER LATERAL @ 1.04% MIN SLOPE **TYPICAL** CONCRET DRAIN BASIN INSTALL 400 LF -8" PVC GRAVITY – SEWER @1.65% SLOPE 4" PVC SEWER PIPE TO MAIN -INSTALL SEWER SERVICE CONNECTION TYPICAL SEE DETAIL INSTALL 4" PVC SEWER LATERAL @ 1.04% MIN SLOPE **TYPICAL** -INSTALL WATER, ELECTRIC CONNECTION PEDESTAL TYPICAL. DEVELOPER TO INSTALL 1" PVC WATER-SPECIFY MAKE & MODEL. SERVICE TYPICAL INSTALL ATMOSPHERIC TYPE VACUUM BREAKER INSTALL 1" PVC WATER TO WATER HOSE CONNECTION. -4" PLUG W/HANDLE SERVICE TYPICAL INSTALL 351 L.F.-6" PVC FIRE MAIN INSTALL WATER, ELECTRIC CONNECTION -PEDESTAL TYPICAL. DEVELOPER TO INSTALL SEWER MANHOLE SPECIFY MAKE & MODEL. TOP EL=123.65' -INSTALL 4" PVC WATER -06-30-21 INSTALL ATMOSPHERIC TYPE VACUUM INV (N)=117.30'MAIN. MAINTAIN 30" COVER BREAKER TO WATER HOSE CONNECTION. scale: 1"=50' INSTALL SEWER MANHOLE SHEET NUMBER: - INSTALL 4" RPZ BACKFLOW PREVENTER. SEE DETAIL INSTALL 4" PVC TEE-TOP EL=127.80' 4" PVC 45 DEGREE & (2) 4" GATE VALVES INV(N)=124.00'- INSTALL 4" OWNER CONTROL VALVE W/BOXES SHEET 5 OF 11 -INSTALL 3" METER. METER SHALL BE PLACE IN METER VAULT. SEE DETAIL. A WATER METER ACCESS AGREEMENT SHALL BE GRANTED TO COTTAGE HILL WATER SERV. INSTALL 29 L.F.-12" ADS HDPE CASING-UNDERNEATH NEAL ROAD BY -4" PVC SEWER LATERAL TO SEWER MAIN DIRECTIONAL BORE ASPHALT ROAD INSTALL 29 L.F.-10" ADS HDPE CASING SEWER SERVICE UNDERNEATH NEAL ROAD BY 4 CHAIN LINK FENCE CONNECTION STATION DETAIL DIRECTIONAL BORE CONNECT TO EXISTING 6" WATER MAIN — W/6"X6" TAPPING SLEEVE & VALVE -EXISTING 6" WATER MAIN OWNED & OPERATED BY W/6"X6" TAPPING SLEEVE & VALVE COTTAGE HILL WATER SERVICES

#### Site Description

The proposed project is located on Neal Road approximately 1/8 mile west of Highway 95A-North in Cantonment, Florida. The existing property is a wooded vacant lot with no structures or pavement. The Escambia County property parcel number is 02-1N-31-2408-000-004. Project name is Magnolia RV Park...

The property is 8.69 acres and has an estimated 0.75 acres of offsite runoff from the west adjacent property. The existing stormwater runoff runs in a predominately west-southwest to southeast-east direction as indicated by the topographic survey shown on sheet C1. The approximate latitude and longitude of the property is 30° 37′ 44.75″N and 87° 19′ 23.97W, respectively.

The proposed improvements include the construction of an 25 unit RV park with gravel or crushed asphalt pavement (note retention pond designed for future asphalt or concrete pavement). The retention pond design also lincludes future expansion consisting of men and womens bathroom/shower areas, office building, pool and deck and future RV unit pads and driveways. The proposed grading follows natural existing grading and proposed grading slopes in a southwest-west to southeast-east direction to retention pond.

A soil boring was installed at center of northeast portion of the retention pond to a depth of 40' below existing grade (BEG) by NOVA on 04-08-21. Iron rock was encountered at approximately 8.5' to 10.50' BEG. The soil is mostly very loose to medium silty sand above the Iron rock and medium to dense-very dense silty sand and sand below the Iron rock. A permeability test a soil sample collected at depth between 13' and 20' BEG in boring S-1 indicated the vertical soil permeability to be 13 feet/day. The estimated depth of normal permanent SHGW table (boring S-1) was found to be 20' BEG.

#### Erosion and Sedimentation Controls

Erosion and sedimentation from the construction site shall be controlled at all times using Best Management Practices(BPMs) Perimeter controls shall be installed prior to clearing activities or any construction activity that disturbs soils. Installation of those controls may be staged to correspond with the clearing and construction schedule. Immediate after clearing activities appropriate controls shall be installed to limit and minimize the velocity of stormwater runoff over unprotected soils. Temporary BPMs shall be used as necessary inside the perimeter controls as the construction progresses. Perimeter controls shall be actively maintained until final stabilization of those portions of the site uphill of the perimeter controls. Temporary controls shall be removed when stabilization is achieved or when necessary for the next stage of construction. Controls shall be consistent with the performance standards for erosion and sedimentation control as set forth in Section 62-40.432 F.A.C.

#### Stabilization and Structural Practices

Stabilization practices may include, but not limited to, temporary seeding, mulching, geotextiles, permament sod and preservation of existing vegetation. Preservation of the existing vegetation should always be the first choice BMP. Where disturbed soils are to remain for extended periods, temporary seeding should be considered prior to final sod stabilization. A record shall be maintained of the dates when major grading activities occur, when construction activities temporarily or permanently cease on a portion of the site and when stabilization measures are initiated. Stabilization measures shall be initiated as soon as practicable, but in no case more than 14 days, in those areas of the site where construction activities have temporarily or permanently

Structural practices shall divert flows from exposed soils, store flows, retain sediment on-site, or otherwise limit runoff and the discharge of pollutants from exposed areas of the site. Such practices may include, but not limited to, silt fence, earth dikes, diversion swales, sediment traps, check dams, subsurface drains, pipe slope drains, level spreaders, storm drain inlet protection, rock outlet protection, reinforced soil retaining systems and temporary or permanent sediment basins.

#### Stormwater Management

A single row of silt fence as shown on sheet C7 shall be installed around the construction site

prior to land disturbance activities to prevent sediment from leaving the site,

After clearing activities, silt fences and hay bales shall be installed, as necessary, uphill of the perimeter controls to reduce runoff velocities and the potential for excessive erosion. Prior to any major grading activity, the stormwater detention basins shall be constructed for utilization as a sediment basin. Runoff from uphill areas shall be directed into the sediment basins, where feasible by diversion swales.

These swales may require temporary seeding and check dams to minimize velocities and avoid excessive erosion. Rip-rap or similar velocity control is to be used, as necessary, at the outfalls from the stormwater management system for velocity dissipation prior to discharge off-site. Silt fences, and haybales if necessary, shall be installed across the outfalls until final stabilization is achieved. Erosion control facilities shall actively maintained throughout the course of construction and shall remain until final stabilization is achieved and acceptance by the owner.

#### Controls for Other Potential Pollutants

A materials management area shall be designated on-site for protected storage of chemicals, solvents, fertilizers and other potentially toxic materials. Storage areas can become a major source of risk due to possible mishandling of materials and accidental spills. An inventory should be compiled and maintained of the storage area and the site. Special care should be taken to identify any materials that have the potential to come into contact with stormwater.

Petroleum products such as oil gasoline, lubricants and asphaltic substances should be handled carefully to minimize their exposure to stormwater. These management practices should be used to reduce the risks of using petroleum products: \* Have equipment available to contain and clean up petroleum spills in fuel storage areas or on board maintenance and fueling

- \* Where possible, store petroleum products and fuel vehicles in covered areas and construct dikes to contain any spills.
- \* Contain and clean up petroleum spills immediately.
- \* Perform preventative maintenance for on-site equipment to prevent leakage. \* Apply asphaltic substances properly according to the manufacturer's instructions.

