

— PROPERTY BOUNDARY

— PROPOSED TREE BARRICADE

ADJACENT WEST PROPERTY OWNER INFO
OWNER: DANNY T AND ALICIA MARILYN FAULK
OWNER ADDRESS: 6325 BLUEBERRY ST
MILTON, FL 32570
PROP REF #: 32-2N-27-0000-00245-0000
CURRENT ZONING: R1M
FLU: RESIDENTIAL
CURRENT USE: SINGLE FAMILY HOME
PROPERTY ADDRESS: 8348 PUNJOB RD, MILTON, FL 32570

ADJACENT EAST PROPERTY OWNER INFO

OWNER: HAROLD & WICKI TIPTON

OWNER ADDRESS: 1405 HWY 95-A NORTH
CANTONMENT, FLORIDA 32553

PROP REF #: 02-1N-31-2404-000-000

CURRENT ZONING: HC/LI

FLU: MU-S

CURRENT USE: MULTI FAMILY HOMES

PROPERTY ADDRESS: 1405 HWY 95-A NORTH
CANTONMENT, FLORIDA 32553

ADJACENT EAST PROPERTY OWNER INFO

OWNER: MARY GODWIN
OWNER ADDRESS: 1297 HWY 95-A N
CANTONMENT, FL 32533
PROP REF #: 02-1N-31-2406-000-003
CURRENT ZONING: HC/LI
FLU: MU-S
CURRENT USE: SINGLE FAMILY HOME
PROPERTY ADDRESS: 1297 HWY 95A NORTH
CANTONMENT, FL 32533

ADJACENT EAST PROPERTY OWNER INFO

OWNER: SADIE B SANDERS

OWNER ADDRESS: 2635 SW 35TH PLACE, #206
GAINESVILLE, FL 32570

PROP REF #: 02-1N-31-2406-000-002

CURRENT ZONING: HC/LI

FLU: MU-S

CURRENT USE: SINGLE FAMILY HOME

PROPERTY ADDRESS: 1293 HWY 95A NORTH
CANTONMENT, FLORIDA 32533

ADJACENT EAST PROPERTY OWNER INFO

OWNER: EARL RAY & STELLA ADAMS McKINNEY
OWNER ADDRESS: 1275 N HWY 95A
PENSACOLA, FL 32533
PROP REF #: 02-1N-31-2408-000-001
CURRENT ZONING: HC/LI
FLU: MU-S
CURRENT USE: SINGLE FAMILY HOME
PROPERTY ADDRESS: 1275 N HWY 95A
CANTONMENT, FLORIDA 32533

OLD PALAFOX (66' R/W)

BENCHMARK DATA::

BM~1 NAIL AND DISK IN ASPHALT ROAD
ELEVATION= 120.96' (NAVD88)

BM~2 NAIL AND DISK IN ASPHALT ROAD
ELEVATION= 132.76' (NAVD88)

ENVIRONMENTAL ENGINEERING SERVICES
FIRM REGISTRATION #: RY6515
2120 MARIA CIRCLE
PENSACOLA, FLORIDA 32514
850-982-8606 (OFC)
850-477-1176 (FAX)
GREGORY ALLEN CAMPBELL, P.E.
FL PE LICENSE #: 38572

PROJECT TITLE:
THE MAGNOLIA'S RV PARK
2200 NEAL ROAD
CANTONMENT, FLORIDA
ESCAMBIA COUNTY

UTILITY PLAN

SHEET TITLE:

DATE: 06-30-21

SCALE: 1"=50'

SHEET NUMBER:

SHEET 2 OF 11

REVISIONS

10.

FL PE LICENSE #: 38572

200 NEAL ROAD
CANTONMENT, FLORIDA
ESCAMBIA COUNTY

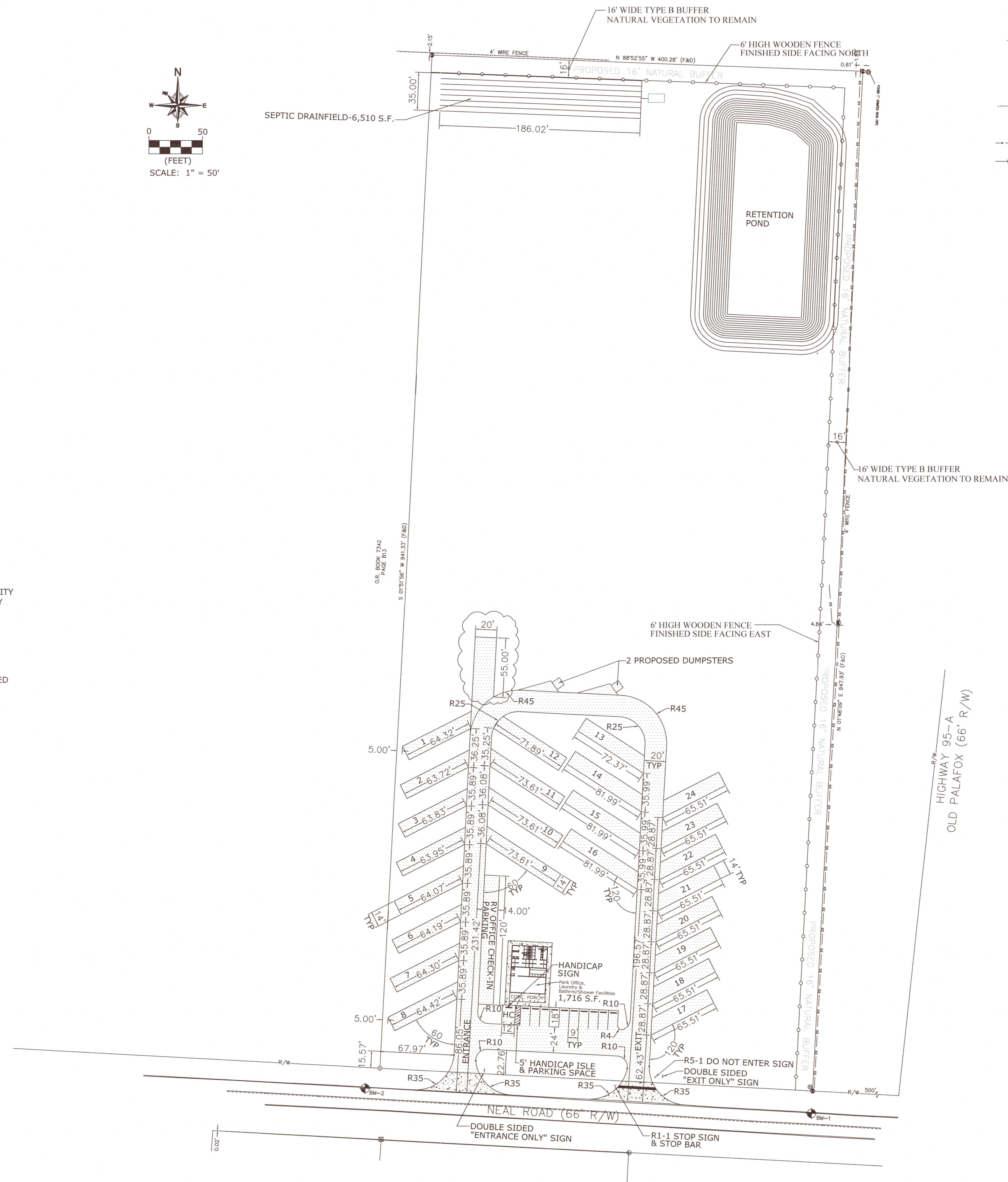
1. NOTIFY ESCAMBIA COUNTY INSPECTOR 24 HOURS BEFORE BEGINNING EVERY PHASE OF CONSTRUCTION AT 595-3550.
2. FRONT & REAR BUILDING SETBACK LINE=15'
SIDE BUILDING SETBACK LINE=10'
NO STRUCTURES PROPOSED WITH THIS SITE PLAN.
3. ALL PAVEMENT MARKINGS & STRIPING SHALL BE THERMOPLASTIC.
NO PRE-MANUFACTURED STRIPING (TAPE) WILL BE ALLOWED.
4. DEVELOPER/CONTRACTOR SHALL OBTAIN A SEPARATE SIGN PERMIT FROM ESCAMBIA COUNTY PRIOR TO INSTALLING ANY FREE-STANDING OR WALL SIGNS.
5. LOCATIONS OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION BEFORE CONSTRUCTION. FAILURE OF THE PLANS TO SHOW THE EXISTENCE OF ANY UNDERGROUND UTILITIES, STRUCTURES ETC. SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY.
6. NO EXTERIOR LIGHTING IS PROPOSED WITH THIS SITE PLAN. OWNER/DEVELOPER SHALL OBTAIN LIGHTING PERMIT FOR ANY EXTERIOR LIGHTING IN THE FUTURE.
7. ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED.

OWNER: CLORINDA BAKER
OWNER ADDRESS: 2115 CHANCE ROAD
MOLINO, FLORIDA 32577
OWNER PHONE #: 850-529-0638
PROJECT NAME: THE MAGNOLIA'S RV PARK
PROJECT ADDRESS: 200 NEAL ROAD
CANTONMENT, FLORIDA
CURRENT ZONING: HC/LI
FLU: C
PROPERTY REFERENCE #: 02-1N-31-2408-000-004

THE DEVELOPER/OWNER, CLORINDA BAKER, SUBMITTED A COMPATILITY STUDY TO HORACE JONES IN ACCORDANCE WITH ESCAMBIA COUNTY LDC 3-2.11(e)(4). MR JONES APPROVED THE COMPATIBILITY STUDY PER EMAIL TO CLORINDA BAKER DATED 01-08-21. THE APPROVED EMAIL AND COMPATIBILITY STUDY IS ENCLOSED WITH THE DRC PACKAGE.

REQUIRED OFFICE AREA PARKING = 1,451 S.F. X 3.5 SPACES/1000 S.F. = 5.1 OR 6 SPACES REQUIRED
TOTAL PARKING SPACES PROVIDED = 11 SPACES (10 REGULAR & 1 HC)

SITE PLAN DATA		
BUILDING AREA (S.F.)	0	1,716
PAVED AREA (S.F.)	0	1,101
GRAVEL AREA (S.F.)	0	47,500
PERVIOUS AREA (S.F.)	378,566	328,249
TOTAL LOT AREA (S.F.)	378,566	378,566



	PROPERTY LINE OR ROW
	PROPOSED GRAVEL
	PROPOSED CONCRETE
	BUILDING SETBACK LINE
	RADIUS IN FEET
	EXISTING WIRE FENCE
	PROPOSED WOOD FENCE

ESCAMBIA CO COMMENTS DATED 08-05-21			08-05-21	
1				
NO.	REVISIONS	BY	DATE	

ENVIRONMENTAL ENGINEERING SERVICES
FIRM REGISTRATION #: RY6515
2120 MARIA CIRCLE
PENSACOLA, FLORIDA 32514
850-982-8606 (OFC)
850-477-1176 (FAX)
GREGORY ALLEN CAMPBELL, P.E.
FL PE LICENSE #: 38572