Hazardous products including, but not limited to, paints, acids for cleaning masonry surfaces, cleaning solvents, chemical additives used for soil stabilization, and concrete curing compounds should be properly handled. These practices will help avoid pollution of stormwater by these materials:

- \* Keep equipment to contain and clean up spills of hazardous materials in the areas where the materials are stored,
- \* Contain and clean up spills immediately after they occur.
- \* Keep materials in a dry, covered area. \* Store materials in the original manufacturer's containers whenever possible, because special handling instructions usually are printed on the containers.

Pesticides include insecticides, rodenticides, and herbicides that are commonly used on construction sites. These management practices will reduce the amounts of pesticides that could contact stormwater \* Handle pesticides as infrequently as possible.

- \* Store materials in the original manufacturer's containers whenever possible, because special handling instructions usually are printed on the containers.
- \* Observe all applicable federal, state and local regulations when using, handling, or disposing of pesticides. \* Store pesticides in a dry, covered area.
- \* Provide curbs or dikes to contain spills.
- \* Have measures on site to contain and clean up spills.
- \* Strictly follow recommended application rates and methods.

Fertilizer and detergents usually contain nutrients that can be a major source of pollution in stormwater. These practices should be used to reduce the risks of nutrient pollution:

- \* Limit the application of fertilizers to the minimum area and the minimum recommended amounts.
- \* Reduce exposure of nutrients to stormwater runoff by working the fertilizer into the soil to a depth of 4 to 6 inches. \* Apply fertilizer more frequently, but at lower application rates.
- \* Limit hydroseeding in which lime and fertilizers are applied to the ground surface in one application.
- \* Implement good erosion and sediment control to help reduce the amount of fertilizer lost as a result of erosion.
- \* Limit the use of detergents on the site. Wash water containing detergents should not be discharged to the stormwater management system.
- \* Apply fertilizer and use detergents only in the recommended manner and amounts,

Proper management and disposal of building materials and other construction site wastes are an essential part of pollution prevention. Construction wastes include surplus or refuse building materials as well as hazardous wastes. Management practices for these wastes include trash disposal, recycling, material handling, and spill prevention and clean up. These practices should provide for proper disposal of construction wastes: \* Designate a waste disposal area on the site.

- \* Provide an adequate number of containers with lids or covers that can be placed over the container prior to rainfall.
- \* Locate containers in covered areas, where possible.
- \* Arrange for scheduled waste pick up. Adjust waste collection schedule as necessary to prevent overflow of the containers, \* Ensure that construction waste is collected, removed, and disposed of only at authorized disposal areas in compliance with applicable State and/or local waste disposal regulations.

Offsite vehicle tracking of sediments and the geration of dust shall be minimized. Existing onsite access driveway shall be utilized to reduce off-site until new access driveway is consrtucted. Off-site sediment removal should be conducted at a frequency necessary to minimize impacts. Vehicle wash area should be considered if off-site tracking becomes excessive,

The construction site must have temporary sanitary sewer facilities for on-site personnel. Portable facilities may be utilized throughout the site. Licensed domestic waste haulers must be contracted to regularly remove the sanitary wastes and to maintain the facilities in good working order. The temporary construction trailer may have sanitary sewer facilities with a holding tank. A licensed domestic waste hauler shall also service this facility. An on-site septic system for the construction trailer in not allowed. Temporary sanitary sewer facilities shall be permitted by the local building department in accordance with applicable State and local regulations.

## Maintenance and Inspection Controls

Controls of pollutants shall be maintained throughout construction period and until stabilization is achieved. Qualified personnel shall inspect all points of discharge and all disturbed areas of the construction site that have not been finally stabilized areas used for storage of materials that are exposed to precipitation, structural controls, and locations where vehicles enter or exit the site at least once every seven calendar days and within 24 hours of the end of every storm event that produces at least 0.50 inches of rainfall determined by onsite rain gage. When the site has been finally stabilized, such inspection shall be conducted at least once every month until a Notice of Termination has been submitted. A notice of termination form is shown on this sheet. Contractor shall use the inspection form on this sheet to document the required inspections and shall keep the inspection form onsite for regulator review if required.

- \* Stabilization Measures Disturbed areas and areas used for storage of materials that are exposed to precipitation shall be inspected for evidence of or the potential for, pollutants leaving the site. The inspection should reveal whether the area was stabilized correctly, whether there has been damage to the area since it was stabilized, and what should be done to correct
- any problems. \* Structural Controls - Silt fences, hay bales and other erosion control measures shall be inspected regularly for proper positioning, anchoring, and effectiveness in trapping sediments. The inspection should reveal whether the control was installed correctly, whether there has been damage to the control since installation, and what should be done to correct any problems. Sediment
- should be removed from the uphill side of the silt fence and the fence should be reconstructed as necessary. Hay bales shall be added or replaced as necessary to provide effective control. \* Discharge Points - Discharge points shall be inspected to determine whether erosion control measures are effective in preventing
- significant amounts of pollutants from leaving the site. Silt fences and hay bales shall be maintained or replaced as necessary. The inspection should reveal whether the on-site BMPs are effective, and what should be done to increase the effectiveness. \* Construction Entrances - Locations where vehicles enter or exit the site shall be inspected for evidence of off-site sediment tracking. The inspection should reveal whether installation of a construction entrance is warranted, If warranted a construction
- entrance shall be installed per specifications on Sheet C8. \* Areas Used for Storage of exposed Materials - These are locations where construction materials (including excavated soils) are stored. The inspection should reveal the potential for excessive erosion and sedimentation, and what actions should be implemented to reduce the risks of pollution.

#### Contractor Certification

Based on the result of the inspection, all maintenance operations needed to assure proper function of all controls, BMPs, practices or measure identified in this Plan shall be done in a timely manner, but in no case later than 7 calendar days following the inspection

A Report summarizing the scope of each inspection, name(s) and qualifications of personnel making the inspection, the date(s) of the inspection, major observations related to the implementation of the stormwater pollution prevention plan, and modifications to the stormwater pollution prevention plan shall be prepared and retained as part of the stormwater pollution prevention plan for at least three years from the date that the site is finally stabilized. Such report shall identify any incidence of non-compliance.

This Stormwater Pollution Prevention Plan must clearly identify, for each measure identified within the Stormwater Pollution Prevention Plan, the contractor(s) or subcontractor(s) that will implement each measure. All contractor(s) and subcontractor(s) identified in the Stormwater Pollution Prevention Plan must sign the following certification:

"I certify under penalty of law that I understand, and shall comply with, the terms and conditions of the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities and this Stormwater Pollution Prevention Plan prepared thereunder."

Name	Title	Company Name, Address & Phone Number	Date
-			
			1
2			

# Contractor Requirements

The contractor must have technical expertise in erosion prevention and sediment control. The contractor must at all time maintain erosion control methods that prevent any violation of the NPDES program.

#### Faulty Installation and/or Poor Maintenance

Most noncompliance occurs because measures were not installed correctly or maintained properly, or both. Determining the reason why the measures are failing requires technical knowledge about the devices and how to construct them properly. Contractors failure to control erosion, sedimentation or turbidity both onsite and offsite is not acceptable. Failure to do so may result in possible fines and/or termination from the site without payment for construction progress.

### Compliance

Remember that the goal of the program is to prevent accelerated erosion and off-site sedimentation. As the contractor, you are the first person to determine if the performance standards and intent of the rule are being met. You are the key person in ensuring that the construction site is evaluated fairly and consistently and that you keep the site in compliance.

The erosion and sediment control rules are performance oriented. That is, the measures used at a construction site must be effective in controlling erosion and preventing off-site sedimentation for the site to be in compliance. Following an approved plan and installing the control measures may not be enough for a site to be in compliance with the rules. If erosion and off-site sedimentation occur, the contractor will be responsible for installing additional measures to correct any problem associated with compliance of the NPDES permit or any other permit required for the site construction. The contractor will also be completely responsible for any fines levied by any governing agency on the project during construction.