PROJECT TITLE:
THE MAGNOLIA'S RV PARK

200 NEAL ROAD
CANTONMENT, FLORIDA
ESCAMBIA COUNTY

TITLE: SITE LAYOUT & DIMENSION PLAN

DATE: 06-30-21

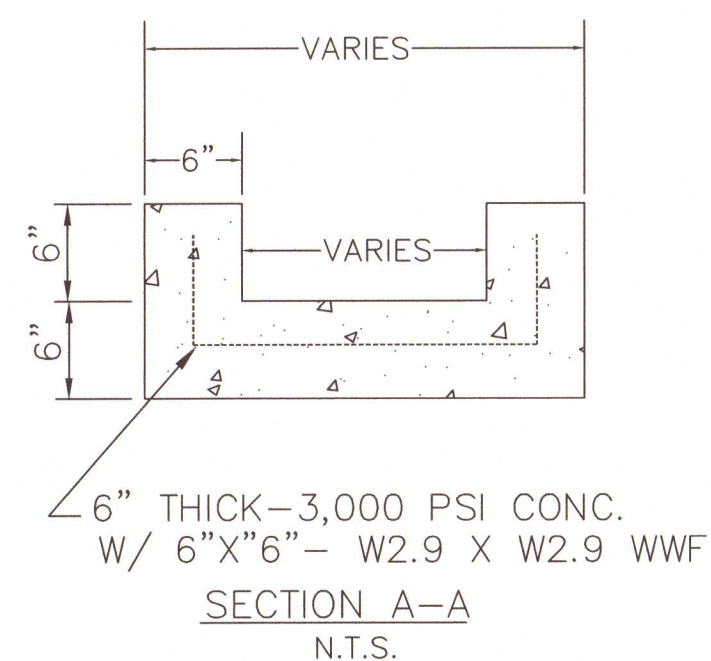
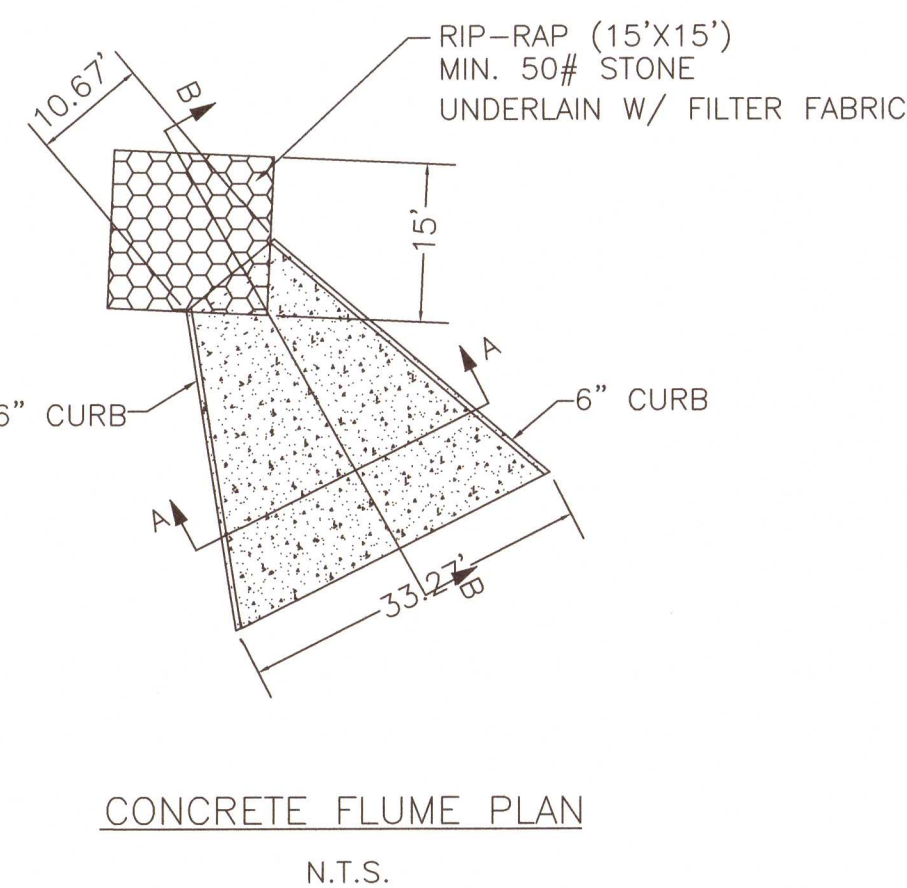
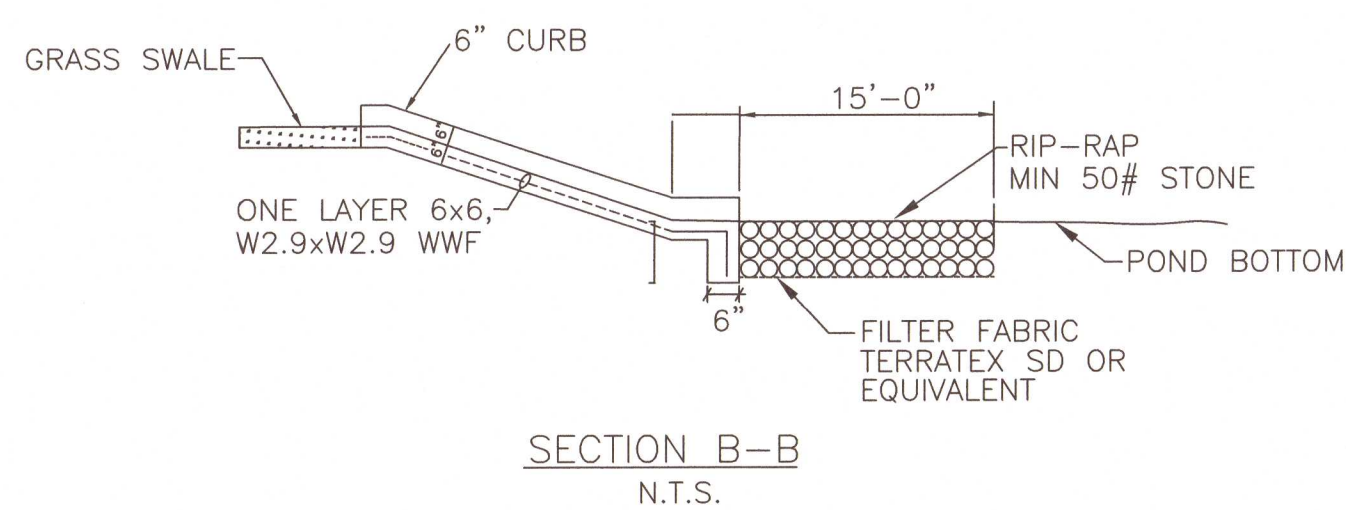
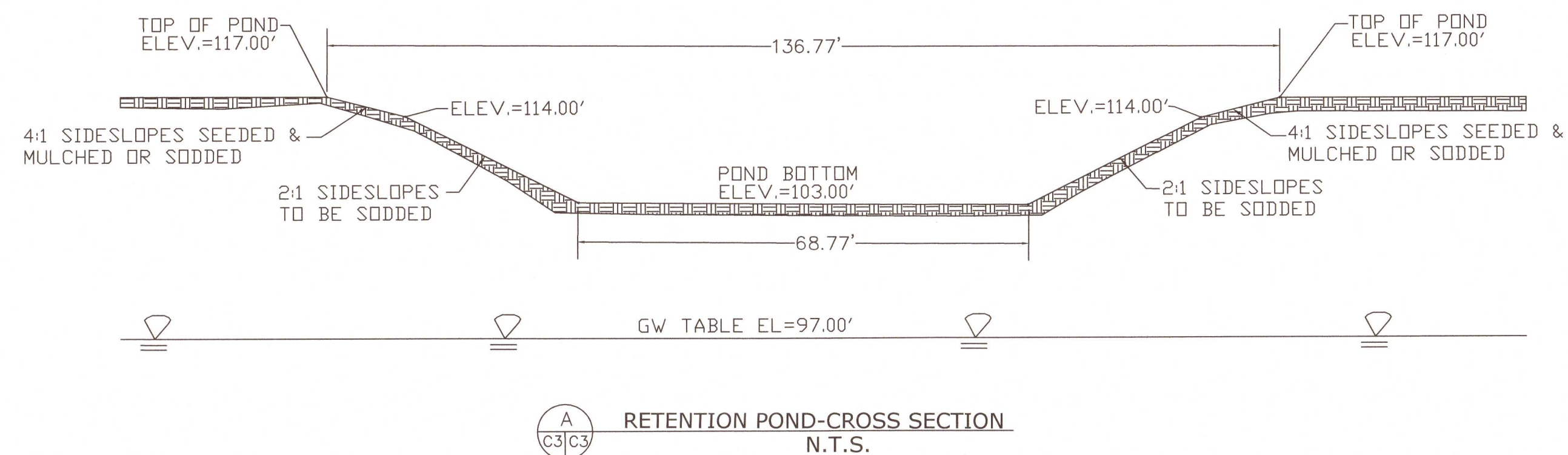
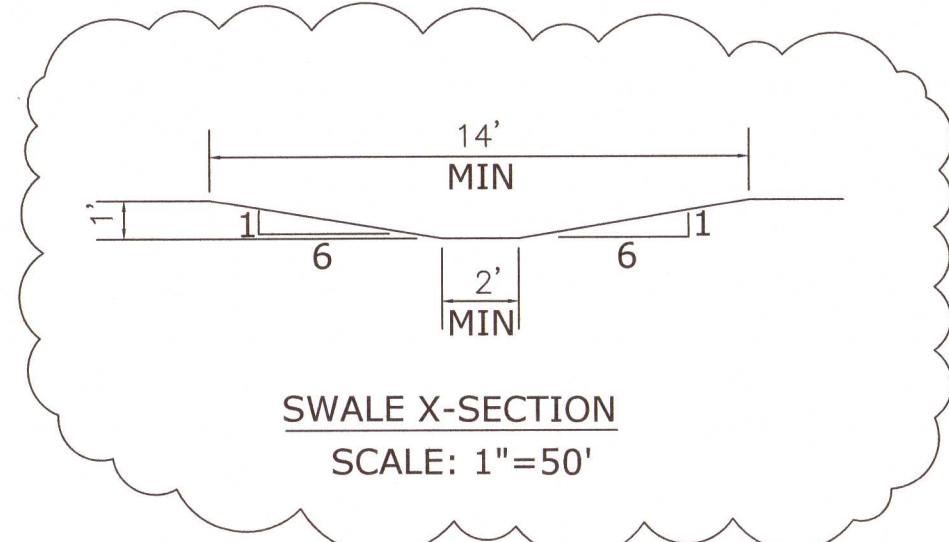
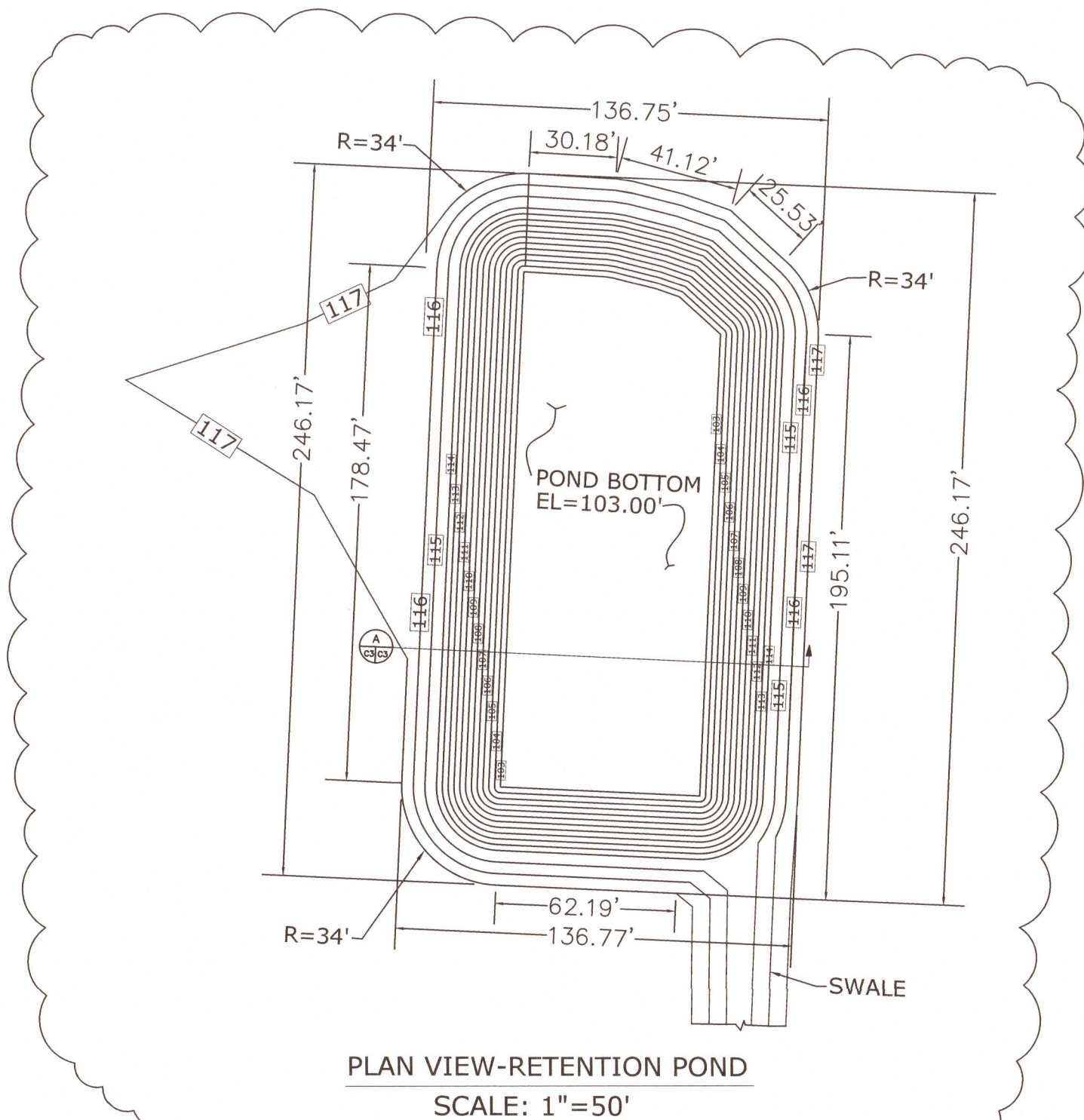
SCALE: 1"=50'

SHEET NUMBER:

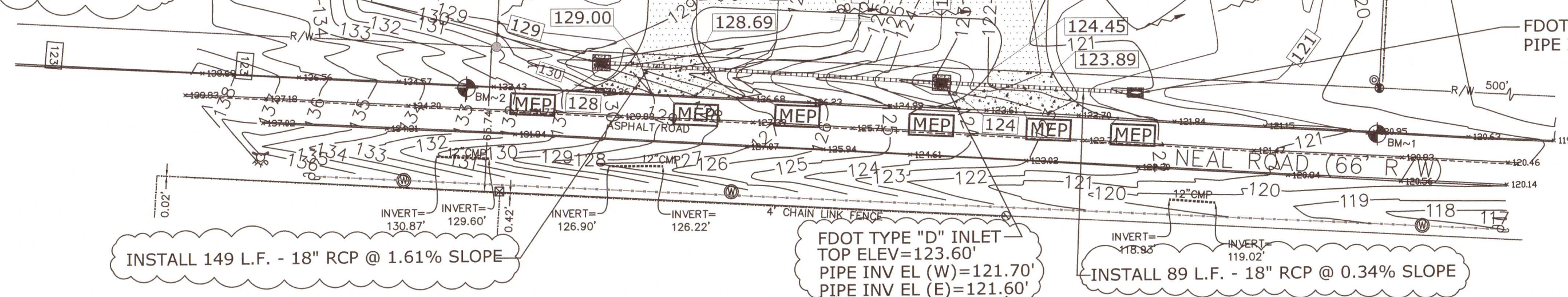
C2

SHEET 3 OF 11

[Signature]
9-20-21



FDOT TYPE "D" INLET
TOP ELEV.=128.25'
PIPE INV EL (E)=124.00'



LEGEND:

- PROPOSED CRUSHED ASPHALT OR GRAVEL
- MEP MATCH EXISTING PAVEMENT
- 31.80 PROPOSED SPOT ELEV.
- 33.35 EXISTING SPOT ELEV.
- 127.46 PROPOSED SPOT ELEV.
- 31 PROPOSED ELEV. CONTOUR
- 31 EXISTING ELEV. CONTOUR
- FLOW DIRECTION
- PROPERTY LINE OR ROW

INSTALL 4' CHAINED LINK FENCE W/GATE
AROUND PERIMETER OF POND

RIP-RAP 50# STONE (15'X15') OVER FILTER
FABRIC-SEE DETAIL THIS SHEET

CONCRETE FLUME
SEE DETAIL THIS SHEET

CONSTRUCT SWALE
6H:1V SIDESLOPES MINIMUM
1 FOOT DEPTH
BOTTOM WIDTH (MINIMUM)=2'
TOP WIDTH (MINIMUM)=14'

RIGHT-OF-WAY NOTES

- R/W SHOULDER STABILIZATION SHOULD BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- CONTRACTOR SHALL PROVIDE PERMANENT STABILIZATION OF ALL DISTURBED AND GRADED AREAS IN NEAL ROAD RIGHT-OF-WAY BY INSTALLING BAHIA SODD.

PROJECT TITLE:	THE MAGNOLIA'S RV PARK	ENVIRONMENTAL ENGINEERING SERVICES	1	ESCAMBIA CO COMMENTS DATED 08-05-21 GAC	08-05-21
SHEET TITLE:	GRADING & DRAINAGE PLAN	FIRM REGISTRATION #: RY6515			
DATE:	06-30-21	2120 MARIA CIRCLE			
SCALE:	1"=50'	PENSACOLA, FLORIDA 32514			
SHEET NUMBER:	C3	850-982-8606 (OFC)			
SHEET 4 OF 11		850-477-1176 (FAX)			
		GREGORY ALLEN CAMPBELL, P.E.			
		FL PE LICENSE #: 38572			
		NO.			
		REVISIONS			
		BY			
		DATE			

1. All large tapping saddles will be pressure tested to hold 150 psi for 2 hours before making any taps with no drop in pressure. A Midway Water System representative must be present to witness pressure test before tapping the main. A 48 hour notice to Midway Water System is required prior to doing the pressure test.

3. All water main pipe and pipe fittings installed shall be color coded in accordance with the requirements in FDEP Rule 62-555.320(21)(b)3, FAC.

5. Contractor is responsible and liable for locating all utilities in right-of-way and shall contact Sunshine utilities within 96 hours in advance prior to digging within right-of-way at 1-800-432-4770. Location of existing utilities shown on plans are approximate only and it shall be the responsibility of the Contractor to verify the location before construction. Failure of the plans to show the existence of any underground utilities, structures, etc., shall not relieve the Contractor from the responsibility of locating, preserving and protecting said utility or structures.

6. Contractor shall notify Cottage Hills Water Works Inc. 48 hours prior to commencement of project.

8. All onsite water and sewer facilities shall be privately owned, operated and maintained.

9. Water supply facilities, including mains, shall be installed, cleaned disinfected and bacteriologically cleared for service in accordance with the latest AWWA Standards (C651-92) and FDEP requirements (Rule 62-555.315(6), 62-555.340 and 62-555.330). Coordinate with Cottage Hill Water Work inspector and Quality Control Supervisor.

10. Contractor is responsible for adjustments of existing utilities, unless otherwise noted herein, if proposed improvements impact existing utilities.

11. Minimum cover for all water and sewer pipe shall be 30-inches unless otherwise indicated on plans.

12. All water main pipe, pipe fittings, valves and meters installed during water main and service line installation shall meet AWWA and FDEP standards. PVC water main piping shall meet AWWA C900.

13. Contractor shall pressure and leak test any new water main in accordance with AWWA standard C603 or C605, as applicable. Service lines do not need to be tested.

14. Contractor shall obtain a septic permit from the Escambia County Health and Rehabilitative Services prior to installing the septic tank system.



 GCO GROUND LEVEL CLEAN OUT

PROPERTY LINE

WATER METER

BACKFLOW PREVENTER

EXISTING OVERHEAD UTILITY LINES

EXISTING BURIED FIBER

EXISTING BURIED NAT

EXISTING GRAVITY SEWER OR SEWER

PROPOSED GRAVEL DRIVEWAY AND RV PADS

EXISTING ASPHALT ROAD

ELECTRICAL AND WATER PEDESTAL

SEWER SERVICE CONNECTION STATION

MAILBOX

SHEET TITLE: DATE: 06-30-21 SCALE: 1"=50' SHEET NUMBER: <div style="font-size: 2em; font-weight: bold; text-align: center;">C4</div> SHEET 5 OF 11		PROJECT TITLE: THE MAGNOLIA'S RV PARK 200 NEAL ROAD CANTONMENT, FLORIDA ESCAMBIA COUNTY		ENVIRONMENTAL ENGINEERING SERVICES FIRM REGISTRATION #: RY6515 2120 MARIA CIRCLE PENSACOLA, FLORIDA 32514 850-982-8606 (OFC) 850-477-1176 (FAX) GREGORY ALLEN CAMPBELL, P.E. FL PE LICENSE #: 38572		NO. REVISIONS BY DATE	
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Site Description

The proposed project is located on Neal Road approximately 1/8 mile west of Highway 95A-North in Cantonment, Florida. The existing property is a wooded vacant lot with no structures or pavement. The Escambia County property parcel number is 02-IN-31-240B-000-004. Project name is Magnolia RV Park.

The property is 8.69 acres and has an estimated 0.75 acres of offsite runoff from the west adjacent property. The existing stormwater runoff runs in a predominately west-southwest to southeast-east direction as indicated by the topographic survey shown on sheet C1. The approximate latitude and longitude of the property is 30°37' 44.75"N and 87°19' 23.97"W, respectively.

The proposed improvements include the construction of an 25 unit RV park with gravel or crushed asphalt pavement (note retention pond designed for future asphalt or concrete pavement). The retention pond design also includes future expansion consisting of men and womens bathroom/shower areas, office building, pool and deck and future RV unit pads and driveways. The proposed grading follows natural existing grading and proposed grading slopes in a southwest-west to southeast-east direction to retention pond.

A soil boring was installed at center of northeast portion of the retention pond to a depth of 40' below existing grade (BEG) by NDVA on 04-08-21. Iron rock was encountered at approximately 8.5' to 10.50' BEG. The soil is mostly very loose to medium silty sand above the iron rock and medium to dense-very dense silty sand and sand below the iron rock. A permeability test a soil sample collected at depth between 13' and 20' BEG in boring S-1 indicated the vertical soil permeability to be 13 feet/day. The estimated depth of normal permanent SHGW table (boring S-1) was found to be 20' BEG.

Erosion and Sedimentation Controls

Erosion and sedimentation from the construction site shall be controlled at all times using Best Management Practices(BMPs) Perimeter controls shall be installed prior to clearing activities or any construction activity that disturbs soils. Installation of those controls may be staged to correspond with the clearing and construction schedule. Immediate after clearing activities appropriate controls shall be installed to limit and minimize the velocity of stormwater runoff over unprotected soils. Temporary BMPs shall be used as necessary inside the perimeter controls as the construction progresses. Perimeter controls shall be actively maintained until final stabilization of those portions of the site uphill of the perimeter controls. Temporary controls shall be removed when stabilization is achieved or when necessary for the next stage of construction. Controls shall be consistent with the performance standards for erosion and sedimentation control as set forth in Section 62-40.432 F.A.C.

Stabilization and Structural Practices

Stabilization practices may include, but not limited to, temporary seeding, mulching, geotextiles, permanent sod and preservation of existing vegetation. Preservation of the existing vegetation should always be the first choice BMP. Where disturbed soils are to remain for extended periods, temporary seeding should be considered prior to final sod stabilization. A record shall be maintained of the dates when major grading activities occur, when construction activities temporarily or permanently cease on a portion of the site and when stabilization measures are initiated. Stabilization measures shall be initiated as soon as practicable, but in no case more than 14 days, in those areas of the site where construction activities have temporarily or permanently ceased.

Structural practices shall divert flows from exposed soils, store flows, retain sediment on-site, or otherwise limit runoff and the discharge of pollutants from exposed areas of the site. Such practices may include, but not limited to, silt fence, earth dikes, diversion swales, sediment traps, check dams, subsurface drains, pipe slope drains, level spreaders, storm drain inlet protection, rock outlet protection, reinforced soil retaining systems and temporary or permanent sediment basins.

Stormwater Management

A single row of silt fence as shown on sheet C7 shall be installed around the construction site prior to land disturbance activities to prevent sediment from leaving the site.

After clearing activities, silt fences and hay bales shall be installed, as necessary, uphill of the perimeter controls to reduce runoff velocities and the potential for excessive erosion. Prior to any major grading activity, the stormwater detention basins shall be constructed for utilization as a sediment basin. Runoff from uphill areas shall be directed into the sediment basins, where feasible by diversion swales.

These swales may require temporary seeding and check dams to minimize velocities and avoid excessive erosion. Rip-rap or similar velocity control is to be used, as necessary, at the outfalls from the stormwater management system for velocity dissipation prior to discharge off-site. Silt fences, and haybales if necessary, shall be installed across the outfalls until final stabilization is achieved. Erosion control facilities shall actively maintained throughout the course of construction and shall remain until final stabilization is achieved and acceptance by the owner.

Controls for Other Potential Pollutants

A materials management area shall be designated on-site for protected storage of chemicals, solvents, fertilizers and other potentially toxic materials. Storage areas can become a major source of risk due to possible mishandling of materials and accidental spills. An inventory should be compiled and maintained of the storage area and the site. Special care should be taken to identify any materials that have the potential to come into contact with stormwater.

Petroleum products such as oil gasoline, lubricants and asphaltic substances should be handled carefully to minimize their exposure to stormwater. These management practices should be used to reduce the risks of using petroleum products:
* Have equipment available to contain and clean up petroleum spills in fuel storage areas or on board maintenance and fueling vehicles.
* Where possible, store petroleum products and fuel vehicles in covered areas and construct dikes to contain any spills.
* Contain and clean up petroleum spills immediately.
* Perform preventative maintenance for on-site equipment to prevent leakage.
* Apply asphaltic substances properly according to the manufacturer's instructions.