The rules are also flexible, allowing the contractor to decide the most economical and effective means of erosion control. This encourages the use of innovative techniques and specifically designed erosion control systems. The contractor is the key individual in making this kind of performance based rule work because the contractor is the first person to recognize performance failures and remedy the problems.

#### The contractor's job is to:

- 1. Determine that an erosion and sediment control plan for the site has been approved.
- 2. Determine that all specified practices have been installed and are being maintained according to the plan. 3. Determine that both on-site and off-site sedimentation, erosion or turbidity is being prevented. If the contractor finds deficiencies, appropriate action must be taken to attain compliance.

### Control of non-stormwater discharges

It is expected that the following non-stormwater discharges may occur from the site during construction period; water from water line flushing, pavement wash water (where no spills or leaks of toxic or hazardous materials have occurred), and uncontaminated groundwater (from dewatering excavation). If said discharges do occur, they will be directed to the temporary sediment basin prior to discharge. Turbid water from the stormwater pond shall not be pumped directly into either of the receiving waters. Any pumped water from the stormwater pond shall be treated so as to not allow a discharge of polluted stormwater. Treatment can include silt fences, settling ponds, the proper use of flocculating agents or other appropriate means.

#### Responsible Authority

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Project Name and location information:	Project Contact & Responsible Authority Information
MAGNOLIA RV PARK NEAL ROAD CANTONMENT, FLORIDA	CLORINDA BAKER NEAL ROAD CANTONMENT, FLORIDA 850-529-0638



#### NATIONAL POLLUTANT DISCHARGE **ELIMINATION SYSTEM (NPDES) STORMWATER NOTICE OF TERMINATION** (RULE 62-621.300(6), F.A.C.)

You must use this form to terminate coverage under the Generic Permit for Stormwater Discharge from Large and Small Construction Activities provided in subsection 62-621.300(4), F.A.C., the Multi-Sector Generic Permit for Stormwater Discharge Associated with Industrial Activity provided in subsection 62-621.300(5), F.A.C. as well as the conditional exclusion for "no exposure" of industrial activities and materials to stormwater provided in paragraph 62-620.100(2)(o), F.A.C.

#### All information provided on this form shall be typed or printed in ink.

#### I. TERMINATION INFORMATION:

A. Facility ID/Project Number	r:
B. Reason for Termination:	Check all that apply:
No longer operator of	the facility/project.
	eria is met and all stormwater discharges associated with construction activity including dewatering d (for construction activity only).
All stormwater discha	rges associated with industrial activity have ceased (for industrial activity only).
No longer meet the co	ndition of "no exposure" (for industrial activity only).

#### II OPEDATOD INFORMATION

A. Operator Name:		
B. Address:		
C. City:	D. State:	E. Zip Code:
F. Responsible Authority:		G. Responsible Authority's Phone No.:
H. Responsible Authority's E-mail Address:		I. Responsible Authority's Fax No.:

#### III. FACILITY/PROJECT INFORMATION:

3. Address/Location:		
C. City:	D. State:	E. Zip Code:

Page 1 of 4

DEP Form 62-621.300(6) Effective Date: 02/2015

# Stormwater Pollution Prevention Plan Inspection Report Form

#### Inspections must occur at least once a week and within 24 hours of the end of a storm event that is 0.50 inches or greater.

Project Name: FDEP NPDES Stormwater Identification Number: FLR10

Location	Rain data	Date installed / modified	Current Condition (see below)	Corrective Action / Other Remarks

# Condition Code:

G = GoodM = Marginal, needs maintenance or replacement soon P = Poor, needs immediate maintenance or replacement C =Needs to be cleaned O =Other

Control Type Codes			
1. Silt Fence	10. Storm drain inlet protection	19. Reinforced soil retaining system	28. Tree protection
2. Earth dikes	11. Vegetative buffer strip	20. Gabion	29. Detention pond
3. Structural diversion	12. Vegetative preservation area	21. Sediment Basin	30. Retention pond
4. Swale	13. Retention Pond	22. Temporary seed / sod	31. Waste disposal / housekeeping
5. Sediment Trap	14. Construction entrance stabilization	23. Permanent seed / sod	32. Dam
6. Check dam	15. Perimeter ditch	24. Mulch	33. Sand Bag
7. Subsurface drain	16. Curb and gutter	25. Hay Bales	34. Other
8. Pipe slope drain	17. Paved road surface	26. Geotextile	
9. Level spreaders	18. Rock outlet protection	27. Rip-rap	

Inspector Information:

Qualification The above signature also shall certify that this facility is in compliance with the Stormwater Pollution Prevention Plan and the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities if there are not any incidents of non-compliance identified above.

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Name (Responsible Authority)

MP M DATE: 06-30-21 SCALE: N.T.S. SHEET NUMBER: SHEET 6 OF 11

INEERING #: RY651

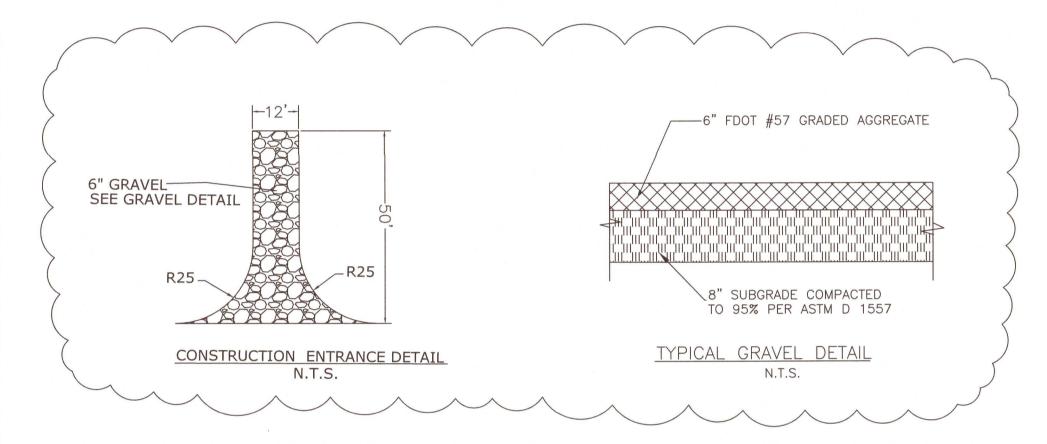
Signature (Operator and/or Responsible Authority) Date

#### LAND DISTURBANCE ACTIVITIES

- 1. All trees shall remain onsite and any proposed land clearing or land disturbance activities, including the placement of fill/fill materials, grading, excavating, etc. shall not occur until such time as appropriate permit(s) are issued for such site work.
- 2. All land shall remain vegetated & in its natural state until such time as DRC Site Plan & any additional permitting approvals allow for such, per code. All tree removal, land clearing, placement of fill materials, or other Land Disturbing Activities, etc. shall be permitted or otherwise approved by the County prior to initiation.

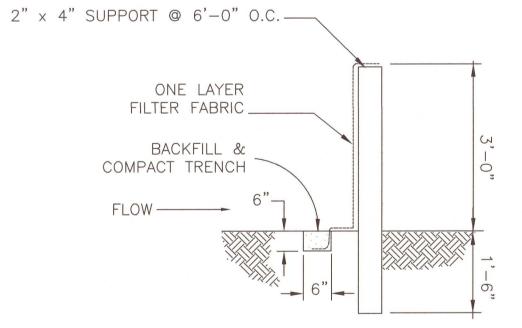
#### ROW AND RETENTION POND STABILIZATION NOTES:

1. All disturbed and/or exposed soil/dirt in the county right-of-way shall shall be stabilized with bahia sod. Centipede will not be accepted in the county right-of-way. Retention Pond as well as any onsite disturbed soil shall be sodded or have a healthy stand of grass at time of final inspection.