Hazardous products including, but not limited to, paints, acids for cleaning masonry surfaces, cleaning solvents, chemical additives used for soil stabilization, and concrete curing compounds should be properly handled. These practices will help avoid pollution of stormwater by these materials:
* Keep equipment to contain and clean up spills of hazardous materials in the areas where the materials are stored.
* Contain and clean up spills immediately after they occur.
* Keep materials in a dry, covered area.
* Store materials in the original manufacturer's containers whenever possible, because special handling instructions usually are printed on the containers.

Pesticides include insecticides, rodenticides, and herbicides that are commonly used on construction sites. These management practices will reduce the amounts of pesticides that could contact stormwater:
* Handle pesticides as infrequently as possible.
* Store materials in the original manufacturer's containers whenever possible, because special handling instructions usually are printed on the containers.
* Observe all applicable federal, state and local regulations when using, handling, or disposing of pesticides.
* Store pesticides in a dry, covered area.
* Provide curbs or dikes to contain spills.
* Have measures on site to contain and clean up spills.
* Strictly follow recommended application rates and methods.

Fertilizer and detergents usually contain nutrients that can be a major source of pollution in stormwater. These practices should be used to reduce the risks of nutrient pollution
* Limit the application of fertilizers to the minimum area and the minimum recommended amounts.
* Reduce exposure of nutrients to stormwater runoff by working the fertilizer into the soil to a depth of 4 to 6 inches.
* Apply fertilizer more frequently, but at lower application rates.
* Limit hydrosseeding in which line and fertilizers are applied to the ground surface in one application.
* Implement good erosion and sediment control to help reduce the amount of fertilizer lost as a result of erosion.
* Limit the use of detergents on the site. Wash water containing detergents should not be discharged to the stormwater management system.
* Apply fertilizer and use detergents only in the recommended manner and amounts.

Proper management and disposal of building materials and other construction site wastes are an essential part of pollution prevention. Construction wastes include surplus or refuse building materials as well as hazardous wastes. Management practices for these wastes include trash disposal, recycling, material handling, and spill prevention and clean up. These practices should provide for proper disposal of construction wastes:
* Designate a waste disposal area on the site.
* Provide an adequate number of containers with lids or covers that can be placed over the container prior to rainfall.
* Locate containers in covered areas, where possible.
* Arrange for scheduled waste pick up. Adjust waste collection schedule as necessary to prevent overflow of the containers.
* Ensure that construction waste is collected, removed, and disposed of only at authorized disposal areas in compliance with applicable State and/or local waste disposal regulations.

Offsite vehicle tracking of sediments and the geration of dust shall be minimized. Existing onsite access driveway shall be utilized to reduce off-site until new access driveway is constructed. Off-site sediment removal should be conducted at a frequency necessary to minimize impacts. Vehicle wash area should be considered if off-site tracking becomes excessive.

The construction site must have temporary sanitary sewer facilities for on-site personnel. Portable facilities may be utilized throughout the site. Licensed domestic waste haulers must be contracted to regularly remove the sanitary wastes and to maintain the facilities in good working order. The temporary construction trailer may have sanitary sewer facilities with a holding tank. A licensed domestic waste hauler shall also service this facility. An on-site septic system for the construction trailer is not allowed. Temporary sanitary sewer facilities shall be permitted by the local building department in accordance with applicable State and local regulations.

Maintenance and Inspection Controls

Controls of pollutants shall be maintained throughout construction period and until stabilization is achieved. Qualified personnel shall inspect all points of discharge and all disturbed areas of the construction site that have not been finally stabilized areas used for storage of materials that are exposed to precipitation, structural controls, and locations where vehicles enter or exit the site at least once every seven calendar days and within 24 hours of the end of every storm event that produces at least 0.50 inches of rainfall determined by onsite rain gage. When the site has been finally stabilized, such inspection shall be conducted at least once every month until a Notice of Termination has been submitted. A notice of termination form is shown on this sheet. Contractor shall use the inspection form on this sheet to document the required inspections and shall keep the inspection form onsite for regulator review if required.

* Stabilization Measures - Disturbed areas and areas used for storage of materials that are exposed to precipitation shall be inspected for evidence of or the potential for, pollutants leaving the site. The inspection should reveal whether the area was stabilized correctly, whether there has been damage to the area since it was stabilized, and what should be done to correct any problems.
* Structural Controls - Silt fences, hay bales and other erosion control measures shall be inspected regularly for proper positioning, anchoring, and effectiveness in trapping sediments. The inspection should reveal whether the control was installed correctly, whether there has been damage to the control since installation, and what should be done to correct any problems. Sediment should be removed from the uphill side of the silt fence and the fence should be reconstructed as necessary. Hay bales shall be added or replaced as necessary to provide effective control.
* Discharge Points - Discharge points shall be inspected to determine whether erosion control measures are effective in preventing significant amounts of pollutants from leaving the site. Silt fences and hay bales shall be maintained or replaced as necessary. The inspection should reveal whether the on-site BMPs are effective, and what should be done to increase the effectiveness.
* Construction Entrances - Locations where vehicles enter or exit the site shall be inspected for evidence of off-site sediment tracking. The inspection should reveal whether installation of a construction entrance is warranted, if warranted a construction entrance shall be installed per specifications on Sheet C8.
* Areas Used for Storage of exposed Materials - These are locations where construction materials (including excavated soils) are stored. The inspection should reveal the potential for excessive erosion and sedimentation, and what actions should be implemented to reduce the risks of pollution.

Contractor Certification

Based on the result of the inspection, all maintenance operations needed to assure proper function of all controls, BMPs, practices or measure identified in this Plan shall be done in a timely manner, but in no case later than 7 calendar days following the inspection

A Report summarizing the scope of each inspection, name(s) and qualifications of personnel making the inspection, the date(s) of the inspection, major observations related to the implementation of the stormwater pollution prevention plan, and modifications to the stormwater pollution prevention plan shall be prepared and retained as part of the stormwater pollution prevention plan for at least three years from the date that the site is finally stabilized. Such report shall identify any incidence of non-compliance.

This Stormwater Pollution Prevention Plan must clearly identify, for each measure identified within the Stormwater Pollution Prevention Plan, the contractor(s) or subcontractor(s) that will implement each measure. All contractor(s) and subcontractor(s) identified in the Stormwater Pollution Prevention Plan must sign the following certification:

"I certify under penalty of law that I understand, and shall comply with, the terms and conditions of the State of Florida Generic Permit for Stormwater Discharge from Large and Small Construction Activities and this Stormwater Pollution Prevention Plan prepared thereunder."

Name	Title	Company Name, Address & Phone Number	Date

Contractor Requirements

The contractor must have technical expertise in erosion prevention and sediment control. The contractor must at all time maintain erosion control methods that prevent any violation of the NPDES program.

Faulty Installation and/or Poor Maintenance

Most noncompliance occurs because measures were not installed correctly or maintained properly, or both. Determining the reason why the measures are failing requires technical knowledge about the devices and how to construct them properly. Contractors failure to control erosion, sedimentation or turbidity both onsite and offsite is not acceptable. Failure to do so may result in possible fines and/or termination from the site without payment for construction progress.

Compliance

Remember that the goal of the program is to prevent accelerated erosion and off-site sedimentation. As the contractor, you are the first person to determine if the performance standards and intent of the rule are being met. You are the key person in ensuring that the construction site is evaluated fairly and consistently and that you keep the site in compliance.

The erosion and sediment control rules are performance oriented. That is, the measures used at a construction site must be effective in controlling erosion and preventing off-site sedimentation for the site to be in compliance. Following an approved plan and installing the control measures may not be enough for a site to be in compliance with the rules. If erosion and off-site sedimentation occur, the contractor will be responsible for installing additional measures to correct any problem associated with compliance of the NPDES permit or any other permit required for the site construction. The contractor will also be completely responsible for any fines levied by any governing agency on the project during construction.

The rules are also flexible, allowing the contractor to decide the most economical and effective means of erosion control. This encourages the use of innovative techniques and specifically designed erosion control systems. The contractor is the key individual in making this kind of performance based rule work because the contractor is the first person to recognize performance failures and remedy the problems.

The contractor's job is to:

- Determine that an erosion and sediment control plan for the site has been approved.
- Determine that all specified practices have been installed and are being maintained according to the plan.
- Determine that both on-site and off-site sedimentation, erosion or turbidity is being prevented. If the contractor finds deficiencies, appropriate action must be taken to attain compliance.

Control of non-stormwater discharges

It is expected that the following non-stormwater discharges may occur from the site during construction periods: wash water from water line flushing, pavement wash water (where no spills or leaks of toxic or hazardous materials have occurred), and uncontaminated groundwater (from dewatering excavation). If said discharges do occur, they will be directed to the temporary sediment basin prior to discharge. Turbid water from the stormwater pond shall not be pumped directly into either of the receiving waters. Any pumped water from the stormwater pond shall be treated so as to not allow a discharge of polluted stormwater. Treatment can include silt fences, settling ponds, the proper use of flocculating agents or other appropriate means.

Responsible Authority

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

Project Name and location information:	Project Contact & Responsible Authority Information
MAGNOLIA RV PARK NEAL ROAD CANTONMENT, FLORIDA	CLORINDA BAKER NEAL ROAD CANTONMENT, FLORIDA 850-529-0638

Signature (Operator and/or Responsible Authority) Date



NATIONAL POLLUTANT DISCHARGE
ELIMINATION SYSTEM (NPDES) STORMWATER
NOTICE OF TERMINATION
(RULE 62-621.300(6), F.A.C.)

You must use this form to terminate coverage under the Generic Permit for Stormwater Discharge from Large and Small Construction Activities provided in subsection 62-621.300(5), F.A.C., the Multi-Sector Generic Permit for Stormwater Discharge Associated with Industrial Activity provided in subsection 62-621.300(5), F.A.C. as well as the conditional exclusion for "no exposure" of industrial activities and materials to stormwater provided in paragraph 62-620.100(2)(o), F.A.C.

All information provided on this form shall be typed or printed in ink.

I. TERMINATION INFORMATION:

A. Facility ID/Project Number:	
B. Reason for Termination:	Check all that apply:
<input type="checkbox"/>	No longer operator of the facility/project.
<input type="checkbox"/>	Final stabilization criteria is met and all stormwater discharges associated with construction activity including dewatering operations have ceased (for construction activity only).
<input type="checkbox"/>	All stormwater discharges associated with industrial activity have ceased (for industrial activity only).
<input type="checkbox"/>	No longer meet the condition of "no exposure" (for industrial activity only).

II. OPERATOR INFORMATION:

A. Operator Name:		
B. Address:		
C. City:	D. State:	E. Zip Code:
F. Responsible Authority:		G. Responsible Authority's Phone No.:
H. Responsible Authority's E-mail Address:		I. Responsible Authority's Fax No.:

III. FACILITY/PROJECT INFORMATION:

A. Name:		
B. Address/Location:		
C. City:	D. State:	E. Zip Code:
F. County:		

DEP Form 62-621.300(6)
Effective Date: 02/2015

Page 1 of 4

ENVIRONMENTAL ENGINEERING SERVICES

FIRM REGISTRATION #: RY6515

2120 MARIA CIRCLE

PENSACOLA, FLORIDA 32514

850-982-8606 (OFC)

850-477-1176 (FAX)

GREGORY ALLEN CAMPBELL, P.E.

FL PE LICENSE #: 38572

PROJECT TITLE:

THE MAGNOLIA'S RV PARK

200 NEAL ROAD

CANTONMENT, FLORIDA

ESCAMBIA COUNTY

SHEET TITLE:

SWPPP BMP NOTES

DATE: 06-30-21

SCALE: N.T.S.

SHEET NUMBER:

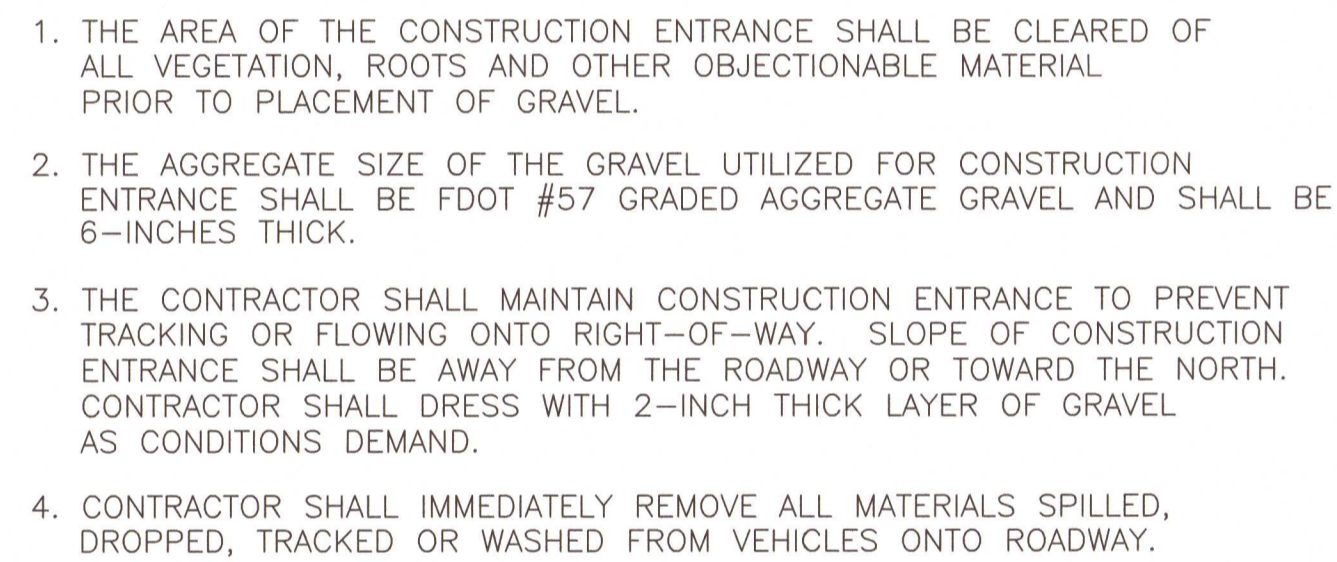
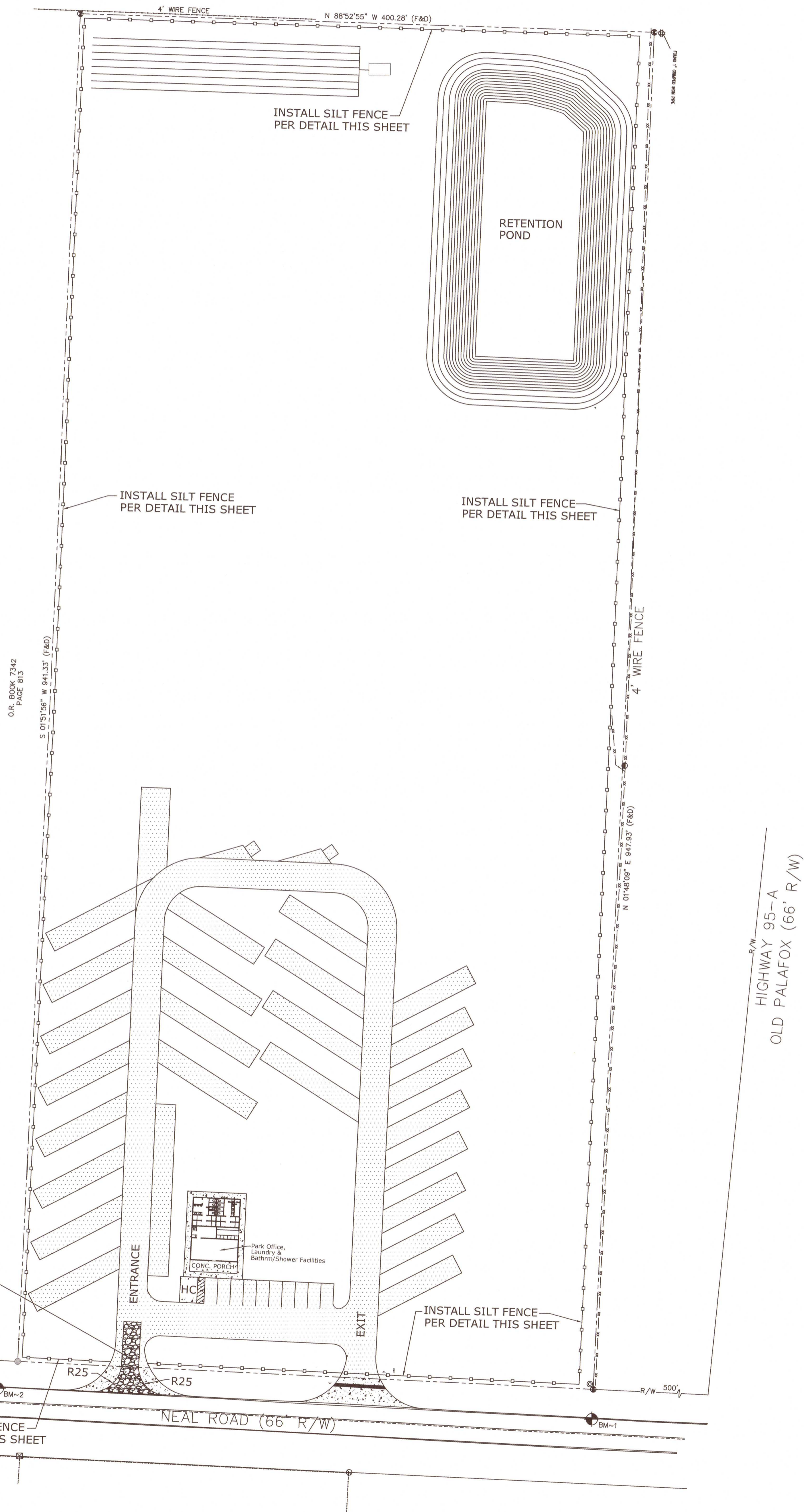
C5

SHEET 6 OF 11

CLORINDA BAKER
6-30-21

1. All trees shall remain onsite and any proposed land clearing or land disturbance activities, including the placement of fill/fill materials, grading, excavating, etc. shall not occur until such time as appropriate permit(s) are issued for such site work.
2. All land shall remain vegetated & in its natural state until such time as DRC Site Plan & any additional permitting approvals allow for such, per code. All tree removal, land clearing, placement of fill materials, or other Land Disturbing Activities, etc. shall be permitted or otherwise approved by the County prior to initiation.

1. All disturbed and/or exposed soil/dirt in the county right-of-way shall be stabilized with bahia sod. Centipede will not be accepted in the county right-of-way. Retention Pond as well as any onsite disturbed soil shall be sodded or have a healthy stand of grass at time of final inspection.



<div>SHEET TITLE:</div> <div>DATE: 06-30-21</div> <div>SCALE: 1"=50'</div> <div>SHEET NUMBER:</div> <div>C6</div> <div>SHEET 7 OF 11</div>	<div>PROJECT TITLE:</div> <div>THE MAGNOLIA'S RV PARK</div> <div>200 NEAL ROAD</div> <div>CANTONMENT, FLORIDA</div> <div>ESCAMBIA COUNTY</div>	ENVIRONMENTAL ENGINEERING SERVICES					
		FIRM REGISTRATION #: RY65115					
		2120 MARIA CIRCLE 32514					
		PENSACOLA, FLORIDA					
		850-982-8606 (OFC)					
						</	

LANDSCAPE NOTES:

1. All landscape material shall be installed in a sound workmanlike Manner and in accordance with the tree and shrub planting detail of this landscape plan.
2. Newly planted canopy trees shall have a minimum caliper of 2.5 inches measured at 4 inches above root ball planting and normally attain a mature height of at least 20 feet.
All plant material shall have a warranty of 2 years. All shrubs shall have a minimum height of 1 foot.
3. Owner shall maintain all landscape areas at all times. Maintenance shall include the prompt replacement of all dead or damaged landscaped material.
4. No more than 40% of landscaping material shall be of the same species.
5. Landscaper shall refer to the Escambia County list of recommended native and non-invasive plant materials for selection of appropriate shrubs, understory and canopy trees. Developer may select any tree and shrub listed on Escambia County list of recommended native and non-invasive plant material in lieu of those designated Tree Schedule Table this sheet as long as no more than 40% of proposed landscaping material is the same species.
6. All non-paved areas and exposed soil/dirt shall be regraded and sodded with grass species normally grown as permanent lawns in Escambia County. All sodd shall be clean and reasonably free of weeds, noxious pests, and diseases. If grass areas are to be seeded sprigged, or plugged specifications must be submitted to the county for approval.
7. The contractor is to be aware of underground utilities throughout landscaped areas that may not be illustrated on this plan. Contractor shall verify location and protect all utilities during excavation and/or finish grading activities.
8. All plants shall conform to the standards for Florida Grade No. 1, or better, per latest edition of "Grades and Standards for Nursery Plants, Division of Plant Industry, Florida Department of Agriculture and Consumer Services".
9. Planting requirements for the north and east Type B property line buffer (16' wide buffer) may be met with existing vegetation. Prior to requesting a site final inspection, Escambia County staff will conduct a site visit to inspect the existing vegetation for vegetation counts. If the existing vegetation fails to meet the required tree counts of 43 trees on east buffer and 29 trees on north buffer, the necessary number required will be installed.

LANDSCAPE CALCULATIONS

(A) Parking Lot Landscaping
No Parking lot is proposed and therefore parking lot landscaping not required.

(B) Mitigation Trees
73 total caliper inches of mitigation (See Existing Tree and Mitigation Chart)
Based upon minimum planting caliper of 2.5 inches the number of trees required for mitigation is:
Mitigation Trees Required = 73 inches/2.5 inches/tree=29 native, canopy trees to be planted
Mitigation trees T31 thru T59 proposed per New Landscaping Planting Table. See landscape plan for proposed location

(C) Landscape Buffer
(1) East Property Line
Development requires Type B Landscape Buffer (16' wide) along east property line. Planting required is as follows:

Canopy trees required = 2.5 trees/100' x 947.93' = 23.69 or 24 trees
Understory trees required = 2 trees/100' x 947.93' = 18.96 trees or 19 trees
shrubs required = 20 shrubs/100' x 947.93' = 189.59 shrubs

NOTE: ALL NATURAL MATERIAL IN 16' WIDE BUFFER TO REMAIN AND NO NEW LANDSCAPE PLANTING MATERIAL REQUIRED. SEE LANDSCAPE NOTE #9

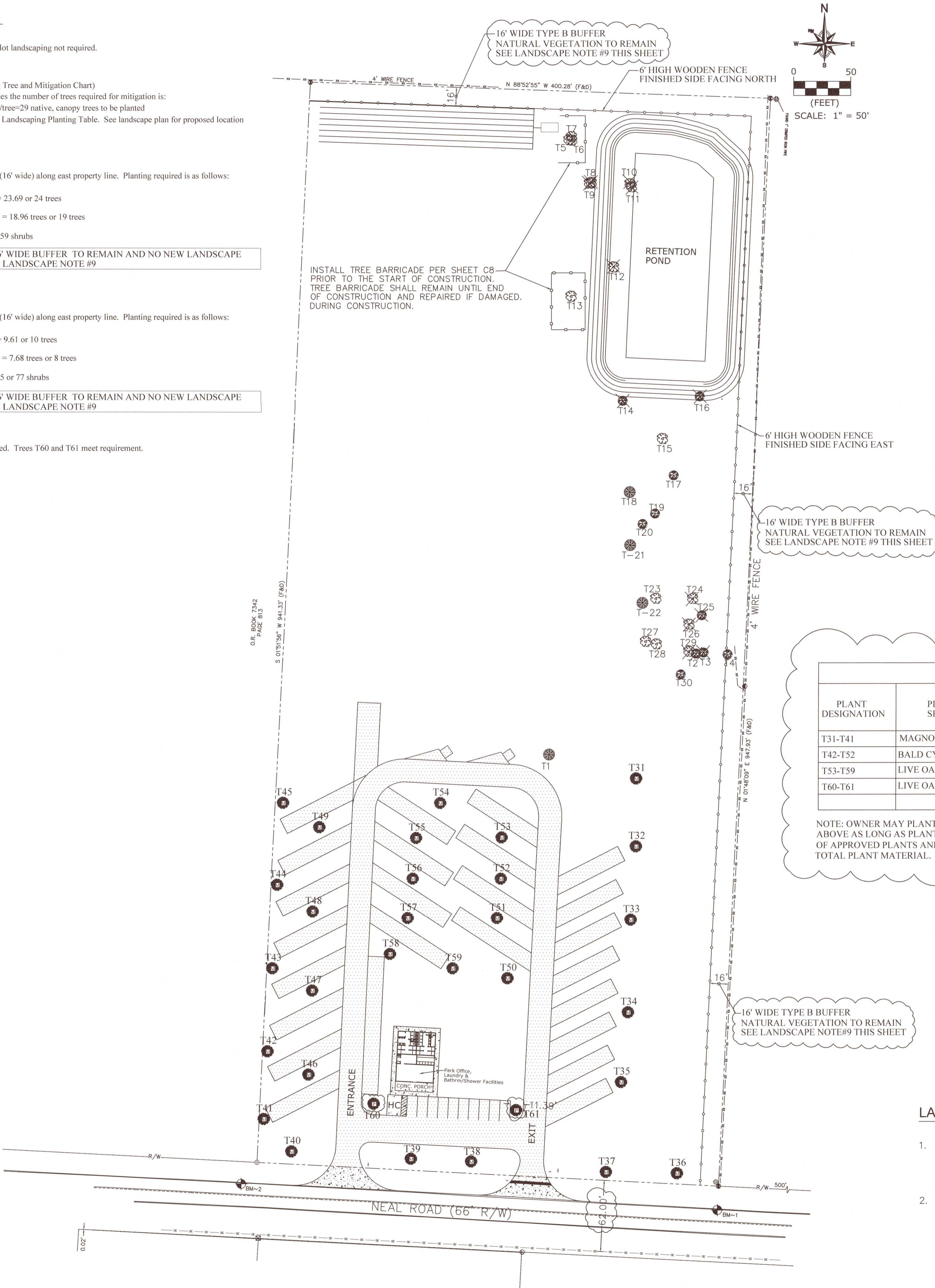
(2) North Property Line
Development requires Type B Landscape Buffer (16' wide) along east property line. Planting required is as follows:

Canopy trees required = 2.5 trees/100' x 384.28' = 9.61 or 10 trees
Understory trees required = 2 trees/100' x 384.28' = 7.68 trees or 8 trees
shrubs required = 20 shrubs/100' x 384.28' = 76.85 or 77 shrubs

NOTE: ALL NATURAL MATERIAL IN 16' WIDE BUFFER TO REMAIN AND NO NEW LANDSCAPE PLANTING MATERIAL REQUIRED. SEE LANDSCAPE NOTE #9

(D) Parking Row Termination
1 row of parking thus 2 terminus trees required. Trees T60 and T61 meet requirement.