#### CONSTRUCTION ENTRANCE NOTES:

- 1. THE AREA OF THE CONSTRUCTION ENTRANCE SHALL BE CLEARED OF ALL VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL PRIOR TO PLACEMENT OF GRAVEL.
- 2. THE AGGREGATE SIZE OF THE GRAVEL UTILIZED FOR CONSTRUCTION ENTRANCE SHALL BE FDOT #57 GRADED AGGREGATE GRAVEL AND SHALL BE 6-INCHES THICK.
- 3. THE CONTRACTOR SHALL MAINTAIN CONSTRUCTION ENTRANCE TO PREVENT TRACKING OR FLOWING ONTO RIGHT—OF—WAY. SLOPE OF CONSTRUCTION ENTRANCE SHALL BE AWAY FROM THE ROADWAY OR TOWARD THE NORTH. CONTRACTOR SHALL DRESS WITH 2—INCH THICK LAYER OF GRAVEL AS CONDITIONS DEMAND.
- 4. CONTRACTOR SHALL IMMEDIATELY REMOVE ALL MATERIALS SPILLED, DROPPED, TRACKED OR WASHED FROM VEHICLES ONTO ROADWAY.



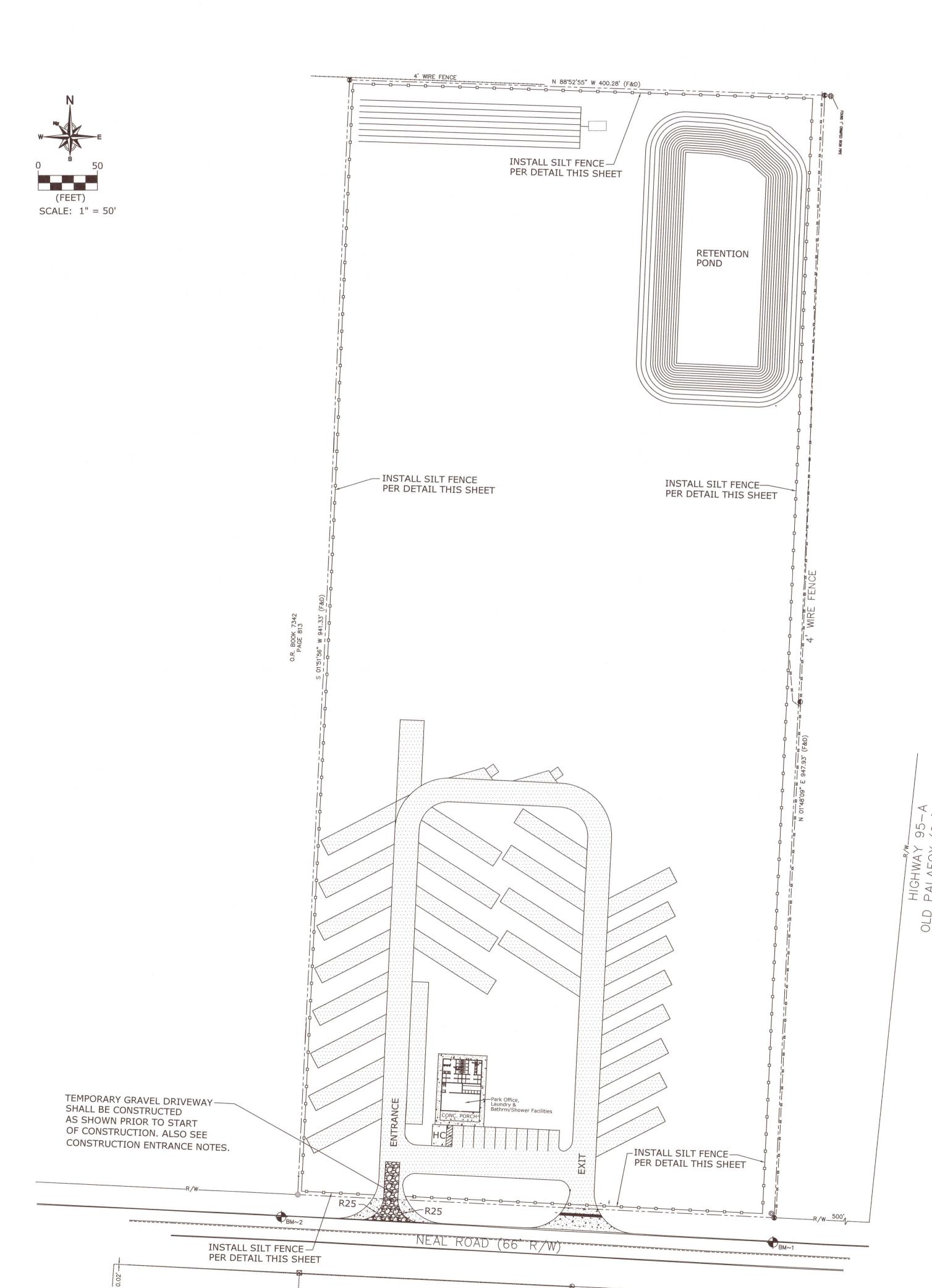
# SILT FENCE DETAIL N.T.S.

## SILT FENCE NOTES

1. SILT FENCE SHALL BE ERECTED
AND MAINTAINED AROUND ALL DRAINAGE
STRUCTURES UNTIL DRAINAGE AREAS ARE
PAVED OR STABILIZED TO PREVENT EROSION.
SILT FENCE SHALL BE IN ACCORDANCE WITH
DETAILS, AS SHOWN ON THIS SHEET.

2. FABRIC MAY BE ATTACHED TO POSTS BY STAPLES, NAILS, WIRE, CORD OR POCKETS. MINIMUM NUMBER OF FASTENERS SHALL BE 5, EQUALLY SPACED. NAILS SHALL BE 14 GAUGE, 1" LONG, 3/4" BUTTON HEADS. STAPLES SHALL BE 17 GAUGE, 3/4" WIDE, 1/2" LONG LEGS.

3. EROSION CONTROL IS TO BE CONSTRUCTED FIRST, STORMWATER POND IS SECOND, AND BOTH ARE TO BE IN-PLACE BEFORE ANY OTHER CONSTRUCTION IS BEGUN.



LEGEND:

PROPERTY LINE OR ROW

PROPOSED GRAVEL

PROPOSED CONCRETE

EXISTING WIRE FENCE

PROPOSED SILT FENCE

BY

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X

06-30-21

scale: 1"=50"

SHEET NUMBER:

SHEET 7 OF 11

#### LANDSCAPE NOTES:

1. All landscape material shall be installed in a sound workmanlike Manner and in accordance with the tree and shrub planting detail of this landscape plan.

2. Newly planted canopy trees shall have a minimum caliper of 2.5 inches measured at 4 inchesabove root ball planting and normally attain a mature height of at least 20

All plant material shall have a warranty of 2 years. All shrubs shall have a minimum height of 1 foot.

3. Owner shall maintain all landscape areas at all times. Maintenance shall include the prompt replacement of all dead or damaged landscaped material.

#### 4. No more than 40% of landscaping material shall be of the same species.

5. Landscaper shall refer to the Escambia County list of recommended native and non-invasive plant materials for selection of appropriate shrubs, understory and canopy trees. Developer may select any tree and shrub listed on Escambia County list of recommended native and non-invasive plant material in lieu of those designated Tree Schedule Table this sheet as long as no more than 40% of proposed landscaping material is the same species.

6. All non-paved areas and exposed soil/dirt shall be regraded and sodded with grass species normally grown as permanent lawns in Escambia County. All sodd shall be clean and reasonably free of weeds, noxious pests, and diseases. If grass areas are to be seeded sprigged, or plugged specifications must be submitted to the county for approval.

7. The contractor is to be aware of underground utilities throughout landscaped areas

may not be illustrated on this plan. Contractor shall verify location and protect all

during excavation and/or finish grading activities.

8. All plants shall conform to the standards for Florida Grade No. 1, or better, per

edition of "Grades and Standards for Nursery Plants, Division of Plant Industry,

Department of Agriculture and Consumer Services".

9. Planting requirements for the north and east Type B property line buffer (16' wide buffer) may be met with existing vegetation. Prior to requesting a site final inspection, Escambia County staff will conduct a site visit to inspect the existing vegetation for vegetation counts. If the existing vegetation fails to meet the required tree counts of 43 trees on east buffer and 29 trees on north buffer, the necessary number required will be installed.