EXISTING TREE SCHEDULE & MITIGATION CHART					
PLANT DESIGNATION	PLANT SPECIES	TREE DIA.	ACTION	REASON FOR REMOVAL	MITIGATION REQUIREMENTS (CALIPER TO BE PLANTED)
T1	SPRUCE	35"	REMAIN		0"
T2	LIVE OAK	30"	REMOVE	SWALE	15"
T3	LIVE OAK	20"	REMOVE	SWALE	10"
T4	LIVE OAK	24"	REMAIN		0"
T5	MAGNOLIA	26"	REMAIN		0"
T6	MAGNOLIA	24"	REMAIN		0"
T7	MAGNOLIA	12"	REMAIN		0"
T8	MAGNOLIA	12"	REMOVE	RET POND	6"
T9	MAGNOLIA	8"	REMOVE	RET POND	0" NOT PROTECTED
T10	MAGNOLIA	8"	REMOVE	RET POND	0" NOT PROTECTED
T11	MAGNOLIA	8"	REMOVE	RET POND	0" NOT PROTECTED
T12	MAGNOLIA	16"	REMOVE	RET POND	8"
T13	MAGNOLIA	16"	REMAIN		0"
T14	QUAD LIVE OAK	6",6",8",12"	REMOVE	RET POND	6"
T15	MAGNOLIA	14"	REMAIN		0"
T16	LIVE OAK	16"	REMOVE	RET POND	8"
T17	LIVE OAK	16"	REMAIIN		0"
T18	CYPRESS	15"	REMAIN		0
T19	LIVE OAK	12"	REMAIN		0"
T20	LIVE OAK	8"	REMAIN		0"
T21	CYPRESS	14"	REMAIN		0"
T22	CYPRESS	10"	REMAIN		0"
T23	MAGNOLIA	20"	REMAIN		0"
T24	MAGNOLIA	13"	REMOVE	SWALE	6.5"
T25	LIVE OAK	11"	REMOVE	SWALE	0" NOT PROTECTED
T26	MAGNOLIA	12"	REMOVE	SWALE	6"
T27	MAGNOLIA	13"	REMAIN		0"
T28	MAGNOLIA	12"	REMAIN		0"
T29	MAGNOLIA	15"	REMOVE	SWALE	7.5"
T30	LIVE OAK	8"	REMAIN		0"
					0"
TOTAL CALIPER INCHES IN MITIGATION TO BE PLANTED					73"
TOTAL CALIPER INCHES IN CREDIT					0"
TOTAL CALIPER INCHES IN MITIGATION TO BE PLANTED					73"



LEGEND:

- R/W RIGHT OF WAY
PROPOSED GRAVEL
PROPOSED CONCRETE
BSL BUILDING SETBACK LINE
PROPOSED 6' HIGH (MIN.) WOOD FENCE
PROPOSED MITIGATION TREE
PROPOSED PARKING TREE
PROPOSED UNDERSTORY TREE
PROPOSED SHRUBS
EXISTING LIVE OAK TREE & DESIGNATION NUMBER
EXISTING CYPRESS TREE & DESIGNATION NUMBER
EXISTING MAGNOLIA TREE & DESIGNATION NUMBER
EXISTING TREE TO BE REMOVED
TREE PROTECTION BARRICADE
EXISTING WIRE FENCE
PROPERTY BOUNDARY

NEW LANDSCAPE PLANTING SCHEDULE				
PLANT DESIGNATION	PLANT SPECIES	TREE DIAMETER (MIN.-INCHES)	TREE HEIGHT (MIN.-FEET)	REQUIREMENT FOR PLANTING
T31-T41	MAGNOLIA	2.5" MIN	N/A	MITIGATION TREES
T42-T52	BALD CYPRESS	2.5" MIN	N/A	MITIGATION TREES
T53-T59	LIVE OAK	2.5" MIN	N/A	MITIGATION TREES
T60-T61	LIVE OAK	2.5" MIN	N/A	PARKING LOT

NOTE: OWNER MAY PLANT DIFFERENT PLANT SPECIES THAN THOSE LISTED ABOVE AS LONG AS PLANT SPECIES IS LISTED ON ESCAMBIA COUNTY LIST OF APPROVED PLANTS AND NO SINGLE SPECIES IS MORE THAN 40% OF TOTAL PLANT MATERIAL.

LAND DISTURBANCE ACTIVITIES

1. All trees shall remain onsite and any proposed land clearing or land disturbance activities, including the placement of fill/fill materials, grading, excavating, etc. shall not occur until such time as appropriate permit(s) are issued for such site work.
2. All land shall remain vegetated & in its natural state until such time as DRC Site Plan & any additional permitting approvals allow for such, per code. All tree removal, land clearing, placement of fill materials, or other Land Disturbing Activities, etc. shall be permitted or otherwise approved by the County prior to initiation.

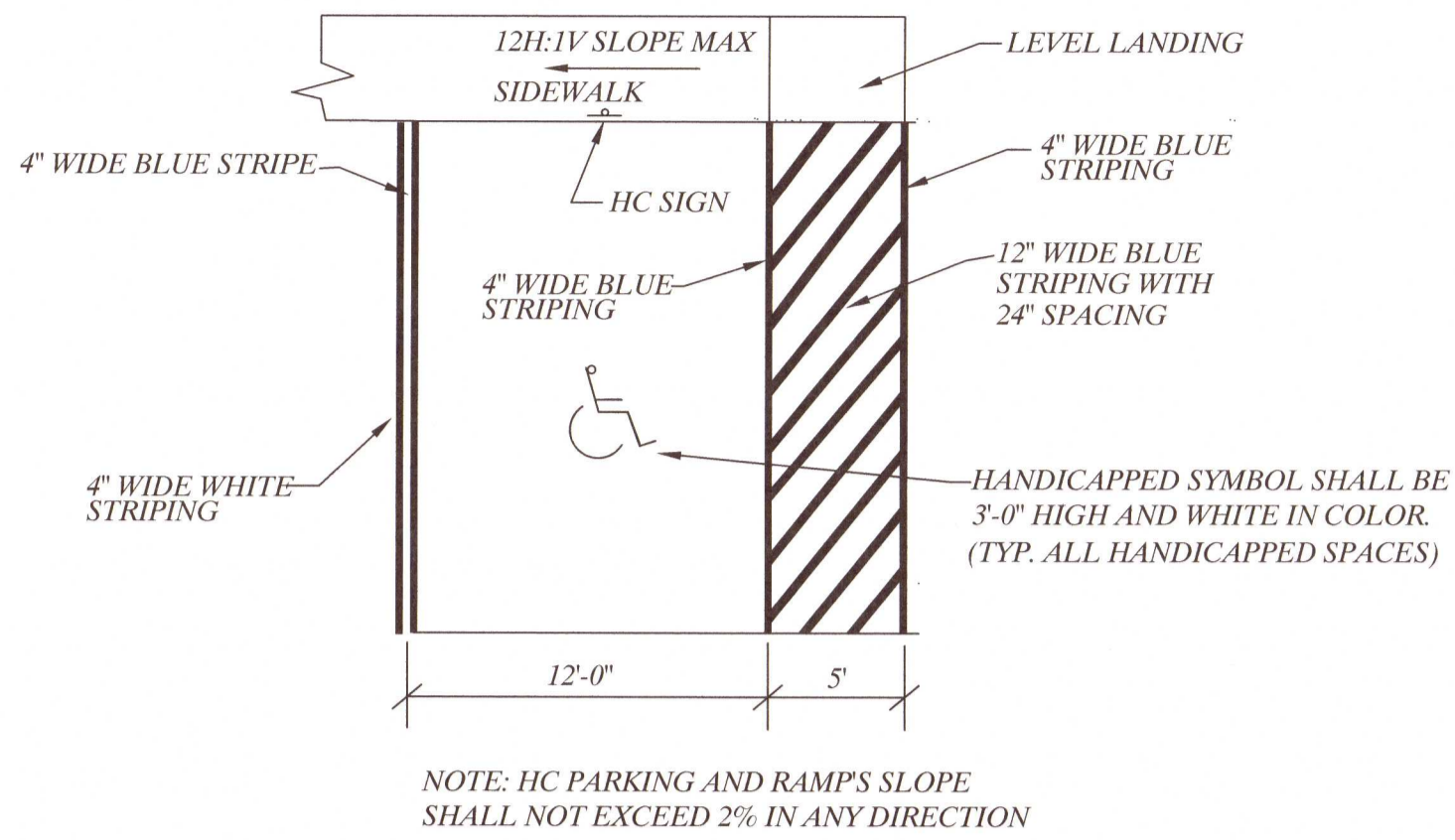
NO.	REVISIONS	BY	DATE
1			

ENVIRONMENTAL ENGINEERING SERVICES
FIRM REGISTRATION #: RY6515
2120 MARIA CIRCLE
PENSACOLA, FLORIDA 32514
850-982-8606 (OFC)
850-477-1176 (FAX)
GREGORY ALLEN CAMPBELL, P.E.
FL PE LICENSE #: 38572

PROJECT TITLE:
THE MAGNOLIA'S RV PARK
200 NEAL ROAD
CANTONMENT, FLORIDA
ESCAMBIA COUNTY

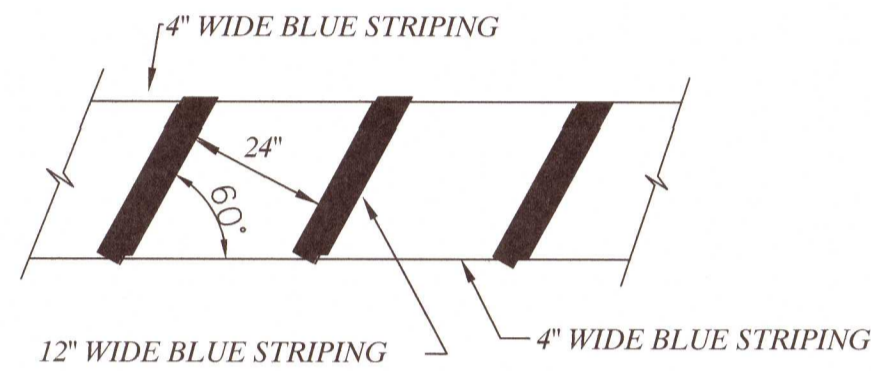
SHEET TITLE:
LANDSCAPE PLAN
DATE: 06-30-21
SCALE: 1"=50'
SHEET NUMBER:
C7
SHEET 8 OF 11

Handwritten signature and date: 9-20-21

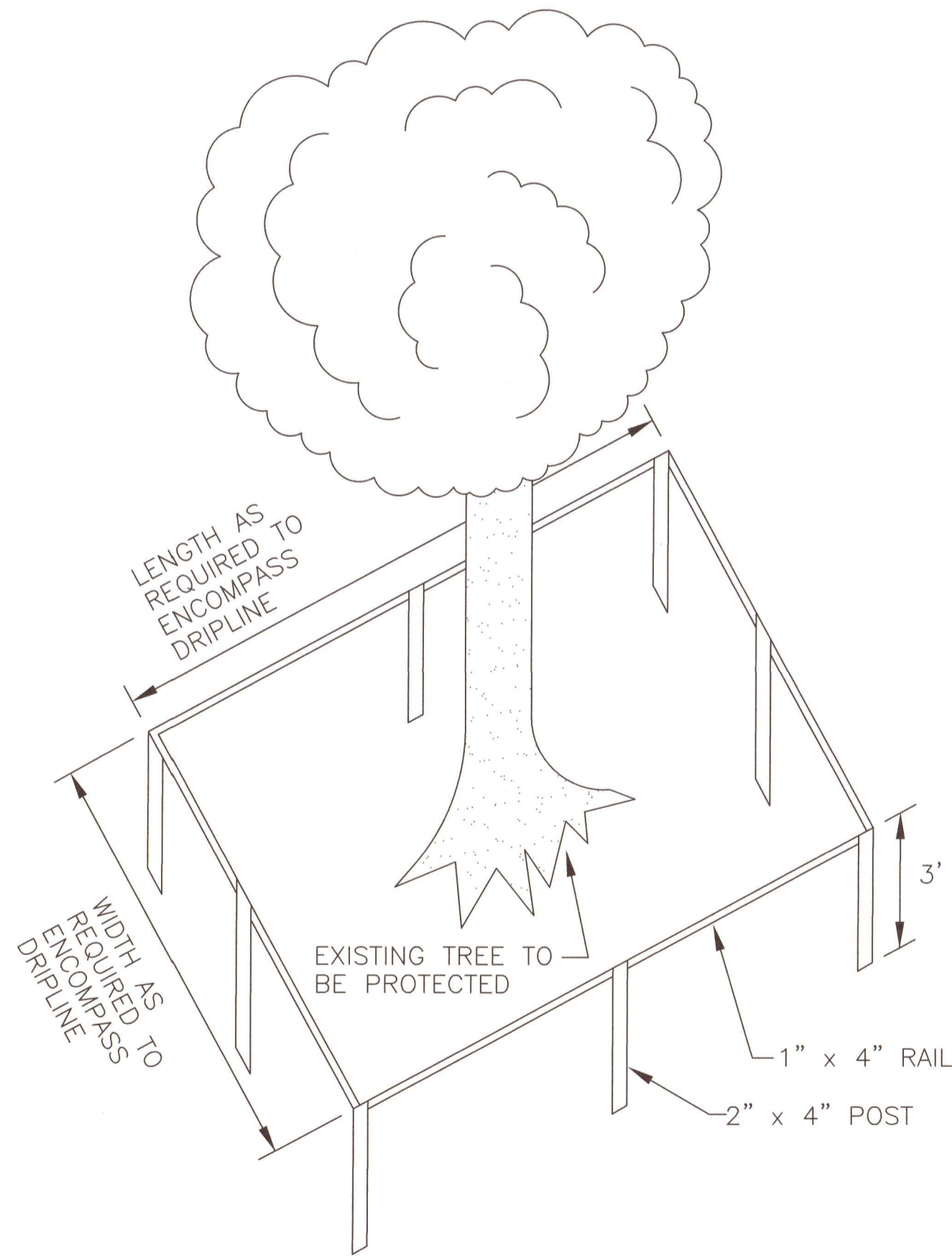


HANDICAPPED STRIPING AND RAMP DETAIL
N.T.S.

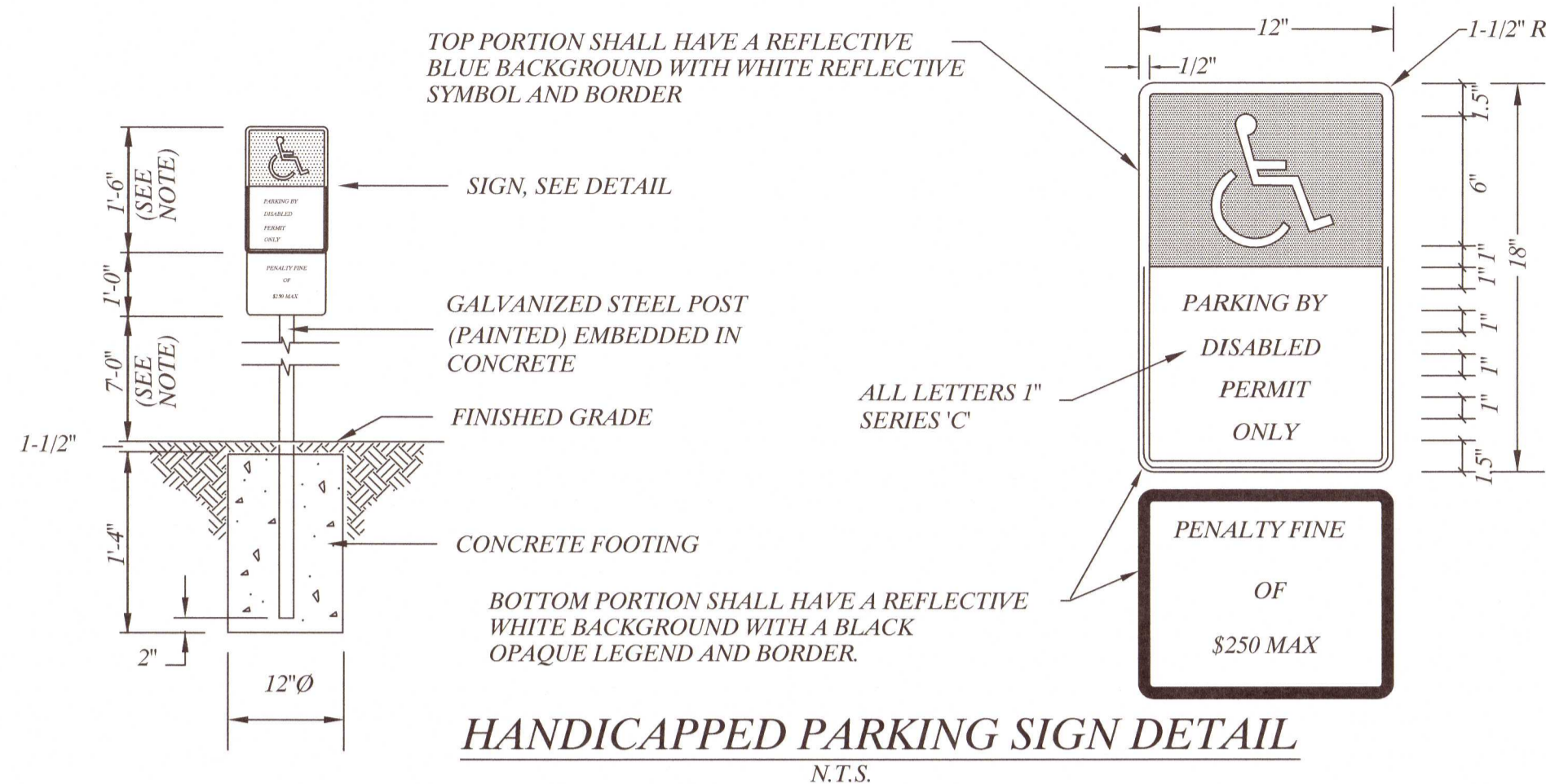
NOTE: DO NOT EXCEED 1:50 SLOPE IN ANY DIRECTION



HC RAMP STRIPING DETAIL
N.T.S.

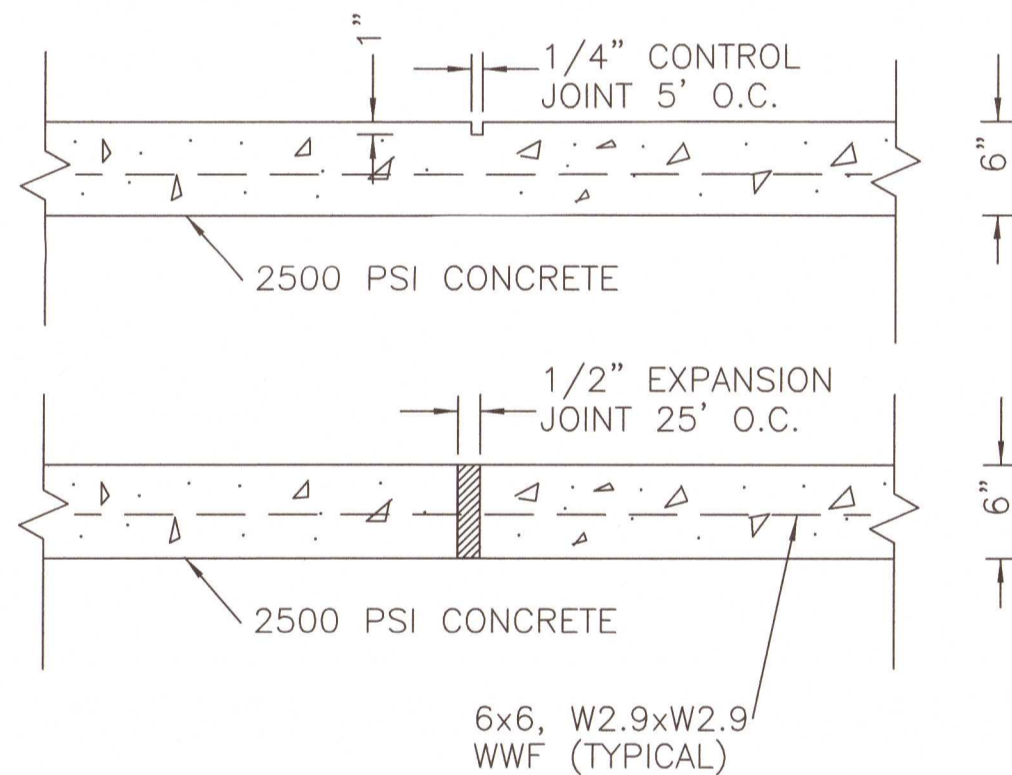


TREE PROTECTION DETAIL
N.T.S.



NOTE: SIGN MUST CONFORM WITH F.D.O.T. FTP-25 AS SHOWN IN TRAFFIC DESIGN STANDARDS INDEX NO. 17355, SHEET 3 OF 8.

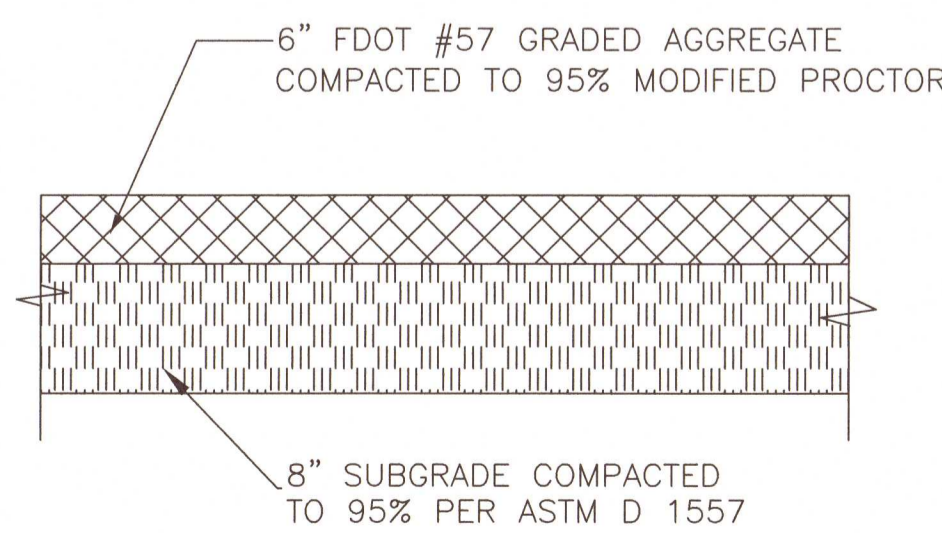
NOTE: CONTRACTOR MUST COMPLY WITH LOCAL CODES CONCERNING HEIGHT OF SIGN ABOVE GRADE!



NOTE: EXPANSION JOINT FILLER SHALL BE ASPHALT IMPREGNATED FIBER STRIPS 1/2" THICK. CUT AND SHAPE TO CROSS SECTION OF SIDEWALK.