#### LANDSCAPE CALCULATIONS

(A) Parking Lot Landscaping

No Parking lot is proposed and therefore parking lot landscaping not required.

73 total caliper inches of mitigation (See Existing Tree and Mitigation Chart)

Based upon minimum planting caliper of 2.5 inches the number of trees required for mitigation is: Mitigation Trees Required = 73 inches/2.5 inches/tree=29 native, canopy trees to be planted Mitigation trees T31 thru T59 proposed per New Landscaping Planting Table. See landscape plan for proposed location

#### (C) Landscape Buffer

(1) East Property Line

Development requires Type B Landscape Buffer (16' wide) along east property line. Planting required is as follows:

Canopy trees required =  $2.5 \text{ trees}/100' \times 947.93' = 23.69 \text{ or } 24 \text{ trees}$ 

Understory trees required = 2 trees/100' x 947.93' = 18.96 trees or 19 trees

shrubs required = 20 shrubs/100' x 947.93' = 189.59 shrubs

NOTE: ALL NATURAL MATERIAL IN 16' WIDE BUFFER TO REMAIN AND NO NEW LANDSCAPE PLANTING MATERIAL REQUIRED. SEE LANDSCAPE NOTE #9

#### (2) North Property Line

Development requires Type B Landscape Buffer (16' wide) along east property line. Planting required is as follows:

Canopy trees required =  $2.5 \text{ trees}/100' \times 384.28' = 9.61 \text{ or } 10 \text{ trees}$ 

Understory trees required = 2 trees/100' x 384.28' = 7.68 trees or 8 trees

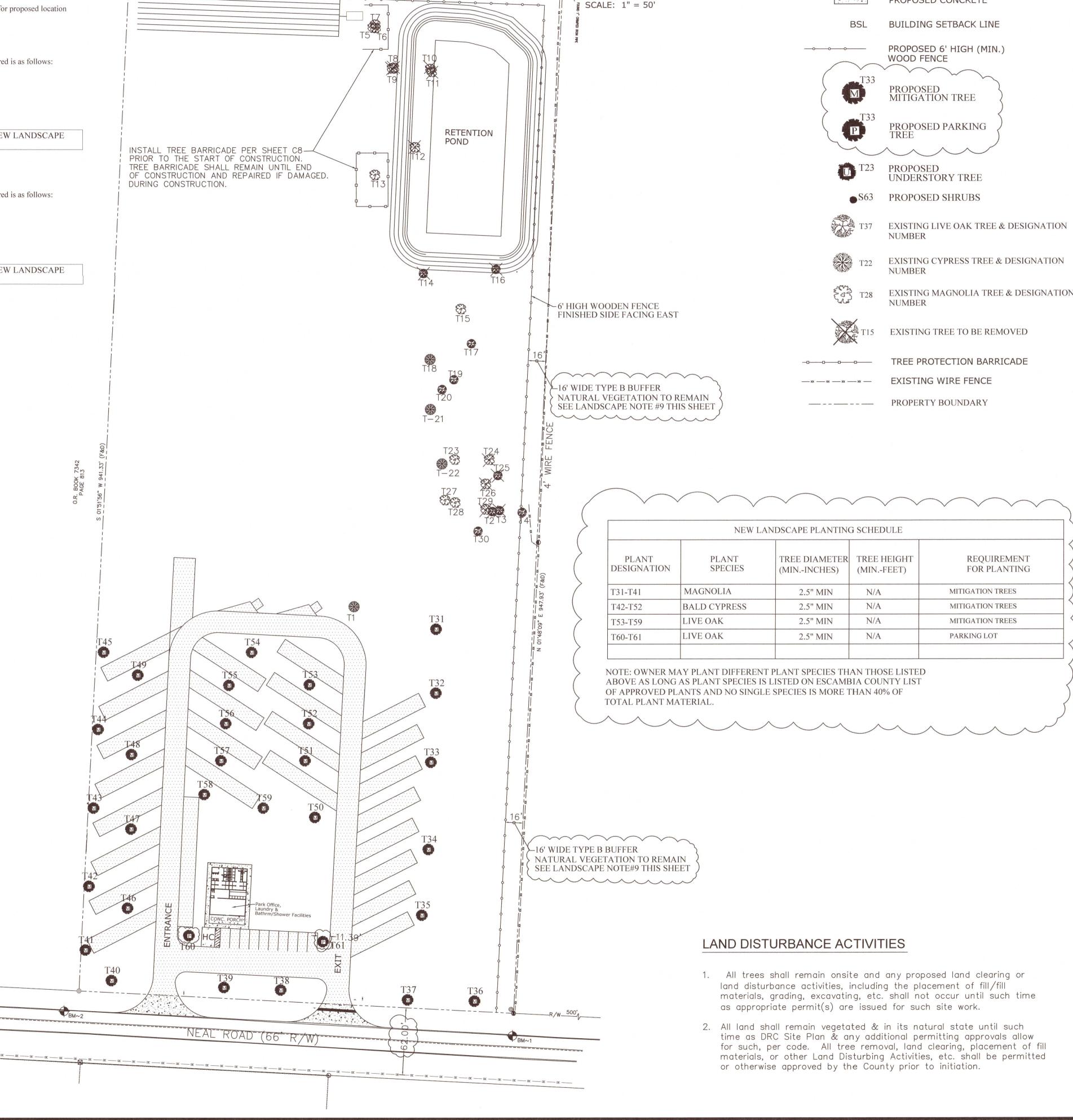
shrubs required = 20 shrubs/100' x 384.28' = 76.85 or 77 shrubs

NOTE: ALL NATURAL MATERIAL IN 16' WIDE BUFFER TO REMAIN AND NO NEW LANDSCAPE PLANTING MATERIAL REQUIRED. SEE LANDSCAPE NOTE #9

#### (D) Parking Row Termination

1 row of parking thus 2 terminus trees required. Trees T60 and T61 meet requirement.