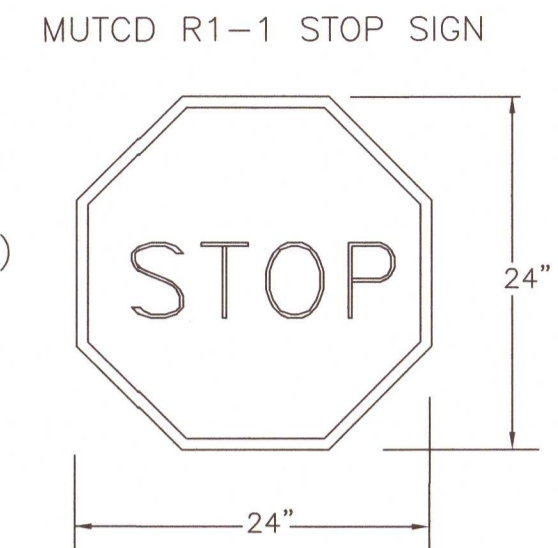
MEDIUM BROOM TOP SURFACE.

SIDEWALK DETAIL
N.T.S.

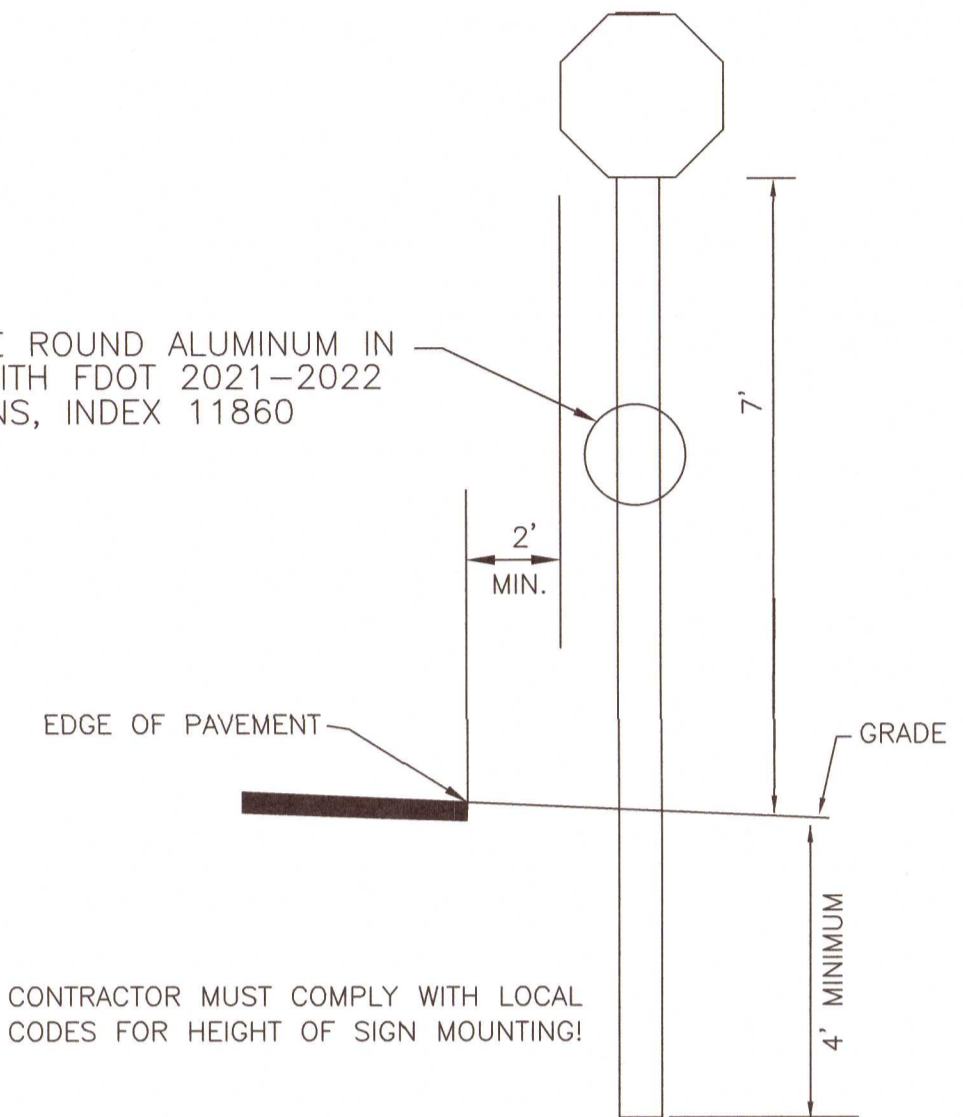


TYPICAL GRAVEL DETAIL
N.T.S.

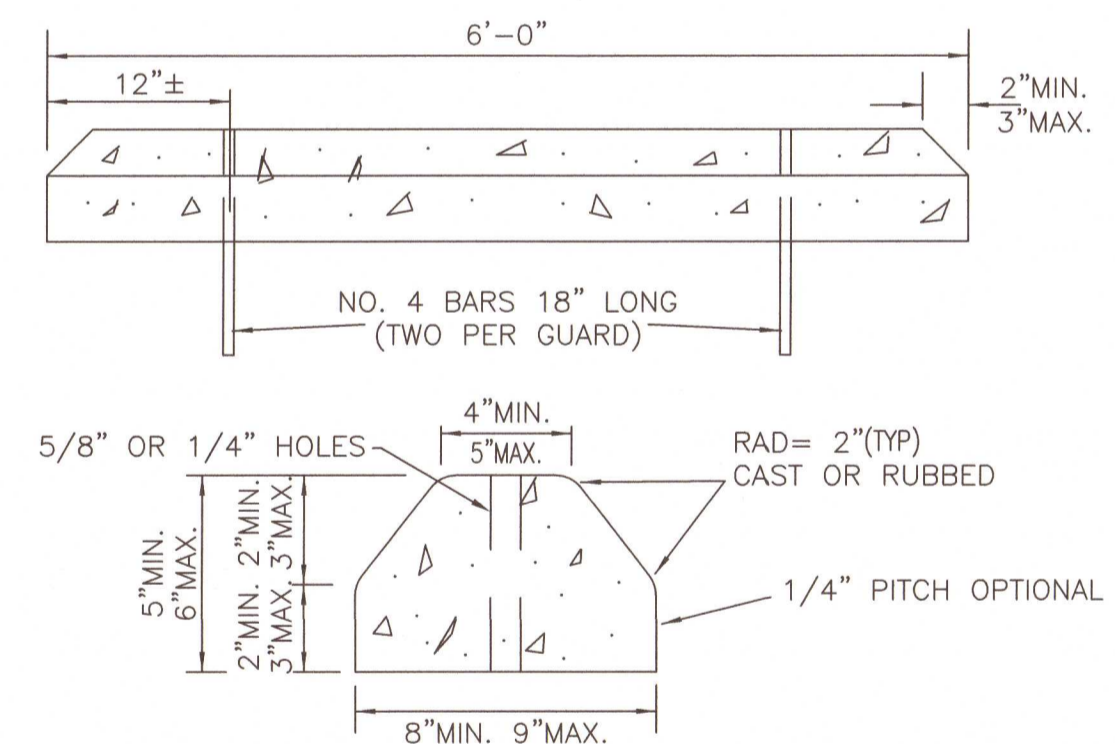
NOTE:
ALUMINUM MATERIALS SHALL MEET THE REQUIREMENTS OF ALUMINUM ASSOCIATION ALLOY 6061-T6 (ASTM B209, B221 OR B308)
U-BOLTS, NUTS & LOCKWASHERS SHALL MEET THE REQUIREMENTS OF ASTM A307, GRADE A AND SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A153.



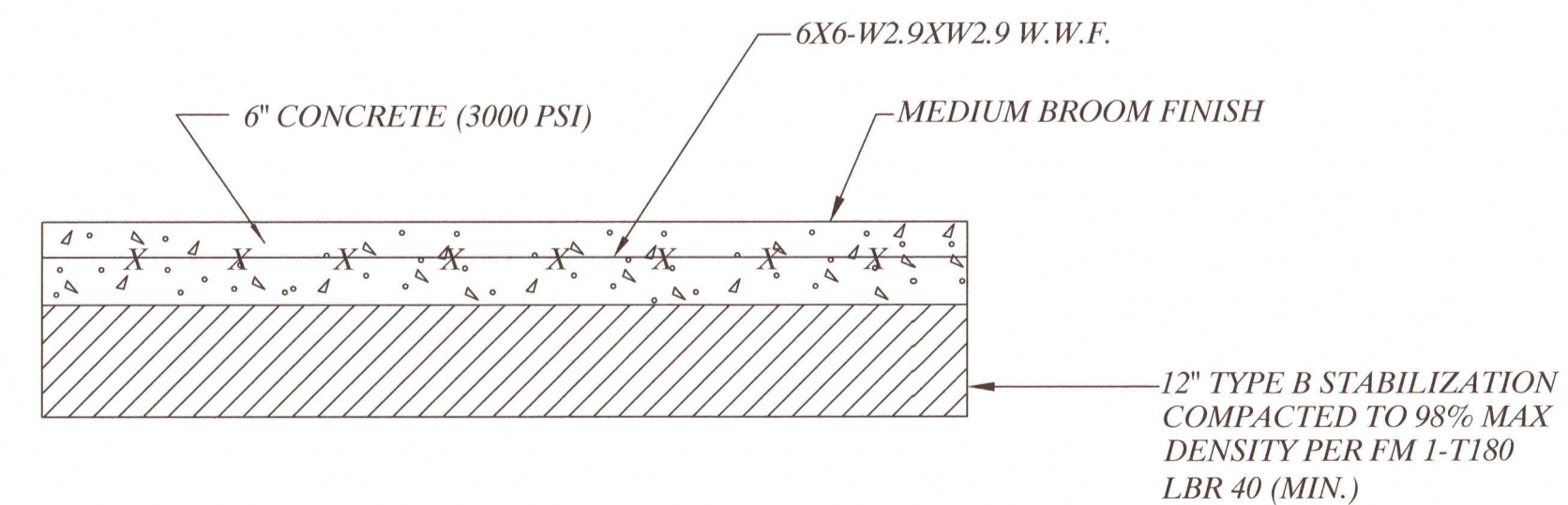
POST SHALL BE ROUND ALUMINUM IN ACCORDANCE WITH FDOT 2021-2022 STANDARD PLANS, INDEX 11860



STOP SIGN DETAIL
N.T.S.



CONCRETE BUMPER GUARD
N.T.S.



TYPICAL ACCESS DRIVEWAY CONCRETE PAVEMENT SECTION
N.T.S.

ENVIRONMENTAL ENGINEERING SERVICES
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GREGORY ALLEN CAMPBELL, P.E.
FL PE LICENSE #: 38572

PROJECT TITLE:
THE MAGNOLIA'S RV PARK
200 NEAL ROAD
CANTONMENT, FLORIDA
ESCAMBIA COUNTY

SHEET TITLE:
CONSTRUCTION
DETAILS

DATE: 06-30-21
SCALE: 1"=20'
SHEET NUMBER:
C8
SHEET 9 OF 11


Signature: [Handwritten Signature]
Date: 6-30-21

NOTES:

1. Concrete Apron to be installed only where called for in the Plans.
2. Sod always required.



NOTES:

1. Grate, Concrete Apron, and Sod not shown on structure details.
2. See Sheet 8, 9, and 10 for Concrete Apron and Sodded Area details.
3. Cast Iron Grate is not permitted on Inlet Type D.

LAST REVISION 11/01/20	DESCRIPTION:	 FY 2021-22 STANDARD PLANS	DITCH BOTTOM INLET TYPE C, D, E, AND H INDEX 425-052	SHEET 3 of 14
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△6.42	△6.25'	Dimensions permitted to allow use of 8' standard pipe lengths.
◇10.40'	◇10.10'	Dimensions permitted to allow use of 12' standard pipe lengths.



LAST REVISION 11/01/19	DESCRIPTION:	 FY 2021-22 STANDARD PLANS	SIDE DRAIN MITERED END SECTION 	INDEX 430-022	SHEET 3 of 7
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	NO.	REVISIONS	BY	DATE
1	ESCAMBIA CO COMMENTS DATED 08-05-21	GAC	08-05-21	

ENVIRONMENTAL ENGINEERING SERVICES
FIRM REGISTRATION #: RY6515
2120 MARIA CIRCLE
PENSACOLA, FLORIDA 32514
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GREGORY ALLEN CAMPBELL, P.E.
FL PE LICENSE #: 39572

PROJECT TITLE:
THE MAGNOLIA'S RV PARK
200 NEAL ROAD
CANTONMENT, FLORIDA
ESCAMBIA COUNTY

TITLE: CONSTRUCTION DETAILS

DATE: 06-30-21

SCALE: 1"=20'

SHEET NUMBER:

C9

SHEET 10 OF 11

J. M. Gull
9-20-21