T2         LIVE OAK         30"         REMOVE         SWALE           T3         LIVE OAK         20"         REMOVE         SWALE           T4         LIVE OAK         24"         REMAIN         0           T5         MAGNOLIA         26"         REMAIN         0           T6         MAGNOLIA         12"         REMAIN         0           T7         MAGNOLIA         12"         REMAIN         0           T8         MAGNOLIA         12"         REMAIN         0           T9         MAGNOLIA         12"         REMOVE         RET POND         0" NOT PR           T10         MAGNOLIA         8"         REMOVE         RET POND         0" NOT PR           T11         MAGNOLIA         16"         REMOVE         RET POND         0" NOT PR           T12         MAGNOLIA         16"         REMAIN         0         0           T13         MAGNOLIA         16"         REMAIN         0         0           T14         QUAD LIVE OAK         6",6",8",12"         REMOVE         RET POND         0           T15         MAGNOLIA         14"         REMAIN         0           T16         LIV	TION LEMENTS PER TO BE ED
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T11         MAGNOLIA         8"         REMOVE         RET POND         0" NOT PR           T12         MAGNOLIA         16"         REMOVE         RET POND         8           T13         MAGNOLIA         16"         REMAIN         0           T14         QUAD LIVE OAK         6",6",8",12"         REMOVE         RET POND         6           T15         MAGNOLIA         14"         REMAIN         0         0           T15         MAGNOLIA         14"         REMAIN         0         0           T16         LIVE OAK         16"         REMAIN         0         0           T17         LIVE OAK         16"         REMAIN         0         0           T18         CYPRESS         15"         REMAIN         0         0           T19         LIVE OAK         8"         REMAIN         0         0           T20         LIVE OAK         8"         REMAIN         0         0           T21         CYPRESS         10"         REMAIN         0         0           T22         CYPRESS         10"         REMAIN         0         0           T23         MAGNOLIA         13"	COTECTE
T12         MAGNOLIA         16"         REMOVE         RET POND         8           T13         MAGNOLIA         16"         REMAIN         0           T14         QUAD LIVE OAK         6",6",8",12"         REMOVE         RET POND         6           T15         MAGNOLIA         14"         REMAIN         0         6         6         6",6",8",12"         REMOVE         RET POND         6         6         6         6",6",8",12"         REMOVE         RET POND         6         6         6         7         7         7         6         7         7         7         7         7         7         7         8         7         8         8         8         8         8         8         8         8         8         8         8         8         8         7         7         7         7         7         7         7         7         7         7         7         7         7         7         7         8         7         8         8         7         8         8         8         8         8         8         8         8         8         8         8         8         8         8         8 <td>COTECTE</td>	COTECTE
T13         MAGNOLIA         16"         REMAIN         0           T14         QUAD LIVE OAK         6",6",8",12"         REMOVE         RET POND         6           T15         MAGNOLIA         14"         REMAIN         0           T16         LIVE OAK         16"         REMOVE         RET POND         8           T17         LIVE OAK         16"         REMAIN         0           T18         CYPRESS         15"         REMAIN         0           T19         LIVE OAK         8"         REMAIN         0           T20         LIVE OAK         8"         REMAIN         0           T21         CYPRESS         14"         REMAIN         0           T22         CYPRESS         10"         REMAIN         0           T23         MAGNOLIA         20"         REMAIN         0           T24         MAGNOLIA         13"         REMOVE         SWALE         0" NOT PR           T25         LIVE OAK         11"         REMOVE         SWALE         0"           T27         MAGNOLIA         12"         REMAIN         0           T28         MAGNOLIA         12"         REMAIN	ROTECTE
T14         QUAD LIVE OAK         6",6",8",12"         REMOVE         RET POND           T15         MAGNOLIA         14"         REMAIN         (           T16         LIVE OAK         16"         REMOVE         RET POND         8           T17         LIVE OAK         16"         REMAIN         (         (           T18         CYPRESS         15"         REMAIN         (         (         (           T19         LIVE OAK         12"         REMAIN         (	8"
T15         MAGNOLIA         14"         REMAIN         O           T16         LIVE OAK         16"         REMOVE         RET POND         8           T17         LIVE OAK         16"         REMAIIN         0           T18         CYPRESS         15"         REMAIN         0           T19         LIVE OAK         12"         REMAIN         0           T20         LIVE OAK         8"         REMAIN         0           T21         CYPRESS         14"         REMAIN         0           T22         CYPRESS         10"         REMAIN         0           T23         MAGNOLIA         20"         REMAIN         0           T24         MAGNOLIA         13"         REMOVE         SWALE         6"           T25         LIVE OAK         11"         REMOVE         SWALE         0" NOT PR           T26         MAGNOLIA         12"         REMAIN         0           T27         MAGNOLIA         13"         REMAIN         0           T28         MAGNOLIA         12"         REMAIN         0           T29         MAGNOLIA         15"         REMOVE         SWALE         7	0"
T16         LIVE OAK         16"         REMOVE         RET POND         8           T17         LIVE OAK         16"         REMAIN         0           T18         CYPRESS         15"         REMAIN         0           T19         LIVE OAK         12"         REMAIN         0           T20         LIVE OAK         8"         REMAIN         0           T21         CYPRESS         14"         REMAIN         0           T22         CYPRESS         10"         REMAIN         0           T23         MAGNOLIA         20"         REMAIN         0           T24         MAGNOLIA         13"         REMOVE         SWALE         0" NOT PR           T25         LIVE OAK         11"         REMOVE         SWALE         0" NOT PR           T26         MAGNOLIA         12"         REMAIN         0           T27         MAGNOLIA         13"         REMAIN         0           T28         MAGNOLIA         12"         REMAIN         0           T29         MAGNOLIA         15"         REMOVE         SWALE         7           T30         LIVE OAK         8"         REMAIN         0 <td>6"</td>	6"
T17         LIVE OAK         16"         REMAIIN         0           T18         CYPRESS         15"         REMAIN         0           T19         LIVE OAK         12"         REMAIN         0           T20         LIVE OAK         8"         REMAIN         0           T21         CYPRESS         14"         REMAIN         0           T22         CYPRESS         10"         REMAIN         0           T23         MAGNOLIA         20"         REMAIN         0           T24         MAGNOLIA         13"         REMOVE         SWALE         0" NOT PR           T25         LIVE OAK         11"         REMOVE         SWALE         0" NOT PR           T26         MAGNOLIA         12"         REMAIN         0           T27         MAGNOLIA         13"         REMAIN         0           T28         MAGNOLIA         12"         REMAIN         0           T29         MAGNOLIA         15"         REMOVE         SWALE         7           T30         LIVE OAK         8"         REMAIN         0	0"
T18         CYPRESS         15"         REMAIN         0           T19         LIVE OAK         12"         REMAIN         0           T20         LIVE OAK         8"         REMAIN         0           T21         CYPRESS         14"         REMAIN         0           T22         CYPRESS         10"         REMAIN         0           T23         MAGNOLIA         20"         REMAIN         0           T24         MAGNOLIA         13"         REMOVE         SWALE         6           T25         LIVE OAK         11"         REMOVE         SWALE         0" NOT PR           T26         MAGNOLIA         12"         REMAIN         0           T27         MAGNOLIA         13"         REMAIN         0           T28         MAGNOLIA         12"         REMAIN         0           T29         MAGNOLIA         15"         REMOVE         SWALE         7           T30         LIVE OAK         8"         REMAIN         0	8"
T19         LIVE OAK         12"         REMAIN         0           T20         LIVE OAK         8"         REMAIN         0           T21         CYPRESS         14"         REMAIN         0           T22         CYPRESS         10"         REMAIN         0           T23         MAGNOLIA         20"         REMAIN         0           T24         MAGNOLIA         13"         REMOVE         SWALE         0" NOT PR           T25         LIVE OAK         11"         REMOVE         SWALE         0" NOT PR           T26         MAGNOLIA         12"         REMAIN         0           T27         MAGNOLIA         13"         REMAIN         0           T28         MAGNOLIA         12"         REMAIN         0           T29         MAGNOLIA         15"         REMOVE         SWALE         7           T30         LIVE OAK         8"         REMAIN         0	0"
T20         LIVE OAK         8"         REMAIN         G           T21         CYPRESS         14"         REMAIN         G           T22         CYPRESS         10"         REMAIN         G           T23         MAGNOLIA         20"         REMAIN         G           T24         MAGNOLIA         13"         REMOVE         SWALE         G           T25         LIVE OAK         11"         REMOVE         SWALE         0" NOT PR           T26         MAGNOLIA         12"         REMOVE         SWALE         G           T27         MAGNOLIA         13"         REMAIN         G           T28         MAGNOLIA         12"         REMAIN         G           T29         MAGNOLIA         15"         REMOVE         SWALE         7           T30         LIVE OAK         8"         REMAIN         G	0
T21         CYPRESS         14"         REMAIN         0           T22         CYPRESS         10"         REMAIN         0           T23         MAGNOLIA         20"         REMAIN         0           T24         MAGNOLIA         13"         REMOVE         SWALE         6           T25         LIVE OAK         11"         REMOVE         SWALE         0" NOT PR           T26         MAGNOLIA         12"         REMOVE         SWALE         6           T27         MAGNOLIA         13"         REMAIN         0           T28         MAGNOLIA         12"         REMAIN         0           T29         MAGNOLIA         15"         REMOVE         SWALE         7           T30         LIVE OAK         8"         REMAIN         0	0"
T22         CYPRESS         10"         REMAIN         0           T23         MAGNOLIA         20"         REMAIN         0           T24         MAGNOLIA         13"         REMOVE         SWALE         6           T25         LIVE OAK         11"         REMOVE         SWALE         0" NOT PR           T26         MAGNOLIA         12"         REMOVE         SWALE         6           T27         MAGNOLIA         13"         REMAIN         0           T28         MAGNOLIA         12"         REMAIN         0           T29         MAGNOLIA         15"         REMOVE         SWALE         7           T30         LIVE OAK         8"         REMAIN         0	0"
T23         MAGNOLIA         20"         REMAIN         0           T24         MAGNOLIA         13"         REMOVE         SWALE         6           T25         LIVE OAK         11"         REMOVE         SWALE         0" NOT PR           T26         MAGNOLIA         12"         REMOVE         SWALE         6           T27         MAGNOLIA         13"         REMAIN         0           T28         MAGNOLIA         12"         REMAIN         0           T29         MAGNOLIA         15"         REMOVE         SWALE         7           T30         LIVE OAK         8"         REMAIN         0	0"
T24 MAGNOLIA 13" REMOVE SWALE 60" NOT PR T25 LIVE OAK 11" REMOVE SWALE 0" NOT PR T26 MAGNOLIA 12" REMOVE SWALE 60 T27 MAGNOLIA 13" REMAIN 00 T28 MAGNOLIA 12" REMAIN 00 T29 MAGNOLIA 15" REMOVE SWALE 70 T30 LIVE OAK 8" REMAIN 00	0"
T25         LIVE OAK         11"         REMOVE         SWALE         0" NOT PR           T26         MAGNOLIA         12"         REMOVE         SWALE         6           T27         MAGNOLIA         13"         REMAIN         0           T28         MAGNOLIA         12"         REMAIN         0           T29         MAGNOLIA         15"         REMOVE         SWALE         7           T30         LIVE OAK         8"         REMAIN         0	0"
T26 MAGNOLIA 12" REMOVE SWALE 60 T27 MAGNOLIA 13" REMAIN 00 T28 MAGNOLIA 12" REMAIN 00 T29 MAGNOLIA 15" REMOVE SWALE 77 T30 LIVE OAK 8" REMAIN 00	6.5"
T27 MAGNOLIA 13" REMAIN  T28 MAGNOLIA 12" REMAIN  T29 MAGNOLIA 15" REMOVE SWALE 77  T30 LIVE OAK 8" REMAIN	COTECTE
T28 MAGNOLIA 12" REMAIN CONTRACTOR T29 MAGNOLIA 15" REMOVE SWALE 77 T30 LIVE OAK 8" REMAIN CONTRACTOR T30	6"
T29 MAGNOLIA 15" REMOVE SWALE 77 T30 LIVE OAK 8" REMAIN	0"
T30 LIVE OAK 8" REMAIN	0"
	7.5"
	0"
	0"
	73"
	0" 73"



LEGEND:

RIGHT OF WAY

PROPOSED GRAVEL

PROPOSED CONCRETE

SIO

VMENTAL

FGISTRAT

IRIA CIRC

OLA, FLOI

2-8606 (C

7-1176 (I

Y ALLEN

TICENSE

06-30-21

SCALE: 1"=50"

SHEET NUMBER:

SHEET 8 OF 11

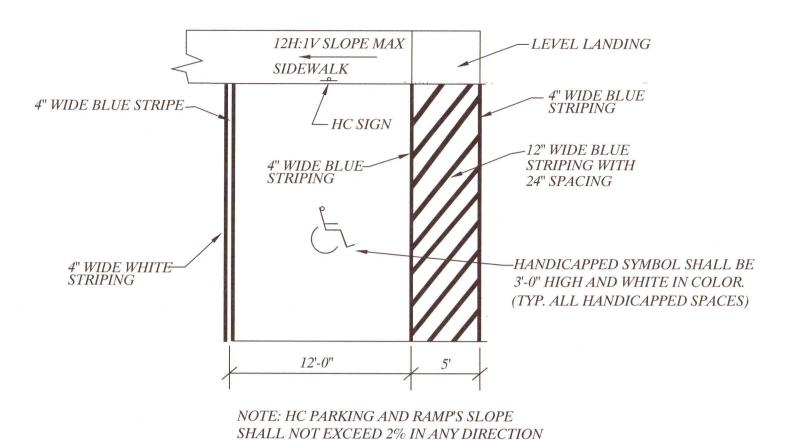
16' WIDE TYPE B BUFFER

NATURAL VEGETATION TO REMAIN

SEE LANDSCAPE NOTE #9 THIS SHEET

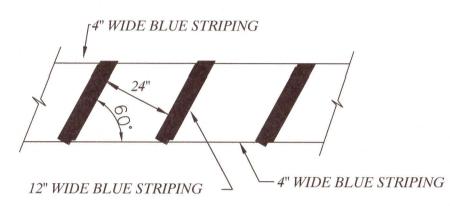
-6' HIGH WOODEN FENCE

FINISHED SIDE FACING NORTH



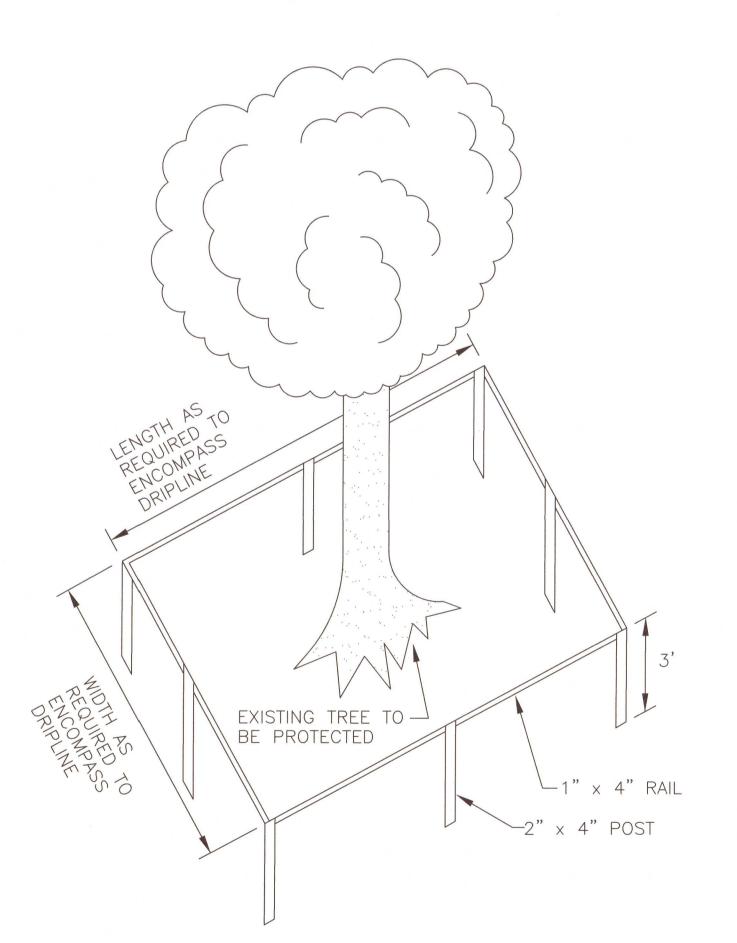
# HANDICAPPED STRIPING AND RAMP DETAIL

NOTE: DO NOT EXCEED 1:50 SLOPE IN ANY DIRECTION



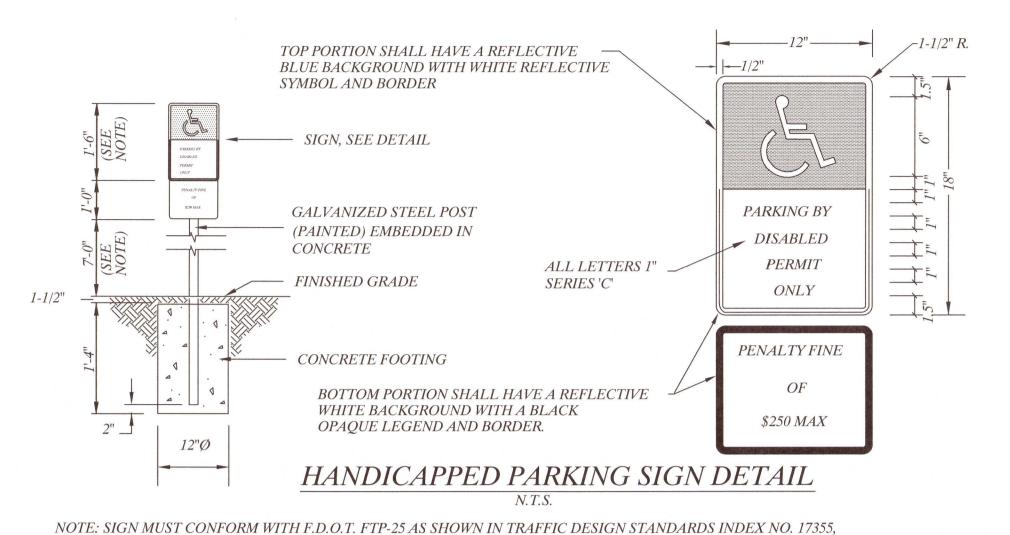
HC RAMP STRIPING DETAIL

N.T.S.



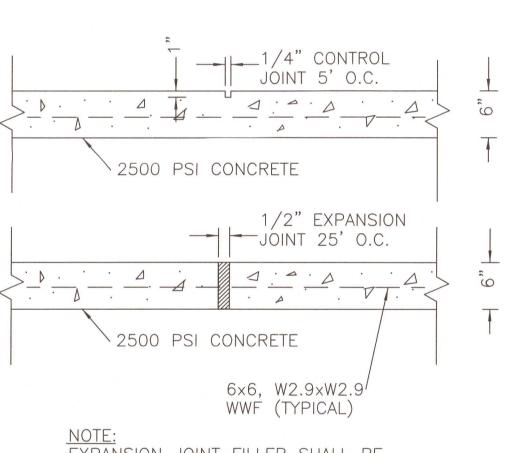
NOTE: ALL TREES NOT DESIGNATED TO BE REMOVED ARE TO BE PROTECTED AT ALL TIMES. EQUIPMENT OPERATORS SHOULD USE EXTREME CAUTION WHEN WORKING AROUND TREES SO AS NOT TO DAMAGE OR SCAR ANY TREES OR ROOTS.

TREE PROTECTION DETAIL N.T.S.



SHEET 3 OF 8.

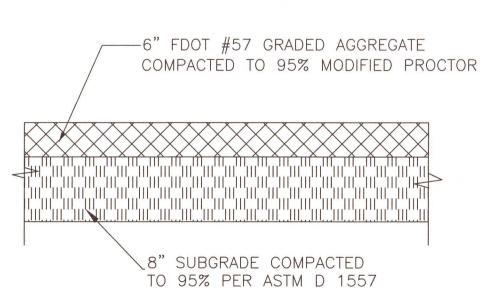
NOTE: CONTRACTOR MUST COMPLY WITH LOCAL CODES CONCERNING HEIGHT OF SIGN ABOVE GRADE!



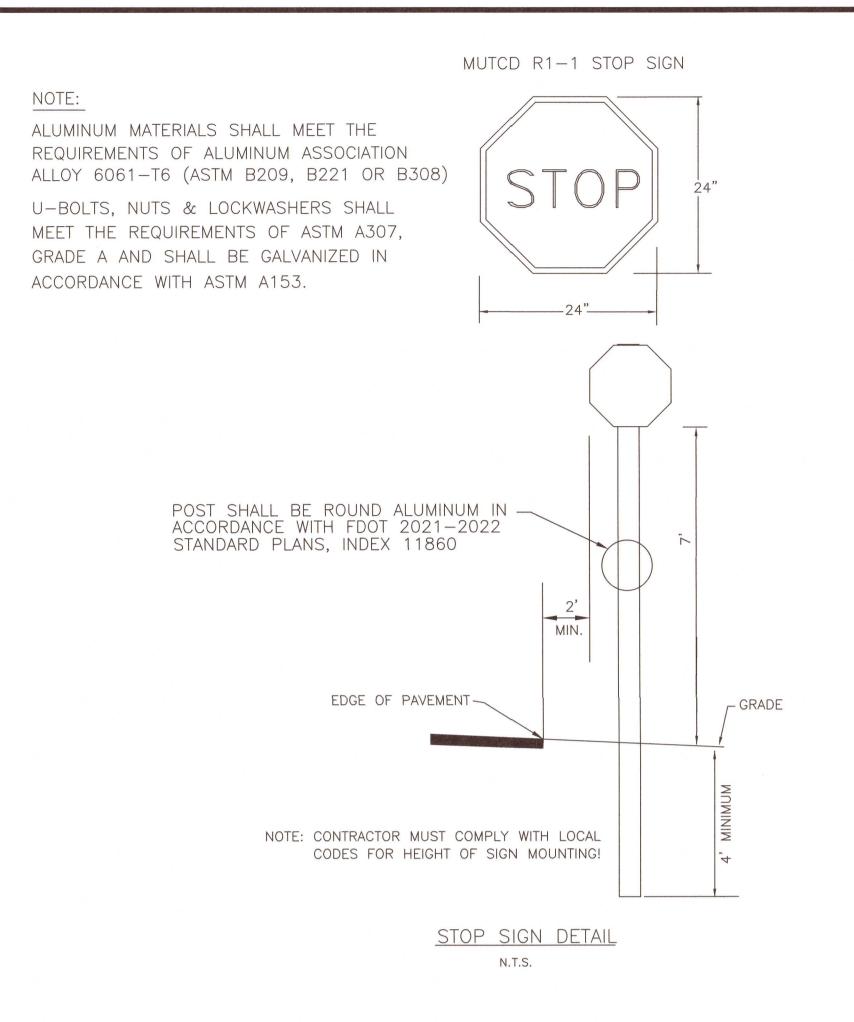
NOTE:
EXPANSION JOINT FILLER SHALL BE
ASPHALT IMPREGNATED FIBER STRIPS
1/2" THICK. CUT AND SHAPE TO
CROSS SECTION OF SIDEWALK.

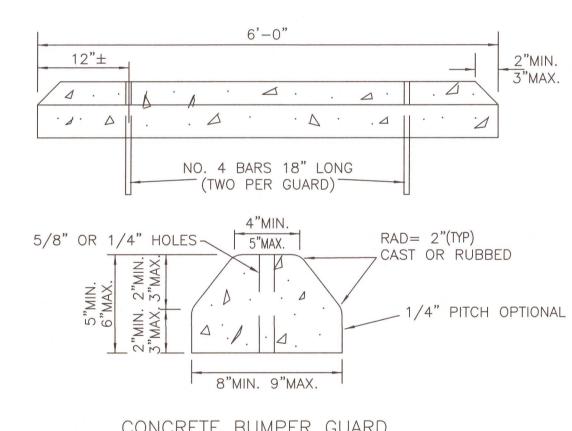
MEDIUM BROOM TOP SURFACE.

SIDEWALK DETAIL NTS

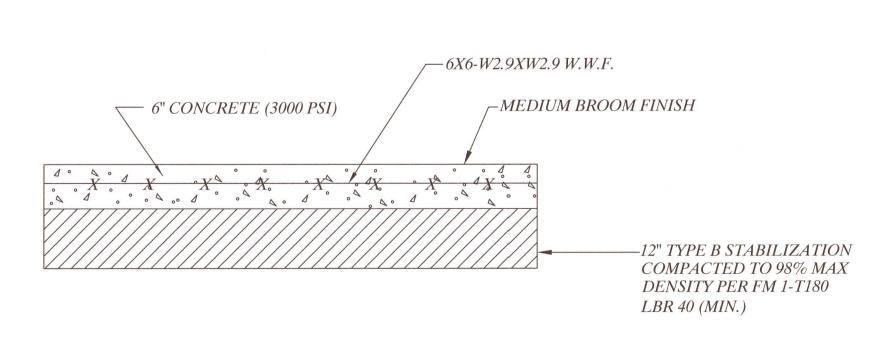


TYPICAL GRAVEL DETAIL N.T.S.





CONCRETE BUMPER GUARD N.T.S.



TYPICAL ACCESS DRIVEWAY CONCRETE PAVEMENT SECTION

N.T.S.

CONSTRUCTION DETAILS DATE: 06-30-21 scale: 1"=20' SHEET NUMBER:

SHEET 9 OF 11

